

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

If yes, who have you spoken with?

2. Type of consent being applied for

(more than one circle can be ticked):

☐ Land Use

☐ Discharge

☐ Fast Track Land Use*

☐ Change of Consent Notice (s.221(3))

☐ Subdivision

☐ Extension of time (s.125)

☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)

☐ Other (please specify)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

4. Consultation

Have you consulted with iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have
you consulted with?

Who else have you
consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Lynette & Herbert Adams

Email:**Phone number:****Postal address:**

(or alternative method
of service under section
352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Nina Pivac C/- Logiplan Limited

Email:**Phone number:****Postal address:**

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

As per applicant details

Property address/
location:

Postcode

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☐ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☐ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

<input type="text"/>
<input type="text"/>
<input type="text"/>
<input type="text"/>
<input type="text"/>
<input type="text"/>

Postcode

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Lynette and Herbert Adams

Signature:

(signature of bill payer)

Date 12-Feb-2026

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Nina Pivac

Signature

Date 12-Feb-2026

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

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Appendix A – Site, Floor and Elevation Plans

Appendix B – Certificate of Title and Interests

Appendix C – TP58 & Stormwater Report

1.0 THE APPLICANT AND PROPERTY DETAILS

To:	Far North District Council
Site address:	122 Houhora Heads Road, Pukenui
Applicant's name:	Lynette and Herbert Adams
Address for service:	Tohu Consulting Limited Attn: Nina Pivac 50-64 Commerce Street Kaitaia 0410
Legal description:	Lot 2 DP 70340
Site area:	29.3967
Site owner/s:	Lynette and Herbert Adams
Operative District Plan zoning/overlays:	Coastal Living Zone Partial NRC Coastal Environment
Proposed District Plan zoning/overlays:	Rural Lifestyle Treaty Settlement Area of Interest
Brief description of proposal:	To construct a new dwelling in the Coastal Living Zone breaching the following rules: <ul style="list-style-type: none">• 10.7.5.1.6 Stormwater Management• 10.7.5.1.1 Visual Amenity
Summary of reasons for consent:	Overall, resource consent is required as a Discretionary Activity under the Far North District Plan.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 12 February 2026

2.0 PROPOSAL

The applicants, Lynette and Herbert Adams, propose to relocate a dwelling onto the subject site which is located in the Coastal Living Zone. Resource consent is required under the following rules:

Operative Far North District Plan (ODP):

- 10.7.5.1.6 Stormwater Management
- 10.7.5.1.1 Visual Amenity

Overall, the application is assessed overall as a **Discretionary Activity** under the operative District Plan.

The following Assessment of Environmental Effects (AEE) has been prepared in accordance with the requirements of Section 88 of and Schedule 4 of the Resource Management Act 1991 (the Act) and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual or potential effects the proposal may have on the environment.

3.0 SITE CONTEXT

Site Characteristics

The subject site is located at 122 Houhora Heads Road, Pukenui and is legally described as Lot 2 DP 70340 (NA27A/358). The site has a land area of 29.3967ha. A copy of the relevant Certificate of Title is attached as **Appendix B**.

The site contains an existing primary dwelling plus two smaller sleepouts, as per previous Council approvals. The remainder of the site is in pasture, with two large areas of scrub comprised of a mix of exotic species and manuka trees. Given the proposed dwelling will be completely surrounded by vegetation, no additional landscaping is proposed.



Figure 1: Map showing subject site (Premise)

Surrounding Environment

The subject site is located in an area largely characterised by rural-residential development. Adjoining sites are similarly zoned Coastal Living.

Access

Access to the primary dwelling is currently gained via an existing vehicle crossing off Houhora Heads Road. Access to the proposed dwelling will be accessed via a new vehicle crossing off a legal paper road which adjoins the southern boundary of the subject site.

Zoning and Resources

The subject site is zoned Coastal Living. There are no other resource features or overlays relevant to the site.

In terms of heritage and archaeology, there are no registered heritage sites or sites of cultural significance located in the vicinity of the subject site.

4.0 FAR NORTH DISTRICT PLAN ASSESSMENT

OPERATIVE DISTRICT PLAN

Table 1 – Coastal Living Zone – land-use performance standards

Coastal Living Zone Rule	Permitted Standards	Compliance
10.7.5.1.1 Visual Amenity	(a) any new building(s) with max GFA of 50m ² ; or (b) any alteration/addition to an existing building which does not exceed 30% of the gross floor area of the building which is being altered or added to, provided that any alteration/addition does not exceed the height of the existing building and that any alteration/addition is to a building that existed at 28 April 2000; or (c) replacement of any building so long as the replacement does not exceed the building envelope occupied by the previous building; or (d) renovation or maintenance of any building.	The proposed dwelling has a GFA of 113.72m ² and is unable to comply with clause (a). Restricted Discretionary Activity

Coastal Living Zone Rule	Permitted Standards	Compliance
10.7.5.1.2 Residential Intensity	1 unit per 4ha of land.	Based on a site area of 29.3697ha, up to 7 dwellings can be constructed on the site as a permitted activity. The proposal falls well within this threshold Permitted
10.7.5.1.3 Scale of Activities	1 Person per 2000m ² of land.	Not applicable
10.7.5.1.4 Building Height	The maximum height of any building shall be 8m	The proposed building height is less than 8m. Permitted
10.7.5.1.5 Sunlight	2m + 45-degree recession plane	The dwelling will not encroach the recession plane. Permitted
10.7.5.1.6 Stormwater Management	The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m ² whichever is the lesser.	Existing impermeable surfaces already exceed 1500m ² , which will be increased by the proposed development. The proposal is therefore unable to comply with the permitted and restricted discretionary thresholds. Discretionary Activity
10.7.5.1.7 Setback from boundaries	Buildings shall be set back a minimum 10m from any site boundary, except that on any site with an area less than 5,000m ² this set back shall be 3m from any site boundary.	The proposed dwelling is located at least 20m from nearest boundary. Permitted
10.7.5.1.9 Transportation	Two onsite parking spaces Max TIF = 20	As per the site plan, adequate parking will be provided on site. Permitted

Overall, the proposal requires resource consent as a **Discretionary Activity** under the Far North District Plan.

PROPOSED DISTRICT PLAN

The Proposed Far North District Plan (PDP) was notified on Wednesday 27 July 2022. Rules in a Proposed Plan have legal effect once the council makes a decision on submissions relating to that rule and publicly notified this decision, unless the rule has immediate legal effect in accordance with section 86(3) of the Resource Management Act 1991 (the Act).

As of Monday 4 September 2023, the further submission period on the PDP has closed. However, Council are yet to make a decision on submissions made and publicly notify this decision. Therefore, only rules in the PDP with immediate legal effect are relevant. These rules are identified with a 'hammer' in the plan. Rules that do not have immediate legal effect do not trigger the need for a resource consent under the PDP.

An assessment of the proposal against the rules with immediate legal effect has been undertaken. In this case there are none that are relevant to the proposal. Therefore, no consideration needs to be given to any of the rules under the PDP.

5.0 NATIONAL ENVIRONMENTAL STANDARDS CONTAMINATED SOILS (NESCS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NES Contaminated Soils. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Based on a search of Council records, historic aerial images, and the documentation provided in support of this application, there is no evidence to suggest that a HAIL activity is, has been, or is more than likely to not have been undertaken on any part of the site. Therefore, the NES Contaminated Soils is not applicable in this instance.

6.0 NATIONAL ENVIRONMENTAL STANDARDS FOR FRESHWATER (NES FRESHWATER)

A review of aerial images, including NRC's wetland maps, reveal no evidence to suggest that there are any wet areas that may be subject to the NES Freshwater provisions. Therefore, no further assessment is required under the NES Freshwater.

7.0 NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND (NPSHPL)

The subject site contains soils classified 4w3 which are not deemed as 'highly productive' under the NPSHPL. Therefore, no further consideration needs to be given under the NPSHPL.

8.0 NATIONAL POLICY STATEMENT FOR INDIGENOUS BIODIVERSITY (NPS-IB)

The subject site does not contain any significant areas of indigenous vegetation or habitats of indigenous fauna which would require protection under the NPS-IB. Therefore, no further consideration needs to be given under the NPS-IB.

9.0 NOTIFICATION

Public Notification

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

Step 1: Mandatory public notification is required in certain circumstances

Under Section 95A(3) an application must be publicly notified if:

- a) the applicant has requested that the application be publicly notified;*
- b) public notification is required under Section 95C.*

The applicant is not requesting public notification under clause (a). Clause (b) provisions relate to where an applicant does not provide further information formally requested under Section 92, which is not applicable in this case.

Public notification is not required and therefore Step 2 must be considered.

Step 2: If not required by Step 1, public notification precluded in certain circumstances

Under Section 95A (4) an application must not be publicly notified if:

- a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;*
- b) the application is for a resource consent for 1 or more of the following, but no other, activities:*
 - i. a controlled activity;*
 - ii. a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;*

None of the above criteria apply, therefore public notification is not precluded in this instance. Step 3 must be considered.

Step 3: If not precluded by step 2, public notification required in certain circumstances

Under Section Under Section 95A(7), public notification is required if:

- a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;*
- b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.*

Clause (a) does not apply in this situation.

An assessment of environmental effects in accordance with s95D has been undertaken in Section 8.0 below which concludes that any adverse effect arising as a result of the proposed development will be less than minor. Public notification is therefore not required in this instance.

Step 4: Public notification in special circumstances

Section 95A(9) sets out that the council is required to determine whether special circumstances exist that warrant it being publicly notified.

Special circumstances are those that are:

- *exceptional or unusual, but something less than extraordinary; or*
- *outside of the common run of applications of this nature; or*
- *circumstances which make notification desirable, notwithstanding the conclusion that the adverse effects will be no more than minor.*

Based on the assessment of environmental effects below, it is considered that there is nothing out of the ordinary that could give rise to special circumstances.

Public Notification Conclusion

Based on the above, it is considered that this application can be processed without public notification.

Limited Notification

Under Section 95B, if an application is not publicly notified, the Council must decide if there are any 'affected persons' and undertake limited notification to those persons. Under Section 95E(1) a person is considered 'affected' if the adverse effects of the activity on that person are 'minor or more than minor'. If the application is not publicly notified, the consent authority must follow the following steps to determine whether to give limited notification of an application.

Step 1: Certain affected protected customary rights groups must be notified

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups, or affected persons under a statutory acknowledgement affecting the land.

The above does not apply to this land.

Step 2: If not required by step 1, limited notification precluded in certain circumstances

Step 2 describes that limited notification is precluded where all applicable rules and NES preclude limited notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity under section 360H(1)(a)(ii).

None of the above apply in this instance.

Step 3: if not precluded by step 2, certain other affected persons must be notified

In the case of a boundary activity, Council shall determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

In the case of any other activity, Council shall determine whether a person is an affected person in accordance with section 95E.

If yes to any of the above, Council shall notify each affected person identified under subsections (7) and (8) of the application.

The assessment of environmental effects in Section 7.0 below concludes that there are no other adversely affected parties.

Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

As previously discussed, special circumstances are not considered to apply to this proposal.

Limited Notification Conclusion

Having undertaken the s95B limited notification tests, it is considered that this application can be processed without limited notification.

10.0 ASSESSMENT OF ENVIRONMENTAL EFFECTS

10.7.5.1.6 Stormwater Management

A Stormwater Mitigation Report has been prepared in support of the proposed development (see **Appendix C**). To avoid repetition, see Stormwater Mitigation Report for an assessment of the relevant assessment criteria. Overall, the report concludes that any adverse effect in relation to stormwater management will be less than minor subject to the implementation of the recommended stormwater disposal design. Stormwater disposal has been designed in accordance with AP10 and all relevant engineering standards. It is anticipated that the recommendations outlined within the stormwater report will form a condition of consent.

