

Application for resource consent

Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement discussion

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☒ No ☐ N/A

Have you consulted Council's Infrastructure Officer regarding infrastructure capacity to service the development?

☐ Yes ☒ No ☐ N/A

Have you consulted the Rooding Officer regarding any road to vest or departure from District Plan / Engineering standards?

☐ Yes ☒ No ☐ N/A

**Contact details of who and how to engage in pre lodgement discussions can be found on the Resource Consent pages of the FNDC website.*

2. Type of consent being applied for

(more than one circle can be ticked):

☒ Land Use

☐ Fast Track (Land Use - Controlled Activity)

☐ Change of Consent Notice (s.221(3))

☐ Certificate of Compliance (s.139)

☐ Extension of time (s.125)

☐ Other (please specify)

☐ Discharge: Total volume = m³

Note: volumes >3m³ requires NRC Consent 3m³

☐ Subdivision

☐ Existing Use Certificate (s.139A)

☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)

3. Would you like to opt out of the fast track process?

☒ Yes ☒ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding Iwi/hapū consultation, please contact:
The Resource Consents Planning Technicians, planning_technicians@fndc.govt.nz

5. Applicant details

Name/s:

MALCOLM HASELEY WINDELBORN

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991?

☐ Yes ☒ No

If yes, please provide details:

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Applicant details

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Jordan Leopold Tynovich & Chezrose Tynovich

Property address/
location:

Postcode

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Jordan & Chezrose Tynovich

Site address/
location:

224 State Highway 1

Awanui

0486

Postcode

Legal description:

18

Val Number:

00015-12003

Certificate of title:

NA14B/249

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

NIL

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Relocate a building onto site identified in a flood zone under council

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

☐ 2009 ☒ 2023

10. Would you like to request public notification?

☐ Yes ☒ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☒ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☒ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025? ☒ Yes ☐ No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

☒ Flooding

☐ Active Faults

☐ Landslips

☐ Liquefaction

☐ Coastal Erosion

☐ Tsunami

☐ Coastal Inundation

Please ensure all relevant technical reports are submitted with the application.

14. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☒ No

If yes, please be advised that the timeframe will be suspended as per s107G of the RMA to enable consideration for the draft conditions.

16. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

MALCOLM HASELEY WINDELBORN

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Malcolm Haseley Windelborn

Signature:

(signature of bill payer)

Date 17/9/2026

17. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

18. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Malcolm Haseley Windelborn

Signature

Date 17/9/2026

See overleaf for a checklist of your information...

Checklist of your information

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / agent / property owner / bill payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and site plans (land use) AND/OR
- ☐ Location and scheme plan (subdivision)
- ☐ Elevations / floor plans
- ☐ Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application.
Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans*

ASSESSMENT OF ENVIRONMENTAL EFFECTS

Land Use Resource Consent - Proposed Relocated Dwelling

Site	224 State Highway 1, Awanui, Northland 0486
Legal description	Lot 18 DP 40198
Applicants / Owners	Jordan Leopold Jujnovich and Chezrose Jujnovich
Property ID	3301938
Building consent	EBC-2027-72/0
Proposal	Relocation and establishment of an existing three-bedroom timber-framed dwelling
Prepared	17 September 2026

1. Purpose and documents relied upon

This Assessment of Environmental Effects (AEE) accompanies the land use resource consent application for the proposed relocated dwelling at 224 State Highway 1, Awanui. It has been prepared from the FNDC resource-consent requirement/Form 4 correspondence dated 16 September 2026, the Halo Group full plan set for the proposed relocated dwelling, the FNR Consulting Good Ground Report, and the Gumboots Consulting Engineers Flood Assessment Report dated 9 September 2026. The technical reports should be read as part of this AEE and remain authoritative within their respective areas of expertise.

2. Site and existing environment

The property is Lot 18 DP 40198 and has a stated site area of 809 m². It is a narrow residential site on the western side of State Highway 1 at Awanui. The Halo Group site plan records existing ground levels including approximately RL 2.28 m to RL 2.85 m, an open stormwater drain along the western side of the property and an existing vehicle access. The surrounding area is low lying and is affected by mapped river and coastal inundation hazards.

3. Proposed development

The proposal is to relocate and establish an existing three-bedroom residential dwelling. The Halo Group plans show a 101.6 m² dwelling containing three bedrooms, lounge, dining, kitchen, bathroom, WC and laundry. The plans identify existing weatherboard external cladding and existing Colorsteel corrugated roofing, together with some plywood cladding with timber battens. No carport forms part of the plan set relied upon for this AEE.

3.1 Site layout and impervious area

The site plan shows a dwelling site coverage of 101.6 m². It records roof cover area of 133.1 m² and driveway/footpath area of 102.9 m², giving a stated total impervious area of 236.0 m². The plan shows setbacks of 3.0 m and 1.2 m as dimensioned on the drawing. This AEE does not independently certify District Plan compliance with those dimensions; the submitted plans are to be assessed by FNDC.

3.2 Foundations and geotechnical conditions

The dwelling is to be supported on a timber piled foundation. The foundation details specify 125 x 125 mm H5 piles and 460 mm diameter by 1100 mm deep concrete footings for ordinary/braced and anchor piles, extending through to good ground. FNR Consulting carried out four scala penetrometer tests and a hand auger in April 2025, followed by five additional scala tests in July 2026. The report found NZS 3604 'Good Ground' generally between approximately 0.80 m and 1.10 m below original ground in the initial testing and approximately 0.80 m to 0.95 m in the follow-up testing. The repeated results were considered consistent.

3.3 Ground stability and liquefaction

FNR Consulting observed no visual signs of slope instability in the vicinity of the proposed building site and considered the building position appropriate in relation to slope stability. The site was classified Class S - slightly

reactive clay. The FNDC mapping category for liquefaction is recorded as 'undetermined'; however, having considered the regional information and site soils, FNR Consulting assessed liquefaction vulnerability as low and expected liquefaction-induced ground damage to be none to minor.

3.4 Finished floor level

The Halo Group drawings specify a finished floor level (FFL) of RL 3.590 m. The Gumboots flood assessment requires confirmation that this level is referenced to NZVD2016. A suitably qualified surveyor should establish datum control and confirm the design and completed FFL.

3.5 Stormwater and wastewater

The plans show roof stormwater conveyed to two 25,000 litre water tanks. Surface water from new impermeable areas is to be collected and piped away from the building. Wastewater is shown via a Zenit BlueBox 250 underground chamber/pumping station and pressure sewer connection. Tank overflow and paved-area runoff are to be directed to an approved/lawful discharge point without causing erosion, ponding or nuisance, and the western open drain is to remain unobstructed.

4. Resource consent matters identified by FNDC

FNDC's 16 September 2026 correspondence identifies the site as Residential under the Operative District Plan and General Residential under the Proposed District Plan - Appeals Version. It identifies resource consent under NH-R3 and CE-R10 because the proposed residential unit exceeds the 10 m² threshold. Council also requires the NH-S1 engineering information because the site is within a mapped River Flood Hazard Area. Any additional rule breaches identified during processing can be addressed through further information or amendment.

5. Assessment of natural hazard effects

Northland Regional Council mapping identifies coastal inundation and a modelled 100-year climate-change river-flood extent affecting the property. Gumboots Consulting Engineers adopted the mapped CFHZ3 coastal flood level of RL 3.09 m NZVD2016 as the available conservative coastal design level. Subject to datum confirmation, the proposed FFL of RL 3.590 m provides 0.50 m freeboard above that mapped coastal level.

