

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

2. Type of consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Brigette Musgrave and Barry Paton c/- Arcline Architecture

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 (Ltd)

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Brigette Musgrave and Barry Paton

**Property address/
location:**

Lot 4 Tasman Heights

Ahipara

0481

Postcode

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☐ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☒ Yes ☐ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☒ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Brigette Musgrave and Barry Paton c/- Arcline Architecture

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Louise Collett - for Barry Paton and Brigette Musgrave

Signature:

(signature of bill payer)

Date 22-Jan-2025

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Louise Collett - for Barry Paton and Brigette Musgrave

Signature

Date 22-Jan-2026

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **301153**
Land Registration District **North Auckland**
Date Issued 06 June 2008

Prior References
240134

Estate Fee Simple
Area 719 square metres more or less
Legal Description Lot 4 Deposited Plan 374702
Registered Owners
Barry John Paton and Brigette Jennifer Musgrave

Interests

Appurtenant hereto is a right of way specified in Easement Certificate A381942

Appurtenant hereto is a water supply right specified in Easement Certificate C704507.5 - 25.1.1995 at 1:36 pm

5627156.4 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 18.6.2003 at 9:00 am

Appurtenant hereto is a right of way, a right to convey telecommunications and computer media and electricity and drain sewage created by Easement Instrument 5627156.8 - 18.6.2003 at 9:00 am

The easements created by Easement Instrument 5627156.8 (except sewage) are subject to Section 243 (a) Resource Management Act 1991

7838695.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 6.6.2008 at 9:00 am

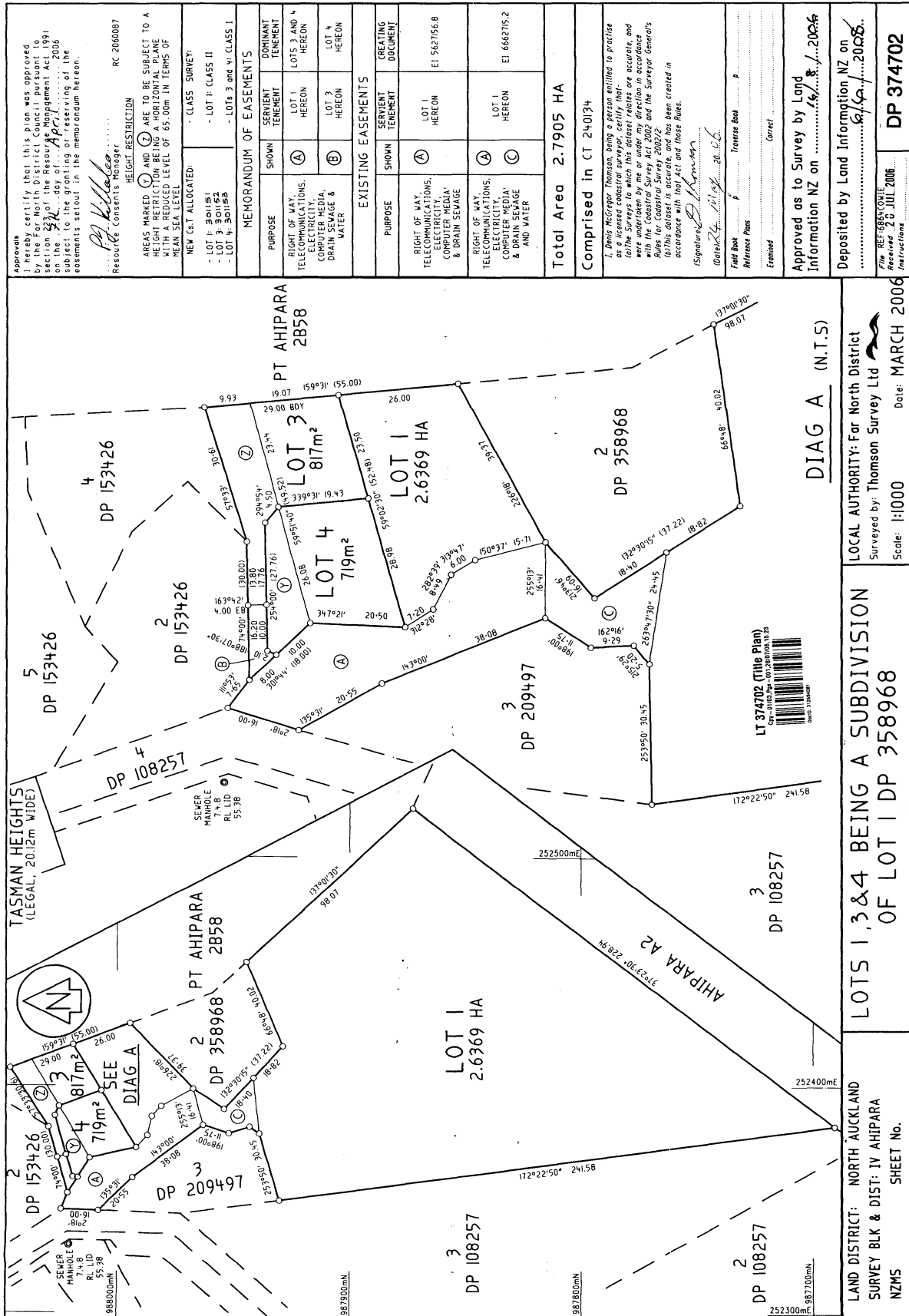
Appurtenant hereto is a right of way, telecommunications, electricity, computer media, drain sewage and water created by Easement Instrument 7838695.4 - 6.6.2008 at 9:00 am

The easements created by Easement Instrument 7838695.4 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Transfer 7838695.5 - 6.6.2008 at 9:00 am

12119694.1 Variation of Land Covenant 7838695.5 - 24.5.2021 at 1:26 pm

12119694.2 Variation of the conditions of the easement created by Easement Instrument 7838695.4 - 24.5.2021 at 1:26 pm



Approved: <i>P. J. Killeen</i> RC 2060087 Resource Consents Manager		HEIGHT RESTRICTION AREAS MARKED (A) AND (B) ARE TO BE SUBJECT TO A HEIGHT RESTRICTION BEING A HORIZONTAL PLANE WITH A REDUCED LEVEL OF 65.00m IN TERMS OF MEAN SEA LEVEL	
NEW C&T ALLOCATED: - LOT 1: 301153 - LOT 3: 301152 - LOT 4: 301153		CLASS SURVEY: - LOT 1: CLASS II - LOTS 3 and 4: CLASS I	
MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	DOMINANT TENEMENT
RIGHT OF WAY, TELECOMMUNICATIONS, ELECTRICITY, COMPUTER MEDIA, DRAIN SEWAGE & WATER	(A)	LOT 1 HEREON	LOTS 3 AND 4 HEREON
	(B)	LOT 3 HEREON	LOT 4 HEREON
EXISTING EASEMENTS			
PURPOSE	SHOWN	SERVIENT TENEMENT	CREATING DOCUMENT
RIGHT OF WAY, TELECOMMUNICATIONS, ELECTRICITY, COMPUTER MEDIA & DRAIN SEWAGE	(A)	LOT 1 HEREON	E1 5627156.8
	(C)	LOT 1 HEREON	E1 6662715.2
Total Area 2.7905 HA			
Comprised in CT 240134			
I, Denis McGregor Thomson, being a person entitled to practise as a licensed cadastral surveyor, certify that:- (a) the surveys to which this dataset relates are accurate, and were undertaken by me or under my direction in accordance with the provisions of the Resource Management Act 1991 and the Survey Act 2002; (b) this dataset is accurate, and has been created in accordance with that Act and those Rules. (Signature) <i>D. McGregor</i> (Date) <i>22 JUL 2006</i>			
Field Book	Reference Plus	Examined	Traverse Book
			Correct
Approved as to Survey by Land Information NZ on <i>22 JUL 2006</i>			
Deposited by Land Information NZ on <i>22 JUL 2006</i>			
FILE REF: 301153 Received 22 JUL 2006 Instructions			
Approved: <i>DP 374702</i>			

Land Use Resource Consent Proposal

B Paton & B Musgrave

31 Tasman Heights Drive, Ahipara

Date 4 February 2026

Please find attached:

- an application form for a Land-use Resource Consent to construct a residential dwelling in the **Residential Zone**; the site is also identified as containing land as Outstanding Landscape Feature and
- an Assessment of Environmental Effects indicating the potential and actual effects of the proposal on the environment.

The application has been assessed as a **Discretionary Activity** under the Far North Operative District Plan and **Permitted** under the Proposed District Plan.

If you require further information, please do not hesitate to contact me.

Regards,

Alex Billot



Resource Planner

Sheryl Hansford



Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED

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Attachments:

- 1. Far North District Council Application**
- 2. Record of Title – LINZ**
- 3. Consent Notice 5627156.4 –LINZ**
- 4. Consent Notice 7838695.2 - LINZ**
- 5. Plan Set – Arcline**
- 6. Visual Amenity Assessment – Hawthorn Landscape Architects**
- 7. Landscape Plan – Hawthorn Landscape Architects**
- 8. Approval – Fire & Emergency NZ**
- 9. Correspondence – Fire & Emergency NZ**



Assessment of Environment Effects

1. Description of the Proposed Activity

- 1.1. The Applicant is seeking to construct a dwelling within the subject site. The dwelling has been designed in accordance with the contour of the land to minimise excavation works and mitigate visual effects. The dwelling is set out over two levels. The lower level will contain a garage, two bedrooms, one bathroom and a shared space. The upper level will be accessed via stairs and a lift from the lower level with an upper-level deck also providing ease of access. The upper floor will contain an additional two bedrooms, one with ensuite and an open plan living/dining/kitchen area. A deck will also be attached to the upper level which will encapsulate views of Ahipara and surrounds.
- 1.2. The site is zoned as Residential, with the southern half being located within an Outstanding Landscape Feature overlay under the Operative District Plan (ODP). The proposal requires resource consent under the following rules:
 - **12.1.6.1.1 Protection of Outstanding Landscape Features**
 - **12.1.6.3.2 Buildings within Outstanding Landscape Features**
 - **12.4.6.1.2 Fire Risk to Residential Units**
- 1.3. The proposal has been assessed as a **Discretionary Activity** under the ODP.

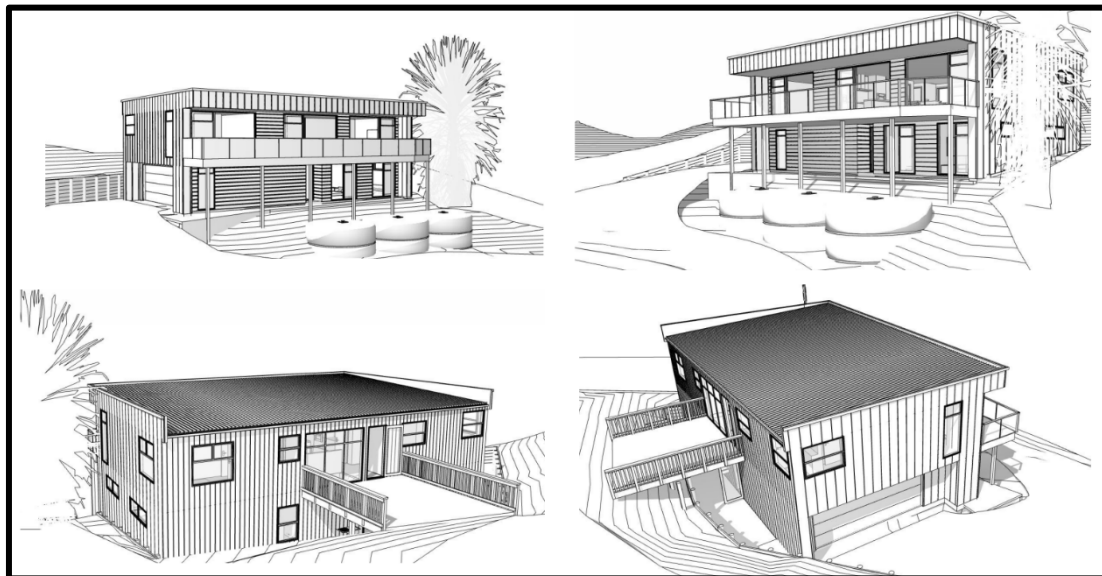


Figure 1: Concept design for the proposed dwelling.

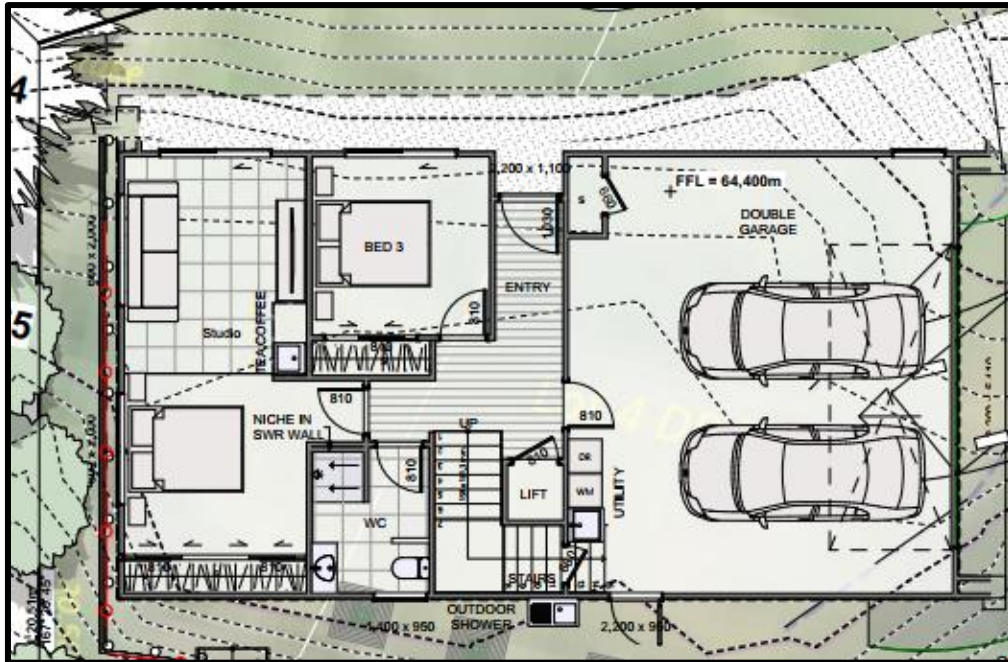


Figure 2: Lower Floor Plan.

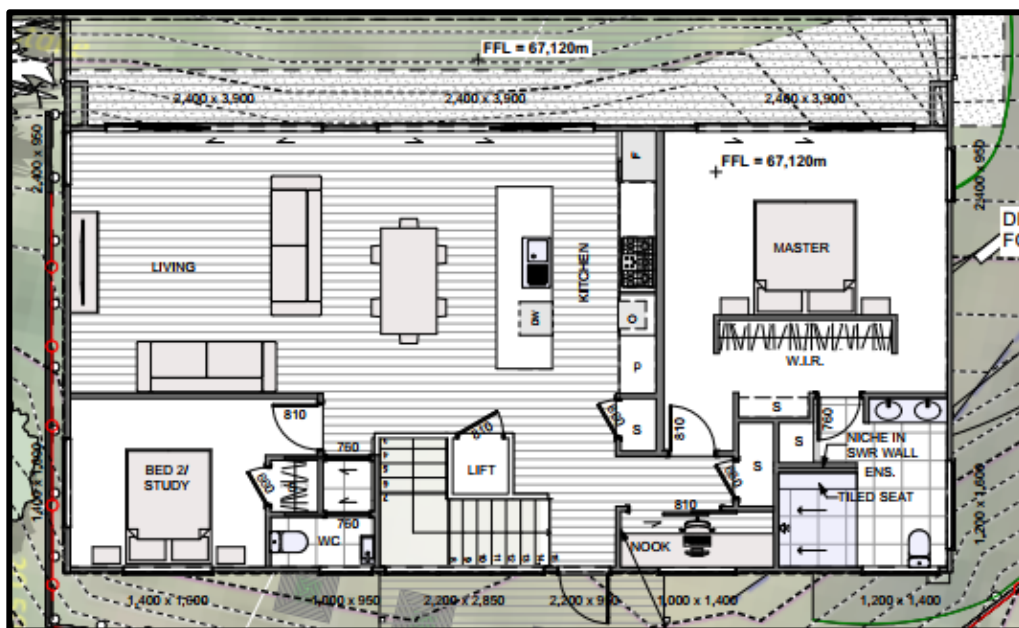


Figure 3: Upper Floor Plan.

2. The site and surrounding environment

- 2.1. The subject site is located at 31 Tasman Heights, Ahipara and is zoned Residential with the southern half of the site being identified as an Outstanding Landscape Feature detailed as 'Escarpment Cone Area Overlooking Ahipara'. There is an area of Outstanding Landscape (Herekino Forest) to the south which does not encroach into the subject site. The legal description of the site is Lot 4 DP 374702 and has an area of 719m².

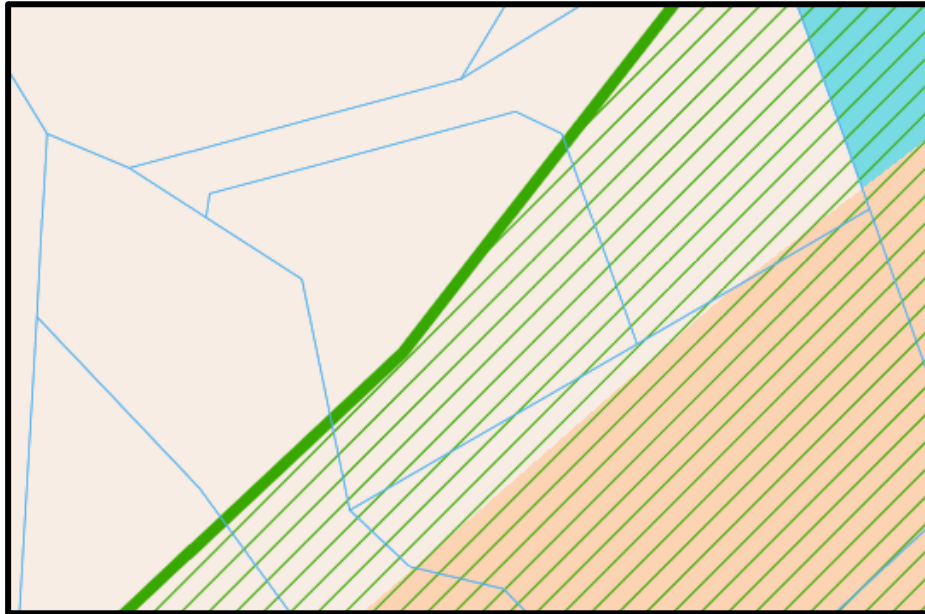


Figure 4: ODP Zoning and Overlay for the site.

- 2.2. The topography of the property is relatively steep, with the site sloping downwards from the rear. There is an existing benched area which the dwelling is proposed to be built on. The site is currently vacant and has vegetation coverage of grass as well as an existing metalled drive. The surrounding area consists of residential housing which has been developed both above and below the site.
- 2.3. The site and surrounding environment are zoned residential, with the exception of the larger block to the east of the site which is zoned as General Coastal. The area of Outstanding Natural Feature and Landscape extend to the south of the site, with a Site of Cultural Significance also being located further south, noted as Whangatauatia Historic Reserve and Maunga Tapu.

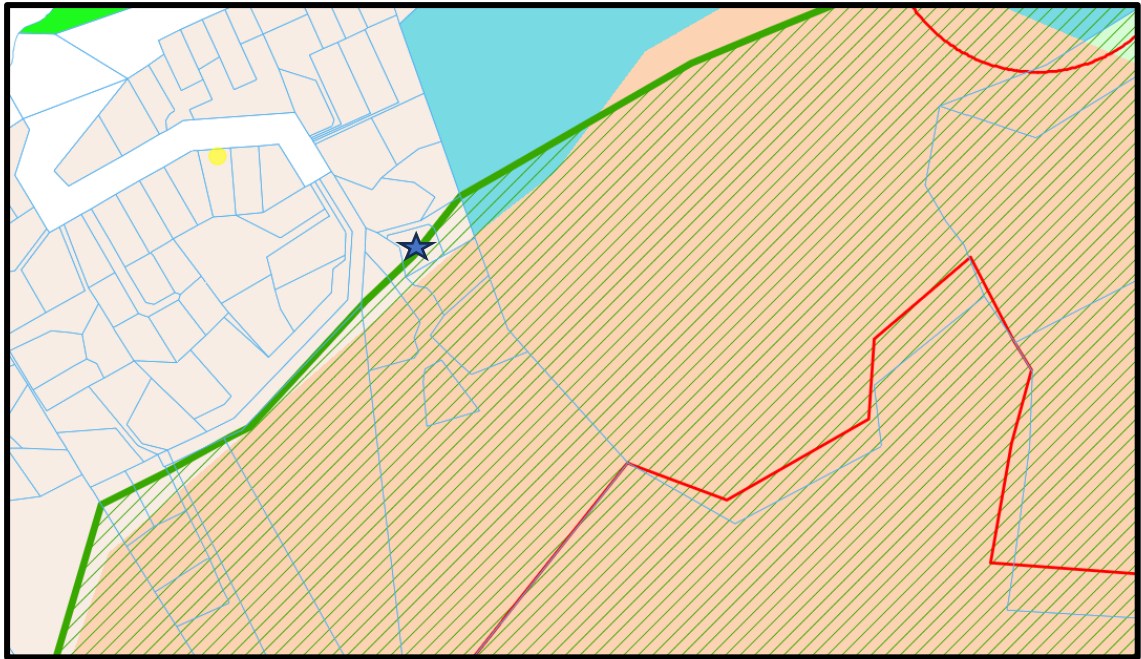


Figure 5: Zoning and features within the surrounding environment (subject site is depicted by the star).



Figure 6: Aerial image of the subject site (depicted by the star) and surrounding environment.

Site Visit

2.4. A site visit was completed in January 2026, with a compilation of photos shown below:



Figure 8: Existing driveway and proposed location of dwelling.



Figure 7: Existing driveway along front of site.



Figure 10: Existing bush along southern boundary.

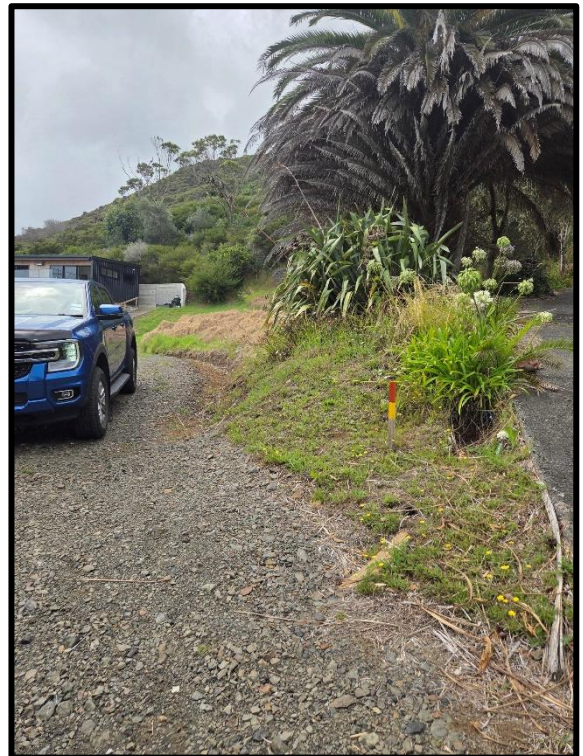


Figure 9: Existing driveway looking towards site.

3. Background

Title

- 3.1. The subject site is legally described as Lot 4 DP 374702 and is held in Record of Title 301153, with an area of 719m².
- 3.2. There are two consent notices registered on the title. A summation of the conditions listed has been included below:

Consent Notice 5627156.4

- 3.2.1. This consent notice is no longer applicable as the site has since been subdivided with the consent notice below now being applicable to this site.

Consent Notice 7838695.2

- 3.2.2. A summation of the conditions listed on the consent notice is as below:
- i. Any earthworks on Lots 1, 3 & 4 within the subdivision which exceeds 50 cubic metres in total, or exceeds a 1.0 metre high cut and/or fill face, shall only be commenced with the written approval of the Council. Such approval may require the submission to the Council of technical/ professional plans and/or advice as to the works required and their suitability. Such requirement herein is to be, where applicable, in addition to the provisions of Council's General Bylaws.
 - ii. All earthworks undertaken on Lots 1, 3 & 4 are to be supervised by a Chartered Professional Engineer (CPEng), engaged by the consent holder. The Council is to be advised in writing of the appointment of the Engineer, be notified when the work is to commence, and also when it has been completed.
 - iii. The owners of Lots 1, 3 and 4 in conjunction with building work being carried out on these allotments shall implement any recommendations of the stormwater report prepared in accordance with condition 3(b) of Resource Consent 2060087.
- 3.2.3. The proposal is able to comply with all of the above consent notice conditions. An earthworks permit will be applied for at Building Consent stage along with the stormwater detail.

Area Y as shown on DP374702

- 3.2.4. Area Y is located within the northern portion of the site and is subject to a height restriction. The Plan set shows that the semi buried tanks will be located partially within Area Y and will have a maximum RL of 65000, which complies with the height restriction.



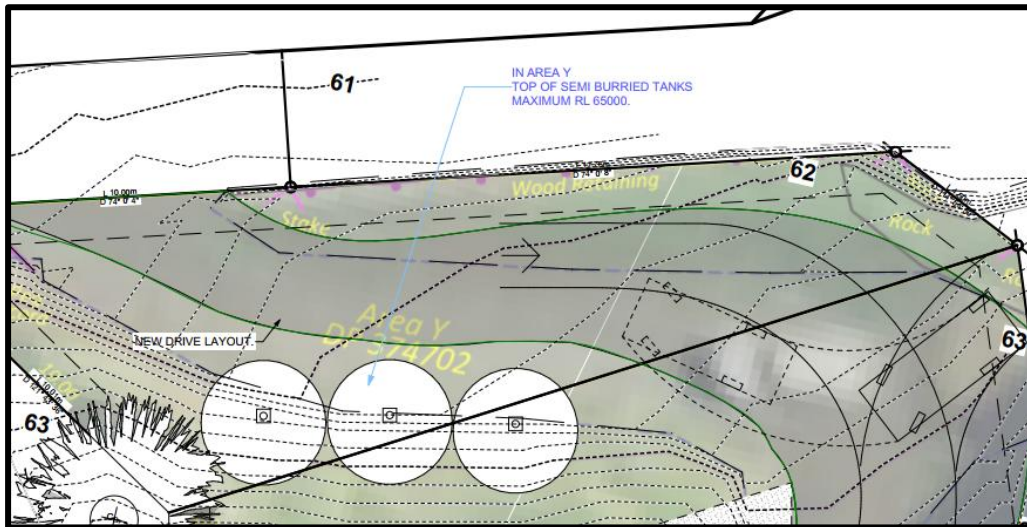


Figure 11: Snip of proposed Plan Set showing Area Y.

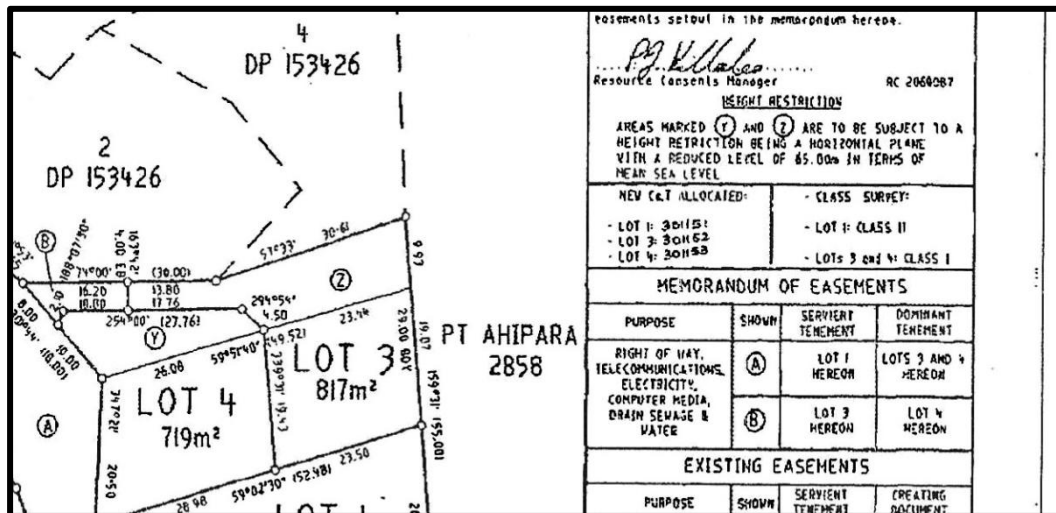


Figure 12: Snip of Title Plan showing Area Y.

Site Features

- 3.3. The site is located within the Residential zone, the site does not contain any areas identified as being Outstanding Landscape, however, the southern half is shown as Outstanding Landscape Feature under the FNDC Operative District Plan, as illustrated in Figure 4 earlier in this report.
- 3.4. Under the Proposed District Plan the site is zoned General Residential. The site is also located within the Coastal Environment overlay. The site is not shown to be of Outstanding Natural Feature under the PDP.
- 3.5. The site is not shown to be registered on the HAIL.



- 3.6. The site is not serviced by reticulated wastewater, water or stormwater services and as such, these will be managed on site.
- 3.7. The site is not shown to be susceptible to river flood hazards or coastal hazards. The land is shown as being erosion prone land with excavations being controlled as part of the BC stage as detailed within the consent notice conditions for the site.
- 3.8. The site is not shown to be within an area where kiwi are present nor is it shown to contain any areas of PNA.
- 3.9. The site is also wholly contained within the coastal environment, as is the majority of Ahipara.
- 3.10. The site is not shown to contain any known archaeological sites.

4. Weighting of Plans

- 4.1. The Council notified its' PDP on 27 July 2022. The period for public submissions closed on the 21 October 2022. A summary of submissions was notified on the 4 August 2023. The further submission period closed on the 5 September 2023.
- 4.2. A large number of comprehensive submissions were received across the board such that the Council has confirmed that other than the rules which were initially identified as having immediate legal effect no additional rules will have legal effect until such time as a decision is made on those provisions.
- 4.3. District Plan hearings on submissions have recently concluded, however no decisions on the PDP have been issued. For this reason, PDP rules which do not have immediate legal effect are not considered.
- 4.4. Recent advice from Council is that objectives and policies of the PDP are now given more weighting.

5. Activity Status of the proposal

- 5.1. Under the Operative Plan, the subject site is located within the Residential Zone as well as the southern half of the site being within an Outstanding Landscape Feature Overlay.
- 5.2. Under the Proposed District Plan, the site is zoned as General Residential as well as being within the Coastal Environment Overlay. The OLF overlay has been removed under the PDP.

Operative Plan - Residential zone

- 5.3. Under the Operative Plan, the site is zoned Residential. An assessment of the rules under Section 7.6.5.1, has been undertaken below.



Assessment of the permitted RESIDENTIAL ZONE RULES:		
Plan Reference	Rule	Performance of Proposal
7.6.5.1.1	RELOCATED BUILDINGS	Not applicable.
7.6.5.1.2	RESIDENTIAL INTENSITY	Permitted. The subject site is currently vacant and the proposal will result in one residential dwelling on the site as per the plan set attached with this application.
7.6.5.1.3	SCALE OF ACTIVITIES	Not applicable. The proposal is for a residential activity.
7.6.5.1.4	BUILDING HEIGHT	Permitted. The maximum height of the proposed building is 6.2m which complies with the permitted threshold of 8m
7.6.5.1.5	SUNLIGHT	Permitted. The structures comply with the permitted sunlight rules as detailed in the Plan Set.
7.6.5.1.6	STORMWATER MANAGEMENT	Permitted. The permitted threshold for the Residential Zone is 50%. The proposed impermeable surfaces will equate to 357m ² or 49.6% of the total site area, which complies with the permitted threshold.
7.6.5.1.7	SETBACK FROM BOUNDARIES	Permitted. The minimum setback is 1.2m, except that no setback is required for a maximum total length of 10m along any one such boundary. The proposal can comply with the permitted setback requirements as per the Plan Set.
7.6.5.1.8	SCREENING FOR NEIGHBOURS – NON-RESIDENTIAL ACTIVITIES	Not applicable. The proposal is for a residential activity.
7.6.5.1.9	OUTDOOR ACTIVITIES	Not applicable. The proposal is for a residential activity only.
7.6.5.1.10	VISUAL AMENITY	Not applicable.
7.6.5.1.11	TRANSPORTATION	Permitted. Traffic: The District Plan anticipates 10 traffic movements per standard household. The first residential dwelling on a site is exempt from this rule. The proposal will not increase the TIF of the site. Access: The access is via an existing right of way. It is not anticipated any upgrades to the access or crossing place are required due to the nature of the consent.



		<p>No further assessment of Chapter 15 is considered necessary as part of this application.</p> <p>FNDC is now classified as a Tier 3 Council and as such Policy 11(a) of the National Policy Statement for Urban Development 2020 (NPS-UD) clause 3.38 requires the removal of provisions, standards and rules that require a minimum number of car parks to be provided when undertaking development other than for accessible car parks. The proposal does not require the need for accessible car parks given the development is for residential use. As such, the proposal is deemed permitted in terms of the now relevant parking rules.</p>
7.6.5.1.12	SITE INTENSITY – NON-RESIDENTIAL ACTIVITIES	Not applicable. The proposal is for residential activities.
7.6.5.1.13	HOURS OF OPERATION – NON-RESIDENTIAL ACTIVITIES	Not applicable.
7.6.5.1.14	KEEPING OF ANIMALS	Not applicable. No keeping of animals is proposed.
7.6.5.1.15	NOISE	Permitted. The proposed activity is not anticipated to exceed the permitted threshold for noise given it is for a residential activity.
7.6.5.1.16	HELICOPTER LANDING AREA	Not applicable. No helicopter landing areas are proposed.
7.6.5.1.17	BUILDING COVERAGE	Permitted. The permitted building coverage of the zone is 45% of the total site area. The proposed building coverage is 198m ² or 27.5%, which complies with the permitted threshold.