10.7.5.3.1 Visual Amenity in the Coastal Living Zone

Assessment Criteria	Comment
(i) the location of the building;	The proposed development is located at least 50m from the nearest boundary, and will be completely surrounded by well-established existing vegetation. The location of the building has been carefully selected so as to avoid visual dominance, but also to avoid developing in low-lying areas. The location of the proposed development also enables ample open space for the enjoyment of

	residents as well as the adequate operation and maintenance of all associated services (e.g. wastewater and stormwater disposal).
(ii) the size, bulk, and height of the building or utility services in relation to ridgelines and natural features;	There are no ridgelines or significant natural features that will be affected by the proposed dwelling.
(iii) the colour and reflectivity of the building;	The external cladding will have a neutral colour scheme with a low-mid LRV, within the 'sand dune' palette. This colour is considered to be consistent with existing development within the immediate surrounding environment.
(iv) the extent to which planting can mitigate visual effects;	The proposed building site will be completely surrounded by well-established mature vegetation which will completely screen the proposed building from all public vantage points. On this basis, it is considered that no additional landscaping is required in this instance.
(v) any earthworks and/or vegetation clearance associated with the building;	Minimal earthworks and vegetation clearance is required to create the house platform and internal driveway.
(vi) the location and design of associated vehicle access, manoeuvring and parking areas;	As shown on the site plan, there is ample space for onsite parking and manoeuvring.
(vii) the extent to which the building will be visually obtrusive;	As per the assessment of clause (i) and (iii) above, the proposed building will not be visually obtrusive owing to the modest colour scheme and the careful positioning of the building. The dwelling is also single-level with a floor area that is consistent with most dwellings in the immediate surrounding environment.
(viii) the cumulative visual effects of all the buildings on the site;	The site currently contains a primary dwelling plus associated sheds and two smaller sleepouts. With a total site area of 29.3967ha, up to 7 dwellings can be constructed on site as a permitted activity. Including the proposed dwelling, the proposal falls well within this threshold. All existing and proposed built development is screened from all public vantage points. On this basis, it is considered that the cumulative visual effects of all buildings on the site are less than minor.
(ix) the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;	As per clause (iv) above, the site is largely in pasture with some mature vegetation scattered throughout. This vegetation will remain largely unaffected, will continue to provide effective screening of the proposed development.
(x) the extent to which private open space can be provided for future uses ;	As shown on the subject site, ample open space will be maintained for the enjoyment of residents and for future uses.

(xi) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;	Refer to clauses (i) to (iv) above.
(xii) the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.	Refer to clauses (i) to (iv) above.

Conclusion

Based on the above, it is considered that any adverse effects as a result of the proposal will be less than minor.

11.0 CONSIDERATION OF APPLICATIONS (SECTION 104)

Subject to Part 2 of the Act, when considering an application for resource consent and any submissions received, a council must, in accordance with section 104(1) of the Act have regard to:

- any actual and potential effects on the environment of allowing the activity;
- any relevant provisions of a national environmental standard, other regulations, national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement; a plan or proposed plan; and
- any other matter a council considers relevant and reasonably necessary to determine the application.

As a Restricted Discretionary activity, section 104C of the Act states that:

- 1) *When considering an application for a resource consent for a restricted discretionary activity, a consent authority must consider only those matters over which-*
 - a) *A discretion is restricted in national environmental standards or other regulations;*
 - b) *It has restricted the exercise of its discretion in its plan or proposed plan.*
- 2) *The consent authority may grant or refuse the application.*
- 3) *However, if it grants the application, the consent authority may impose conditions under section 108 only for those matters over which-*
 - a) *A discretion is restricted in national environmental standards or other regulations;*
 - b) *It has restricted the exercises of its discretion in its plan or proposed plan.*

12.0 EFFECTS ON THE ENVIRONMENT (SECTION 104(1)(A))

An assessment of effects on adjacent properties has been provided and it was concluded that any adverse effects will be less than minor.

Further, it is considered that the proposal will result in positive effects including the efficient use of surplus land while maintaining character and amenity values intrinsic to the local community.

Overall, it is considered that when taking into account the positive effects, any actual and potential adverse effects on the environment of allowing the activity are appropriate.

13.0 DISTRICT PLAN AND STATUTORY DOCUMENTS (SECTION 104(1)(B))

The following planning documents prepared under the RMA are considered relevant to this application.

Regional Policy Statement for Northland

The Northland Regional Policy Statement (RPS) covers the management of natural and physical resources across the Northland region. The provisions within the RPS give guidance at a higher planning level in terms of significant regional issues, therefore providing guidance to consent applications and the development of District Plans on a regional level. Given the nature and scale of the proposed subdivision, being a restricted discretionary activity, it is considered that this level of development is compatible with the intent of the RPS.

Operative Far North District Plan – Objectives and Policies

Section 104(1)(b)(vi) requires consideration of the relevant objectives and policies contained in any Operative or proposed District Plan. Therefore, an assessment of the Operative Far North District Plan provisions is required.

Coastal Living Zone Objectives	
Objectives	Comment
10.7.3.1 To provide for the well-being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.	As per the AEE above, up to 7 dwellings can be constructed on the subject site as a permitted activity. The proposal will fall well within this threshold. Visual effects will be largely mitigated by careful positioning of the building, on a platform that is completely surrounded by existing vegetation. As per the assessment of effects, the dwelling has been designed so as to not result in any adverse effects on the environment.
10.7.3.2 To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.	As above.

Coastal Living Zone Policies	
Policies	Comment
10.7.4.1 That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.	As per the assessment of effects, the coastal environment will not be affected by the proposal.
10.7.4.2 That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.	As per the Stormwater Mitigation Report, stormwater will be managed appropriately. Amenity values and the quality of the environment will not be adversely affected.
10.7.4.3 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in	Minimal earthworks and vegetation clearance are required, and will comply with the relevant permitted standards. The site does not contain

Coastal Living Zone Policies	
Policies	Comment
<p>regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:</p> <p>(a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;</p> <p>(b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;</p> <p>(c) providing for, through siting of buildings and development and design of subdivisions, legal public right of access to and use of the foreshore and any esplanade areas;</p> <p>(d) through siting of buildings and development, design of subdivisions, and provision of access that recognise and provide for the relationship of Maori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Maori culture makes to the character of the District (refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)");</p> <p>(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;</p> <p>(f) protecting historic heritage through the siting of buildings and development and design of subdivisions.</p>	<p>any significant areas of indigenous vegetation or habitats of indigenous fauna, nor does the site contain any archaeological or heritage sites.</p>

Proposed Far North District Plan – Objectives and Policies

As of Monday 4 September 2023, the further submission period on the PDP has closed. However, Council are yet to make a decision on submissions made and publicly notify this decision. Therefore, the application shall only 'have regard to' the relevant objectives and policies in the PDP.

Relevant objectives and policies in the PDP are contained within the Rural lifestyle chapter. Based on the AEE, it is considered that the proposal is largely consistent with the anticipated outcome of the relevant objectives and policies, particularly the following:

- RLZ-O1 – RLZ-04
- RLZ-P1 – RLZ-P4

Conclusion

For the reasons outlined above, it is considered that the proposal is consistent with the relevant objectives and policies of the RPS, ODP, and PDP.

14.0 PART 2 MATTERS

Section 5 of Part 2 identifies the purpose of the RMA as being the sustainable management of natural and physical resources. This means managing the use, development and protection of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being and health and safety while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

Section 6 of the Act sets out a number of matters of national importance including (but not limited to) the protection of outstanding natural features and landscapes and historic heritage from inappropriate subdivision, use and development.

Section 7 identifies a number of “other matters” to be given particular regard by Council and includes (but is not limited to) Kaitiakitanga, the efficient use of natural and physical resources, the maintenance and enhancement of amenity values, and maintenance and enhancement of the quality of the environment.

Section 8 requires Council to take into account the principles of the Treaty of Waitangi.

Overall, as the effects of the proposal are considered to be less than minor, and the proposal accords with the relevant objectives and policies of the RPS, and the Operative District Plan provisions. Accordingly, it is considered that the proposal will not offend the general resource management principles set out in Part 2 of the Act.

15.0 OTHER MATTERS (SECTION 104(1)(C))

There are no other matters considered relevant to this proposal.

16.0 CONCLUSION

The proposal involves the relocation of an additional dwelling onto the subject site which is located in the Coastal Living Zone. Resource consent is required under the following rules:

Operative Far North District Plan (ODP):

- 10.7.5.1.6 Stormwater Management
- 10.7.5.1.1 Visual Amenity

Based on the assessment of effects above, it is concluded that any potential adverse effects on the existing environment would be no more than minor and can be managed in terms of appropriate conditions of consent.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that the application for resource consent can be granted on a non-notified basis.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 12 February 2026

Appendix A – Site, Floor and Elevation Plans

commercial & industrial development – structural design – residential design – new homes – alterations – extensions – garages

DRAWING SCHEDULE		
Sheet No.	Sheet Name	Rev. No.
1	SCHEDULE OF NOTES-1	None
2	SCHEDULE OF NOTES-2	None
3	SCHEDULE OF NOTES-3	None
A01	SITE PLAN	None
A01.0	CLOSE UP SITE PLAN	None
A01.1	GROUND SUITABILITY TEST	None
A02	EXISTING FLOOR PLAN	None
A02.1	PROPOSED FLOOR PLAN	None
A03	FOUNDATION/BRACING PLAN	None
A03.1	6KN/12KN CONNECTION	None
A03.2	ANCHORPILE DETAIL	None
A03.3	TYPICAL STEP DETAIL-EXTERIOR	None
A04	LINTEL PLAN	None
A04.1	LOAD & NON LOADBEARING DEATIL-TIMBER	None
A04.2	LAPPED OR BUTTED JOINTS IN FLOOR JOISTS	None
A04.3	TYPICAL FLOOR JOIST LAYOUT NZS3604:2011	None
A05	PLUMBING & DRAINAGE LAYOUT	None
A05.1	GULLY TRAP BEDDING DETAILS	None
A05.2	HWC DETAILS	None
A06	WALL BRACING PLAN	None
A06.1	HANDIBRAC DETAIL	None
A07	EXISTING WALL BRACING CALCS	None
A08	WALL BRACING CALCS	None
A09	LINTEL/STUD FIXINGS-TIMBER	None
A10	ELEVATIONS	None
A11	ELEVATIONS	None
A12	RISK MATRIX	None
A13	CROSS SECTION A-A	None
A13.1	ARCHITECTURAL DETAILS A-A	None
A13.2	ARCHITECTURAL DETAILS A-A	None
A14	LONG SECTION 1-1	None
A15	HEAD, HARDIEPLANK D/F CLADDING DETAIL	None
A16	SILL, HARDIEPLANK D/F CLADDING DETAIL	None
A17	JAMB, HARDIEPLANK D/F CLADDING DETAIL	None
A18	BASE, HARDIEPLANK D/F CLADDING DETAIL	None
A19	CLADDING PENETRATION DETAIL	None
A20	DOOR SCHEDULE	None
M02	BEDDING AND BACKFILLING	None
M03	WATER FILTRATION DEVICE	None
M04	WATER ATTENUATION	None
M05	STUD-PLATE FIXING	None
M06	STUD-PLATE FIXING	None
M07	FIXING TYPE & CAPACITY	None
M08	MITEK LINTEL/STUD FIXINGS	None
M09	MITEK-OPTIONAL STUDLOCK LINTEL FIXINGS	None
M10	MITEK-OPTIONAL STUDLOCK LINTEL FIXINGS	None
M11	DEKTITE DETAIL	None
WC01	GIB INSTALLTION DETAILS	None
WC02	GIB INSTALLTION DETAILS	None
WC03	GIB INSTALLTION DETAILS	None
WC04	ECOPLY INSTALLTION DETAILS	None
WC05	TRIBOARD INSTALLTION DETAILS	None