5.1 River flooding qualification

Part of the proposed dwelling footprint is within the mapped 100-year climate-change river-flood extent. The flood report records that the available information did not provide a site-specific river flood level, depth, velocity or hazard classification at the building footprint. FNDC or NRC therefore needs to confirm that the applicable 1% AEP climate-change river flood level does not exceed RL 3.09 m NZVD2016. If a higher river design flood level applies, the minimum FFL is to be reassessed to maintain the nominated 500 mm freeboard unless Council accepts another freeboard through a revised assessment.

5.2 Flood conveyance and displacement

The use of discrete piles rather than a bulk-filled platform limits obstruction and displacement of floodwater. Consistent with the flood engineer's recommendations, the underfloor perimeter is to remain substantially open or contain permanent, appropriately sized and distributed flood openings that permit floodwater to enter and exit freely. Solid unvented perimeter enclosure below the adopted design flood level is not relied upon by this assessment. With these controls, the engineering assessment concludes that the dwelling is not expected to materially redirect concentrated flow onto adjoining property or materially displace floodwater.

5.3 Flood-sensitive components and residual risk

Water tanks, the wastewater pumping chamber and other potentially buoyant components below the design flood level are to be secured against flotation. Flood-sensitive electrical controls and equipment should be positioned above the adopted design flood level wherever practicable. Although the habitable floor is elevated, the site, driveway and State Highway 1 may still be inundated in a major flood, so safe access cannot be assumed during such an event.

6. Earthworks effects

Earthworks associated with the proposal are principally pile footings, service trenches, driveway/footpath formation and minor grading. Bulk fill is not proposed to create a raised building platform. Surplus excavated material is to be removed from the flood hazard area or placed only where it cannot obstruct the western drain or overland flow paths. Erosion and sediment controls are to be maintained during construction.

7. Stormwater and drainage effects

The two 25,000 litre tanks provide roof-water storage for ordinary rainfall events, although they are not relied upon as regional flood mitigation because they may already be full during a design event. Runoff and overflow are to be managed so they do not cause erosion or nuisance to neighbouring property. The existing western drainage route is to remain open and maintainable.

8. Effects on neighbouring properties and residential amenity

The activity is residential in nature and is proposed on land identified by FNDC as Residential/General Residential. The principal identified off-site issue is flood behaviour. Subject to maintaining the piled, hydraulically permeable underfloor arrangement, avoiding bulk filling and keeping drainage/overland-flow routes unobstructed, the specialist flood assessment does not anticipate material redirection or displacement of floodwater onto neighbouring land. The submitted plans show the building form, elevations and setbacks that Council can assess against applicable development standards.

9. Construction effects

Effects associated with delivery and establishment of the relocated dwelling, foundation construction, services and access works will be temporary. These can be managed through normal construction controls, including site safety, sediment control, protection of drains, orderly storage/removal of spoil and keeping works within the approved development area.

10. Overall assessment and mitigation

The key environmental effects requiring management are inundation, flood conveyance/storage, earthworks, stormwater and ground conditions. The proposal uses a piled foundation founded to good ground and an elevated FFL. The geotechnical report identifies no slope-instability concern at the proposed building site and assesses liquefaction vulnerability as low. The flood assessment concludes that the proposed work is not expected to accelerate or worsen inundation of the site, building work or other property, provided its qualifications and recommendations are implemented.

11. Proposed consent controls

The applicant accepts conditions or engineering requirements that appropriately give effect to the specialist reports, including: survey confirmation of NZVD2016 and completed FFL; confirmation of the applicable river design flood level; foundations extending to good ground in accordance with the approved foundation design; retention of a hydraulically permeable/open underfloor arrangement; no bulk filling to create a raised platform unless separately assessed; protection of the western drain and overland flow paths; securing buoyant tanks/pumping components; suitable location of flood-sensitive services; lawful stormwater disposal; and erosion/sediment controls.

12. Conclusion

Based on the submitted plans and specialist reports, the proposal is for an existing three-bedroom weatherboard-clad dwelling of 101.6 m² to be relocated onto Lot 18 DP 40198. It does not include the smartsteel dwelling or carport described in the earlier Council wording. Subject to the outstanding river flood-level confirmation and implementation of the engineering and geotechnical recommendations, the identified adverse environmental effects can be appropriately managed. This AEE should be considered together with the complete plan set, Good Ground Report and Flood Assessment Report.

13. Supporting documents

The application package should include the Halo Group full plan set dated 26 June 2026; FNR Consulting Good Ground Report dated 9 July 2025 with July 2026 follow-up testing; Gumboots Consulting Engineers Flood Assessment Report dated 9 September 2026; FNDC Form 4/resource-consent requirement correspondence; current Record of Title; and the completed FNDC resource consent application form.

Document note: Where the earlier FNDC correspondence or flood report describes the dwelling as 'smartsteel' or refers to a carport, this revised AEE uses the actual Halo Group plan set as the source for the proposed building description.

From:
Sent:
To:
Subject:
Attachments:

Follow Up Flag:
Due By:
Flag Status:

Categories:

CAUTION: This email originated from outside Far North District Council.
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Kia Ora Tanea,

Thank you for your email.

Please find below the requested information in relation to the proposed relocation and establishment of a residential dwelling at 224 State Highway 1, Awanui (Lot 18 DP 40198).

Activity Status – Operative District Plan (ODP)

The application site is zoned Residential under the Operative Far North District Plan.

The proposal involves relocating an existing three-bedroom residential dwelling onto the site and establishing it on new timber pile foundations, together with the associated servicing and site works.

The residential use of the site is consistent with the underlying Residential zoning. The principal planning matter requiring resource consent relates to the identified natural hazard/inundation constraints affecting the property.

The proposal should therefore be assessed against the applicable Residential Zone, natural hazard and district-wide provisions of the ODP, together with any provisions that remain operative during the transition to the Proposed District Plan – Appeals Version.

Activity Status – Proposed District Plan – Appeals Version (PDP-AV)

The property is zoned General Residential Zone under the Proposed District Plan – Appeals Version.

Council's PIM assessment has identified that resource consent is required under the following provisions:

- NH-R3 – New buildings or structures and relocated buildings, as the floor area of the proposed residential unit exceeds 10 m².

- CE-R10 – New buildings or structures and relocated buildings, as the floor area of the proposed residential unit exceeds 10 m².

As the property is within a mapped River Flood Hazard Area, the information requirements of NH-S1 also apply. A site-specific Flood Assessment Report prepared by a suitably qualified engineer has therefore been provided as part of the application.

FNDC has subsequently reviewed the flood assessment and advised that the proposed raising of the dwelling's finished floor level provides appropriate protection to the building from the identified inundation hazard. Council has, however, determined that the land itself remains subject to inundation.

Accordingly, FNDC has advised that building consent EBC-2027-72/0, if granted, will be subject to section 72 of the Building Act 2004, with the associated notice registered against the affected Record of Title under section 73.

Part 2 – Resource Management Act 1991

The proposal is considered consistent with the purpose and principles of Part 2 of the Resource Management Act.

In terms of section 5, the proposal enables the residential use of an existing residentially zoned property while incorporating measures to appropriately manage the effects associated with the identified natural hazard.

The proposed development involves the relocation and reuse of an existing residential dwelling. The dwelling will be established on an elevated piled foundation system, limiting ground disturbance while providing appropriate separation between the dwelling floor level and the identified flood hazard.

In terms of section 6, particular consideration has been given to the management of significant risks from natural hazards. A site-specific Flood Assessment Report has been provided, and FNDC has reviewed that assessment and accepted that the proposed raised floor level provides protection to the building from inundation.

