



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? **Yes / No**

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Discharge
- Extension of time (s.125)
- Change of conditions (s.127)
- Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? Yes / No

4. Applicant Details:

Name/s: _____

Electronic Address for Service (E-mail): _____

Phone Numbers: _____ Home: _____

Postal Address: As above

(or alternative method of service under section 352 of the Act) _____

Post Code: _____

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: Alister Hartstone

Set Consulting Ltd

Electronic Address for Service (E-mail): alister@setconsulting.co.nz

Phone Numbers: Work: 0277555607 Home: _____

Postal Address: _____

(or alternative method of service under section 352 of the Act) _____

Post Code: _____

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: As above

Property Address/
Location

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: Matai Bay Road, Karikari Peninsula

Legal Description: Karikari 2J4 Block Val Number: _____

Certificate of Title: _____
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / ~~No~~

Is there a dog on the property? Yes / No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Please contact the applicant before visiting the site

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Construct a dwelling and shed in the General Coastal Zone

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
 National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
 Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

Email:

Postal Address:

Post Code: 0230

Phone Numbers:

Work:

Home:

Fax:

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: _____ (please print)

Signature: _____

Signature of bill payer - mandatory

Date:

19/12/2023.

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name:  (please print)

Signature:  (signature)

Date: 19 / 12 / 2023

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

Resource Consent Application for
A and C Baxter
Matai Bay Road, Karikari



Resource Consent application for A and C Baxter, Matai Bay Road, Karikari

Application Details

Applicant: Alistair and Cheryl Baxter

Location: Matai Bay Road, Karikari

Legal Description: Karikari 2J4 (RoT NAT77D/79)

Application Summary: To construct a new 294m² dwelling with 182m² decking and ancillary shed to be constructed within the General Coastal Zone, requiring consent under Rule 10.6.5.2.2 Visual Amenity.

Consent is required as a controlled activity.

Zoning and Resources: ODP - General Coastal Zone and part Outstanding Natural Landscape

PDP – Rural Production Zone, Coastal Environment, Part Outstanding Natural Landscape and part Outstanding Natural Character

Attachments

Attachment A **Building plans**

Attachment B **Certificate of title**

Attachment C **District Plan maps**

Address for Service

Alistair Hartstone

Set Consulting Limited

Ph 0277555607

E-mail alister@setconsulting.co.nz

1.0 The Proposal

- 1.1 The proposal consists of the construction of a new dwelling and ancillary shed located on a site accessed via Matai Bay Road, Karikari. Plans illustrating the proposed dwelling and shed are contained in Attachment A.
- 1.2 The proposed dwelling consists of a 'twin pavilion' style building with a floor area of 294m² containing three bedrooms, living and kitchen areas, and mezzanine living. A 182m² deck is to be constructed around the north facing facades of the dwelling. An ancillary 108m² monopitch pole shed is to be constructed to provide parking and storage. Access is formed from Matai Bay Road to the building site and in-ground water tanks are already located adjacent to the building site.
- 1.3 A separate application has previously been lodged with Far North District Council (FNDC reference 2220867-RMALUC) for a dwelling on the same site but in a different location. That application is currently suspended pending provision of further information. It is requested that this application be processed to a decision in the interim. Any decision regarding the processing of the previously lodged application will be made following receipt of a decision on this application.

2.0 Site and Surrounding Environment

- 2.1 The subject site is located at Matai Bay Road, Karikari Peninsula and runs from the road to a frontage with Karikari Beach reserve to the northwest. The site is undulating and predominately covered in exotic pine, much of which has been cleared in recent times. A metalled and sand access track is formed from Matai Bay Road that enters the property and then follows the northern boundary of the site to the building site. The topography steepens towards the northwest and falls relatively steeply towards the beach and is covered in a mix of exotic and indigenous vegetation. The steeper area of the site is not subject to any development or vegetation removal.
- 2.2 The surrounding area is characterised by similar country to the subject site. The land is undulating and steep in places with a mixture of exotic pine and indigenous bush. The Carrington Estate is located to the southwest.

Subject site location (circled)



- 2.3 Approximately half of the site is identified as being within an Outstanding Natural Landscape ('ONL') under the Operative District Plan. The Operative Regional Policy Statement for Northland indicates that just over half the site is ONL with a smaller area of Outstanding Natural Character ('ONC') affecting the northwestern quarter of the site. These areas are identified across the site in the same locations in the proposed Far North District Plan. It is noted that the proposed buildings on the site are outside the ONL as defined in the Operative Plan but inside the ONL as defined in the Regional Policy Statement and proposed District Plan. The proposed buildings are outside the area of ONC. There do not appear to be any definitive physical 'markers' for the boundary of these ONL and ONC areas on the site.
- 2.4 A copy of the record of title is contained in Attachment B. There are not instruments recorded on the title that affect the proposal.

3.0 District Plan Rules

- 3.1 The subject site falls within the General Coastal Zone and is partially within the identified ONL in the Far North District Plan. The proposed activity is just outside the identified ONL, therefore the rules associated with ONL's are not relevant to the proposal.
- 3.2 The following table identifies the relevant District Plan provisions and assesses the proposal against them.

10.6 General Coastal Zone	Status	Comment
10.6.5.1.1 Visual Amenity	Controlled under Rule 10.6.5.2.2	The proposal does not comply with the permitted standard
10.6.5.1.2 Residential Intensity	Permitted	One dwelling is proposed on the site.
10.6.5.1.3 Scale of Activities	N/A	
10.6.5.1.4 Building Height	Permitted	Maximum building height is 6.881m above existing ground level.
10.6.5.1.5 Sunlight	Permitted	
10.6.5.1.6 Storm water Management	Permitted	The total area of impermeable surfaces for existing and proposed buildings and access is approx. 2394.51m ² equating to 3.63% impermeable surfaces across the site
10.6.5.1.7 Setback from Boundaries	Permitted	As shown on the plans
10.6.5.1.8 Transportation	Permitted	All access and parking/manoeuvring is existing on site and will not be affected by the proposal
10.6.5.1.9 Keeping of Animals	N/A	N/A
10.6.5.1.10 Noise	N/A	N/A
10.6.5.1.11 Helicopter Landing Area	N/A	N/A

12. Natural and Physical Resources	Status	Comment
12.1 Landscape and Natural Features	Permitted	No works are proposed within the ONL as it affects the site
12.2 Indigenous Flora and Fauna	Permitted	The proposed clearance will comply with Rule 12.2.6.1.3 Indigenous Vegetation Clearance In The General Coastal Zone Clauses (a) – (e), noting that the majority of clearance is exotic pine.
12.3 Soils and Minerals	Permitted	Total earthworks will comply with Clauses (a) and (b) of Rule 12.3.6.1.2 Excavation and/or Filling in the General Coastal Zone, noting the building site is relatively flat with some minor excavation (cut to fill of 256m ³) required as illustrated on the site plan.
12.4 Natural Hazards	Permitted	The proposed dwelling will not be within 20 metres of the dripline of existing bush.
12.5 Heritage / Heritage Precincts	N/a	
12.7 Lakes, Rivers, Wetlands, and the Coastline	Permitted	MHWS is located approx. 350 metres to the west of the proposed buildings and there are no wetlands in the vicinity of the site.
Hazardous Substances	N/A	
Renewable Energy and Energy Efficiency	N/A	