Proposed Relocation of Dwelling

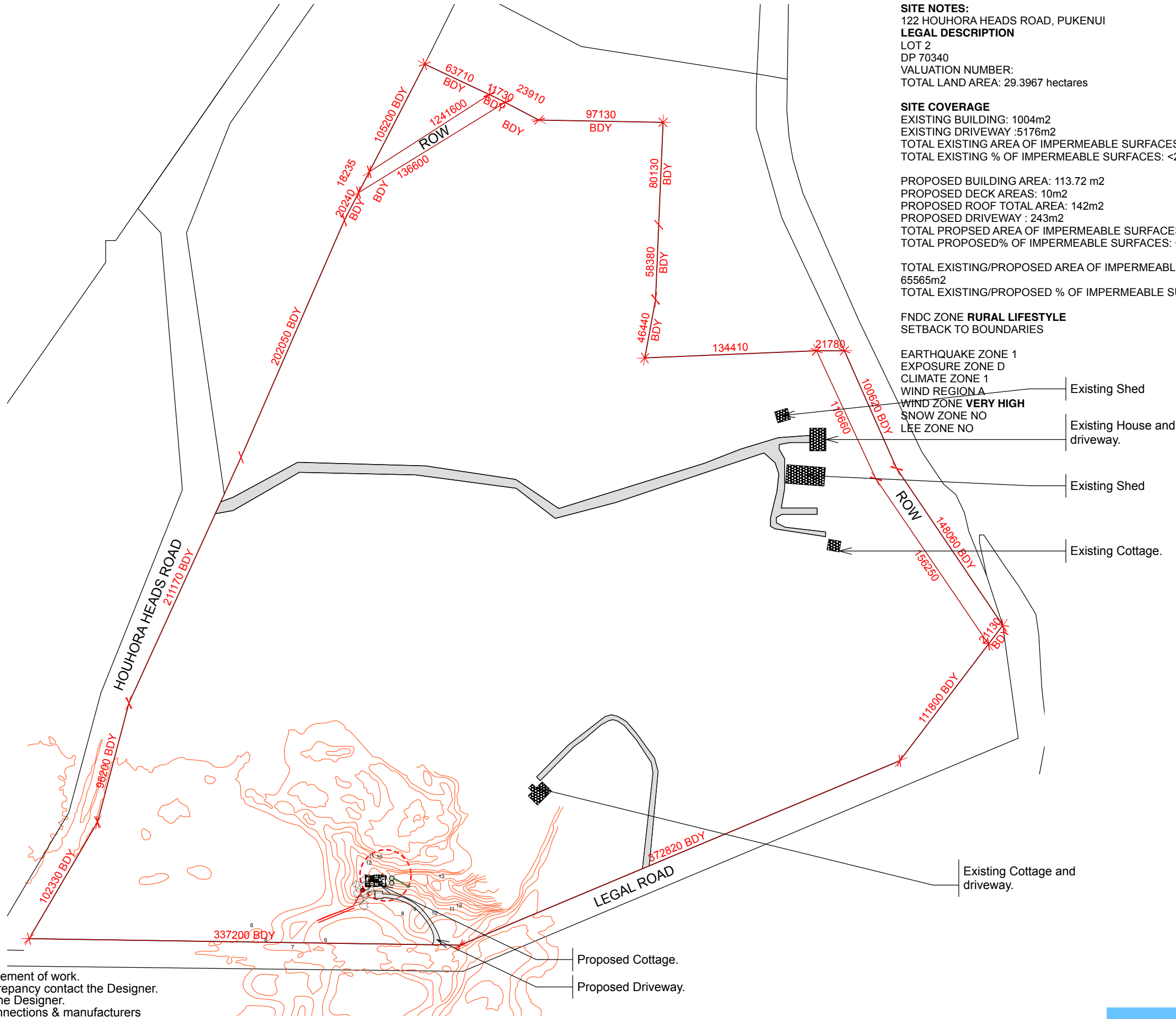
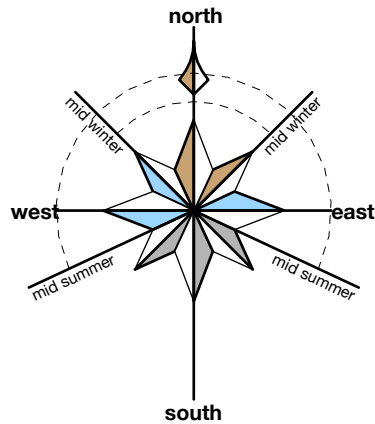
For

H & L Adams

122 Houhora Heads Road, Pukenui



DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



SITE NOTES:
122 HOUHORA HEADS ROAD, PUKENUI
LEGAL DESCRIPTION
LOT 2
DP 70340
VALUATION NUMBER:
TOTAL LAND AREA: 29.3967 hectares

SITE COVERAGE
EXISTING BUILDING: 1004m2
EXISTING DRIVEWAY :5176m2
TOTAL EXISTING AREA OF IMPERMEABLE SURFACES: 6180m2
TOTAL EXISTING % OF IMPERMEABLE SURFACES: <2%

PROPOSED BUILDING AREA: 113.72 m2
PROPOSED DECK AREAS: 10m2
PROPOSED ROOF TOTAL AREA: 142m2
PROPOSED DRIVEWAY : 243m2
TOTAL PROPOSED AREA OF IMPERMEABLE SURFACES: 385m2
TOTAL PROPOSED% OF IMPERMEABLE SURFACES: <1%

TOTAL EXISTING/PROPOSED AREA OF IMPERMEABLE SURFACES:
65565m2
TOTAL EXISTING/PROPOSED % OF IMPERMEABLE SURFACES: <3%

FNDC ZONE RURAL LIFESTYLE
SETBACK TO BOUNDARIES

EARTHQUAKE ZONE 1
EXPOSURE ZONE D
CLIMATE ZONE 1
WIND REGION A
WIND ZONE **VERY HIGH**
SNOW ZONE NO
LEE ZONE NO

Existing Shed

Existing House and driveway.

Existing Shed

Existing Cottage.

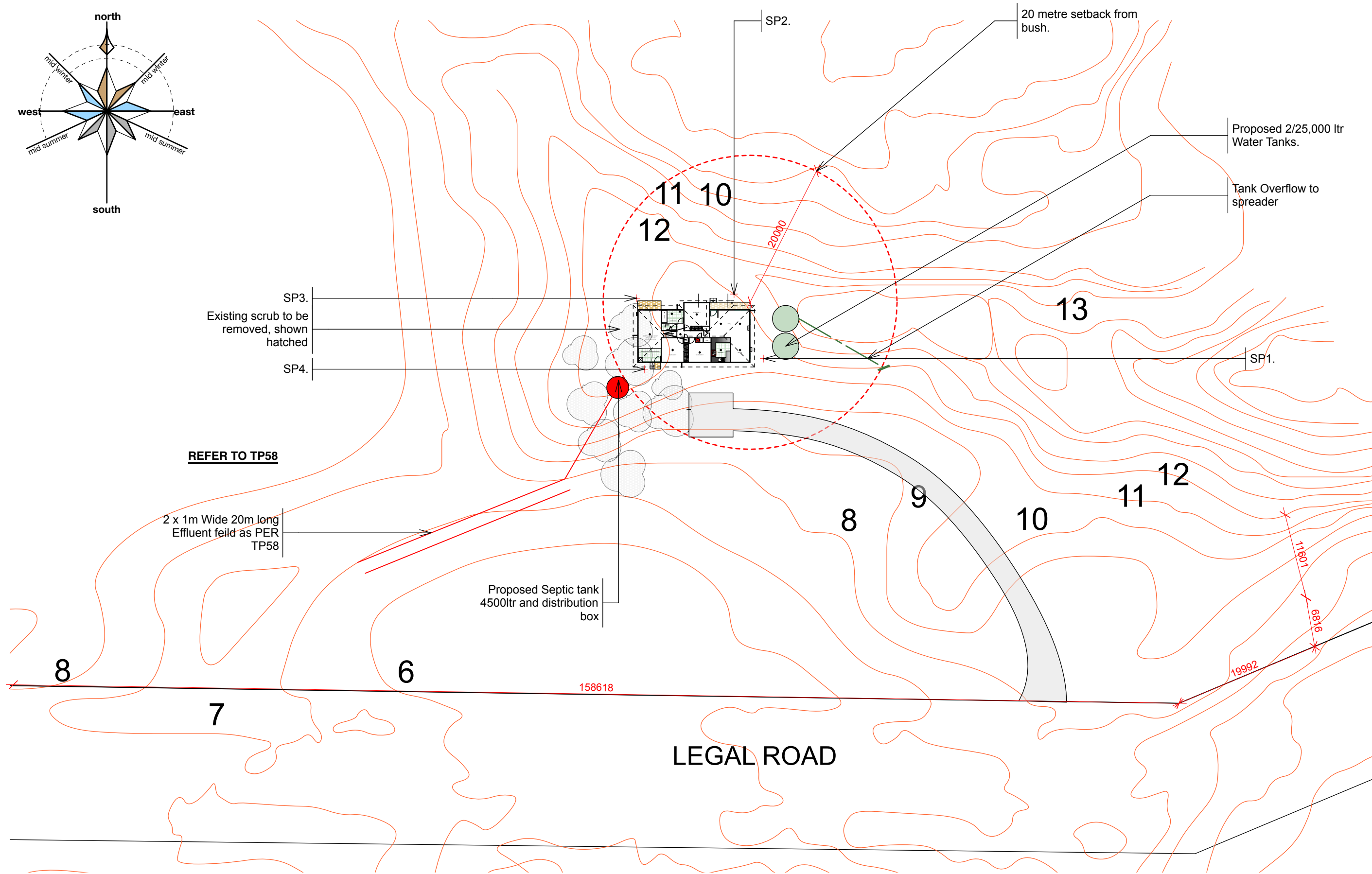
All dimensions to be checked on site prior to commencement of work.
Work only to figured dimensions, in the event of a discrepancy contact the Designer.
Do not change any details without prior consent from the Designer.
Building Contractor to check all levels, dimensions, connections & manufacturers specifications before beginning or manufacturing any work to ensure that all materials & labour necessary to complete the project has been allowed for, whether inferred, drawn on plans or not.
Liability will not be accepted by Designer for any materials or labour not shown on drawings or required by council or during construction.
Beard Online Architecture 106 Arawhata Road Kaingaroa 0483 E: beardarc48@gmail.com
D M Beard Structural LTD Doug: 022 454 9863 Tyler: 021 247 7232 Kirsty: 022 167 9900

CLIENT:	H & L Adams				PROJECT #	LA-1225
PROJECT:	122 Houhora Heads Road, Pukenui				DATE #	16/12/2025
DWG	SITE PLAN				SCALE @ A3	1:3000
					DRAWN	KB/TB/DB
					CHKD	KB/TB/DB
					DWG #	A01



