



<b>Office Use Only</b> Application Number:
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**APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT**

**(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))**

**(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)**

*Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.*

**1. Pre-Lodgement Meeting**

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? No

**2. Type of Consent being applied for (more than one circle can be ticked):**

- Land Use                       Fast Track Land Use\*                       Subdivision                       Discharge
- Extension of time (s.125)     Change of conditions (s.127)     Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) Section 348 Certificate for ROW access

**\*The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

**3. Would you like to opt out of the Fast Track Process? No**

**4. Applicant Details:**

Name/s: Michelle Williams & Rob Field \_\_\_\_\_

Electronic Address for Service (E-mail): \_\_\_\_\_

Phone Numbers: \_\_\_\_\_ Work: \_\_\_\_\_

Postal Address: \_\_\_\_\_  
(or alternative method of service under section 352 of the Act) \_\_\_\_\_  
Post Code: 0204 \_\_\_\_\_

**5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).**

Name/s: Zenith Planning Consultants Limited, Attention Wayne Smith \_\_\_\_\_

Electronic Address for Service (E-mail): \_\_\_\_\_

Phone Numbers: \_\_\_\_\_ Home: \_\_\_\_\_

Postal Address: \_\_\_\_\_  
(or alternative method of service under section 352 of the Act) \_\_\_\_\_  
Post Code: 0204 \_\_\_\_\_

**All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.**

**6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)**

Name/s: Robert Colin Field and Michelle Louise White (Williams)

Property Address/  
Location \_\_\_\_\_

**7. Application Site Details:**

Location and/or Property Street Address of the proposed activity:

Site Address/  
Location: \_\_\_\_\_

Legal Description: Lot 2 Deposited Plan 310997 and Section 16 Survey Office Plan 449324  
Val Number:     

Certificate of Title: Identifier 990247

**Site Visit Requirements:**

Is there a locked gate or security system restricting access by Council staff? No

Is there a dog on the property? No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Access onto and around the property is unrestricted but please contact Rob on 0274501997

**8. Description of the Proposal:**

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Subdivision of Section 16 SO 449324 & Lot 1 DP 310997 to create two lots (one additional lot).

Extend the existing ROW access by creating a new ROW Easement over Lot 1 DP 174451 in favour of proposed Lot 2.

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

**9. Would you like to request Public Notification?** No

#### 14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Rob Field

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

#### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

#### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Rob Field

Signature:

(signature of bill payer)

Date 6.3.26

MANDATORY

#### 15. Important Information:

##### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

##### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

##### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

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**Declaration:** The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Wayne Smith \_\_\_\_\_ (please print)

Signature: \_\_\_\_\_ (signature)

Date: 3<sup>rd</sup> March 2026

(A signature is not required if the application is made by electronic means)

### Checklist (please tick if information is provided)

- ✓ Payment (cheques payable to Far North District Council) – Estimated charge paid via online banking
- ✓ A current Certificate of Title (Search Copy not more than 6 months old)
- ✓ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ✓ Applicant / Agent / Property Owner / Bill Payer details provided
- ✓ Location of property and description of proposal
- ✓ Assessment of Environmental Effects
- ✓ Written Approvals / correspondence from consulted parties
- ✓ Reports from technical experts (if required)
- ✓ Copies of other relevant consents associated with this application
- ✓ Location and Site plans (land use)
- ✓ Location and Scheme Plan (subdivision)
- ✓ Elevations / Floor plans
- ✓ Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

**Digital Applications may be submitted via E- mail to: [Planning.Support@fndc.govt.nz](mailto:Planning.Support@fndc.govt.nz)**

**Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:**

**UNBOUND**

**SINGLE SIDED**

**NO LARGER THAN A3 in SIZE**

5<sup>th</sup> March 2026

Resource Consents Team  
Far North District Council  
Private Bag 752  
Kaikohe 0440

Attention Team Leader Resource Consents

**RESOURCE CONSENT APPLICATION BY MICHELLE WILLIAMS AND ROB FIELD FOR A SUBDIVISION AND SECTION 348 (ROW) FOR 1 PUKETUTU DRIVE, HARURU.**

Zenith Planning Consultants have been engaged by Michelle and Rob to prepare a subdivision resource consent application and a Section 348 ROW application relating to their property at 1 Puketutu Drive, Haruru.

I have attached the following information in support of the application:

- Completed Application Form
- Planning Report and Assessment of Effects
- Scheme Plan
- Engineers Report
- Current Certificate of Titles and legal instruments

The applicant has paid the Council estimated fees using the reference 1 Puketutu Drive or Williams & Field via internet banking.

Should you have any queries in respect to this application please contact me.

Yours faithfully



**Wayne Smith**

Zenith Planning Consultants Ltd

Principal | Director

BPlan | BSocSci | MNZPI

[wayne@zenithplanning.co.nz](mailto:wayne@zenithplanning.co.nz)

mob: +64 (0) 21 202 3898

# Planning Report and Assessment of Effects

## Proposed Subdivision Consent and s348 ROW Easement

Michelle Williams & Rob  
Field

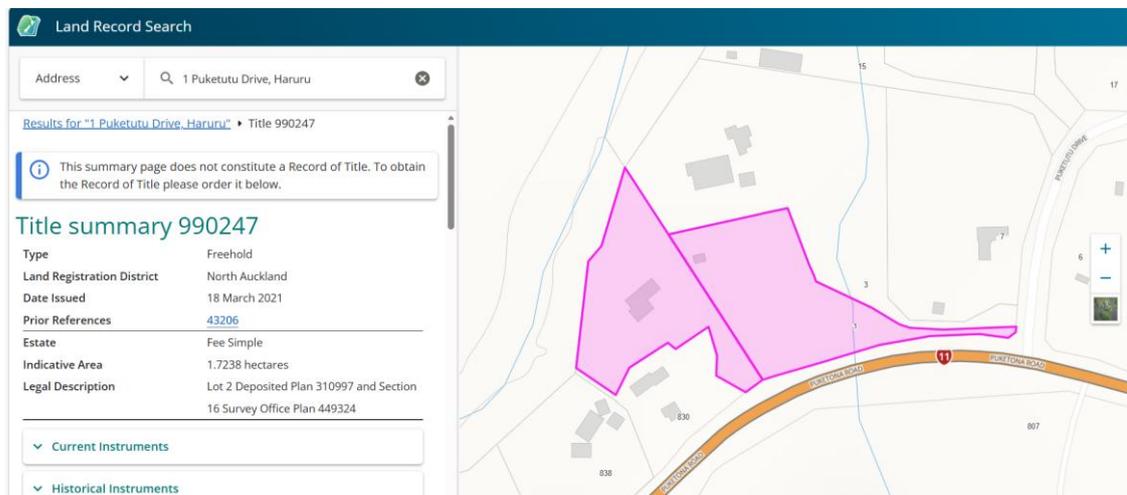
1 Puketutu Road, Haruru

# PLANNING REPORT AND ASSESSMENT OF EFFECTS

## APPLICATION DESCRIPTION AND PROJECT BACKGROUND

1.01 Zenith Planning Consultants have been engaged by Michelle Williams and Rob Field to prepare and lodge a resource consent for subdivision as noted on the scheme plan and to extend an existing ROW Easement over an adjoining parcel of land which reflects the existing access arrangements. The application site consists of two parcels of land held together in one Certificate of Title. The underlying lot layout is largely the same as the underlying lot layout but with minor changes to the boundaries required (to suit on ground elements) a subdivision application is proposed rather than the cancellation of the existing legal tie up which holds the two lots together. The current title size is 1.7238ha comprising the following existing lot areas:

- Lot 2 DP 310997 – 0.8082ha
- Section 16 SO Plan 449324 – 0.9056ha



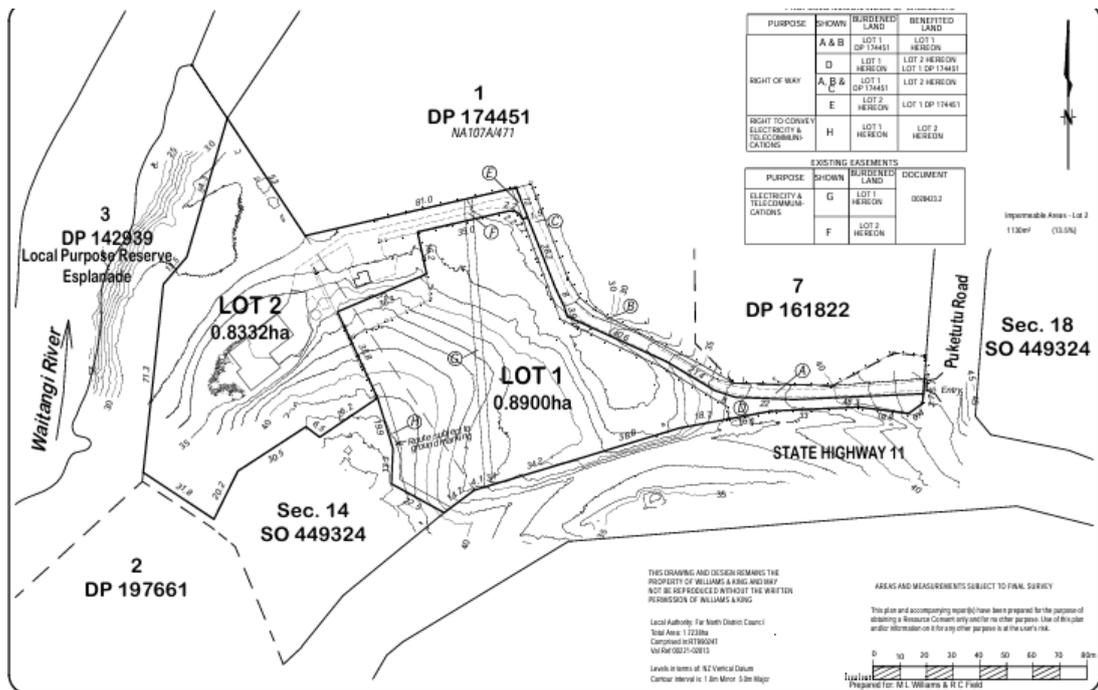
*The existing lots which comprise the property title*

1.02 The proposed lot configurations will be as follows:

- Proposed Lot 1 – 0.8900ha – this lot is vacant and will be accessed off Easements B & D – located part way along the easements. Access is already formed.
- Proposed Lot 2 – 0.8332ha – this lot contains the existing dwelling and accessory buildings. Access is already formed with an extension of the existing ROW easements required (Easement C & D) to reflect the existing formed access.

The second component of the application is the creation of new ROW easements.

- ROW easements (new) to reflect the existing driveway and to provide additional legal width and is applied for under Section 348 of the Local Government Act.



Proposed subdivision of Section 16 SO 449324 & Lot 1 DP 310997 & Easements over Lot 1 DP 174451

WILLIAMS AND KING  
Registered Land Surveyors, Planners & Land Development Consultants  
PO Box 407 Kaitiaki | 0640001000 | PO Box 807 Kaitiaki

Local Authority: For South District Council  
Total Area: 1.7232ha  
Compared to: 174451  
Vol Ref: 000271-00013

Levels in terms of NZ Vertical Datum  
Contour Interval is: 1.0m Minor: 0.5m Major

AREAS AND MEASUREMENTS SUBJECT TO FINAL SURVEY

This plan and accompanying reports have been prepared for the purpose of obtaining a Resource Consent only and for no other purpose. Use of this plan and/or information is for any other purpose is at the user's risk.

Scale: 1:1000 A3

24735

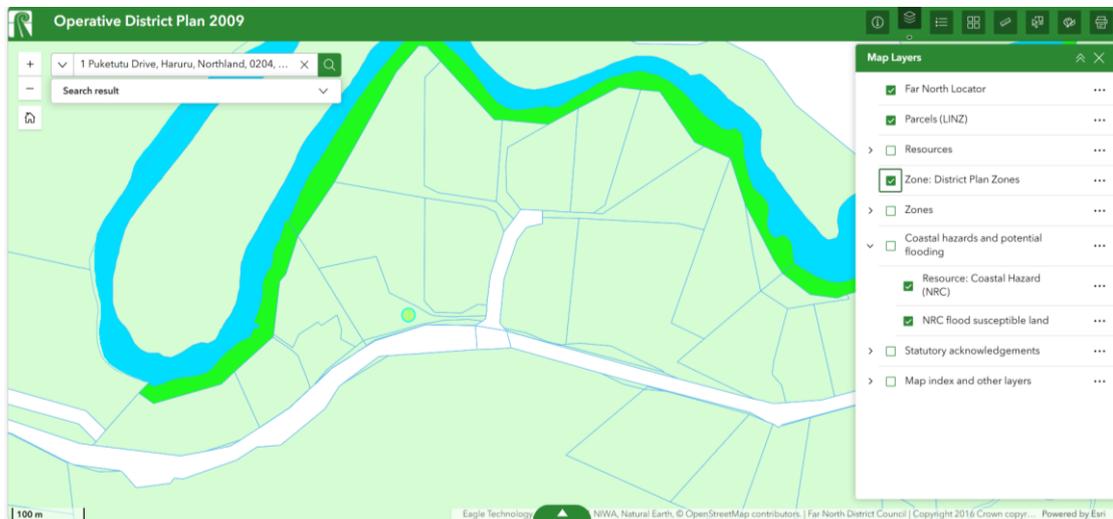
Proposed scheme plan with minor changes sought to the underlying allotment configuration

1.03 The proposed lots will both access off Puketutu Drive and will utilise the existing access which also serves the adjoining lot (Lot 1 DP 174451). The current title enjoys legal and physical access via existing easements but these do not extend to include the driveway located on easement areas C, D & E. The adjoining landowner on whose land the ROW easements are proposed, has provided their written approval for an extension to this series of easements to reflect the existing driveway and to resolve the current situation.

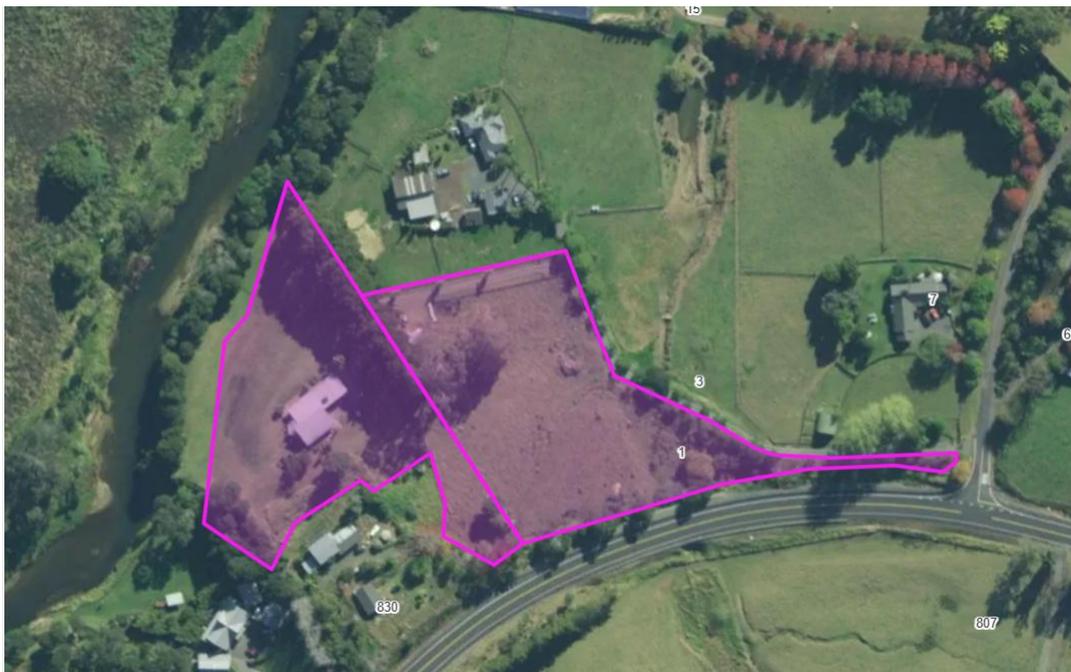
1.04 The application site was formally in two separate parcels reflective of the underlying lot arrangements. The former owner decided to amalgamate the two titles to save on additional rates and other related costs. For this reason, the lots were amalgamated and a new title issued which held the lots together in once certificate of title. This proposal now seeks to separate the lots again although with some changes to the original lot boundaries, a new subdivision application is required.

1.05 There are no changes sought to the existing activities on site and the existing dwelling, access, and accessory buildings remain within the permitted allowances within the Rural

Production zone for proposed Lot 2. Proposed Lot 1 will remain vacant with presently no impermeable surfaces.



*The application site is zoned Rural Production under the Operative District Plan*



*Aerial of the application site*

- 1.06 The existing onsite servicing for proposed Lot 2 remains unchanged and the Engineer's report provided, confirms the existing arrangements for water supply, wastewater treatment and disposal, and stormwater management are both adequate and functional. The Engineer's report also addresses onsite wastewater treatment and disposal for the vacant proposed Lot 1, comments on stormwater management and identifies the probable water supply. In addition to the potable supply of water for each lot, the report

comments on the need to meet fire fighting requirements and suggest proposed measures for Lot 1 with measures already in place for proposed Lot 2.

- 1.07 A detailed commentary and assessment was completed on the potential flood risk associated with the overall application site has been provided within the Engineering report prepared by Haigh Workman. The site is subject to flood risk as depicted in the attached maps including more detailed maps within the Engineer’s report. The existing house site on proposed Lot 2 and the proposed house site on Lot 1 are both free of any flood risk with the only area which could be affected being the existing driveway which services the two proposed lots (existing dwelling and proposed new dwelling) and the neighbours’ property. There are limited means to reduce risk with only raising the road being the option presented. This option would be cost prohibitive and result in potentially other issues. This is not a practical solution given the modest risk associated with it and for this reason, the current access, is considered to be acceptable.



*Flood Hazard map from the proposed district plan noting that it covers the existing access to the application site and the neighbour.*

- 1.08 The applicants, who have resided on the property for almost 20 years, have not experienced any restrictions for access from severe weather events despite recent increases in their frequency and relative intensities.
- 1.09 The application site is zoned Rural Production under the Far North District Plan. This plan is the dominant planning document for the purposes of this application.
- 1.10 The Far North District Council has prepared a Proposed Far North District Plan which has recently concluded all hearings of submissions and the hearing panel are now completing their recommendations for Council to consider. These recommendations are due back to Council shortly, with Council to review and confirm the revised proposed plan by May 2026.

- 1.11 Under the proposed district plan, the zoning for the application site remains Rural Production and the rules presented relating to lot size etc have no immediate legal effect. Due to the activity status, the consideration of objectives and policies of the proposed plan is to be considered.
- 1.12 Consideration of the National Policy Statement for Natural Hazards (NPS-NH) was also completed as well as the review of NRC mapping and related considerations due to the flooding susceptibility of part of the application site. The consideration of these elements was extensively addressed in the Engineering Report and provides the basis for the recommendations provided. The associated risk from flooding is discussed later within this report with this matter a consideration to be addressed if found to be relevant to the proposal.

## **ASSESSMENT OF SUBDIVISION RULES – OPERATIVE FAR NORTH DISTRICT PLAN**

- 2.01 The Rural Production rules for subdivision as noted within Table 13.7 of the Far North District Plan. The table details several different options which could be utilized by the subdivider. The controlled rules were not considered due to the existing lot size. The Restricted Discretionary Activity is as follows:
2. The minimum lot size is 12ha; or
  3. A maximum of 3 lots in any subdivision, provided that the minimum lot size is 4,000m<sup>2</sup> and there is at least 1 lot in the subdivision with a minimum lot size of 4ha, and provided further that the subdivision is of sites which existed at or prior to 28 April 2000, or which are amalgamated from titles existing at or prior to 28 April 2000; or
  4. A maximum of 5 lots in a subdivision (including the parent lot) where the minimum size of the lots is 2ha, and where the subdivision is created from a site that existed at or prior to 28 April 2000;

Options 1 and 5 (not included above) are not relevant to the application site.

- 2.02 With the proposed lot sizes being 0.89ha and 0.8332ha respectively, none of the above options can be complied with. The Discretionary provisions do not provide any further options and for this reason, the proposed subdivision, under the Operative Far North District Plan is considered to be **Non-Complying**.
- 2.03 There is no requirement to assess rules under the proposed plan with the rule not having immediate legal effect. The proposal is however, similarly not compliant with rules proposed under this proposed plan.
- 2.04 Application for a ROW Easement under the LGA is approved at Council discretion and should consider the need for such access, whether it is practical and safe in the proposed location, any implications for existing and future development, what formation standard is appropriate. This list is not exhaustive but nevertheless identifies matters

requiring consideration when review a Section 348 ROW application. For this proposal, the extension to the existing easements is to address the existing driveway formation for Proposed Lot 1 and for which the ROW access over Lot 1 DP 174451 needs to be amended. In addition to the extension which covers Easement C additional width is required to meet the plan requirements. Easements D and E on the application site and Easement B (a well as C) on the neighbouring property. These additions ensure the Council's required 7.5m width is achieved. Other than the recognition of the existing driveway and the creation of the easement corridor, there will be no changes other than a new entrance for proposed Lot 2 off Easements A & D. A separate resolution will be required to address the Section 348 component.

## **ASSESSMENT OF EFFECTS**

- 3.01 With the proposal being assessed as a non-complying activity, all matters are able to be considered in determining the application. The district plan provides relevant assessment criteria which can be used for the purposes of ensuring that all matters required to be considered are addressed.
- 3.02 For the purposes of assessing the application, the district plan directs consideration to the assessment criteria within section 13.10 which is detailed below. It is necessary to consider the potential of Permitted Baseline and Existing Environment comments in considering the relevant matters to be assessed.

## **PERMITTED BASELINE**

- 3.03 Pursuant to section 104(2) of the Act, when forming an opinion for the purposes of section 104(1)(a) a council may disregard an adverse effect of the activity on the environment if the plan or a NES permits an activity with that effect (i.e. a council may consider the "permitted baseline"). When considering an application for resource consent it is important to reference and place some reliance on Permitted Baseline arguments. This provides the expectation for development proposals within the zone and enables the consideration of the differences between what could be undertaken "as of right" and that which is proposed. When referencing and using Permitted Baseline such arguments should not be fanciful but based on realistic proposals and expectations.
- 3.04 In addition to Permitted Baseline considerations, Existing Use Right considerations could also apply especially where the proposed activity is similar in nature and previously lawfully established.
- 3.05 In this circumstance any subdivision proposal requires a resource consent application. On this basis it is considered that the Permitted Baseline consideration is not useful to this application and neither does Existing Use Right considerations apply.
- 3.06 The future uses of both lots will continue to be for rural lifestyle purposes which matched the current environment in which the proposed lots are located.

## **SUBDIVISION ASSESSMENT CRITERIA EVALUATION**

3.07 The following criteria applies to this application. Only those matters relevant to the proposal have been included in this assessment.

### 13.10 ASSESSMENT CRITERIA

In considering whether or not to grant consent or impose conditions on this application, such work, needs to be completed prior to the issuance of the s224(c) Certificate.