Transportation Rules		
Traffic, Parking, and Access	Permitted	Existing access and complying parking and manoeuvring area is available to service the proposed dwelling.
Airports	N/A	

3.3 Resource consent is assessed as a controlled activity under Rule 10.6.5.2.2 Visual Amenity.

3.4 The applicant has obtained legal advice regarding interpretation of the Far North District Plan as it relates to the Visual Amenity rules in the General Coastal Zone. The reason for assessing the application as a controlled activity under Rule 10.6.5.2.2 is set out below:

- The proposal does not comply with Rule 10.6.5.1.1 Visual Amenity as a permitted activity.
- 10.6.5.2 Controlled Activities states that (in this case) the activity is a controlled activity where it does not comply with 10.6.5.1.1 Visual Amenity as per Clause (a), and where it complies with Rules 10.6.5.2.1 Papakainga Housing, 10.6.5.2.2 Visual Amenity, or 10.6.5.2.3 Stormwater Management (emphasis added) as per Clause (b). No consent is required as per Clause (c).
- The wording of Clause (b) implies by use of the word ‘or’ that only one of the three rules referenced needs to be complied with for the proposal to adopt a controlled activity status. The proposal is not for papakainga housing and complies with the stormwater management rule.
- The proposal is therefore assessed as being a controlled activity under 10.6.5.2 Controlled Activities, which provides for consideration of Rule 10.6.5.2.2 Visual Amenity and the matters of control (i) – (xi) listed under the rule.

NES Requirements

- 3.5 The National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2012 (the 'NES') is considered relevant to the application as earthworks are involved. However, the proposed activity does not change the use of the site.
- 3.6 There is no evidence contained in Council records to suggest that an activity listed in the Hazardous Activities and Industries List is, has been, or is more likely than not to have been undertaken on the site. On this basis, the Regulation does not apply.
- 3.7 The proposal does not require consideration under the National Environmental Standard for Freshwater 2020, noting that a wetland delineation report has been undertaken previously for the site confirming the absence of wetlands near the proposed building site.

Proposed Far North District Plan

- 3.8 A review of those parts of the proposed Far North District Plan that have immediate legal effect has been undertaken. In particular, the rules contained in the Ecosystems and Indigenous Biodiversity and Earthworks have been considered. None of the rules are considered relevant to the proposal. However, Rule EW-R13 requires compliance in all zones for earthworks and erosion and sediment control. There does not appear to be any specific threshold for this rule, meaning that it applies to all earthworks regardless of location or scale. This rule appears to replicate clauses under the Earthworks Rule C.8.3.1 in the proposed Regional Plan for Northland. Regardless, the proposal will comply with the rule.

4.0 Section 95A – 95G Assessment

- 4.1 The following assessment addresses those matters considered relevant under Sections 95A – 95G as they relate to notification of an application.
- 4.2 In addressing Section 95A, the following applies:
- The proposal does not require public notification pursuant to s95A(3). For completeness, the applicant is not requesting public notification of the application.
 - The proposal is precluded from public notification under Section 95A(5)(b)(i) where the proposal is assessed as a controlled activity.
 - No special circumstances are considered to exist that warrant public notification as per Section 95A(9). There are no unique or exceptional circumstances associated with either the site or the proposal that constitute special circumstances.
- 4.3 For the purposes of Section 95B, the following applies:
- There are no protected customary rights groups or affected customary marine title groups.
 - The proposal is precluded from limited notification under Section 95B(6)(b) where the proposal is assessed as a controlled activity.
 - No other persons are required to be notified of the application as per Section 95B(10).

- 4.4 Given the above, it is respectfully considered that the application should proceed on a non-notified basis.
- 4.5 For the purpose of determining adverse effects on the environment of the proposal under Section 104(1)(a), the following assessment is provided.

5.0 Matters of Control – Rule 10.6.5.2.2 Visual Amenity

- 5.1 As the application is specifically precluded from public and limited notification due to the controlled activity status, the following assessment addressed the matters of control identified under Rule 10.6.5.2.2 Visual Amenity.

(i) the size, bulk, and height of the building in relation to ridgelines and natural features;

The proposed building site is set well back from the coastal margins and is located in an elevated position. There is no identified ridgeline close to the building site although there is a marked change in topography further to the west, where the land drops relatively steeply towards the coastal margins. The size, bulk and height of the proposed buildings comply in all respects with the bulk and location requirements for the GCZ. Notably, at its highest point when viewed from the west (from the coastal margins) the proposed dwelling will be 6.881 metres in height. While the footprint of the proposed dwelling is relatively large, given its orientation on the site, it will not be possible to view a full façade when viewed from the coastal margins. Nor will it be possible to view the proposed shed separately from the dwelling as it will be effectively hidden behind the proposed dwelling.

(ii) the colour and reflectivity of the building;

The proposed dwelling and shed will be completed in darker and recessive colours and finishes. A condition of consent is offered limiting the Light Reflectance Value of the colours and finishes of the exterior and roof of the buildings to 30%.

(iii) the extent to which planting can mitigate visual effects;

The applicant has commenced native plantings between the proposed house site and coastal margins, notably within the existing cleared area previously occupied by a cabin and surrounds. Given the considerable separation distance between the building site and the coastal margin, it is considered that extensive planting is not necessary to assist with mitigation of visual effects.

(iv) any earthworks and/or vegetation clearance associated with the building;

Earthworks associated with the proposed building site are limited to those identified on the site plan provided in Attachment A. The majority of the building site is already cleared of vegetation but removal of some exotic pine species will likely be required.

(v) the location and design of associated vehicle access, manoeuvring and parking areas;

The internal access and parking is already formed and no additional works are required.

- (vi) *the extent to which the building and any associated overhead utility lines will be visually obtrusive;*

The proposed buildings will not be visually obtrusive from any vantage point but particularly will not be obtrusive when viewed from the coastal margins. There are no overhead utility lines associated with the proposal.

- (vii) *the cumulative visual effects of all the buildings on the site;*

No cumulative visual effects are expected to arise from the proposal as there are no other buildings in the vicinity of the site that can be viewed in conjunction with the proposed buildings such that an adverse effect would arise. Even if there were other buildings in the locale, the distance between any buildings, combined with the separation distance from the coastal margins, would not result in any cumulative visual effect.

- (viii) *the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;*

It is recognised that the subject site, inclusive of the building area, is identified as being within the ONL as defined in the Regional Policy Statement for Northland. However, by virtue of the fact that the building site has previously been cleared for access and occupied by residential activities, the proposal will not significantly change the naturalness, visual, and amenity values. The building site has been chosen as it has always been the location on the site occupied and used for residential living.

- (ix) *the extent to which private open space can be provided for future uses;*

The site has sufficient open space for future uses.

- (x) *the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;*

The building site is well separated from the coastal margins and is not located on any ridgeline or feature where the building may generate adverse visual amenity effects in the coastal setting. The siting, setback and design of the proposed buildings complies with the District Plan bulk and location rules, with the building site deliberately located outside the ONL as defined in the District Plan.

- (xi) *the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.*

There is no non-compliance associated with the proposal (such as a bulk and location infringement) that affects privacy, outlook, and enjoyment of open spaces on adjacent sites.