REVISION AMENDMENTS

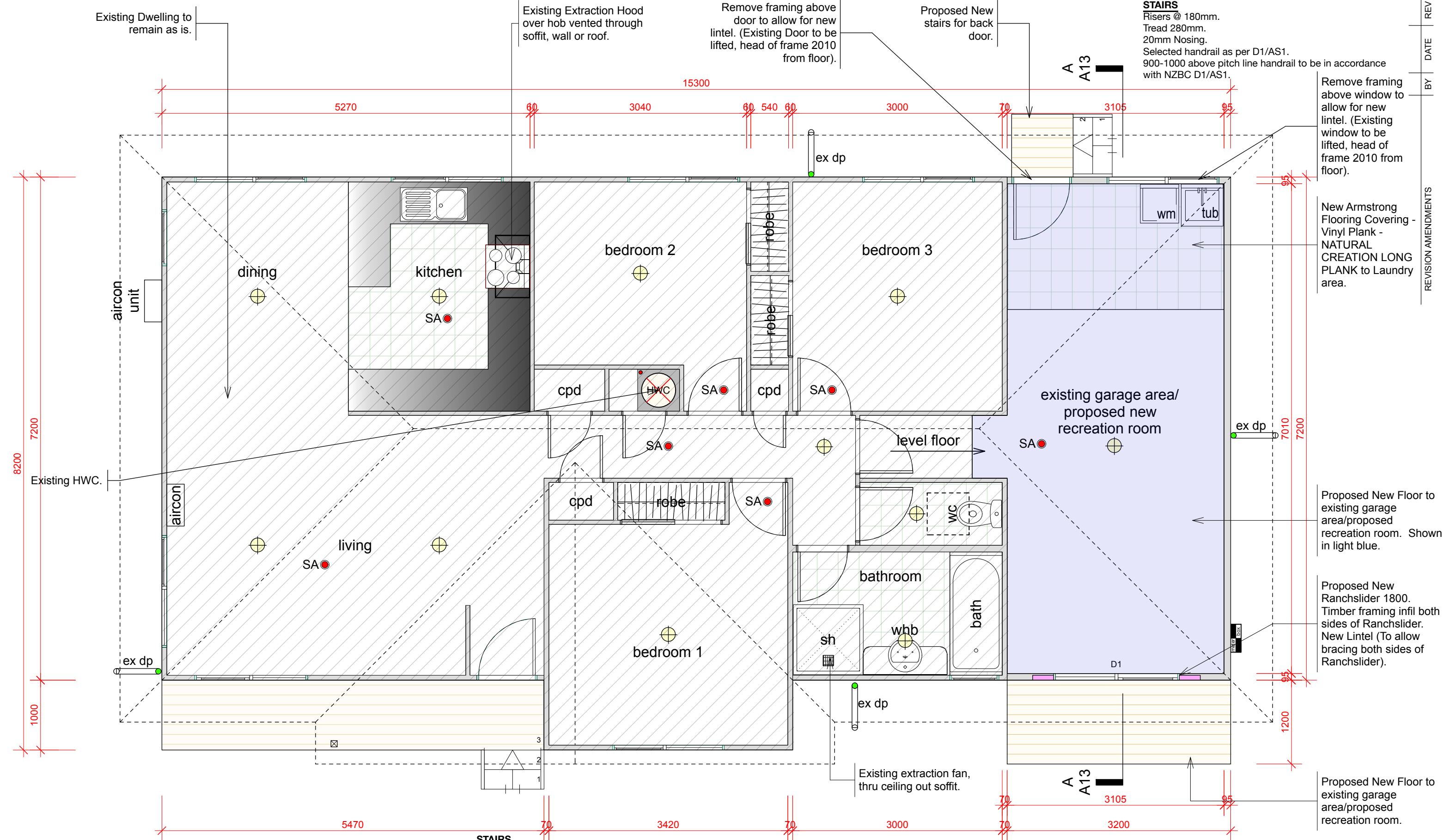
BY DATE REV



CLIENT:	H & L Adams		PROJECT #	LA-1225
PROJECT:	122 Houhora Heads Road, Pukenui		DATE #	09/12/2025
			SCALE @ A3	1:750
DWG	CLOSE UP SITE PLAN		DRAWN	KB/TB/DB
			CHKD	KB/TB/DB
			DWG #	A01.0



DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



Interconnected Smoke Alarms
Refer to NZS 4514:2021
The location of Interconnected Smoke Alarms shall be as follows;
a). Smoke alarms shall be located on or near the ceilings;
b). Smoke Alarms shall be located in all bedrooms, living spaces, hallways, and landings within the building;
c). Where a kitchen is separated from the living spaces and hallways by doors that can be closed, an alarm specified by it's manufacturer as suitable for a kitchen shall be located in the kitchen. This may be a heat alarm to avoid nuisance activations;
d). In a multi-level household unit, there shall be at least one smoke alarm on each level; and
e). Where more than one smoke alarm is needed to meet the requirements of this standard, these smoke alarms shall all be interconnected so that when one activates, all smoke alarm devices in the household unit will sound.

STAIRS
Risers @ 180mm.
Tread 280mm.
20mm Nosing.
Selected handrail as per D1/AS1.
900-1000 above pitch line handrail to be in accordance with NZBC D1/AS1.

FLOOR PLAN NOTES
Contractor is to check all dimensions on site before commencing work.
All dimensions to timber framing not finished room sizes.
All framing & bottom plates to be H1.2 treated unless specified otherwise.
All structural timber has been designed using SG8 timber unless otherwise specified.
See foundation plan for loaded bearings walls.

REFER TO BRACING PLAN FOR WALL FRAMING MANUFACTURING PLEASE ALLOW FOR GIB HANDIBRACS FOR BRACING WIDTHS AS NOTED

CLIENT:	H & L Adams	PROJECT #	LA-1225
PROJECT:	122 Houhora Heads Road, Pukenui	DATE #	08/12/2025
DWG	PROPOSED FLOOR PLAN	SCALE @ A3	1:50
		DRAWN	KB/TB/DB
		CHKD	KB/TB/DB
		DWG #	A02.1



DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

TABLE 3.31 MAXIMUM FIXTURE UNIT LOADING FOR VENTED DRAINS							
Grade %	Nominal Size of Drain DN						
	65 (see Note 1)	80	100	125	150	225	300
5.00	60	215	515	1450	2920	11900	26900
3.35	36	140	345	1040	2200	9490	21800
2.50	25	100	255	815	1790	8060	18700
2.00	x	76	205	665	1510	7090	16600
1.65	x	61	165	560	1310	6370	15000
1.45	x	(50)	(140)	485	1160	5810	13900
1.25	x	(42)	(120)	425	1040	5360	12900
1.10	x	x	x	(380)	935	4970	12100
1.00	x	x	x	(340)	855	4500	11400
0.85	x	x	x	x	(725)	3850	10300
0.65	x	x	x	x	(595)	3250	9090
0.50	x	x	x	x	x	x	7720
0.40	x	x	x	x	x	x	6780
NOTES: 1) DN65 Drains may be used as branch drains only, provided no soil fixtures (except urinals) are connected thereto. 2) "x" indicates that the combination of nominal size and grade is not acceptable. 3) Figures in parentheses are the maximum fixture unit loadings for drains laid at reduced grades in accordance with clause 3.4.2. 4) The regulatory authority may prescribe or approve the sizing and grading of any drain on the basis of the observed peak flows for the building of similar occupancy in lieu of the size determined as prescribed in this standard.							

3.3.2 Main Drain
The minimum size of the main drain shall be **DN100**

TABLE 3.10.2 SIZE OF UNVENTED DRAINS	
Size of pipe DN	Maximum fixture unit loading
65	5 Fixture units (excluding a water closet pan or slop hopper); or 10 fixture units from one floor waste gully
80	10 Fixture units (including not more than one water closet pan or slop hopper)
100	30 Fixture units (including not more than two water closet pan or 2 slop hopper)

TABLE 3.4.1 MINIMUM GRADE OF DRAINS	
Nominal Size DN	Minimum Grade %
65	2.50
80	1.65
100	1.65*
125	1.25
150	1.00
225	0.65
300	0.45

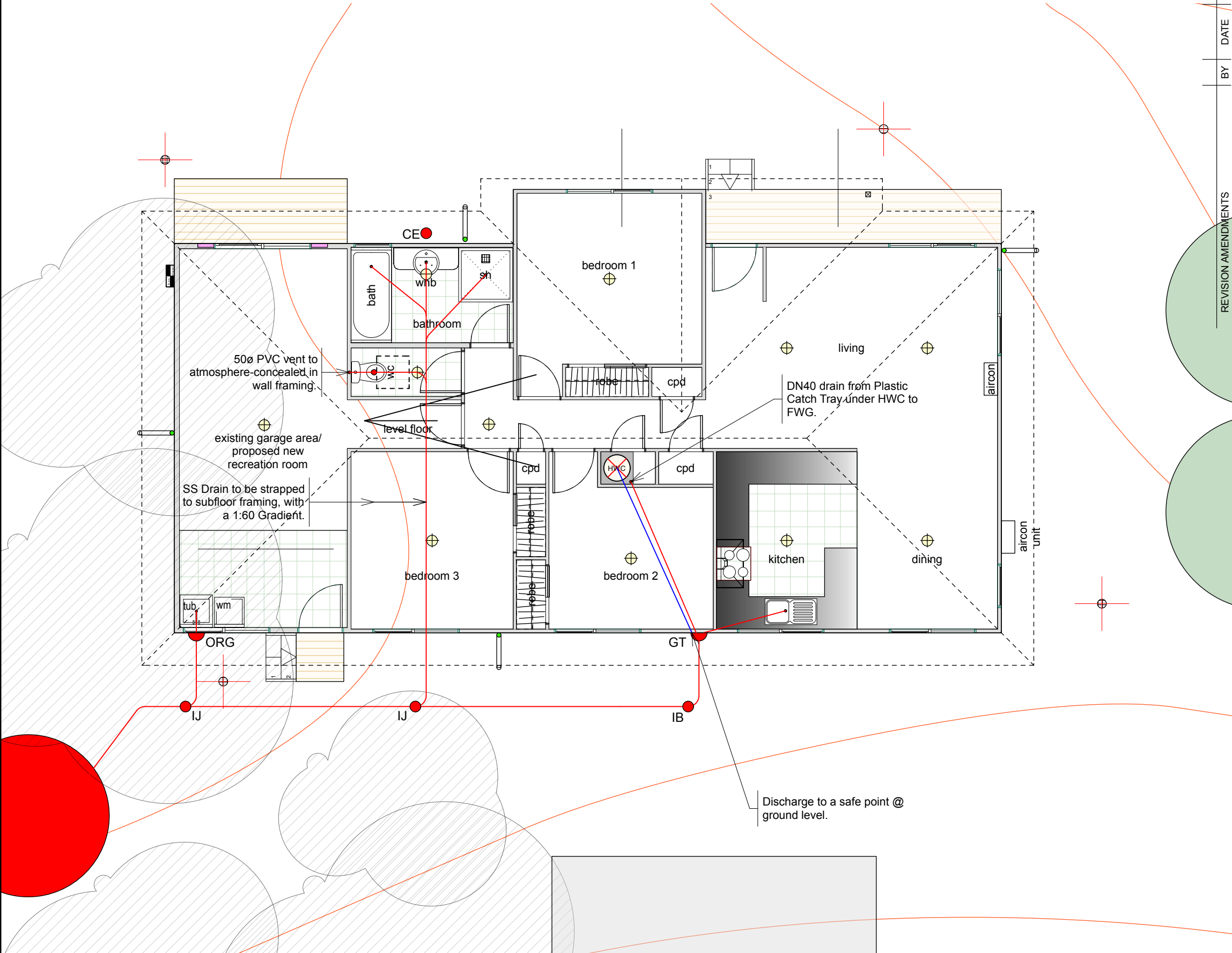
* Except for drains from septic tanks, sewage treatment plants and unvented discharge pipes from tundishes, which may have a minimum grade of 1.00%

TABLE 3.4.2 MINIMUM FIXTURE UNIT LOADINGS FOR REDUCED GRADE DRAINS				
Reduced grade %	Nominal size of drain, DN			
	80	100	125	150
1.45	9	10	-	-
1.25	10	18	-	-
1.10	x	x	27	-
1.00	x	x	38	-
0.85	x	x	x	75
0.65	x	x	x	160

NOTES:
1) "x" indicates that the combination of nominal size and grade is not acceptable.
2) "-" indicates that the grade is acceptable by Table 3.4.1 for the size (i.e not reduced grade)
3) Appendix C provides a table conversion of grades as a percentage to grades as a ratio.