Council has nevertheless determined that the underlying land remains subject to inundation. This residual risk is recognised through the proposed section 72 Building Act condition and subsequent section 73 notice on the Record of Title.

In terms of section 7, the proposal represents an efficient use of an existing residentially zoned property and enables the reuse of an existing dwelling. The development remains residential in nature and is considered compatible with the anticipated use of the surrounding General Residential environment.

Overall, with the proposed flood mitigation measures, engineered foundation design and appropriate consent conditions, the potential adverse effects associated with the proposal can be appropriately avoided, remedied or mitigated.

Consent Notices / Section 72 Notice

We are not presently aware of any existing consent notices registered against the title that affect the proposed development.

However, as part of the current building consent assessment, FNDC has advised that the consent will be granted subject to section 72 of the Building Act 2004 due to the residual inundation hazard affecting the land.

The owners have been provided with FNDC's Section 72 Acknowledgement, which confirms that a notice will be required to be registered against the affected title pursuant to section 73 of the Building Act 2004.

This relates specifically to the natural hazard of inundation and FNDC's determination that, while the proposed raised floor level protects the building, the underlying land remains subject to the identified natural hazard.

Please let me know if any further information or clarification is required to progress the application.

Kind regards,

Hazely Windelborn

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On Mon, 28 Sept 2026, 2:43 pm Planning Support, <Planning.Support@fndc.govt.nz> wrote:

Kia ora Malcolm,

Thank you for the provided.

As part of our initial check, could you please provide the following information:

- Activity status under the Operative District Plan (ODP).
- Activity status under the Proposed District Plan – Appeals Version (PDP-AV).
- A Part 2 RMA assessment.
- Any consent notices relating to the application site, if available.

Once the above information has been provided, we can continue with the processing of the application.

Ngā mihi,

Tanea Webster

From:
Sent:
To:
Subject:

CAUTION: This email originated from outside Far North District Council.
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Kia ora Tanea,

Thank you for clarifying.

For the proposed relocation and establishment of the dwelling at 224 State Highway 1, Awanui (Lot 18 DP 40198), our assessment of the activity status is as follows:

Operative District Plan (ODP)

The site is zoned Residential under the ODP.

The relocation of the dwelling is provided for under Rule 7.6.5.1.1 – Relocated Buildings as a Permitted Activity, subject to compliance with the applicable permitted activity standards.

On the information currently available, the proposal is considered a Permitted Activity under the ODP.

Proposed District Plan – Appeals Version (PDP-AV)

The site is zoned General Residential and is also affected by the identified natural hazard/flood overlays.

As identified by Council in the PIM assessment, the proposal triggers:

- NH-R3 – New buildings or structures and relocated buildings, due to the proposed residential unit exceeding 10 m²; and
- CE-R10 – New buildings or structures and relocated buildings, also due to the proposed residential unit exceeding 10 m².

On this basis, the proposal requires resource consent under the PDP-AV. Our assessment is that the overall activity status is Restricted Discretionary.

Accordingly, the activity status assessment is:

ODP: Permitted Activity

PDP-AV: Restricted Discretionary Activity

Please let me know if you require the relevant rule assessment to be expanded further.

Ngā mihi,

On Mon, 28 Sept 2026, 3:57 pm Planning Support, <Planning.Support@fndc.govt.nz> wrote:

Kia ora,

Thank you for the information provided.

Could you please provide the **activity status under the ODP and PDP-AV** (e.g. Controlled, Restricted Discretionary, Discretionary, Non-Complying) for the proposal, as these have not been identified.

Ngā mihi,

Tanea Webster

From: Hazely Windelb

Sent: Monday, 28 Sept

To: Planning Support <

Subject: Re: Resource Consent Application - Land Use - [224 SH 1, Awanui](#)

CAUTION: This email originated from outside Far North District Council.
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Kia Ora Tanea,

Thank you for your email.

Please find below the requested information in relation to the proposed relocation and establishment of a residential dwelling at [224 State Highway 1, Awanui \(Lot 18 DP 40198\)](#).

Activity Status – Operative District Plan (ODP)

The application site is zoned Residential under the Operative Far North District Plan.

The proposal involves relocating an existing three-bedroom residential dwelling onto the site and establishing it on new timber pile foundations, together with the associated servicing and site works.

The residential use of the site is consistent with the underlying Residential zoning. The principal planning matter requiring resource consent relates to the identified natural hazard/inundation constraints affecting the property.

The proposal should therefore be assessed against the applicable Residential Zone, natural hazard and district-wide provisions of the ODP, together with any provisions that remain operative during the transition to the Proposed District Plan – Appeals Version.

The property is zoned General Residential Zone under the Proposed District Plan – Appeals Version.

Council's PIM assessment has identified that resource consent is required under the following provisions:

- NH-R3 – New buildings or structures and relocated buildings, as the floor area of the proposed residential unit exceeds 10 m².
- CE-R10 – New buildings or structures and relocated buildings, as the floor area of the proposed residential unit exceeds 10 m².

As the property is within a mapped River Flood Hazard Area, the information requirements of NH-S1 also apply. A site-specific Flood Assessment Report prepared by a suitably qualified engineer has therefore been provided as part of the application.

FNDC has subsequently reviewed the flood assessment and advised that the proposed raising of the dwelling's finished floor level provides appropriate protection to the building from the identified inundation hazard. Council has, however, determined that the land itself remains subject to inundation.

Accordingly, FNDC has advised that building consent EBC-2027-72/0, if granted, will be subject to section 72 of the Building Act 2004, with the associated notice registered against the affected Record of Title under section 73.

Part 2 – Resource Management Act 1991

The proposal is considered consistent with the purpose and principles of Part 2 of the Resource Management Act.

In terms of section 5, the proposal enables the residential use of an existing residentially zoned property while incorporating measures to appropriately manage the effects associated with the identified natural hazard.

The proposed development involves the relocation and reuse of an existing residential dwelling. The dwelling will be established on an elevated piled foundation system, limiting ground disturbance while providing appropriate separation between the dwelling floor level and the identified flood hazard.

In terms of section 6, particular consideration has been given to the management of significant risks from natural hazards. A site-specific Flood Assessment Report has been provided, and FNDC has reviewed that assessment and accepted that the proposed raised floor level provides protection to the building from inundation.

Council has nevertheless determined that the underlying land remains subject to inundation. This residual risk is recognised through the proposed section 72 Building Act condition and subsequent section 73 notice on the Record of Title.

In terms of section 7, the proposal represents an efficient use of an existing residentially zoned property and enables the reuse of an existing dwelling. The development remains residential in

nature and is considered compatible with the anticipated use of the surrounding General Residential environment.

Overall, with the proposed flood mitigation measures, engineered foundation design and appropriate consent conditions, the potential adverse effects associated with the proposal can be appropriately avoided, remedied or mitigated.

Consent Notices / Section 72 Notice

We are not presently aware of any existing consent notices registered against the title that affect the proposed development.

However, as part of the current building consent assessment, FNDC has advised that the consent will be granted subject to section 72 of the Building Act 2004 due to the residual inundation hazard affecting the land.

The owners have been provided with FNDC's Section 72 Acknowledgement, which confirms that a notice will be required to be registered against the affected title pursuant to section 73 of the Building Act 2004.

This relates specifically to the natural hazard of inundation and FNDC's determination that, while the proposed raised floor level protects the building, the underlying land remains subject to the identified natural hazard.

Please let me know if any further information or clarification is required to progress the application.