6.0 Section 104 Assessment

Assessment of Effects

- 6.1 Section 104(1)(a) requires consideration of any actual and potential effects on the environment of allowing the activity. As a controlled activity, consent must be granted to the application but may be subject to conditions. A condition has been offered addressing the finished building colours and materials to ensure they are appropriate to avoid visual amenity effects.
- 6.2 There will be some minor positive effects for the property owner in terms of allowing development on what is currently a vacant property.
- 6.3 Overall, the effects associated with the proposal are considered to be acceptable within the receiving environment.

National and Regional Planning Documents

- 6.4 The proposed building site is defined as being located within the coastal environment and ONL as defined in the Regional Policy Statement for Northland ('RPS'). Policy 13 of the New Zealand Coastal Policy Statement ('NZCPS') addresses the preservation of the natural character of the coastal environment. The objectives and policies of the NZCPS 2010 have been carried directly through and incorporated into the RPS.
- 6.5 Objective 3.14 and Policy 4.6.1 address development located within the coastal environment and within areas of ONL. Notably, Policy 4.6.1 a) requires that adverse effects on the characteristics and qualities which make up areas of ONL be avoided. Policy 4.6.1(3) then sets out considerations a) – d) that are relevant in assessing adverse effects. Those considerations are addressed as follows:
- The ONL overlay is identified as Karikari Beach, Puweke and Southern Rangiputa Head.¹ The ONL is assessed as being *'...very distinctive and inherently related to the Karikari Peninsula.'* In assessing the coherence and naturalness of the ONL, the assessment records that land use and development has a relatively minor adverse impact and that buildings and productive uses on related areas exert only a subtle influence.
 - The scale and location of the proposed buildings is well separated from the coastal margins and occupies a site that has previously been cleared and has a long-standing residential use.
 - No minor or more than minor adverse cumulative effects have been identified that may arise as a result of the proposal.
 - The subject site has previously been used as a pine plantation. The applicants intention, which is evident from current works being undertaken on the site, is to remove the exotic pine and to replant the site with native species. Ultimately, this will enhance the ONL values when compared to the previous existence of the pine plantation.
- 6.6 It is noted that no consent under any Regional Plan is required for the proposal.

¹ See Northland Regional Landscape Assessment Worksheet

Operative Far North District Plan

- 6.7 Section 104(1)(b)(vi) requires consideration of the relevant objectives and policies contained in the District Plan. Those objectives and policies that are relevant to the proposal are contained in Chapters 10 Coastal Environment. The provisions are assessed below.
- 6.8 Chapter 10 Coastal Environment and Chapter 10.6 General Coastal Zone both contain objectives and policies relevant to the proposal. On the basis that the more specific provisions contained in Chapter 10.6 are intended to give effect to the more general provisions under Chapter 10, the following assessment focuses on the relevant provisions under Chapter 10.6 General Coastal Zone.
- 6.9 Objectives 10.6.3.1 and 10.6.3.2 read together reinforce the need to protect the natural character of the coastal environment. Policies 10.6.4.1 and 10.6.4.2 focus on visual and landscape qualities and natural character associated with the coastal environment being preserved and protected, while Policy 10.6.4.3 sets out various techniques for enhancing, restoring, and rehabilitating natural character of the coastal environment.
- 6.10 The proposal is considered to be consistent with the relevant objectives and policies identified above for the following reasons:
- The extent of adverse effects on the coastal environment requires assessment as a controlled activity. The matters that control has been limited to have been assessed. Any visual amenity effect associated with the proposal on the coastal environment, and particularly the natural character of the receiving environment, are assessed as less than minor.
 - The siting and design of the development, being located outside the ONL as defined in the District Plan, is considered to be an appropriate response to the landscape values of the site.
 - The applicant has already removed a significant number of exotic pines and is replanting with native species which is improving the natural character of the area and will continue to do so over time. These rehabilitation works do not form part of the application. However, the ability to construct a dwelling and live on the site will ensure the rehabilitation works are continued and maintained by the owner into the future.

Proposed Far North District Plan

- 6.11 The proposed Far North District Plan ('proposed Plan') was released for submissions on the 27th July 2022. A summary of submissions has been released by the Council, with the further submissions period having since closed. The subject site is within the Rural Production Zone, and subject to the Coastal Environment, part Outstanding Natural Landscape, and part Outstanding and High Natural Character overlays. The subject site is within the area overlaid by the Coastal Environment and ONL.
- 6.12 Notably, the proposed Plan provisions as they relate to ONL's and coastal environment are aligned with both the NZCPS 2010 and RPS. In particular, the Natural Features and Landscapes Chapter in Part 2 of the proposed Plan addresses the assessment of built development within ONLs, where

Policy NFL-P8 requires consideration of a number of matters that may be relevant to an application. This includes the presence of absence of buildings, location, scale and design of development, means of integrating buildings, and the ability of the environment to absorb change. Having previously determined that the proposal is consistent with the NZCPS 2010 and RPS provisions, it is therefore considered the proposal will be consistent with the proposed Plan provisions.

Weighting to be given to Proposed District Plan

- 6.13 As the proposed District Plan has only recently been publicly notified, with no hearing yet to be held to decide on submissions and further submissions, the Plan is only in its formative stages. However, the objectives and policies of the proposed Plan as they relate to ONLs and natural character are required to give effect to the NZCPS 2010 and RPS, noting that the Operative Plan provisions were not developed under the current planning hierarchy of documents.
- 6.14 It is considered appropriate to apply minimal weighting to the proposed Plan provisions at this time, although recognising that the Plan provisions are required to be consistent with the NZCPS and RPS provisions as they relate to ONLs and the coastal environment.
- 6.15 Overall, the proposal is considered to be consistent with the provisions contained in the NZCPS 2010, Operative Regional Policy Statement for Northland, Operative Far North District Plan and proposed Far North District Plan. On that basis, the proposal will be consistent with the provisions of the NZCPS 2010 and ultimately consistent with Part 2 of the Resource Management Act 1991.

Other Matters

- 6.16 Section 104(1)(c) provides for consideration of any other matters that may be relevant to the activity. There are no other matters that are considered relevant or require consideration in this case.