#### 13.10.1 ALLOTMENT SIZES AND DIMENSIONS

- (a) Whether the allotment is of sufficient area and dimensions to provide for the intended purpose or land use, having regard to the relevant zone standards and any District wide rules for land uses.
- (b) Whether the proposed allotment sizes and dimensions are sufficient for operational and maintenance requirements.
- (c) The relationship of the proposed allotments and their compatibility with the pattern of the adjoining subdivision and land use activities, and access arrangements.
- (d) Whether the cumulative and long term implications of the proposed subdivisions are sustainable in terms of preservation of the rural and coastal environments.

3.08 The proposed lot sizes are similar to original allotment configuration which existed (separately) prior to 2002 when each lot had their own separate title. The owner at the time decided to amalgamate the two lots for non-RMA reasons and this has resulted in the title arrangement presented today. The size of each lot is already below the minimum lot size specified and they were created (and considered suitable for lifestyle purposes) prior to 2002. It is considered that this proposal marks a return to an early allotment layout with minor changes to the boundaries and sufficient Planning and Engineering support to justify the two lots with onsite servicing. Other than the immediate neighbour (from whom supports the proposal), no other property would see both dwellings due to the existing topography and pockets of vegetation with the site. Neither dwelling would be visible to each other although the proposed dwelling would be visible along the vehicle access.

3.09 There are many lifestyle lots of a similar size in the wider area and it is noted that these lots are still twice the size of lots which could be approved if one of the subdivision options were available. While these options are not available it does infer that similar (and more intensive) densities are acceptable.

3.10 The proposed lots are considered to be of sufficient size to accommodate all necessary onsite infrastructure including wastewater treatment and disposal, onsite stormwater management and provide for a potable and firefighting water supply.

3.11 The subdivision proposal does not compromise the rural character of the area which will continue to have rural lifestyle related characteristics with residential and rural type buildings. It is contended that density of development will remain similar and the effects resulting from this proposed application will be less than minor in terms of allotment size and dimensions. The proposal is considered to maintain rural character and amenity levels. The proposed house site location within the vacant, proposed Lot 1, will only be partially visible to traffic heading west on Puketona Road due to topography, some

roadside vegetation, and the road's alignment. The dwelling would also be partially obscured from those travelling on Puketutu Drive primarily due to the distance set back from the road for the house site, the intermittent vegetation located on the driveway and short viewing period for the property which has a small road frontage onto Puketutu Drive.

3.12 It is considered that the lot size is appropriate for zone and immediate area.

#### 13.10.2 NATURAL AND OTHER HAZARDS

In assessing any subdivision, and for the purposes of s106 of the Act, the Council will have regard to:

- (a) Any information held by the Council or the Northland Regional Council regarding natural hazards, contaminated sites or other hazards.
  - (b) Information obtained by suitably qualified experts, whose investigations are supplied for subdivision applications.
  - (c) Potential adverse effects on other land that may be caused by the subdivision or anticipated land use activities.
  - (d) In relation to inundation from any source, the Council shall have regard to the following factors:
    - (ii) flood plain management measures proposed;
    - (iv) any proposed boundary drainage to protect surrounding properties;
    - (v) the adequacy of existing outfalls and any need for upgrading;
    - (vi) any need for retention basins to regulate the rate and volume of surface run-off.
- 3.13 The application site is subject to potential flood risk as mapped within various planning documents including the proposed plan and NRC mapping databases. There is a portion of the proposed vacant lot which is free of this flood risk notation, and which is sufficiently large enough to encapsulate the proposed dwelling and onsite servicing. Some of the existing access and that proposed to reach the potential house site, would be subject to flood risk. The existing dwelling on proposed Lot 2 is also free of the flood risk notation.
- 3.14 The Engineer's report addresses the potential flood risk and provides some recommendations as part of a positive outcome. In preparing the Engineering report, reference and consideration of the relevant planning documents as well as the recently released National Policy Statement for Natural Hazards (NPS-NH) was completed. The report addresses this NPS and the related requirements. The recommendations incorporate these requirements and provide some standard engineering requirements to be imposed as conditions. The conclusion is that there is sufficient space for not only a dwelling but also all required onsite servicing, within the flood free area within proposed Lot 1.
- 3.15 There was extensive commentary on the existing vehicle access and the potential solutions to the risk of access being impassable in a severe weather event. The potential measures, including raising the road levels, looking at alternatives etc. but none of them would make any practical sense, and would be very costly. For these reasons the internal access is considered to be acceptable as it currently presents, and that no recommended changes to the existing access arrangements be made.

- 3.16 In addition, the applicant advises that in the past 20 years, that they have resided on the application site, there have been no instances where they have not been able to access their property. There are many properties located to the north of the application site also off Puketutu Drive which fall entirely within this flood risk notation (including the immediate neighbour) and there have been no recent issues or concerns raised. There was one historical event which did cause issues, but this scale of event has not been seen with recent events well below the extremes that that event reached.
- 3.17 The extent of existing built form complies with impermeable surface coverage both currently and following the subdivision of the property and reduced lot sizes. There is no discernible adverse contribution from existing or additional impermeable surfaces to the catchment. The only additional impermeable surfaces will be the recommended passing bay which will have a negligible effect.
- 3.18 There is no proposed excavation and filling required for the subdivision proposal however there will be some excavation and filling associated with the future dwelling's construction. This is not expected to breach the permitted excavation and filling allowances for the Rural Production zone.
- 3.19 The potential hazard related effects are considered to be less than minor.

#### 13.10.3 WATER SUPPLY

- (a) Where there is no reticulated water supply available for connection, whether it would be appropriate to allow a private restricted flow rural-type water supply system; such supply being always available and complying with "Drinking Water Standards of New Zealand" (1995).
- (b) Whether the provisions of the "Engineering Standards and Guidelines 2004 – Revised March 2009" (to be used in conjunction with NZS 4404:2004) have been met in respect of fire fighting water supply requirements.
- 3.20 The existing dwelling provides for its own water supply by harvesting roof water and the proposed vacant lot will also use this means for a potable supply. All guidelines around drinking water standards will be adhered to with respect to ensuring a suitable supply is provided.
- 3.21 The supply of water for firefighting purposes is a necessary requirement in rural locations and which will be provided for with respect to the vacant lot. The required water supply will be in accordance with the required standards and will be confirmed as part of the Building Consent process. No changes are required for proposed Lot 2 which contains the existing dwelling.

#### 13.10.4 STORMWATER DISPOSAL

- (d) The degree to which Low Impact Design principles have been used to reduce site impermeability and to retain natural permeable areas.
- (e) The adequacy of the proposed means of disposing of collected stormwater from the roof of all potential or existing buildings and from all impervious surfaces.
- (k) Any adverse effects of the proposed subdivision on drainage to, or from, adjoining properties and mitigation measures proposed to control any adverse effects.

- 3.22 The stormwater management for the site is considered to be a relatively minor issue to be addressed as the existing development on proposed Lot 2 illustrates no issues with respect to the consented development. The proposed vacant lot 1 will require careful management of water with measures to address roof water harvesting, onsite wastewater treatment and disposal, and natural overland flow from other impermeable surfaces and land on the higher portion of the lot. The consulting engineer raises no specific concerns over stormwater management, but the site is restricted because of the potential flood risk. Appropriate conditions have been recommended for this aspect to be addressed at the building consent stage. Effects are considered to be less than minor.

#### 13.10.5 SANITARY SEWAGE DISPOSAL

- (e) Where a reticulated system is not available, or a connection is impractical, whether a suitable sewage treatment or other disposal systems is provided in accordance with regional rules or a discharge system in accordance with regional rules or a discharge permit issued by the Northland Regional Council.

- 3.23 The proposed vacant lot will require a wastewater treatment and disposal system tailored and designed to the eventual development to be undertaken within the lot. The engineer's report details the potential location of not only the dwelling but also the wastewater treatment and disposal area given the flood risk over part of the application site. The existing system for proposed Lot 2 is consented and functioning well. The potential wastewater effects are less than minor.

#### 13.10.6 ENERGY SUPPLY

- (b) Whether the proposed reticulated system to be installed by the subdivider is adequate for the likely development.
- (g) Whether the subdivision design, location of building platforms and proposed electricity supply has had adequate regard to the future adoption of appropriate renewable energy initiatives and technologies.

- 3.24 The physical provision of a power supply to the property boundary is not a requirement of subdivision applications within the Rural Production Zone. Easements have been provided for the current lines and supply is available to the vacant lot. Options for alternative supply are available from various alternative providers, and this will be undertaken (if relevant) at the building consent stage.

#### 13.10.7 TOP ENERGY TRANSMISSION LINES

Where it is proposed to subdivide land to create new allotments within an area measured 20m of either side of the centre point of an electrical transmission line designed to operate at or above 50 kV, particular regard shall be had to the following matters:

- 3.25 This provision does not apply as there are no 50kV lines near to the application site.

#### 13.10.8 TELECOMMUNICATIONS

- (a) Where the subdivision involves construction of new roads or formed rights of way, whether an extended reticulation system has been installed (at the subdivider's cost), having regard to the Council's "Engineering Standards and Guidelines 2004 – Revised March 2009 (to be used in conjunction with NZS 4404:2004) and "The National Environmental Standard for Telecommunication Facilities 2008".
- (c) Whether the proposed reticulation system will have potential adverse effects on amenity values.

- 3.26 Supply to the property boundary of telecommunication connections are not required for subdivisions within the Rural Production zone as per the rules of the district plan.

#### 13.10.9 EASEMENTS FOR ANY PURPOSE

Whether there is a need for an easement for any of the following purposes:

- (b) Easements in respect of other parties in favour of nominated allotments or adjoining Certificates of Title.
  - (c) Service easements, whether in gross or private purposes, with sufficient width to permit maintenance, repair or replacement. Centre line easements shall apply when the line is privately owned and unlikely to require upgrading.
  - (d) Easements for any of the following purposes:
    - (i) private ways, whether mutual or not;
    - (ii) stormwater, sanitary sewer, water supply, electric power, gas reticulation;
    - (iii) telecommunications;
- 3.27 There are several existing easements for ROW, power supply, and telecommunications. These easements service the existing lot layout and the proposed additional lot moving forward. The application includes an extension of the existing ROW easements (the s348 component) to match the existing onsite access. This also widens the exiting easements to meet minimum width requirements.

#### 13.10.10 PROVISION OF ACCESS

- (a) Whether provision for access to and within the subdivision, including private roads, has been made in a manner that will avoid, remedy or mitigate adverse effects on the environment, including but not limited to traffic effects, including effects on existing roads, visual effects, effects on vegetation and habitats, and natural character.
- 3.28 The proposed additional lot will be accessed via the existing ROW easements located off Puketutu Drive. The entrance off Puketutu Drive will provide access to three titles (currently two) and is located close to the intersection with Puketona Road. The access is however considered to be safe and functional and not expected (as confirmed within the Engineer's report) to have any adverse effect resulting from the additional loading. The proposal will not result in adverse effects on the entrance, access to the proposed house site location, or other road users of Puketutu Drive.
- 3.29 The existing internal access formation is considered to be more than adequate although it is recommended that a passing bay be placed along the ROW access in accordance with the Council Standards. The easements are to be slightly widened with easements B & D (part of) adding to existing easement A. The additional width meets Councils' legal width requirements as detailed in the district plan. The access formation is good and does not require any upgrading, maintenance or related works.
- 3.30 Beyond the entrance points for proposed Lot 1, the existing ROW easements do not fully reflect the existing driveway access for proposed Lot 2 on which the current dwelling is located. For this reason, this subdivision proposal includes a s348 component which sees existing easements C, D (part of) & E added to the proposal. The landowner on which the easements are primarily located have provided their written approval and raise no concerns over the respective applications. The additional easements are also

occupied by a well constructed internal access road and no upgrades are considered necessary.

- 3.31 Commentary on the potential flood risk was considered in relation to the provision of access and although this existing access is located within the flood risk area there remains limited concern over its present location and formation. Consideration to upgrade (increasing the level of the road to be above the risk level) was noted within the Engineer's report but was not considered to be a practical solution for an access which continues to function well and which (according to the landowner/ applicant) not been subjected to flooding which resulted in the access being unusable. Re-routing was also not a practical solution with little or no gain from this consideration. Based on the consideration over the access with respect to flood risk, there were no recommended actions and it is therefore contended that access related effects are less than minor.
- 3.32 The effects of the proposed subdivision when considering access related matters is less than minor.

#### 13.10.11 EFFECT OF EARTHWORKS AND UTILITIES

- (a) Whether the effects of earthworks and the provision of services to the subdivision will have an adverse effect on the environment and whether these effects can be avoided, remedied or mitigated.
- 3.33 There are no earthworks proposed other than some minor works associated with the installation of a passing bay as recommended. The effects are considered to be less than minor.

#### 13.10.12 BUILDING LOCATIONS

- (a) Whether the subdivision provides physically suitable building sites.  
(b) Whether or not development on an allotment should be restricted to parts of the site.  
(d) Whether the subdivision design in respect of the orientation and dimensions of new allotments created facilitates the siting and design of buildings able to take advantage of passive solar gain (e.g. through a northerly aspect on an east/west axis).
- 3.34 The proposed subdivision results in a vacant lot on which a dwelling will be constructed in the future. The Engineer's report confirms that a suitable house site is located within the proposed lot and this site can be developed. There are several onsite constraints related to potential flood risk which directs all development (including onsite servicing) onto the higher areas of the proposed lot. There are no issues or concerns over this house site location and the means to service the property.
- 3.35 The proposed lots could install solar energy if required. There is no impediment to this occurring should the future landowner and occupier elect this source of power.

#### 13.10.13 PRESERVATION AND ENHANCEMENT OF HERITAGE RESOURCES, VEGETATION, FAUNA AND LANDSCAPE, AND LAND SET ASIDE FOR CONSERVATION PURPOSES

- (a) Whether any vegetation, habitats of indigenous fauna, heritage resources and landscape features are of sufficient value in terms of the objectives and policies in Chapter 12 of the Plan, that they should be protected.

- (b) Whether the means (physical and/or legal) by which ongoing preservation of the resource, area or feature will be achieved is adequate.
- (g) Whether the subdivision will result in the permanent protection and/or enhancement of heritage resources, areas of significant indigenous vegetation and significant habitats of indigenous fauna, outstanding landscapes, outstanding landscape features or outstanding natural features.
- (h) Whether the subdivision will result in the significant enhancement of biodiversity values through planting of native flora (preferably those species that naturally grow in the area) and ongoing management (including pest animal and plant control, fencing and replacement of failed plantings, stream enhancement and waterway protection).

3.36 The application site contains no Outstanding Natural Features, Outstanding Landscapes, or other resource features as denoted in the district plan.

3.37 The proposed lots are largely devoid of any vegetation and in pasture, but there are trees in various locations including the access corridor and along some fence lines. There is no requirement to provide additional vegetation within the site and it shall remain the future owner's decision as to what planting is to be undertaken should they wish to undertake this.

#### 13.10.14 SOIL

- (a) The extent to which any subdivision will contribute to or affect the ability to safeguard the life supporting capability of soil.
- (b) The degree to which the life supporting capacity of the soil may be adversely affected by the subdivision and the degree to which any soils classified as I, II or III in the NZ Land Resource Inventory Worksheets are adversely affected by the subdivision.

3.38 The application site has a mixture of soil types and is used for pastoral farming or lifestyle properties. This use will continue in the future.

#### 13.10.15 ACCESS TO WATERBODIES

3.39 The application site contains no permanent waterbodies but does have rural drains which flow during rainy weather. The property adjoins an existing Local Purpose Esplanade Reserve located on the western boundary of proposed Lot 2 and which borders with the Waitangi River.

#### 13.10.16 LAND USE INCOMPATIBILITY

- (a) The degree to which the proposed allotments take into account adverse effects arising from incompatible land use activities (including but not limited to noise, vibration, smell, smoke, dust and spray) resulting from an existing land use adjacent to the proposed subdivision.

3.40 The proposed uses for proposed Lots 1 & 2 will remain lifestyle and consistent with all lots within the immediate area.

#### 13.10.17 PROXIMITY TO AIRPORTS

3.41 The application site is not close to an airport and this provision does not apply.

#### 13.10.18 NATURAL CHARACTER OF THE COASTAL ENVIRONMENT

- 3.42 The application site is not located near to the coast and this consideration is not relevant.

13.10.19 ENERGY EFFICIENCY AND RENEWABLE ENERGY DEVELOPMENT /USE  
The extent to which the application promotes energy efficiency and renewable energy development and use through the following initiatives:

- (a) ability to develop energy efficient buildings and structures (e.g. by providing a north-facing site with the ability to place a building on an east/west axis);

- 3.43 The district plan encourages the ability of lot owners to utilise renewable energy options and to adopt energy efficient design in the development within the lot. This is most commonly applicable to domestic solar energy systems. This subdivision application does not inhibit this potential with both lots able to utilise renewable energy options if they wish too.

#### 13.10.20 NATIONAL GRID CORRIDOR

- 3.44 The application site contains no National Grid Corridor and therefore this provision does not apply to this application.

### **CONCLUSION**

- 3.45 The subdivision application while non-complying is considered to an acceptable proposal which provides two equally sized lifestyle lots which can each provide for their onsite servicing and for proposed Lot 1 also includes a suitable house site.
- 3.46 The assessment of effects does not identify any matters of concern and the less than minor effects can be further mitigated via conditions of consent. The application is considered to represent a positive development for the immediate area with no adverse effects created or effects which could be considered as minor or more than minor. The proposal provides superior environmental outcomes as noted within the assessment, whilst providing an opportunity for a new residence to be constructed assisting the new landowner in providing for their family.

## **4.0 DISTRICT PLAN OBJECTIVES AND POLICIES**

- 4.01 With the subdivision component of the application being a Non-Complying the presumption is that the proposal may be contrary to objectives and policies which apply to the site. The following considerations will detail how the proposal is generally consistent with key objectives and policies for the Subdivision chapter. When considering the objectives and policies of the plan the following sections of the plan were considered to be the most relevant.

### **SUBDIVISION**

#### **13.3 OBJECTIVES**

- 13.3.1 To provide for the subdivision of land in such a way as will be consistent with the purpose of the various zones in the Plan, and will promote the sustainable management of the natural and physical resources of the District, including airports and roads and the social, economic and cultural well being of people and communities.
- 13.3.2 To ensure that subdivision of land is appropriate and is carried out in a manner that does not compromise the life-supporting capacity of air, water, soil or ecosystems, and that any actual or potential adverse effects on the environment which result directly from subdivision, including reverse sensitivity effects and the creation or acceleration of natural hazards, are avoided, remedied or mitigated.
- 13.3.5 To ensure that all new subdivisions provide a reticulated water supply and/or on-site water storage and include storm water management sufficient to meet the needs of the activities that will establish all year round.
- 13.3.8 To ensure that all new subdivision provides an electricity supply sufficient to meet the needs of the activities that will establish on the new lots created.
- 13.3.9 To ensure, to the greatest extent possible, that all new subdivision supports energy efficient design through appropriate site layout and orientation in order to maximise the ability to provide light, heating, ventilation and cooling through passive design strategies for any buildings developed on the site(s).
- 13.3.10 To ensure that the design of all new subdivision promotes efficient provision of infrastructure, including access to alternative transport options, communications and local services.

### **COMMENTARY**

- 4.02 The history of the application site notes that there were separate parcels which comprised the application site and for non-RMA reasons, the two lots were amalgamated. The application sees these lots separated again with slightly modified boundaries to better reflect on ground development that has occurred over time. The lots although non-complying have sufficient space and size to accommodate a dwelling and related servicing and the lot sizes are still larger than the smaller lot sizes possible in the subdivision rules albeit associated with a balance area.
- 4.03 The existing development on proposed Lot 2 consists of a dwelling and accessory buildings and all onsite related services are functioning well. There are no upgrades required to these existing services or any required to be checked or made. The proposed vacant lot has an area free of the potential flood risk and is also able to address onsite

servicing as detailed within the Engineering report. There are several recommended conditions of consent which will be met during the completion of the subdivision and then applicable when the site is developed in the future.

- 4.04 Many of the outcomes sought by the plan in terms of objectives are outcomes based and required to not only meet design expectations but also key outcomes from the development. Therefore, in most instances a well designed development or one which meets with Council's expectations can be considered consistent with relevant objectives. Potential effects attributable to the design are also factors to be considered.
- 4.05 A common outcome sought with respect to lifestyle subdivisions is the desire to prevent the creation of potential reverse sensitivity concerns and circumstances. The area is primarily a rural lifestyle area with a small number of larger farming entitlements of sufficient scale. These larger farms tend to be beef and sheep and not dairy or higher intensity uses. It is contended that the proposal is consistent with the immediate character of the area and amenity levels of the proposed lots or existing lots within the immediate vicinity will not be compromised by the application.
- 4.06 The rural zoning does not require reticulation to be provided for power and telecommunications but does require sufficient provision made (usually in terms of easements) for supply should the owner require a reticulated supply. Easements are in place and options to consider alternative energy sources are not inhibited by the application. The proposed dwelling will have a northeasterly/ easterly orientation and so will enjoy extensive period of sunshine until it disappears behind the nearby hills.
- 4.07 The subdivision will provide the opportunity for another residential unit which will provide for the social and economic well-being of the occupier.
- 4.08 The proposed subdivision is considered to be generally consistent with the relevant subdivision Objectives.

#### 13.4 POLICIES

- 13.4.1 That the sizes, dimensions and distribution of allotments created through the subdivision process be determined with regard to the potential effects including cumulative effects, of the use of those allotments on:
- (d) amenity values;
  - (g) existing land uses.
- 13.4.2 That standards be imposed upon the subdivision of land to require safe and effective vehicular and pedestrian access to new properties.
- 13.4.4 That in any subdivision where provision is made for connection to utility services, the potential adverse visual impacts of these services are avoided.
- 13.4.5 That access to, and servicing of, the new allotments be provided for in such a way as will avoid, remedy or mitigate any adverse effects on neighbouring property, public roads (including State Highways), and the natural and physical resources of the site caused by silt runoff, traffic, excavation and filling and removal of vegetation.
- 13.4.13 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the applicable zone in regards to s6 matters. In addition subdivision, use and development shall avoid adverse effects as far as practicable by using techniques including:

- (g) achieving hydraulic neutrality and ensuring that natural hazards will not be exacerbated or induced through the siting and design of buildings and development.
- 13.4.14 That the objectives and policies of the applicable environment and zone and relevant parts of Part 3 of the Plan will be taken into account when considering the intensity, design and layout of any subdivision.
- 13.4.15 That conditions be imposed upon the design of subdivision of land to require that the layout and orientation of all new lots and building platforms created include, as appropriate, provisions for achieving the following:
  - (a) development of energy efficient buildings and structures;
  - (b) reduced travel distances and private car usage;
  - (c) encouragement of pedestrian and cycle use;
  - (d) access to alternative transport facilities;
  - (e) domestic or community renewable electricity generation and renewable energy use.
- 4.09 The policies for the zone seek to deliver the broader objectives of the subdivision provisions and offer more targeted considerations. The subdivision rules are considered to deliver the pattern of acceptable development whilst maintaining rural character and ensuring that environmental deliverables are achieved. The status of the application infers a proposal which is potentially contrary to the “sought after” planning outcomes, but this is not considered to be the case.
- 4.10 While the history of the application site comprised two titles which are now sought to be created again after being amalgamated as present. While past approvals do not determine current proposals it is important to note that it was previously comprising a title arrangement comparable to what is now proposed.
- 4.11 It is contended that the density and intent of the Rural Production Zone is achieved and not conflicted with by this proposal. The character and pattern of development is not unexpected within the context of the area and there have been similar proposals accepted by Council in the past with similar circumstances to the application site. The immediate character offers arrange of lot sizes comparable to that which is now proposed
- 4.12 Other than the potential flood risk there are few onsite restrictions with both lots able to contain a residential dwelling and provide a suitable lifestyle property. The immediate lots off Puketutu Drive are all lifestyle properties and similar sized properties are located along Puketona Road. Sizes are variable but not inconsistent with that which is proposed under this application. The site will also maintain a degree of amenity and provide sufficient separation between built form to maintain amenity levels.
- 4.13 The proposal is considered to be consistent with relevant subdivision policies for the Rural Production Zone.