District Wide Matters

Assessment of the permitted 12.1 Natural & Physical Resources		
Plan Reference	Rule	Performance of Proposal
Assessment 12.1 Landscapes and Natural Features		
12.1.6.1.1 (P)	PROTECTION OF OUTSTANDING LANDSCAPE FEATURES	Discretionary (a) Some planting of trees is required for landscaping purposes as per the Landscape Plan prepared by Hawthorn Landscape Architects and attached



12.1.6.3.2 (D)		<p>within Appendix 7 of this application. However, this is not anticipated to result in more than 50 trees of a single species.</p> <p>(b) Not applicable as no above ground utility services are proposed.</p> <p>(c) The proposal will result in an excavation volume of 195 cubic metres. This rule does not allow for any excavations and therefore, the proposal will result in a breach of this rule. Consent required.</p> <p>(d) Not applicable as no vegetation clearance is proposed.</p> <p>There are no provisions within the RDA criteria for buildings within Outstanding Landscape Features and therefore the proposal defaults to Discretionary.</p> <p><i>Rule 12.1.6.3.2 Buildings within Outstanding Landscape Features</i> states that any new building is a Discretionary Activity.</p> <p>No other rules within this chapter are considered relevant given they relate to Outstanding Landscapes rather than Outstanding Landscape Features.</p>
Assessment of 12.3 Soils & Minerals		
12.3.6.1.3	EXCAVATION AND/OR FILLING IN THE RESIDENTIAL ZONE	<p>Permitted.</p> <p>The proposal requires 195m³ of excavation which does not exceed the permitted volume of 200m³ and does not involve a cut or filled face exceeding 1.5m in height. The total area of excavations is 249m² as shown on Sheet No A1006 of the Plan Set.</p>
Assessment of 12.4 Natural Hazards		
12.4.6.1.2	FIRE RISK TO RESIDENTIAL UNITS	<p>Discretionary</p> <p>The proposed dwelling will be located closer than 20m to the existing bush which is contained within the mapped area of OLF. The removal of the vegetation along the southern and western edge of the site has not been recommended by the Landscape Architect given that it forms part of the distinctive character of the OLF. Additional planting has also been proposed as per the Landscape Plan. Consultation with FENZ has been completed as part of the pre-application process with correspondence attached within Appendix 8.</p>

Operative District Plan Rule Breaches

5.4. The assessment above indicates the following breaches under the Operative District Plan:

12.1 Landscapes and Natural Features

5.5. The proposal will not result in any vegetation clearance as the proposed works are to be contained to the grassed areas of the site with the existing vegetation along the western and



southern boundaries being retained. The site is shown to be partially covered by the Outstanding Landscape Feature overlay within the ODP. *Rule 12.1.6.1.1* does not allow any excavation within an Outstanding Landscape Feature. As the proposal will require 195m³ of excavation across the site, including within the area of OLF, resource consent is required. *Discretionary Rule 12.1.6.3.2 Buildings within Outstanding Landscape Features* states that any building will be a Discretionary Activity. As such, consent is required.

12.4.6.1.2 Fire Risk to Residential Units

- 5.6. The proposed dwelling will be located within 20m of existing natural vegetation. Landscaping is also proposed around the proposed dwelling. As the dwelling will be within 20m of the existing vegetation, consent is required as a Discretionary Activity.

Overall Status of the Application

- 5.7. The proposal is a **Discretionary Activity** as per Sections 12.1.6.3 & 12.4.6.3 *Discretionary Activities*. An assessment of the relevant Sections of 12.1.7 and 12.4.7 will be undertaken as part of this assessment.

Proposed District Plan

- 5.8. The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned as General Residential as well as being within the Coastal Environment Overlay. The site is not shown to be classified as containing an Outstanding Landscape Feature under the PDP. Assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	The following rules have immediate legal effect: Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource Rules HS-R5, HS-R6, HS-R9	Not applicable. The site does not contain any hazardous substances to which these rules would apply.
Heritage Area Overlays	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	Not Applicable. The site is not located within any Heritage Area Overlays.
Historic Heritage	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	Not applicable. The site does not contain any areas of historic heritage.



Notable Trees	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any notable trees.</p>
Sites and Areas of Significance to Maori	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any sites or areas of significance to Māori.</p>
Ecosystems and Indigenous Biodiversity	<p>All rules have immediate legal effect (IB-R1 to IB-R5)</p>	<p>Permitted.</p> <p>The proposal will not result in any clearance of indigenous vegetation.</p>
Subdivision	<p>The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17</p>	<p>Not applicable.</p> <p>The proposal is not for subdivision.</p>
Activities on the Surface of Water	<p>All rules have immediate legal effect (ASW-R1 to ASW-R4)</p>	<p>Not applicable.</p> <p>The proposal does not involve activities on the surface of water.</p>
Earthworks	<p>The following rules have immediate legal effect: EW-R12, EW-R13</p> <p>The following standards have immediate legal effect: EW-S3, EW-S5</p>	<p>Permitted.</p> <p>Earthworks as part of this proposal will proceed under the guidance of an ADP and will be in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016, in accordance with Rules EW-12, EW-R13, EW-S3 and EW-S5.</p>
Signs	<p>The following rules have immediate legal effect: SIGN-R9, SIGN-R10</p> <p>All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area</p>	<p>Not applicable.</p> <p>No signs are proposed as part of this application.</p>
Orongo Bay Zone	<p>Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water</p>	<p>Not applicable.</p> <p>The site is not located in the Orongo Bay Zone.</p>



Status under the Proposed District Plan

- 5.9. The assessment above indicates that the proposal is **Permitted** insofar as the Proposed District Plan.

National Environmental Standards**National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011**

- 5.10. A site visit and review of aerials did not indicate that the site contained or has contained, any activities listed on the HAIL. The application has been considered Permitted in terms of this regulation.
- 5.11. No other National Environmental Standards are considered applicable to this development. The activity is considered permitted in terms of these above-mentioned documents.

6. Statutory Assessment**Section 104B of the Act**

- 6.1. Section 104B governs the determination of applications for Discretionary Activities. With respect to Discretionary Activities, a consent authority may grant or refuse an application, and impose conditions under section 108.

Section 104(1) of the Act

- 6.2. Section 104(1) of the Act states that when considering an application for resource consent –

“the consent authority must, subject to Part II, have regard to –

- (a) any actual and potential effects on the environment of allowing the activity; and*
- (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and*
- (b) any relevant provisions of –*
 - i. a national environmental standard:*
 - ii. other regulations:*
 - iii. a national policy statement:*
 - iv. a New Zealand Coastal Policy Statement:*
 - v. a regional policy statement or proposed regional policy statement:*
 - vi. a plan or proposed plan; and*
- (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”*

- 6.3. Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (As described in section 3 of the act). Positive effects arising from this proposal are that the site will be developed with a dwelling which has been designed to suit



the contour of the land. It is considered that given the size of the site, the residential zoning and surrounding land use activities, the site was developed with the intention of being developed with a residential dwelling and the proposal will fulfil this intention. Potential adverse effects arising from this proposal relate to the effects arising from development within a OLF and fire risk to the residential unit.

- 6.4. Section 104(1)(ab) requires that the consent authority consider 'any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. In this case the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment.
- 6.5. Section 104(1)(b) requires the consent authority to consider the relevant provisions of the above listed documents. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that the activity may have on the environment has been provided below.

7. Environmental Effects Assessment

- 7.1. Having reviewed the relevant plan provisions and taking into account the matters that must be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects warrant consideration as part of this application.

Landscape and Natural Features

- 7.2. Under the ODP, the site is shown to be partially within an Outstanding Landscape Feature noted as 'Escarpment cone area overlooking Ahipara.' It is worth noting that this is not reflected in the PDP, where no Outstanding Landscape Feature overlay has been imposed on the site.
- 7.3. A Visual Amenity Assessment (VAA) has been completed for the proposal, which has been prepared by Hawthorn Landscape Architects and is attached within **Appendix 6** of this application. A Landscape Plan has also been provided within **Appendix 7** of this application. The VAA has included recommendations to minimise the potential adverse effects upon the OLF, coastal natural character and visual amenity values.
- 7.4. The VAA has included plantings to screen the water tanks and retaining wall, amenity planting around the dwelling to enhance visual amenity values and blend the dwelling into the landscape, plantings to break up the northern facade as viewed from the CMA and a hedge along the northern side of the driveway to screen the driveway from neighbouring properties. This is reflected in the image of the Landscape Plan below.
- 7.5. The VAA has included a thorough assessment of the Assessment Criteria contained within Section 12.1.7 of the ODP. The VAA concluded that with the proposed recommendations being implemented, the *'visual changes from the proposed dwelling will be less than minor'* and the



7.6. The assessment and conclusions of the VAA are adopted and accepted as part of this application, rather than re-visiting the same assessment criteria and repeating information which has already been provided. Please refer to the VAA for further detail.



7.7. There is existing vegetation located along the southern and western edge of the site which is being retained and will be located within 20m of the proposed dwelling. This vegetation forms part of the distinctive character of the OLF and therefore no clearance is proposed.

7.9. FENZ have been contacted as part of the pre-application process with their approval contained within **Appendix 8**.

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8. Policy Documents

- 8.1. In accordance with Section 104(1)(b) of the Act, the following documents are considered relevant to this application:

Any relevant provisions of –

- i. A national environmental standard;
- ii. Other regulations;
- iii. A national policy statement;
- iv. A New Zealand coastal policy statement;
- v. A regional policy statement or proposed regional policy statement;
- vi. A plan or proposed plan

- 8.2. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that activity may have on the environment has been provided below.

National Environmental Standards

- 8.3. As mentioned earlier in this report, there have been no previous or current activities listed on the HAIL, undertaken on the site. The proposal is therefore considered permitted in terms of the National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011.
- 8.4. No other National Environmental Standards are considered applicable to this development. The proposal is permitted in terms of the above-mentioned documents.

National Policy Statements

- 8.5. There are currently nine National Policy Statements in place. These are as follows:
- National Policy Statement on Urban Development
 - National Policy Statement for Freshwater Management
 - National Policy Statement for Renewable Electricity Generation
 - National Policy on Electricity Transmission
 - National Policy Statement for Highly Productive Land
 - New Zealand Coastal Policy Statement
 - National Policy Statement for Indigenous Biodiversity
 - National Policy Statement for Greenhouse Gas Emissions from Industrial Process Heat
 - National Policy Statement for Natural Hazards 2025
- 8.6. With the exception of the Coastal Policy Statement which is assessed below, no other National Policy Statements are relevant to this application.



Coastal Policy Statement

- 8.7. The subject site is located within the Coastal Environment as well as a portion of the site being of Outstanding Landscape Feature.
- 8.8. The proposal is considered to achieve the objectives and policies of the NZCPS as the proposal does not adversely impact on the integrity, form, functioning or resilience of the coastal environment.
- 8.9. The development is considered to be consistent with the New Zealand Coastal Policy Statement objectives, particularly:
- Objective 1: To safeguard the integrity, form, functioning and resilience of the coastal environment and sustain its ecosystems, including marine and intertidal areas, estuaries, dunes and land
 - Objective 2: Preserving the natural character of the coastal environment.
 - Objective 3: To take account of the principles of the Treaty of Waitangi, recognise the role of tangata whenua as kaitiaki and provide for tangata whenua involvement in management of the coastal environment
 - Objective 6: Enabling people and communities to provide for their social, economic and cultural wellbeing.
- 8.9.1. The proposal will not adversely affect the natural biological and physical processes of the coastal environment as all effects will be managed on site. Water quality will be maintained with stormwater management being provided for onsite.
- 8.9.2. The proposal is consistent with the character and residential landscape of the coastal community of Ahipara. The proposed design and location are considered to be the most suitable for the site due to the physical constraints of the site. The natural character of the coastal environment is considered to remain unchanged from the proposal, given adherence with the recommendations of the VAA.
- 8.9.3. Due to the surrounding environment being zoned residential and this being reflected by the intense development in the area, as well as the fact the lot was created with the intention that it would be developed with a residential dwelling, no adverse effects are anticipated.
- 8.9.4. The proposal allows for ample open space for the use and enjoyment of residents. The coastline will not be restricted by this proposal, and the natural character and amenity of the area will be preserved. The proposal is considered to result in positive economic effects by providing employment through the construction phase of the proposal, while creating less than minor effects on the residential/coastal character of the locality.
- 8.10. The development is considered to be consistent with the New Zealand Coastal Policy Statement policies, particularly:
- Policy 1: Extent and characteristics of the coastal environment
 - Policy 2: The Treaty of Waitangi, tangata whenua and Māori Heritage



- Policy 6: Activities in the coastal environment
- Policy 13: Preservation of natural character
- Policy 15: Natural features and natural landscapes
- Policy 22: Sedimentation

- 8.10.1. In regard to Policy 1, the site is located within the Ahipara area, where there is existing intense urban development along the coastline. This creates a unique situation as the extent and characteristics of this coastal environment consists of dense residential development close to the waters edge. The proposal will fulfil the intended residential use of the site. The effects from the proposal are considered to be less than minor.
- 8.10.2. Policy 6 relates to activities in the coastal environment, where consolidation of activities of existing coastal settlements is promoted as well as development which maintains the character of the existing built environment. The proposal is considered to contribute to consolidation of activities as residential activities will be consolidated in one area of the site. This also maintains the existing character of the built development within the surrounding environment. The dwelling has been designed to suit the existing topography of the site and additional landscaping has been proposed to ensure that the proposal will not degrade the existing characteristics and qualities that contribute to the natural character values.
- 8.10.3. In regard to Policy 13, the proposal is considered to preserve the natural character of the coastal environment, as the proposal will not change the character of the surrounding environment and is consistent with other built development in the area.
- 8.10.4. Policy 15 discusses the protection of natural features and landscapes of the coastal environment. As has been discussed in depth within this report, the FNDC Resource Maps indicate that the site is of Outstanding Landscape Feature. The proposal is not anticipated to create any adverse effects on the OLF and will not affect the indigenous vegetation within the subject site.
- 8.10.5. In regard to Policy 22, the proposal will involve 195m³ of excavation. All excavation will be managed on site, with no sedimentation anticipated to enter the coastal waters.
- 8.10.6. Overall, the proposed activity is consistent with the objectives and policies of the New Zealand Coastal Policy Statement.

Regional Policy Statement

- 8.11. The relevant policy statement applicable to the application is the Operative Regional Policy Statement for Northland (RPS). The site is located within the Coastal Environment as well as partially shown to be of Outstanding Landscape Feature.
- 8.12. The relevant objectives relate to:
- 3.4: Indigenous Ecosystems and Biodiversity
 - 3.12: Tangata Whenua role in decision making



- 3.14: Natural Character, Outstanding Natural Features, Outstanding Natural Landscape and Historic Heritage
- 8.13. The site contains indigenous vegetation along the western and southern edges of the site. The proposal will not affect the area of indigenous bush within the site or on adjoining sites. The proposal is not considered to exacerbate or increase the likelihood of natural hazards within the site. The proposal is not considered to affect the quality or characteristics of the OLF as the use of the site is consistent with that of the surrounding environment. Furthermore, additional landscaping will be provided to visually mitigate and blend the proposed dwelling into the existing environment. Historic heritage is not considered to be impacted.
- 8.14. Overall, it is considered that the proposal is consistent with the objectives of the RPS. The relevant policies of the RPS are:
- 4.4: Maintaining and enhancing indigenous ecosystems and species
 - 4.5: Identifying the coastal environment, natural character, outstanding natural features, outstanding natural landscapes and historic heritage resources
 - 4.6: Managing effects on natural character, features/landscapes and heritage
 - 4.7: Supporting management and improvement
 - 5.1: Regional Form
 - 8.1: Participation in decision making, plans, consents and monitoring
- 8.15. The policies within Chapter 4 of the RPS relate to water, land and common resources. Included within this chapter is the maintenance and protection of significant ecological areas and habitats. This is considered relevant to the proposal due to the indigenous vegetation on the southern and western edges of the site. As mentioned, the indigenous vegetation within the site will remain unaffected by the proposal. The proposal will involve works within an existing grassed area, such that no vegetation removal will be required. This is one of the reasons why the proposed location and design is deemed the most suitable, as it ensures that all works are located within the existing residential area within the site, mitigating any adverse effects on the indigenous vegetation within the site and on adjoining allotments. Policy 4.5 covers outstanding natural features, which are sensitive to use, subdivision and development. The proposal is not considered to have a more than minor effect on the OLF within the site nor the surrounding hillside indigenous vegetation, as has been discussed throughout this report. The proposal will ensure that the existing character is maintained and preserved and will not impede how the public view the surrounding environment. As discussed, the site is residential in nature and the proposal is fulfilling the intended use of the site. In regard to Policy 4.6, managing effects on natural character, features/landscapes and heritage, the proposal is not considered to create any adverse effects on these features. The surrounding environment also contains intense urban development, such that the proposal is not altering the existing characteristics of the surrounding environment. Overall, it is considered that the proposal does not create any adverse effects on the coastal environment nor the indigenous vegetation or areas of outstanding features within the site and adjoining sites.



- 8.16. Chapter 5 of the RPS discusses policies in relation to Regional Form and infrastructure. The proposal does not result in incompatible land uses and maintains the sense of place and character of the surrounding environment. The proposal will result in consolidated development within the site. The existing coastal processes will not be affected by the proposal, which ensures that the proposal is consistent within Policy 5.1.2 of this chapter.
- 8.17. Chapter 6 discusses efficient and effective planning which relates to the requirements for regional and district plans. The proposal is considered to have given affect to all relevant objectives and policies of the regional and district plans.
- 8.18. Chapter 8 relates to Tangata Whenua. As discussed, the proposal is not considered to create any cultural effects given the site was created with the intention of the land being developed with a residential dwelling.
- 8.19. Overall, it is therefore considered that the proposal is consistent with the objectives and policies of the RPS.

Far North Operative District Plan

Relevant objectives and policies

- 8.20. The relevant objectives and policies of the Plan are those related to the Urban Environment and Residential Zone as well as the Landscapes and Natural Features section and Natural Hazards section. The proposal is considered to be consistent with the character of the surrounding area and is considered to have negligible effects on the amenity value of the area. The proposal is considered to be consistent with the objectives and policies of the Plan.

Assessment of Objectives and Policies within the Urban Environment

- 8.21. The following assessment is based upon the objectives and policies contained within Sections 7.3 and 7.4.

Objectives

7.3.1 To ensure that urban activities do not cause adverse environmental effects on the natural and physical resources of the District.

7.3.2 To enable the continuing use of buildings and infrastructure in urban areas, particularly where these are under-utilised.

7.3.3 To avoid, remedy or mitigate the adverse effects of activities on the amenity values of existing urban environments.

7.3.4 To enable urban activities to establish in areas where their potential effects will not adversely affect the character and amenity of those areas.

7.3.5 To achieve the development of community services as an integral and complementary component of urban development.

7.3.6 To ensure that sufficient water storage is available to meet the needs of the community all year round.



- 8.21.1. As detailed earlier in this report, any potential adverse effects have been mitigated to a less than minor degree. The site does not contain any existing buildings or infrastructure. Character and amenity values will be maintained and enhanced as detailed within this report. Water storage will be provided for on site.

Policies

7.4.1 That amenity values of existing and newly developed areas be maintained or enhanced.

7.4.2 That the permissible level of effects created or received in residential areas reflects those appropriate for residential activities.

7.4.3 That adverse effects on publicly-provided facilities and services be avoided or remedied by new development, through the provision of additional services.

7.4.4 That stormwater systems for urban development be designed to minimise adverse effects on the environment.

7.4.5 That new urban development avoid:

- (a) adversely affecting the natural character of the coastal environment, lakes, rivers, wetlands or their margins;***
- (b) adversely affecting areas of significant indigenous vegetation or significant habitats of indigenous fauna;***
- (c) adversely affecting outstanding natural features, landscapes and heritage resources;***
- (d) adversely affecting the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga;***
- (e) areas where natural hazards could adversely affect the physical resources of urban development or pose risk to people's health and safety;***
- (f) areas containing finite resources which can reasonably be expected to be valuable for future generations, where urban development would adversely affect their availability;***
- (g) adversely affecting the safety and efficiency of the roading network;***
- (h) the loss or permanent removal of highly productive and versatile soils from primary production due to subdivision and development for urban purposes.***

7.4.7 That urban areas with distinctive characteristics be managed to maintain and enhance the level of amenity derived from those characteristics.

7.4.8 That infrastructure for urban areas be designed and operated in a way which:

- (a) avoids remedies or mitigates adverse effects on the environment;***
- (b) provides adequately for the reasonably foreseeable needs of future generations;***
- and***
- (c) safeguards the life-supporting capacity of air, water, soil and ecosystems.***

7.4.9 That the need for community services in urban areas is recognised and provided for.

- 8.21.2. The amenity values of the site will be enhanced as detailed throughout this report. The level of effects is considered appropriate for the residential activities. No adverse effects on publicly provided facilities and services are anticipated. Stormwater will be managed on site. Natural character of the coast will be maintained as detailed within this report. Areas of indigenous vegetation will not be adversely affected. The relationship of Māori and the culture will remain unchanged. The proposal will not exacerbate natural hazards. The site is not known to contain



finite resources. The roading network will not be adversely affected. HPL is not considered applicable to this residential site. Effects on infrastructure are not anticipated. Community services do not form part of this application.

Assessment of Objectives and Policies within the Residential Zone

- 8.22. The following assessment is based upon the objectives and policies contained within Sections 7.6.3 and 7.6.4

Objectives

7.6.3.1 To achieve the development of new residential areas at similar densities to those prevailing at present.

7.6.3.2 To enable development of a wide range of activities within residential areas where the effects are compatible with the effects of residential activity.

7.6.3.3 To protect the special amenity values of residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those having frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive.

- 8.22.1. The proposal will result in infill development and is consistent with surrounding development on adjoining lots. The proposal is a residential activity. The site is not located on the urban fringe.

Policies

7.6.4.1 That the Residential Zone be applied to those parts of the District that are currently predominantly residential in form and character.

7.6.4.2 That the Residential Zone be applied to areas which are currently residential but where there is scope for new residential development.

7.6.4.3 That the Residential Zone be applied to areas where expansion would be sustainable in terms of its effects on the environment

7.6.4.4 That the Residential Zone provide for a range of housing types and forms of accommodation.

7.6.4.5 That non-residential activities only be allowed to establish within residential areas where they will not detract from the existing residential environment.

7.6.4.6 That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.

7.6.4.7 That residential activities have sufficient land associated with each household unit to provide for outdoor space, planting, parking and manoeuvring.

7.6.4.8 That the portion of a site or of a development that is covered in buildings and other impermeable surfaces be limited so as to provide open space around buildings to enable planting, and to reduce adverse hydrological, ecological and amenity effects.



7.6.4.9 That sites have adequate access to sunlight and daylight

7.6.4.10 That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on a site.

7.6.4.11 That the built form of development allowed on residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive remains small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.

- 8.22.2. The site and surrounding environment are residential in nature and are zoned accordingly. No non-residential activities are proposed. The proposal is not considered to create net effects that exceed those of a typical single residential unit. As discussed within this report, due to the underlying outstanding landscape feature and fire risk, consent is required for the activity. Outdoor space, parking, manoeuvring have been provided for. The proposal does not result in an infringement of building coverage or impermeable surfaces. Planting has been provided for as per the Landscape Plan. The proposed dwelling will have adequate access to sunlight and daylight. Privacy has been provided for within the design. The site is not located on the urban fringe.

Assessment of the Objectives and Policies within the Landscape and Natural Features Section

- 8.23. The following assessment is based upon the objectives and policies contained within Sections 12.1.3 and 12.1.4.

Objectives

12.1.3.1 To protect outstanding landscapes and natural features from inappropriate, subdivision use and development.

12.1.3.2 To protect the scientific and amenity values of outstanding natural features.

12.1.3.3 To recognise and provide for the distinctiveness, natural diversity and complexity of landscapes as far as practicable including the complexity found locally within landscapes and the diversity of landscapes across the District.

12.1.3.4 To avoid adverse effects and to encourage positive effects resulting from land use, subdivision or development in outstanding landscapes and natural features and Maori cultural values associated with landscapes.

- 8.23.1. As has been discussed throughout this report, the Outstanding Landscape Feature which affects the site is considered to be protected. Amenity values will be maintained. The surrounding environment is already urban in nature, and the proposed activity will not be changing this. Additional landscaping is proposed to mitigate visual effects and enhance the OLF. This application has recognised the unique landscape that the site it is located within and concluded that effects will be less than minor.

Policies



12.1.4.1 That both positive and adverse effects of development on outstanding natural features and landscapes be taken into account when assessing applications for resource consent.

12.1.4.2 That activities avoid, remedy or mitigate significant adverse effects on both the natural and the cultural values and elements which make up the distinctive character of outstanding natural features and landscapes.

12.1.4.3 That the cumulative effect of changes to the character of Outstanding Landscapes be taken into account in assessing applications for resource consent.

12.1.4.4 That the visibility of Outstanding Landscape Features, when viewed from public places, be taken into account in assessing applications for resource consent.

12.1.4.5 That the adverse visual effect of built development on outstanding landscapes and ridgelines be avoided, remedied or mitigated.

12.1.4.6 That activities avoid or mitigate adverse effects on the scientific and amenity values associated with outstanding natural features.

12.1.4.7 That the diversity of outstanding landscapes at a District-wide and local level be maintained and enhanced where practicable.

12.1.4.8 That the trend is towards the enhancement rather than the deterioration of landscape values, including the encouragement of the restoration of degraded landscapes.

12.1.4.9 That the high value of indigenous vegetation to Outstanding Landscapes be taken into account when assessing applications for resource consents.

12.1.4.10 That landscape values be protected by encouraging development that takes in account:

(a) the rarity or value of the landscape and/or landscape features;

(b) the visibility of the development;

(c) important views as seen from public vantage points on a public road, public reserve, the foreshore and the coastal marine area;

(d) the desirability of avoiding adverse effects on the elements that contribute to the distinctive character of the coastal landscapes, especially outstanding landscapes and natural features, ridges and headlands or those features that have significant amenity value;

(e) the contribution of natural patterns, composition and extensive cover of indigenous vegetation to landscape values;

(f) Maori cultural values associated with landscapes;

(g) the importance of the activity in enabling people and communities to provide for their social, economic and cultural well-being.

- 8.23.2. As discussed throughout this report, the proposal is not considered to create any adverse effects on the OLF nor the surrounding indigenous vegetation. The proposal will maintain the protection of the indigenous vegetation. The proposal will not alter how the public perceives the OLF, as the proposed activity will be located within the subject site boundaries and additional landscaping is proposed to ensure character and amenity are maintained. Visual effects are considered to be less than minor. Amenity values will be maintained. The proposal will not result in the deterioration of landscape values. The indigenous vegetation on the site will remain unaffected. In regard to Policy 12.1.4.10, the subject site is urban in nature and the proposal will see a dwelling constructed on the site, which is consistent with the surrounding environment. The visibility of the development is considered low, given the recommendations of the VAA will be adhered to. No adverse effects are anticipated nor are



any effects on indigenous vegetation anticipated. The proposal will provide benefit to social, economic and cultural well-being.

Assessment of the Objectives and Policies within the Natural Hazards Section

8.24. The following assessment is based upon the objectives and policies contained within Sections 12.4.3 and 12.4.4.

Objectives

12.4.3.1 To reduce the threat of natural hazards to life, property and the environment, thereby to promote the well being of the community.

12.4.3.2 To ensure that development does not induce natural hazards or exacerbate the effects of natural hazards.

12.4.3.3 To ensure that natural hazard protection works do not have adverse effects on the environment.

12.4.3.4 To ensure that the role in hazard mitigation played by natural features is recognised and protected.

12.4.3.5 To improve public awareness of natural hazards as a means of helping people to avoid them.

12.4.3.6 To take into account reasonably foreseeable changes in the nature and location of natural hazards.

12.4.3.7 To avoid fire risk arising from the location of residential units in close proximity to trees, or in areas not near fire fighting services.

8.24.1. Fire risk has been addressed within this report, with mitigation measures provided for and approval obtained from FENZ.

Policies

12.4.4.1 That earthworks and the erection of structures not be undertaken in areas where there is a significant potential for natural hazards unless they can be carried out in such a way so as to avoid being adversely affected by the natural hazards, and can avoid exacerbating natural hazards.

12.4.4.2 That the natural character of features, such as beaches, sand dunes, mangrove areas, wetlands and vegetation, which have the capacity to protect land values and assets from natural coastal hazards, is protected and enhanced.

12.4.4.3 That protection works for existing development be allowed only where they are the best practicable option compatible with sustainable management of the environment.

12.4.4.4 That the sea level rise, as predicted by the Intergovernmental Panel of Climate Change or Royal Society of NZ, be taken into account when assessing development in areas potentially affected.

12.4.4.5 That information on known natural hazards be made available in order that the public can make informed resource management decisions.

12.4.4.6 That the adverse effects on people, property and the environment from coastal hazards in Coastal Hazard Areas, as identified by the Northland Regional Council, are avoided.

12.4.4.7 That the risk to adjoining vegetation and properties arising from fires be avoided.



12.4.4.8 That the location, intensity, design and type of new coastal subdivision, use and development be controlled so that the need for hazard protection works is avoided or minimised.

12.4.4.9 That the role of riparian margins in the mitigation of the effects of natural hazards is recognised and that the continuing ability of riparian margins to perform this role be assured.

- 8.24.2. Excavation works will be controlled via consent notice conditions. The site is not shown to be susceptible to river flood or coastal hazards. Fire mitigation measures have been provided as detailed within this report. Riparian margins are not a consideration of this application.

Proposed District Plan

General Residential Zone

- 8.25. The following assessment is based upon the objectives and policies contained within the General Residential Zone

Objectives

GRZ-01 The General Residential zone provides a variety of densities, housing types and lot sizes that respond to:

- a. housing needs and demand;**
- b. the adequacy and capacity of available or programmed development infrastructure;**
- c. the amenity and character of the receiving residential environment; and**
- d. historic heritage.**

GRZ-02 The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the function and resilience of the receiving residential environment while reducing urban sprawl.

GRZ-03 Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone.

GRZ-04 Land use and subdivision in the General Residential zone is supported where there is adequacy and capacity of available or programmed development infrastructure.

GRZ-05 Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments.

GRZ-06 Residential communities are resilient to changes in climate and are responsive to changes in sustainable development techniques.

- 8.25.1. The proposal will see one residential unit being developed on the site. No non-residential activities are proposed. The proposal will not exacerbate natural hazards, nor will it increase the vulnerability of the site to natural hazards and climate change as has been discussed throughout this report.

Policies

GRZ-P1 Enable land use and subdivision in the General Residential zone where:



- a. there is adequacy and capacity of available or programmed development infrastructure to support it; and*
- b. it is consistent with the scale, character and amenity anticipated in the residential environment.*

GRZ-P2 *Require all subdivision in the General Residential zone to provide the following reticulated services to the boundary of each lot:*

- a) telecommunications;*
- b) fibre where it is available; or*
- c) copper where fibre is not available;*
- d) local electricity distribution network;*
- e) wastewater; and*
- f) potable water and stormwater where it is available.*

GRZ-P3 *Enable multi-unit developments within the General Residential zone, including terraced housing and apartments, where there is adequacy and capacity of available or programmed development infrastructure.*

GRZ-P4 *Enable non-residential activities that:*

- a) do not detract from the vitality and viability of the Mixed Use zone;*
- b) support the social and economic well-being of the community;*
- c) are of a residential scale; and*
- d) are consistent with the scale, character and amenity of the General Residential zone.*

GRZ-P5 *Provide for retirement villages where they:*

- a) compliment the character and amenity values of the surrounding area;*
- b) contribute to the diverse needs of the community;*
- c) do not adversely affect road safety or the efficiency of the transport network; and*
- d) can be serviced by adequate development infrastructure.*

GRZ-P6 *Encourage and support the use of on-site water storage to enable sustainable and efficient use of water resources.*

GRZ-P7 *Encourage energy efficient design and the use of small-scale renewable electricity generation in the construction of residential development.*

GRZ-P8 *Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:*

- a. consistency with the scale, design, amenity and character of the residential environment;*
- b. the location, scale and design of buildings or structures, potential for shadowing and visual dominance;*
- c. for residential activities:*
 - i. provision for outdoor living space;*
 - ii. privacy for adjoining sites;*



- iii. *access to sunlight;*
 - d. *for non-residential activities:*
 - i. *scale and compatibility with residential activities*
 - ii. *hours of operation*
 - e. *at zone interfaces, any setbacks, fencing, screening or landscaping required to address potential conflicts;*
 - f. *the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity, including:*
 - i. *opportunities for low impact design principles*
 - ii. *ability of the site to address stormwater and soakage;*
 - g. *managing natural hazards; and*
 - h. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

8.25.2. Infrastructure is considered adequate to support the proposal. The proposal is also consistent with the scale, character and amenity in the residential environment. GRZ-P2 relates to subdivision and is therefore not applicable to the proposal. No multi-unit developments are proposed as part of this application nor are any non-residential activities. Retirement villages are not proposed and therefore GRZ-P5 is not applicable. Water storage for the site will be provided for on site. No renewable energy is proposed or required.

8.25.3. In regard to GRZ-P8, the proposal is considered to be consistent with development in the surrounding environment. No shadowing or visual dominance is anticipated as detailed within this assessment. The proposal will provide for outdoor living and not affect the privacy or sunlight of adjoining sites. The proposal is not located at a zone interface. No increase on demand of infrastructure is anticipated. Natural hazards will not be exacerbated. The proposal is not known to have any adverse effects on historical or spiritual association held by Tangata Whenua.

Coastal Environment

8.26. The following assessment is based upon the objectives and policies contained within the Coastal Environment.

Objectives

CE-O1 The natural character of the coastal environment is identified and managed to ensure its long-term preservation and protection for current and future generations.

CE-O2 Land use and subdivision in the coastal environment:

- a. *preserves the characteristics and qualities of the natural character of the coastal environment;*
- b. *is consistent with the surrounding land use;*
- c. *does not result in urban sprawl occurring outside of urban zones;*
- d. *promotes restoration and enhancement of the natural character of the coastal environment; and*
- e. *recognises tangata whenua needs for ancestral use of whenua Māori.*



CE-O3 Land use and subdivision in the coastal environment within urban zones is of a scale that is consistent with existing built development.

- 8.26.1. The natural character of the coastal environment is considered to be preserved. characteristics and qualities of the natural character will remain unchanged. As has been discussed, the site and surrounding environment are urban in nature. The proposal does not result in urban sprawl. The proposal is consistent with existing built development in the surrounding environment and the site itself.

Policies

CE-P1 Identify the extent of the coastal environment as well as areas of high and outstanding natural character using the assessment criteria in APP1- Mapping methods and criteria.