Kind regards,

Hazely Windelborn

Hazely Windelborn

Happy House Haulage Limited

021955716

On Mon, 28 Sept 2026, 2:43 pm Planning Support, <Planning.Support@fndc.govt.nz> wrote:

Kia ora Malcolm,

Thank you for the provided.

As part of our initial check, could you please provide the following information:

- Activity status under the Operative District Plan (ODP).
- Activity status under the Proposed District Plan – Appeals Version (PDP-AV).
- A Part 2 RMA assessment.
- Any consent notices relating to the application site, if available.

Once the above information has been provided, we can continue with the processing of the application.



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **NA14B/249**
Land Registration District **North Auckland**
Date Issued 22 February 1968

Prior References

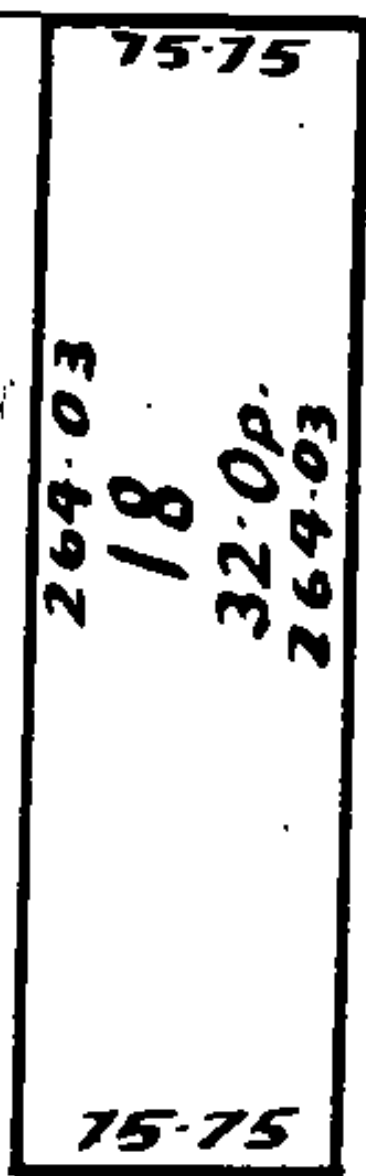
NA1126/277

Estate Fee Simple
Area 809 square metres more or less
Legal Description Lot 18 Deposited Plan 40198
Registered Owners
Jordan Leopold Jujnovich and Chezrose Jujnovich

Interests

Appurtenant hereto is a water and sewage drainage right created by Transfer 531953
Appurtenant hereto is a water and sewage drainage right created by Transfer 560449
Appurtenant hereto is a water and sewage drainage right created by Transfer 561144
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 531359
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 531953
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 561144
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 560449
Subject to Section 206 Land Act 1924
Appurtenant hereto is a water and sewage drainage right granted in CT NA1078/50
Appurtenant hereto is a water and sewage drainage right created by Transfer 531361
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 531361
Appurtenant hereto is a water and sewage drainage right created by Transfer 538288
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 538288
Appurtenant hereto is a water and sewage drainage right created by Transfer 560379
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 560379
Appurtenant hereto is a water and sewage drainage right created by Transfer 561782
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer 561782
Appurtenant hereto is a water and sewage drainage right created by Transfer A273491 - 22.2.1968
Subject to a water and sewage drainage right over part coloured yellow on DP 40198 created by Transfer A273491 - 22.2.1968
Fencing Agreement in Transfer A273491 - 22.2.1968
13125171.6 Mortgage to ASB Bank Limited - 19.12.2024 at 11:46 am

Great North Rd.



Scale: 1 inch = 1 chain

Det ~~to~~ 74

9th July 2025

Att: Happy House Haulage

To Whom it may Concern

Good Ground Report for Proposed Relocated Dwelling at 224 State Highway 1, Awanui.

As requested, FNR Consulting have carried out a geotechnical investigation for a proposed relocated dwelling on the northern end of Awanui in the Far North District. An initial geotechnical investigation was completed in April 2025, comprising four scala penetrometer tests and one hand auger borehole. Follow up testing was undertaken in July 2026, comprising five additional scala penetrometer tests to confirm the ground conditions.

The investigation was undertaken generally in accordance with the requirements of NZS 3604:2011 and NZS 4402:1988.

The test locations are shown in the attached plans and photographs, with the corresponding test results also attached to this document.

The NZLI Soil's Map describes the soils in this subdivision as: **Kaitaia clay loam**.

Observations

The site soils appears to be consistent with the NZLI Soil's Map Viewer description, with clay loam observed in the hand auger conducted in the centre of the house site. When inspecting the soil samples, the clay loam appeared to have a high plasticity and was moderately sensitive. In general, the clay loam was loose to dense and had a firm consistency. The soil appeared to be moist, while the ground water level (GWL) was not reached over the 2.0m depth tested. Refer to the attached hand auger results for a full soil profile of the hand auger.

The site has not been levelled, and the tests were performed in the undisturbed natural ground (not fill material).

There are no visual signs of slope instability in the vicinity of the building site and the proposed position of the building relative to the adjacent slope is appropriate and does not pose a risk in terms of slope stability.

The site classification based on site reactivity in accordance with AS2870-2011 Table 2.1 is **Class S – Slightly reactive clay sites, which may experience only slight ground movement from moisture changes**.

Liquefaction Risk

A desk-top study of liquefaction risk for this site has been undertaken.

"The area of Northland is identified to be at low risk of seismic hazard. There are no active faults known in the Far North. Small earthquakes will give short duration shaking that may not have enough cycles to cause liquefaction. Microzoning studies are probably not required as the hazard is low (GNS 2004)" - Regional Liquefaction Vulnerability Assessment – Far North District, prepared by Vision Consulting for FNDC 20/01/2023.

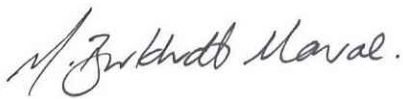
According to the above referenced report, and associated mapping, the Liquefaction Vulnerability Category for this site is currently "undetermined", i.e. a liquefaction assessment has not been undertaken for this area or there is not enough information to determine the appropriate category.

Considering the above assessment, and knowing that the underlying soils of this site are well consolidated alluvial soils with limited potential for lateral spread and that “there are no known observations of liquefaction within the Far North District” it is considered that the liquefaction vulnerability for this site is low and that the expected degree of liquefaction induced ground damage is none to minor.

Scala Results

The scala penetrometer testing undertaken in April 2025 and July 2026 produced consistent results (refer to attached results below). During the April 2025 investigation, the in-situ soils achieved “Good Ground” (as per the NZS 3604 definition) criteria in all test locations between approximately 0.80m and 1.10m below the original ground surface. During the follow up investigation in July 2026, the in-situ soils achieved “Good Ground” between approximately 0.80m and 0.95m below the original ground surface. The consistency of the test results between the two investigations indicates that the ground conditions beneath the proposed building site have remained unchanged.

Yours Sincerely



Manu Burkhardt Macrae

BE, CMEngNZ, CPEng, 253797

Attachments:

- *Site Plan and Test Locations; Photos; Scala Test Reports, Hand Auger Test Results, FNDC Liquefaction Risk Map.*

17 September 2026

Jordan Leopold Jujnovich and Chezrose Jujnovich
37 Commerce Street
Kaitaia
0410

Reference Number:	EBC-2027-72/0
Property Address:	224 State Highway 1, Awanui 0486
Property ID #	3301938
Description:	Relocated smartsteel shed-style dwelling with three bedrooms, bathroom, shower, living area and carport

Tēnā koe,

Further Information Request – Building Follow-up

Work on your application has been suspended because further information is required to demonstrate compliance with the New Zealand Building Code. Processing of your application will resume on receipt of all the information listed below:

1. Thank you for supplying the flood assessment report. After review, FNDC considers the proposed building protected from the inundation hazard through raising the floor level, however no protection to the land has been proposed, and as such the land is still subject to a natural hazard (inundation). Please have the owner sign and return the Section 72 notification acknowledgement of this Hazard to enable granting of this consent with condition.