## **5.0 REGIONAL POLICY STATEMENT CONSIDERATIONS**

- 5.01 The subdivision of land can be inconsistent with key objectives and policies of the Northland Regional Policy Statement. In this instance however there are no matters which remain applicable to the site which need to be assessed when considering the proposed subdivision. The land does is a lifestyle area and contains a mixture of soils

with variable qualities. The future development on the lots will avoid the flood prone areas and remain on the higher portions of the site. This also avoids the slightly higher quality soils although the flood risk suggests that its regular use for productive purposes is limited.

- 5.02 It is further noted that if the land was productive, then alternative uses would be established and would have been undertaken since the land was originally developed. It is contended that the productive capacity of the site is limited due to flood risk and that lifestyle purposes are a means to utilize the site in an appropriate and meaningful manner.
- 5.03 With flood risk managed by ensuring development avoids the flood prone areas and the flood susceptibility of the site restricting productive uses, the proposed subdivision is considered to be generally consistent with objective and policy considerations from the Regional Policy Statement.

## **PROPOSED FAR NORTH DISTRICT PLAN**

- 6.01 The proposed Far North District Plan applies from an objective and policy perspective given the application's non-complying activity status. These provisions are considered to be draft only but provide context for future zones and will likely be amended, endorsed or removed as part of the plan review process. The following objectives and policies seek to achieve the environmental outcomes and will be challenged with proposals which fall outside the zone expectations or could result in adverse effects.
- 6.02 It is contended that the assessment of effects and policy considerations undertaken with reference to the operative plan has resulted in a positive conclusion with effects being minor and the proposal not contrary to the objectives and policies. The proposed plan offers the following broad framework. It is further contended that there is limited legal weight that can be afforded to the proposed plan considerations given the extent of submissions and hearing completed.

### **SUB-O1**

Subdivision results in the efficient use of land, which:

- a. achieves the objectives of each relevant zone, overlays and district wide provisions;
- b. contributes to the local character and sense of place;
- c. avoids reverse sensitivity issues that would prevent or adversely affect activities already established on land from continuing to operate;
- d. avoids land use patterns which would prevent land from achieving the objectives and policies of the zone in which it is located;
- e. does not increase risk from natural hazards or risks are mitigated and existing risks reduced; and
- f. manages adverse effects on the environment.

SUB-O2 – not relevant

### **SUB-O3**

Infrastructure is planned to service the proposed subdivision and development where:

- a. there is existing infrastructure connection, infrastructure should be provided in an integrated, efficient, coordinated and future-proofed manner at the time of subdivision; and
- b. where no existing connection is available infrastructure should be planned and consideration be given to connections with the wider infrastructure network.

#### SUB-O4

Subdivision is accessible, connected, and integrated with the surrounding environment and provides for:

- a. public open spaces;
- b. esplanade where land adjoins the coastal marine area; and
- c. esplanade where land adjoins other qualifying waterbodies.

- 6.03 The proposed subdivision is considered to be generally consistent with these matters and not contrary to them. Objective SUB-O1 is the key objective with the remaining relating to more specific and targeted matters. The focus of the assessment completed in earlier sections has been on these considerations.
- 6.04 With respect to the policies linked to these objectives, they provide more context and additional detail. This detail has been provided through the assessment of effects and within the Engineering report provided. It is considered unnecessary to replicate the considerations noted within the policies. All that is required is to confirm that the matters expressed have been addressed and there are no matters which require further consideration or that results in adverse effects.
- 6.05 For similar reasons to the conclusions reached in the operative plan considerations the proposal is considered to be generally consistent and not contrary.

## 7.0 PART 2 CONSIDERATIONS

- 7.01 The application does not conflict with any matter or consideration under Part 2 of the Act. The proposal provides for the social and economic well-being of the current and future occupiers of the lots while ensuring the potential effects of the proposal are less than minor.
- 7.02 It is contended that the application for subdivision is appropriate and consistent with the intent and purpose of the Act.

## 8.0 NOTIFICATION ASSESSMENT S95A TO 95G OF THE ACT (BOTH COMPONENTS)

- 8.01 Sections 95A to 95G require Council to follow specific steps in determining whether to notify an application. In considering the conclusions findings within this report are relied upon.
- 8.02 Public Notification section 95A

### Step 1

Mandatory public notification in certain circumstances

- (a) the applicant has requested that the application be publicly notified;
- (b) public notification is required under section 95C:

- (c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

The applicant has not requested public notification and none of the remaining matters as described are applicable.

#### Step 2 Public Notification precluded in certain circumstances

The criteria for step 2 are as follows:

- (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification:
- (b) the application is for a resource consent for 1 or more of the following, but no other, activities:
  - (i) a controlled activity:
  - (ii) a restricted discretionary or discretionary activity, but only if the activity is a subdivision of land or a residential activity:
  - (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity:
  - (iv) a prescribed activity (see section 360H(1)(a)(i)).

The activity is not precluded from public notification as the activity is for a non-complying subdivision.

#### Step 3 – Public Notification required in certain circumstances

The criteria for Step 3 are as follows:

- (a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification:
- (b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

The NES Regulation (contaminated land) is not relevant to this application as there has been no uses which qualify as an activity on the HAIL list, and which have been undertaken on the application site. Furthermore, NRC records confirm there are no known contaminated sites within the application site. Previous consents under the Regulation related to land to the south of the application site and which formed part of the bulk earthworks approved and which has been remediated accordingly.

The effects from the proposed subdivision are considered to be less than minor as concluded within earlier sections of this report. The proposal offers additional environmental benefits whilst enabling an additional lot to be created. Effects on the wider environment are concluded as being less than minor.

### 8.03 Affected Persons Assessment – Limited Notification Section 95B

If the application is not required to be publicly notified, a Council must follow the steps of section 95B to determine whether to limited notify the application.

Step 1: certain affected groups and affected persons must be notified

- (2) Determine whether there are any—
- (a) affected protected customary rights groups; or
  - (b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).

There are no protected customary rights or customary marine titles which apply to the application site.

Step 2: if not required by step 1, limited notification precluded in certain circumstances  
The criteria for step 2 are as follows:

- (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:
- (b) the application is for a resource consent for either or both of the following, but no other, activities:
  - (i) a controlled activity that requires consent under a district plan (other than a subdivision of land);
  - (ii) a prescribed activity (see section 360H(1)(a)(ii)).

The application is not precluded from Limited Notification as neither of the exemptions as described above apply to the application.

Step 3: if not precluded by step 2, certain other affected persons must be notified

- (7) Determine whether, in accordance with section 95E, the following persons are affected persons:
- (a) in the case of a boundary activity, an owner of an allotment with an infringed boundary; and
  - (b) in the case of any activity prescribed under section 360H(1)(b), a prescribed person in respect of the proposed activity.

The only party considered to be affected in this proposal is the landowner which (via the s348 ROW easement application) is involved in meeting district plan requirements for legal access width. The additional land is owned by the owner of Lot 1 DP 174451 and who has provided their written approval. There are no other adjoining or adjacent persons who could be considered as potentially affected by the proposed subdivision or extended ROW easement.

On this basis the potential effects within the immediate area are considered to be less than minor and there are no persons other than Lot 1 DP 174451 are deemed to be affected by this proposal.

#### 8.04 Notification Assessment Conclusion

Pursuant to sections 95A to 95G it is recommended that the Council determine that the application can be processed non-notified for the following reasons:

- In accordance with section 95A, public notification is not required, and in particular the adverse effects on the wider environment are considered to be less than minor;
- In accordance with section 95B, no persons are considered as affected by the proposed subdivision with the conclusion reached that the effects are less than minor; and,
- In accordance with section 95A(9) and 95B(10), there are no special circumstances to require public or limited notification.

#### **9.0 S104D (GATEWAY TEST) ASSESSMENT – NON-COMPLYING ACTIVITY**

9.01 Section 104D identifies particular restrictions for non-complying activities and also details the circumstances in which Council can approve an application notwithstanding its non-complying status. The provision has the following requirements:

- (1) Despite any decision made for the purpose of notification in relation to adverse effects, a consent authority may grant a resource consent for a non-complying activity only if it is satisfied that either—
  - (a) the adverse effects of the activity on the environment (other than any effect to which section 104(3)(a)(ii) applies) will be minor; or
  - (b) the application is for an activity that will not be contrary to the objectives and policies of—
    - (i) the relevant plan, if there is a plan but no proposed plan in respect of the activity; or
    - (ii) the relevant proposed plan, if there is a proposed plan but no relevant plan in respect of the activity; or
    - (iii) both the relevant plan and the relevant proposed plan, if there is both a plan and a proposed plan in respect of the activity.

9.02 It is considered that the proposed subdivision consent does not create adverse effects on the environment that are minor or more than minor. It is also considered that the proposed subdivision and required landuse consents are not contrary to the Objectives and Policies of the Plan including subdivision provisions and the Rural Production considerations.

9.03 In reaching this conclusion, it is considered that the proposal meets both limbs of the test and therefore the thresholds of s104D of the Act, and that the Council can therefore grant the consent accordingly.

#### **10.0 SUMMARY**

10.01 The application is a subdivision consent seeking to create two lots within the Rural Production zone of the Far North District Plan. The subdivision is proposed to largely replicate a previous allotment layout which resulted in two lots being held together to

create one title with the reason being to save rating costs. The resultant lot sizes do not fit into any of the options available to subdivide but do reflect lot sizes which are not dissimilar in the area or zone.

- 10.02 The effects of the subdivision application have been assessed and concluded as being less than minor. There is flood risk potential on the proposed vacant lot (proposed Lot 1) but the site contains an area which can be developed free of this restriction. All onsite servicing can also be located within this area. An extensive Engineering assessment has been completed by Haigh Workman on this aspect and the conclusion reached identify no issues of particular concern.
- 10.03 No persons other than the owner of Lot 1 DP 174451 are deemed to be affected. This lot owner has provided their written approval and are a key landowner for the s348 component of this application. The effects on neighbours and the wider environment are considered to be less than minor.
- 10.04 It is considered that the proposed subdivision is not inconsistent with the relevant objectives and policies of the district plan or those within the proposed district plan.
- 10.05 The subdivision and development thereof is not contrary to Part 2 of the Act and will enable people to improve and provided for their social, cultural and economic well-being.
- 10.06 It is considered that the application can be approved under s104B and 104D of the Act as the two limbs of the “gateway tests” have been met.
- 10.07 With respect to conditions of consent the applicant would appreciate sighting a draft set of conditions for review and comment (if necessary).

Should you have any queries in respect to this application please contact me.

Yours faithfully



**Wayne Smith**

Zenith Planning Consultants Ltd

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**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** 990247  
**Land Registration District** North Auckland  
**Date Issued** 18 March 2021

**Prior References**  
43206

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**Estate** Fee Simple  
**Area** 1.7238 hectares more or less  
**Legal Description** Lot 2 Deposited Plan 310997 and Section  
16 Survey Office Plan 449324

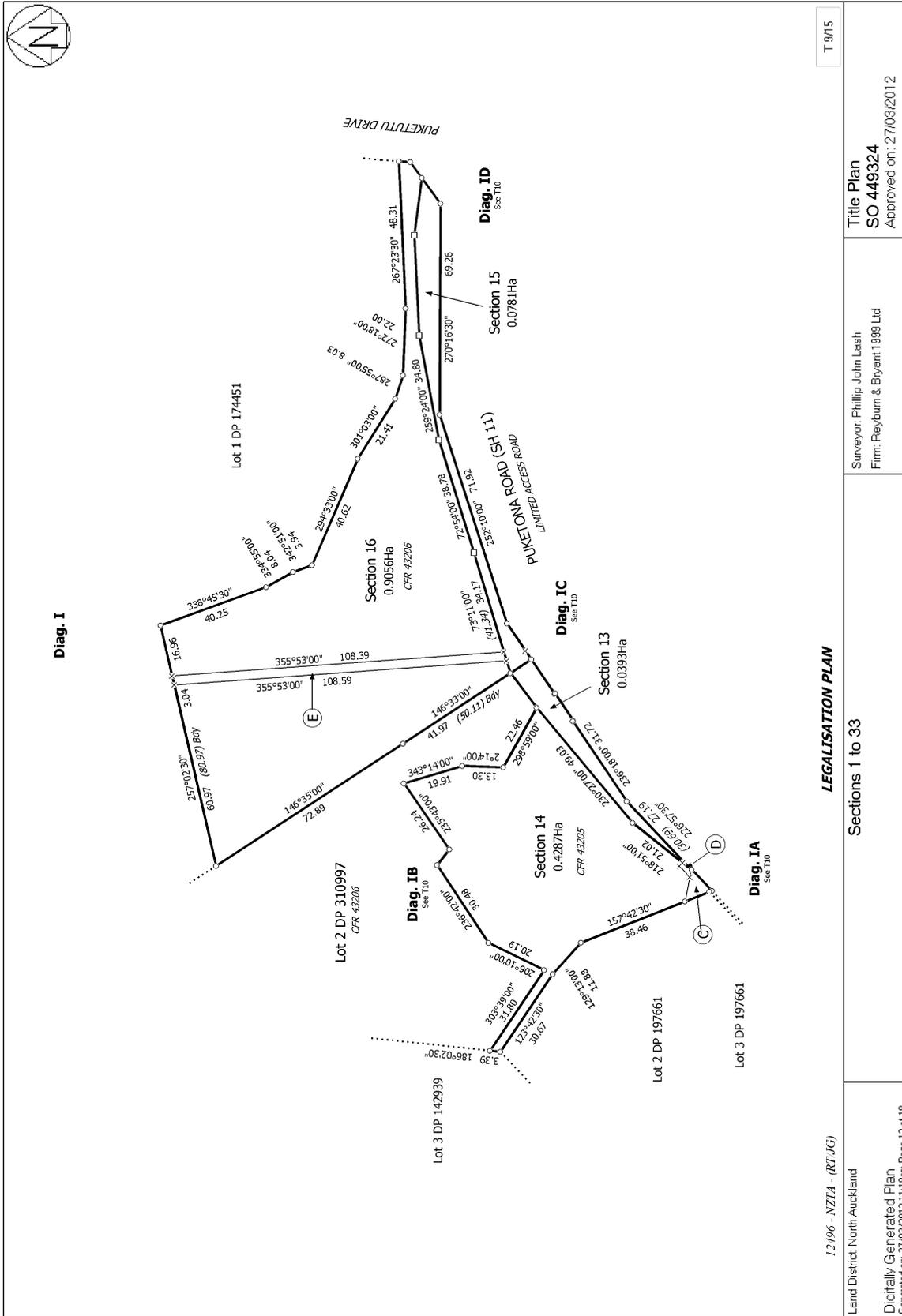
**Registered Owners**

Robert Colin Field as to a 1/2 share  
Michelle Louise White as to a 1/2 share

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**Interests**

Appurtenant to Section 16 SO 449324 is a right of way specified in Easement Certificate C399766.5 - 30.7.1992 at 2:42 pm  
The easements specified in Easement Certificate C399766.5 are subject to Section 309 (1) (a) Local Government Act 1974  
Appurtenant to Section 16 SO 449324 are water supply and underground power supply rights created by Transfer C844087.13 - 19.5.1995 at 11:43 am  
The easements created by Transfer C844087.13 are subject to Section 309 (1) (a) Local Government Act 1974  
Land Covenant in Transfer C892917.2 - 8.9.1995 at 3:22 pm (affects Section 16 SO 449324)  
Subject to an electricity supply and telecommunications right over part Section 16 SP 449324 marked E on SO 449324 specified in Easement Certificate D028423.2 - 5.8.1996 at 1.19 pm  
The easements specified in Easement Certificate D028423.2 are subject to Section 243 (a) Resource Management Act 1991  
Appurtenant to Section 16 SO 449324 is a right of way and right to convey water specified in Easement Certificate D028423.2 - 5.8.1996 at 1:19 pm  
Land Covenant in Transfer D055262.1 - 11.10.1996 at 11.00 am (affects Section 16 SO 449324)  
D336459.3 Variation of the conditions of the easement specified in D028423.2 - 2.12.1998 at 3.37 pm  
Subject to Section 241(2) Resource Management Act 1991 (affects DP 310997)  
7237619.3 Mortgage to ASB Bank Limited - 23.2.2007 at 2:39 pm



T 9/15

**LEGALISATION PLAN**

Sections 1 to 33

**Title Plan**  
SO 449324  
Approved on: 27/03/2012

Surveyor: Phillip John Lash  
Firm: Reybourn & Bryant 1999 Ltd

12496 - NZ14 - (RTJG)  
Land District: North Auckland  
Digitally Generated Plan  
Generated on: 27/03/2012 11:18am Page 12 of 18





**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA107A/471**  
**Land Registration District** **North Auckland**  
**Date Issued** 05 August 1996

**Prior References**  
NA97C/327

---

**Estate** Fee Simple  
**Area** 1.8901 hectares more or less  
**Legal Description** Lot 1 Deposited Plan 174451  
**Registered Owners**  
Graeme Allan Wykes and Annita Raewyn Wykes

---

**Interests**

Appurtenant hereto is a right of way specified in Easement Certificate C399766.5  
Subject to a water and power supply right over part marked D on DP 174451 specified in Easement Certificate C844087.10  
The easements specified in Easement Certificate C844087.10 are subject to Section 309 (1) (a) Local Government Act 1974  
Appurtenant hereto are water supply and underground power supply rights created by Transfer C844087.13  
The easements created by Transfer C844087.13 are subject to Section 309 (1) (a) Local Government Act 1974  
Land Covenant in Transfer C892917.2  
Subject to a right of way over part marked A and a right to convey water over part marked C on DP 174451 specified in Easement Certificate D028423.2 - 5.8.1996 at 1.19 pm  
Appurtenant hereto are electricity supply and telecommunications rights specified in Easement Certificate D028423.2 - 5.8.1996 at 1.19 pm  
The easements specified in Easement Certificate D028423.2 are subject to Section 243 (a) Resource Management Act 1991  
D336459.3 Variation of the conditions of the easement specified in D028423.2 - 2.12.1998 at 3.37 pm  
10056065.2 Mortgage to Bank of New Zealand - 29.5.2015 at 10:59 am



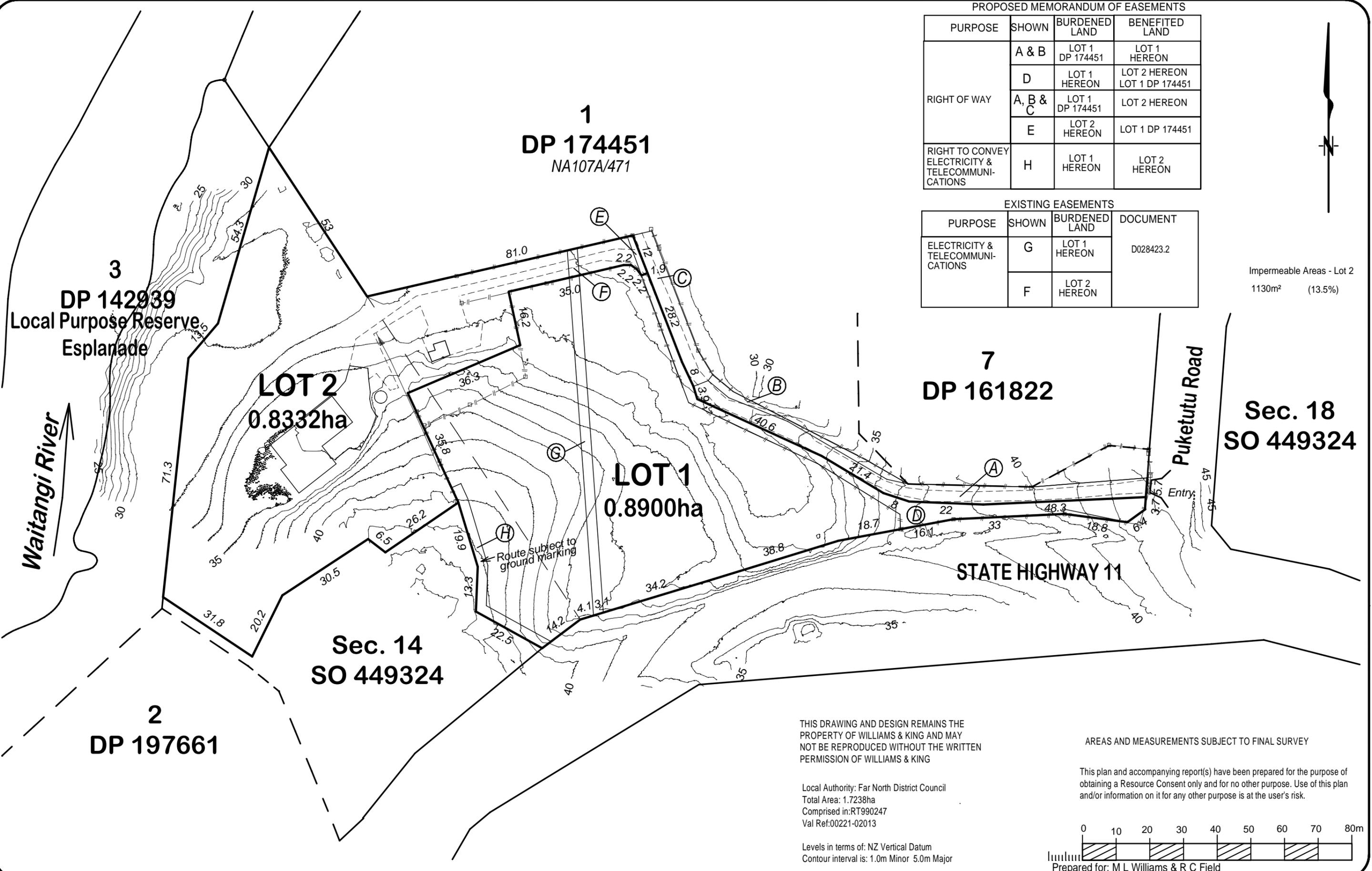
PROPOSED MEMORANDUM OF EASEMENTS

PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY	A & B	LOT 1 DP 174451	LOT 1 HEREON
	D	LOT 1 HEREON	LOT 2 HEREON LOT 1 DP 174451
	A, B & C	LOT 1 DP 174451	LOT 2 HEREON
	E	LOT 2 HEREON	LOT 1 DP 174451
RIGHT TO CONVEY ELECTRICITY & TELECOMMUNICATIONS	H	LOT 1 HEREON	LOT 2 HEREON

EXISTING EASEMENTS

PURPOSE	SHOWN	BURDENED LAND	DOCUMENT
ELECTRICITY & TELECOMMUNICATIONS	G	LOT 1 HEREON	D028423.2
	F	LOT 2 HEREON	

Impermeable Areas - Lot 2  
1130m<sup>2</sup> (13.5%)



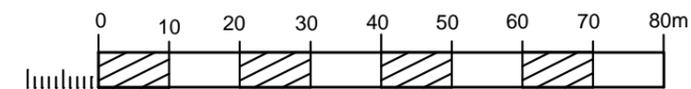
THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF WILLIAMS & KING AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF WILLIAMS & KING

Local Authority: Far North District Council  
Total Area: 1.7238ha  
Comprised in: RT990247  
Val Ref: 00221-02013

Levels in terms of: NZ Vertical Datum  
Contour interval is: 1.0m Minor 5.0m Major

AREAS AND MEASUREMENTS SUBJECT TO FINAL SURVEY

This plan and accompanying report(s) have been prepared for the purpose of obtaining a Resource Consent only and for no other purpose. Use of this plan and/or information on it for any other purpose is at the user's risk.