Sanitary Waste Pipe Size:
Wash Baisins **DN32**
Showers, Baths, Tubs, Sinks **DN40**
1:20 for 32 mm pipes; 1:40 for pipes 65 mm diameter and under;
1:60 for pipes 100 mm diameter and under.

AS/NZS 3500.1. 2015 for cold water, AS/NZS 3500.2. 2015 AND G13/AS1 for foul water and AS/NZS 3500.4.2015 for hot water.



CLIENT: H & L Adams		PROJECT # LA-1225	
PROJECT: 122 Houhora Heads Road, Pukenui		DATE # 16/12/2025	DWG #
DWG PLUMBING & DRAINAGE LAYOUT		SCALE @ A3 1:75	
		DRAWN KB/TB/DB	
		CHKD KB/TB/DB	



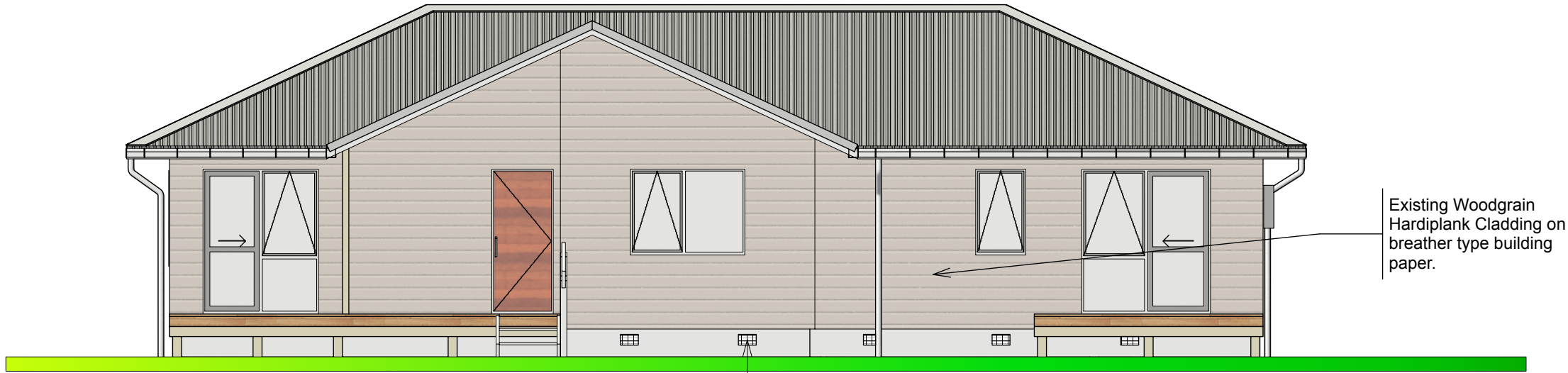
REVISION AMENDMENTS

BY

DATE

REV

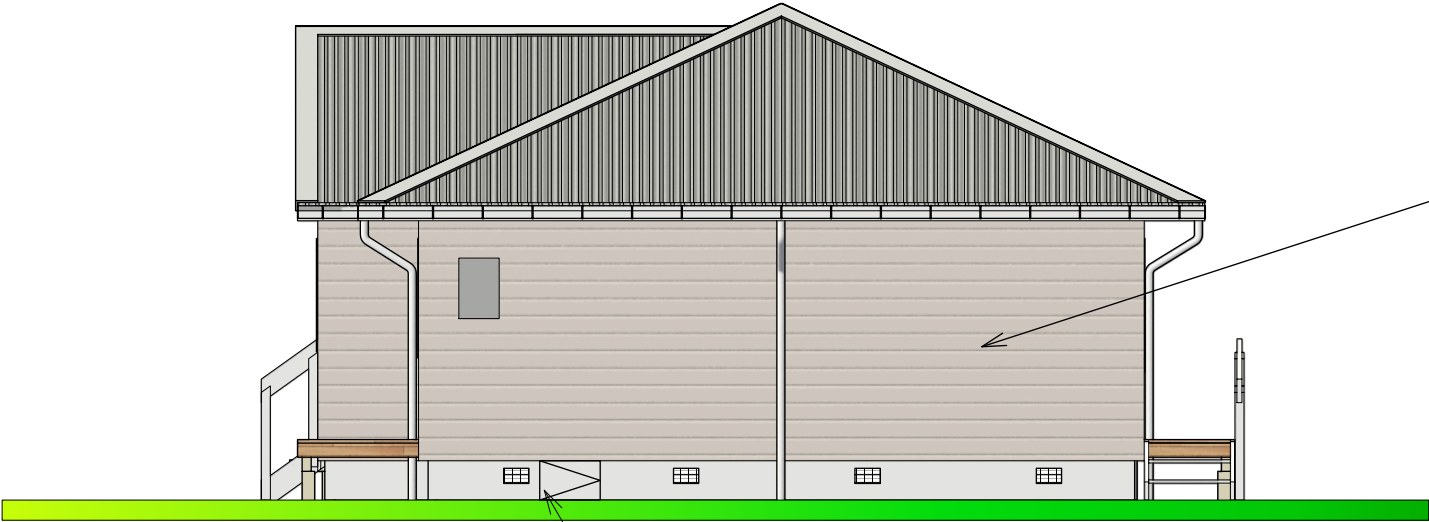
DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



North Wall	Risk Severity				Sub Totals	
	Low	Medium	High	Very High		
Wind Zone	0	0	1		2	2
Number of Storeys	0	1	2		4	0
Roof/Wall junctions	0	1	3		5	0
Eave width	0	1	2		5	0
Envelope complexity	0	1	3		6	0
Decks	0	2	4		6	0
				Total Risk Factor		2

A NORTH
WALL ELEVATION

6 Hardiflex base cladding to be installed as specified by the manufacturer. Base vents 750 from corners and @ 1800 crs.



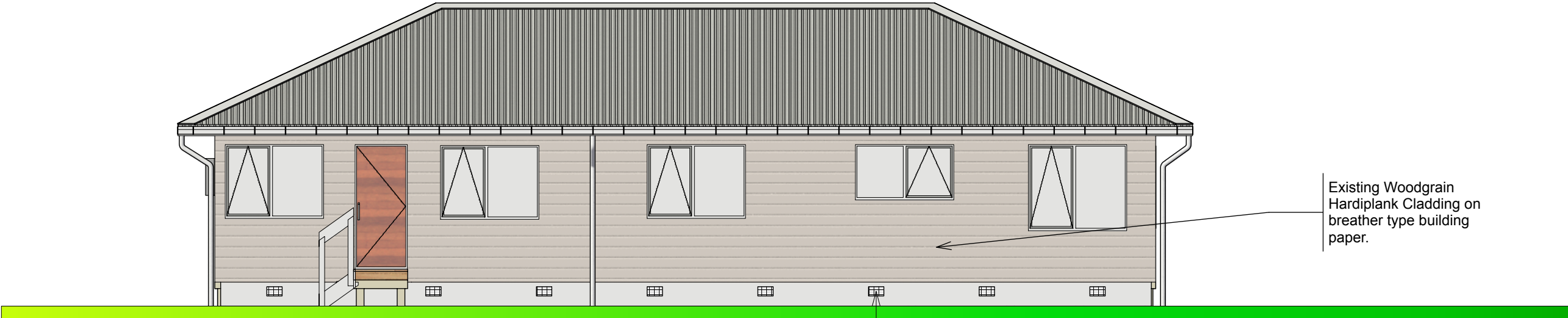
West Wall	Risk Severity				Sub Totals	
	Low	Medium	High	Very High		
Wind Zone	0	0	1		2	2
Number of Storeys	0	1	2		4	0
Roof/Wall junctions	0	1	3		5	0
Eave width	0	1	2		5	0
Envelope complexity	0	1	3		6	0
Decks	0	2	4		6	0
				Total Risk Factor		2

B WEST
WALL ELEVATION

600 x 600 access door.

DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

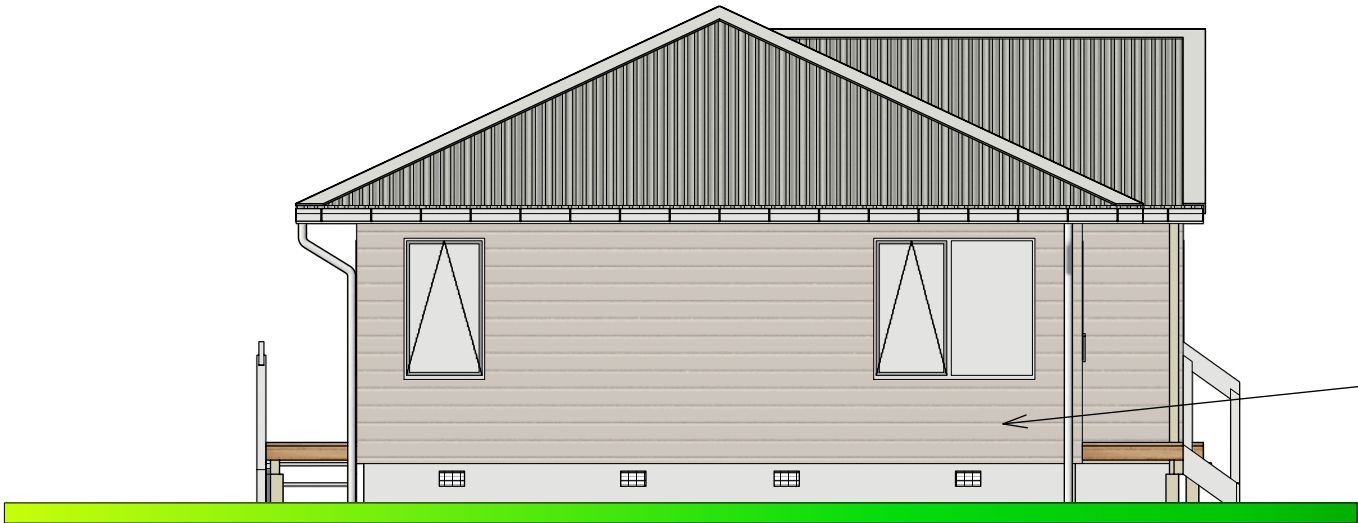
REVISION AMENDMENTS	BY	DATE	REV
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South Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	2
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	0
Envelope complexity	0	1	3	6	0
Decks	0	2	4	6	0
				Total Risk Factor	2

C SOUTH
WALL ELEVATION

6 Hardiflex base cladding to be installed as specified by the manufacturer. Base vents 750 from corners and @ 1800 crs.



East Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	2
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	0
Envelope complexity	0	1	3	6	0
Decks	0	2	4	6	0
				Total Risk Factor	2

D EAST
WALL ELEVATION

Existing Woodgrain Hardiplank Cladding on breather type building paper.