7.0 Part 2 Assessment

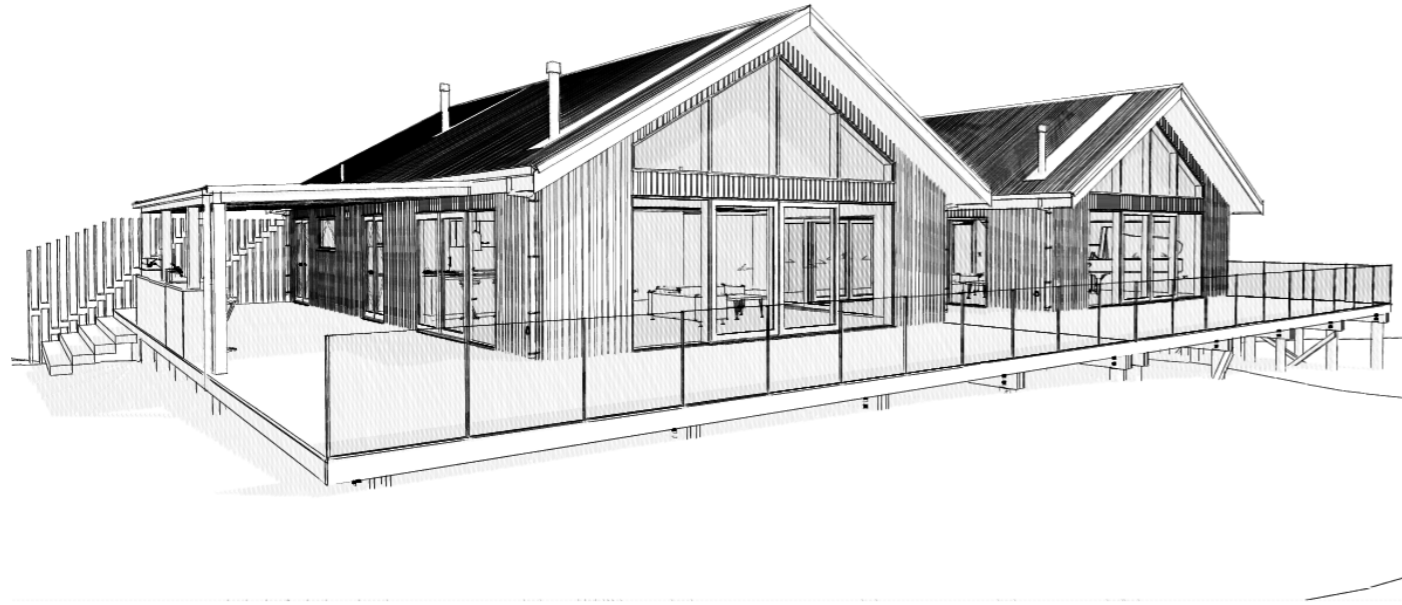
- 7.1 As per current case law, an assessment of relevant matters under Section 104 is subject to Part 2. A council must have regard to the provisions of Part 2 when it is appropriate to do so. In this case, there is no suggestion that the effects that have been identified and assessed, and the relevant planning provisions that require assessment, do not reflect those relevant matters in Part 2 of the Act. On that basis, it is not considered appropriate or necessary to undertake a detailed assessment of Part 2 matters.

8.0 Conclusion

- 8.1 The application lodged on behalf of Alistair and Cheryl Baxter provides for construction of a new dwelling and shed located on a property at Matai Bay Road, Karikari. The application is required to address infringement of the Visual Amenity rule for construction of buildings in the General Coastal Zone. The application requires consideration as a controlled activity, based on the interpretation of the District Plan rules informed by a legal opinion.

- 8.2 The relevant planning provisions have been assessed, noting that the NZCPS 2010 is the highest order document relevant to the proposal. Based on the information provided, it is considered that the proposal is consistent with the planning provisions in the Operative and proposed Far North District Plan, Operative Regional Policy Statement for Northland, and consistent with the NZCPS 2010.
- 8.3 As a controlled activity under Section 104A, consent must be granted to the proposal. Conditions of consent forming part of any decision may include:
- A general accordancy condition requiring the development to be undertaken in accordance with the plans provided.
 - A condition requiring that the colours and exterior finishes of the proposed dwelling and shed be confirmed at the time of building consent to not exceed 30% LRV.

Attachment A Building plans



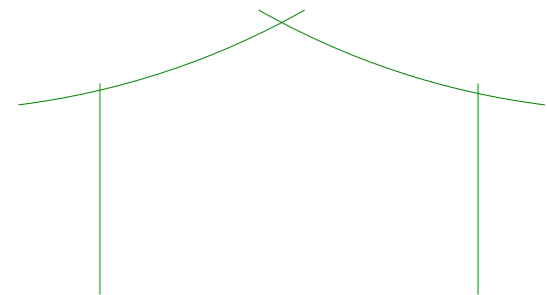
NEW HOUSE FOR CHERYL & ALISTAIR BAXTER

MATAI BAY ROAD

21-04

Sheet Number	Sheet Name	Rev
A100	Cover Page	RC01
A101	Overall Site Plan	RC01
A102	Site Plan	RC01
A103	Earthworks Plan	RC01
A104	Ground Floor Plan	RC01
A105	Mezzanine Floor Plan	RC01
A301	Elevations	RC01
A302	Elevations	RC01

LEAF

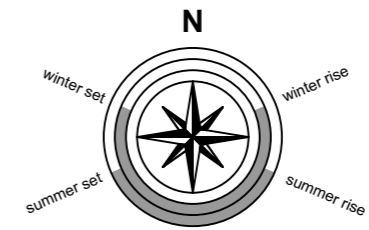


Architecture NZ



LOCALITY PLAN

NTS



GENERAL NOTES

- 0.1 Contractor to confirm all dimensions and conditions on site before commencing work.
- 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Designer.
- 0.3 The drawings are to be read in conjunction with the Specification.
- 0.4 If in doubt, consult the Architectural designer.

LEGAL DESCRIPTION:

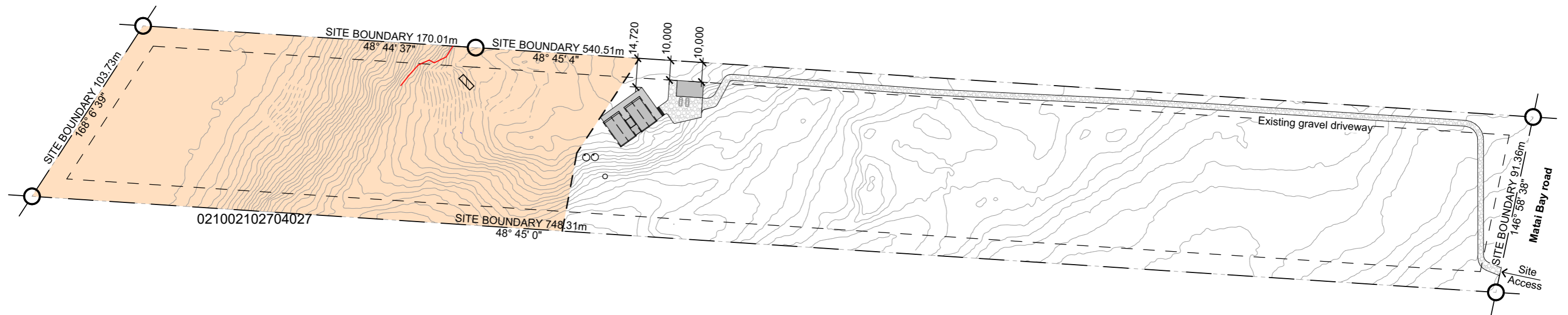
Karikari 2J4
Site Area: 65,935m²

DEVELOPMENT CONTROLS:

Environment:
- General - Coastal

Hazards:
- None

Building Controls:
- Max. Building Height: 8m
- Building Setbacks: 10m setbacks from all boundaries (sections over 5,000m²).
- Impermeable surface: does not exceed 10% of net site area.