Prepared for: M L Williams & R C Field

**WILLIAMS AND KING**  
Registered Land Surveyors, Planners & Land Development Consultants  
Ph: (09) 407 6030  
Email: kerikeri@saps.co.nz  
27 Hobson Ave  
PO Box 937 Kerikeri

**Proposed Subdivision of Section 16 SO 449324 & Lot 1 DP 310997 & Easements over Lot 1 DP 174451**

NAME	DATE	ORIGINAL SCALE	SHEET SIZE
SURVEY DESIGN			
DRAWN	W & K	Nov 2025	
REV			

1:1000 A3

**24735**

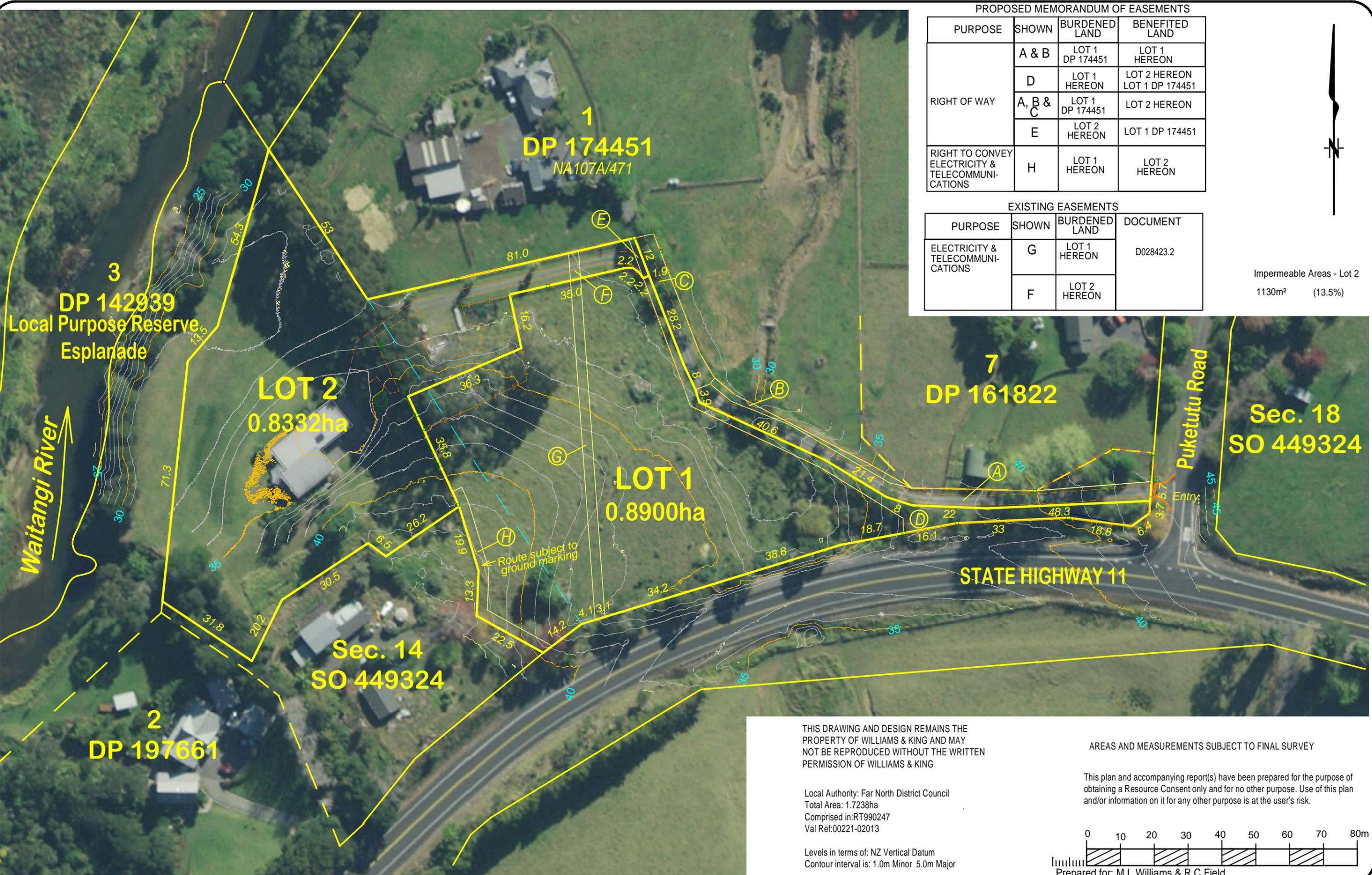
PROPOSED MEMORANDUM OF EASEMENTS

PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY	A & B	LOT 1 DP 174451	LOT 1 HEREON
	D	LOT 1 HEREON	LOT 2 HEREON LOT 1 DP 174451
	A, B & C	LOT 1 DP 174451	LOT 2 HEREON
	E	LOT 2 HEREON	LOT 1 DP 174451
RIGHT TO CONVEY ELECTRICITY & TELECOMMUNICATIONS	H	LOT 1 HEREON	LOT 2 HEREON

EXISTING EASEMENTS

PURPOSE	SHOWN	BURDENED LAND	DOCUMENT
ELECTRICITY & TELECOMMUNICATIONS	G	LOT 1 HEREON	D028423.2
	F	LOT 2 HEREON	

Impermeable Areas - Lot 2  
1130m<sup>2</sup> (13.5%)



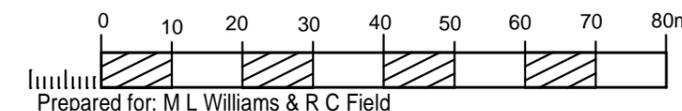
THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF WILLIAMS & KING AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF WILLIAMS & KING

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Prepared for: M L Williams & R C Field

**WILLIAMS AND KING**  
Registered Land Surveyors, Planners &  
Land Development Consultants

Ph: (09) 407 6030 27 Hobson Ave  
Email: kerikeri@saps.co.nz PO Box 937 Kerikeri

Proposed Subdivision of Section 16 SO 449324 & Lot 1 DP 310997 & Easements over Lot 1 DP 174451

NAME	DATE	ORIGINAL SCALE	SHEET SIZE
SURVEY		1:1000	A3
DESIGN			
DRAWN	W & K Nov 2025		
REV			

24735



**NOTICE OF WRITTEN APPROVAL**

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

**PART A – To be completed by Applicant**

Applicant/s Name:	Rob Field + Michelle Williams
Address of proposed activity:	1 Puketutu Drive, Haruru
Legal description:	Section 16 S0449324 + Lot 1 DP 310997
Description of the proposal (including why you need resource consent):	The proposed subdivision of section 16 S0 449324 + Lot 1 DP 310997 to create 2 lots + to create easements over Lot 1 DP 174451 for proposed Lots 1 + 2
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> <li>1. <u>Scheme Plan</u></li> <li>2. _____</li> <li>3. _____</li> <li>4. _____</li> <li>5. _____</li> <li>6. _____</li> </ol>

- Notes to Applicant:**
1. Written approval must be obtained from all registered owners and occupiers.
  2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
  3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

**PART B – To be completed by Parties giving approval**

**Notes to the party giving written approval:**

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Ciraeme Allan Wykes + Anita Raeleigh Wykes

Address of affected property including legal description

Puketutu Drive, Haruru.  
DP 174451

Contact Phone Number/s and email address

Daytime: 027 4844037 (Ciraeme) email:  
027 3088332 (Anita) annitaw67@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

*Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.*

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

*[Handwritten Signature]*

Date

16.2.2026

Signature

*[Handwritten Signature]*

Date

16.2.2026

Signature

[Blank Signature Box]

Date

[Blank Date Box]

Signature

[Blank Signature Box]

Date

[Blank Date Box]

Approved by the District Land Registrar, South Auckland No. 351560  
 Approved by the District Land Registrar, North Auckland, No. 4380/81  
 Approved by the Registrar-General of Land, Wellington, No. 436748.1/81

## EASEMENT CERTIFICATE

(IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein).

¶ We JOHN REX KETT BINNEY of Paihia, Retired and PHYLLIS MAY BINNEY his wife

being the registered proprietor(s) of the land described in the Schedule hereto hereby certify that the easements specified in that Schedule, the servient tenements in relation to which are shown on a plan of survey deposited in the Land Registry Office at Auckland on the 9th day of May 1996 under No. 174451 are the easements which it is intended shall be created by the operation of section 90A of the Land Transfer Act 1952.

### SCHEDULE DEPOSITED PLAN NO. 174451

Nature of Easement (e.g., Right of Way, etc.)	Dominant Tenement		Servient Tenement Lot No.(s) or other Legal Description	Title Reference
	Lot No.(s) or other Legal Description	Colour, or Other Means of Identification, of Part Subject to Easement		
Right of way	Lot 2 on plan 174451	also shown as "A" on plan 174451	Lot 1 on plan 174451	(97C/327) 107A/471 107A/472
Electricity supply & tele- communications	Lot 1 on plan 174451	also shown as "B" on plan 174451	Lot 2 on plan 174451	(97C/327) 107A/471 107A/472
Right to convey water	Lot 2 on plan 174451	also shown as "C" on plan 174451	Lot 1 on plan 174451	(97C/327) 107A/471 107A/472

EC D028423.2 Easement

Cpy - 01/01.Pgs 004.26/01/07.10:32



DocID: 31279932

State whether any rights or powers set out here are in addition to or in substitution for those set out in the Seventh Schedule to the Land Transfer Act 1952.

1. Rights and powers:

2. Terms, conditions, covenants, or restrictions in respect of any of the above easements:

Dated this 31 day of July 1996  
Signed by the above-named  
JOHN REX KETT BINNEY and  
PHYLLIS MAY BINNEY  
in the presence of *B. M. Atkins*  
Witness .....  
Occupation ..... **B. M. ATKINS**  
Address ..... **WHANGAREI** .....  
*JRK Binney*  
*P.M. Binney*

# EASEMENT CERTIFICATE

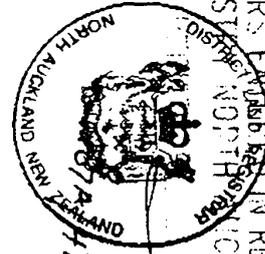
(IMPORTANT): Registration of this certificate does not of itself create any of the easements specified herein.

Correct for the purposes of the Land Transfer Act



Solicitor for the registered proprietor

*continued*  
[Faint, illegible text]



471-472

179 05 AUG 98 D 028423.2  
PARTICULARS ENTERED IN REGISTER  
LAND REGISTER NORTH AUCKLAND  
DISTRICT REGISTRAR

D336454-3 Variation of Terms & Conditions of the within Easements -  
2-12-1948 at 3-37 Sec 9

*9 Aug 98*  
*J. B. [unclear]*

LYNCH & ATKINS  
SOLICITORS  
WHANGAREI

D336459.3 VE

MEMORANDUM OF VARIATION OF EASEMENT

The terms, covenants and conditions contained or implied in the easement created by Easement Certificate No. D028423.2 are hereby varied as follows:

By the addition of the following rights and powers:

Electricity Supply

The owners for the time being of the dominant tenement shall have the following rights, powers and privileges namely:

1. The right for the registered proprietor for the time being of the dominant tenement and other authorised persons in common with the registered proprietor of the servient tenement (and all others having the like right) to lead and convey electricity, electric impulses and any other form of electricity without interruption or impediment (except during periods of necessary renewal or repair) by means of conduit cables wires or other electrical apparatus laid or to be laid under the surface of and through the soil of those parts of the servient tenement shown "B" to the dominant tenement.
2. The registered proprietor for the time being of the dominant tenement shall be responsible for the repair and maintenance of the electrical conduits cables wires poles or other electrical apparatus so as to keep the same in good order repair and condition and to prevent the same from becoming a danger or nuisance except that any damage caused to the electrical conduits wires poles or other electrical apparatus by the owner of either the dominant or servient tenements or his or their servants agents invitees employees or contractors shall be repaired and made good as soon as reasonably practicable to the standard required by the electricity authority having jurisdiction in respect of same and at the costs of the party responsible in all matters.
3. In order to construct or maintain the efficiency of any such conduits cables wires poles or other electrical apparatus the full free uninterrupted and unrestricted right liberty and privilege for the registered proprietor for the time being of the dominant tenement his tenants servants agents and workman with any tools implements machinery vehicles or equipment or whatsoever nature necessary for the purpose to enter upon the servient tenement and to remain thereon for any reasonable time for the purpose of laying inspecting cleansing repairing maintaining and renewing the said conduits cables wires poles or other electrical apparatus or any part thereof and of opening up the soil of the land to such extent as may be necessary and reasonable in that regard subject to the condition that as little disturbance as possible is caused to the surface of the land and that the surface is repaired as nearly as possible to its original condition and that any other damage done by reason of the aforesaid operations is repaired.

RECEIVED 0 0010 11 00

*[Handwritten signatures]*

## Telecommunications Easement

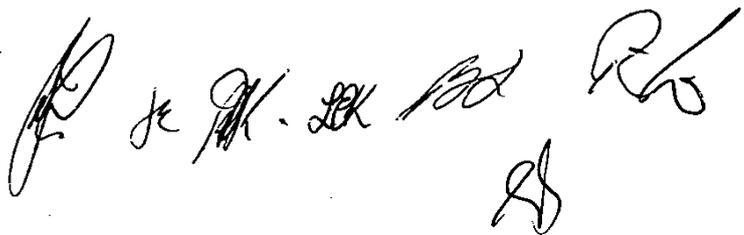
The owner for the time being of the dominant tenement shall have the following rights powers and privileges namely:

For the owner for the time being of the dominant tenement together with his tenants and any other person lawfully entitled so to do the full free uninterrupted and unrestricted right liberty and privilege (in common with the registered proprietor of the servient tenement his tenants and any other person lawfully entitled so to do) from time to time and at all times to lay and maintain a telephone cable or cables under or through the land over which the easement is granted or created and to transmit and convey and through such telephone cables or cables all electric impulses and other forms of energy as may be reasonable necessary and desirable for the proper and efficient operation of telecommunication services for the dominant tenement together with the full free uninterrupted and unrestricted right liberty and privilege for the registered proprietor of the dominant tenement his tenants servants agents and workmen with any tools implements machinery vehicles or equipment of whatsoever nature necessary for the purpose to enter upon the land over which the easement is granted or created and to remain there for any reasonable time for the purpose of laying inspecting repairing maintaining and renewing the telephone cable poles and other apparatus or any part thereof and of opening up the soil of that land to such extent as may be necessary and reasonable in that regard subject to the condition that as little disturbance as possible is caused to the surface of the land of the registered proprietor of the servient tenement and that the surface is restored as nearly as possible to its original condition and any other damage done by reason of the aforesaid operation is repaired.

## Arbitration

If any dispute or difference arises between any of the parties in any way arising out of or in connection with this easement it is agreed that the dispute or difference must be referred at the request of any party to the arbitration of a single arbitrator on the following terms:

- (a) The arbitrator is to be jointly agreed upon by the parties.
- (b) If the parties fail to agree on an arbitrator within seven days of the issue being submitted to them any party may require the president or other chief presiding officer of the Auckland District Law Society to nominate an arbitrator and that nomination will then bind the parties.
- (c) The reference is to a single arbitrator under the Arbitration Act 1996.
- (d) The arbitrator's decision is final and binding and may include:
  - (i) An order for costs.

A collection of handwritten signatures and initials in black ink, located at the bottom right of the page. The signatures are somewhat stylized and overlapping, appearing to be the names of the parties involved in the agreement.

- (ii) An order for enforcement.
- (iii) Interest on monies payable.

Dated at Auckland this 25th day of September 1998 ✓

SIGNED by **ROBERT DAVID KIDD**  
and **LYNNETTE ELLEN KIDD** as  
registered proprietors of the dominant and  
servient tenements in the presence of:

*RD Kidd* ✓  
*LE Kidd* ✓

*[Handwritten signatures and initials]*

LISA ESTIE  
Legal Executive to  
Malloy Goodwin Harford  
Solicitors  
Auckland ✓

SIGNED by **MERTON FRANCIS MALLOY**  
as registered proprietor of the dominant and  
servient tenements by his attorney **JOSEPH  
MICHAEL GOODWIN** in the presence of:

*[Handwritten signature]* ✓

*[Handwritten signatures and initials]*

LISA ESTIE  
Legal Executive to  
Malloy Goodwin Harford  
Solicitors  
Auckland ✓

SIGNED by **ROBIN LOOKER** and  
**BARBARA LORRAINE LOOKER** as  
registered proprietors of the dominant and  
servient tenements in the presence of:

*[Handwritten signatures]* ✓  
*[Handwritten signature]* ✓

Witness

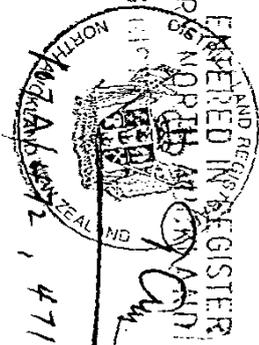
Signature *BR Vignault*  
Print Name Brian Robert Vignault  
Occupation *Shearer* ✓  
Address *RD6 Omaha Flats*  
*Warkworth*

Correct for the Purposes of  
the Land Transfer Act

✓ *[Handwritten signature]*  
.....  
Solicitor for the Dominant and  
Servient Tenants

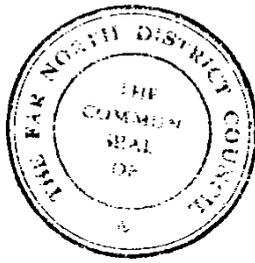
3.37 02 DEC 98 D 336459.3

PARTICULARS ENTERED IN REGISTER  
LAND REGISTRAR'S NORTH ISLAND  
AUCKLAND





*[Handwritten signatures]*



FAR NORTH DISTRICT COUNCIL consents to the within Variation of Easement No D.028423.2.

DATED this *29<sup>th</sup>* day of *March* 1998

LNZ COPY

*D 336459.3*



*Variation of Terms and Conditions of easement contained in Deeds and Certificates D 028423.2*

# Engineering Assessment for Proposed Subdivision 1 Puketutu Drive, Haruru for Michelle Williams and Rob Field

*Supporting report for RC Applications to Far North District Council*

*Haigh Workman reference 25 230*

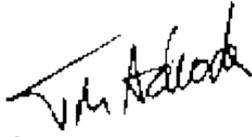
9 February 2026



## Revision History

Revision N <sup>o</sup>	Issued By	Description	Date
		for Resource Consent	9 February 2026

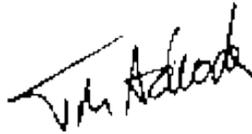
Prepared by



- Pp

**Grace McDonald**  
Civil and Environmental  
Engineering Technician

Reviewed by



**Tom Adcock**  
Senior Civil Engineer  
BEng (Civil Engineering),  
MEngNZ

Approved by



**John Papesch**  
Senior Civil Engineer  
BE (Civil Engineering),  
CPEng, CMEngNZ

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## Executive Summary

Haigh Workman Ltd (Haigh Workman) was commissioned by Michelle Williams and Rob field (the client) to undertake an engineering assessment of land at 1 Puketutu Drive, Haruru (the site), for a proposed two lot subdivision.

This report assesses natural hazards, access, earthworks, stormwater, wastewater, water supply and firefighting, with specific regard to the local authority plans and subdivision rules. The proposed subdivision is shown on Williams and Kings plan ref. 24735.

Below is a synopsis of the key sections covered.

### Natural Hazards

Part of the site is subject to natural hazard river flooding. A building platform on proposed lot 1 is available outside the mapped flooding.

We recommend a consent notice for lot 1 requiring a Chartered Profession Engineer to re-appraise the flood hazard at time of development using the latest up to date information in order to establish a safe floor level.

### Driveway Flooding

When assessing natural hazards, MBIE guidance considers access as land intimately connected to a dwelling. The ROW crosses low-lying land on a low embankment, which avoids the 10yr. flood but is still subject to 100yr. flooding.

For ROW A/B access to lot 1 to avoid the flood hazard, the embankment would need to be raised a further 0.4m which would be challenging given that the embankment includes a culvert crossing of the stream.

For the lot 2 access to avoid the flood hazard ROW C would need to be raised by up to 0.8m and the internal driveway by up to 0.6m which again would again be challenging to achieve.

Should filling be proposed then the earthworks may be subject to NRC land use consent for filling in a Flood Hazard Area.

### Puketutu Drive

The subdivision gains access off Puketutu Drive which is a sealed legal road. The carriageway has been formed to a typical rural standard cross-section and has a sealed width of approximately 5.4m. Mobile Roads gives the estimated Annual Daily Traffic (ADT) as 41 Vehicle Per Day (VPD). The operating speed was estimated at not greater than 40kph.

### Vehicle Crossings

The ROW gains access off Puketutu Drive via an existing sealed crossing. The crossing is some 22m from Puketona Road (State Highway 11) intersection. The sight distance from the crossing looking north down Puketutu Drive is partially obscured by a crest curve in the vertical alignment and was estimated at 56m which meets the minimum 45m required for an operating speed of 40kph for an Access (Low Volume) road. Reference Council Engineering Standards 2023 Sheet 4. Refer Figures below.

### Internal Access

Both lots gain access off an existing ROW. The ROW carriageway is generally well formed to a rural driveway standard and has a carriageway width ranging 3 to 4m. ROW length C provides access for two Household Equivalents (H.E.s). For the Rural Production zone, the required carriageway width is 3m and the legal width 5m, both of which are achieved.

ROW length A + B + D provides access for three H.E.s. and the required carriageway width is 3m + passing bays and the legal width 7.5m. The carriageway and legal widths are both achieved. We recommend that a passing bay be formed at the bend at distance 75m from Puketutu Drive. The passing bay shall be at least 15m long and provide a minimum usable access width including the carriageway of 5.5m.

### **Earthworks**

Earthworks at time of subdivision will be minor comprising topsoil stripping and placing of aggregate for a vehicle passing bay within the ROW. The volume will be well below both the Far North District Plan Rural Production zone and Proposed Regional Plan permitted activity of 5,000m<sup>3</sup> per 12 months period.