CLIENT:	H & L Adams	PROJECT #	LA-1225
PROJECT:	122 Houhora Heads Road, Pukenui	DATE #	16/12/2025
DWG	ELEVATIONS	SCALE @ A3	1:75
		DRAWN	KB/TB/DB
		CHKD	KB/TB/DB

Appendix B – Certificate of Title and Interests



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

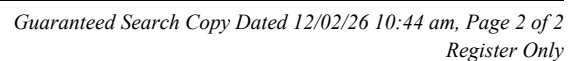
Identifier **NA27A/358**
Land Registration District **North Auckland**
Date Issued 24 October 1973

Prior References
NA2D/1455

Estate Fee Simple
Area 29.3967 hectares more or less
Legal Description Lot 2 Deposited Plan 70340
Registered Owners
Herbert Wayne Adams and Lynette Mary Adams

Interests

Subject to a right of way over parts marked A and B on DP 70340 specified in Easement Certificate 275139 - 22.1.1974 at 2.41 pm



Appendix C – TP58 & Stormwater Report

TP58 & TP10
H & L Adams
On Site Waste Water Evaluation
Design
And Attenuation Assessment
January 2026



60m

1,613,304.486 6,145,598.124 Meters



Soft Sand Road

Effluent Field
2 x 1m wide by 20m long

distribution box

4500l septic
Tank

100mm uPVC

single pipe
system

Drive Hand stand

septic tank

Schematic View

single pipe 100mm
uPVC to ASNZS 1260

tv

rog

ib

ij

is

gb

Notes:

- All works to conform to ASNZS 3500
- All materials to conform to ASNZS 1260
- All septic works to be no closer than 1.5m off any boundary
- Septic tank to be fitted with FAI & BIO
- All falls to septic tank to be no less than 1:60
- Effluent field to be laid level across the contour

H Adams Soft Sand Road Houhora Schematic - Septic & Stormwater

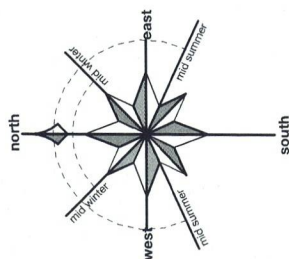
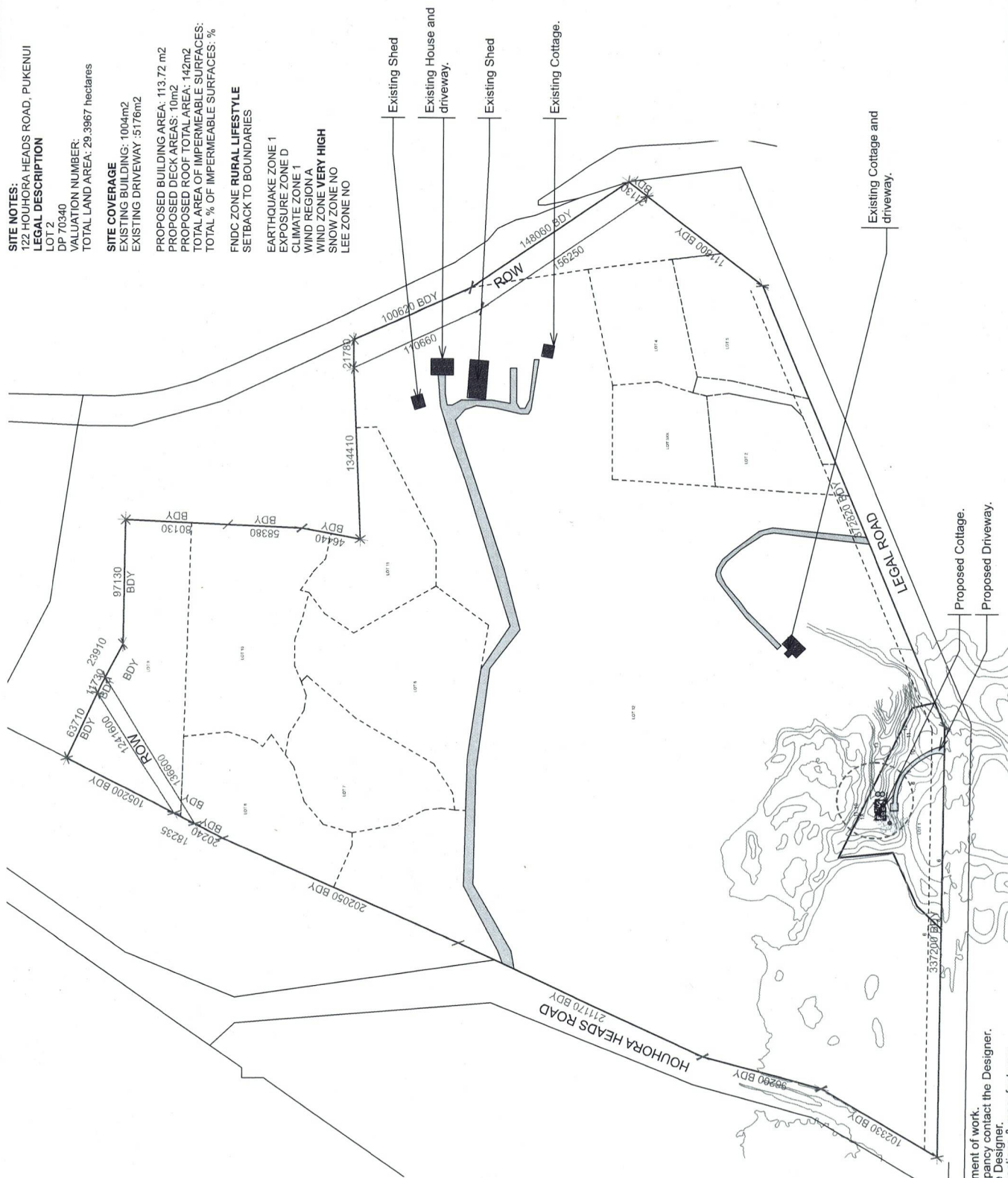
SITE NOTES:
122 HOUHORA HEADS ROAD, PUKENUI
LEGAL DESCRIPTION
LOT 2
DP 70340
VALUATION NUMBER:
TOTAL LAND AREA: 29.3967 hectares

SITE COVERAGE
EXISTING BUILDING: 1004m²
EXISTING DRIVEWAY :5176m²

PROPOSED BUILDING AREA: 113.72 m2
 PROPOSED DECK AREAS: 10m2
 PROPOSED ROOF TOTAL AREA: 142m2
 TOTAL AREA OF IMPERMEABLE SURFACES:
 TOTAL % OF IMPERMEABLE SURFACES: %

**FNDC ZONE RURAL LIFESTYLE
SETBACK TO BOUNDARIES**

EARTHQUAKE ZONE 1
EXPOSURE ZONE D
CLIMATE ZONE 1
WIND REGION A
WIND ZONE **VERY HIGH**
SNOW ZONE NO
LEE ZONE NO



All dimensions to be checked on site prior to commencement of work.
Work only to figured dimensions, in the event of a discrepancy contact the Designer.
Do not change any details without prior consent from the Designer.
Building Contractor to check all levels, dimensions, connections & manufacturers specifications before beginning or manufacturing any work to ensure that all materials & labour necessary to complete the project has been allowed for, whether inferred, drawn on plans or not.
Liability will not be accepted by Designer for any materials or labour not shown on drawings or required by council or during construction.

CLIENT: **H & L Adams**

PROJECT: 122 Houhora Heads Road, Pukenui

SITE PLAN

PROJECT #
LA 1325

DWG #

A01



PRODUCER STATEMENT

DESIGN: ON-SITE EFFLUENT DISPOSAL SYSTEMS (T.P.58)

ISSUED BY:.....*Eric Wagener*..... (approved qualified design professional)

TO:.....*H & L Adams*.....

TO BE SUPPLIED TO:*Far North District Council*.....

PROPERTY LOCATION: *Soft Sand Road (Houhora Heads Road)*.....

LEGAL DESCRIPTION*Lot 2 DP 70340*

TO PROVIDE : Design an on-site effluent disposal system in accordance with Technical paper 58 and provide a schedule to the owner for the systems maintenance.

THE DESIGN: Has been in accordance with G13 (Foul Water) G14 (Industrial Liquid Waste) B2 (durability 15 years) of the Building Regulations 1992.

As an independent approved design professional covered by a current policy of Professional Indemnity

Insurance (Design) to a minimum value of \$200,000.00, I BELIEVE ON REASONABLE GROUNDS that subject to:

- (1) The site verification of the soil types.
- (2) All proprietary products met the performance requirements.

The proposed design will met the relevant provisions of the Building Code and 5.3.11 of The Far North District Council Engineering Standards.

.....*[Signature]*..... (Signature of approved design professional)

.....*Certifying Registered Drainlayer*..... (Professional qualifications)

.....*05877*..... (Licence Number or professional Registration number)

Address*3778 Far North Rd, RD4 Kaitaia*.....

Phone Number.....*09 4098 854*.....

Fax Number

Cell Phone*0274 885 584*.....

Date*9/1/2026*.....

Note: This form is to accompany every application for a Building Consent incorporating a T.P.58. Approval as a design professional is at Councils discretion.

On-site Wastewater Disposal Site Evaluation Investigation Checklist

FAR NORTH DISTRICT COUNCIL

Appendix E

TP58

On-site Wastewater Disposal Site Evaluation Investigation Checklist

Part A –Owners Details

1. Applicant Details:

Applicant Name	Herbie & Lynne Adams		
Company Name			
Property Owner Name(s)	First Name(s)	Surname	
	Herbie & Lynne	Adams	
Nature of Applicant*	Owner		

(*i.e. Owner, Leasee, Prospective Purchaser, Developer)

2. Consultant / Site Evaluator Details:

Consultant/Agent Name	Eric Wagener & Robert Wagener		
Site Evaluator Name			
Postal Address	3778 Far North Rd RD4 Kaitaia		
Phone Number	Business	094098854	Private
	Mobile	0274885584	Fax
Name of Contact Person	Eric Wagener		
E-mail Address	ewagener@xtra.co.nz		

3. Are there any previous existing discharge consents relating to this proposal or other waste discharge on this site?

Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
-----	-------------------------------------	----	--------------------------

 (Please tick)

If yes give Reference Numbers and Description	
Property has other development with accredited septic tank systems	

4. List any other consent in relation to this proposal site and indicate whether or not they have been applied for or granted

If so, specify Application Details and Consent No.

(eg. LandUse, Water Take, Subdivision, Earthworks Stormwater Consent)

See CT

Part B- Property Details

1. Property for which this application relates:

Physical Address of Property	122 Houhora Heads Road
Territorial Local Authority	FAR NORTH DISTRICT COUNCIL
Regional Council	NORTHLAND REGIONAL COUNCIL
Legal Status of Activity	Permitted: Controlled: Discretionary:
Relevant Regional Rule(s) (Note 1)	
Total Property Area (m ²)	29.3967m2
Map Grid Reference of Property If Known	

2. Legal description of land (as shown on Certificate of Title)

Lot No. 2		DP No.	70340	CT No.	
Other (specify)					

Please ensure copy of Certificate of Title is attached

PART C: Site Assessment - Surface Evaluation

(Refer TP58 - Sn 5.1 General Purpose of Site Evaluation and Sn 5.2.2(a) Site Surface Evaluation)

Note: Underlined terms defined in Table 1, attached

Has a relevant property history study been conducted?

Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>
-----	-------------------------------------	----	--------------------------

 (Please tick one)

If yes, please specify the findings of the history study, and if not please specify why this was not considered necessary.

There are no HAIL issues listed. The property has been Rural lifestyle for many years. There are no known recorded hazards. The planned development is on a machine graded platform on top of a consolidated dune structure

1. Has a Slope Stability Assessment been carried out on the property?

Yes		No	<input checked="" type="checkbox"/>
-----	--	----	-------------------------------------

 Please tick

If No, why not?

There are no signs of stability problems.