CE-P2 Avoid adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment identified as:

- a) outstanding natural character;***
- b) ONL;***
- c) ONF.***

CE-P3 Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as:

- a) Outstanding natural character;***
- b) ONL;***
- c) ONF.***

CE-P4 Preserve the visual qualities, character and integrity of the coastal environment by:

- a) Consolidating land use and subdivision around existing urban centres and rural settlements; and***
- b) Avoiding sprawl or sporadic patterns of development.***

CE-P5 Enable land use and subdivision in urban zones within the coastal environment where:

- a) There is adequacy and capacity of available or programmed development infrastructure; and***
- b) The use is consistent with, and does not compromise the characteristics and qualities.***

CE-P6 Enable farming activities within the coastal environment where:

- a) the use forms part of the values that established natural character of the coastal environment; or***
- b) the use is consistent with, and does not compromise the characteristics and qualities.***

CE-P7 Provide for the use of Māori Purpose zoned land and Treaty Settlement land in the coastal environment where:



- a) the use is consistent with the ancestral use of that land; and*
- b) the use does not compromise any identified characteristics and qualities.'*

CE-P8 *Encourage the restoration and enhancement of the natural character of the coastal environment.*

CE-P9 *Prohibit land use and subdivision that would result in any loss and/or destruction of the characteristics and qualities in outstanding natural character areas.*

CE-P10 *Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:*

- a) the presence or absence of buildings, structures or infrastructure;*
- b) the temporary or permanent nature of any adverse effects;*
- c) the location, scale and design of any proposed development;*
- d) any means of integrating the building, structure or activity;*
- e) the ability of the environment to absorb change;*
- f) the need for and location of earthworks or vegetation clearance;*
- g) the operational or functional need of any regionally significant infrastructure to be sited in the particular location;*
- h) any viable alternative locations for the activity or development;*
- i) any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;*
- j) the likelihood of the activity exacerbating natural hazards;*
- k) the opportunity to enhance public access and recreation;*
- l) the ability to improve the overall quality of coastal waters; and*
- m) any positive contribution the development has on the characteristics and qualities.*

8.26.2. The site is located within the coastal environment, which incorporates dense urban areas within Ahipara. The proposal is not located within the area of Outstanding Natural Character (ONC), Outstanding Natural Landscape (ONL) or Outstanding Natural Feature (ONF) within the PDP. The proposal does not result in sprawl and will result in one dwelling on the site. The existing infrastructure which is available to the site is considered adequate to support the proposal. Characteristics and qualities of the surrounding environment will not be compromised as discussed in detail throughout this report. In regard to CE-10, it is considered the site was created with the intention of residential development occurring on the site and the proposal will fulfil this. No adverse effects are anticipated. The design of the dwelling has been done to suit the lay of the land. The scale and design is considered to be suitable for the site. The structure will be easily integrated into the site as per the VAA. Excavations will be contained within the site boundaries and no vegetation clearance proposed. The proposal does not involve regionally significant infrastructure. There are no other viable locations for the dwelling on the site due to the physical constraints, as discussed within this report. Natural hazards are not anticipated to be exacerbated. Public access and recreation are not



considered applicable. Quality of coastal waters is not considered to be impacted. The proposal will result in one residential dwelling on the site whilst not creating any adverse effects on the indigenous bush on site, outstanding natural landscapes or the coastal environment. The proposal is considered suitable in terms of the site and surrounding environment.

Summary

- 8.27. The above assessment demonstrates that the proposal will be consistent with the relevant objectives and policies and assessment criteria of the relevant statutory documents.

9. Notification Assessment – Sections 95A to 95G of The Act

Public Notification Assessment

- 9.1. Section 95A requires a council to follow specific steps to determine whether to publicly notify an application. The following is an assessment of the application against these steps:

Step 1 Mandatory public notification in certain circumstances

(2) Determine whether the application meets any of the criteria set out in subsection (3) and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, go to step 2.

(3) The criteria for step 1 are as follows:

(a) the applicant has requested that the application be publicly notified:

(b) public notification is required under section 95C:

(c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

- 9.1.1. It is not requested the application be publicly notified and the application is not made jointly with an application to exchange reserve land. Therefore Step 1 does not apply and Step 2 must be considered.

Step 2: Public Notification precluded in certain circumstances

(4) Determine whether the application meets either of the criteria set out in subsection (5) and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(5) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification:

(b) the application is for a resource consent for 1 or more of the following, but no other, activities:

(i) a controlled activity:

(ii) [Repealed]

(iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.

(iv) [Repealed]

(6) [Repealed]



- 9.1.2. The application is not subject to a rule or NES that precludes public notification. The application is not for a controlled activity. The proposal includes activities which are not boundary activities. Therefore Step 3 must be considered.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

(7) Determine whether the application meets either of the criteria set out in subsection (8) and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, go to step 4.

(8) The criteria for step 3 are as follows:

(a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;

(b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

- 9.1.3. No applicable rules require public notification of the application. The proposal is not considered to have a more than minor effect on the environment as detailed in the sections above.

Step 4; Public notification in special circumstances

(9) Determine whether special circumstances exist in relation to the application that warrant the application being publicly notified and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, do not publicly notify the application, but determine whether to give limited notification of the application under section 95B.

- 9.1.4. There are no special circumstances that exist to justify public notification of the application because the proposal is to construct a residential dwelling on the site as well as additional landscaping. The surrounding environment is residential in nature and the proposed dwelling is consistent with adjoining land use activities. The proposal will not affect the indigenous vegetation within the site nor change the character of the OLF with the implementation of the recommendations of the VAA.

Public Notification Summary

- 9.1.5. From the assessment above it is considered that the application does not need to be publicly notified, but assessment of limited notification is required.

Limited Notification Assessment

- 9.2. If the application is not publicly notified, a consent authority must follow the steps of section 95B to determine whether to give limited notification of an application.

11.2.1 Step 1: Certain affected groups and affected persons must be notified

(2) Determine whether there are any—

(a) affected protected customary rights groups; or

(b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).

(3) Determine—

(a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and



(b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.

(4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).

- 9.2.1. There are no protected customary rights groups or customary marine title groups that are relevant to this application. The site is not known to adjoin a Statutory Acknowledgement Area.

Step 2: Limited notification precluded in certain circumstances

(5) Determine whether the application meets either of the criteria set out in subsection (6) and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(6) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:

(b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 9.2.2. There is no rule in the plan or national environmental standard that precludes notification. The application is not for a controlled activity. Therefore Step 2 does not apply and Step 3 must be considered.

Step 3: Certain other affected persons must be notified.

(7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

(9) Notify each affected person identified under subsections (7) and (8) of the application. The proposal is not for a boundary activity nor is it a prescribed activity.

The proposal does not involve a boundary activity.

In deciding who is an affected person under section 95E, a council under section 95E(2):

(2) The consent authority, in assessing an activity's adverse effects on a person for the purpose of this section,—

(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and

(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and

(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

- 9.2.3. With respect to section 95B(8) and section 95E, the permitted baseline was considered as part of the assessment of environmental effects undertaken in Section 7 of this report, which found that the potential adverse effects on the environment will be no more than minor. In



regard to effects on persons, the assessment in Sections 6, 7 & 8 are also relied on, and the following comments made:

- The proposal will result in one residential dwelling on the site which is considered to fulfil the intention of why the site was created.
- Landscaping is proposed which will mitigate visual effects and protect the character and amenity of the OLF.
- The proposal is consistent with other development in the area.
- The proposal is not considered to be contrary to the objectives and policies under the Operative & Proposed District Plans, Regional Policy Statement, Coastal Policy Statement and Regional Plan.
- All other persons are sufficiently separated from the proposed development and works, such that there will be no effects on these people.

9.2.4. Therefore, no persons will be affected to a minor or more than minor degree.

9.2.5. Overall, the adverse effects on any persons are considered to be less than minor. Therefore Step 3 does not apply and Step 4 must be considered.

Step 4: Further notification in special circumstances

(10) whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons),

9.2.6. The proposal is to construct a dwelling on the site which is consistent with other development in the surrounding environment. It is considered that no special circumstances exist in relation to the application.

Limited Notification Assessment Summary

9.2.7. Overall, from the assessment undertaken Steps 1 to 4 do not apply and there are no affected persons.

Notification Assessment Conclusion

9.3. Pursuant to sections 95A to 95G it is recommended that the Council determine the application be non-notified for the above-mentioned reasons.

10. Part 2 Assessment

10.1. The application must be considered in relation to the purpose and principles of the Resource Management Act 1991 which are contained in Section 5 to 8 of the Act inclusive.

10.2. The proposal will meet Section 5 of the RMA as the proposal will sustain the potential of natural and physical resources whilst meeting the foreseeable needs of future generations as the proposal is considered to retain the residential character of the site and surrounding environment.



- 10.3. Section 6 of the Act sets out a number of matters of national importance. The proposal will result in the preservation of the natural character of the coastal environment as detailed within this report. The OLF which is shown to be partially through the site will remain unaffected by the proposal and is removed from the site entirely in the PDP. Public access is not considered relevant to this proposal. Historic Heritage will not be affected by the proposal as the site is not known to contain any archaeological sites. The proposal is not considered to exacerbate natural hazards. As such, the proposal is considered to have recognised and provide for the matters of national importance listed within Section 6 of the Act.
- 10.4. Section 7 identifies a number of “other matters” to be given particular regard by a Council in the consideration of any assessment for resource consent, including the maintenance and enhancement of amenity values. The proposal maintains amenity values in the area as the proposal is in keeping with the existing character of the surrounding environment.
- 10.5. Section 8 requires Council to take into account the principals of the Treaty of Waitangi. It is considered that the proposal raises no Treaty issues. The proposal is not considered to be contrary to the principals of the Treaty of Waitangi.
- 10.6. Overall, the application is considered to be consistent with the relevant provisions of Part 2 of the Act, as expressed through the objectives, policies and rules reviewed in earlier sections of this application. Given that consistency, we conclude that the proposal achieves the purposes of sustainable management set out by Sections 5-8 of the Act.

11. Conclusion

- 11.1. The proposal is to construct a dwelling within the site, which is considered suitable in the context of the site and surrounding environment. The development will result in no more than minor adverse effects on the urban environment, and no more than minor effects on any person or party.
- 11.2. Due to the existing pattern of development in the area, it is not considered that there are any adverse cumulative effects, and that the proposal does not result in degradation of the character of the surrounding environment.
- 11.3. In terms of section 104(1)(b) of the Act, the actual and potential effects of the proposal will be less than minor.
- 11.4. It is also considered that the proposal will have less than minor adverse effects on the wider environment; no persons will be adversely affected by the proposal and there are no special circumstances.
- 11.5. As a Discretionary Activity, the proposal has been assessed against the relevant objectives, policies and assessment criteria contained within the Operative District Plan. It is considered that the proposed activity would not be contrary to those provisions and that any potential



adverse effects can be avoided or mitigated. It is considered appropriate for consent to be granted on a non-notified basis.

12. LIMITATIONS

- 12.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 12.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 12.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 12.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





FAR NORTH DISTRICT COUNCIL

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 1980227

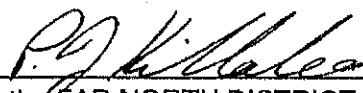
The subdivision of
Lot 1 DP 176370 and Lot 3 DP 153426
and Easement over Lot 3 DP 108257
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the titles of Lots 1 & 2 DP 209497.

SCHEDULE

1. No building shall be erected, without the prior approval by council to a building development plan, to be carried out by a suitably qualified engineer. Such a plan is to include a specific foundation design of the building, the amount and finished contour of any earthworks required, the design of any retaining structures, and the intended means of storm water control and disposal during construction.
2. That no building or earthworks outside the specified building envelope on the approved site development plan is permitted without the further consent of council.
3. Provide and establish the landscaping as indicated on the approved site development plan for the respective lots, prior to the issuing of a certificate of compliance for any dwelling on that lot. This landscaping is to be maintained and/or replaced as required in perpetuity thereafter.
4. Any buildings constructed on the lots are to be completed in natural matte colours, to mitigate any significant adverse visual effects on the coastal environment.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at KAIKOHE this 4th day of February 2003.



**Far North
District Council**

Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

CONO 7838695.2 Consent

Cpy - 01/01, Pgs - 001, 06/06/08, 11:57



DocID: 313128092

SECTION 221 : CONSENT NOTICE

REGARDING 2060087

The Subdivision of Lot 1 DP 358968

North Auckland Registry

PURSUANT to Section 221 for the purpose of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the title of the affected allotments.

SCHEDULE

- i. Any earthworks on Lots 1, 3 & 4 within the subdivision which exceeds 50 cubic metres in total, or exceeds a 1.0 metre high cut and/or fill face, shall only be commenced with the written approval of the Council. Such approval may require the submission to the Council of technical/ professional plans and/or advice as to the works required and their suitability. Such requirement herein is to be, where applicable, in addition to the provisions of Council's General Bylaws.
- ii. All earthworks undertaken on Lots 1, 3 & 4 are to be supervised by a Chartered Professional Engineer (CPEng), engaged by the consent holder. The Council is to be advised in writing of the appointment of the Engineer, be notified when the work is to commence, and also when it has been completed.
- iii. The owners of Lots 1, 3 and 4 in conjunction with building work being carried out on these allotments shall implement any recommendations of the stormwater report prepared in accordance with condition 3(b) of Resource Consent 2060087.

SIGNED:

Pat Killalea

By the **FAR NORTH DISTRICT COUNCIL**
Under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this

31st

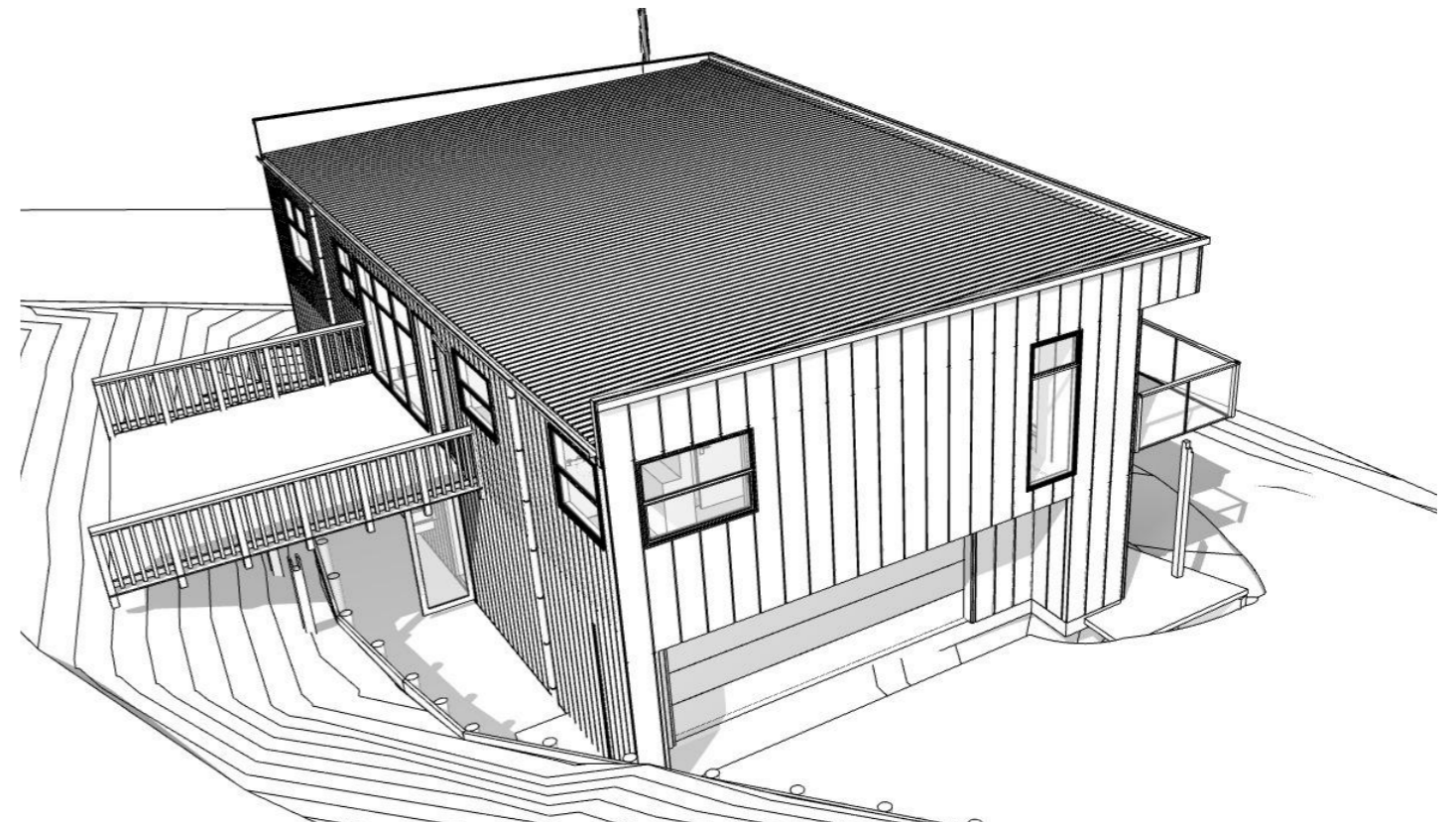
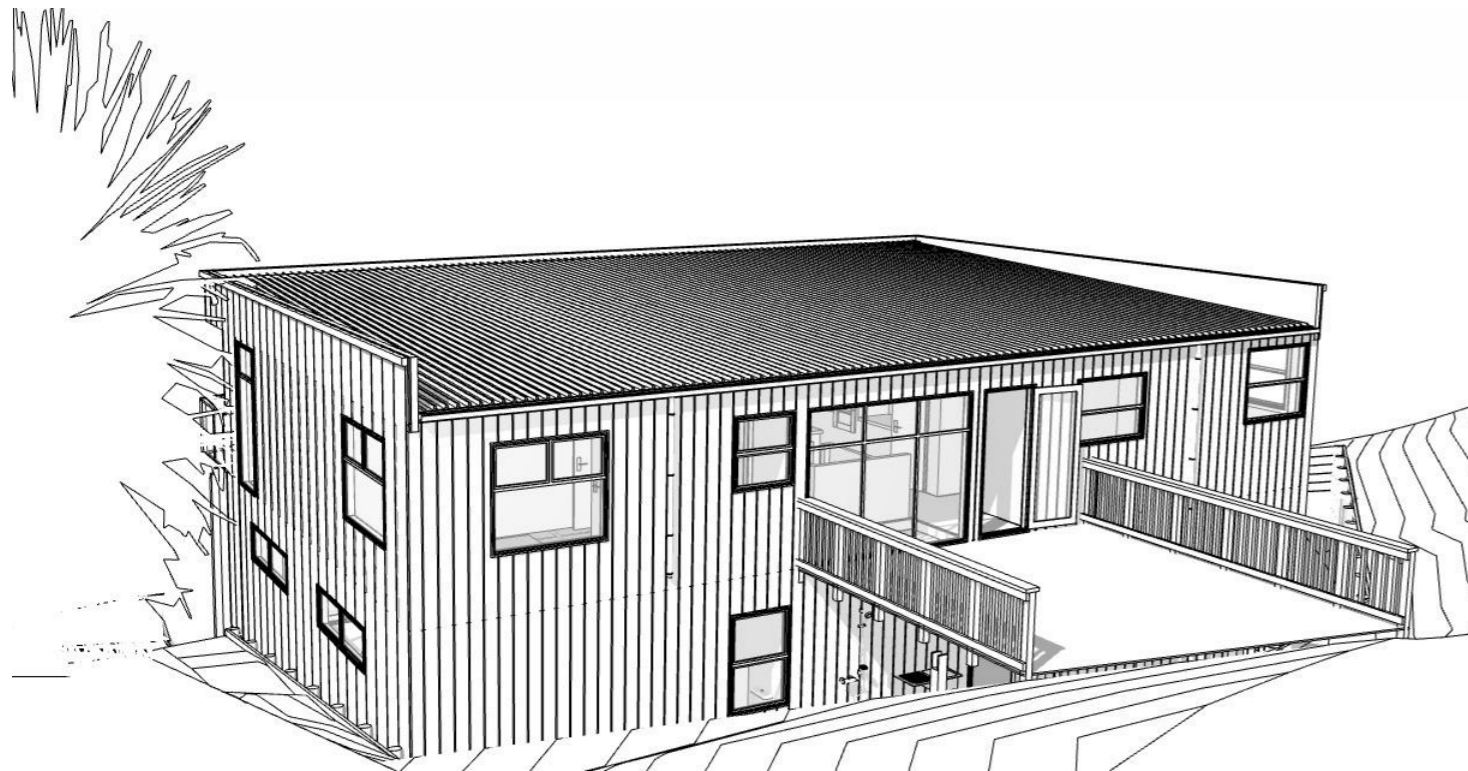
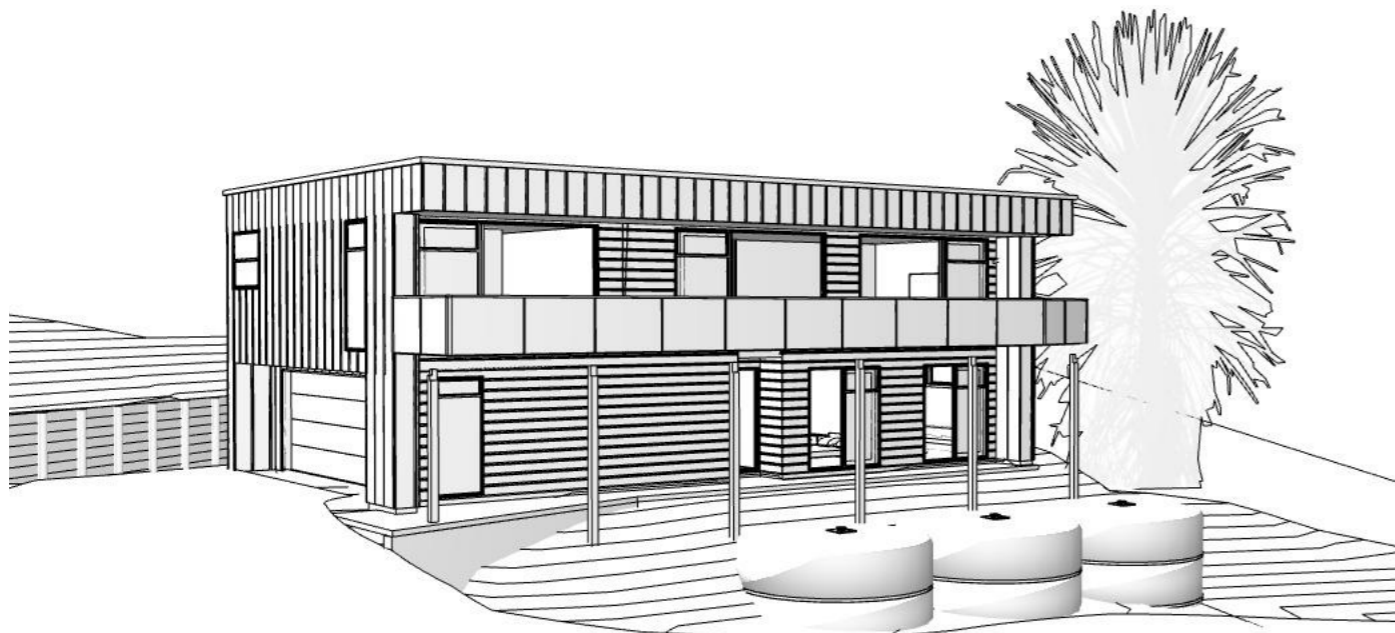
day of October 2007

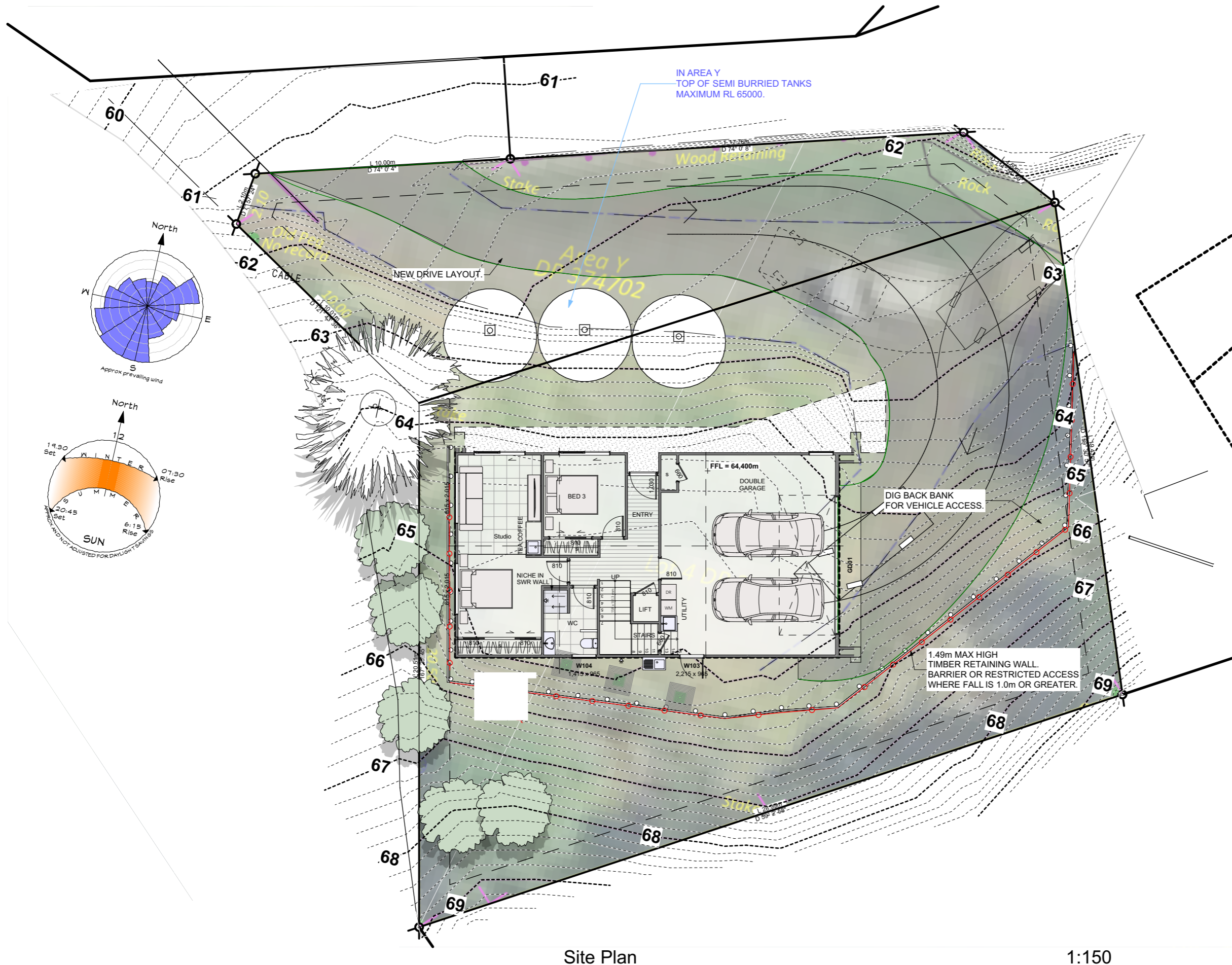
NEW RESIDENTIAL DWELLING FOR PATON



LOT 04 DP 374702
LOT 4 TASMAN HEIGHTS AHIPARA
FNDC 0481

	SHEET INDEX
A0001	Cover Page
A0002	Presentation
A1001	Site Plan
A1002	Site Plan
A1003	Site Coverage Plan
A1004	Impermeable Plan
A1005	Earthworks Plan
A1006	HIRB Plan
A1007	HIRB Plan
A1008	HIRB Plan
A1009	Topo Plan
A1401	Foundation Plan
A1402	Floor Framing Plan
A1501	Floor Plan
A1502	Upper Floor Plan
A1503	3D Floor Plan
A1601	Roof Plan
A1611	Roof Framing Plan
A2001	Elevations
A2002	Elevations
A2501	Section A-A
A2502	Section B-B
A2503	Section M-M
A5001	Door & Window Schedule
A5002	Door & Window Schedule





SITE PLAN NOTES:	
SITE DESCRIPTION	
LOT NUMBER:	LOT 04
DP NUMBER:	DP 374702
ADDRESS:	LOT 4 TASMAN HEIGHTS AHIPARA FNDC 0481 719m ²
SITE AREA:	
SITE ENVIRONMENT	
CLIMATE ZONE	1
EARTHQUAKE ZONE	ZONE 01
EXPOSURE ZONE	ZONE D
LEE ZONE	NO
WIND ZONE	VERY HIGH TBC
WIND REGION	A
RAINFALL RANGE	90mm/hr
SNOW ZONE	NO

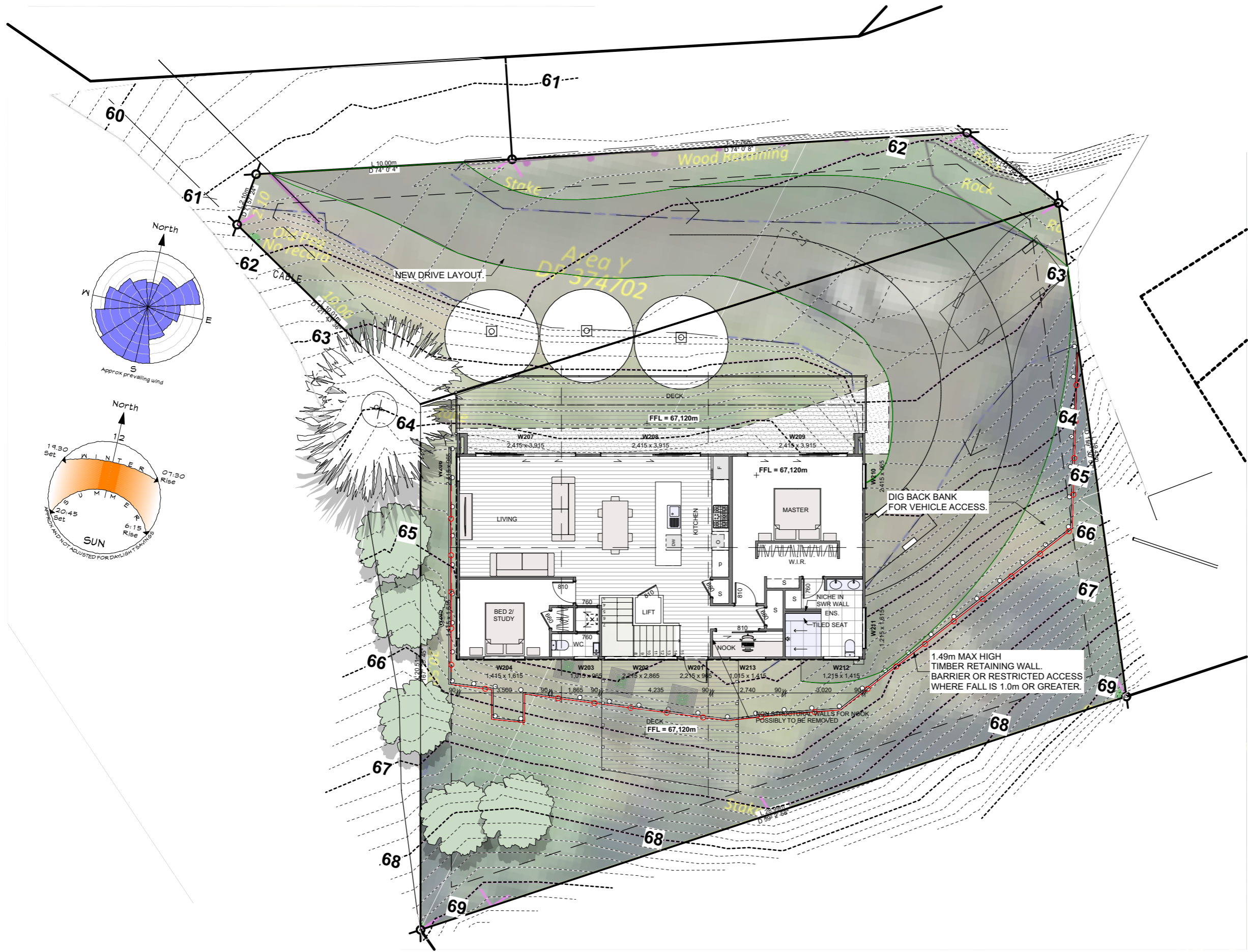
DISTRICT PLAN COMPLIANCE	
PLANNING ZONE	RESIDENTIAL
PLANNING OVERLAY	OLF
BUILDING COVERAGE	
SITE AREA	719m ²
MAX. FLOOR AREA PERMITTED:	45% 323m ²
	COMPLIES
BUILDING HEIGHT	
MAX. HEIGHT PERMITTED	8.0m
PROPOSED HEIGHT	6.2m
	COMPLIES
HIRB	
	2m, 45°
	COMPLIES
SETBACK TO BOUNDARIES	
3.0m IN FROM ROAD BOUNDARIES	
1.2m IN FROM OTHER BOUNDARIES	COMPLIES
SETBACK TO BUSH	
GREATER THAN 20m?	NO
	DOES NOT COMPLY
LRV	
30% MAX. LRV	COMPLIES

STORMWATER MANAGEMENT	
SITE AREA	719m ²
TOTAL AREA PERMITTED	50% 359m ²
	COMPLIES

EARTHWORKS:	
VOLUME PERMITTED 200m ³	
CUT 165m ³	
FILL 30m ³	COMPLIES
AREA PERMITTED >50m ² REQUIRES PERMIT	
EARTHWORKS PERMIT REQUIRED IF EXCAVATIONS ARE:	
>50m ² AREA	
>50m ³ VOLUME	
>0.5m HEIGHT	
<3.0m TO BOUNDARY	

Site Plan

1:150



SITE PLAN NOTES:	
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LOT NUMBER:	LOT 04
DP NUMBER:	DP 374702
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SITE AREA:	719m ²
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EARTHQUAKE ZONE	ZONE 01
EXPOSURE ZONE	ZONE D
LEE ZONE	NO
WIND ZONE	VERY HIGH TBC
WIND REGION	A
RAINFALL RANGE	90mm/hr
SNOW ZONE	NO

DISTRICT PLAN COMPLIANCE	
PLANNING ZONE	RESIDENTIAL
PLANNING OVERLAY	OLF
BUILDING COVERAGE	
SITE AREA	719m ²
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	COMPLIES
HIRB	2m, 45°
	COMPLIES
SETBACK TO BOUNDARIES	
3.0m IN FROM ROAD BOUNDARIES	
1.2m IN FROM OTHER BOUNDARIES	COMPLIES
SETBACK TO BUSH	
GREATER THAN 20m?	NO DOES NOT COMPLY
LRV	
30% MAX. LRV	COMPLIES

STORMWATER MANAGEMENT	
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TOTAL AREA PERMITTED	50% 359m ²
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>50m ³ VOLUME	
>0.5m HEIGHT	
<3.0m TO BOUNDARY	

Site Plan

1:150



(Ph): 09 408 2233
(Email): info@arcline.co.nz
(Web): www.arcline.co.nz

Site Plan

PATON

LOT 4 TASMAN HEIGHTS, AHIPARA
FNDC 0481

Rev No. Revision

Date

Scale @ A3: 1:150

Drawn By SE

Issued: 21/01/2026
1:16 pm

Sheet No:

A1002

DETAILED DESIGN

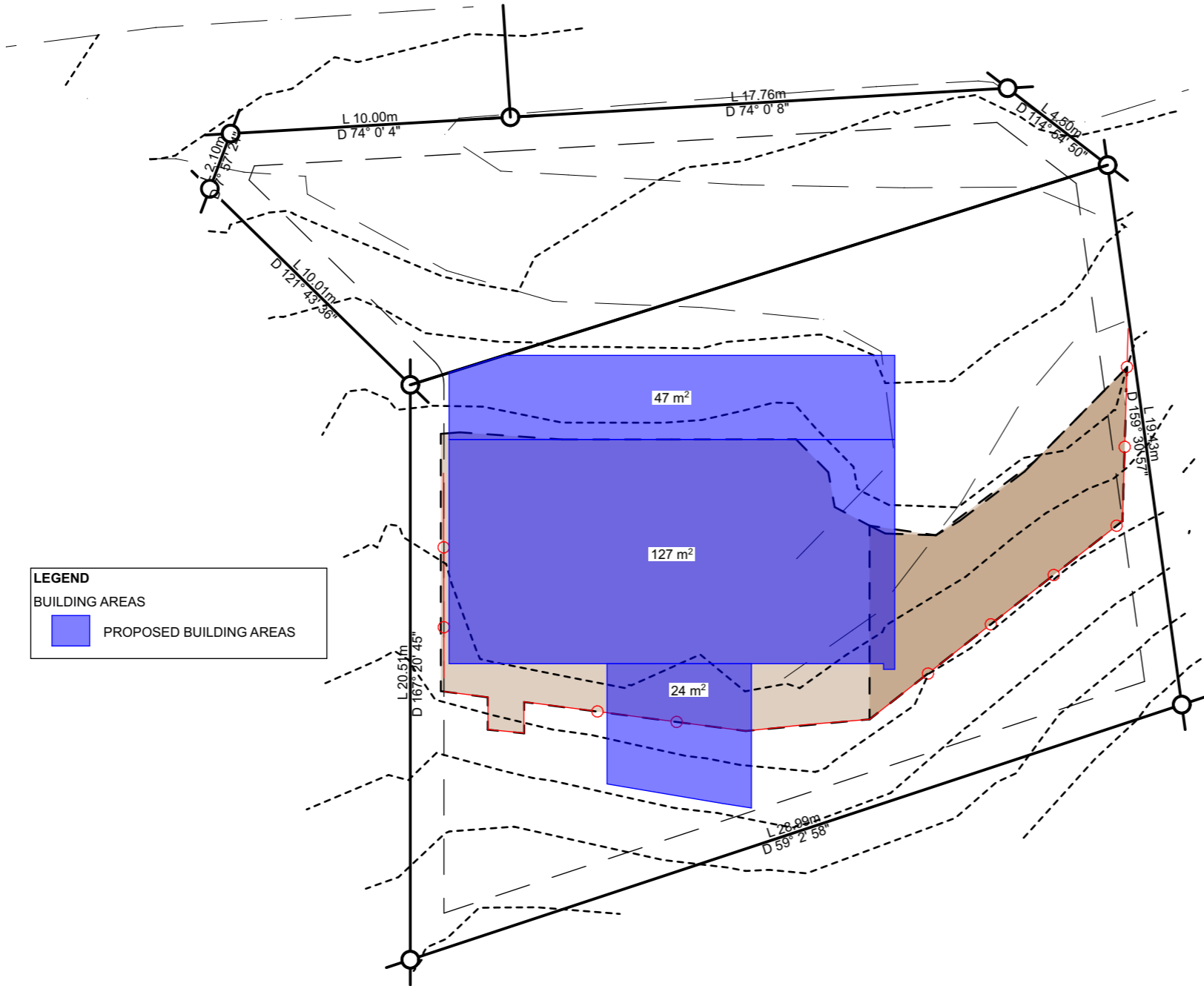
CLIENT CONCEPT APPROVAL

CONCEPT PLAN APPROVED BY CLIENT TO PROCEED TO DETAILED DESIGN.