All earthworks will comply with the proposed District Plan Rules EW-R12 and R13, and Standards EW-S3 and EW-S5. We suggest that, as a condition of consent, an Erosion and Sediment Control Plan be required to be submitted for approval by Council prior to start of earthworks. Likewise, PDP EW-R12 requires archaeological Accidental Discovery Protocol during earthworks.

### **Stormwater Management**

There are no changes in stormwater runoff as a result of the subdivision. Impermeable surfaces for lot 1 following development are estimated at 6.7% which is well below the permitted activity of 15%.

The site is 6.3km from the tidal outfall of the Waitangi River which is some 37 km long. For a site located in the lower half of the catchment where flow attenuation may worsen the flood hazard due to the relative timing of peak flows, we recommend:

For lot 1 stormwater runoff from developed surfaces shall be discharged to ground on gently sloping grassed or well vegetated surfaces in a dispersive manner where it will be absorbed by the soils with excess runoff draining as sheet flow during heavier rainfall events. Stormwater dispersal may be achieved using a standard spreader bar device onto gently sloping grassed or well vegetated surfaces for concentrated flows such as roof collection tank overflows. For driveways we recommend grass lined swales with crossroad culverts at natural low points as required.

Following subdivision existing impermeable surfaces for lot 2 are estimated at 10% with no changes to the existing stormwater management proposed.

### **Water Supply**

Domestic water supply may be provided using roof runoff collected in storage tanks.

### **Fire Fighting**

Council Engineering Standards and Fire and Emergency NZ require a water supply that is adequate for firefighting purposes. There is no reticulated water supply, so each lot will be responsible for providing an on-site firefighting supply.

### **Wastewater**

Proposed lot 2 existing wastewater treatment and disposal system was consented under BC 2009-1529. The treatment system and disposal area were found to be in satisfactory working order with no olfaction smells or visible signs of surface breakout. Proposed lot 1 contains ample suitable area for effluent disposal including reserve area. The soils were categorised as AS/NZS 1547 Class 5 soils Poorly Drained due to the amount of clay on site. We recommend design irrigation loading rate (DIR) of 3mm/day for secondary treated effluent, spray irrigation. This will require a disposal area of 290m<sup>2</sup> for an indicative 4-bedroom dwelling, plus an additional 20m<sup>2</sup> for a 100% reserve area.

# 1 Introduction

## 1.1 Project Brief and Scope

Haigh Workman Ltd (Haigh Workman) was commissioned by Michelle Williams and Rob Field (the client) to undertake an engineering assessment of land at 1 Puketutu Drive, Haruru (the site), for a proposed two lot subdivision.

The scope of the report includes the following assessment items:

- Natural hazards
- Vehicle access and parking
- Earthworks to complete the subdivision
- Stormwater and wastewater
- Water supply and firefighting

A proposed subdivision plan prepared by Williams and King, ref. 24735 was made available at the time of writing this report.

The site is zoned 'Rural Production' under the Far North District Council Operative District Plan.

## 1.2 Limitations

This report has been prepared for our Client Michelle Williams and Rob Field with respect to the brief outlined to us. This report is to be used by our Client and Consultants and may be relied upon by the Far North District Council (FNDC) when considering the application for the proposed subdivision and development. The information and opinions contained within this report shall not be used in any other context for any other purpose without prior review and agreement by Haigh Workman Ltd.

It has been assumed in the production of this report that the site is to be subdivided into 2 lots subsequently developed for residential end use. At the time of writing there was no information available for the proposed future development on any of the lots following subdivision. If any of these assumptions are incorrect, then amendments to the recommendations made in this report may be required.

The comments and opinions presented in this report are based on the findings of the desk study and ground conditions encountered during an intrusive site visit performed by Haigh Workman. There may be other conditions prevailing on the site which have not been revealed by this investigation, and which have not been taken into account by this report. Responsibility cannot be accepted for any conditions not revealed by this investigation. Any diagram or opinion on the possible configuration of strata or other spatially variable features between or beyond investigation positions is conjectural and given for guidance only.

## 2 Site Description and Proposed Development

### 2.1 Site Identification

<b>Site Address:</b>	1 Puketutu Drive, Haruru
<b>Legal Description:</b>	Lot 2 Deposited Plan 310997 and Section 16 Survey Office Plan 449324
<b>Area:</b>	1.7232ha
<b>Zone:</b>	Rural Production (Operative District Plan)

### 2.2 Site Description

The site is legally described as lot 2 Deposited Plan 310997 and Section 16 Survey Office Plan 449324, with a total land area of 1.7232 ha and borders part of State Highway 11 located to the south/southeast of the property. The property is approximately 5km southwest of Haruru. The site and surrounding land use is agricultural with a cluster of residential lifestyle properties that curve along with the state highway. The Waitangi River runs along the west/northwestern side of the site, and a small unnamed tributary bisects the southeastern corner.

The topography of the area of the site identified for residential subdivision is generally north sloping with low lying swamy ground on the eastern side against the stream. A copy of the proposed subdivision plan by Williams and King Ref. 24735 is appended.

Proposed lot 2 contains an existing dwelling, garage, sheds and formed driveway with an easement over the neighbour's property. Refer Figure 1 below for site location.

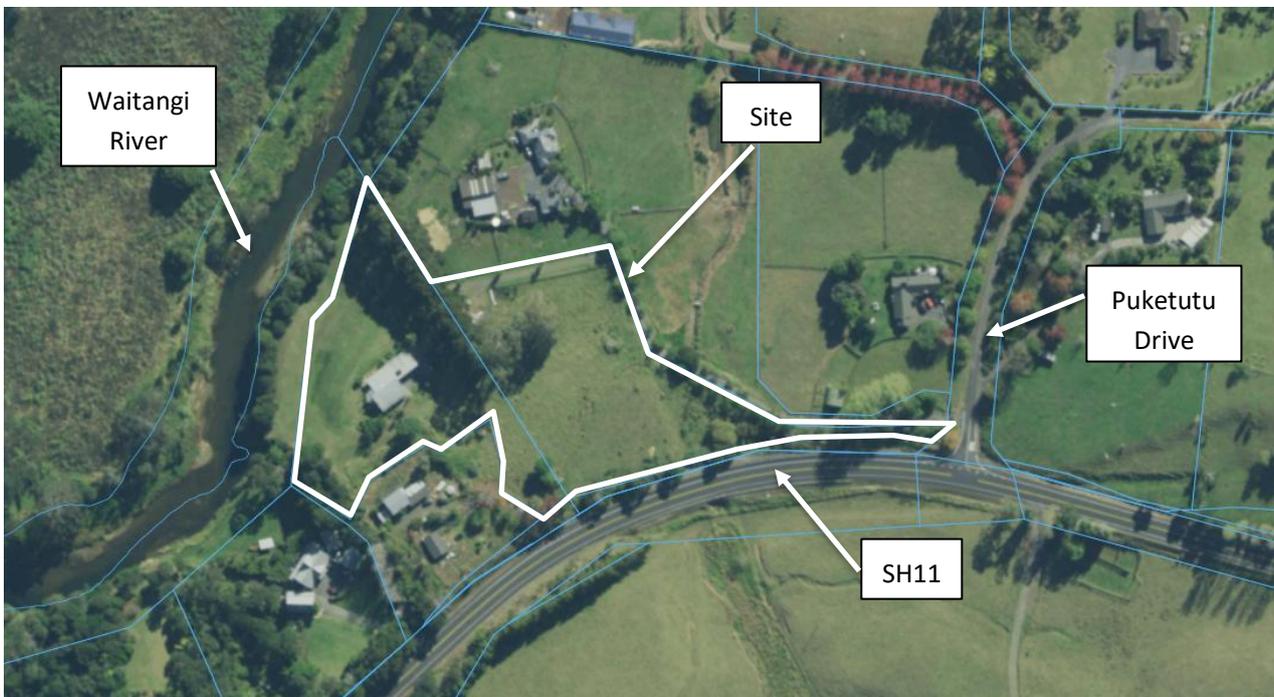


Figure 1 - Site location

## 2.3 Proposed Subdivision

Proposed Lots are described in Table 2.

**Table 2 Proposed Lots**

Lots	Proposed Area (ha)	End-use
Lot 1	0.8900	Rural residential
Lot 2	0.8332	Rural residential
<b>Total</b>	<b>1.723</b>	

We understand that the proposed subdivision will be Non-complying under the Operative District Plan, due to proposed lot sizes below the minimum allowed for the Rural Production zone.

### 3 Environmental Setting

#### 3.1 Published Geology

Geotechnical investigation and reporting are not part of our brief. Published information extracts are provided as background only. Sources of Information:

- NZMS Sheet 290 P04/05, 1:100,000 scale map, Edition 1, 1980: ‘Whangaroa – Kaikohe’ (Soils)
- GNS Sciences 1:250,000 scale map

Extracts of the geological and soils maps are presented below.

##### 3.1.1 Bedrock Geology

The geology underlying the site is indicated to comprise Waipapa Group sandstone (Waipapa Composite Terrane, (TJw) from the Permian to Jurassic period. The Waipapa Group are described by the GNS map as ‘*Massive too thin bedded, lithic volcanoclastic metasandstone and argillite, with tectonically enclosed basalt, chert and siliceous argillite.*’ The main rock group is greywacke. The geology in the northwestern corner of Lot 2 is mapped as Q1al (Holocene) river deposits of the Tauranga Group. This is described as poorly consolidated mud, sand, gravel and peat deposits. Kerikeri Volcanic Group Late Miocene basalt of Kaikohe – Bay of Islands Volcanic Field are mapped close to the northern boundary of the site, partially underlying the Waitangi River. This geology is described as having basalt lava, volcanic plugs and minor tuff.

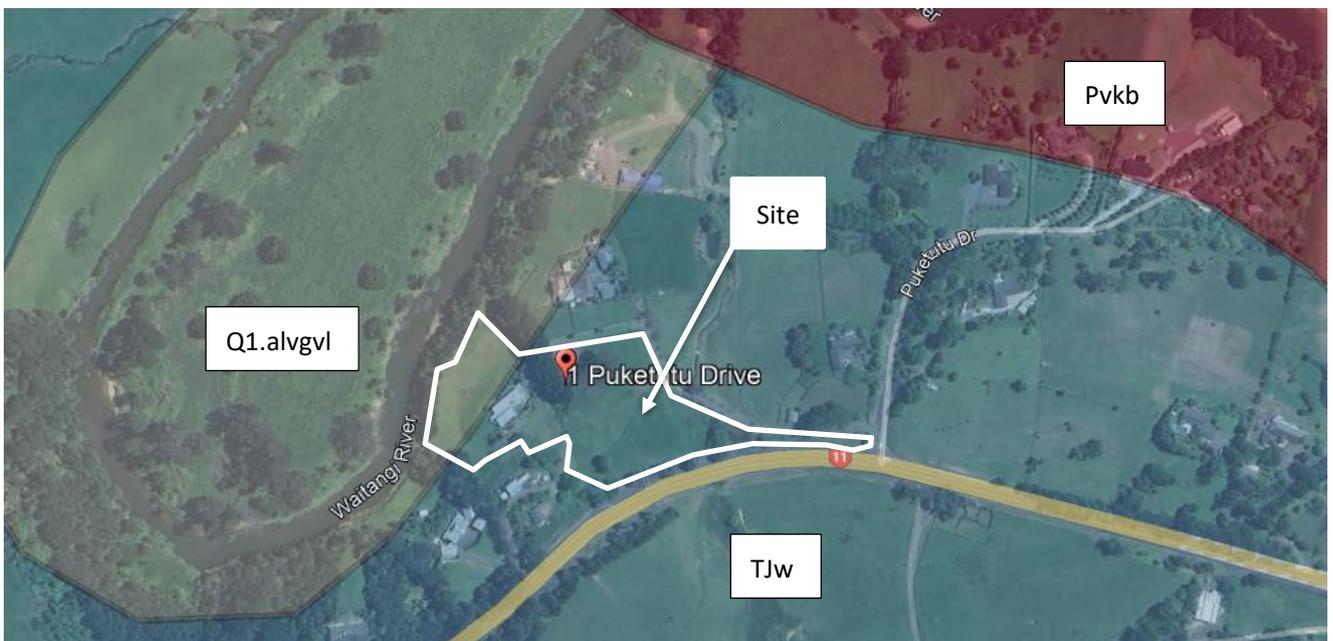


Figure 2 – GNS Science, geology of the Haruru area

Table 1 - Geology of area

Geological Code:	Description:
Q1.alvgvl	Unconsolidated to poorly consolidated mud, sand, gravel and peat deposits of alluvial, colluvial and lacustrine origins.

TJw	Massive to thin bedded, lithic volcanoclastic metasandstone and argillite, with tectonically enclosed basalt, chert and siliceous.
Pvkb	Basalt lava, volcanic plugs and minor tuff.

### 3.1.2 Weathered Geology (Soils)

Most of the site is shown to be underlain by soils comprising ‘Rangiora clay, clay loam, and silty clay loam’ (RA) being the product of weather Greywache and described as ‘*imperfectly to very poorly drained*’. The northeastern part of lot 2 is mapped as underlain by ‘Whakapara silt loam and clay loam’ (WF) which is described as ‘*well to moderately well drained*’.

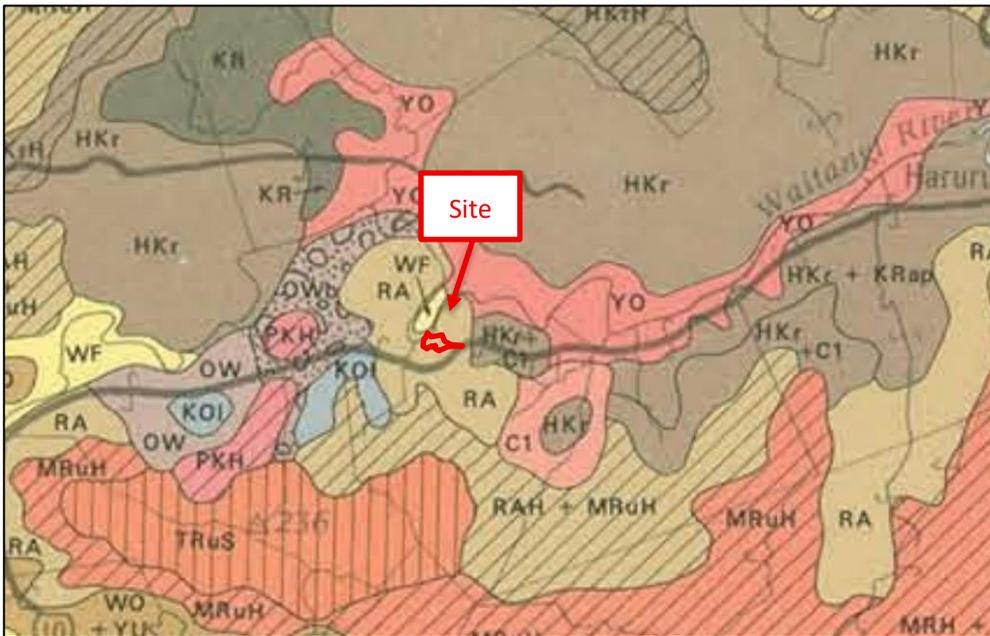


Figure 3 - NZMS 290 Sheet P 04/05 Soil Map

## 4 Site Investigations

### 4.1 Site Walkover

A walkover of the site comprised checking sightlines for the vehicle crossing onto Puketutu Drive, inspecting the existing formed ROW, site mapping, stormwater flow paths and drainage, locating the existing wastewater disposal system on lot 2, assessing potential for river flooding. Refer sample photographs appended.

### 4.2 Subsurface Investigations

Haigh Workman undertook soils investigations on the 9th of December 2025 for the purpose of assessing effluent disposal on lot 1. Multiple hand augers were attempted in the central area of lot 1. However, refusal was around 0.3m as hard gravelly soil was encountered. This was suspected as non-engineered fill brought to the site. The timing and extent of filling was identified using Google imagery to around 2011-2013. Refer Figures 4, 5, & 6. Further recent filling had been undertaken as indicated in Figure 7.

Away from the fill area a hand auger was completed to a depth of 2m. This borehole encountered a 300mm thick topsoil layer comprised primarily of sandy silt, underlain by silty clay. Ground water was not encountered. Refer bore log appended.



Figure 7 - Lot 1 prior to filling (December 2009)



Figure 6 - Lot 1 undergoing filling (April 2011)



Figure 4 - Lot 1 filling completed (July 2013)



Figure 5 - Lot 1 recent filling

Based on the results of our investigations and review of published geological maps, it is considered that the natural soils comprise Rangiora clay, clay loam, and silty clay loam, as per the geological mapping.

The fill on lot 1 was compacted to a much greater degree than the natural soils, this combined with the thin topsoil depth is likely to result in poorer drainage properties than the naturally occurring soils.

Away from the fill area, marsh type vegetation across the naturally low-lying areas on lot 1 indicated saturation occurring during wetter seasons of the year.

## 5 Natural Hazards

### 5.1 Definition and Legislation

The National Policy Statement for Natural Hazards 2025 (NPSNH 2025) became operative on 15 January 2026, establishing nationally consistent requirements for assessing and managing natural hazard risk under the Resource Management Act 1991 (RMA).

Natural hazards listed in Part 1: Preliminary provisions 71(3) of NPSNH 2025 include: flooding, landslips, coastal erosion, coastal inundation, active faults, liquefaction, and tsunamis.

The NPSNH requires that natural hazard risk be assessed using the likelihood × consequence methodology defined in Appendix 1 (Risk Matrix).

- Hazard likelihood (rare, unlikely, possible, likely, almost certain)
- Consequences (insignificant to catastrophic)
- Resulting risk classification (low, medium, high, very high)

The NPSNH requires management measures to be proportionate to the level of natural hazard risk:

- Low risk: Development may generally proceed with standard controls.
- Medium risk: Mitigation and design measures must reduce risk to acceptable levels.
- High / very high risk: Avoidance is required unless effective mitigation demonstrably reduces risk.

This natural hazard assessment has been prepared in accordance with NPSNH 2025.

**Table 2 – Relevant Natural Hazard Types**

Natural Hazard	Likelihood × consequence	Risk
<b>Flooding</b>	Likely, moderate	<b>Low risk</b> , subject to buildings being constructed outside of the mapped flood hazard . Lot 2 dwelling is on land outside the mapped flood hazard. Lot 1 has developable land available outside the mapped flood hazard. However, flooding has been mapped as going over the ROW.
<b>Landslips / slope instability</b>	Unlikely, minor.	<b>Low risk</b> , the geology for a building platform is a low-risk geological unit and the gradient is a low risk of instability
<b>Coastal erosion</b>	Very rare, negligible.	<b>Low risk</b> , as the site is not near the coastline
<b>Coastal inundation</b>	Very rare, negligible.	<b>Low risk</b> , as the site is not near the coastline
<b>Active faults</b>	Possible, moderate.	<b>Low risk</b> , no active faults mapped in the vicinity
<b>Liquefaction</b>	Unlikely, moderate.	<b>Low risk</b> , the geology for a building platform is a low-risk geological unit
<b>Tsunami</b>	Very rare, negligible.	<b>Low risk</b> , as the site is not near the coastline

There is no significant risk from natural hazards that would cause Section 106 of the Resource Management Act to apply.

## 5.2 Landslips / Slope instability

The building platform on lot 1 is gently sloping at approximately 10 degrees towards the east and is located on a low hazard risk geology unit (Waipapa group terrain). Based on this and the lack of any evidence of historical slip movement, the building platform is not likely to be susceptible to instability.

An area of non-certified fill was observed, however a nominated building platform has been located outside of this zone. Geotechnical investigations will be required at the building stage to confirm ground conditions and foundation requirements.

## 5.3 Flooding

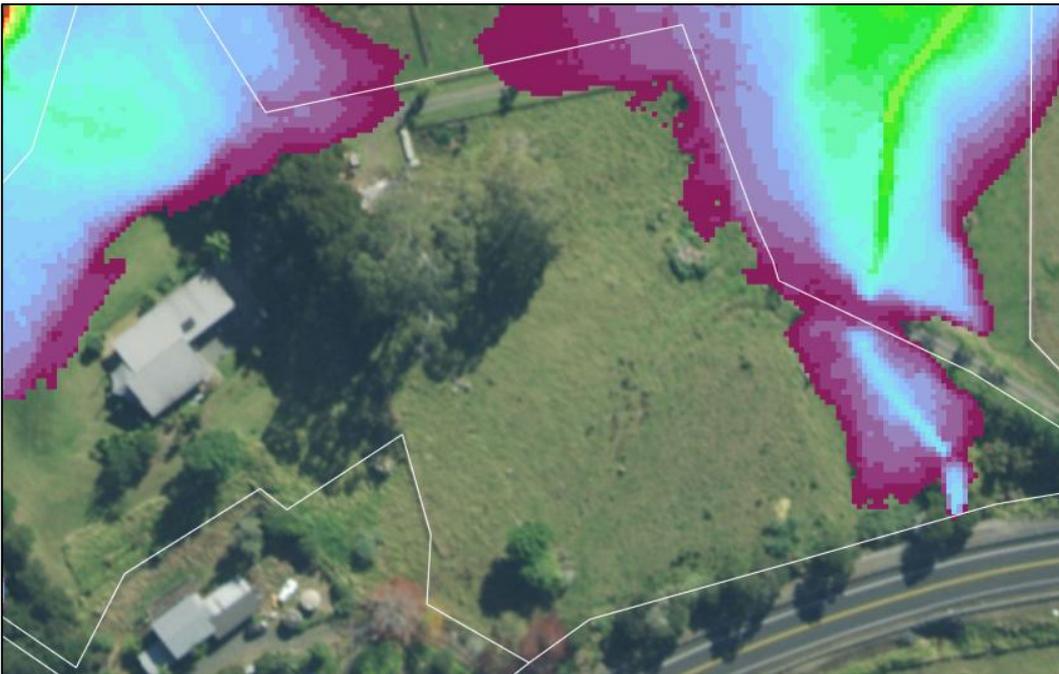
### 5.3.1 Flood Mapping

NRC have mapped the flood hazard for the site as part of their Priority Rivers flood modelling, refer Figures below and the NRC report appended.

There is a developable area on the lot 1 that is outside the mapped flood hazard where the land is suitably elevated above the flood hazard including the required freeboard allowance for a habitable floor.

Lot 2 has an existing consented dwelling which is outside the mapped flood hazard.



**Figure 8 NRC Priority Rivers 10yr. Flood Hazard Modelling****Figure 9 – NRC Priority Rivers 100yr. + Climate Change Flood Hazard Modelling**

### 5.3.2 Driveway Flooding

When assessing natural hazards under the building act, MBIE guidance considers access as land intimately connected to a dwelling.

The ROW where it crosses the stream and low-lying land has been raised up on a low embankment, which avoids the 10yr. flood but is still subject to flooding during the 100 yr. + CC event. This same flooding also effects a very short, almost negligible 2 – 3m length of future driveway on lot 1. The maximum flood depths are assessed as follows:

- ROWs A & B serving lots 1 & 2 – up to 0.4m depth
- ROW C serving lot 2 - up to 0.8m depth
- Lot 1 future driveway - negligible
- Lot 2 existing driveway - up to 0.6m depth

For lot 1, raising the level of the flood affected ROW A & B by up to 0.4m to avoid the hazard notice would be challenging as this would include raising the level of the culvert crossing at the stream. See figure below.