If Yes, please give details of report (and if possible, please attach report):

Author	
Company/Agency	
Date of Report	
Brief Description of Report Findings:-	

2. Site Characteristics (See Table 1 attached):

Provide descriptive details below:

Performance of Adjacent Systems:*The area has no disposal issues effluent is designed to be disposed into Pinaki Sands***Estimated Rainfall and Seasonal Variation:**Information available from **N.I.W.A MET RESEARCH***1100-1350mm/yr***Vegetation / Tree Cover:***Grass some TiTree***Slope Shape: (Please provide diagrams)***About 5 degrees at effluent site***Slope Angle:***Slope 5 degrees***Surface Water Drainage Characteristics:***Surface water will be alleviated by the natural contour of the land.the land generally has a high absorption ratio***Flooding Potential: YES/NO***It Is remote from any flood plane*

If yes, specify relevant flood levels on appended site plan, I.e. one in 5 years and/or 20 year and/or 100 year return period flood level, relative to disposal area.

Surface Water Separation:*+30m***Site Characteristics: or any other limitation influencing factors**

3. Site Geology Check Rock Maps

There are two soil types listed in the soil maps. Pinaki sand the predominate

Geological Map Reference Number NZMS 290

4. What Aspect(s) does the proposed disposal system face? (please tick)

North		West	
North-West		South-West	
North-East		South-East	X
East		South	

5. Site clearances,(Indicate on site plan where relevant)

Separation Distance from	Treatment Separation Distance (m)	Disposal Field Separation Distance (m)
Boundaries	+15m	Check Council requirements +15m
Surface water, rivers creeks, drains etc	+20m	+20m
Groundwater	+ 1.2m	+ 1.200m
Stands of Trees/Shrubs	+5m	+20m
Wells, water bores	N/A	N/A
Embankments/retaining walls	N/A	N/A
Buildings	+3m	+3m
Other (specify):	N/A	N/A

PART D: Site Assessment - Subsoil Investigation

(Refer TP58 - Sn 5.1 General Purpose of Site Evaluation, and Sn 5.2.2(a) Site Surface Evaluation and Sn 5.3 Subsurface Investigations)

Note: Underlined terms defined in Table 2, attached

1. Please identify the soil profile determination method:

Test Pit		Depth_____m	No of Test Pits	
Bore Hole		Depth___1.6___m	No of Bore Holes	2
Other (specify):				

Soil Report attached?

Yes ☒ No ☐ Please tick

2. Was fill material intercepted during the subsoil investigation?

Yes ☐ No ☒ Please tick

If yes, please specify the effect of the fill on wastewater disposal

3. Percolation testing (mandatory and site specific for trenches in soil type 4 to 7)

Please specify the method
Constant Head ksat

Test Report Attached?	Yes	<input checked="" type="checkbox"/>	No	<input type="checkbox"/>	Please tick
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4. Are surface water interception/diversion drains required?

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>	Please tick
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If yes, please show on site plan

4a Are subsurface drains required

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
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If yes enter details

5. Please state the depth of the seasonal water table:

Winter	<i>Not found</i>	Measured	<input type="checkbox"/>	Estimated	<input checked="" type="checkbox"/>
Summer	<i>Not found</i>	Measured	<input type="checkbox"/>	Estimated	<input checked="" type="checkbox"/>

6. Are there any potential storm water short circuit paths?

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>	Please tick
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If the answer is yes, please explain how these have been addressed

7. Based on results of subsoil investigation above, please indicate the disposal field soil category (Refer TP58 Table 5.1)

Is Topsoil Present?	<i>Yes</i>	If so, Topsoil Depth? (m)	<i>70mm</i>
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Soil Category	Description	Drainage	Tick One
1	Gravel, coarse sand	Rapid draining	<input type="checkbox"/>
2	Coarse to medium sand	Free draining	<input type="checkbox"/>
3	Medium-fine & loamy sand	Good drainage	<input checked="" type="checkbox"/>
4	Sandy loam, loam & silt loam	Moderate drainage	<input type="checkbox"/>
5	Sandy clay-loam, clay-loam & silty clay-loam	Moderate to slow drainage	<input type="checkbox"/>
6	Sandy clay, non-swelling clay & silty clay	Slow draining	<input type="checkbox"/>
7	Swelling clay, grey clay, hardpan	Poorly or non-draining	<input type="checkbox"/>

Reasons for placing in stated category

<i>Onsite soil tests put this soil into category 2>3</i>
<i>Category was corroborated by soil maps.</i>

PART E: Discharge Details

1. Water supply source for the property (please tick):

Rainwater (roof collection)	<input checked="" type="checkbox"/>
Bore/well	<input type="checkbox"/>
Public supply	<input type="checkbox"/>

**2. Calculate the maximum daily volume of wastewater to be discharged, unless accurate water meter readings are available
(Refer TP58 Table 6.1 and 6.2)**

Number of Bedrooms	3 bedrooms	
Design Occupancy	5	(Number of People)
Per capita Wastewater Production	160	(Litres per person per day)
Other – specify		
Total Daily Wastewater Production	800	(Litres per day)

3. Do any special conditions apply regarding water saving devices

a) Full Water Conservation Devices?	Yes		No	<input checked="" type="checkbox"/>	(Please tick)
b) Water Recycling - what %?		%			(Please tick)

If you have answered yes, please state what conditions apply and include the estimated reduction in water usage

4. Is Daily Wastewater Discharge Volume more than 2000 litres:

Yes		(Please tick)
No	<input checked="" type="checkbox"/>	(Please tick)

Note if answer to the above is yes, an N.R.C wastewater discharge permit may be required

5. Gross Lot Area to Discharge Ratio:

Gross Lot Area	293967	m ²
Total Daily Wastewater Production	800	(Litres per day)(from above)
Lot Area to Discharge Ratio	36	

7. Does this proposal comply with the Northland Regional Council Gross Lot Area to Discharge Ratio of greater than 3?

Yes	<input checked="" type="checkbox"/>	No		(Please tick)
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8. Is a Northland Regional Council Discharge Consent Required?

Yes		No	<input checked="" type="checkbox"/>	(Please tick)
-----	--	----	-------------------------------------	---------------

PART F: Primary Treatment (Refer TP58 Section 7.2)

1. Please indicate below the no. and capacity (litres) of all septic tanks including type (single/dual chamber grease traps) to be installed or currently existing: If not 4500 litre, dual chamber explain why not

Number of Tanks	Type of Tank	Capacity of Tank (Litres)
1	Concrete	4500L

	Total Capacity	4500L

2. Type of Septic Tank Outlet Filter to be installed?

Biofilter

PART G: Secondary and Tertiary Treatment

(Refer TP58 Section 7.3, 7.4, 7.5 and 7.6)

1. Please indicate the type of additional treatment, if any, proposed to be installed in the system: (please tick)

Secondary Treatment	
Home aeration plant	
Commercial aeration plant	
Intermediate sand filter	
Recirculating sand filter	
Recirculating textile filter	
Clarification tank	
Tertiary Treatment	
Ultraviolet disinfection	
Chlorination	
Other	Specify

PART H: Land Disposal Method

(Refer TP58 Section 8)

1. Please indicate the proposed loading method: (please tick)

Gravity	<input checked="" type="checkbox"/>
Dosing Siphon	<input type="checkbox"/>
Pump	<input type="checkbox"/>

2. High water level alarm to be installed in pump chambers

Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>
-----	--------------------------	----	-------------------------------------

If not to be installed, explain why

3. If a pump is being used, please provide the following information:

Total Design Head		(m)
Pump Chamber Volume		(Litres)
Emergency Storage Volume		(Litres)

4. Please identify the type(s) of land disposal method proposed for this site: (please tick)

(Refer TP58 Sections 9 and 10)

Surface Dripper Irrigation	
Sub-surface Dripper irrigation	
Standard Trench	x
Deep Trench	
Mound	
Conventional bed	
Other Wide Trench	

Specify

As per design

5. Please identify the loadin rate you propose for the option selected in Part H, Section 4 above, stating the reasons for selecting this loading rate:

Loading Rate	Ksat 20		(Litres/m ² /day)
Disposal Area	Design	40	(m ²)
	Reserve	40	(m ²)

Explanation (Refer TP58 Sections 9 and 10)

This is in line with TP58 for cat 3 soils.

6. What is the available reserve wastewater disposal area (Refer TP58 Table 5.3)

Reserve Disposal Area (m ²)	40
percentage of Primary Disposal Area (%)	100%

7. Please provide a detailed description of the design and dimensions of the disposal field and attach a detailed plan of the field relative to the property site:

Description and Dimensions of Disposal Field:

See Design Site Plan
Total basal area required is 40m ²

Plan Attached?	Yes	√	No	
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If not, explain why not

PART I: Maintenance & Management

(Refer TP58 Section 12.2)

1. Has a maintenance agreement been made with the treatment and disposal system suppliers?

Yes		No	<input checked="" type="checkbox"/>
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(Please tick)

Name of Suppliers

--

PART J: Assessment of Environmental Effects

1. Is an assessment of environmental effects (AEE) included with application?

(Refer TP58 section 5. Ensure all issues concerning potential effects addressed)

Yes	<input checked="" type="checkbox"/>	No	
-----	-------------------------------------	----	--

(Please tick)

If Yes, list and explain possible effects

Nil

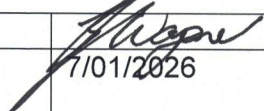
PART K: Is Your Application Complete?

1. In order to provide a complete application you have remembered to:

Fully Complete this Assessment Form	<input checked="" type="checkbox"/>
Include a <i>Location Plan</i> and <i>Site Plan</i> (with Scale Bars)	<input checked="" type="checkbox"/>
Attach an Assessment of Environmental Effects (AEE)	<input checked="" type="checkbox"/>

1. Declaration

I hereby certify that, to the best of knowledge and belief, the information given in this application is true and complete.

Name	Eric Wagener	Signature	
Position	Certifying Reg Drainlayer	Date	7/01/2026

Note

Any alteration to the site plan or design after approval will result in non compliance.

Effluential DrainLayers Ltd

3778 Main North Road

R.D.4

Kaitaia 0484

Phone 09 409 8854 Fax 09 409 7720 Mobile 0274 8855 84

Report Date: 7/01/2026

Owner H & L Adams

Storm Water Attenuation

Purpose

To control/assist the management of the effects of stormwater runoff from building developments and mitigate the impact this has on infrastructural assets.

Considerations

It needs to be accepted that the impact is greater in densely populated areas and less in urban/rural.

The definition of soakage is the process where a permeable substance receives a liquid, in this case where storm water is disposed of into ground, or effective runoff slowed so as to minimize effects on the environment or infrastructure.

The infiltration factor ksat assessment, assists in mitigating runoff impact.

Characteristics that determine permeability are soil structure, soil particle size, and geomorphology.

The flow rate of the soakage discharge is also dependent upon the soakage area and the hydraulic pressure forcing water into the absorbent media.

Site Description

The development is proposed to take place on a rural life style block well removed from the access road. This area of proposed development is in a soil type classed as Pinaki sand classed as excessively well drained..

Design Criteria

Soakage devices must be 3m from dwellings.

The Far North District Council aligns storm water attenuation requirements with other authorities.

The Whangarei District Council requires site attenuation when the percentage of impermeable surfaces exceeds 2%.

The Auckland Regional Council prepared TP10 as a reference on a similar basis and ASNZS 1547 is also structured in the same manner.

The spread sheet used in calculating Attenuation requirements has been developed in conjunction with the FNDC stormwater Engineer.

Effluential DrainLayers Ltd

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The Far North District Council information was designed specifically to enable storm water design to be expedited quickly. The ARC prepared TP10 on the same basis. ASNZS1547 is also structured in the same manner.

Therefore, attenuation is only required when the ratio of impermeable surfaces to total property area exceeds 2%. In this case the property ratio is far less than that, the property development is well off Houhora Heads Road, and will have no affect on any infrastructure. Therefore the spreader design is will mitigate the minor effects generated.

Design Calculations

All calculations submitted are via Stormwater calculation spread sheet. It is a given that new calculations may be required should future development take place.