To reduce further processing costs and delays, please email ALL the listed information in one response to bsg@fndc.govt.nz.

If there are good reasons why you cannot supply this information, please contact us urgently. We may be able to assist or arrange an extension of time.

We will hold your application for **20 working days** from the date of this letter. If we do not hear from you or receive the outstanding information in that time, we may refuse the application.

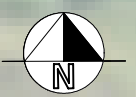
Should you have further questions please contact the building team on 0800 920029 or 09 401 5200 or email us at bsg@fndc.govt.nz.

Nāku iti nei, nā



Pp
Jessica Matthews
Building Control Officer
Delivery and Operations

Emailed to: caleb@pacifichomes.co.nz



Pt Lot 7
DP 40198

Lot 19
DP 40198

Lot 18
DP 40198

T3/3A

T4/4A

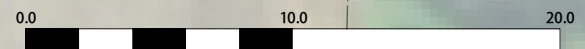
T5A

T2/2A

T1/1A

Lot 17
DP 40198

State Highway 1



- Notes:**
- 1.) Boundaries shown are indicative only. Should boundary locations be critical then further guidance should be sought from a licensed cadastral surveyor.
 - 2.) Background image sourced from LINZ Data Service and should be used for visualization purposes only. Graphical and geometric alignment may vary.
 - 3.) Site has been cleared of structures and vegetation.



Title:		Client: Happy House Haulage			
Site Plan		Location: 224 State Highway 1, Awanui			
		Project Name: Good Ground Report			Project Number: FNR1042
		Drawn: Andrew van der Linden	Date: 06/07/2026	Sheet: 1 of 1	Version: V1
1:200 @ A3					

Scala Test Report - Original Testing April 2025

SCALA PENETROMETER
TEST REPORT

Project :
Location :
Client :
Contractor :
Test number :
Water level :
Reduced level :

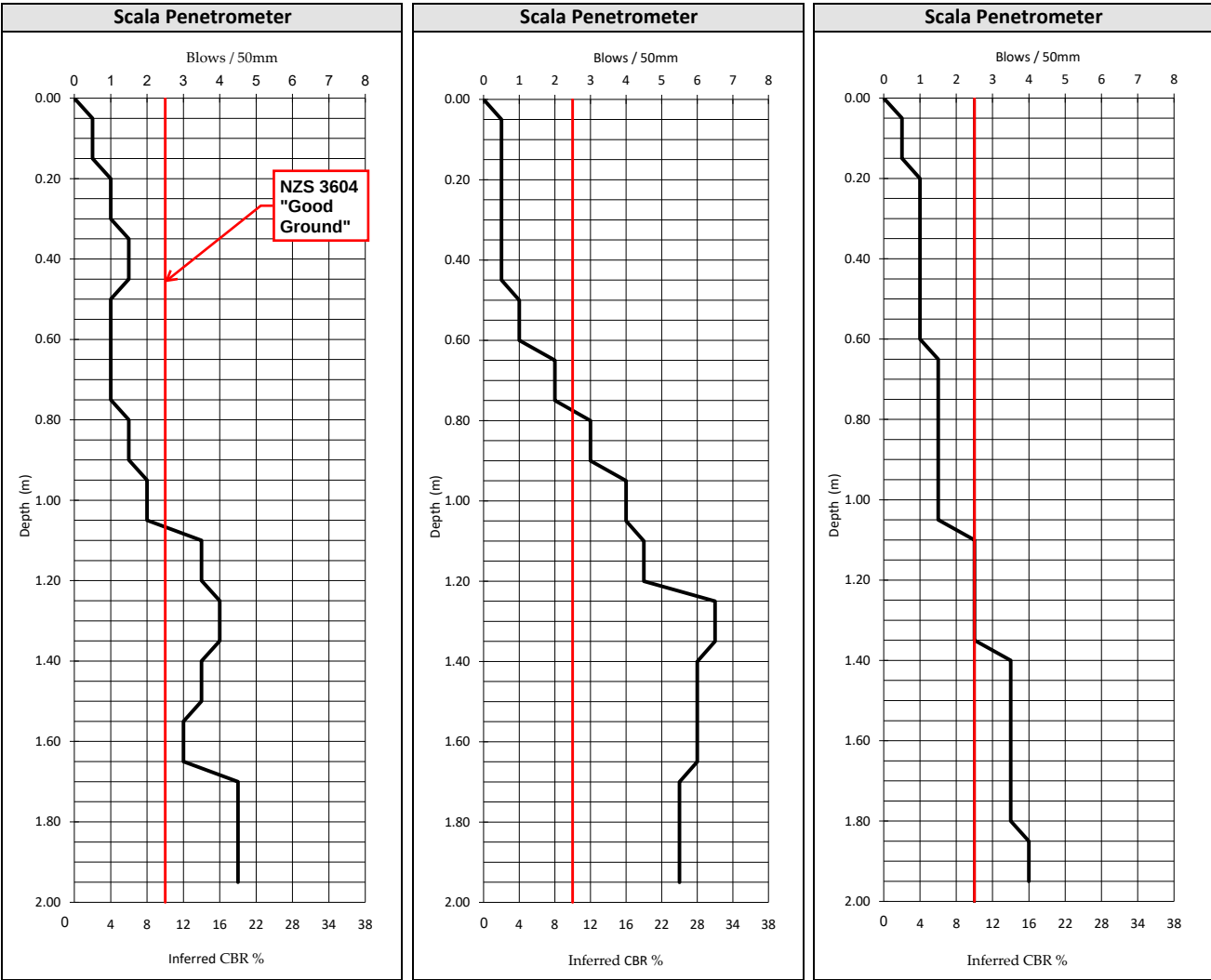
Proposed Relocated Dwelling
224 State Highway 1, Awanui
Happy House Haulage
N/A
T1
N/A
Ex. GL

Test number :
Water level :
Reduced level :

T2
N/A
Ex. GL

Test number :
Water level :
Reduced level :

T3
N/A
Ex. GL



Test Methods
Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
Inferred CBR values taken from Austroads Pavement Design Manual 2004

Date tested :
Date reported :

14/04/25
14/04/25

Tested by:
Reported by:

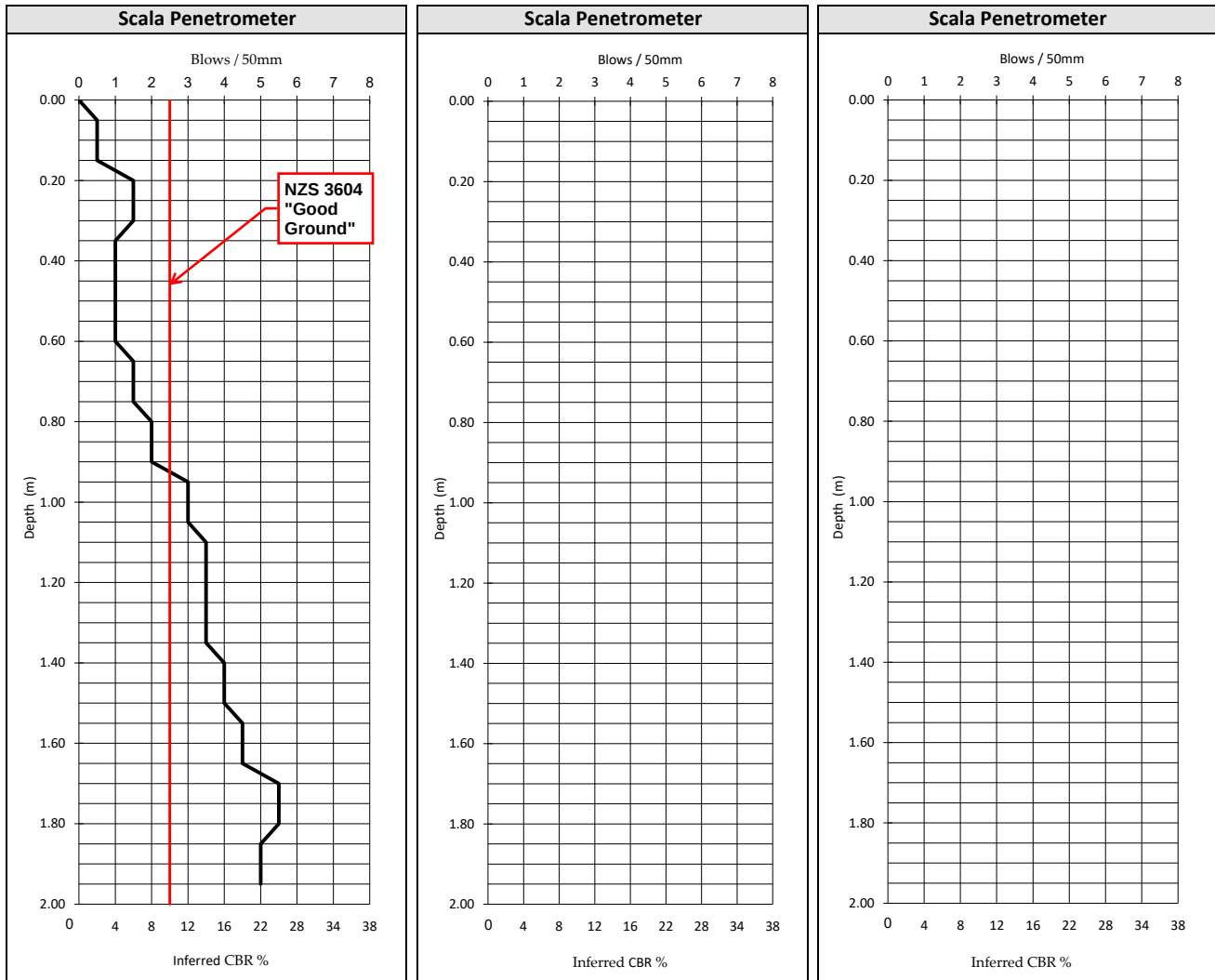
AVDL
AVDL

SCALA PENETROMETER TEST REPORT

Project : Proposed Relocated Dwelling
 Location : 224 State Highway 1, Awanui
 Client : Happy House Haulage
 Contractor : N/A
 Test number : T4
 Water level : N/A
 Reduced level : Ex. GL

Test number : N/A
 Water level : N/A
 Reduced level : N/A

Test number : N/A
 Water level : N/A
 Reduced level : N/A



Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
 Inferred CBR values taken from Austroads Pavement Design Manual 2004

Date tested : 14/04/25
 Date reported : 14/04/25

Tested by: AVDL
 Reported by: AVDL

Scala Test Locations T1 - T4



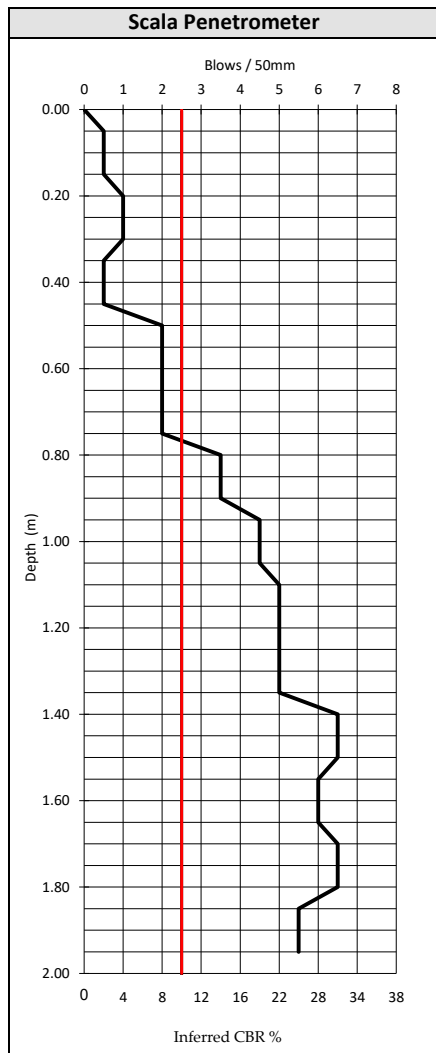
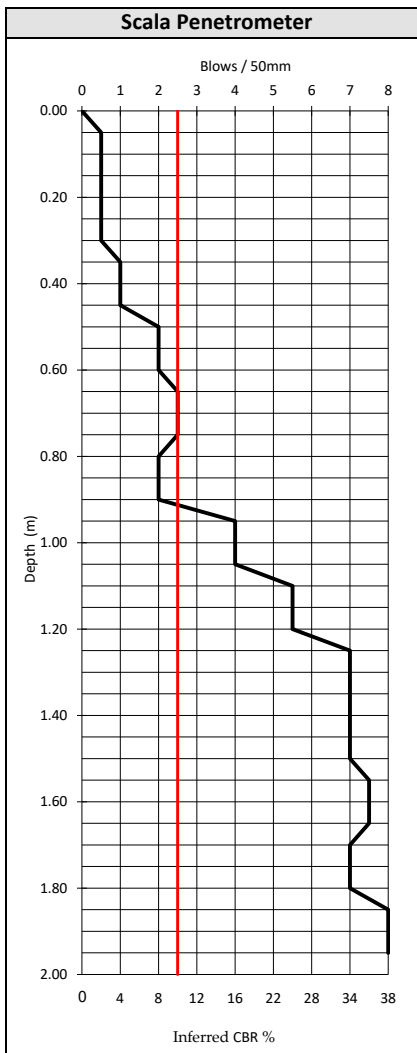
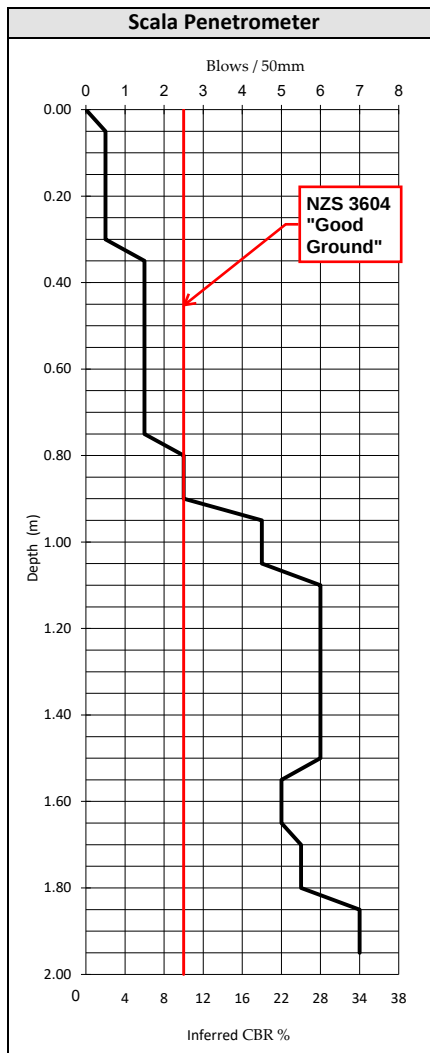
Scala Test Report - Retesting July 2026