For lot 2 the additional work to raise ROW C by up to 0.8m and the driveway by up to 0.6m would again be challenging. As a result, it is likely that a hazard notice under 71 of the Building Act will be registered on the title with a future building consent.



Figure 10 – Culvert Crossing for Unnamed Stream on ROWs A & B

### 5.3.3 Future Buildings

Due to the proximity of the flood hazard to future buildings, a flood hazard assessment should be carried out specific to the proposed development plans, and based upon the best available information, at that time.

We recommend a consent notice for lot 1 which identifies the requirement for a Chartered Professional Engineer to carry out a flood hazard assessment at time of building consent.

## 6 Site Access

### 6.1 Puketutu Drive

The subdivision gains access off Puketutu Drive which is a sealed legal road. The carriageway has been formed to a typical rural standard cross-section and has a sealed width of approximately 5.4m. Mobile Roads gives the estimated Annual Daily Traffic (ADT) as 41 Vehicle Per Day (VPD). The operating speed was estimated at not greater than 40kph.

### 6.2 Vehicle Crossing

The ROW gains access off Puketutu Drive via an existing sealed crossing. The crossing is some 22m from Puketona Road (State Highway 11) intersection. The sight distance from the crossing looking north down Puketutu Drive is partially obscured by a crest curve in the vertical alignment and was estimated at 56m which meets the minimum 45m required for an operating speed of 40kph for an Access (Low Volume) road. Reference Council Engineering Standards 2023 Sheet 4. Refer Figures below.

### 6.3 Internal Access

Both lots gain access off an existing ROW. The ROW carriageway is generally well formed to a rural roading standard and has a carriageway width ranging 3 to 4m. ROW length C provides access for two Household Equivalents (H.E.s). For the Rural Production zone, the required carriageway width is 3m and the legal width 5m, both of which are achieved.

ROW length A + B + D provides access for three H.E.s. and the required carriageway width is 3m + passing bays and the legal width 7.5m. The carriageway and legal widths are both achieved. In the rural zone, passing bays shall be provided at spacings not exceeding 100m and on all blind corners at locations where the horizontal and vertical alignment restricts visibility. The combined length of ROW A + B is 140.3m. We recommend that a passing bay be formed at the bend at distance 75m from Puketutu Drive. The passing bay shall be at least 15m long and provide a minimum usable access width including the carriageway of 5.5m.



Figure 11 – Vehicle Crossing Sight Distance looking North



Figure 12 – Vehicle Crossing Sightline looking North

The appropriate crossing standard is Type 1A having a width of 4m and 5m radius flares. Refer Council Engineering Standards 2023 Sheet 21. Given that traffic entering and exiting will be from the direction of the state highway the existing crossing dimensions are considered acceptable. Council Engineering Standards require crossings onto sealed roads to be sealed to the property boundary or 10m (whichever is greater). The existing seal extends 6.7m to the property boundary, given the flat grade extending the seal further into the property is not considered necessary, however seal repairs to the crossing and flares are required

## 6.4 ROW Culvert Crossing

The ROW has a 900mm diameter concrete culvert where it crosses the unnamed stream, refer figure below. The crossing has paddock rock headwalls and appears to have been constructed to a robust standard having been used by trucks carting fill to site.



Figure 13 – ROW culvert crossing of unnamed stream

## 6.5 Rooding Assessment Criteria

Council may impose conditions of consent on a non-complying activity or may refuse consent. When considering a non-complying activity application, Council will have regard to the assessment criteria set out under Section 15.1.6A.7 and, where appropriate Chapter 11.

Table 3 - Operative District Plan Rule 15.1.6A.7 Assessment Criteria

Property Access Assessment Criteria	Comment
(a) The extent by which the expected traffic intensity for a proposed activity exceeds the assumed value set by the Traffic Intensity Factor contained in Appendix 3A in Part 4 of the Plan.	Complies. TIF is not exceeded
(b) The time of day when the extra vehicle movements will occur	Throughout day in accordance with normal rural living patterns
(c) The distance between the location where the vehicle movements take place and any adjacent properties.	Not applicable. Vehicle movements will be in accordance with normal rural living patterns
(d) The width and capability of any street to be able to cope safely with the extra vehicle movements.	Access is onto Puketutu Drive which has adequate width for domestic vehicle movements

(e) The location of any footpaths and the volume of pedestrian traffic on them.	Rural location, Puketutu Drive does not have a footpath, pedestrian traffic not expected.
(f) The sight distances associated with the vehicle access onto the street.	Complies
(g) The existing volume of traffic on the streets affected.	Mobile Roads gives the estimated Annual Daily Traffic (ADT) as 41 Vehicle Per Day (VPD)
(h) Any existing congestion or safety problems on the streets affected	None known
(i) With respect to effects in local neighbourhoods, the ability to mitigate any adverse effects through the design of the access, or the screening of vehicle movements, or limiting the times when vehicle movements occur.	Traffic mitigation not necessary for rural residential development
(j) With respect to the effects on through traffic on arterial roads, strategic roads and State Highways, any measures such as right-turn bays, flush medians, left turn deceleration tapers, etc. proposed to be installed on the road as part of the development to accommodate traffic turning into and out of the site.	The proposed subdivision creates one addition H.E.s i.e. up to 10 additional traffic movements. Upgrade to the intersection of Puketutu Drive with SH11 not necessary
(k) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.	The site has a mapped flood hazard associated with the Waitangi River. However, developable areas are available outside the flood area. The site is within the lower half of the catchment, so stormwater attenuation associated with impermeable surfaces is not appropriate.
(l) Whether providing or having access to bicycle parking, shower/changing facilities or alternative transportation would reduce the number of vehicle movements associated with the proposed activity.	Not applicable to rural residential development
(m) the provision of safe access for pedestrians moving within or exiting the site.	Pedestrians are not anticipated and would need to share access with vehicles

## 6.6 Parking and Manoeuvring

Both lots have adequate room available for parking and manoeuvring.

## 7 Earthworks

### 7.1 Proposed Earthworks

Earthworks at time of subdivision will be minor comprising topsoil stripping and placing of aggregate for a vehicle passing bay within the ROW. The volume will be well below both the Far North District Plan Rural Production zone and Proposed Regional Plan permitted activity of 5,000m<sup>3</sup> per 12 months period.

The Proposed Far North District Plan was notified on 27 July 2022. The following rules and standards have legal effect and will be complied with:

- Earthworks Rule EW-R12 (Earthworks and the discovery of suspected sensitive material)
- Earthworks Rule EW-R13 (Earthworks and erosion and sediment control)
- Standard EW-S3 Accidental Discovery Protocol
- Standard EW-S5 Erosion and sediment control

We suggest that, as a condition of consent, an Erosion and Sediment Control Plan be required to be submitted for approval by Council prior to start of earthworks. Likewise, PDP EW-R12 requires archaeological Accidental Discovery Protocol during earthworks.

Erosion and sediment control for earthworks should be carried out in accordance with Council's Engineering Standards and Guidelines and Auckland Council GD05.

## 8 Stormwater Management

### 8.1 Existing Site Drainage

Proposed lot 2 has an existing dwelling and consented stormwater system. The site drains to the Waitangi River and no issues were identified by our walkover that might otherwise require attention.

Lot 1 drain drains natural via the unnamed watercourse that crosses the eastern corner of the lot, discharging to the Waitangi River to the north.

The existing site access drains onto adjacent land which in turn sheds towards the unnamed watercourse and Waitangi River.

### 8.2 Regulatory Framework

#### 8.2.1 Far North District Plan Provisions

The site is zoned as Rural Production. The relevant permitted activity rule for stormwater is as follows:

**8.6.5.1.3 STORMWATER MANAGEMENT**

*The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.*

Subdivision Rule relating to stormwater disposal is 13.7.3.4. The pertinent sections relating to this site are:

**13.7.3.4 STORMWATER DISPOSAL**

(a) All allotments shall be provided, within their net area, with a means for the disposal of collected stormwater from the roof of all potential or existing buildings and from all impervious surfaces, in such a way so as to avoid or mitigate any adverse effects of stormwater runoff on receiving environments, including downstream properties. This shall be done for a rainfall event with a 10% Annual Exceedance Probability (AEP).

(d) All subdivision applications creating sites 2ha or less shall include a detailed report from a Chartered Professional Engineer or other suitably qualified person addressing stormwater disposal.

(d) Where flow rate control is required to protect downstream properties and/or the receiving environment then the stormwater disposal system shall be designed in accordance with the onsite control practices as contained in "Technical Publication 10, Stormwater Management Devices – Design Guidelines Manual" Auckland Regional Council (2003).

#### 8.2.2 Regional Plan Provisions

Proposed Rule C.6.4.2 provides for the diversion and discharge of stormwater from outside a public stormwater network provided (amongst other conditions); the diversion and discharge does not cause or increase flooding of land on another property in a storm event of up to and including a 10% Annual Exceedance Probability (AEP) or flooding of buildings on another property in a storm event of up to and including a 1% AEP.

### 8.2.3 Council Engineering Standards 2023

The FNDC Engineering Standards have recently been updated and Council is encouraging their use. The pertinent sections relating to stormwater management are:

#### **Chapter 4: Stormwater and Drainage**

##### **4.1.3 Performance Standards**

- e. The primary stormwater system shall be capable of conveying 10% AEP design storm events without surcharge (see Section 4.3.9 Hydrological Design Criteria).
- h. Development shall not increase peak discharge rates to receiving environment. An increase may be acceptable for large events where it is demonstrated that there are no adverse effects (including potential, future, or cumulative effects), on the environment or downstream properties as a result of the increase.
- i. The stormwater system shall provide the required amount of treatment through the use of low impact design and sustainable solutions (See Sections 4.3.20 Soakage Devices and 4.3.21 Stormwater Treatment and Detention Devices).

##### **4.1.6. Managing Effects of Land Use on Receiving Environments**

Hydrological balance can be partly maintained by limiting the maximum rate of discharge and peak flood levels for post-development to that at pre-development levels and enabling infiltration to minimise impacts on base flow and ground water recharge.

Peak flow management can be achieved using detention storage, utilising extended duration, for the duration of a limited peak flow event. Therefore, in the absence of more detailed assessment of stream stability, the discharges from detention devices into a stormwater network shall be constrained to 80% of pre-development peak flow rate. These constraints may be relaxed, subject to detailed assessments and hydrological/hydraulic modelling of the catchment being provided.

##### **4.2.1. Discharge into a Stream or Watercourse**

All new and existing discharges to an existing FNDC owned and / or maintained watercourse(s) located within approximately 500m require specific approval from the Stormwater Manager before proceeding with design details and, if approved, FNDC shall apply appropriate conditions to the discharge.

##### **Section 4.2.5. Discharge to Land**

Subject to the requirements of the NRC Regional Plans, discharge of stormwater from the development onto land is permitted provided that:

- a. Flooding levels shall not be increased due to the development,
- b. New outlets to any low-lying areas shall be provided or existing outlets retained,
- c. Dispersal of concentrated flow from the development shall be designed to occur at the shortest practicable distance and before a concentrated overland discharge to a neighbouring property occurs and,
- d. An acceptable rate of dispersed discharge from stormwater runoff at the boundary is  $<2\text{L/sec/m}$  (e.g. flow can be managed via dispersal swale or trench).

##### **4.3.8. System Design**

###### **Table 4-1: Minimum Design Summary**

Current rainfall (i.e. not climate change adjusted) shall be used for the following:

- Determining pre-development stormwater runoff flows and volumes for use in combination with calculated post development flows to determine stormwater treatment (quantity and quality) requirements.

Climate change adjusted rainfall shall be used for the following:

- Determining post-development stormwater runoff flows and volumes for stormwater infrastructure design.

Flood Control (1% AEP event). Detention required, limiting the post-development 1% AEP event flow rates to 80% of the pre-development 1% AEP event flow rates.

Flow attenuation (Attenuation of the 50% and 20% AEP events). Limit the post-development 50% and 20% AEP event flow rates to 80% of the pre-development flows through controlled attenuation and release. Typically, always required in the upper catchment and sometimes not required where development site is located in proximity to the catchment outlet, discharging to a watercourse with sufficient network capacity, and where flow attenuation may worsen flooding hazards due to relative timing of peak flows. This is subject to assessment demonstrating no negative impacts would occur. If the proposed stormwater discharge is into a tidal zone, then no attenuation is required.

### 8.3 Impermeable Surfaces

The proposed subdivision provides for but does not include rural-residential / lifestyle development. It is anticipated that development on vacant lot 1 will be of a similar scale to lot 2.

Typical impermeable surfaces on the lots (including rights of way) when they are developed are estimated as follows:

**Table 4 - impermeable surface calculations**

Proposed Lot	Area (Ha)	Driveway (m <sup>2</sup> )	Roof (m <sup>2</sup> )	Total (m <sup>2</sup> )	Coverage (%)	Activity Status
1	0.8900	195	400	595	6.7	Permitted
2	0.8332	453	382	835	10.0	Permitted

Anticipated impermeable surfaces are not expected to exceed the 15% threshold permitted by the District Plan rules.

Rule 13.7.3.4 references Technical Publication 10 which has now been superseded by Stormwater Management Devices in the Auckland Region GD01 December 2017 and refers to the Countryside Living suite of documents for rural development. GD01 identifies the key approach to managing the impact of stormwater and associated pollutants is to reduce the need through prevention and considers non-structural approaches to minimise the impacts of the development on stormwater. This standard is appropriate for the low-density rural development consider for this site.

Examples of non-structural approaches that can be adopted for this site are:

- Preserve and using existing site features such as watercourses, depressions, wetlands, vegetation and permeable areas that contribute to the current hydrological cycle balance.
- Reduce impervious surfaces by using pervious channels or infiltration practices, placing houses closer to the main roading network to minimise driveway lengths, shared ROWs, grass swales to encourage infiltration, pervious paving or gravel driveways and parking areas.

- Minimise site disturbance and bulk earthwork areas, particular areas that are to remain undeveloped and permeable. Earthwork compaction produces high strength, but higher density and reduced permeability which reduces infiltration and increases runoff.

## 8.4 Subdivision Stormwater Management

The site drains into the Waitangi River which has catchment approximately 302-308 km<sup>2</sup>, with the river itself some 37 km long, rising from near Lake Omapere and flowing eastwards to the Bay of Islands at Waitangi.

Council Engineering Standards 2023 Table 4-1: Minimum Design Summary requires flow attenuation:

- Sometimes not required where development site is located in proximity to the catchment outlet, where flow attenuation may worsen flooding hazards due to relative timing of peak flows. If the proposed stormwater discharge is into a tidal zone, then no attenuation is required.

The property is some 6.35km from Haruru Falls where the river meets the tidal water of the Bay. This places the site firmly within the lower half of the catchment which is generally taken to be the cut-off when flow attenuation may worsen flooding due to relative timing of peak flows.

Stormwater attenuation is not required for the site as it is in the lower half of the catchment.

Stormwater management within the proposed subdivision is designed to control stormwater flows, reduce scour and ensure compliance with District and Regional Plan rules.

- To receive the maximum treatment benefits from overland flow stormwater runoff from developed surfaces will be discharged to ground on gentle slopes in a dispersive manner where it will be absorbed by the sandy soils. During heavier rainfall events excess runoff will drain as sheet flow, congregating in the natural interdune hollows and depressions before entering the downstream farm drain network.
- Where considered necessary, stormwater dispersal may be achieved using an above ground Tee bar or Vegetated/Rigid Lip spreader bar device onto a gently sloping grassed or well vegetated surfaces. Refer standard details appended. (A buried pipe spreader bar in a soakage trench is not appropriate due to the shallow hard pan.)
- Rainwater collection tanks for domestic water supply, with overflows piped to dispersed outlets.
- For driveways we recommend grass lined swales with crossroad culverts at 100m intervals and/or natural low points as required.
- Stormwater drainage shall be into the naturally occurring shallow hollows and depressions which then drain out naturally into the downstream field drainage network, matching the existing condition.

## 9 Potable Water

### 9.1 Potable Water Supply

There is no public water supply available at the site. Domestic water supply may be provided by roof runoff collected in storage tanks.

### 9.2 Fire Fighting

Council Engineering Standards and Fire and Emergency NZ require a water supply that is adequate for firefighting purposes. Where there is no reticulated water supply, then each residential lot will be responsible for providing adequate on-site firefighting supply.

For a single-family home without a sprinkler system in a non-reticulated supply area, the New Zealand Fire Service (NZFS) Fire Fighting Water Supplies Code of Practice SNZ PAS 4509:2008 recommends a minimum firefighting water storage capacity of 45m<sup>3</sup> within 90m of the dwelling, fitted with an adequate means for extracting the water from the tank.

### 9.3 Alternative to Fire Fighting Supply

The Code (SNZ PAS 4509:2008) specifically allows for alternative methods to be used in meeting the Code requirements, as long as there is approval from an appropriate person nominated by the NZFS National Commander. Clause 4.4 of the Code states that:

- Fire engineers or similar competent persons may use alternative methods to determine firefighting water supplies. To comply with this code of practice, such alternatives must be submitted for approval to the person(s) nominated by the National Commander. The person(s) so nominated will approve these cases on confirmation that the method and calculations used are correctly applied.
- Alternative methods will need to show that the calculated firefighting water supply makes allowances for tactical flow rates (that is, the amount needed above a theoretical amount to absorb the released heat for operational effectiveness).

The procedure to be followed in the case of an alternative fire-fighting supply is as follows:

- The competent person should submit a firefighting facilities checklist (FFFC), with a scale site map showing contours and proposed alternatives to Table 2 with rationale for assessment to NZFS.

If the proposed supply is approved by a nominated NZFS person, Council will accept the FFFC and compliance with the Code will be achieved.

NZFS considers that a 'one size fits all' volume is not appropriate in all circumstances. There are alternatives to firefighting couplings but firefighters are not expected to lift pumps or hoses onto the top of water tanks.

## 10 On-site Effluent Disposal

### 10.1 Regulatory Framework

#### 10.1.1 Regional Plan

The discharge of wastewater effluent to land is regulated by the permitted activity Rule C.6.1.3 of the Regional Plan for Northland. Table 9 of the plan specifies exclusion areas and set-back distances as follows:

**Table 9: Exclusion areas and setback distances for on-site domestic wastewater systems**

Feature	Primary treated domestic type wastewater	Secondary and tertiary treated domestic type wastewater	Greywater
<b>Exclusion areas</b>			
Floodplain	5% annual exceedance probability	5% annual exceedance probability	5% annual exceedance probability
<b>Horizontal setback distances</b>			
Identified <b>stormwater</b> flow path (including a formed road with kerb and channel, and water-table drain) that is down-slope of the disposal area	5 metres	5 metres	5 metres
River, lake, stream, pond, <b>dam</b> or <b>natural wetland</b>	20 metres	15 metres	15 metres
Coastal marine area	20 metres	15 metres	15 metres
Existing water supply <b>bore</b>	20 metres	20 metres	20 metres
<b>Property</b> boundary	1.5 metres	1.5 metres	1.5 metres
<b>Vertical setback distances</b>			
Winter groundwater table	1.2 metres	0.6 metres	0.6 metres

Additional requirements under the Rule also state:

- 1) The on-site system is designed and constructed in accordance with the Australian/New Zealand Standard. On-site Domestic Wastewater Management (AS/NZS 1547:2012), and
- 2) The volume of wastewater discharged does not exceed two cubic metres per day, and
- 5) For wastewater that has received secondary treatment or tertiary treatment, it is discharged via:
  - a) a trench or bed system in soil categories 3 to 5 that is designed in accordance with Appendix L of AS/NZS 1547:2012; or
  - b) an irrigation line system that is dose loaded and covered by a minimum of 50mm of topsoil, mulch, or bark, and

The proposed disposal areas are not steeper than 10 degrees. However, we recommend that surface laid irrigation lines be firmly pinned to the ground and where there is an up-slope catchment that generates stormwater runoff, a stormwater interception drain be installed and maintained to divert surface runoff away from the disposal area.

District Council requires at time of subdivision a suitable reserve area equal to 100% of the effluent disposal area.

The following analysis ensures that future on-site wastewater disposal on each of the three vacant lots can comply with both the Operative District Plan and Regional Plan for Northland wastewater discharge rules.

## 10.2 Proposed Lot 1 Wastewater Assessment

### 10.2.1 Design Occupancy Rating

The onsite wastewater disposal for the proposed development of the lots has been assessed.

It has been assumed for the purpose of this site suitability report that proposed lot 1 will contain a four-bedroom residential unit. In reference to TP58 Section 6.3.1, it is recommended that the design occupancy of six people is adopted for this report.

### 10.2.2 Design Flow Volumes

For subdivision purposes we assume residential units will be designed with standard water reduction fixtures. AS/NZS1547 estimates wastewater generation for roof water collection supply properties with standard water reduction fixtures of 145 litres/person/day.

Total daily wastewater generation of the proposed development is calculated as follows:

$$\begin{aligned} \text{Total daily wastewater generation} &= \text{Daily occupancy number} \times \text{design flow allowances} \\ &= 6 \text{ persons} \times (145 \text{ litres/person/day}) \\ &= \underline{\underline{870 \text{ litres/day}}} \end{aligned}$$

Design flows of 870 litres per day for a four-bedroom household has been adopted for the purpose of this assessment.

### 10.2.3 Effluent Disposal

Effluent disposal systems will need to be situated to avoid surface runoff and natural seepage from higher ground, or protected by using interception drains. In addition, Regional Plan set-backs from identified overland flow paths, boundaries and buildings will need to be adhered to.

Standard separation distances can be applied with regard to site slope, which is below 10°. Care will be need to exercised to ensure minimum ground water separation of 0.6m for secondary treated effluent is achieved for disposal fields adjacent to low lying areas.

### 10.2.4 Land Disposal System Sizing and Design

The natural soils on lot 1 are classified as Rangiora clay, clay loam, and silty clay loam, typically described as 'imperfectly to very poorly drained'. We categorise these as Soil Category 5 – Poorly Drained, in accordance with AS/NZS 1547. This soil type supports a design irrigation loading rate (DIR) of 3mm/day for secondary treated effluent.

However, caution will need to be exercised to ensure the disposal area is kept clear of low-lying areas where saturation could occur during wetter seasons of the year. Also, the area fill identified on lot 1 has been compacted to a much greater degree than the natural soils, this combined with the thin topsoil depth is likely to result in poorer drainage properties than the naturally occurring soils.

Based on the final design, stormwater interception drains may be required along the upslope side of the disposal area. Additionally, to enhance evapotranspiration and nutrient uptake, disposal fields should be densely planted with appropriate native vegetation.

The design of wastewater disposal fields must comply with all relevant setback distances and slope requirements in effect at the time of building consent. Access by livestock and vehicles to disposal areas should be restricted through fencing to prevent damage.

On this basis, a wastewater system producing 870 litres/day would require  $870/3 = 290\text{m}^2$  of disposal area. As indicated by the appended plan, lot 1 can accommodate primary effluent fields and reserve areas (100%) in accordance with current regulatory requirements.

### 10.2.5 Treatment Plant Design Sizing

The naming of a proprietary secondary treatment plant will be decided by the new owner at the building consent stage, when the position and scale of the building are known.