The building area is 113.72m², decks 10m², total roofed 142m². Hard stand 213m²

Design Proposal

Any development has some adverse effects however in relation to the major area the new effects are small, with stormwater having no new immediate effect on any regional infrastructure.

Devices which discharge water via infiltration through soil provide a storm water quality benefit to the receiving environment and the in-situ soil acts as a filter media for removing contaminants. This is a known beneficial factor and provides for infiltration devices to be used as storm water quality treatment.

On site observation indicates that there is not, and is unlikely to be, any erosion from this source.

It is most unlikely given the percentage of change to impervious surfaces that there will be any new environmental effect which cannot be contained within the boundaries with this proposed development. It is recognized that the existing developments also contribute to stormwater attenuation, however those are already catered for.

This combination of circumstance lessens the impact on the downstream environment while providing for the maximum soil absorption as proposed by TP10, again lessening the potential impact on infrastructure. This development is well away from others and so the effects are of minor consequence.

Regional Plan:

The Northland Regional Council proposed rule C6.4.2 provides for the diversion and discharge of stormwater from outside a public stormwater network, provided that (amongst other conditions) the discharge or diversion does not cause or increase nuisance or damage to other property. In this case there will be no affected neighboring properties.

Therefore, this proposal is in accordance with NRC Rule C6.4.2.

18hr

Pre-development	
Slope	
%	10
CI correction	
	0.00

Post-development	
Slope	
%	10
CI correction	0.00

[illegible]

Catchment flow = office flow out + catchment	9800.000	9.8000	23.78866	61.951
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Assessment of environmental effects and mitigation measures:

Prepared for Herbie & Lynne Adams
122 Houhora Heads Road
Houhora

Owners: As above

The subject property is located off Diggers Valley Road, the neighbouring properties would best be described as farm or urban lifestyle. The house is on a back section, on a locally known un named road – Soft Sand Road. This comes off Houhora heads

Risk Assessment:

All development has an effect, the key is to minimise and mitigate.. There are no ecological risks. No Hail issues have been identified with this area. The sewerage & effluent disposal system has been placed so that separation is achieved from any assessed risk area.

The treatment and effluent systems are located well away from buildings, disposal of effluent is into very absorbent media.

Impact on surface water:

Visual evaluation of the site showed that the effluent disposal area will not be affected by surface water. The effluent field has a buffer area from any areas of concern.

Impact on groundwater:

On site exploration and extensive testing has shown:

- Tests carried out on the site indicate that the soil falls into a category 2>3 This is also confirmed by the listed soil type.
- The area chosen for disposal allows for even distribution of effluent on a trench structure.
- The soil loading rates used for stormwater were as a result of Ksat tests, those recommended in T.P58, and ASNZS 1547 standards.
- Having taken all of the above factors into consideration it is believed that there will be little possibility of any effect on groundwater. There is a buffer between the effluent site and any risk area.
- The natural overflow path is to a valley, to the North East.

Impact on the soil:

It is generally accepted that the degree of nitrogen leaching increases with higher soil carriage water (rain fall and effluent loading rate). Therefore low effluent loading rates can assist in the mitigation of nitrogen leaching. Where most of the waste generated is of a urban/rural nature with a reliance on rainwater, the potential effect of human occupation are minimised, and the nitrogen effect to a degree mitigated.

It is a given that future development will require further evaluation.

The soil is classified as being Pinaki Sand This soil type is classed as being excessively well drained.

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R.D.4

Kaitaia 0484

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Therefore, attenuation is only required when the ratio of impermeable surfaces to total property area exceeds 2%.

Design Calculations

All calculations submitted are via Stormwater calculation spread sheet. It is a given that new calculations may be required should future development take place.

Design Proposal

Any development has some adverse effects however in relation to the major area the new effects are small, with stormwater having no new immediate effect on any regional infrastructure.

Devices which discharge water via infiltration through soil provide a storm water quality benefit to the receiving environment and the in-situ soil acts as a filter media for removing contaminants. This is a known beneficial factor and provides for infiltration devices to be used as storm water quality treatment.

On site observation indicates that there is not, and is unlikely to be, any erosion from this source.

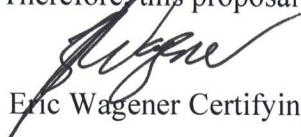
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Therefore, this proposal is in accordance with NRC Rule C6.4.2.



Eric Wagener Certifying Registered Drainlayer 05877

Recent sands

Soil types in this group

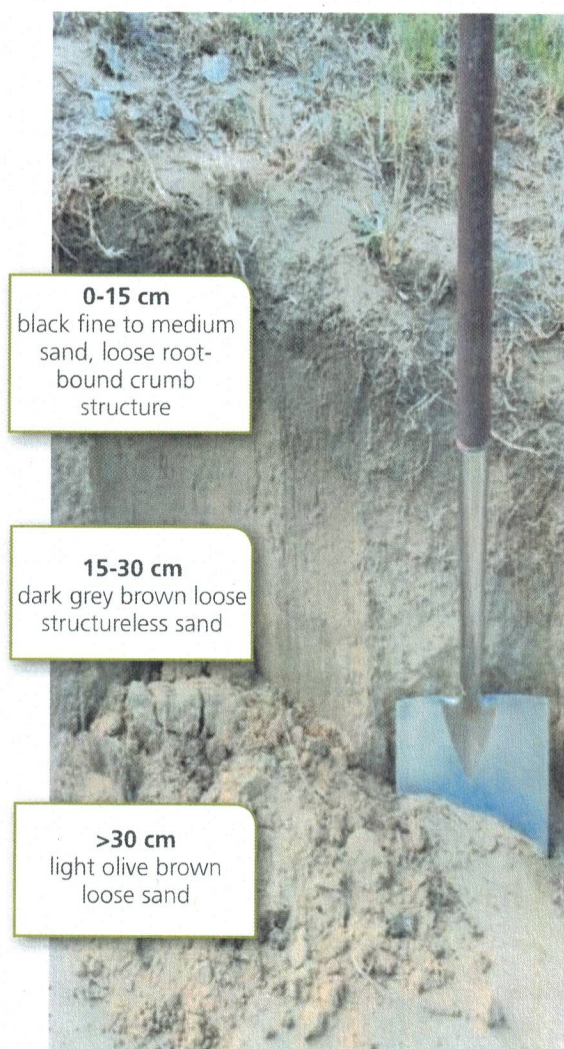
- Marsden sand - MD, MDH
- Pinaki sand - PN, PNH
- Whananaki sand - WD

*The H denotes the hill variant of this soil type, which occurs on slopes over 20° and has a shallower profile.

This fact sheet uses NZ Soil Bureau map series soil type names and abbreviations.

Features of recent sands

- Recent sand soils formed less than 4,000 years ago and cover 15% of Northland
- They are part of the Pinaki soil suite
- These soils are developing on stabilised former dunes inland of the mobile coastal sand dunes
- Topsoils are not well defined because organic matter has not built up yet, however they do support plant growth
- West coast dunes are more fertile than east coast dunes, because they are closer to nutrient-rich source rivers such as the Waikato
- East coast variants were carried around North Cape, leaving only fine, low fertility silica



Pinaki sand (PN)

Drainage classes

Soil symbol	Full name	Drainage class
PINAKI SUITE Formed from sands deposited by ocean currents		
MD, MDH	Marsden sand	6 - No natural water retention capability
PN, PNH	Pinaki sand	5 - Excessively drained
WD	Whananaki sand	5 - Excessively drained

Design Calcs Herbie Adams

Constant Head Ksat Test Results

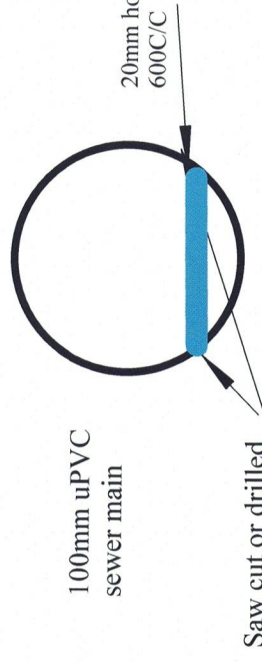
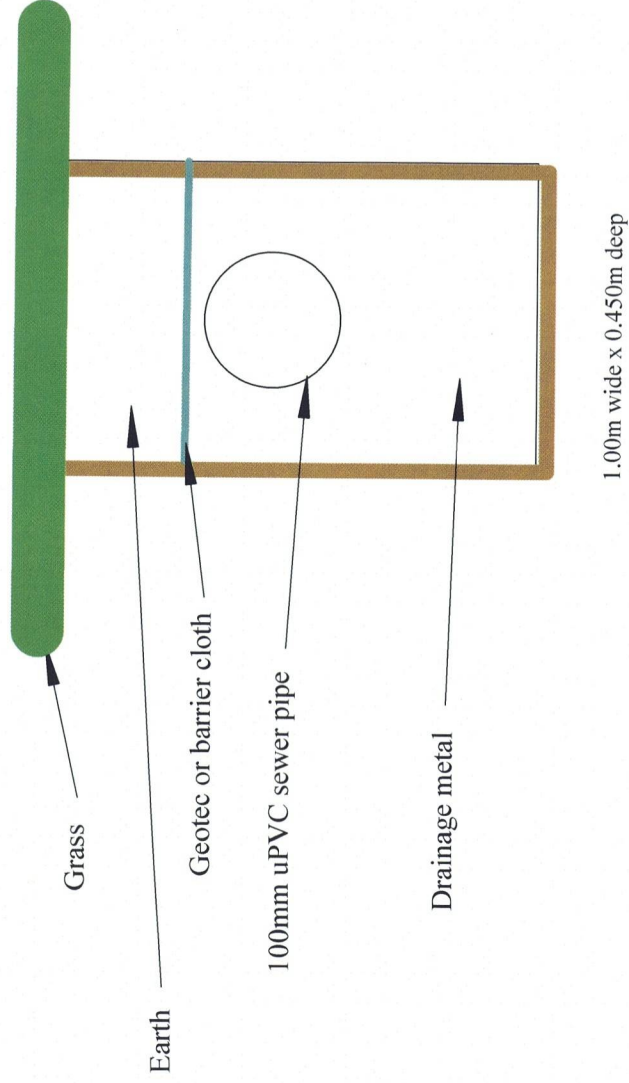
	Depth of Hole mm	Height of Water in Hole mm	Drop in Tube mm	Volume drained from Tube mL	Time mins:sec	Time decimal	mL per min
Hole 1	800	750	800	333	1:52	1.2	289.9
Hole 2	800	750	800	333	1:35	1.2	284.9
Average							287.4

Greysandy top soil 50mm
Grey sandy soil

Ksat Calcs

Q	rate of loss of water (cm3/min)	287.4		
H	Depth of water in test hole (cm)	75		
r	radius of hole (cm)	9		
	$4.4 * Q \{$	$0.5 * \sinh(-1) / (h / 2r)$	$[(r/h)^2 + 0.25]^{.5}$	r/h
	$1264.461786 \{$	$1.067181044 -$	$0.514198405 +$	$0.12 \}$

$$\frac{2\pi h^3}{Q} = \frac{35342.91735}{0.0241 \text{ cm/min}}$$
$$k_{sat} = \frac{0.347 \text{ m/d}}{347 \text{ mm/d}}$$



Saw cut or drilled so as to form a cup with water level as indicated
Wave action gives dose loading over total drain

Calculations:

3 x bed room = 5 x person @ 160
= 800L/D 800/ksat 20 = 40m²
= 2 x trenches @ 1.00wide x 20 lm
= 2 x 20 Long

H & L Adams Houhora Heads Road
E.. Wagener Certifying Registered Drainlayer 05877