SITE PLAN OVERALL

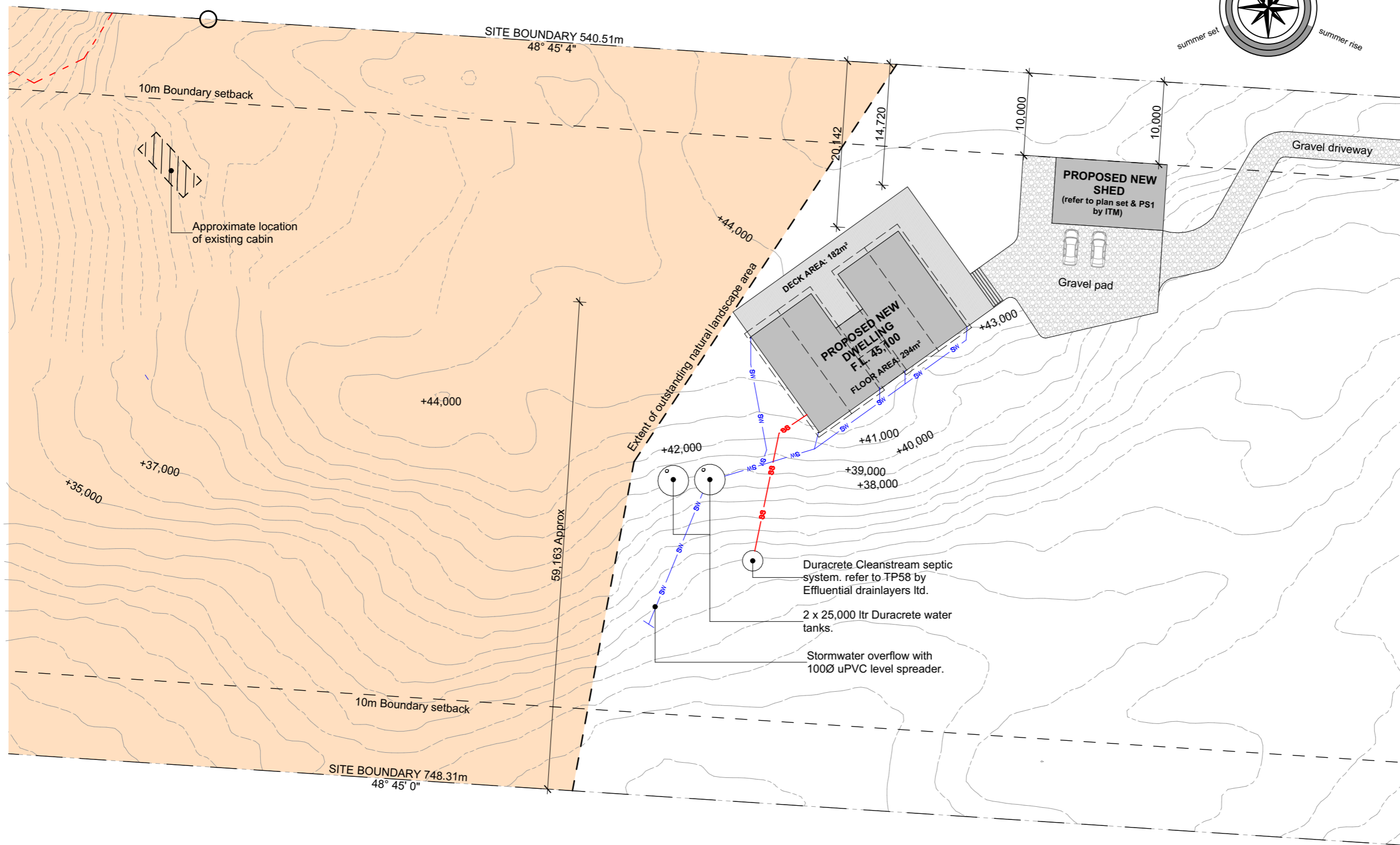
1:2000

RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
PH: 02041894041 Email: reusmith@hotmail.co.nz

SHEET TITLE: Overall Site Plan	
ISSUED: 23/08/2023	SHEET A101
PROJECT #: 21-04	ISSUE: RC01



SITE DESIGN INFORMATION:

Wind Zone = **EXTRA HIGH**
 Climate Zone = **Zone 1**
 Earthquake Zone = **Zone 1**
 Exposure Zone = **Zone D**
 High Risk
 Rainfall Intensity = **90 -100mm/hr**

LEGAL DESCRIPTION:

Karikari 2J4
 Site Area: 65,935m²

DEVELOPMENT CONTROLS:

Environment:
 - General - Coastal

Hazards:
 - None

Building Controls:
 - Max. Building Height: 8m
 - Building Setbacks: 10m setbacks from all boundaries (sections over 5,000m²).
 - Impermeable surface: does not exceed 10% of net site area.

Impermeable surfaces:
 Proposed Dwelling (including soffits): 337m²
 Proposed Shed: 108m²
 Proposed gravel pad: 260m²
 Existing gravel drive: 1507.51m²
 Timber deck: 182m²

Total Impermeable surface: **2394.51m²**
 % Impermeable surface: **3.63%**

DRAINAGE LEGEND:

	100Ø stormwater drain pipe at 1:60 Fall
	100Ø sanitary sewer drain pipe at 1:60 Fall

SITE PLAN

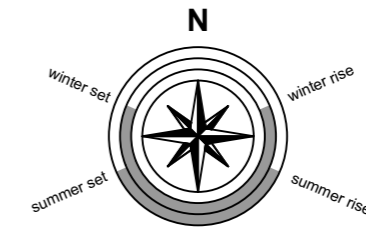
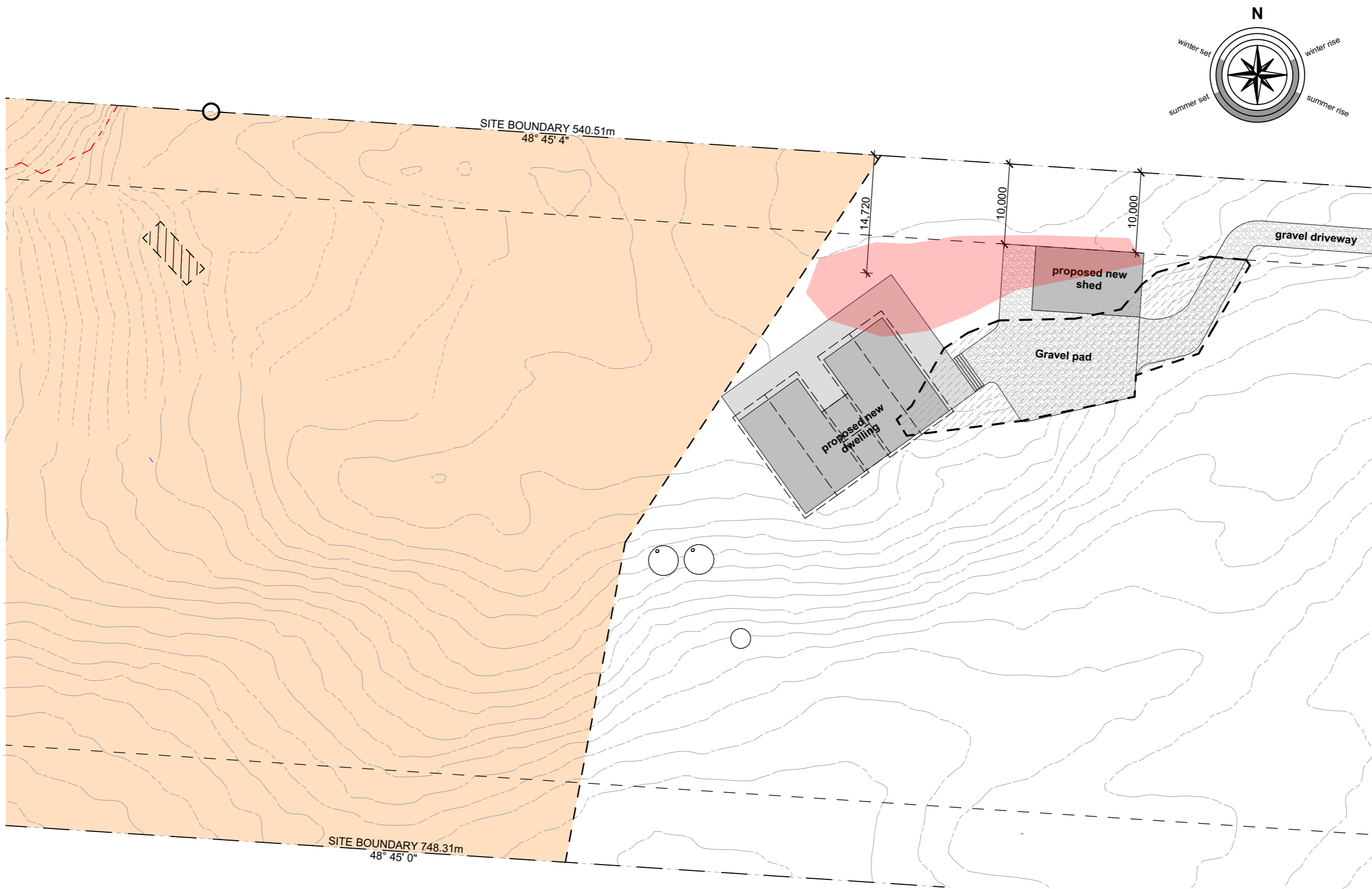
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RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
 PH: 02041894041 Email: reusmith@hotmail.co.nz