The system is to meet the quality output of AS/NZS 1546.3: 2003, producing effluent of less than  $20\text{g}/\text{m}^3$  of 5-day biochemical oxygen demand (BOD<sub>5</sub>) and no greater than  $30\text{g}/\text{m}^3$  total suspended solids (TSS) at the estimated wastewater generation rate for the proposed development. Siting requirements for secondary treatment plants are:

- Invert level at inlet not less than 0.5 m below floor level
- Greater than 3.0 m from any house
- Greater than 1.5 m from any boundary
- Easily accessible for routine maintenance

### 10.2.6 Effects on Environment

It is not likely that any detectable environmental effects will arise from utilising trickle irrigation greater than 3.0 m from the disposal field. Use of the secondary treated effluent for trickle irrigation would enhance landscape vegetation growth particularly during the drier summer months. Considering the size of the assessed lots there is a small risk of off-site effects and cumulative effects, however vegetation can help mitigate this. All disposal fields will be located at a greater distance from overland flow paths than the minimum required.

To minimise any potential issues, regular inspections and servicing of the treatment plant and disposal field should be completed. Along with the appropriate inspections and approvals prior to plant commissioning.

The disposal field locations indicated by the appended drawing have taken into account the appropriate separation distances.

## 10.3 Existing Lot 2 Wastewater System

The existing lot 2 wastewater treatment and disposal system was consented under BC 2009-1529, refer figure below.

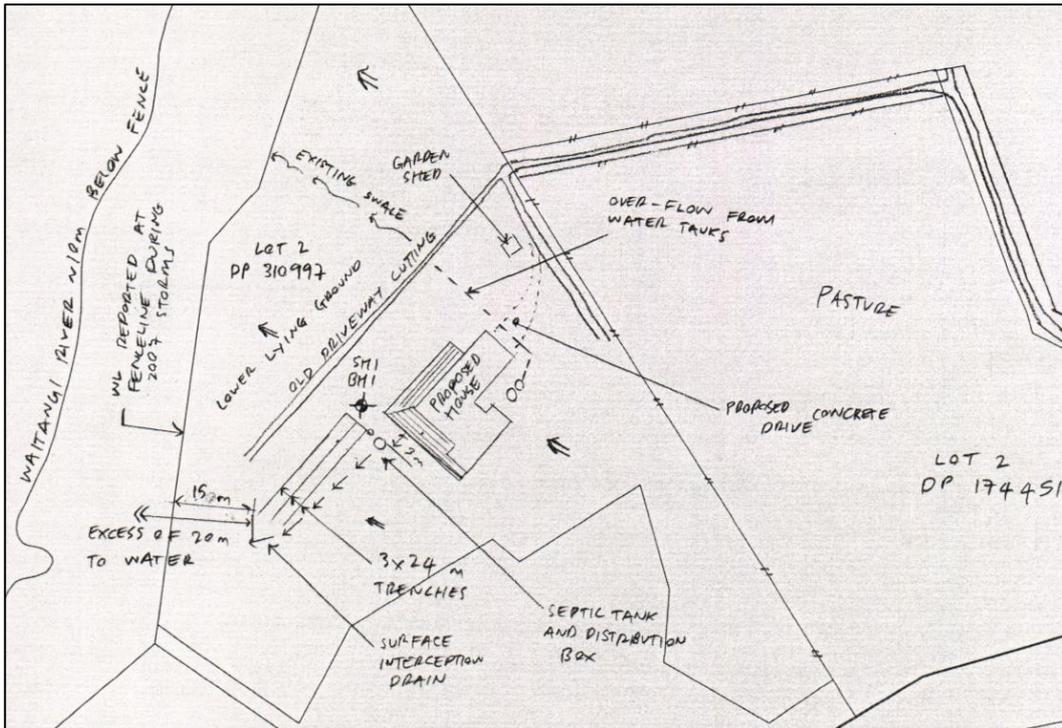


Figure 14 – Lot 2 existing wastewater system (BC 2009-1529)

The septic tank was located during our walkover. The treatment system and disposal area were found to be in satisfactory working order with no olfaction smells or visible signs of surface breakout.



## Appendix A – Drawings

Drawing No.	Title	Scale
24735	Williams & King – Proposed Subdivision of Section 16 SO 449324 & Lot 1 DP 310997 & Easements over Lot 1 DP 174451	1:1000
25 230/WWP01	Haigh Workman – Lot 1 Example Wastewater Disposal Area	1:1000
25 230/S06	Level Spreader Outfall Detail	N.T.S

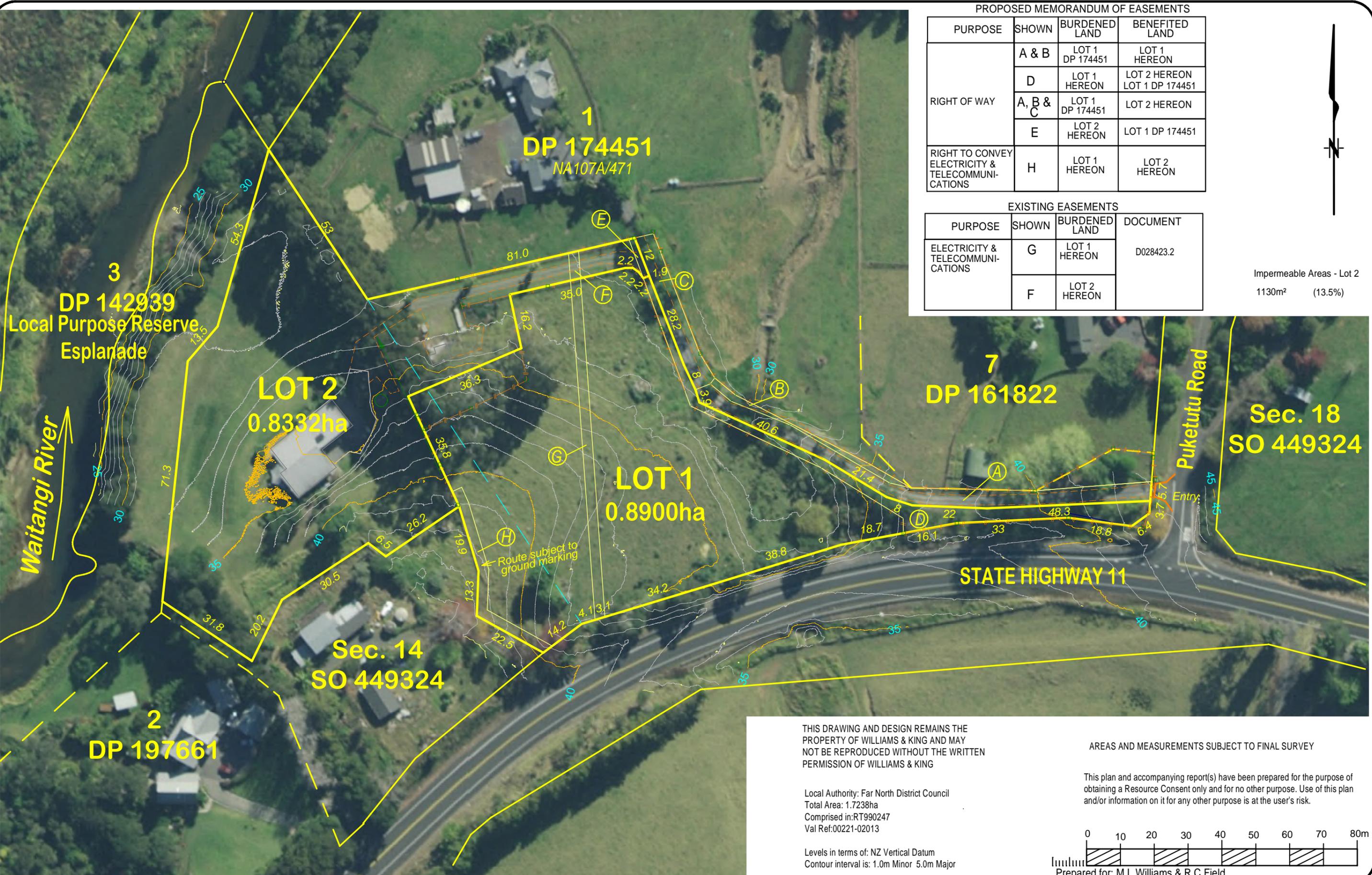
PROPOSED MEMORANDUM OF EASEMENTS

PURPOSE	SHOWN	BURDENED LAND	BENEFITED LAND
RIGHT OF WAY	A & B	LOT 1 DP 174451	LOT 1 HEREON
	D	LOT 1 HEREON	LOT 2 HEREON LOT 1 DP 174451
	A, B & C	LOT 1 DP 174451	LOT 2 HEREON
	E	LOT 2 HEREON	LOT 1 DP 174451
RIGHT TO CONVEY ELECTRICITY & TELECOMMUNICATIONS	H	LOT 1 HEREON	LOT 2 HEREON

EXISTING EASEMENTS

PURPOSE	SHOWN	BURDENED LAND	DOCUMENT
ELECTRICITY & TELECOMMUNICATIONS	G	LOT 1 HEREON	D028423.2
	F	LOT 2 HEREON	

Impermeable Areas - Lot 2  
1130m<sup>2</sup> (13.5%)



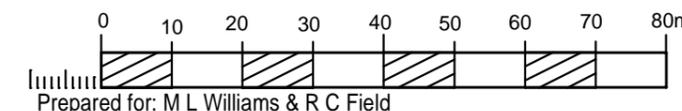
THIS DRAWING AND DESIGN REMAINS THE PROPERTY OF WILLIAMS & KING AND MAY NOT BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF WILLIAMS & KING

Local Authority: Far North District Council  
Total Area: 1.7238ha  
Comprised in: RT990247  
Val Ref: 00221-02013

Levels in terms of: NZ Vertical Datum  
Contour interval is: 1.0m Minor 5.0m Major

AREAS AND MEASUREMENTS SUBJECT TO FINAL SURVEY

This plan and accompanying report(s) have been prepared for the purpose of obtaining a Resource Consent only and for no other purpose. Use of this plan and/or information on it for any other purpose is at the user's risk.



Prepared for: M L Williams & R C Field

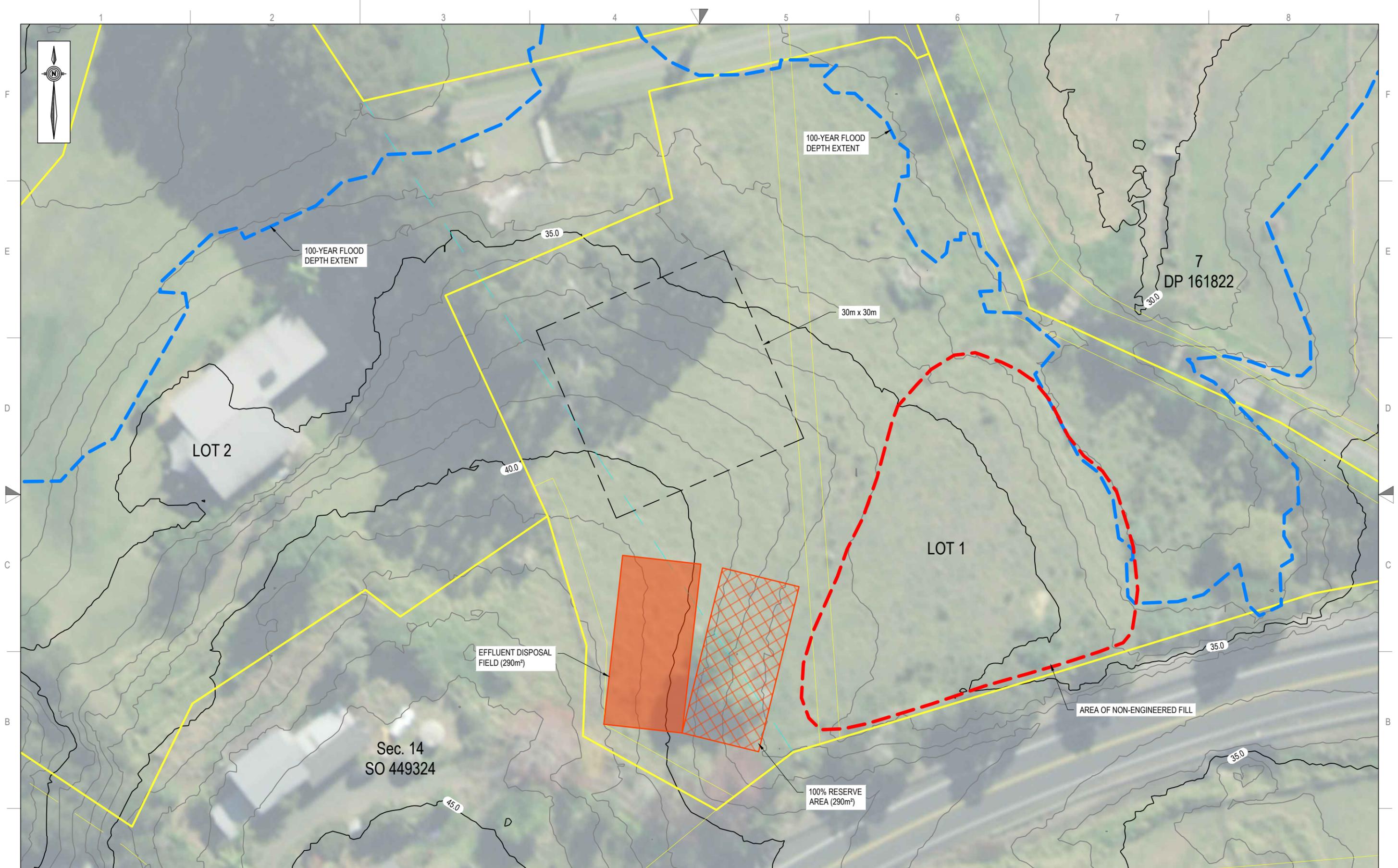
**WILLIAMS AND KING**  
Registered Land Surveyors, Planners &  
Land Development Consultants

Ph: (09) 407 6030 27 Hobson Ave  
Email: kerikeri@saps.co.nz PO Box 937 Kerikeri

Proposed Subdivision of Section 16 SO 449324 & Lot 1 DP 310997 & Easements over Lot 1 DP 174451

NAME	DATE	ORIGINAL SCALE	SHEET SIZE
SURVEY		1:1000	A3
DESIGN			
DRAWN	W & K Nov 2025		
REV			

24735



Rev	Date	Description	By	Checked
A	20/01/2026	FOR INFORMATION	JT	

DWG SITE PLAN

A3 Scale 1:500

0 10m 25m

Date 20/01/2026

Drawn JT      Checked      Approved

File T:\CLIENTS\MICHELLE WILLIAMS AND ROB FIELD\25 230 - 1 PUKETUTU DRIVE, HARURU\ENGINEERING\DRAWINGS\25\_230\_CIVIL\_DESIGN\_C3D.DWG

**HAIGH WORKMAN**  
Civil & Structural Engineers

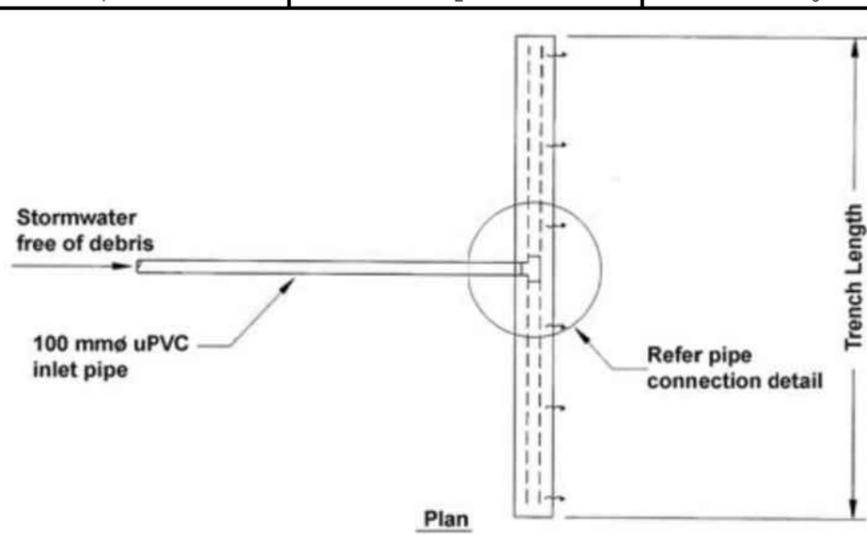
6 Fairway Drive  
Kenkeri, Bay of Islands  
New Zealand

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E: info@haighworkman.co.nz

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Project	WASTEWATER ASSESSMENT 1 PUKETUTU DRIVE, HARURU	Stage	
Client	MICHELLE WILLIAMS AND ROB FIELD	Dwg No.	P1
Project No.	25 230	RC no.	
		Sheet No.	1 of 1

Stage	
Dwg No.	P1
Sheet No.	1 of 1

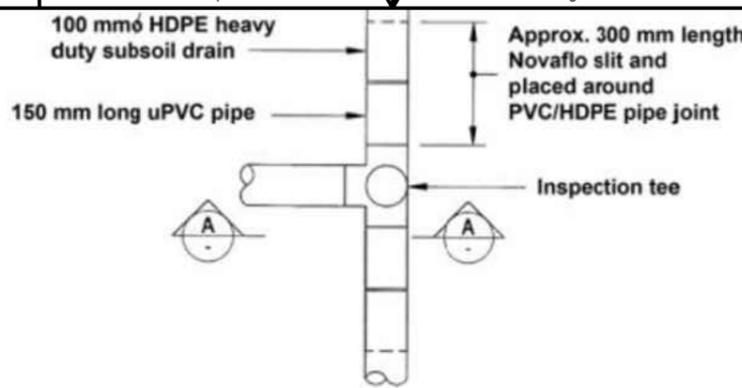


Keep dispersal trench 30 m clear of property boundary

**Design Parameters**

Effective catchment area drained (m <sup>2</sup> )	Trench Length (m)
100	8
200	12
300	14
400	16
500	18
600	20

(Note: effective catchment area drained = impervious area + 0.72 x pervious area)



Pipe connection detail Ensure even level along trench length for uniform flow dispersion

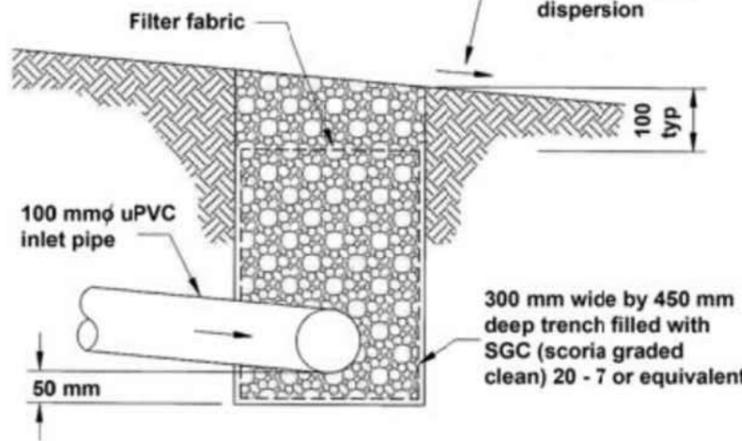
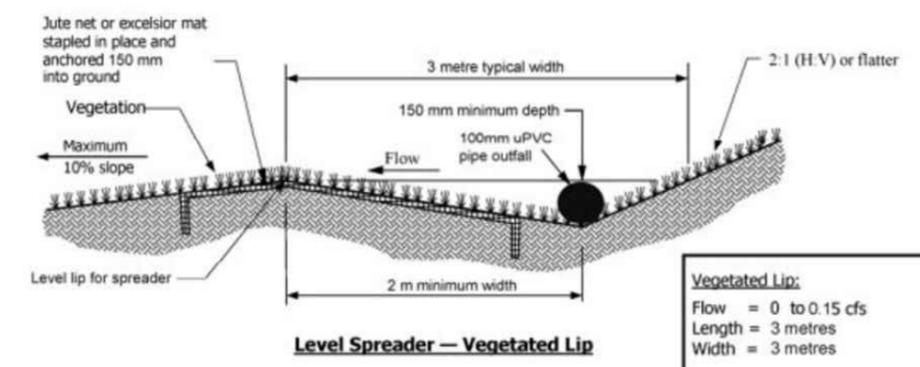


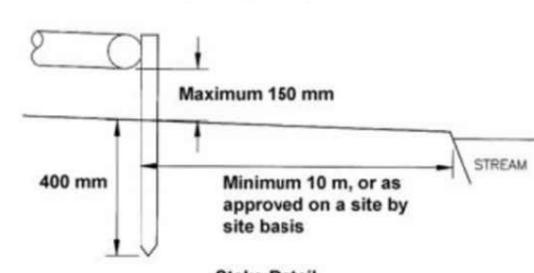
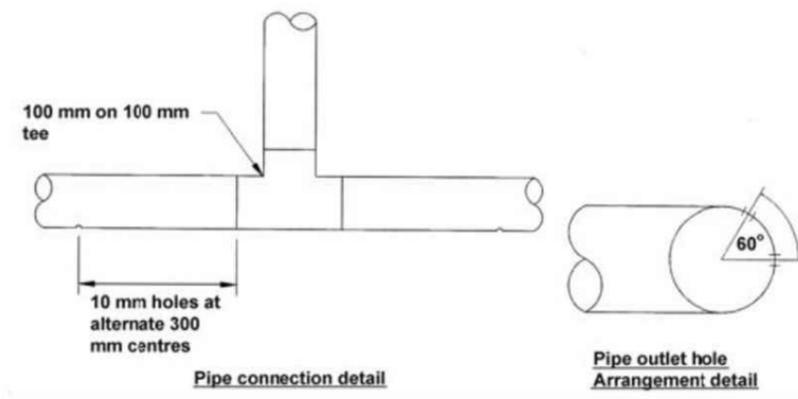
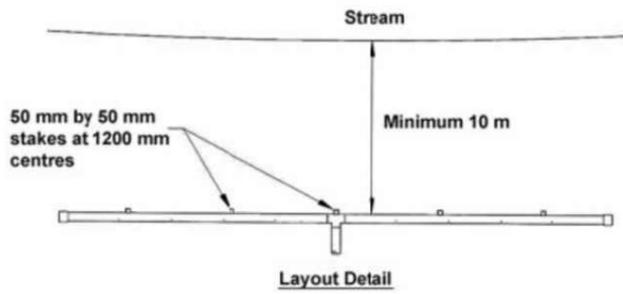
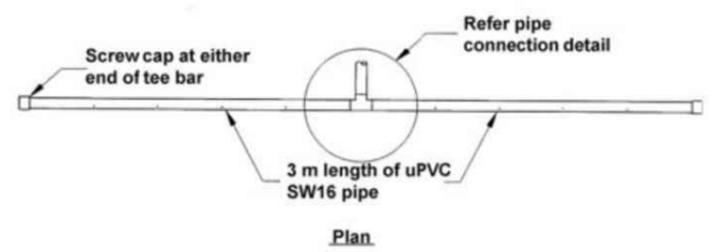
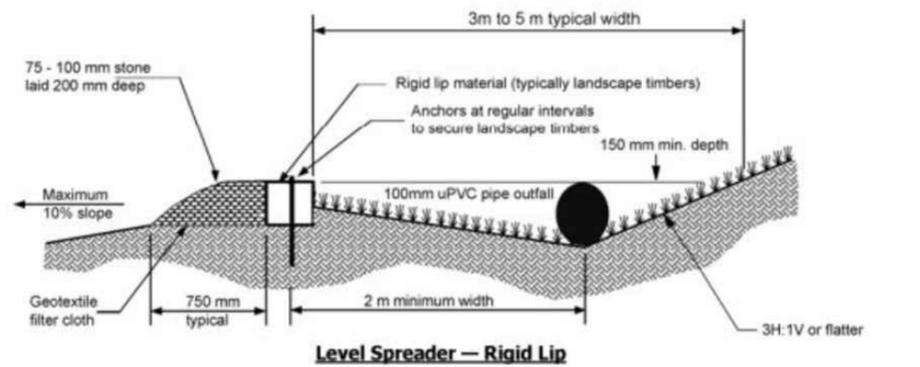
Figure C21  
Conceptual Layout of Flow Dispersal Trench

Figure C23  
Rigid Boundary Flow Dispersal



**Vegetated Lip:**  
Flow = 0 to 0.15 cfs  
Length = 3 metres  
Width = 3 metres

**Rigid Lip:**  
Flow = 0.15 to 0.4 m/s  
Length = 3 to 10 metres  
Width = 3m to 5 m



**Notes**  
1. Pin pipe and tee bar using 50x50 mm 114 treated stakes at 1200 mm centres. Level pipe and fix to stakes using down pipe clips.  
2. Stakes to be driven 400 mm into ground. Tee bar to be no more than 150 mm above ground level at any point and to be constructed dead level across length of tee bar.