DATE: _____

SIGNED: _____

NOTE: CHANGES TO PLANS ONCE CONCEPT APPROVAL SIGNED ARE LIABLE TO INCUR ADDITIONAL CHARGES.



SITE COVERAGE PLAN

1:200

SITE PLAN NOTES:	
SITE DESCRIPTION	
LOT NUMBER:	LOT 04
DP NUMBER:	DP 374702
ADDRESS:	LOT 4 TASMAN HEIGHTS AHIPARA FNDC 0481
SITE AREA:	719m²
SITE ENVIRONMENT	
CLIMATE ZONE	1
EARTHQUAKE ZONE	ZONE 01
EXPOSURE ZONE	ZONE D
LEE ZONE	NO
WIND ZONE	VERY HIGH TBC
WIND REGION	A
RAINFALL RANGE	90mm/hr
SNOW ZONE	N0

DISTRICT PLAN COMPLIANCE	
PLANNING ZONE	RESIDENTIAL
PLANNING OVERLAY	OLF
BUILDING COVERAGE	
SITE AREA	719m²
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HIRB	2m, 45°
	COMPLIES
SETBACK TO BOUNDARIES	
3.0m IN FROM ROAD BOUONDARIES	
1.2m IN FROM OTHER BOUNDARIES	
	COMPLIES
SETBACK TO BUSH	
GREATER THAN 20m?	NO
	DOES NOT COMPLY
LRV	
30% MAX. LRV	COMPLIES

SITE BUILDING AREA PROPOSED	
Element ID	Area
PROPOSED BUILDING AREA	24
PROPOSED BUILDING AREA	47
PROPOSED BUILDING AREA	127
	198 m²

STORMWATER MANAGEMENT	
SITE AREA	719m²
TOTAL AREA PERMITTED	50% 359m²
	COMPLIES

EARTHWORKS:	
VOLUME PERMITTED 200m³	
CUT 165m³	
FILL 30m³	COMPLIES
AREA PERMITTED	>50m² REQUIRES PERMIT
EARTHWORKS PERMIT REQUIRED IF EXCAVATIONS ARE:	
>50m2 AREA	
>50m3 VOLUME	
>0.5m HEIGHT	
<3.0m TO BOUNDARY	

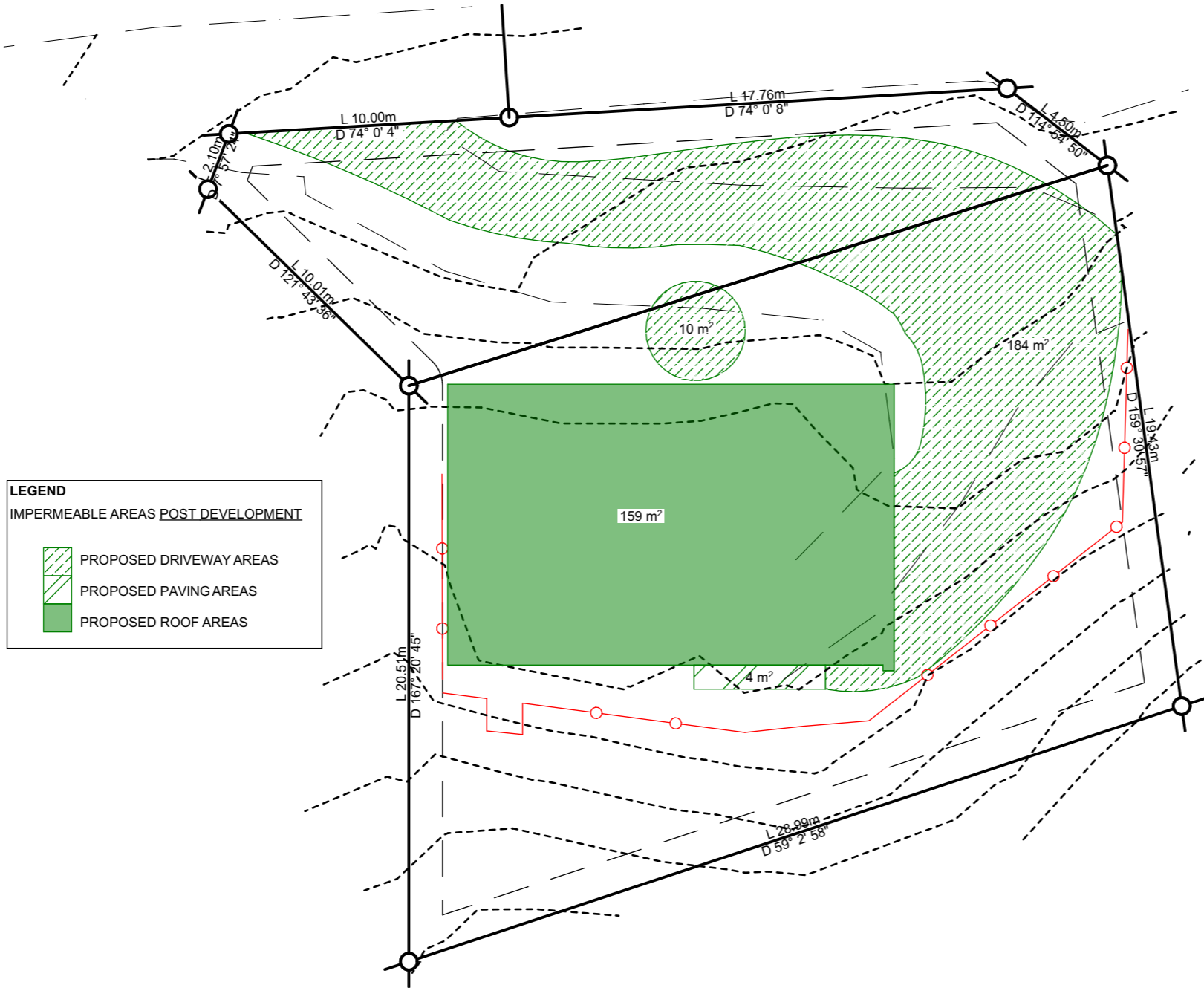
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LEGEND
IMPERMEABLE AREAS POST DEVELOPMENT

- PROPOSED DRIVEWAY AREAS
- PROPOSED PAVING AREAS
- PROPOSED ROOF AREAS

SITE PLAN NOTES:	
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LRV	
30% MAX. LRV	COMPLIES

STORMWATER MANAGEMENT	
SITE AREA	719m²
TOTAL AREA PERMITTED	50% 359m²
	COMPLIES

SITE IMPERMEABLE AREAS POST-DEVELOPMENT	
Element ID	Area
PROPOSED IMPERMEABLE AREA DRIVEWAY	10
PROPOSED IMPERMEABLE AREA DRIVEWAY	184
PROPOSED IMPERMEABLE AREA PAVING	4
PROPOSED IMPERMEABLE AREA ROOF	159
	357 m²

EARTHWORKS:	
VOLUME PERMITTED	200m³
CUT	165m³
FILL	30m³
	COMPLIES
AREA PERMITTED	>50m² REQUIRES PERMIT
EARTHWORKS PERMIT REQUIRED IF EXCAVATIONS ARE:	
>50m2 AREA	
>50m3 VOLUME	
>0.5m HEIGHT	
<3.0m TO BOUNDARY	

SITE IMPERMEABLE

1:200

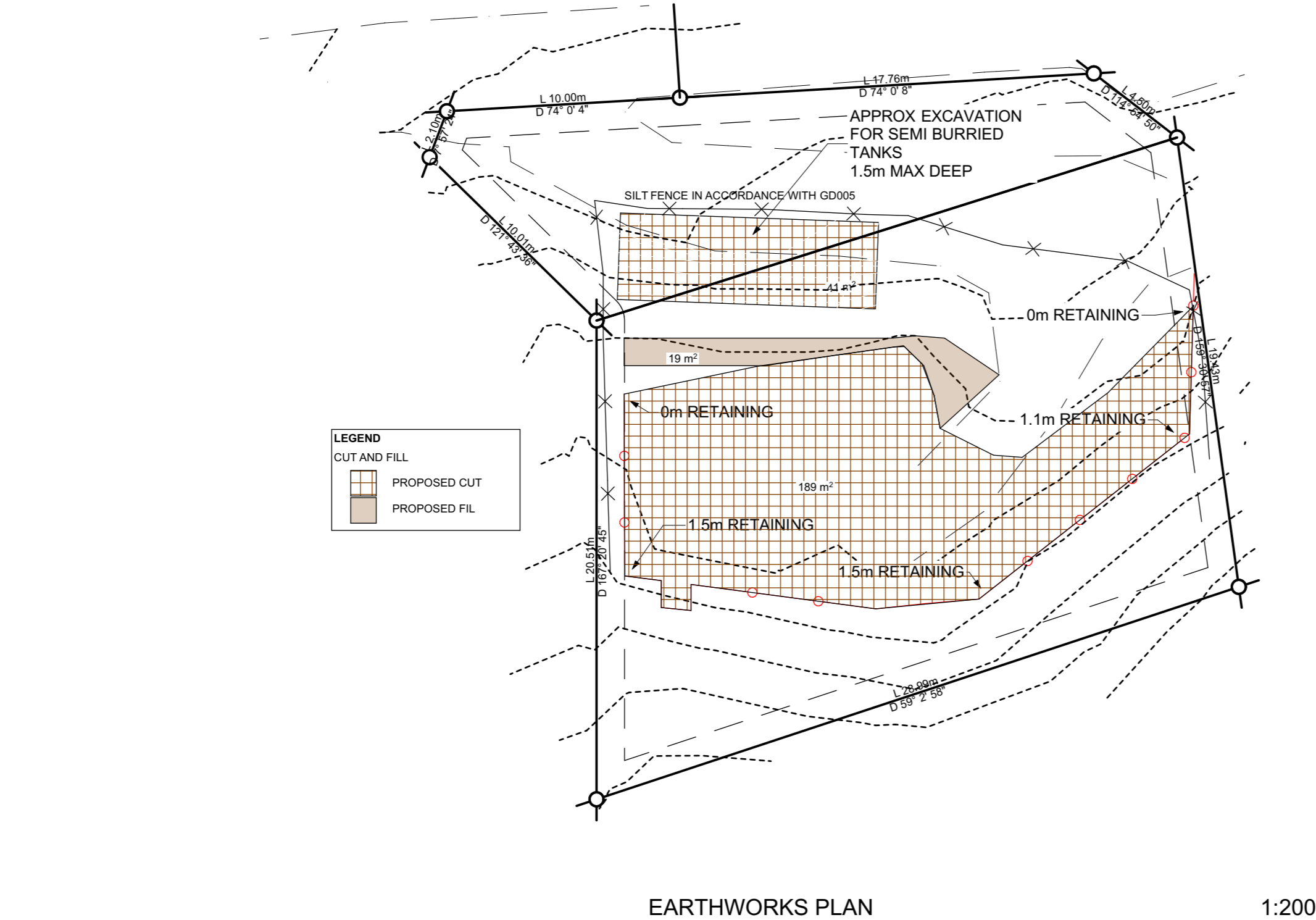
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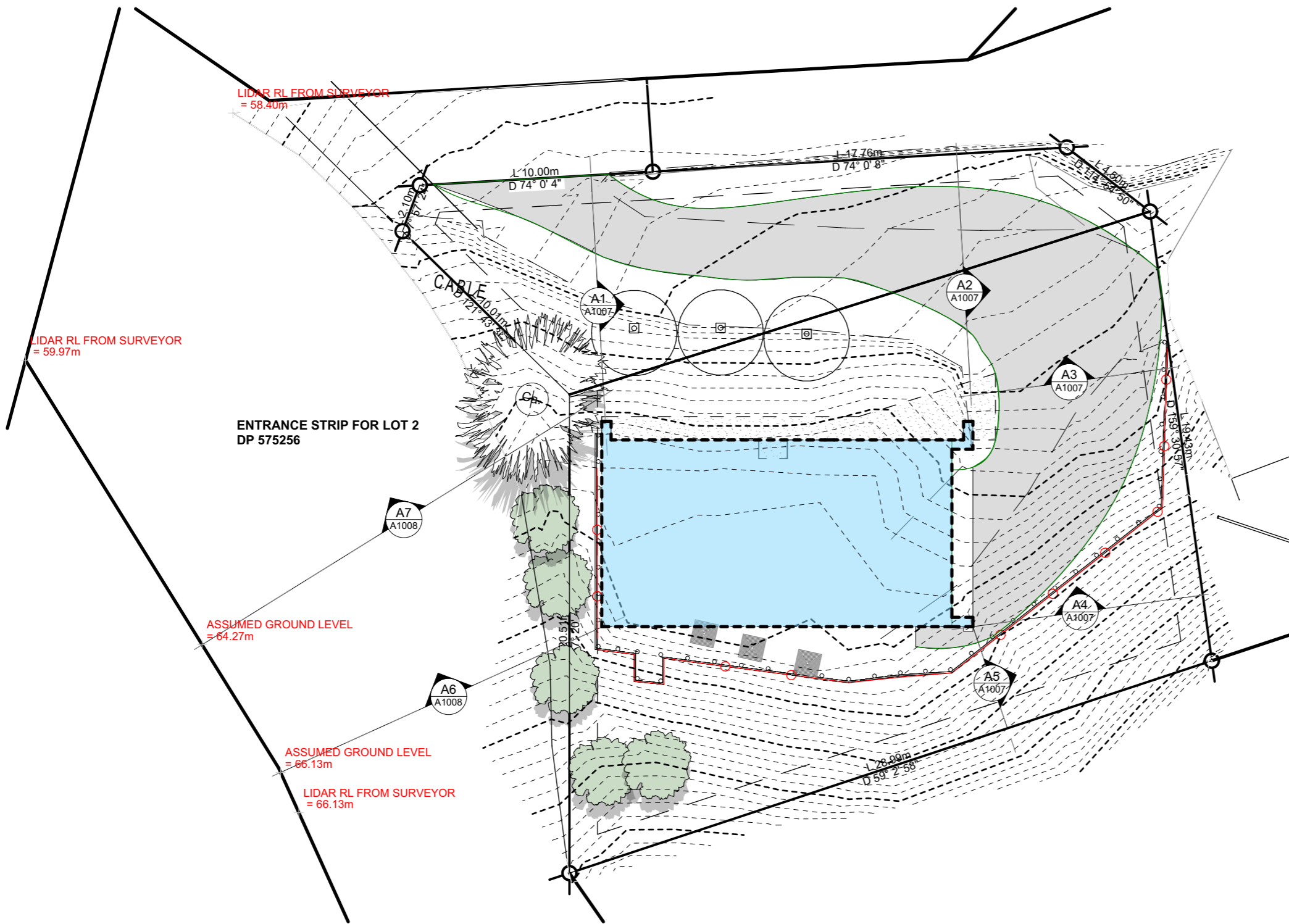
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>50m² AREA	
>50m³ VOLUME	
>0.5m HEIGHT	
<3.0m TO BOUNDARY	

SITE CUT / FILL	
Element ID	Area
PROPOSED CUT	41
PROPOSED CUT	189
PROPOSED FILL	19
	249 m ²



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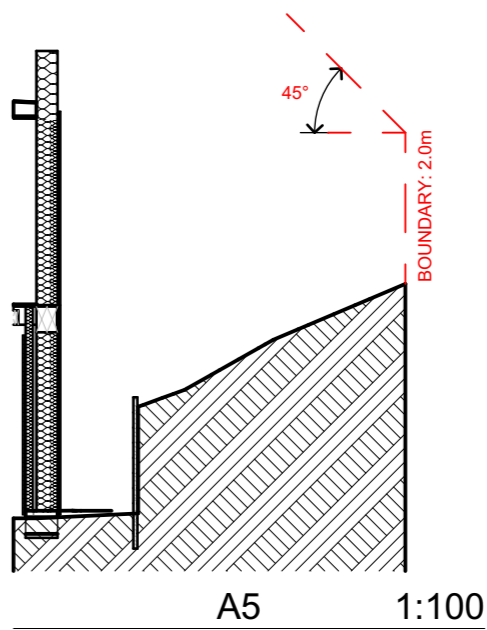
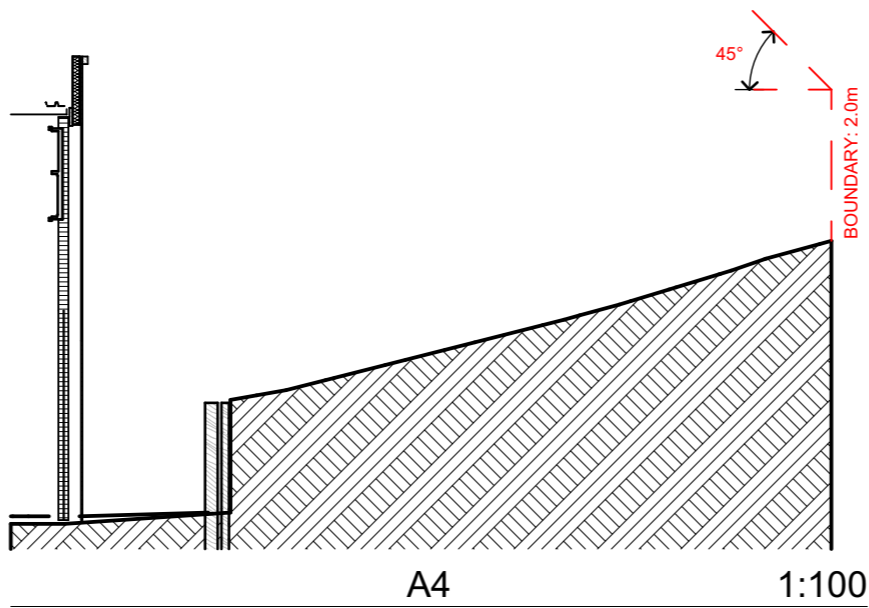
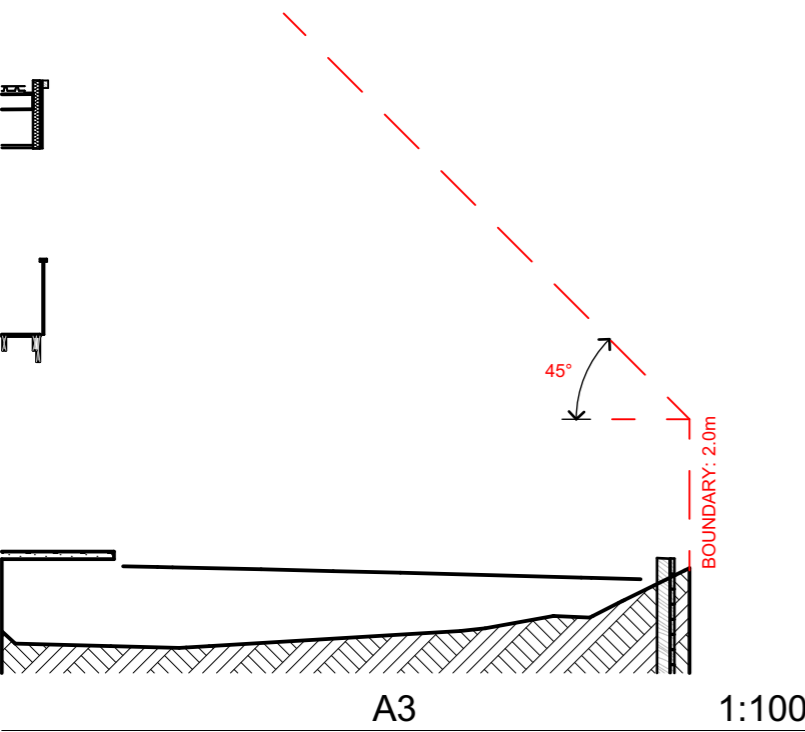
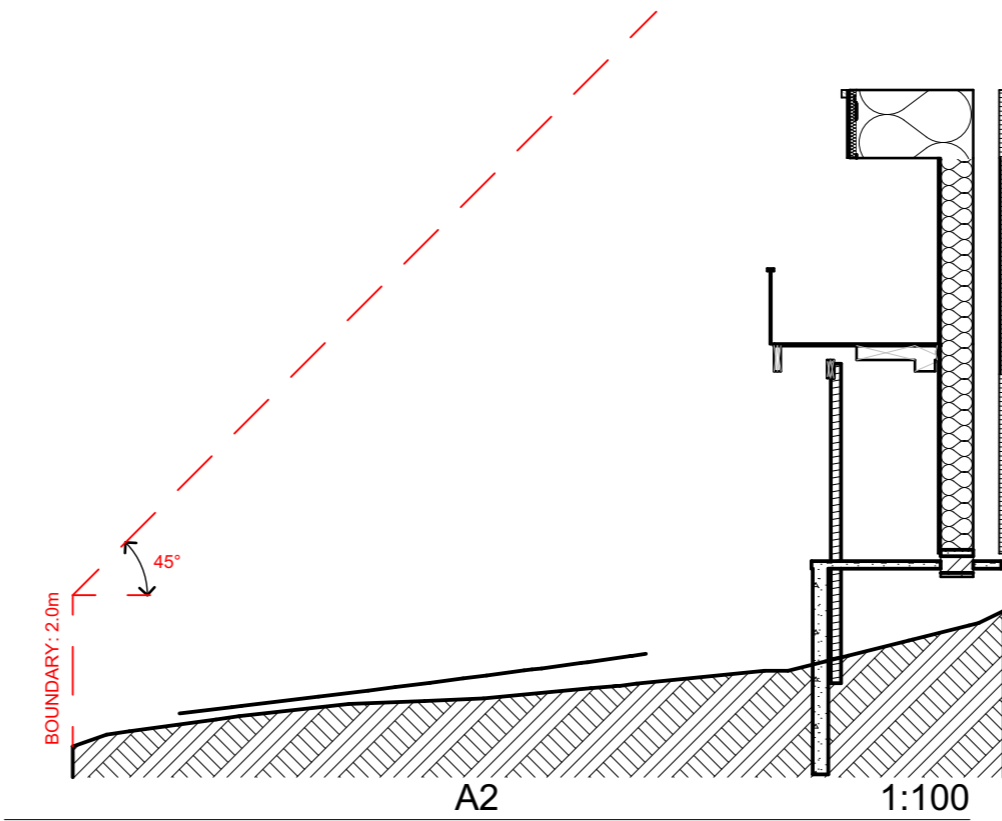
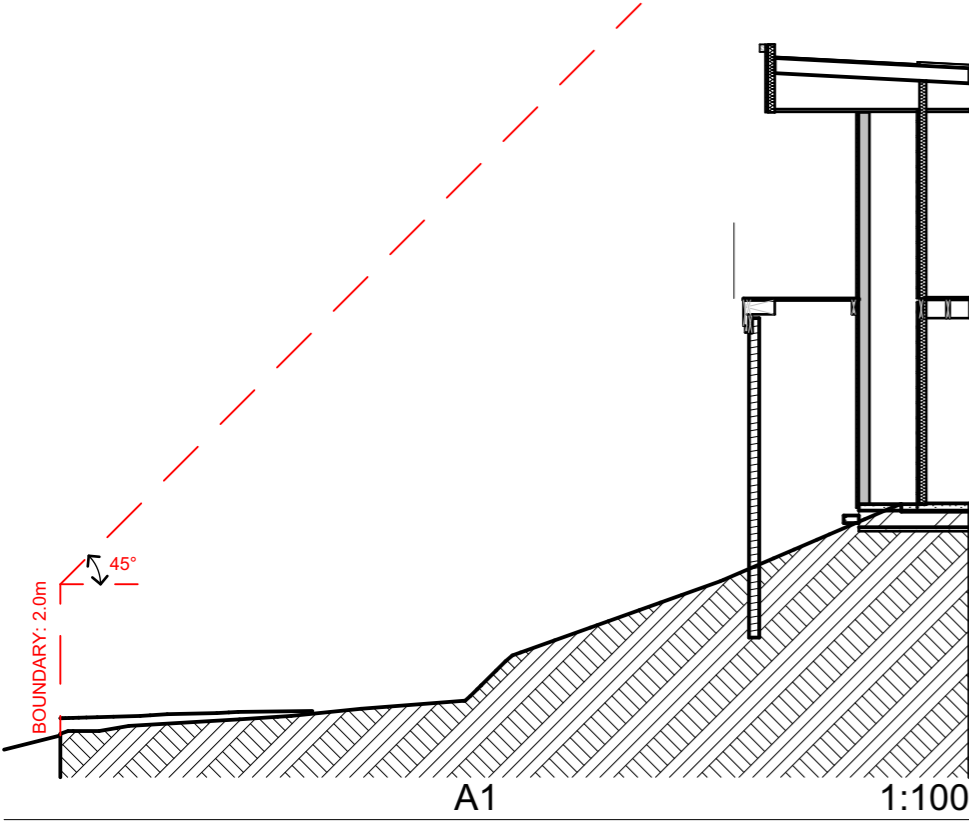
DATE: _____

SIGNED: _____

NOTE: CHANGES TO PLANS ONCE CONCEPT
APPROVAL SIGNED ARE LIABLE TO INCUR
ADDITIONAL CHARGES.

Daylight Angles

1:200

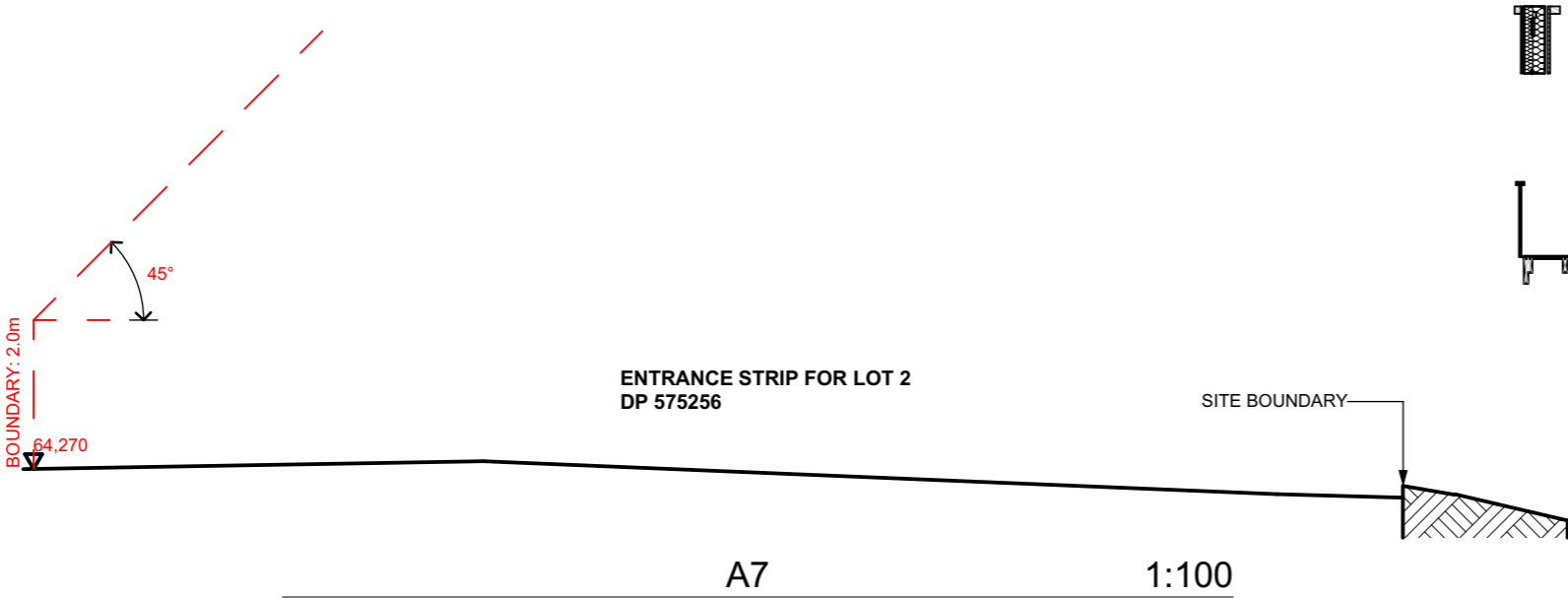
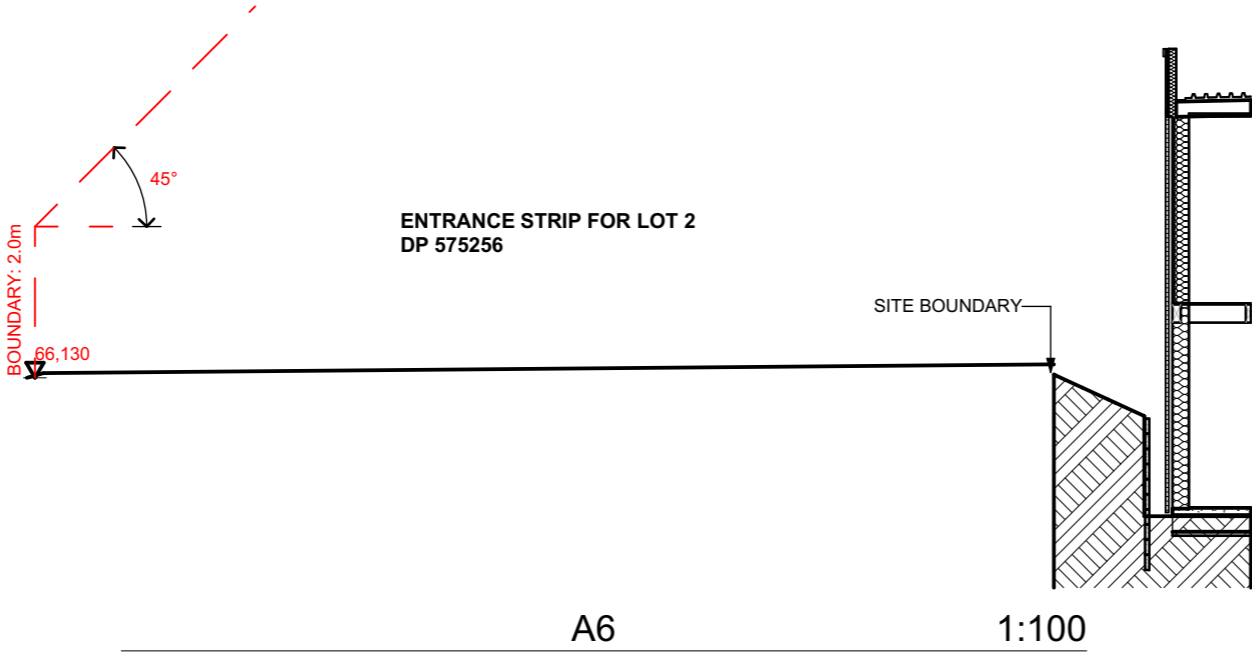


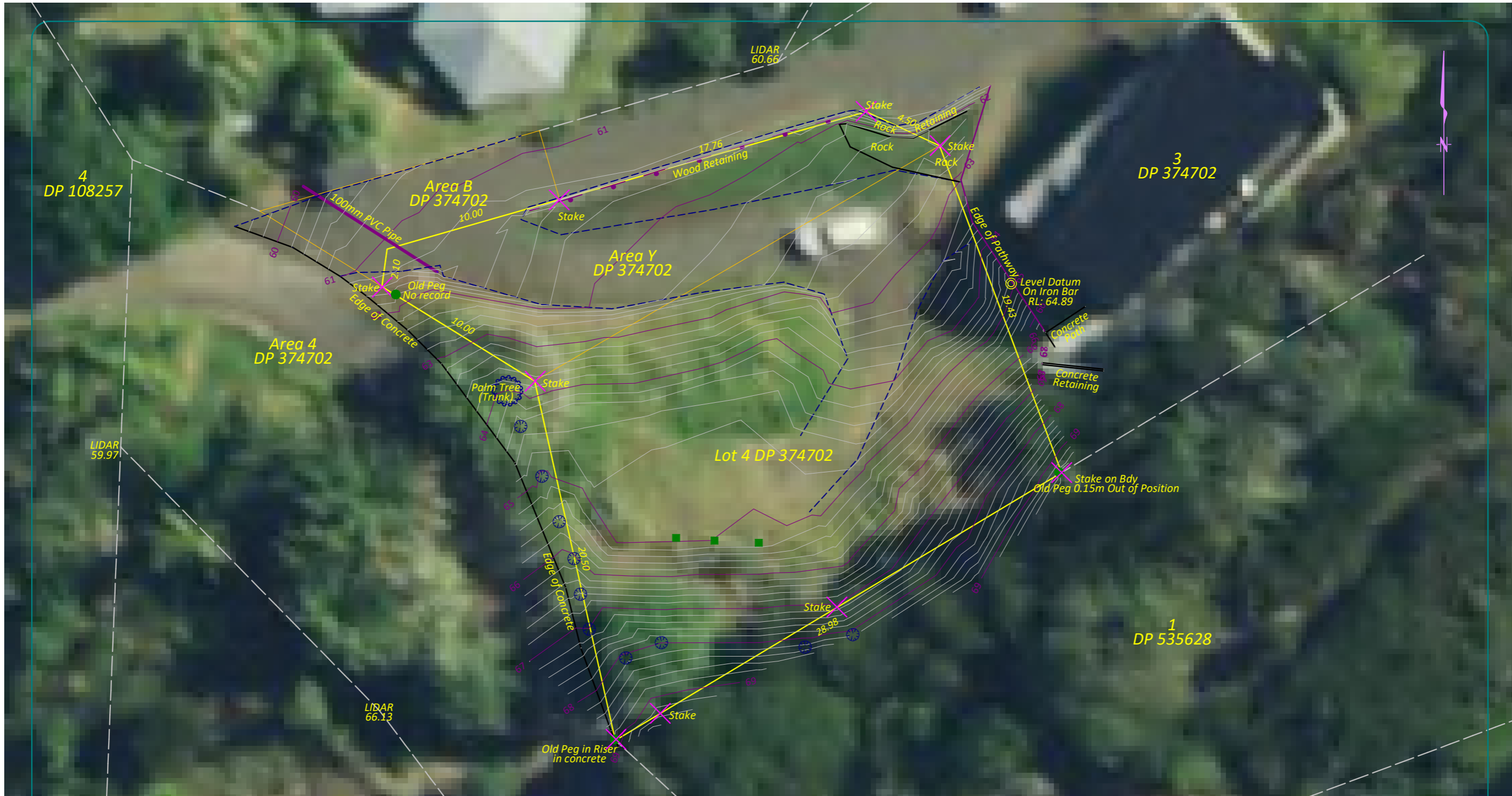
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REVISION 5.08.2025 - LIDAR HEIGHTS ADDED AT SELECT LOCATIONS
LIDAR LEVELS HAVE BEEN EXTRACTED FROM LINZ LIDAR DATA FLOWN 2022



This drawing has been prepared solely for the use intended by the client stated on the plan, and must not be used for any other purpose. Thomson Survey Ltd accepts no responsibility for this plan, or any data contained on this plan, to be used for any other purpose.