SHEET TITLE: Site Plan	
ISSUED:	SHEET
23/08/2023	A102
PROJECT #:	ISSUE:
21-04	RC01



- LEGEND:**
- Proposed new dwellings
 - Proposed new gravel pad
 - Site boundary

- EARTHWORKS:**
- 0-500 mm deep cut
 - Area of hard fill
- Earthworks cut volume: 127.63m³
 Earthworks fill volume: 127.63m³
Total Earthworks volume: 255.26m³

- 1.0 EARTHWORKS**
- 1.1 Filling to be kept to a maximum depth of 1.0m with battered slopes no steeper than 1V:3H.
 - 1.2 All cuts should be battered no steeper than 1V:3H with a max. height of 1.2m.
 - 1.3 The finished building platform is to be shaped to aid water run-off and avoid surface water infiltration.
- 2.0 SEDIMENT CONTROL**
- 2.1 Ensure existing vegetation below proposed earthworks is maintained to provide sediment control.
 - 2.2 Where required, sediment control to be carried out in accordance with Auckland Council GD05: Erosion and sediment control guide for land disturbing activities.
- 3.0 EROSION CONTROL**
- 3.1 Conduct earthworks during dryer months of the year to avoid runoff during rainfall events.
 - 3.2 Apply hay mulching to exposed slopes to stabilise the surface. Apply mulching in accordance with Auckland Council guideline GD05

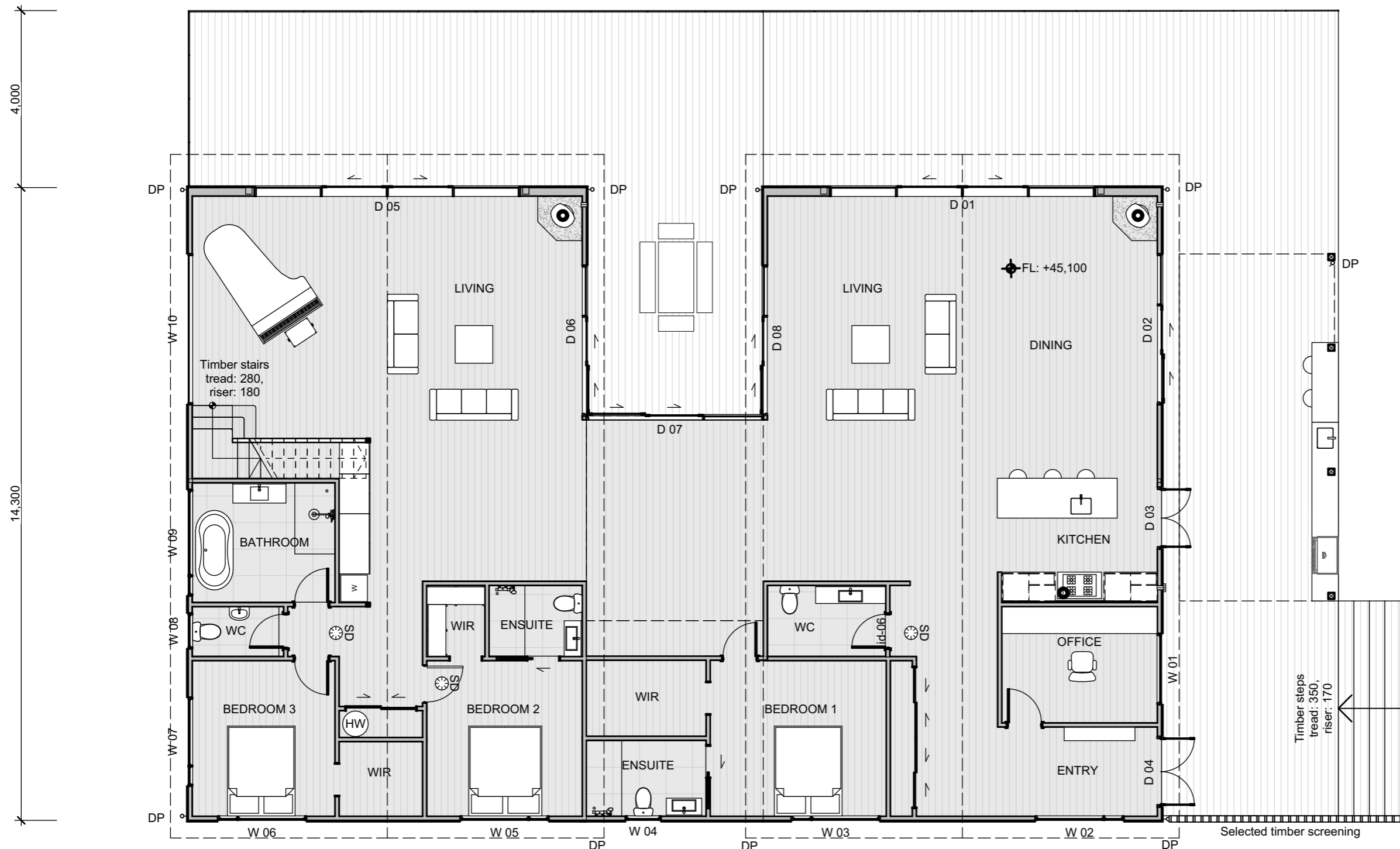
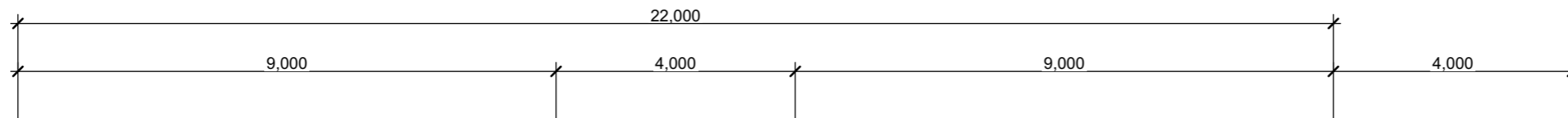
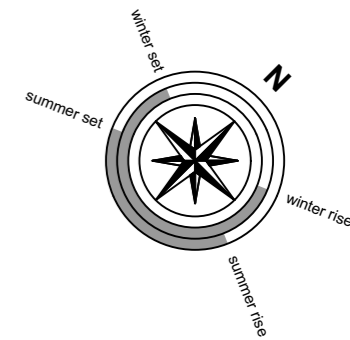
EARTHWORKS PLAN 1:500

RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
 PH: 02041894041 Email: reusmith@hotmail.co.nz

SHEET TITLE: Earthworks Plan	
ISSUED: 23/08/2023	SHEET A103
PROJECT #: 21-04	ISSUE: RC01



FLOOR PLAN LEGEND:

- 90x45 H1.2 radiata framed wall as dimensioned. Studs @ 400 crs to 2.4m stud height, studs @ 300crs to 2.7m stud height. nogs @ 400 crs. Exterior walls to be insulated with selected R2.5 wall insulation and clad with Accoya shiplap weatherboards over a 20mm cavity and Ecoply RAB.
- 190x45 H1.2 radiata framed wall as dimensioned. Studs @ 600 crs, nogs @ 400 crs. Exterior walls to be insulated with selected R2.5 wall insulation and clad with Accoya shiplap weatherboards over a 20mm cavity and Ecoply RAB.
- Selected tile flooring.
- T&G Maple solid timber floor covering.
- SD Indicative locations of battery powered ceiling mounted smoke alarm with hush button to comply with NZBC F7 AS/1
- Main switchboard
- HT Indicative locations of exterior hose taps (verify precise locations with Owner)
- RG Rayburn cooking Range. Install 12mm Promatect - H non combustable lining behind range packed off wall 25mm as per Rayburn installation details in specification appendix.

FLOOR PLAN

FLOOR AREA:
Total ground floor area = 294m²

1:100




RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
PH: 02041894041 Email: reusmith@hotmail.co.nz

SHEET TITLE: Ground Floor Plan	
ISSUED: 23/08/2023	SHEET A104
PROJECT #: 21-04	ISSUE: RC01

FLOOR PLAN LEGEND:

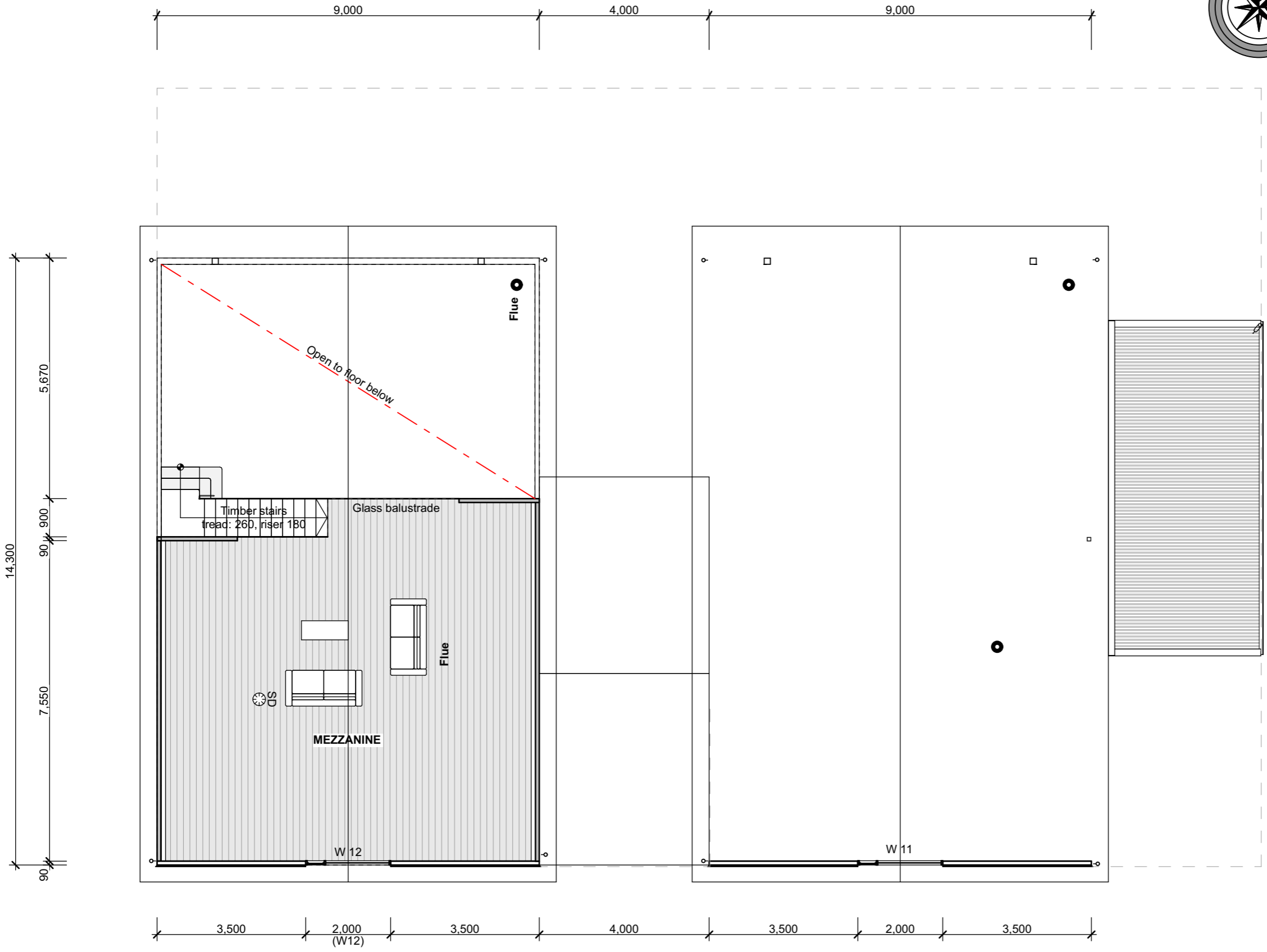
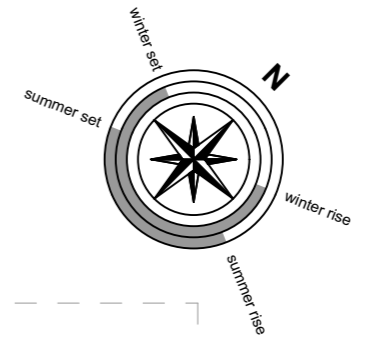
-  90x45 H1.2 radiata framed wall as dimensioned. Studs @ 400 crs to 2.4m stud height, studs @ 300crs to 2.7m stud height. nogs @ 800 crs. Exterior walls to be insulated with selected R2.5 wall insulation and clad with Accoya shiplap weatherboards over a 20mm cavity and Ecoply RAB.
-  Selected timber floor covering.
-  SD Indicative locations of battery powered ceiling mounted smoke alarm with hush button to comply with NZBC F7 AS/1

INTERNAL LININGS:

1. All walls to be interior lined with 10mm standard GIB board
2. Wet areas to be lined with 9mm James Hardie Villaboard.
3. Ground floor Ceiling linings to be 13mm Standard GIB board over radiata ceiling battens at 600mm c/c. Raking ceiling linings to be 135x19 Tongue and grooved radiata direct fixed to the rafters.