SCALA PENETROMETER TEST REPORT

Project : Proposed Relocated Dwelling
 Location : 224 State Highway 1, Awanui
 Client : Happy House Haulage
 Contractor : N/A
 Test number : T1A
 Water level : N/A
 Reduced level : Ex. GL

Test number : T2A
 Water level : N/A
 Reduced level : Ex. GL

Test number : T3A
 Water level : N/A
 Reduced level : Ex. GL



Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
 Inferred CBR values taken from Austroads Pavement Design Manual 2004

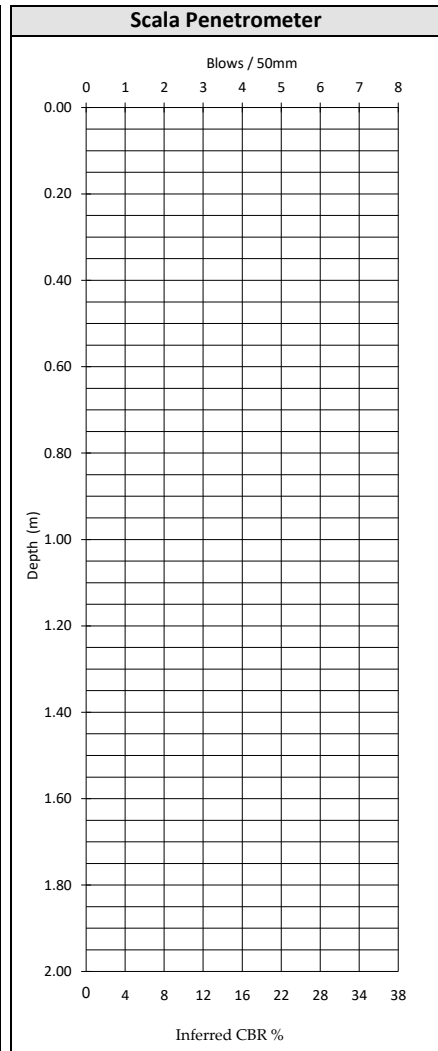
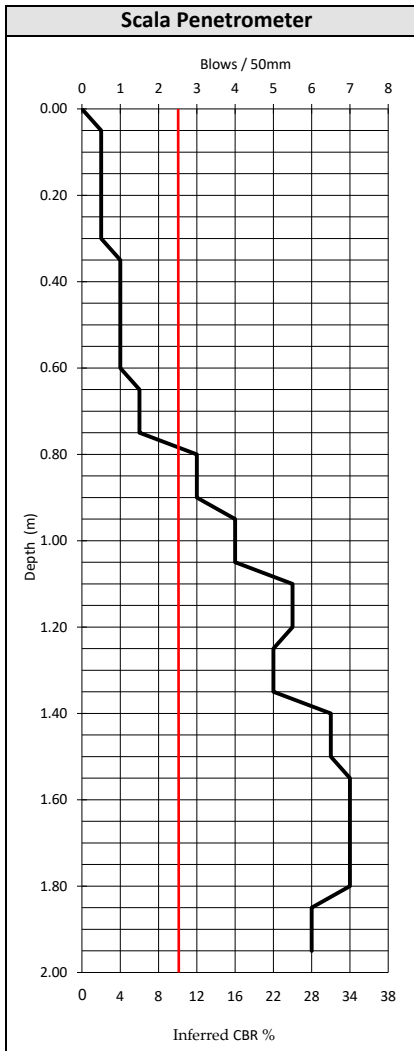
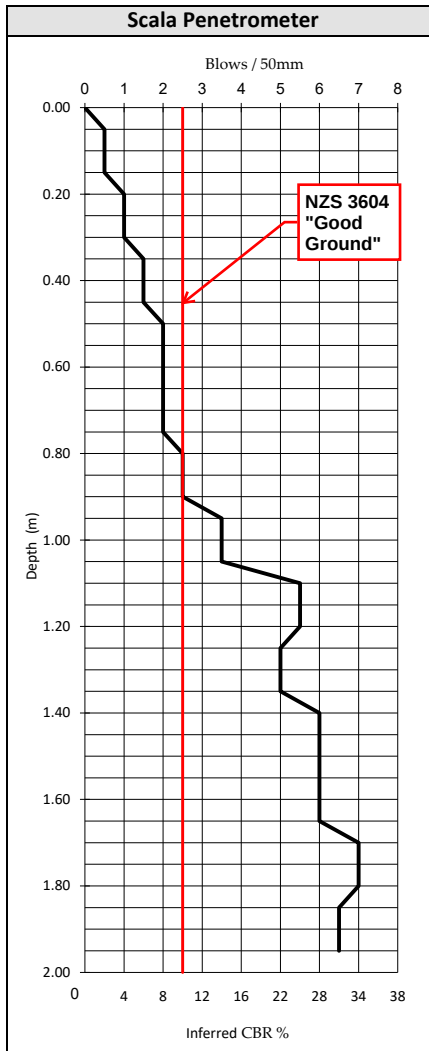
Date tested : 07/07/26 Tested by: AVDL
 Date reported : 09/07/26 Reported by: AVDL

SCALA PENETROMETER TEST REPORT

Project : Proposed Relocated Dwelling
 Location : 224 State Highway 1, Awanui
 Client : Happy House Haulage
 Contractor : N/A
 Test number : T4A
 Water level : N/A
 Reduced level : Ex. GL

Test number : T5A
 Water level : N/A
 Reduced level : N/A

Test number : N/A
 Water level : N/A
 Reduced level : N/A



Test Methods

Determination of Penetration Resistance of a Soil, NZS 4402 : 1988, Test 6.5.2
 Inferred CBR values taken from Austroads Pavement Design Manual 2004