Local Authority: Far North District Council
Coordinate System: NZGD Mt Eden 2000
Coordinate Origin: IS 5 LT 370059 (EPTR)
Level Datum: NZVD 2016
Levels in terms of: EPTR RL: 65.63
Contour interval is: 0.2m MINOR, 1.0m MAJOR



315 Kerikeri Rd
P.O. Box 372 Kerikeri
Email: kerikeri@tsurvey.co.nz
Ph: (09) 4077360 Fax (09) 4077322

Registered Land Surveyors, Planners & Land Development Consultants

TOPOGRAPHICAL SURVEY OF LOT 4 DP 374702 TASMAN HEIGHTS - AHIPARA

PREPARED FOR: ARCLINE

	Name	Date
Survey	SL	1/08/25
Design		
Drawn	SL	4.08.25
Approved		
Rev		
10805 TOPO MERGE.LCD		

ORIGINAL
SCALE
1:200
SHEET
SIZE
A3

Surveyors
Ref. No:
10805
Series
Sheet of



Arcline
Architecture

(Ph): 09 408 2233
(Email): info@arcline.co.nz
(Web): www.arcline.co.nz

Topo Plan

PATON
LOT 4 TASMAN HEIGHTS, AHIPARA
FNDC 0481

Rev No. Revision

Date

Scale @ A3: NTS

Drawn By SE

Issued: 21/01/2026
1:17 pm

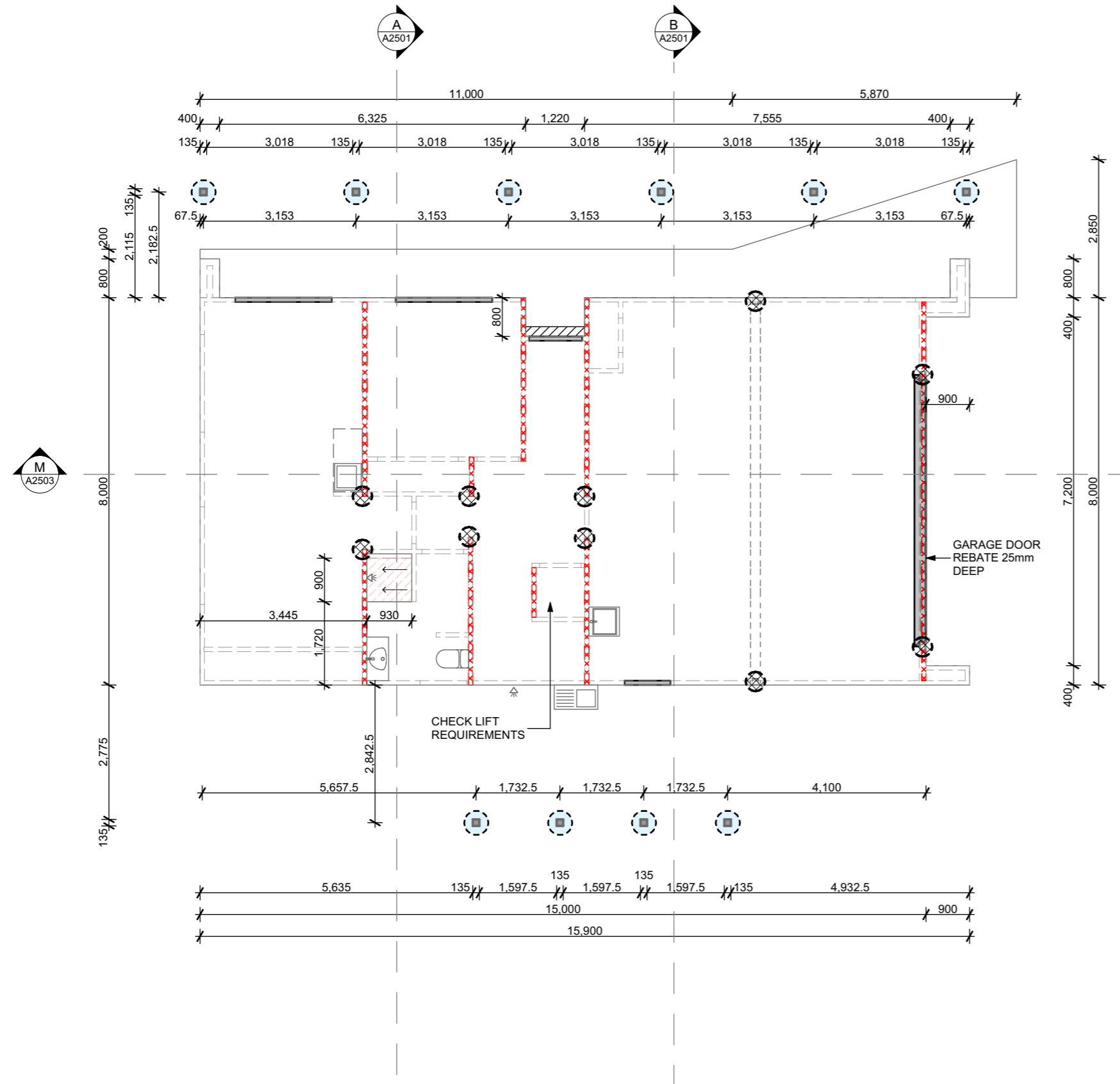
Sheet No:

A1009

DETAILED DESIGN

PATON_B&B_DD_PLANS-12-01-26.pln

11 OF 75



FOUNDATION NOTES

ACCESS ROUTES
TO ALL ACCESS ROUTES BOTH EXTERNAL AND
INTERNAL, PROVIDE ANTI-SLIP SURFACE COMPLYING
NZ BC D1/AS1.

ENGINEERED RAFT SLAB TO ENGINEER DESIGN.
SLAB MESH AS PER ENGINEER DESIGN.
ALL ENGINEER DESIGNED FOUNDATIONS TO BE
INSPECTED BY ENGINEER PRIOR TO POUR (MIN. 48
HRS NOTICE TO BE GIVEN).

0.25mm POLYTHENE MOISTURE BARRIER (TAPE ALL
CUTS AND PENETRATIONS AND LAP MIN. 225mm AT ALL
SEAMS).
50mm HD POLYSTYRENE ON
25mm BLINDING ON
100mm MIN. COMPACTED GAP 40 OR OTHER
ACCEPTIBLE HARDFILL

RIGID AIR BARRIERS - ALLOW 6mm OVERHANG TO
SLAB EDGE - SEE MANUFACTURERS DETAILS.

30mm STEEL COVER - ENCLOSED
50mm STEEL COVER - EXPOSED
75mm STEEL COVER - TO GROUND

CHECK PLUMBING PLAN AND ELECTRICAL PLAN
THOROUGHLY FOR ANY SERVICES REQUIRING CONDUIT
PRIOR TO POURING THE SLAB.

CONCRETE PATIOS

FLOOR SLAB LEGEND

- MARKER INDICATES FFL HEIGHT ABOVE /
BELOW EXISTING GROUND LEVEL
- LOAD BEARING WALL
INTERNAL LOAD BEARING WALL ABOVE
- POINT LOAD ABOVE
ENSURE PAD TO SUPPORT POINT LOAD
ABOVE
- JOINERY / DOOR REBATES:
REBATE LOCATIONS SHOWN AS
DIMENSIONED - REBATE WIDTH AND DEPTH
CONFIRMED ON SITE BY JOINERY
MANUFACTURER - CONFIRM FLOOR
COVERINGS AND CONFIRM ANY CLASHES
WITH SWING DOORS TO EXTERIOR PATIO/
DECK LEVELS PRIOR
- LEVEL ENTRY SHOWER
LEVEL ENTRY TILED SHOWER WITH MIN. 1:50
FALL TO WASTE. REDUCE HEIGHT OF PODS
TO ENSURE 95mm MIN. SLAB DEPTH
- CONCEALED CHANNEL
200mm WIDE x 150mm MIN. DEEP ON 75mm
DRAINAGE SLAB WITH MIN. 1:100mm FALL TO
OUTLET. OUTLETS @ MAX. 3.7m CRS.
ALUMINIUM INSPECTION HATCH AT CHANGE
OF DIRECTION.
- POWER / DATA ENTRY POINT
POWER - VIA Ø65 DUCT WITH SWEEP BEND -
2 PHASE POWER TO PEDESTAL.
FIBRE / POWER / PHONE - VIA Ø20 DUCT.
- BRACE WALL THICKENING
PROVIDE SLAB THICKENING FOR INTERNAL
WALL BL BRACE FIXINGS

Foundation Plan

1:100

FLOOR FRAMING NOTES

BUILDER TO CONFIRM THE FOLLOWING PRIOR TO SETTING OUT FLOOR JOISTS

- PLUMBING FIXTURES AND WASTE LOCATIONS
- BALUSTRADE TYPE / BRAND AND FIXING
- REQUIREMENTS

DURABILITY

- EXPOSURE ZONE D:
- ALL HOUSE FRAMING H1.2 SG8 UNLESS STATED OTHERWISE
- ALL DECK / EXPOSED FRAMING TO BE H3.2 SG8 UNLESS STATED OTHERWISE.
- ALL BEARERS H3.2
- ALL EXPOSED FIXINGS TO BE STAINLESS STEEL
- ALL JOIST FIXINGS AS PER TABLE 7.5 NZS3604

SUBFLOOR INSULATION

TBC

FLOORING TYPICAL:

DWELLING - 20mm PLY FLOORING..

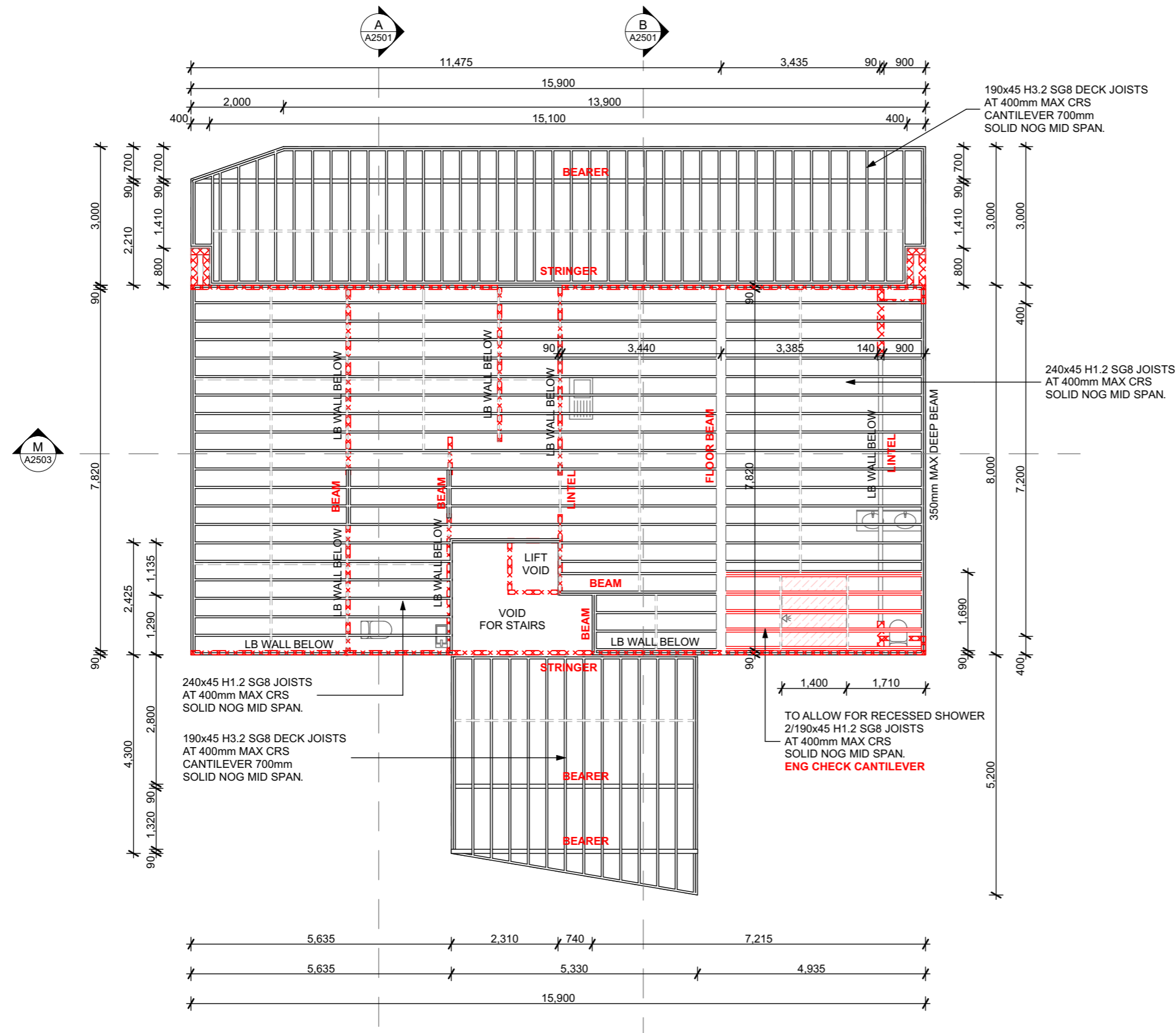
FLOORING WET AREAS:

JH SECURA FLOORING TO WET AREAS.

PROVIDE WET AREA FLOORING IN ALL KITCHENS, LAUNDRIES AND BATHROOMS INCLUDING MIN. 1.5m AWAY FROM SINKS / BASINS / TUBS

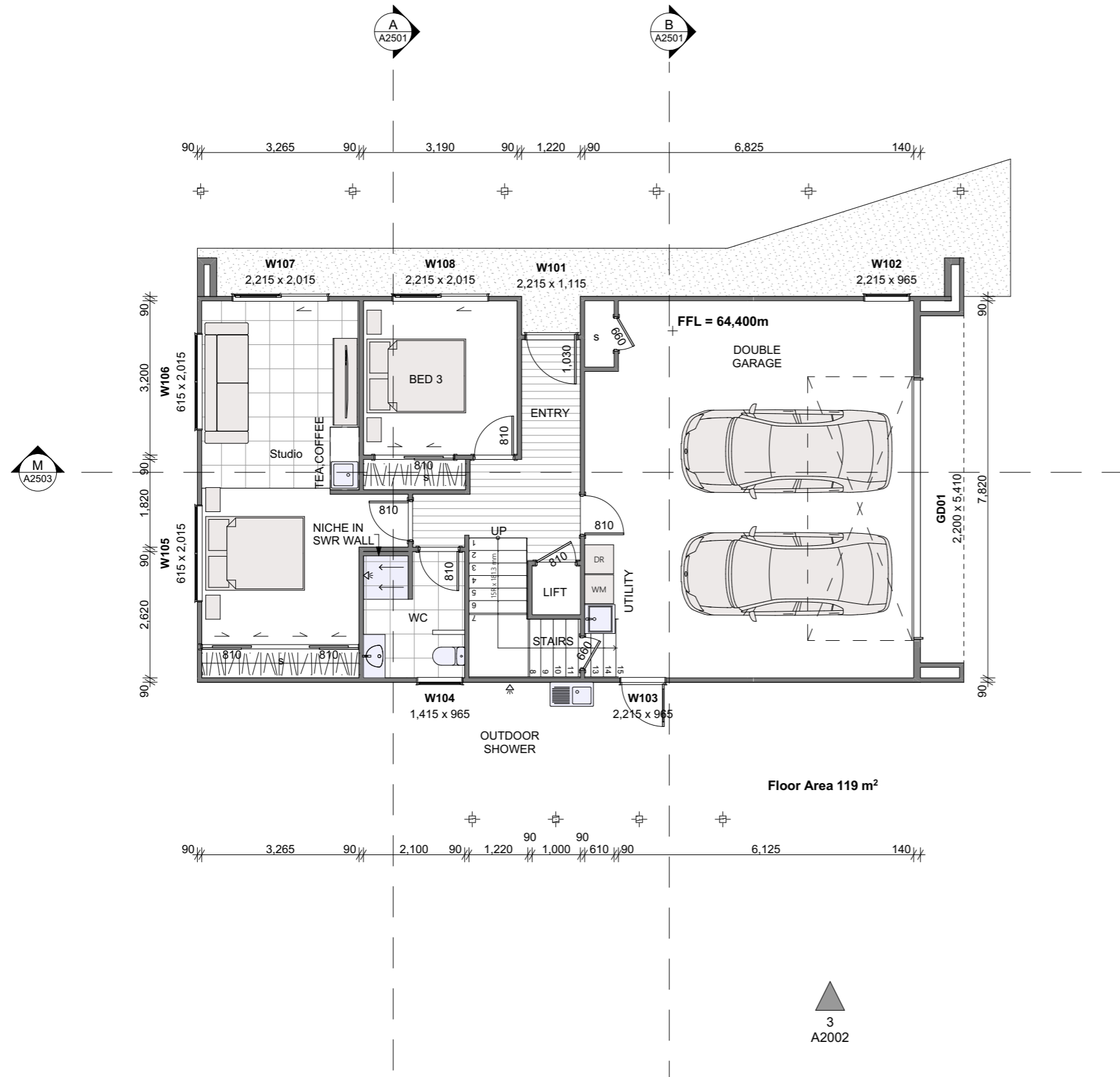
DECKING - EX 100 x 40 H3.2 PREMIUM SELECTED PINE DECKING

3mm GAP, 12mm GAP BETWEEN HOUSE CLADDING, GROOVESIDE DOWN (CLIENT TO CONFIRM)



Floor Framing Plan

1:100

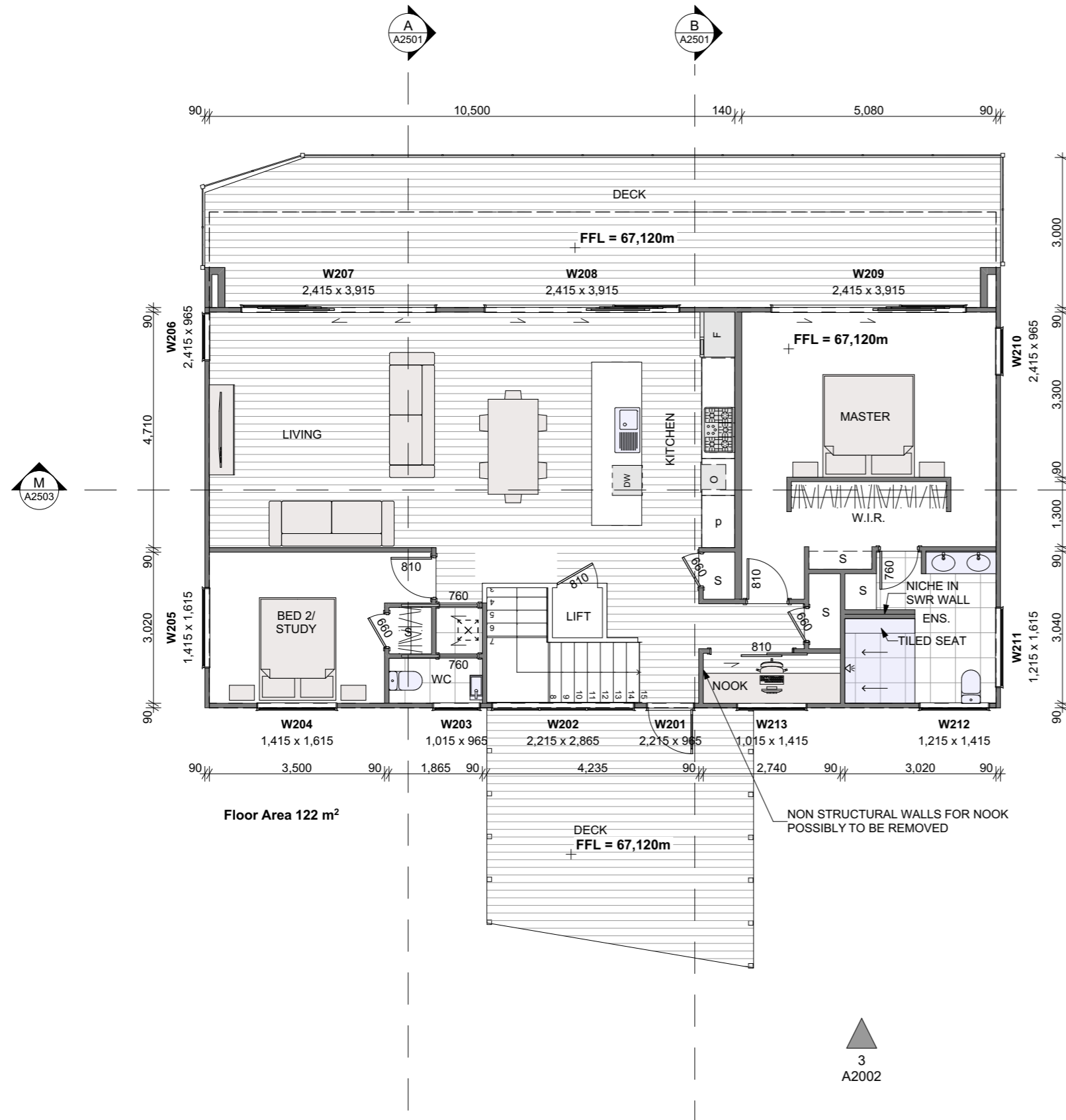


- ELEVATION NOTES**
- ROOFS**
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING
WASHERS OR
PROFILED WASHERS WITH EPDM SEALING
WASHER
AS PER ROOFING MANUFACTURERS
SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE
FLASHINGS, COLOUR TO MATCH ROOFING
125SQ CONTINUOUS GUTTER
80Ø COLOURED UPVC DOWNPIPES
INSTALL TO MANUFACTURERS'
RECOMMENDATIONS
LEAF SLIDERS
Ex 25 H3.1 FASCIA BOARD
JH 4.5mm HARDIEFLEX SOFFIT LINING,
INSTALL TO MANUFACTURERS
RECOMMENDATIONS,(PVC JOINTERS).
JH 4.5mm HARDIEFLEX SOFFIT LINING
,INSTALL TO MANUFACTURERS
RECOMMENDATIONS,(PVC JOINTERS).
- WALLS**
VERTICAL NU WALL CLADDING INSTALLED
AS PER MANUFACTURERS SPECIFICATIONS
ON
20mm CAVITY SYSTEM - CAVITY
TREATMENT TO COMPLY WITH B2.
SELECTED NU WALL CLADDING INSTALLED
AS PER MANUFACTURERS SPECIFICATIONS
ON
20mm CAVITY SYSTEM - CAVITY
TREATMENT TO COMPLY WITH B2.

GLAZING / JOINERY
DOUBLE GLAZED POWDER COATED
ALUMINIUM JOINERY.
2,215 WINDOW HEAD HEIGHT
2,415 WINDOW HEAD HEIGHT
TIMBER BALUSTRADE.
GLASS BALUSTRADE.
FRAMED
TIMBER BALUSTRADE.
INSULATION
TBCTBCTBC
TBC
GARAGE INSULATED AS PER THE
DWELLING.
GARAGE DOOR TO BE INSULATED

Floor Plan

1:100



First Floor Plan

1:100

ELEVATION NOTES

ROOFS

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ALUMINIUM JOINERY.

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GLASS BALUSTRADE.
FRAMED

TIMBER BALUSTRADE.

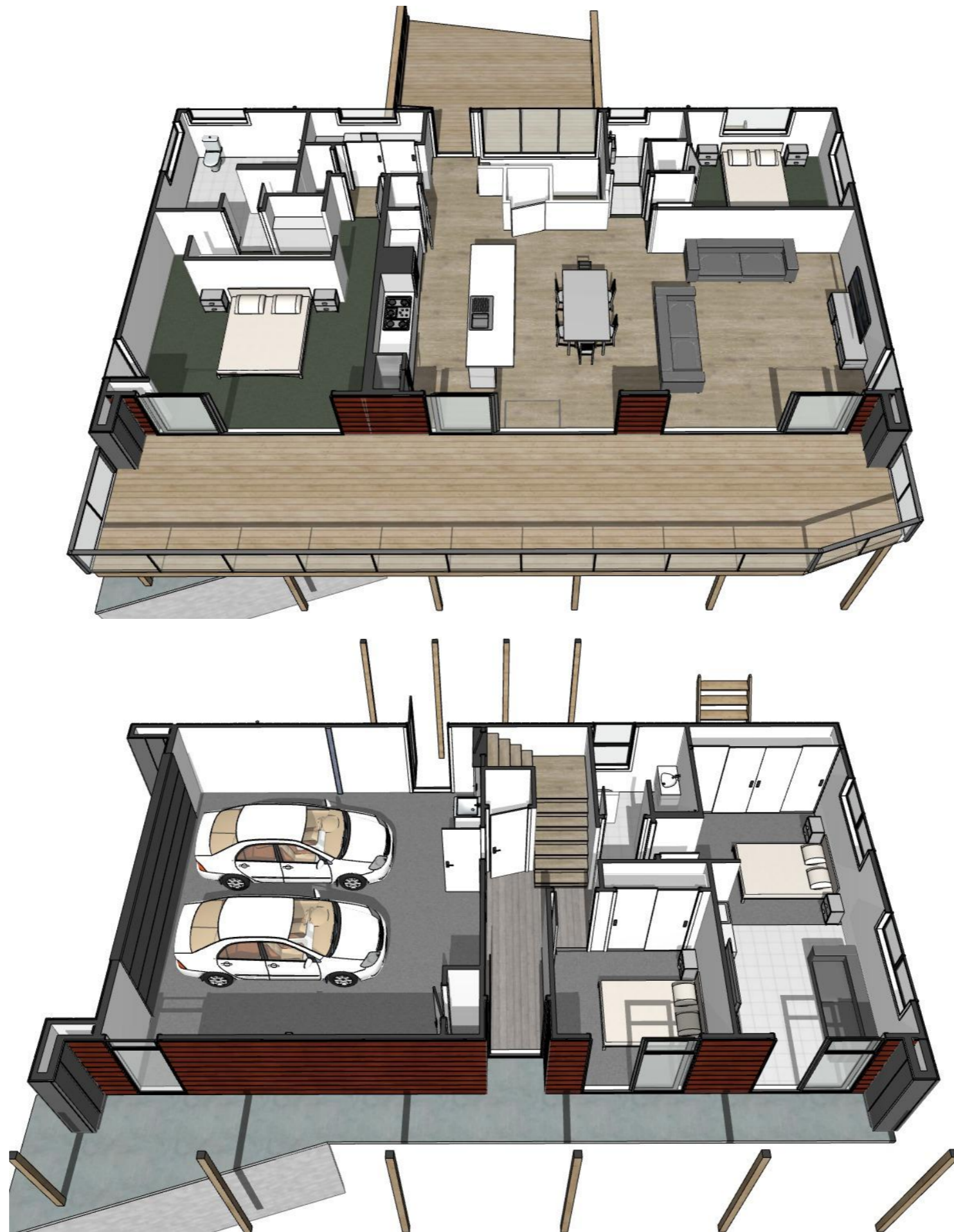
INSULATION

TBCTBCTBC

TBC

GARAGE INSULATED AS PER THE
DWELLING.

GARAGE DOOR TO BE INSULATED



ELEVATION NOTES

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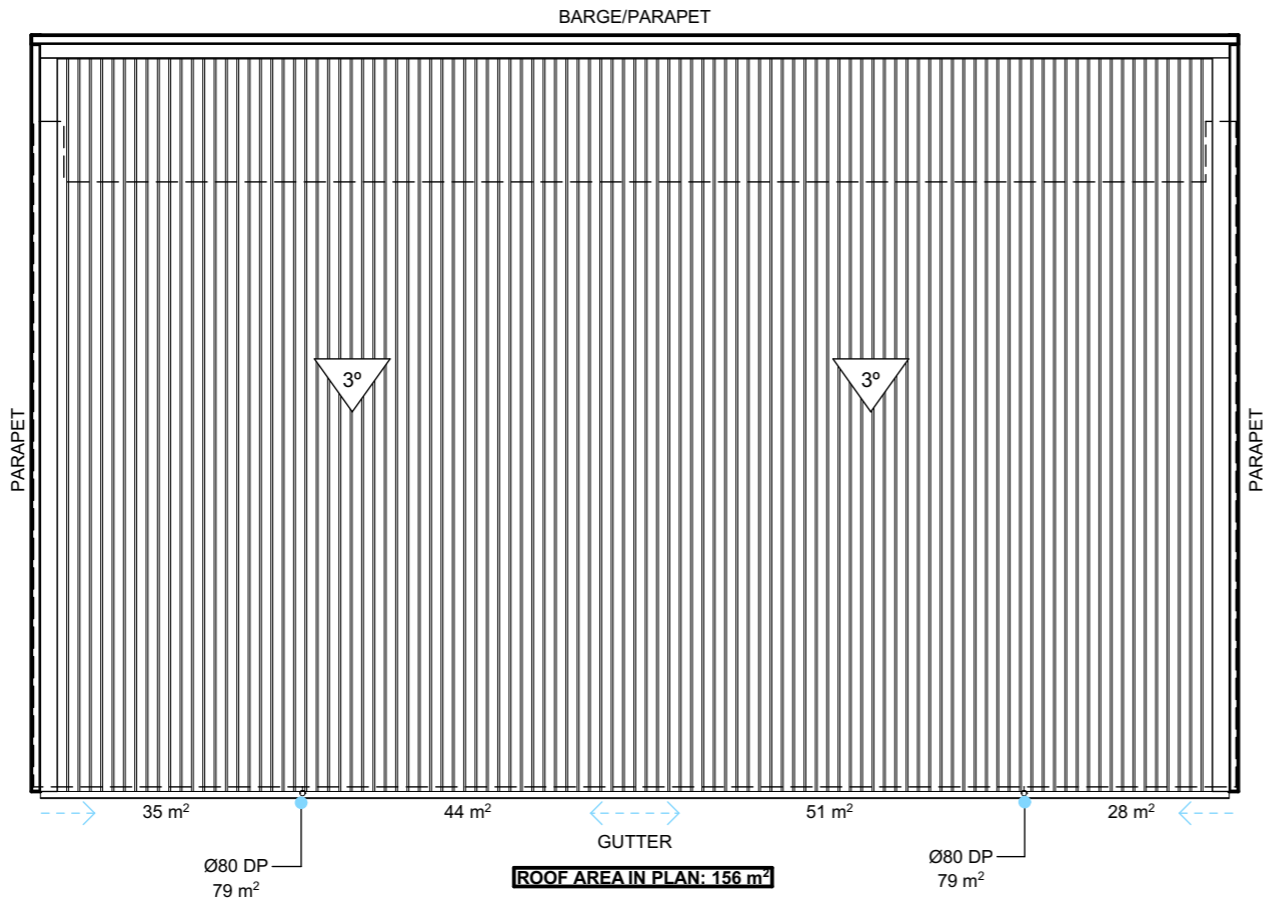
INSULATION

TBCTBCTBC

TBC

GARAGE INSULATED AS PER THE
DWELLING.