FLOOR PLAN FIXINGS NOTES:

1. Bottom plate fixing to be 3/90 x 3.15 nails @ 600 max. centres - as per NZS: 3604 2011
2. For lintel fixings refer to Details on sheet A406
3. Top & Bottom plate to stud fixing to be 2 / 90 x 3.15 nails end nails + 2 wire dogs - Alternative fixing capacity (4.7 kN)



UPPER FLOOR PLAN

FLOOR AREA:
Total Mezzanine floor area = 69.8m²

1:100

RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
PH: 02041894041 Email: reusmith@hotmail.co.nz

SHEET TITLE: Mezzanine Floor Plan	
ISSUED: 23/08/2023	SHEET A105
PROJECT #: 21-04	ISSUE: RC01

ELEVATION NOTES:

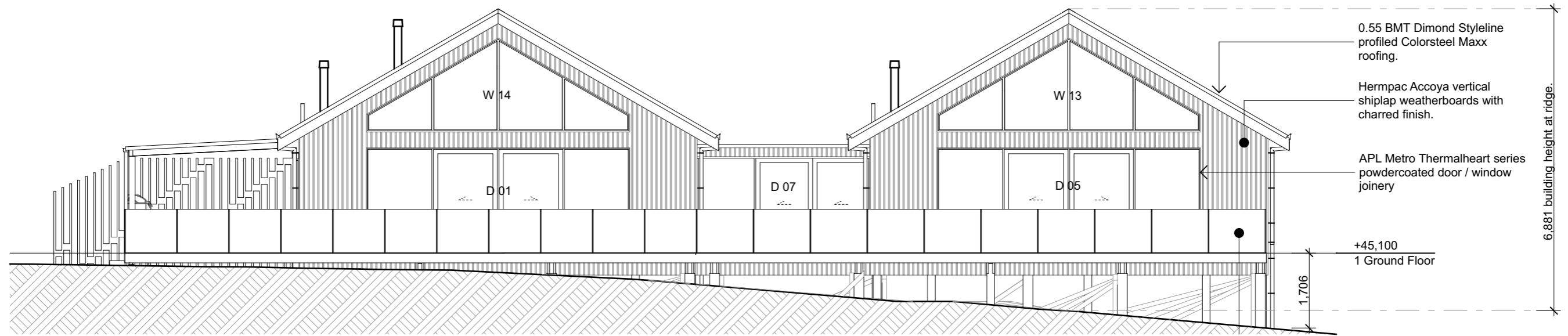
- 1.0 ASSOCIATED DOCUMENTS
- 1.1 Refer to Project Specification & Specification Appendix Documents.
- 1.2 Refer to Structural Engineers Calculations & Drawings.
- 1.3 Refer to the Foundation / Drainage Plan for drainage requirements.

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Extra high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		4

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Extra high risk	2
Number of storeys	Medium risk	1
Roof/wall intersection design	Low risk	0
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		8



WEST ELEVATION 1:100



NORTH ELEVATION 1:100

RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
 PH: 02041894041 Email: reusmith@hotmail.co.nz

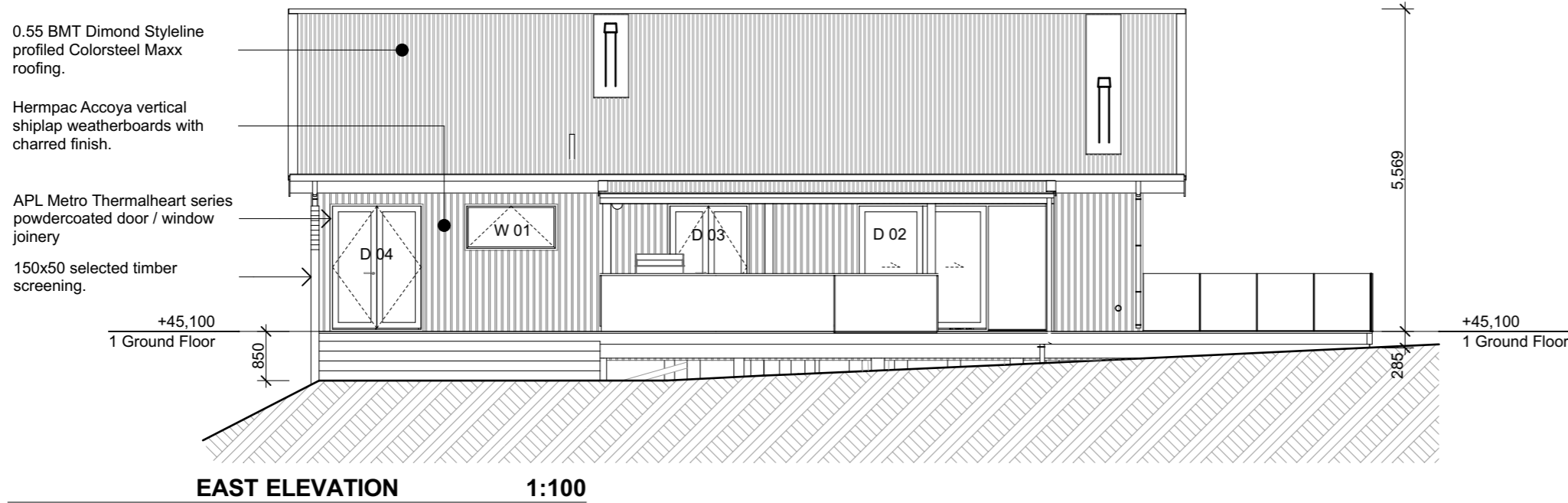
SHEET TITLE: Elevations	
ISSUED: 23/08/2023	SHEET A301
PROJECT #: 21-04	ISSUE: RC01

ELEVATION NOTES:

- 1.0 ASSOCIATED DOCUMENTS
- 1.1 Refer to Project Specification & Specification Appendix Documents.
- 1.2 Refer to Structural Engineers Calculations & Drawings.
- 1.3 Refer to the Foundation / Drainage Plan for drainage requirements.

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Extra high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		4

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Extra high risk	2
Number of storeys	Medium risk	1
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



RevID	Revision	Date
RC01		23/08/2023



NEW HOUSE
FOR CHERYL & ALISTAIR BAXTER
MATAI BAY ROAD
 PH: 02041894041 Email: reusmith@hotmail.co.nz

SHEET TITLE: Elevations	
ISSUED: 23/08/2023	SHEET A302
PROJECT #: 21-04	ISSUE: RC01

Attachment B Certificate of title



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier NA77D/79
Land Registration District North Auckland
Date Issued 22 June 1989

Prior References
NA46C/1123

Estate Fee Simple
Area 6.5935 hectares more or less
Legal Description Karikari 2J4 Block

Registered Owners
Cheryl Lynn Baxter and Alistair Eyre Baxter

Interests

C451938.2 Status order declaring that the status of the within land shall cease to be Maori Freehold Land and shall become General Land - 8.2.1993 at 12.00 pm

Attachment C

District Plan Maps

Operative District Plan Maps



Proposed District Plan Map