For Consent

Rev	Date	Description	By	Checked
A	15/01/2026	For Consent	GM	TMA

DWG LEVEL SPREADER OUTFALL DETAIL	
A3 SCALE Not to Scale	Date 19/01/26
Drawn GM	Checked TMA
Approved JP	
File T:\CLIENTS\MICHELLE WILLIAMS AND ROB FIELD\25 230 - 1 PUKETUTU DRIVE, HARURU\ENGINEERING\DRAWINGS\LEVEL SPREADER LP25 217, DETAILS.DWG	

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Project	PROPOSED SUBDIVISION AT 1 Puketutu Drive, Haruru	Stage	00
Client	Michelle Williams and Rob Field	Dwg No.	SWD01
Project No.	25 230	Sheet No.	1 of 1
RC no.			

## Appendix B – Borehole Log

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Kerikeri, 0230  
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Fax 09 407 8378  
[www.haighworkman.co.nz](http://www.haighworkman.co.nz)  
[info@haighworkman.co.nz](mailto:info@haighworkman.co.nz)

## Borehole Log - BH01

Hole Location: Refer to Site Plan

JOB No. 25 230

CLIENT: M Williams & R Field      SITE: 1 Puketutu Drive, Haruru  
Date Started: 09/12/2025      DRILLING METHOD: Hand Auger      LOGGED BY: GM  
Date Completed: 09/12/2025      HOLE DIAMETER (mm) 50mm      CHECKED BY: TMA

Soil Description Based on NZGS Logging Guidelines 2005	Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)	
TOPSOIL Grey sandy SILT with minor gravel, moist 0.3m	0.0	Waipapa Group sandstone		Groundwater not encountered			0 5 10 15 20 25	
SILT, brown clayey with minor sand, moist 0.4m								
CLAY, light brown/orange silty with trace of sand, moist 1m	0.5							
Pale orange/white	1.0	Bedrock geology: Rangiora clay, clay loam.						
	1.5							
<b>End of hole at 2.02m (Target Depth)</b>		Weathered geology:						
								2.0
								2.5
								3.0
								3.5
								4.0
		4.5						
		5.0						

### LEGEND

TOPSOIL    CLAY    SILT    SAND    GRAVEL    FILL

Corrected shear vane reading   
Remoulded shear vane reading   
Scala Penetrometer

Note: UTP = Unable to penetrate. T.S. = Topsoil.  
Hand Held Shear Vane S/N: DR1698

## Appendix C – Photographs



Figure 15 - State Highway 11 entrance onto Puketutu Drive (Google Street View September 2024)



Figure 16 - Sight distance looking North on entrance of private driveway onto Puketutu Drive. Sight distance 56m.



Figure 17 - Sight distance looking south on entrance of private driveway onto Puketutu Drive. Sight distance 14m



Figure 18 - Sight distance on northern approach to private driveway entrance. Sight distance 56m



Figure 19 - On private driveway proposed lot 1 potential entrance looking North-west



Figure 20 - On private driveway proposed lot 1 potential entrance looking East towards entrance onto Puketutu Drive



**Figure 21 - Picture of the corner before the proposed plot 1 potential entrance where a passing bay could be constructed. (Remove trees and preform earthworks to clear area)**



**Figure 22 - Culvert from underneath the state highway 11 that runs through potential lot 1**



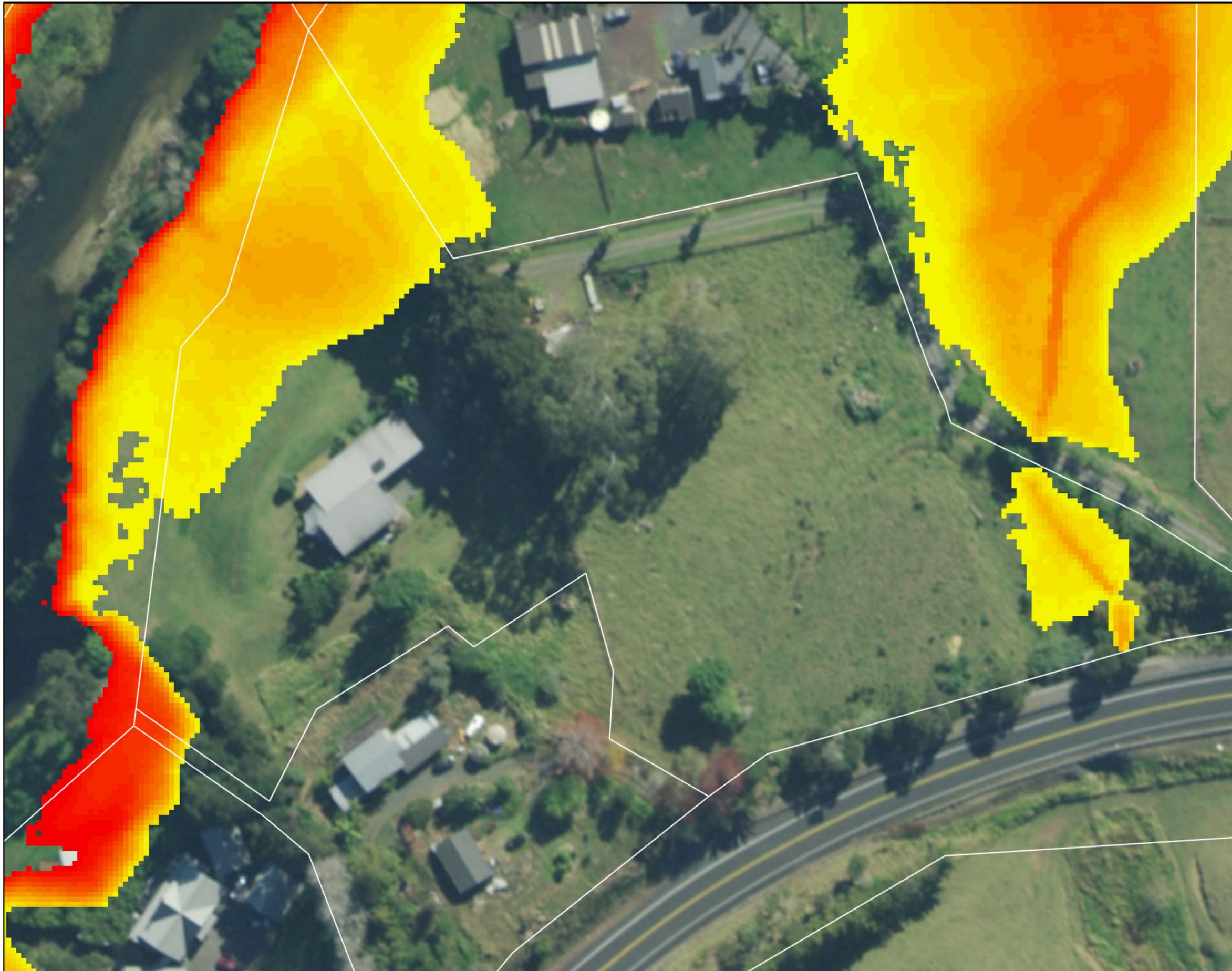
Figure 23 - Existing driveway from the developed proposed lot 2 entrance (End of private driveway)



Figure 24 - Stormwater runoff culvert on developed proposed lot 2



## Appendix D – NRC Flood Report

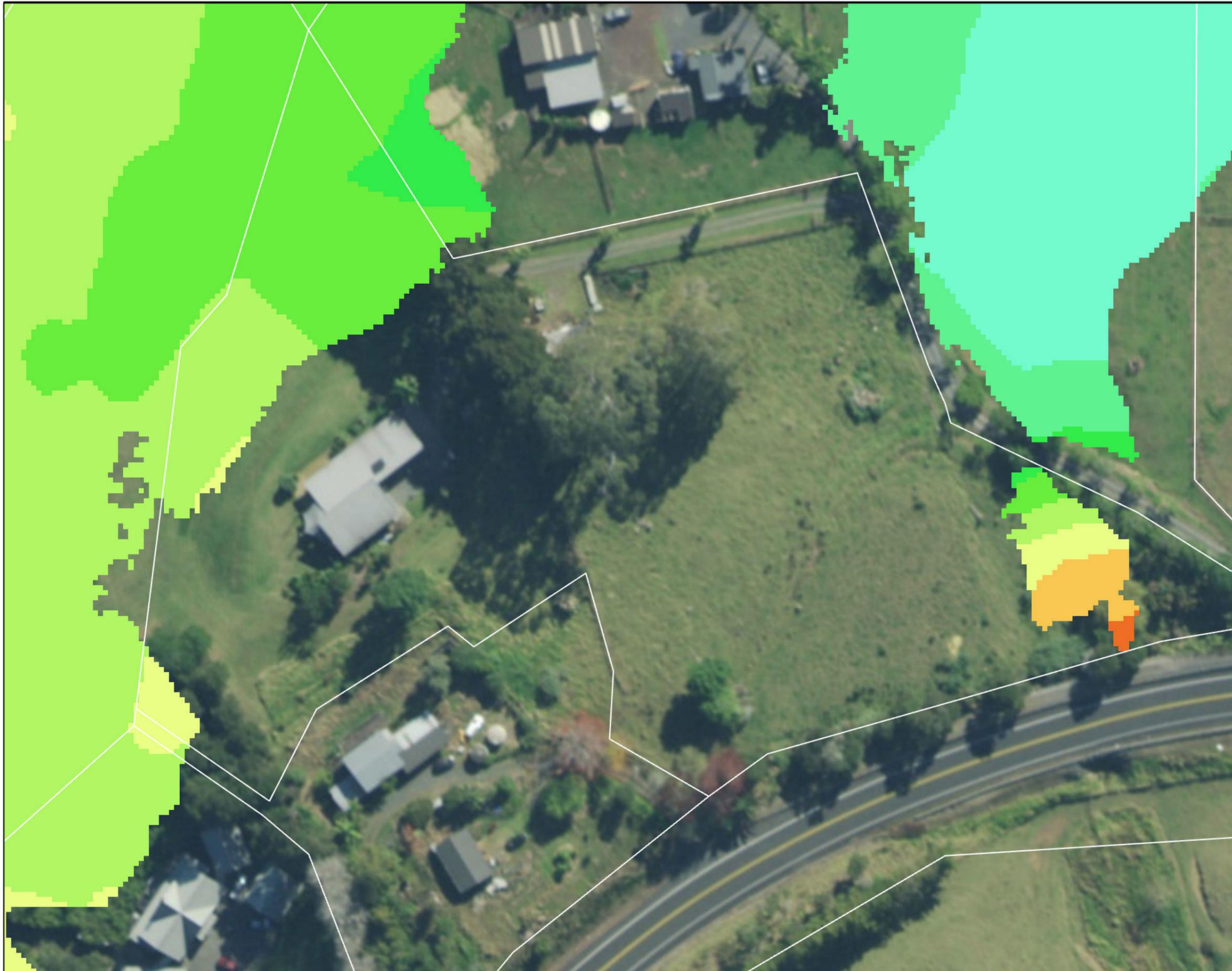


### Legend

ARI010\_Depth

Value

- 0.001 - 0.2
- 0.201 - 0.4
- 0.401 - 0.6
- 0.601 - 0.8
- 0.801 - 1
- 1.001 - 1.2
- 1.201 - 1.4
- 1.401 - 1.6
- 1.601 - 1.8
- 1.801 - 2
- 2.001 - 2.2
- 2.201 - 2.4
- 2.401 - 2.6
- 2.601 - 2.8
- 2.801 - 3
- 3.001 - 3.2
- 3.201 - 3.4
- 3.401 - 3.6
- 3.601 - 3.8
- 3.801 - 4

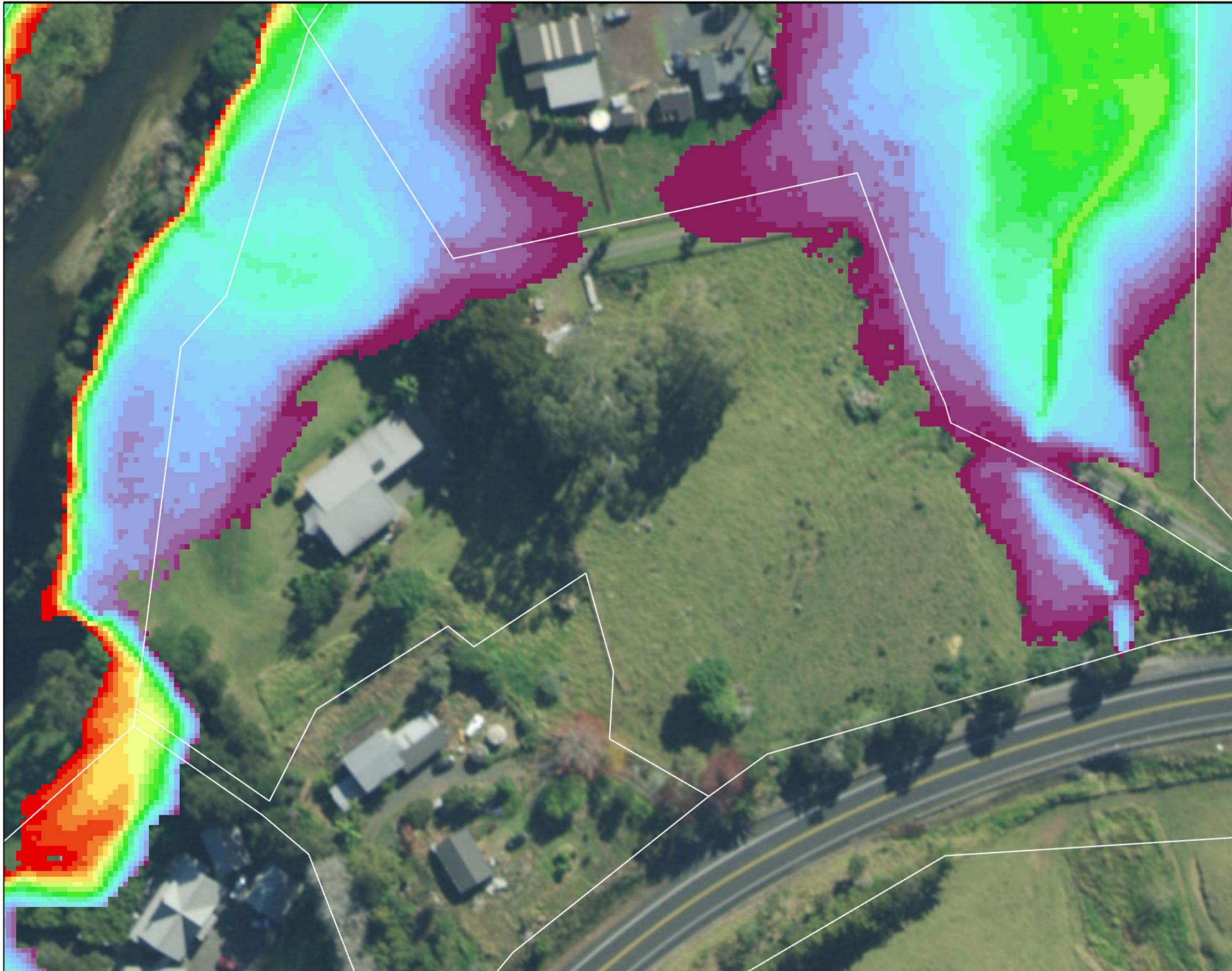


### Legend

Ari010\_Level\_NZVD

Value

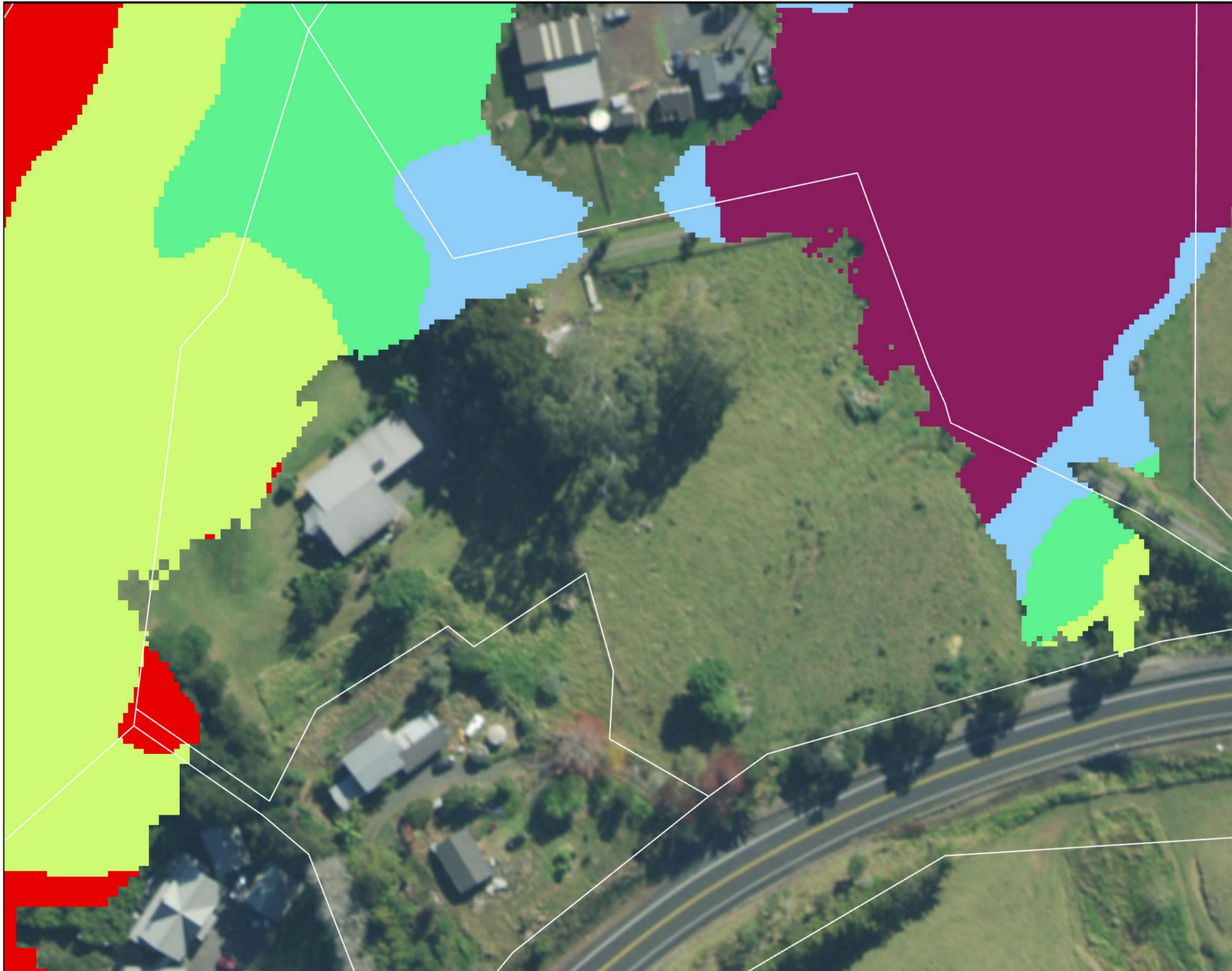
- 30.193 - 30.2
- 30.201 - 30.4
- 30.401 - 30.6
- 30.601 - 30.8
- 30.801 - 31
- 31.001 - 31.2
- 31.201 - 31.4
- 31.401 - 31.6
- 31.601 - 31.8
- 31.801 - 32
- 32.001 - 32.2
- 32.201 - 32.4
- 32.401 - 32.6
- 32.601 - 32.8
- 32.801 - 33



### Legend

ARI100\_Depth  
Value

- 0.000032 - 0.2
- 0.200001 - 0.4
- 0.400001 - 0.6
- 0.600001 - 0.8
- 0.800001 - 1
- 1.000001 - 1.2
- 1.200001 - 1.4
- 1.400001 - 1.6
- 1.600001 - 1.8
- 1.800001 - 2
- 2.000001 - 2.2
- 2.200001 - 2.4
- 2.400001 - 2.6
- 2.600001 - 2.8
- 2.800001 - 3
- 3.000001 - 3.2
- 3.200001 - 3.4
- 3.400001 - 3.6
- 3.600001 - 3.8
- 3.800001 - 4
- 4.000001 - 4.2
- 4.200001 - 4.4
- 4.400001 - 4.6
- 4.600001 - 4.8
- 4.800001 - 5



### Legend

Ari100\_Level\_NZVD

Value

- 32.382 - 32.4
- 32.401 - 32.6
- 32.601 - 32.8
- 32.801 - 33
- 33.001 - 33.2



*Top Energy Limited*

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10 December 2025

Wayne Smith  
Zenith Planning Consultants Limited

Email: [wayne@zenithplanning.co.nz](mailto:wayne@zenithplanning.co.nz)

To Whom It May Concern:

**RE: PROPOSED SUBDIVISION**

**Rob Field – 1 Puketutu Drive, Haruru. Section 16 SO 449324 \$ Lot 1 DP 310997.**

Thank you for your recent correspondence with attached proposed subdivision scheme plans.

Top Energy's requirement for this subdivision is that power be made available for the additional lot.

Top Energy advises that there is an existing power supply to proposed Lot 2.

Design and costs to provide a power supply to proposed lot 1 would be provided after application and an on-site survey have been completed.

Link to application: [Top Energy | Top Energy](#)

Top Energy advises that there is an existing power supply to both, proposed Lot 2 and Lot 1 DP 17441, crossing proposed Lot 1. Once cable locations have been accurately determined and surveyed, the creation of reciprocal easements can proceed if required.

In order to get a letter from Top Energy upon completion of your subdivision, a copy of the resource consent decision must be provided.

Yours sincerely

**Aaron Birt**

Planning and Design

E: [aaron.birt@topenergy.co.nz](mailto:aaron.birt@topenergy.co.nz)