GARAGE DOOR TO BE INSULATED



ROOF PLAN NOTES:

ROOFING
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING WASHERS OR
PROFILED WASHERS WITH EPDM SEALING WASHER
AS PER ROOFING MANUFACTURERS SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE FLASHINGS, COLOUR TO
MATCH ROOFING

PURLINS
70x45 SG8 H1.2 PURLINS AT 900mm CRS.
80mm, 10g SCREW FIXING (BLUE SCREW)

ROOF UNDERLAY
BAYONET BAYOWRAP FLAMESPEC 05 ROOF UNDERLAY
LAID HORIZONTALLY (OVER GALV MESH TO 3° ROOF
ONLY).

GUTTER
125SQ CONTINUOUS GUTTER

DOWNPIPES
80Ø COLOURED UPVC DOWNPIPES
INSTALL TO MANUFACTURERS' RECOMMENDATIONS
LEAF SLIDERS

FASCIA
Ex 25 H3.1 FASCIA BOARD

FIX ROOF CLADDING IN ACCORDANCE WITH
MANUFACTURERS SPECIFICATIONS. MAKE WATER TIGHT
ALL FLASHINGS: HIPS, VALLEYS, APRONS, RIDGES ETC.

EXECUTE AND COMPLETE ALL PLUMBING AND DRAINAGE
REQUIREMENTS IN ACCORDANCE WITH NZBC E1

LEGEND

GUTTER FALL: ARROW DENOTES DIRECTION
OF FALL TO DOWNPIPE MIN. 1:500 FALL

--- LINE OF SOFFIT

RAINWATER CALCULATIONS	
RAINFALL INTENSITY	90mm/hr
TOTAL ROOF PLAN AREA	
GUTTER CROSS SECTIONAL AREA:	7400mm²
DOWNPIPE DIAMETER	Ø80
ROOF PITCH:	3°
MAX. ROOF PLAN AREA TO GUTTER:	62m²
MAX. ROOF PLAN AREA TO DP:	105m²

Roof Plan

1:100

ROOF FRAMING NOTES:

TRUSSES

AS PER TRUSS DESIGN PLANS @ 450MM CRS MAX,
FIXED TO TOP PLATE AS PER TRUSS DESIGN.
90x45 H1.2 RESTRAINTS REQUIRED TO TRUSS BOTTOM
CHORDS @ 1.8m MAX. CRS. IF RONDO BATTENS USED

PURLINS

70x45 SG8 H1.2 PURLINS AT 900mm CRS.
80mm, 10g SCREW FIXING (BLUE SCREW)
TOP PURLINS 600MM MAX FROM RIDGE, BOTTOM
PURLIN 600MM MAX FROM FASCIA.

70x45 H1.2 SG8 PURLINS ON FLAT @ 900CRS
CANTILEVERED MAX. 300mm

OUTRIGGERS

H1.2 SG8 OUTRIGGERS, SIZE AND FIXINGS AS PER
MITEK OUTRIGGER DETAILS ATTACHED

FLY RAFTERS

H1.2 SG8 FLY RAFTERS, SIZE AND FIXINGS AS PER
MITEK OUTRIGGER DETAILS ATTACHED

SOFFITS MIN. 6mm IN EH WIND ZONES

TYPICAL:
JH 4.5mm HARDIEFLEX SOFFIT LINING, INSTALL TO
MANUFACTURERS RECOMMENDATIONS,(PVC
JOINTERS).
VERANDAH:
JH 4.5mm HARDIEFLEX SOFFIT LINING ,INSTALL TO
MANUFACTURERS RECOMMENDATIONS,(PVC
JOINTERS).

LEGEND

ROOF PLANE BRACING

DIAGONALLY OPPOSING PAIR TENSIONED
LUMBERLOK STRIP BRACE ROOF PLANE
BRACING RUNNING FROM RIDGE TO TOP
PLATE INSTALLED AS PER
MANUFACTURERS SPECIFICAITONS
5/30X3.15 NAILS EACH END & 1/30X3.15 NAIL
AT CROSSING (AFTER TENSIONING)

LOAD BEARING WALL

INTERNAL LOAD BEARING WALL BELOW
SUPPORTING ROOF STRUCTURE ABOVE.

FLAT SOFFIT

FRAME OUT FOR FLAT SOFFIT. PROVIDE
FRAMING @ 600mm MAX. CRS FOR SOFFIT
FIXING TO TYPICAL SOFFIT HEIGHT.

ROOF BRACING:

ROOF WEIGHT:

BRACING REQUIRED:

50m²

LIGHT

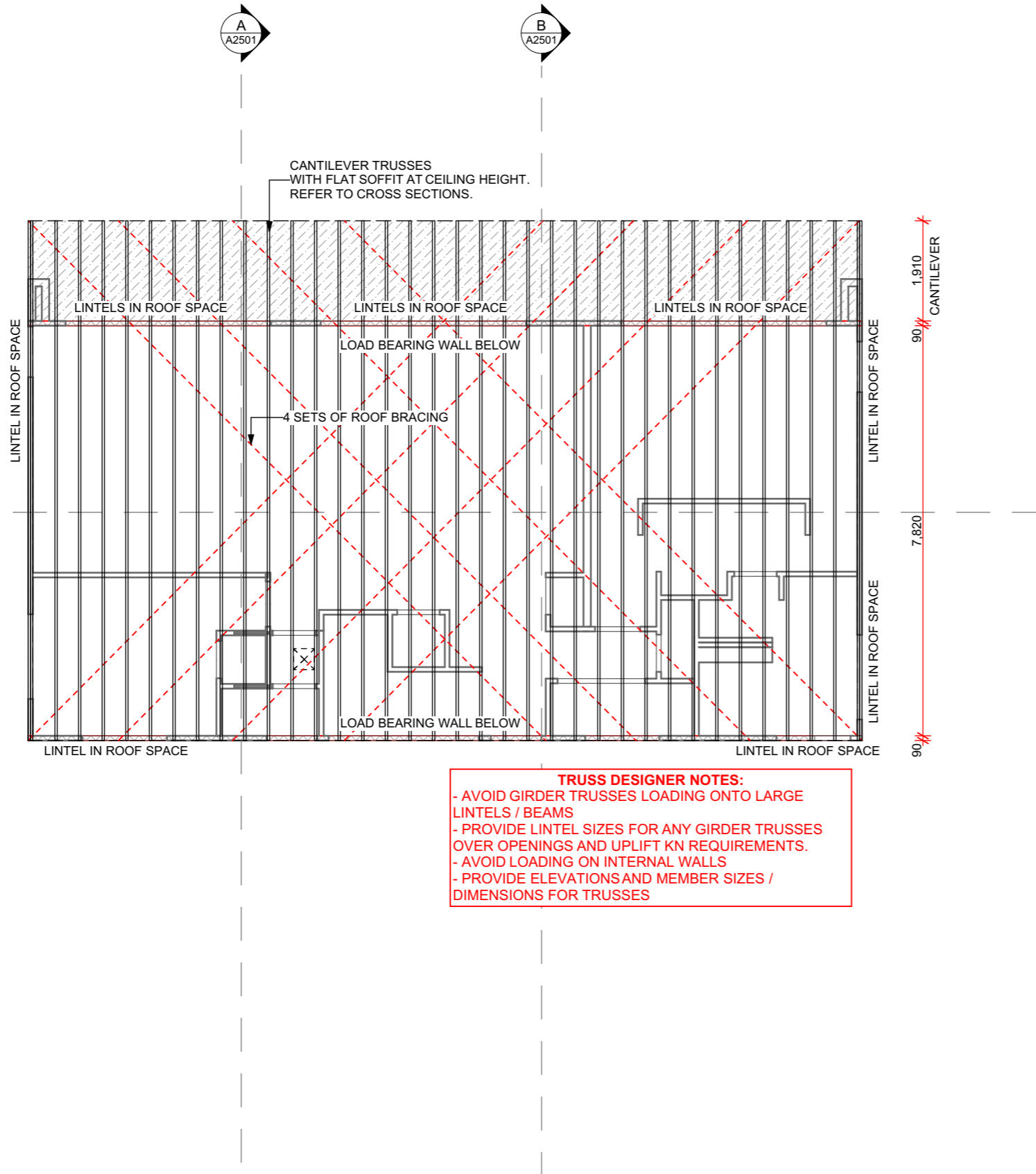
ONE PER

ROOF PLAN AREA = 156

BRACES REQUIRED (ROOF AREA/50): 04

PAIR ROOF PLANE BRACES: 04

TOTAL NUMBER OF BRACES ACHIEVED: 04

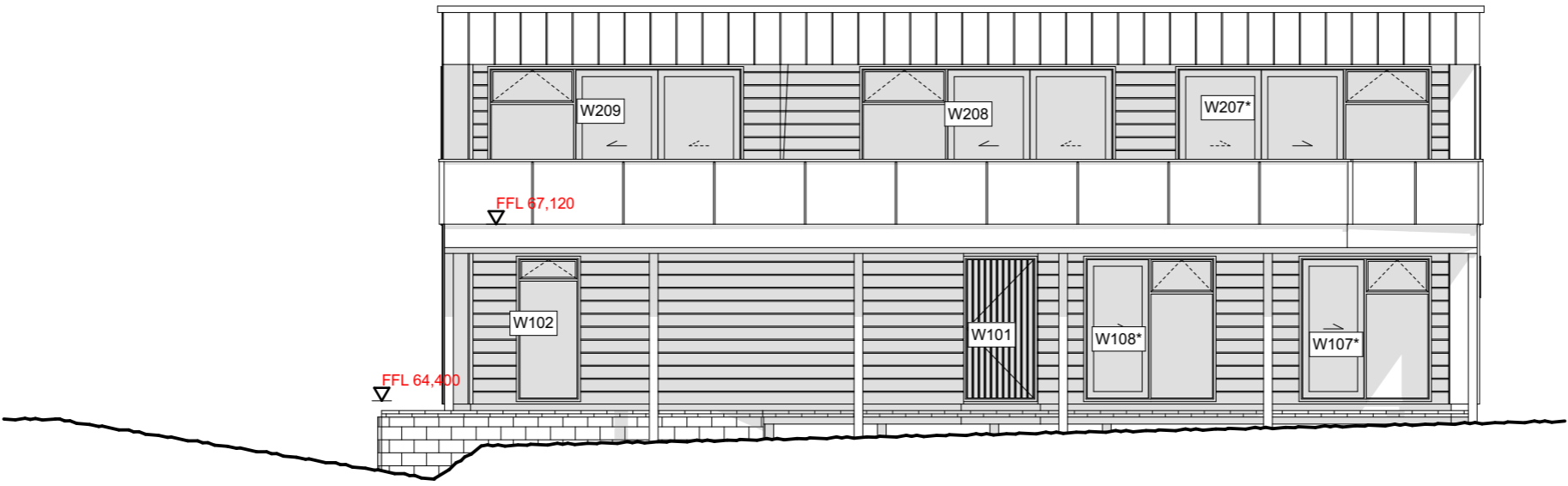


TRUSS DESIGNER NOTES:

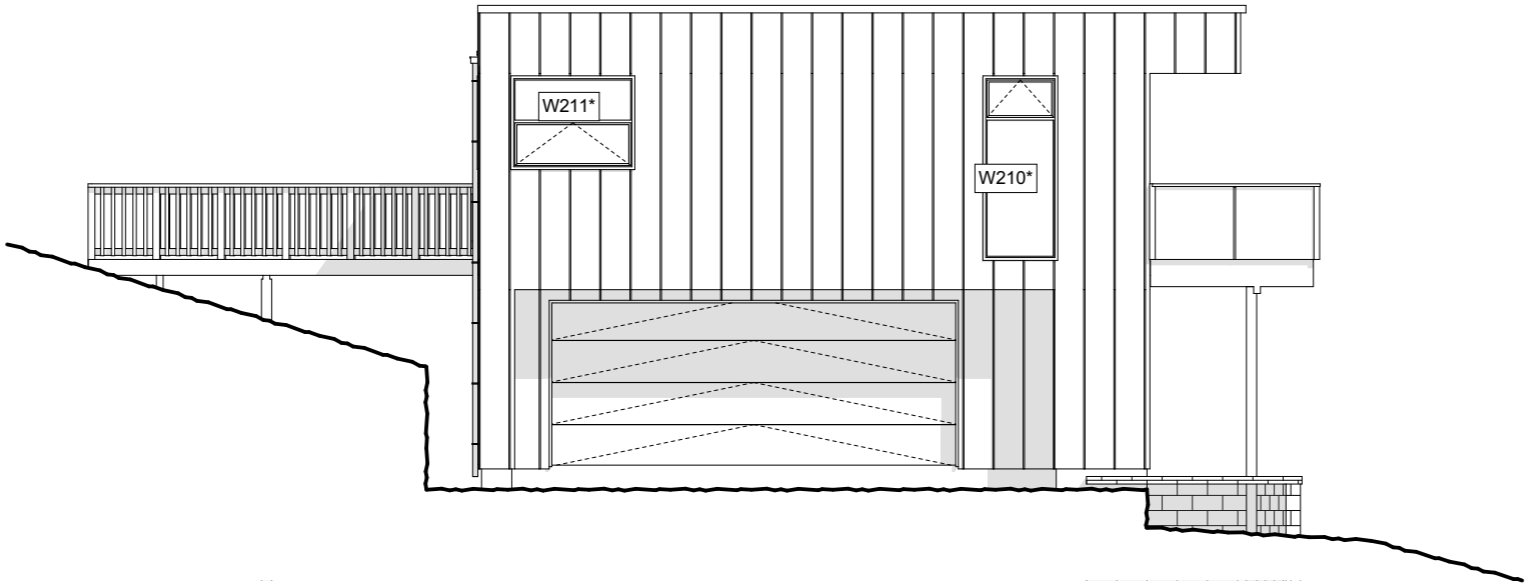
- AVOID GIRDER TRUSSES LOADING ONTO LARGE LINTELS / BEAMS
- PROVIDE LINTEL SIZES FOR ANY GIRDER TRUSSES OVER OPENINGS AND UPLIFT KN REQUIREMENTS.
- AVOID LOADING ON INTERNAL WALLS
- PROVIDE ELEVATIONS AND MEMBER SIZES / DIMENSIONS FOR TRUSSES

Roof Framing Plan

1:100



North Elevation



East Elevation

ELEVATION NOTES

ROOFS
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING
WASHERS OR
PROFILED WASHERS WITH EPDM SEALING
WASHER
AS PER ROOFING MANUFACTURERS
SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE
FLASHINGS, COLOUR TO MATCH ROOFING
125SQ CONTINUOUS GUTTER
80Ø COLOURED UPVC DOWNPIPES
INSTALL TO MANUFACTURERS'
RECOMMENDATIONS
LEAF SLIDERS

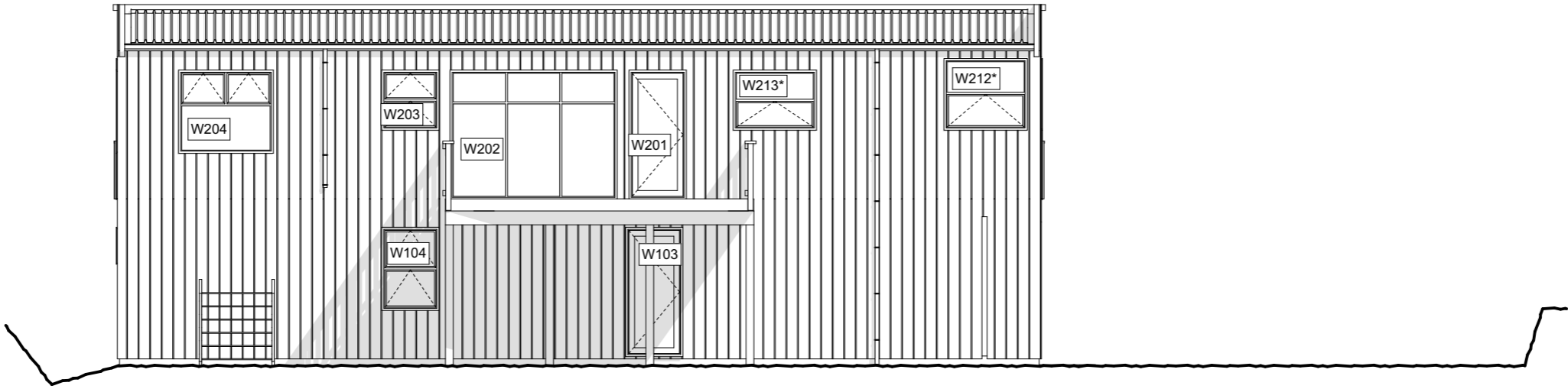
Ex 25 H3.1 FASCIA BOARD
JH 4.5mm HARDIEFLEX SOFFIT LINING,
INSTALL TO MANUFACTURERS
RECOMMENDATIONS,(PVC JOINTERS).
JH 4.5mm HARDIEFLEX SOFFIT LINING
,INSTALL TO MANUFACTURERS
RECOMMENDATIONS,(PVC JOINTERS).

WALLS
VERTICAL NU WALL CLADDING INSTALLED
AS PER MANUFACTURERS SPECIFICATIONS
ON
20mm CAVITY SYSTEM - CAVITY
TREATMENT TO COMPLY WITH B2.
SELECTED NU WALL CLADDING INSTALLED
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TREATMENT TO COMPLY WITH B2.

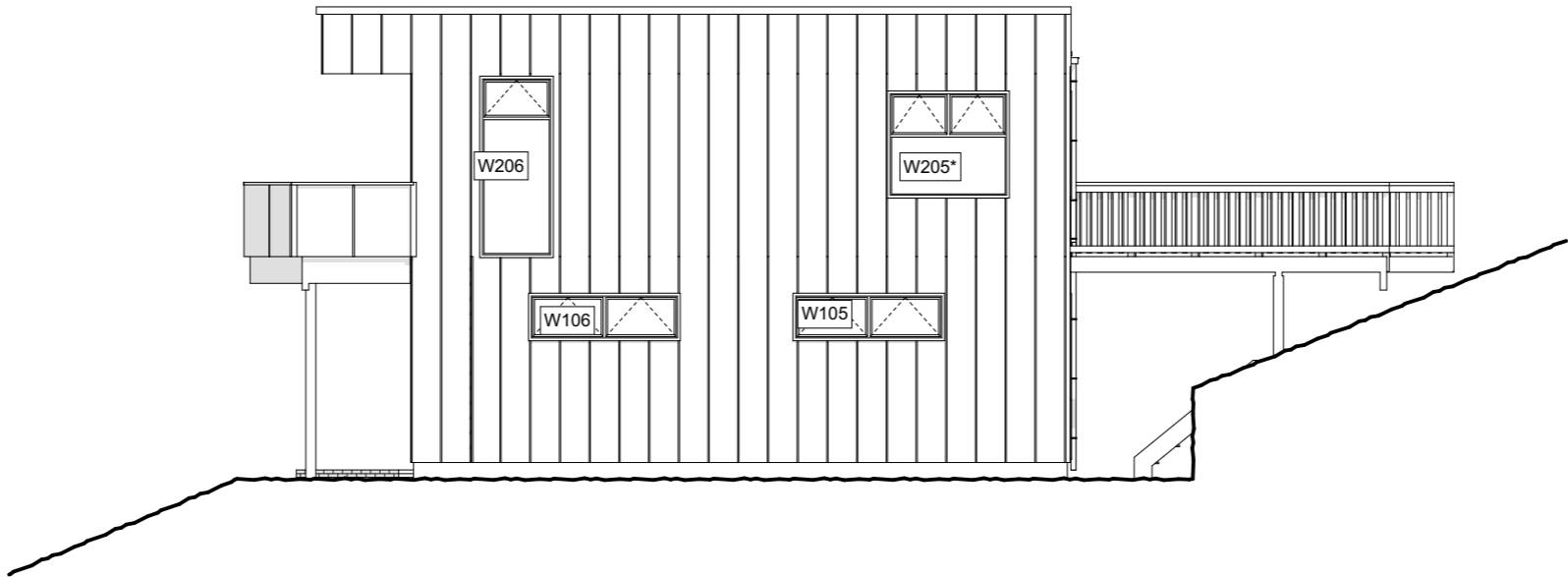
GLAZING / JOINERY
DOUBLE GLAZED POWDER COATED
ALUMINIUM JOINERY.
2,215 WINDOW HEAD HEIGHT
2,415 WINDOW HEAD HEIGHT

TIMBER BALUSTRADE.
GLASS BALUSTRADE.
FRAMED
TIMBER BALUSTRADE.

INSULATION
TBCTBCTBC
TBC
GARAGE INSULATED AS PER THE
DWELLING.
GARAGE DOOR TO BE INSULATED



South Elevation



West Elevation

ELEVATION NOTES

ROOFS
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING
WASHERS OR
PROFILED WASHERS WITH EPDM SEALING
WASHER
AS PER ROOFING MANUFACTURERS
SPECIFICATIONS
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INSTALL TO MANUFACTURERS'
RECOMMENDATIONS
LEAF SLIDERS

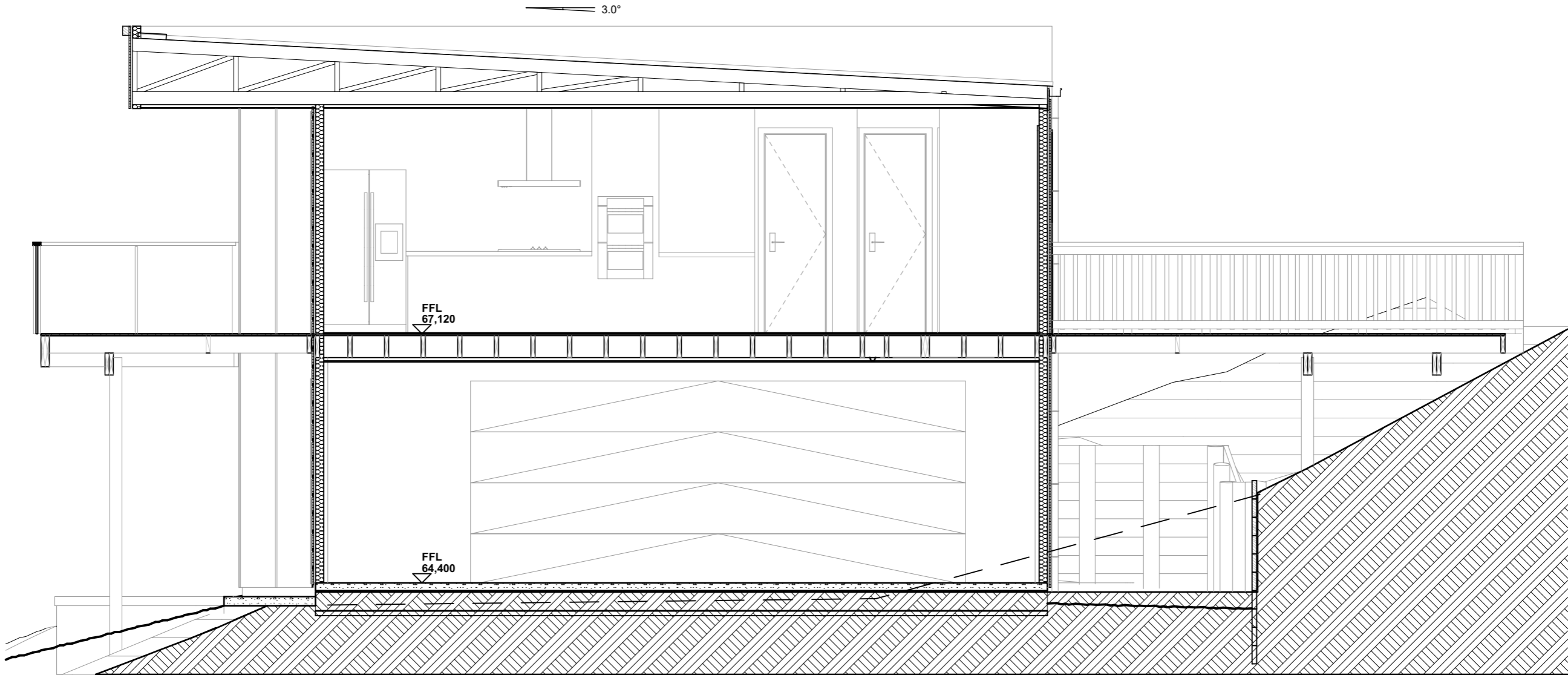
Ex 25 H3.1 FASCIA BOARD
JH 4.5mm HARDIEFLEX SOFFIT LINING,
INSTALL TO MANUFACTURERS
RECOMMENDATIONS,(PVC JOINTERS).
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GLAZING / JOINERY
DOUBLE GLAZED POWDER COATED
ALUMINIUM JOINERY.
2,215 WINDOW HEAD HEIGHT
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TIMBER BALUSTRADE.
GLASS BALUSTRADE.
FRAMED
TIMBER BALUSTRADE.

INSULATION
TBCTBCTBC
TBC
GARAGE INSULATED AS PER THE
DWELLING.
GARAGE DOOR TO BE INSULATED



B

#LayID

Section B

1:50

ROOFS

ROOFING
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING WASHERS
OR
PROFIED WASHERS WITH EPDM SEALING WASHER
AS PER ROOFING MANUFACTURERS SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE FLASHINGS, COLOUR
TO MATCH ROOFING
ROOF UNDERLAY
BAYONET BAYOWRAP FLAMESPEC 05 ROOF UNDERLAY
LAID HORIZONTALLY (OVER GALV MESH TO 3° ROOF
ONLY).
PURLINS TYPICAL
70x45 SG8 H1.2 PURLINS AT 900mm CRS.
80mm, 10g SCREW FIXING (BLUE SCREW)

GUTTER / ROOF DRAINAGE
125SQ CONTINUOUS GUTTER
DOWNPIPES
80Ø COLOURED UPVC DOWNPIPES
INSTALL TO MANUFACTURERS' RECOMMENDATIONS
LEAF SLIDERS

FASCIA

Ex 25 H3.1 FASCIA BOARD
SOFFIT LININGS TYPICAL
JH 4.5mm HARDIEFLEX SOFFIT LINING, INSTALL TO
MANUFACTURERS RECOMMENDATIONS,(PVC
JOINTERS).
SOFFIT LININGS (VERANDAH)
JH 4.5mm HARDIEFLEX SOFFIT LINING ,INSTALL TO
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JOINTERS).

WALLS

WALL CLADDINGS
VERTICAL NU WALL CLADDING INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS ON
20mm CAVITY SYSTEM - CAVITY TREATMENT TO
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SELECTED NU WALL CLADDING INSTALLED AS PER
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20mm CAVITY SYSTEM - CAVITY TREATMENT TO
COMPLY WITH B2.

BAYONET BAYOWRAP WALL UNDERLAY.
STUD HEIGHT
2.460m

BOTTOM PLATES

H1.2 BOTTOM PLATES
FLOOR SLAB
RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS
OVER 0.25mm POLYTHENE MOISTURE BARRIER (TAPE
ALL CUTS AND PENETRATIONS AND LAP 225mm AT ALL
SEAMS) OVER 100mm MIN COMPACTED GAP 40 OR
OTHER ACCEPTABLE HARDFILL.
50mm HD POLYSTYRENE.
SLAB FOUNDATIONS
BOXED FOOTINGS.
MASONRY BLOCK FOOTINGS.
DECKING
EX 100 x 40 H3.2 PREMIUM SELECTED PINE DECKING
3mm GAP, 12mm GAP BETWEEN HOUSE CLADDING,
GROOVESIDE DOWN (CLIENT TO CONFIRM)

JOINERY

DOUBLE GLAZED POWDER COATED ALUMINIUM
JOINERY.
2,215 WINDOW HEAD HEIGHT
2,415 WINDOW HEAD HEIGHT

BALUSTRADES

EXTERIOR
TIMBER BALUSTRADE.
GLASS BALUSTRADE.
FRAMED
INTERIOR
TIMBER BALUSTRADE.
FLOORING TYPICAL
20mm PLY FLOORING.
JH SECURA FLOORING TO WET AREAS.
FLOOR FINISHES
TIMBER OVERLAY
TILES-WET AREAS
CARPET

LININGS

WALL LININGS DWELLING
10mm GIB.
GIB AQUALINE TO WET AREAS.
9mm VILLABOARD TO TILED WALLS
WALL LININGS GARAGE
TRIBOARD IN GARAGE.
CEILING LININGS DWELLING
13mm GIB CEILING TO DWELLING
GIB AQUALINE TO WET AREAS
CEILING LININGS GARAGE
13mm GIB CEILING TO GARAGE.
CEILING BATTENS
RONDO CEILING BATTENS CLIP FIXED @ 600CRS
INTERIOR DOORS
2.2m TYPICAL INTERNAL DOOR HEIGHT.
TRIMS
60x10 FJ PINE, SINGLE BEVEL SKIRTING.
40x10 FJ PINE ARCHITRAVE.
SQUARE STOP (40x18 IN CUPBOARDS) SCOTIA.

TILED SHOWERS (9mm VILLABOARD)

DRIVEWAY FINISH
METAL



Arcline
Architecture

(Ph): 09 408 2233
(Email): info@arcline.co.nz
(Web): www.arcline.co.nz

Section A-A

PATON

LOT 4 TASMAN HEIGHTS, AHIPARA
FND 0481

Rev No. Revision

Date

Scale @ A3: 1:50

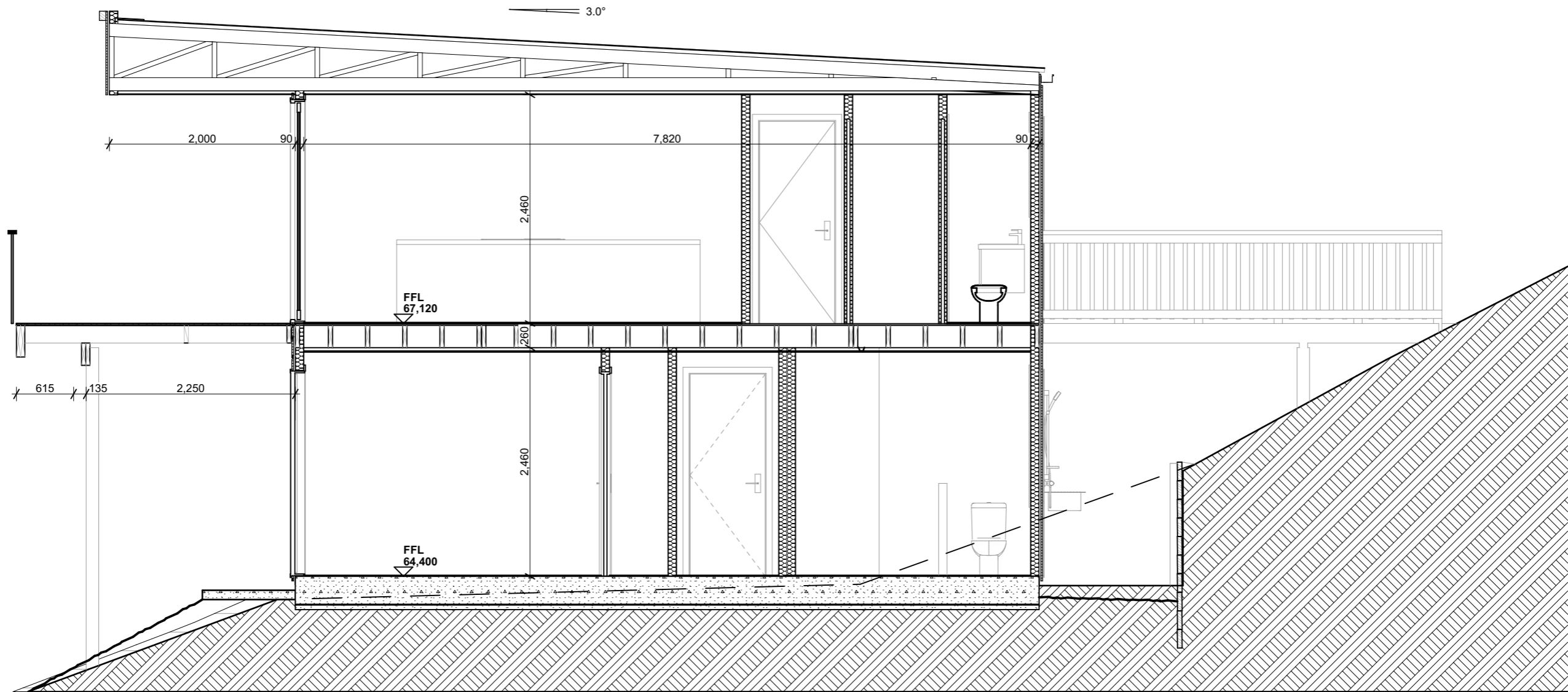
Drawn By SE

Issued: 21/01/2026
1:17 pm

Sheet No:

A2501

DETAILED DESIGN



A

#LayID

Section A

1:50

ROOFS

ROOFING
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING WASHERS
OR
PROFIED WASHERS WITH EPDM SEALING WASHER
AS PER ROOFING MANUFACTURERS SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE FLASHINGS, COLOUR
TO MATCH ROOFING
ROOF UNDERLAY
BAYONET BAYOWRAP FLAMESPEC 05 ROOF UNDERLAY
LAID HORIZONTALLY (OVER GALV MESH TO 3° ROOF
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80mm, 10g SCREW FIXING (BLUE SCREW)

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125SQ CONTINUOUS GUTTER
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80Ø COLOURED UPVC DOWNPIPES
INSTALL TO MANUFACTURERS' RECOMMENDATIONS
LEAF SLIDERS

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SOFFIT LININGS (VERANDAH)
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MANUFACTURERS SPECIFICATIONS ON
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SELECTED NU WALL CLADDING INSTALLED AS PER
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BAYONET BAYOWRAP WALL UNDERLAY.
STUD HEIGHT
2.460m

BOTTOM PLATES

H1.2 BOTTOM PLATES
FLOOR SLAB
RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS
OVER 0.25mm POLYTHENE MOISTURE BARRIER (TAPE
ALL CUTS AND PENETRATIONS AND LAP 225mm AT ALL
SEAMS) OVER 100mm MIN COMPACTED GAP 40 OR
OTHER ACCEPTABLE HARDFILL.
50mm HD POLYSTYRENE.
SLAB FOUNDATIONS
BOXED FOOTINGS.
MASONRY BLOCK FOOTINGS.
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EX 100 x 40 H3.2 PREMIUM SELECTED PINE DECKING
3mm GAP, 12mm GAP BETWEEN HOUSE CLADDING,
GROOVESIDE DOWN (CLIENT TO CONFIRM)

JOINERY

DOUBLE GLAZED POWDER COATED ALUMINIUM
JOINERY.
2,215 WINDOW HEAD HEIGHT
2,415 WINDOW HEAD HEIGHT

BALUSTRADES

EXTERIOR
TIMBER BALUSTRADE.
GLASS BALUSTRADE.
FRAMED
INTERIOR
TIMBER BALUSTRADE.
FLOORING TYPICAL
20mm PLY FLOORING.
JH SECURA FLOORING TO WET AREAS.
FLOOR FINISHES
TIMBER OVERLAY
TILES-WET AREAS
CARPET

LININGS

WALL LININGS DWELLING
10mm GIB.
GIB AQUALINE TO WET AREAS.
9mm VILLABOARD TO TILED WALLS
WALL LININGS GARAGE
TRIBOARD IN GARAGE.
CEILING LININGS DWELLING
13mm GIB CEILING TO DWELLING
GIB AQUALINE TO WET AREAS
CEILING LININGS GARAGE
13mm GIB CEILING TO GARAGE.
CEILING BATTENS
RONDO CEILING BATTENS CLIP FIXED @ 600CRS
INTERIOR DOORS
2.2m TYPICAL INTERNAL DOOR HEIGHT.
TRIMS
60x10 FJ PINE, SINGLE BEVEL SKIRTING.
40x10 FJ PINE ARCHITRAVE.
SQUARE STOP (40x18 IN CUPBOARDS) SCOTIA.

TILED SHOWERS (9mm VILLABOARD)

DRIVEWAY FINISH
METAL



Arcline
Architecture

(Ph): 09 408 2233
(Email): info@arcline.co.nz
(Web): www.arcline.co.nz

Section B-B

PATON

LOT 4 TASMAN HEIGHTS, AHIPARA
FNDC 0481

Rev No. Revision

Date

Scale @ A3: 1:50

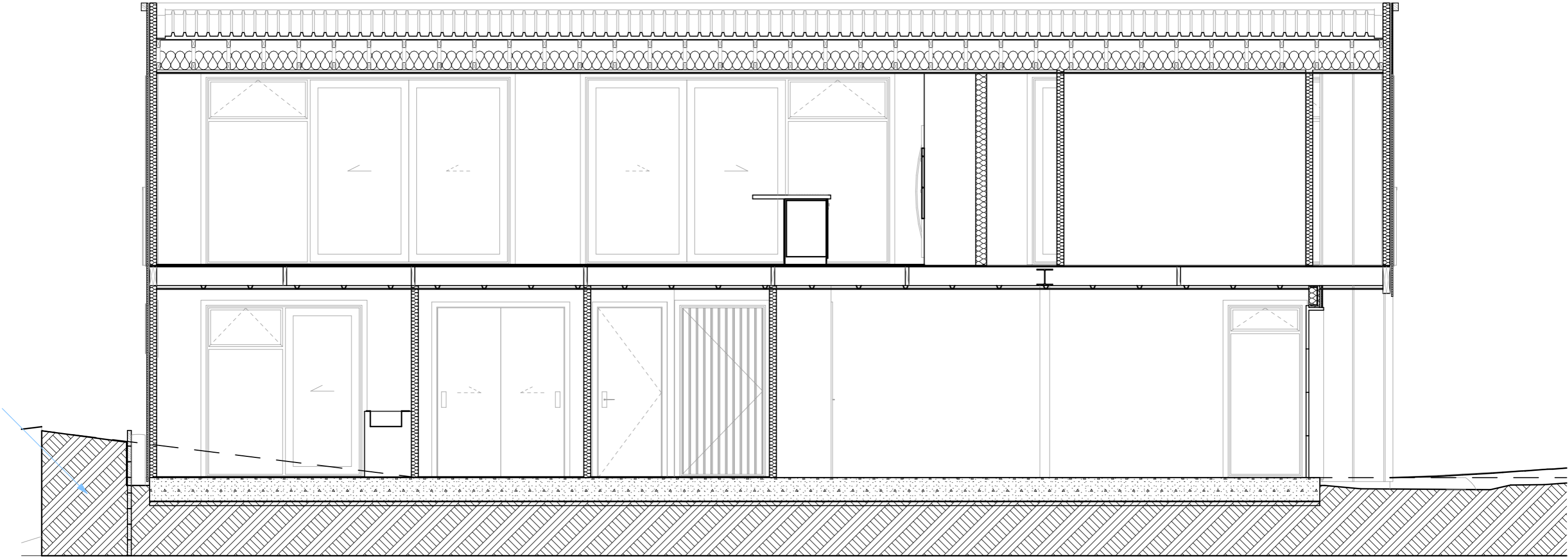
Drawn By SE

Issued: 21/01/2026
1:17 pm

Sheet No:

A2502

DETAILED DESIGN



M

#LayID

Section M

1:50

ROOFS
ROOFING
COLORSTEEL MAXAM
0.40G TRIMLINE.
SCREW FIXED WITH
LOW CARBON NON CONDUCTING SEALING WASHERS
OR
PROFIED WASHERS WITH EPDM SEALING WASHER
AS PER ROOFING MANUFACTURERS SPECIFICATIONS
0.55 COLORSTEEL MAXAM EDGE FLASHINGS, COLOUR
TO MATCH ROOFING
ROOF UNDERLAY
BAYONET BAYOWRAP FLAMESPEC 05 ROOF UNDERLAY
LAID HORIZONTALLY (OVER GALV MESH TO 3° ROOF
ONLY).
PURLINS TYPICAL
70x45 SG8 H1.2 PURLINS AT 900mm CRS.
80mm, 10g SCREW FIXING (BLUE SCREW)

GUTTER / ROOF DRAINAGE
125SQ CONTINUOUS GUTTER
DOWNPIPES
80Ø COLOURED UPVC DOWNPIPES
INSTALL TO MANUFACTURERS' RECOMMENDATIONS
LEAF SLIDERS

FASCIA
Ex 25 H3.1 FASCIA BOARD
SOFFIT LININGS TYPICAL
JH 4.5mm HARDIEFLEX SOFFIT LINING, INSTALL TO
MANUFACTURERS RECOMMENDATIONS,(PVC
JOINTERS).
SOFFIT LININGS (VERANDAH)
JH 4.5mm HARDIEFLEX SOFFIT LINING ,INSTALL TO
MANUFACTURERS RECOMMENDATIONS,(PVC
JOINTERS).

WALLS
WALL CLADDINGS
VERTICAL NU WALL CLADDING INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS ON
20mm CAVITY SYSTEM - CAVITY TREATMENT TO
COMPLY WITH B2.
SELECTED NU WALL CLADDING INSTALLED AS PER
MANUFACTURERS SPECIFICATIONS ON
20mm CAVITY SYSTEM - CAVITY TREATMENT TO
COMPLY WITH B2.

BAYONET BAYOWRAP WALL UNDERLAY.
STUD HEIGHT
2.460m

BOTTOM PLATES
H1.2 BOTTOM PLATES
FLOOR SLAB
RAFT SLAB AS PER ENGINEERS DESIGN AND DETAILS
OVER 0.25mm POLYTHENE MOISTURE BARRIER (TAPE
ALL CUTS AND PENETRATIONS AND LAP 225mm AT ALL
SEAMS) OVER 100mm MIN COMPACTED GAP 40 OR
OTHER ACCEPTABLE HARDFILL.
50mm HD POLYSTYRENE.
SLAB FOUNDATIONS
BOXED FOOTINGS.
MASONRY BLOCK FOOTINGS.
DECKING
EX 100 x 40 H3.2 PREMIUM SELECTED PINE DECKING
3mm GAP, 12mm GAP BETWEEN HOUSE CLADDING,
GROOVESIDE DOWN (CLIENT TO CONFIRM)

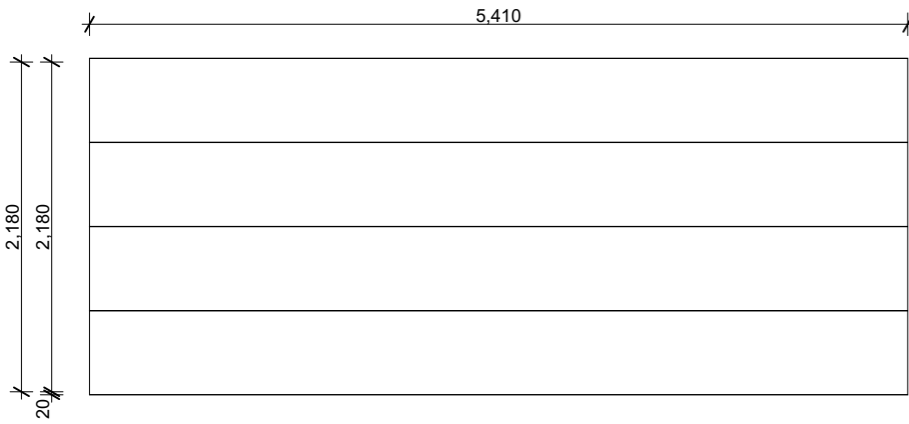
JOINERY
DOUBLE GLAZED POWDER COATED ALUMINIUM
JOINERY.
2,215 WINDOW HEAD HEIGHT
2,415 WINDOW HEAD HEIGHT

BALUSTRADES
EXTERIOR
TIMBER BALUSTRADE.
GLASS BALUSTRADE.
FRAMED
INTERIOR
TIMBER BALUSTRADE.
FLOORING TYPICAL
20mm PLY FLOORING.
JH SECURA FLOORING TO WET AREAS.
FLOOR FINISHES
TIMBER OVERLAY
TILES-WET AREAS
CARPET

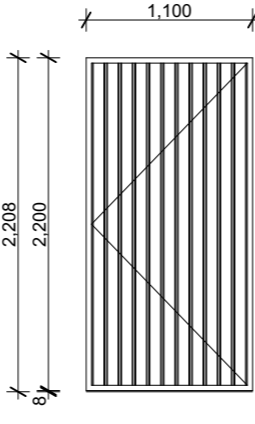
LININGS
WALL LININGS DWELLING
10mm GIB.
GIB AQUALINE TO WET AREAS.
9mm VILLABOARD TO TILED WALLS
WALL LININGS GARAGE
TRIBOARD IN GARAGE.
CEILING LININGS DWELLING
13mm GIB CEILING TO DWELLING
GIB AQUALINE TO WET AREAS
CEILING LININGS GARAGE
13mm GIB CEILING TO GARAGE.
CEILING BATTENS
RONDO CEILING BATTENS CLIP FIXED @ 600CRS
INTERIOR DOORS
2.2m TYPICAL INTERNAL DOOR HEIGHT.
TRIMS
60x10 FJ PINE, SINGLE BEVEL SKIRTING.
40x10 FJ PINE ARCHITRAVE.
SQUARE STOP (40x18 IN CUPBOARDS) SCOTIA.

TILED SHOWERS (9mm VILLABOARD)

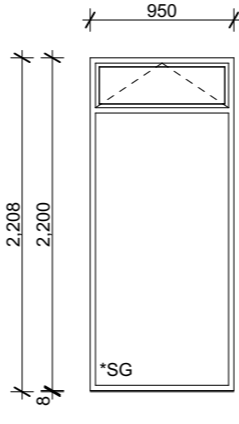
DRIVEWAY FINISH
METAL



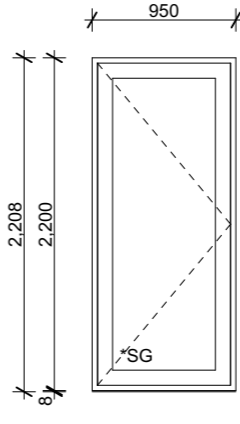
GD01
GARAGE DOOR



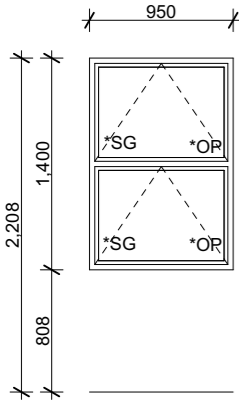
W101
ENTRY
LEAF SIZE 950mm



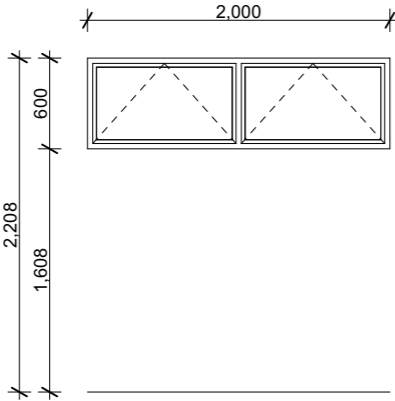
W102
GARAGE



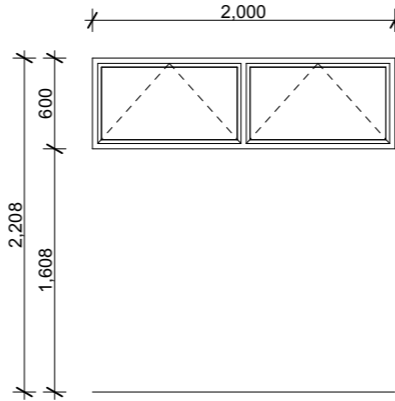
W103
GARAGE



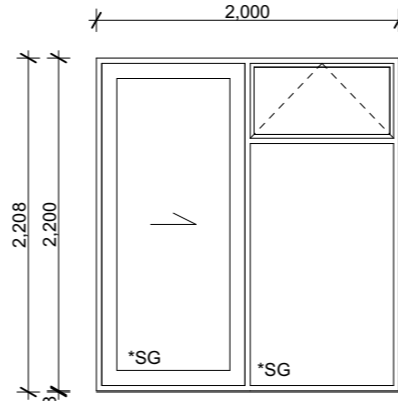
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WC



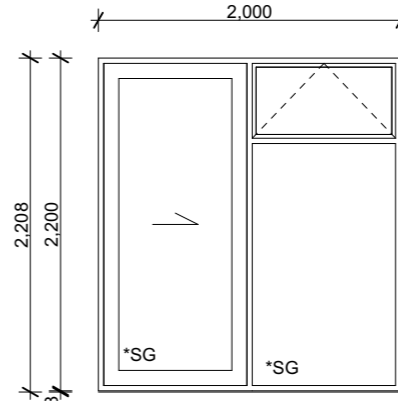
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STUDIO



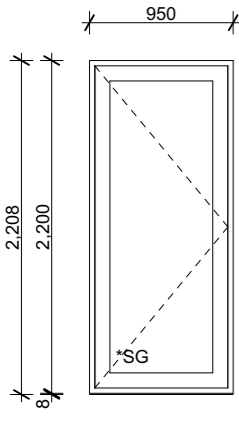
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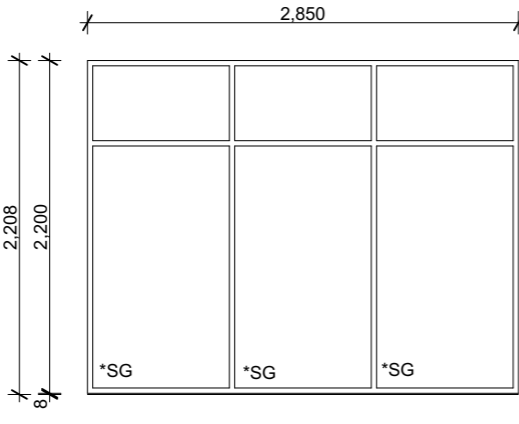
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STUDIO



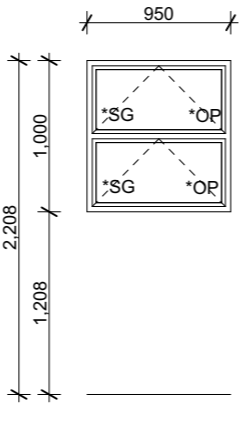
W108
BED 3



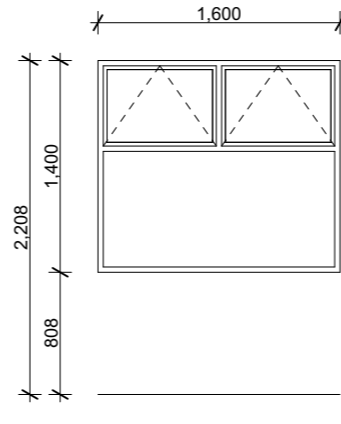
W201
DECK



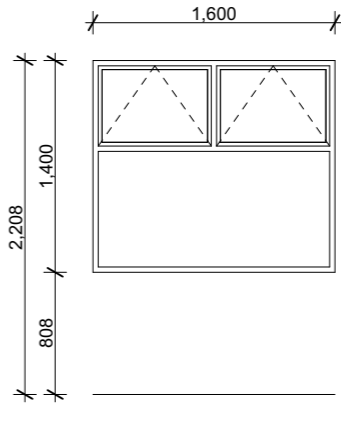
W202
STAIRS



W203
WC UPPER



W204
BED 2



W205
BED 2

JOINERY SCHEDULE NOTES:

-ALL DIMENSIONS ARE TO BE MEASURED AND CHECKED ON SITE BY JOINERY MANUFACTURER PRIOR TO COMMENCING MANUFACTURE.

GENERAL NOTES

- FLOOR PLANS AND ELEVATIONS TAKE PRECEDENCE OVER WINDOW SCHEDULE.
- ALL UNITS VIEWED FROM THE OUTSIDE

FRAME

- 2,215 WINDOW HEAD HEIGHT
- 2,415 WINDOW HEAD HEIGHT
- DOUBLE GLAZED POWDER COATED ALUMINIUM JOINERY.

HARDWARE

- ALL HINGED DOORS TO HAVE SCP GRIPSET AND GUARDSMAN HOLDBACK STOPS
- RESTRICTOR STAYS AND DOUBLE SNIBS ON ALL OPENING WINDOWS ON SECOND STOREY LEVEL PLUS ALL OPENINGS <1.0m HIGH TO FFL AND FALL >1.0m TO EXTERNAL GROUND LEVEL.
- DOOR LOCKING MECHANISMS SHALL NOT IMPEDE OR PREVENT OCCUPANTS FROM MOVING TO A SAFE PLACE IN THE EVENT OF FIRE.
- LOCKS WITH A KEY ON ONE SIDE, WHILE THE OTHER SIDE FEATURES A KNOB OR TURNING MECHANISM OF SOME SORT, ARE PERMITTED.
- KEY OPERATION IN THE DIRECTION OF THE ESCAPE IS NOT PERMITTED

GLAZING

- *GLAZING MIN. U1.1 LOW-E DOUBLE GLAZING R0.37*
- SAFETY GLAZING - ALL SAFETY GLAZING LOCATIONS AND REQUIREMENTS AS PER NZS 4223:PART 3
- ALL BATHROOM AND / OR TOILET WINDOWS OR DOORS WHERE CLEAR GLAZING IS USED ARE TO HAVE BLINDS OR SIMILAR PRIVACY SCREEN INSTALLED

INSTALLATION

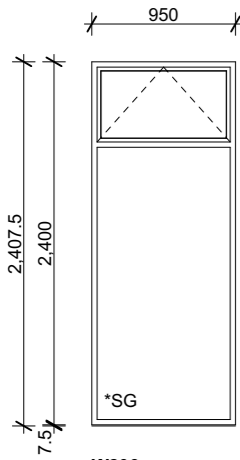
- POWDER COATED HEAD FLASHINGS TO MATCH.
- H3.1 TIMBER REVEALS TO SUIT ARCHITRAVES. INSTALL TO MANUFACTURERS RECOMMENDATIONS.
- USE THERMAKRAFT THERMAFLASH (OR EQUIVALENT) ACRYLIC FLASHING TAPE AND SEAL HEAD FLASHING TO JOINERY FLANGE
- REBATE DEPTHS - CONFIRM FLOORING AND CHECK WITH JOINERY MANUFACTURER PRIOR TO INSTALLATION
- ALL FIXINGS AND FASTENINGS TO COMPLY WITH NZS3604-2011 PART 4 'DURABILITY' AND NZBC B2
- WINDOWS INSTALLATION, IN ACCORDANCE WITH WANZ RECOMMENDED PRACTICE.
- RETURN BUILDING WRAP AND PROVE AIR SEALS AND FLASHINGS AS PER WANZ.
- SILL SUPPORT BARS TO BE PROVIDED TO ALL EXTERNAL WINDOWS & DOORS WHERE REQUIRED TO COMPLY WITH E2/AS1 AND WANZ EVALUATION METHOD EM6
- PROTECTO WRAP TO ALL WINDOWS AND DOORS

ESCAPE ROUTES

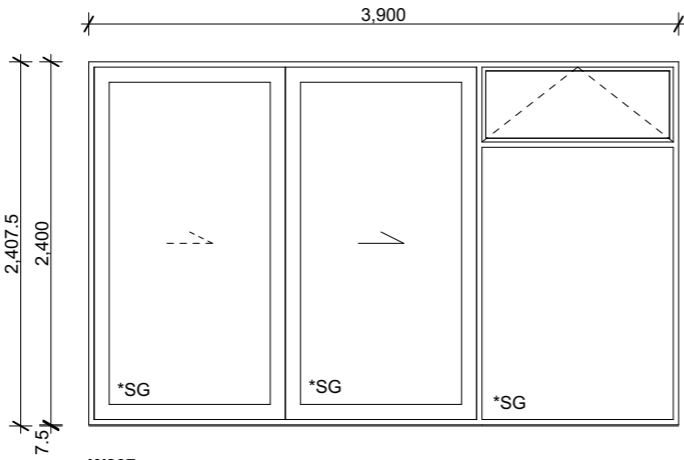
KEYED LOCK MECHANISMS NOT PERMITTED ON DOORS IN THE DIRECTION OF ESCAPE ON ESCAPE PATHS AND FINAL EXITS AS PER C1-C6 PART 2.

LEGEND

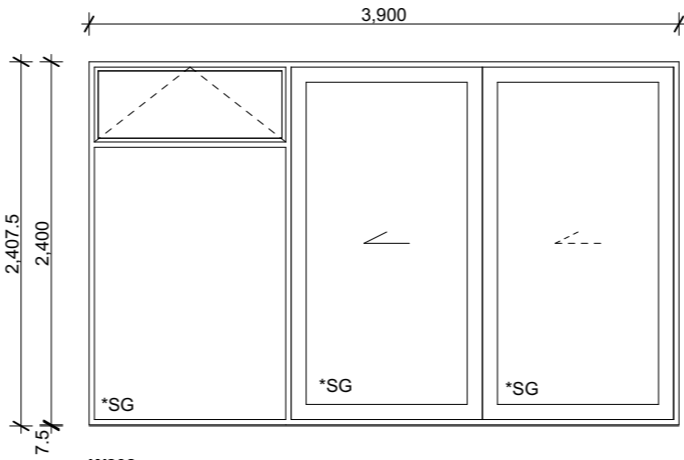
- *OP = OPALESCENT - CONFIRM WITH OWNER
- *SG = SAFETY GLAZING IN ACCORDANCE WITH NZS 4223.3



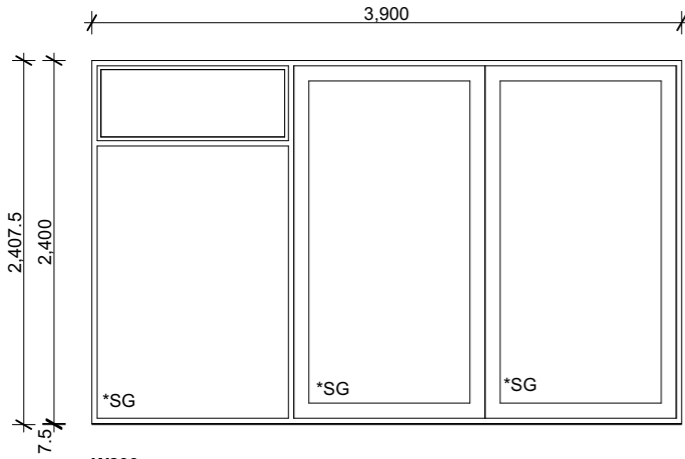
W206
LIVING



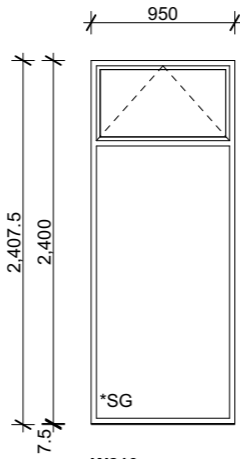
W207
LIVING



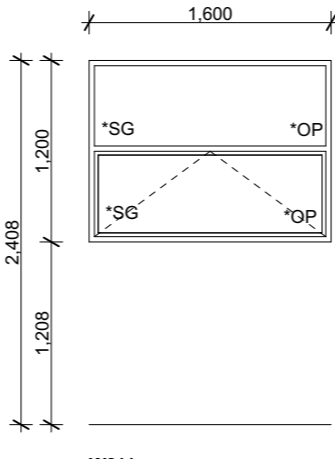
W208
KITCHEN



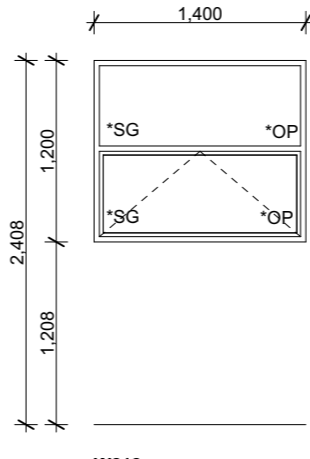
W209
MASTER



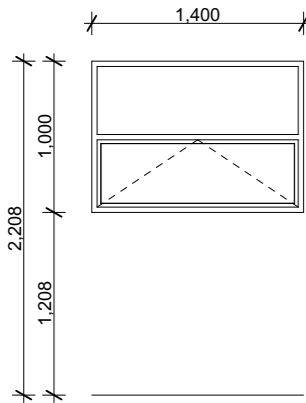
W210
MASTER



W211
ENS



W212
ENS



W213
NOOK

JOINERY SCHEDULE NOTES:

- ALL DIMENSIONS ARE TO BE MEASURED AND CHECKED ON SITE BY JOINERY MANUFACTURER PRIOR TO COMMENCING MANUFACTURE.

GENERAL NOTES

- FLOOR PLANS AND ELEVATIONS TAKE PRECEDENCE OVER WINDOW SCHEDULE.
- ALL UNITS VIEWED FROM THE OUTSIDE

FRAME

- 2,215 WINDOW HEAD HEIGHT
- 2,415 WINDOW HEAD HEIGHT
- DOUBLE GLAZED POWDER COATED ALUMINIUM JOINERY.

HARDWARE

- ALL HINGED DOORS TO HAVE SCP GRIPSET AND GUARDSMAN HOLDBACK STOPS
- RESTRICTOR STAYS AND DOUBLE SNIBS ON ALL OPENING WINDOWS ON SECOND STOREY LEVEL PLUS ALL OPENINGS <1.0m HIGH TO FFL AND FALL >1.0m TO EXTERNAL GROUND LEVEL.
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- LOCKS WITH A KEY ON ONE SIDE, WHILE THE OTHER SIDE FEATURES A KNOB OR TURNING MECHANISM OF SOME SORT, ARE PERMITTED.
- KEY OPERATION IN THE DIRECTION OF THE ESCAPE IS NOT PERMITTED

GLAZING

- *GLAZING MIN. U1.1 LOW-E DOUBLE GLAZING R0.37*
- SAFETY GLAZING - ALL SAFETY GLAZING LOCATIONS AND REQUIREMENTS AS PER NZS 4223:PART 3
- ALL BATHROOM AND / OR TOILET WINDOWS OR DOORS WHERE CLEAR GLAZING IS USED ARE TO HAVE BLINDS OR SIMILAR PRIVACY SCREEN INSTALLED

INSTALLATION

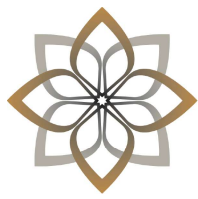
- POWDER COATED HEAD FLASHINGS TO MATCH.
- H3.1 TIMBER REVEALS TO SUIT ARCHITRAVES. INSTALL TO MANUFACTURERS RECOMMENDATIONS.
- USE THERMAKRAFT THERMAFLASH (OR EQUIVALENT) ACRYLIC FLASHING TAPE AND SEAL HEAD FLASHING TO JOINERY FLANGE
- REBATE DEPTHS - CONFIRM FLOORING AND CHECK WITH JOINERY MANUFACTURER PRIOR TO INSTALLATION
- ALL FIXINGS AND FASTENINGS TO COMPLY WITH NZS3604-2011 PART 4 'DURABILITY' AND NZBC B2
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- PROTECTO WRAP TO ALL WINDOWS AND DOORS

ESCAPE ROUTES

KEYED LOCK MECHANISMS NOT PERMITTED ON DOORS IN THE DIRECTION OF ESCAPE ON ESCAPE PATHS AND FINAL EXITS AS PER C1-C6 PART 2.

LEGEND

- *OP = OPALESCENT - CONFIRM WITH OWNER
- *SG = SAFETY GLAZING IN ACCORDANCE WITH NZS 4223.3



20th December 2025

Sheryl Hansford
Northland Planning & Development
Kaitia

Dear Sheryl

Re: Visual Amenity Assessment - Proposed Paton Dwelling - Lot 4 Tasman Heights, Ahipara

Introduction

Hawthorn Landscape Architects Ltd has been engaged to prepare a visual amenity report and landscape plan for a proposed dwelling on Lot 4 Tasman Heights, Ahipara. I have reviewed the plans prepared by Arcline Architecture.

The applicant's property (Lot 4 DP 374702) is located within the Residential Zone within the Operative Far North District Plan (FNDP). The southern half of the site has an Outstanding Landscape Feature - Ahipara (OLF) overlay.

Within the Proposed Far North District Plan (PDP) the property is located within the General Residential zone, with a coastal environment overlay. Under the PDP the site has no Outstanding Natural Landscape, Outstanding Natural Feature, or High or Outstanding Natural Character overlays.

Within the Regional Policy Statement for Northland (RPS) the property is located within the Coastal Environment. There are no Outstanding Natural Features, Outstanding Natural Landscapes, and no High or Outstanding Natural Character overlays on the property.

This visual amenity assessment has been prepared by a qualified Landscape Architect and in accordance with the NZILA (New Zealand Institute of Landscape Architects) Code of Conduct.

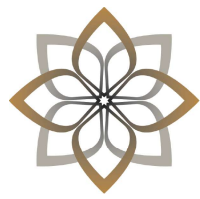
Landscape Plan

To assist with minimising the potential adverse effects upon the Outstanding Landscape Feature, coastal natural character and visual amenity values landscape integration plantings are proposed around the building site. This will also minimise any potential adverse effects upon adjoining landowners.

The layout of the proposed landscape planting and species composition has been detailed on the attached Landscape Plan.

The key elements of the proposed landscape planting shown on the Landscape Plan are:

- Plantings to screen the water tanks,
- Planting to screen the retaining wall,
- Amenity plantings around the house to enhance visual amenity values and blend the dwelling into the landscape,



- Trees and tree ferns to break up the northern facade, as viewed for the CMA,
- A hedge along the northern side of the driveway to screen the driveway from neighbouring properties and the CMA.

Statutory Context

In this section I will address the statutory planning documents that contain objectives, policies and assessment criteria that have relevance to this application.

Far North District Plan (FNDP)

Within the Far North District Plan (FNDP) the application site is located within the Residential Zone.

The southern half of the lot is covered by an Outstanding Landscape Feature – Ahipara, as shown in **Figure 1**.



Figure1: FNDP Resource Map showing OLF

The OLF is classified as "Ahipara" and described as "Escarpment cone area overlooking Ahipara". This OLF has not been mapped on the site within the RPS.

12.1.6.3.2 DEVELOPMENT WITHIN AN OUTSTANDING LANDSCAPE FEATURE

Any new building, relocated building, extension or alteration to an existing building, excavating, filling, planting of trees or clearance of vegetation on an Outstanding

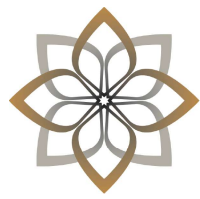


Landscape Feature, as listed in Appendix 1B and shown on the Resource Maps is a discretionary activity.

12.1.7 ASSESSMENT CRITERIA

The Council shall also apply the relevant assessment matters set out below, and will also have regard to the Far North District Landscape Assessment report which was prepared for the Council in 1995 and which contains details of the Outstanding Landscapes, Outstanding Landscape Features and Outstanding Natural Features in the Far North District together with any site specific landscape assessment:

- (a) the rarity of the landscape, landscape features or natural features;
- (b) the visibility of outstanding landscapes, outstanding landscape features or outstanding natural features;
- (c) the aesthetic, heritage, cultural and natural values of the outstanding landscapes and natural features;
- (d) the elements which make up the distinctive character of the outstanding landscape or outstanding landscape features;
- (e) the extent of visible change to the landscape which may result from an activity;
- (f) the extent to which adverse effects may be mitigated through screening or other means;
- (g) the degree of visual intrusion in the landscape;
- (h) the siting of the activity in relation to ridgelines or natural landscape features;
- (i) the design of any building, structure, landform or any development;
- (j) the location and design of vehicle access, manoeuvring and parking spaces;
- (k) the potential for more than minor adverse effects on the outstanding natural feature as a result of the proposed activity;
- (l) the extent to which the activity will protect and/or enhance the outstanding natural feature or landscape;
- (m) the extent to which the activity may adversely affect ecological values of indigenous flora and fauna;
- (n) provisions for the permanent legal protection of the Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;
- (o) the environmental effect of the increase in residential intensity and/or the extra lots in relation to the benefits of achieving permanent legal protection of an Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature;
- (p) the extent to which an application proposes revegetation and/or enhancement of the Outstanding Landscape, Outstanding Landscape Feature, or Outstanding Natural Feature, and the measures to secure the long term sustainability of the revegetation and/or enhancement;
- (q) the characteristics of the application site, including its size, shape and topography;
- (r) the effectiveness of any proposed pest control programme;
- (s) the relationship of people and communities with outstanding landscapes, outstanding landscape features and outstanding natural features.



Comment:

The applicant's property is located right on the edge of the OLF, as shown in **Figure 1**. The property is located within the Residential Zone and it positioned close to the top of the residential settlement pattern located along the coastal flanks that overlook Ahipara Bay, and Ninety Mile Beach beyond.

As shown in **Figure 2**, the building site is near the southern extremity of the residential settlement pattern and is adjacent to the bush clad slopes of the elevated escarpment cone which is a recorded OLF. The proposed dwelling will be viewed within the existing area of residential development, it will not protrude beyond this, and it is not the most elevated dwelling on the hillside, as there are other existing dwellings located to the south of the application site.

The visual changes resulting from the of the proposed dwelling will be low (less than minor). It will be visually recessive and will integrate with the other surrounding residential dwellings. The elements which make up the distinctive character of the outstanding landscape feature will remain and not be adversely affected by the proposed development.

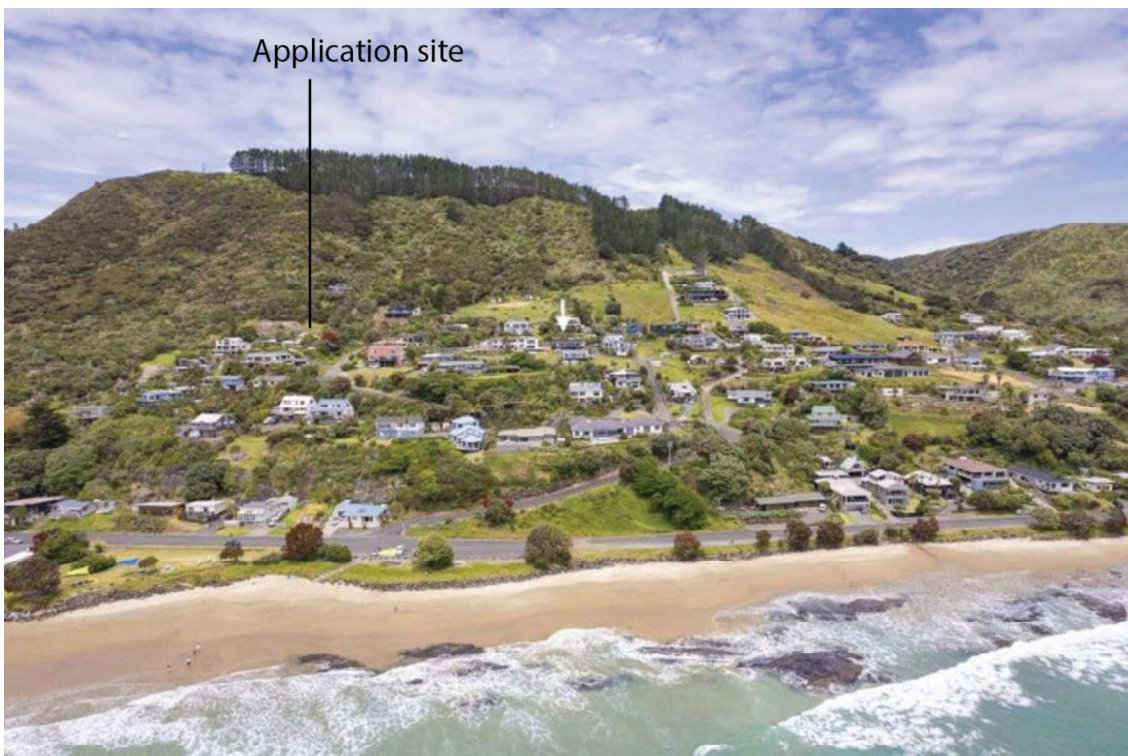


Figure 2: Drone view of Tasman Heights from the north of the site. Showing the elevated hill to the south of the area that is an OLF.

12.4.6.1.2 Fire Risk to Residential Units

(a) Residential units shall be located at least 20m away from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest;



(b) Any trees in a deliberately planted woodlot or forest shall be planted at least 20m away from any urban environment zone, Russell Township or Coastal Residential Zone boundary, excluding the replanting of plantation forests existing at July 2003.

Comment:

The proposed dwelling in areas will be located closer than 20m away from the existing bush which is contained within the area mapped as an OLF.

Ideally a 20m setback is preferable for a fire buffer zone. However, in this instance, the removal of this vegetation along the southern and western edge of the site is not recommended as it forms part of the distinctive character of the OLF.

Regional Policy Statement for Northland (RPS)

In 2012, the Northland Regional Mapping Project ("Mapping Project") was undertaken by the Northland Mapping Group (on behalf of the NRC). The purpose of the Mapping Project was to determine the delineation of the Coastal Environment, and the natural heritage areas within the region comprising Outstanding Natural Landscapes ("ONL"), Outstanding Natural Features ("ONF") and areas of High or Outstanding Natural Character.

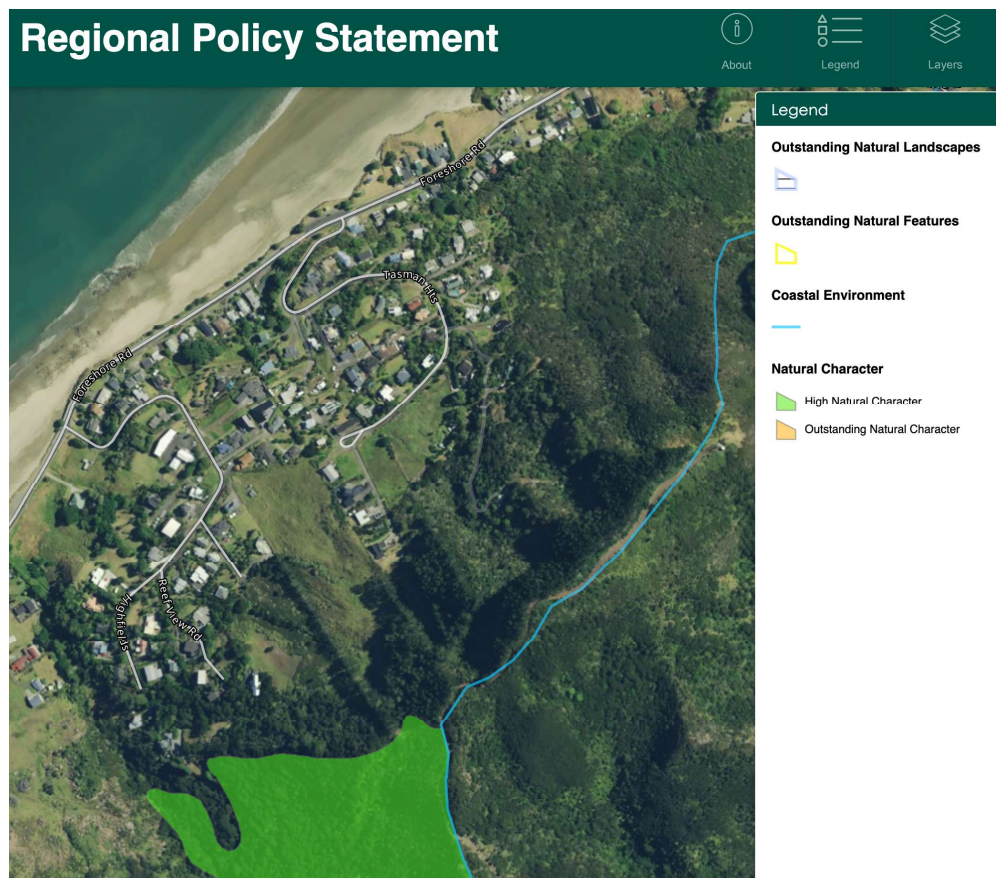
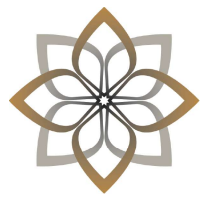


Figure 3: RPS map



These are now included within the Regional Policy Statement (operative 2016) for Northland, thereby meeting the requirements under the New Zealand Coastal Policy Statement 2010 in ("NZCPS") in the Resource Management Act 1991.

Within the RPS the site is located within the Coastal Environment as shown in **Figure 3**. There are no Outstanding Natural Features, Outstanding Natural Landscapes, and no High or Outstanding Character overlays on the property, as mapped by the RPS.

The following objective and policy within the RPS have landscape relevance.

Objective 3.14

Natural Character, outstanding natural features, outstanding natural landscapes and historic heritage

Identify and protect the integrity of;

- (a) The natural character of the coastal environment, and the natural character of freshwater bodies and their margins;*
- (b) The qualities and characteristics that make up outstanding natural features and outstanding natural landscapes;*

Policy 4.6.1

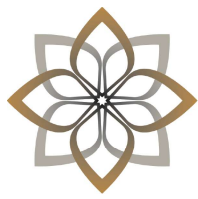
Managing effects on natural character, features/landscape and heritage.

(1) In the coastal environment:

- a) Avoid adverse effects of subdivision use, and development on the characteristics and qualities which make up the outstanding values of areas of outstanding natural character, outstanding natural features and outstanding natural landscapes.*
- b) Where (a) does not apply, avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of subdivision, use and development on natural character, natural features and natural landscapes. Methods which may achieve this include:*
 - I. Ensuring the location, intensity, scale and form of subdivision and built development is appropriate having regard to natural elements, landforms and processes, including vegetation patterns, ridgelines, headlands, peninsulas, dune systems, reefs and freshwater bodies and their margins; and*
 - II. In areas of high natural character, minimising to the extent practicable indigenous vegetation clearance and modification (including earthworks / disturbance, structures, discharges and extraction of water) to natural wetlands, the beds of lakes, rivers and the coastal marine area and their margins; and*
 - III. Encouraging any new subdivision and built development to consolidate within and around existing settlements or where natural character and landscape has already been compromised.*

Comment:

The dwelling will be located on a lot that is zoned for residential use, within the Coastal Environment. It will be set into the topography of the landform with a vegetated backdrop and foreground. The proposed cut earthworks will be hidden from view by the building and retaining wall that will be screened by vegetation.



The location, intensity, scale, and form of the proposed dwelling is sensitive to the site and wider landscape it is set within. It will not adversely affect any natural elements, landforms, or processes.

The qualities that contribute to the values of the Coastal Environment will be protected through the sensitive design of the dwelling and proposed landscape amenity plantings.

The integrity of the natural character of the Coastal Environment within which the development is located will not be adversely affected by the proposed development.

Overall, the development is in accord with the relevant landscape objectives and policies of the RPS.

New Zealand Coastal Policy Statement (NZCPS)

The NZ Coastal Policy Statement (NZCPS) has relevance to this proposal. The property is shown as being within the "coastal environment" on the Regional Policy Statement for Northland's maps. The following objectives and policies have landscape relevance.

Objective 2: To preserve the natural character of the coastal environment and protect natural features and landscape values through:

- *recognising the characteristics and qualities that contribute to natural character, natural features and landscape values and their location and distribution;*
- *identifying those areas where various forms of subdivision, use, and development would be inappropriate and protecting them from such activities; and*
- *encouraging restoration of the coastal environment.*

Policy 6 Activities in the coastal environment

(1) In relation to the coastal environment:

- (f) consider where development that maintains the character of the existing built development should be encouraged, and where development resulting in a change in character would be acceptable;*
- (i) set back development from the coastal marine area and other water bodies, where practicable and reasonable, to protect the natural character, open space, public access and amenity values of the coastal environment;*

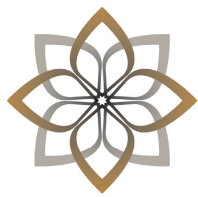
Policy 13 Preservation of natural character

(1) To preserve the natural character of the coastal environment and to protect it from inappropriate subdivision, use, and development:

- (a) avoid adverse effects of activities on natural character in areas of the coastal environment with outstanding natural character; and*
- (b) avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of activities on natural character in all other areas of the coastal environment;*

(2) Recognise that natural character is not the same as natural features and landscapes or amenity values and may include matters such as:

- (a) natural elements, processes and patterns;*
- (g) a range of natural character from pristine to modified*



HAWTHORN

Landscape Architects

Policy 15 Natural Features and natural landscapes

To protect the natural features and natural landscapes (including Seascapes) of the coastal environment from inappropriate subdivision, use and development:

(a) avoid adverse effects of activities on outstanding natural features and outstanding natural landscapes in the coastal environment;

Comment:

The application site has been recorded within the FNDP as being partially covered by an OLF. There are no landscape or natural character overlays identified on the site as mapped by the RPS.

The proposed development is appropriate for the site and is in context with the character of the existing built settlement pattern found along the coastline of Ahipara.

The proposed development will not degrade the existing characteristics and qualities that contribute to the natural character values of the area or the values of the OLF.

Overall, the development will result in an acceptable change to the site. Any potential adverse effects upon the natural character values of this site, coastal marine area and OLF will be avoided. The development is in accord with the relevant landscape objectives and policies of the NZCPS.

Summary

The proposal to construct the dwelling as illustrated in the Arcline Architecture plans is an appropriate use of this residential zoned site. It is also an appropriate and reasonable use within this coastal environment, on this property and within this locality.

The dwelling is an acceptable size, design, height and colour for its location on this site, within this coastal environment, and within the OLF. The proposed landscape plantings will provide a vegetative setting for the dwelling and blend it into the landscape.

With the implementation of the landscape plantings this is a development that is consistent with the relevant assessment criteria, objectives and policies found within the FNDP, NZCPS and RPS. The development is sensitive to the environment it is located within so that the potential adverse visual amenity and natural character effects are very low (less than minor).

Yours sincerely

Christine Hawthorn
BLA (Hons.)
Hawthorn Landscape Architects Ltd.

Attached:
Landscape Plan

Existing trees along southern and western boundaries



Plant Schedule			Common Name		Schedule Size
Cyme	Qty	Botanical Name			
Gmrl	27	Cyathea medullaris	Ponga (Tree fern)	PB5	
Leuc	10	Grevillea Nil 'Lambcutha'	Grevillea sp.	PB5	
Loli	10	Leucospermum species	Mixed types	PB5	
Lola	10	Lomandra 'Time Tuff'	Lomandra var.	PB5	
Meca	17	Lomandra longiloba 'Tanika'	Lomandra Grass	PB5	
Memp	17	Meibomia carminea	Crimson lilia	PB5	
Muas	16	Meibomia carminea	Panukukawa	PB 18	
Prot	7	Muellenbergia astonii	Tororaro / Bush pohutue	PB5	
Pale	4	Prolea species	Mixed types	PB5	
Robi	10	Pseudopanax lessonii	Five finger	PB5	
Thar	13	Rosa banksiana banksii	Climbing Rose	PB5	
	5	Thunbergia grandiflora	Sky flower	PB5	

Note :
Plant species may be substituted with other similar species providing they achieve the same level of visual mitigation / integration



Cyme
Cyathea medullaris



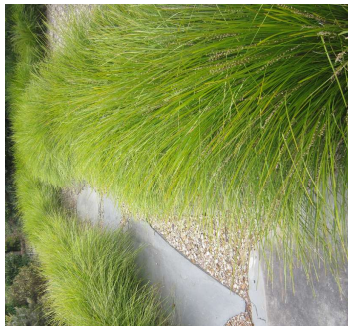
Gmrt
Grevillea 'Mt Tamboritha'



Leuc
Leucospermum species



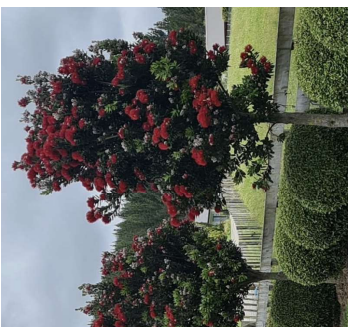
Lolf
Lomandra 'Lime Tuff'



Lofa
Lomandra longifolia 'Tanika'



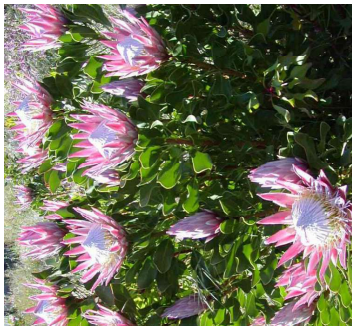
Meca
Metrosideros carminea



Memp
Metrosideros 'Maori Princess'



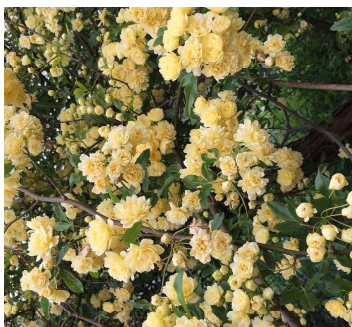
Muas
Muehlenbeckia astonii



Prot
Protea species



Psje
Pseudopanax lessonii



Robi
Rosa banksiae



Thgr
Thunbergia grandiflora



FIRE
EMERGENCY

NEW ZEALAND

Non-Reticulated Firefighting Water Supplies, Vehicular Access & Vegetation Risk Reduction Application for New and Existing Residential Dwellings and Sub-Divisions

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Section A - Firefighting Water Supplies and Vegetation Risk Reduction Waiver

“Fire and Emergency New Zealand strongly recommends the installation of automatic fire detection system devices such as smoke alarms for early warning of a fire and fire suppression systems such as sprinklers in buildings (irrespective of the water supply) to provide maximum protection to life and property”.

Waiver Explanation Intent

Fire and Emergency New Zealand [FENZ] use the New Zealand Fire Service [NZFS] Code of Practice for firefighting water supplies (SNZ PAS 5409:2008) (The Code) as a tool to establish the quantity of water required for firefighting purposes in relation to a specific hazard (Dwelling, Building) based on its fire hazard classification regardless if they are located within urban fire districts with a reticulated water supply or a non-reticulated water supply in rural areas. The code has been adopted by the Territorial Authorities and Water Supply Authorities. The code can be used by developers and property owners to assess the adequacy of the firefighting water supply for new or existing buildings.

The Area Manager under the delegated authority of the Fire Region Manager is responsible for approving applications in relation to firefighting water supplies. The Area Manager may accept a variation or reduction in the amount of water required for firefighting for example; a single level dwelling measuring 200^m² requires 45,000L of firefighter water under the code, however the Area Managers in Northland have excepted a reduction to 10,000L.

This application form is used for the assessment of proposed water supplies for firefighting in non-reticulated areas only and is referenced from (Appendix B – Alternative Firefighting Water Sources) of the code. This application also provides fire risk reduction guidance in relation to vegetation and the 20-metre dripline rule under the Territorial Authority’s District Plan. Fire and Emergency New Zealand are not a consenting authority and the final determination rests with the Territorial Authority.

For more information in relation to the code of practice for Firefighting Water supplies, Emergency Vehicle Access requirements, Home Fire Safety advice and Vegetation Risk Reduction Strategies visit www.fireandemergency.nz

Section B – Applicant Information

Applicants Information	
Name:	B Paton & B Musgrave
Address:	c/o Arcline Architecture, 49 Matthews Avenue, Kaitaia
Contact Details:	094081866
Return Email Address:	info@northplanner.co.nz

Section C – Property Details

Property Details	
Address of Property:	31 Tasman Heights Drive, Ahipara
Lot Number/s:	Lot 4 DP374702
Dwelling Size: (Area = Length & Width)	198m2
Number of levels: (Single / Multiple)	two storey

1. Fire Appliance Access to alternative firefighting water sources - Expected Parking Place & Turning circle

Fire and Emergency have specific requirements for fire appliance access to buildings and the firefighting water supply. This area is termed the hard stand. The roading gradient should not exceed 16%. The roading surface should be sealed, able to take the weight of a 14 to 20-tonne truck and trafficable at all times. The minimum roading width should not be less than 4 m and the property entrance no less 3.5 metres wide. The height clearance along access ways must exceed 4 metres with no obstructions for example; trees, hanging cables, and overhanging eaves.

1 (a) Fire Appliance Access / Right of Way	
Is there at least 4 metres clearance overhead free from obstructions?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Is the access at least 4 metres wide?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Is the surface designed to support a 20-tonne truck?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Are the gradients less than 16%	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Fire Appliance parking distance from the proposed water supply is less than 5 metres	

If access to the proposed firefighting water supply is not achievable using a fire appliance, firefighters will need to use portable fire pumps. Firefighters will require at least a one-metre wide clear path / walkway to carry equipment to the water supply, and a working area of two metres by two metres for firefighting equipment to be set up and operated.

1 (b) Restricted access to firefighting water supply, portable pumps required
Has suitable access been provided? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Comments: Click or tap here to enter text.

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

2. Firefighting Water Supplies (FFWS)

What are you proposing to use as your firefighting water supply?

2 (a) Water Supply Single Dwelling	
Tank	<input type="checkbox"/> Concrete Tank <input checked="" type="checkbox"/> Plastic Tank <input type="checkbox"/> Above Ground (Fire Service coupling is required - 100mm screw thread suction coupling) <input type="checkbox"/> Part Buried (max exposed 1.500 mm above ground) <input type="checkbox"/> Fully Buried (access through filler spout) Volume of dedicated firefighting water 10,000 litres

2 (b) Water Supply Multi-Title Subdivision Lots / Communal Supply	
Tank Farm	<input type="checkbox"/> Concrete Tank <input type="checkbox"/> Plastic Tank <input type="checkbox"/> Above Ground (Fire Service coupling is required - 100mm screw thread suction coupling) <input type="checkbox"/> Part Buried (max exposed 1.500mm above ground) <input type="checkbox"/> Fully Buried (access through filler spout) Number of tanks provided Click or tap here to enter text. Number of Tank Farms provided Click or tap here to enter text. Water volume at each Tank Farm Click or tap here to enter text. Litres Volume of dedicated firefighting water Click or tap here to enter text. litres

2 (c) Alternative Water Supply	
Pond:	Volume of water: Click or tap here to enter text.
Pool:	Volume of water: Click or tap here to enter text.
Other:	Specify: Click or tap here to enter text.
	Volume of water: Click or tap here to enter text.

Internal FENZ Risk Reduction comments only:

[Click or tap here to enter text.](#)

3. Water Supply Location

The code requires the available water supply to be at least 6 metres from a building for firefighter safety, with a maximum distance of 90 metres from any building. This is the same for a single dwelling or a Multi-Lot residential subdivision. Is the proposed water supply within these requirements?

3 (a) Water Supply Location	
Minimum Distance:	<i>Is your water supply at least 6 metres from the building?</i> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Maximum Distance	<i>Is your water supply no more than 90 metres from the building?</i> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

3 (b) Visibility
How will the water supply be readily identifiable to responding firefighters? E.g.: tank is visible to arriving firefighters or, there are signs / markers posts visible from the parking place directing them to the tank etc.
Comments: Tank is visible as you come up the driveway.

3 (c) Security
How will the FFWS be reasonably protected from tampering? E.g.: light chain and padlock or, cable tie on the valve etc.
Explain how this will be achieved: Tank is within private property and not accessible unless you come up the driveway. It is not considered necessary to have padlocks etc.

<i>Internal FENZ Risk Reduction comments only:</i> Click or tap here to enter text.
--

4. Adequacy of Supply

The volume of storage that is reserved for firefighting purposes must not be used for normal operational requirements. Additional storage must be provided to balance diurnal peak demand, seasonal peak demand and normal system failures, for instance power outages. The intent is that there should always be sufficient volumes of water available for firefighting, except during Civil Défense emergencies or by prior arrangement with the Fire Region Manager.

4 (a) Adequacy of Water supply

Note: *The owner must maintain the firefighting water supply all year round. How will the usable capacity proposed be reliably maintained? E.g. automatically keep the tank topped up, drip feed, rain water, ballcock system, or manual refilling after use etc.*

Comments:

Tank will be kept topped up. There are 3x tanks onsite to provide for potable and firefighting supply.

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

5. Alternative Method using Appendix's H & J

If Table 1 + 2 from the Code of Practice is not being used for the calculation of the Firefighting Water Supply, a competent person using appendix H and J from the Code of Practice can propose an alternative method to determine firefighting water supply adequacy.

Appendix H describes a method for determining the maximum fire size in a structure. Appendix J describes a method for assessing the adequacy of the firefighting water supply to the premises.

5 (a) Alternative Method Appendix H & J

If an alternative method of determining the FFWS has been proposed, who proposed it?

Name: Click or tap here to enter text.

Contact Details: Click or tap here to enter text.

Proposed volume of storage?	Litres: Click or tap here to enter text.
-----------------------------	--

Comments:

Click or tap here to enter text.

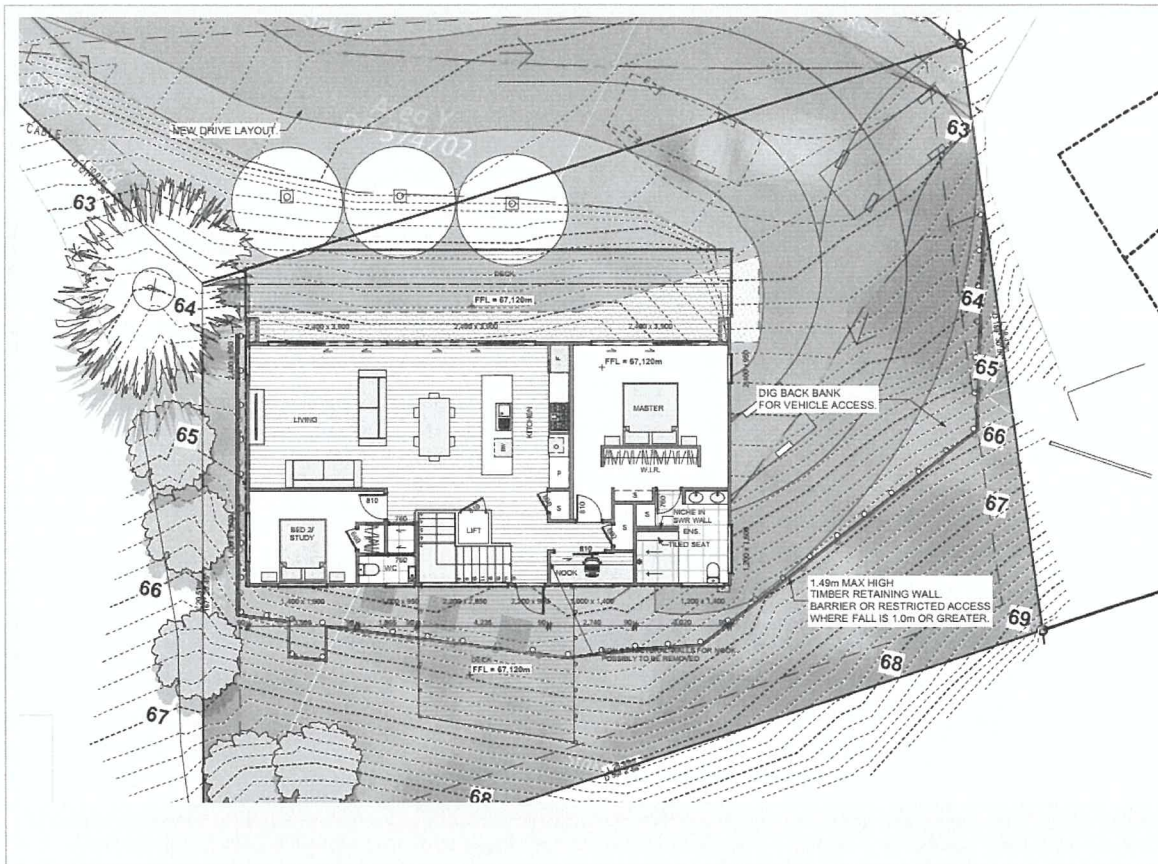
** Please provide a copy of the calculations for consideration.*

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

6. Diagram

Please provide a diagram identifying the location of the dwelling/s, the proposed firefighting water supply and the attendance point of the fire appliance to support your application.



Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

7. Vegetation Risk Reduction - Fire + Fuel = Why Homes Burn

Properties that are residential, industrial or agricultural, are on the urban–rural interface if they are next to vegetation, whether it is forest, scrubland, or in a rural setting. Properties in these areas are at greater risk of wildfire due to the increased presence of nearby vegetation.

In order to mitigate the risk of fire spread from surrounding vegetation to the proposed building and vice-versa, Fire Emergency New Zealand recommends the following;

I. Fire safe construction

Spouting and gutters – Clear regularly and consider screening with metal mesh. Embers can easily ignite dry material that collects in gutters.

Roof – Use fire resistant material such as steel or tile. Avoid butanol and rubber compounds.

Cladding – Stucco, metal sidings, brick, concrete, and fibre cement cladding are more fire resistant than wood or vinyl cladding.

II. Establish Safety Zones around your home.

Safety Zone 1 is your most import line of defence and requires the most consideration. Safety Zone 1 extends to 10 metres from your home, you should;

- a) Mow lawn and plant low-growing fire-resistant plants; and
- b) Thin and prune trees and shrubs; and
- c) Avoid tall trees close to the house; and
- d) Use gravel or decorative crushed rock instead of bark or wood chip mulch; and
- e) Remove flammable debris like twigs, pine needles and dead leaves from the roof and around and under the house and decks; and
- f) Remove dead plant material along the fence lines and keep the grass short; and
- g) Remove over hanging branches near powerlines in both Zone 1 and 2.

III. Safety Zone 2 extends from 10 – 30 metres of your home.

- a) Remove scrub and dead or dying plants and trees; and
- b) Thin excess trees; and
- c) Evenly space remaining trees so the crowns are separated by 3-6 metres; and
- d) Avoid planting clusters of highly flammable trees and shrubs
- e) Prune tree branches to a height of 2 metres from the ground.

IV. Choose Fire Resistant Plants

Fire resistant plants aren't fire proof, but they do not readily ignite. Most deciduous trees and shrubs are fire resistant. Some of these include: poplar, maple, ash, birch and willow. Install domestic sprinklers on the exterior of the sides of the building that are less 20 metres from the vegetation. Examples of highly flammable plants are: pine, cypress, cedar, fir, larch, redwood, spruce, kanuka, manuka.

For more information please go to <https://www.fireandemergency.nz/at-home/the-threat-of-rural-fire/>

If your building or dwelling is next to vegetation, whether it is forest, scrubland, or in a rural setting, please detail below what Risk Reduction measures you will take to mitigate the risk of fire development and spread involving vegetation?

7 (a) Vegetation Risk Reduction Strategy

There is existing vegetation located along the southern and western edge of the site which is proposed to remain and will be located within 20m of the proposed dwelling. This vegetation forms part of the distinctive character of the Outstanding Landscape Feature and therefore no clearance is proposed. Water supply for the site will be provided by tank supply, where three water tanks will be provided and will be easily accessible by fire service vehicles..

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

8. Applicant

Checklist	
<input checked="" type="checkbox"/>	Site plan (scale drawing) – including; where to park a fire appliance, water supply, any other relevant information.
<input checked="" type="checkbox"/>	Any other supporting documentation (diagrams, consent).

I submit this proposal for assessment.

Name: Northland Planning & Development 2020 Ltd Dated: 19/01/2026

Contact No.: 094081866

Email: info@northplanner.co.nz

Signature:

9. Approval

In reviewing the information that you have provided in relation to your application being approximately a [Click or tap here to enter text.](#) square metre, Choose an item. dwelling/sub division, and non-sprinkler protected.

The Area Manager of Fire and Emergency New Zealand under delegated authority from the Fire Region Manager, Te Hiku, has assessed the proposal in relation to firefighting water supplies and the vegetation risk strategy. The Manager Choose an item. agree with the proposed alternate method of Fire Fighting Water Supplies. Furthermore; the Manager agrees with the Vegetation Risk Reduction strategies proposed by the applicant.

Name: [Click or tap here to enter text.](#)

Fire and Emergency New Zealand
Te Tai Tokerau / Northland District

Signature: [Click or tap here to enter text.](#)

P.P on behalf of the

APPROVED
By GoffinJ at 10:43 am, Jan 21, 2026

Jason Goffin- Advisor Risk
Reduction

Alex Billot

From: Goffin, Jason <Jason.Goffin@fireandemergency.nz>
Sent: Wednesday, 21 January 2026 10:47 am
To: Alex Billot
Subject: RE: Request for comments - 31 Tasman Heights Drive, Ahipara
Attachments: 31 tasman FFWS.pdf

Good Morning,

Attached approval.

Can you confirm if the tank will have a coupling or be part buried.

I have allowed the 6m distance from the building to be waived as it appears to be quite tight with the driveway in terms of room.

Regards

Jason Goffin

Advisor Risk Reduction – Kaitohutohu Matua Whakaheke Moorea
Specialist Fire Investigator – Kaititiro Ahi Maatanga
Te Tai Tokerau
Te Hiku Region 1
9 Homestead Road Kerikeri



Mobile: 027 7066467

Email: jason.goffin@fireandemergency.nz

Fire Fact “A House Fire Can Become Fatal within 5 Minutes”

From: Alex Billot <Alex@northplanner.co.nz>
Sent: Tuesday, 20 January 2026 3:56 PM
To: Goffin, Jason <Jason.Goffin@fireandemergency.nz>
Subject: RE: Request for comments - 31 Tasman Heights Drive, Ahipara

Hi Jason,

We have just received an updated landscape plan for the above mentioned property.

You will see that the additional planting along the western boundary has been removed as well as the proposed native revegetation planting within the SE corner. There have also been some minor amendments to the layout of the landscaping. Please refer to the updated landscape plan within the OneDrive link below. I have also updated the application form to reflect this.

☐ [Paton Residence - FENZ](#)

Kind regards,



Alex Billot

Resource Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866

Northland Planning & Development 2020
Limited

*My office hours are Monday, Tuesday,
Thursday & Friday 9am – 2pm.*

From: Alex Billot

Sent: Monday, 19 January 2026 11:56 am

To: Goffin, Jason <jason.goffin@fireandemergency.nz>

Subject: Request for comments - 31 Tasman Heights Drive, Ahipara

Good morning Jason,

I hope you had an enjoyable break.

We are in the process of preparing a landuse consent application for a new dwelling at 31 Tasman Heights Drive, Ahipara (Lot 4 DP374702).

A portion of the site is identified as an Outstanding Landscape Feature and given so, it is proposed for the existing vegetation along the southern and western edges of the site to remain as recommended by the Landscape Architect. This vegetation is within 20m of the proposed dwelling and as such, resource consent is required for a breach of the permitted rules for fire risk to residential units. Additional planting has been proposed as per the attached Landscape Plan, with the proposed landscaping to be fire retardant species closest to the proposed dwelling.

3x tanks will be provided for on site as per the attached plan set, which can easily accommodate 10,000L of dedicated volume for fire fighting supply.

Please find the below OneDrive link which includes the completed form, plan set and landscape plan.

 [Paton Residence - FENZ](#)

Please let me know if you require any further information.

Thanks in advance.

Kind regards,

Alex Billot

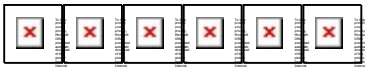
Resource Planner

Offices in Kaitaia & Kerikeri



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Northland Planning & Development 2020
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*My office hours are Monday, Tuesday,
Thursday & Friday 9am – 2pm.*



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