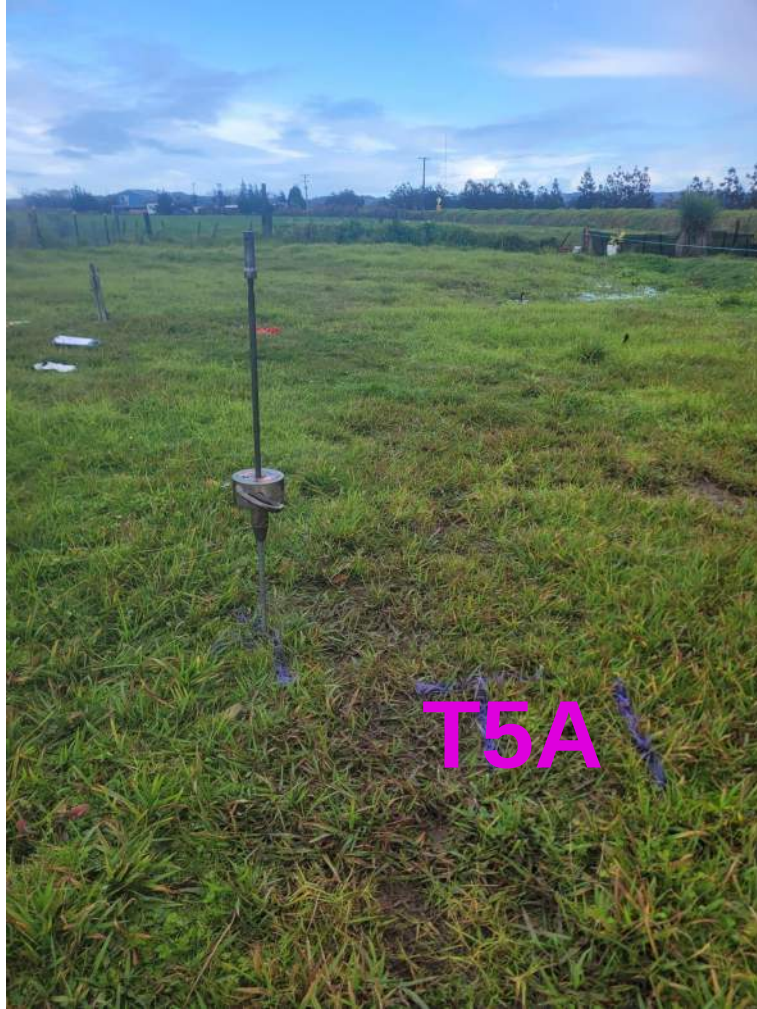
Date tested : 07/07/26
 Date reported : 09/07/26

Tested by: AVDL
 Reported by: AVDL

Scala Test Locations T1A - T4A



Scala Test Location T5A



Soil Profile for Hand Auger in Centre of House

Test Location	Depth of Sample / Test [m]	Corrected Shear Vane Results		Soil Description / Classification
		Undisturbed [kPa]	Disturbed [kPa]	
A-1	Existing Ground Level			
	0.0 - 0.5	134	77	0.0 – 0.1m: Topsoil, Dark Brown, Uniformly graded, Moist. 0.1 – 0.5m: CLAY Loam, Light brown with grey and dark brown mottling, Loose, Firm, High plasticity, Moderately sensitive, Moist.
	0.5 - 1.0	167	77	CLAY Loam, Light (orangey) brown with grey mottling, Loose to medium dense, Firm, High plasticity, Moderately sensitive, Moist.
	1.0 - 1.5	137	86	CLAY Loam, Light (orangey) brown with grey mottling until 1.3m, Medium dense to dense, Firm, High plasticity, Moderately sensitive, Moist
	1.5 - 2.0	134	95	CLAY Loam, Light (orangey) brown, Medium dense to dense, Firm, High plasticity, Moderately sensitive, Moist, GWL not reached.

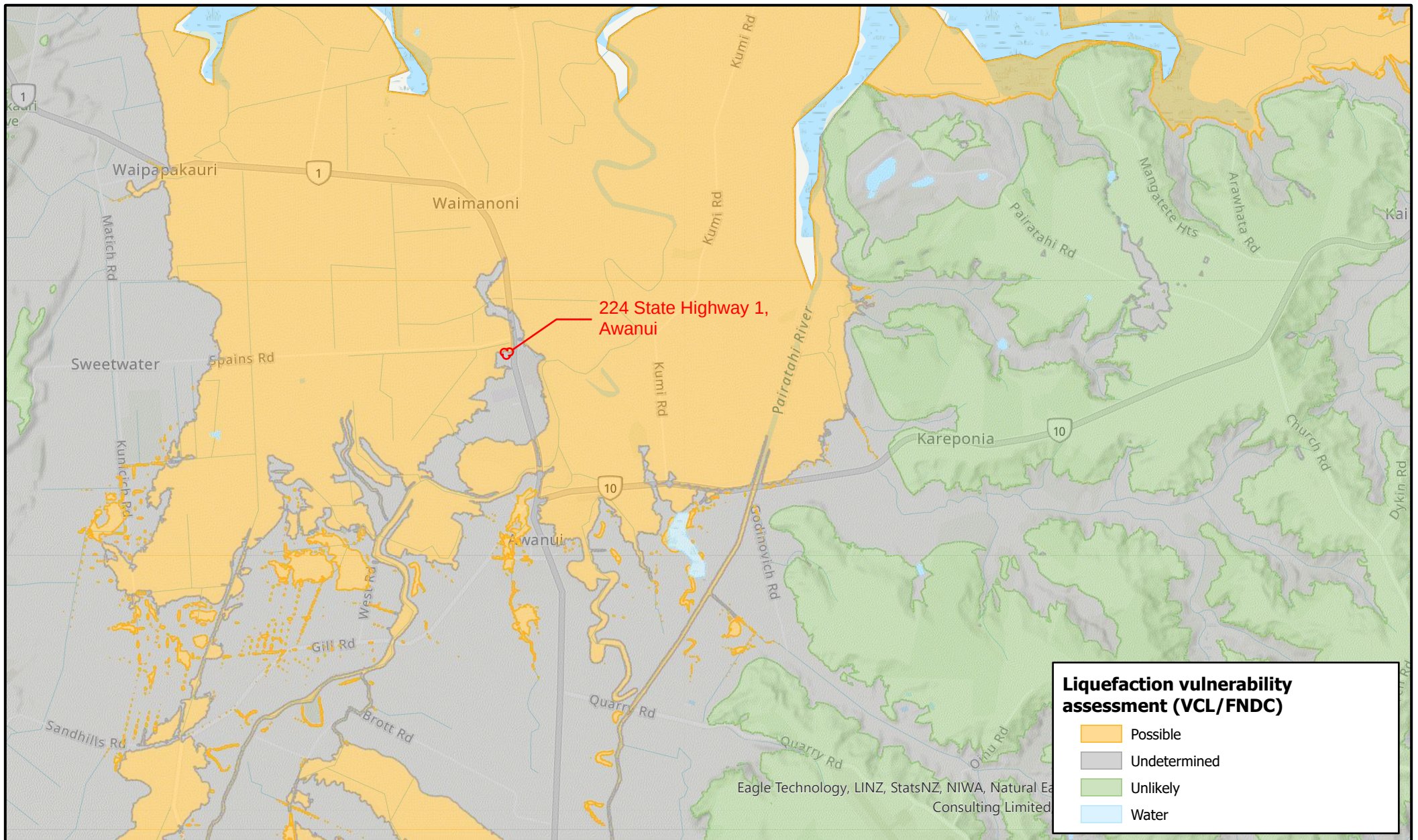
Hand Auger Test Location



Soil Samples to 2.0m for Hand Auger



FNDC Liquefaction Risk Map



DISCLAIMER:

While the Far North District Council strives to keep the data in this service current, it may not be the most recent or most accurate data available. No reliance on the information contained on this map by any person is permitted. FNDC will not be liable for any omissions or errors of information contained on this map. FNDC recommends that persons seek specific advice on individual properties from FNDC and other specialist organisations which may hold more up to date or accurate information.

Section 72 Acknowledgement

I/We the owner/s of **224 State Highway 1, Awanui, Northland – Lot 18 DP 40198** with respect to building consent application **EBC-2027-72/0** acknowledge that we have been notified that the aforementioned consent, if approved will be granted subject to Section 72 of the Building Act 2004 and as such, a notice will be required to be registered on the affected title under Section 73 of the Building Act 2004.

I/We declare that we have had the opportunity to consult with legal advisors and/or engineers and understand the nature of the natural hazard (**Inundation**) on the property and the legal ramifications of a notice registered on the affected title under Section 73 of the Building Act 2004.

Please continue the assessment of the subject building consent application on this basis.

Signed:.....Owner

Date:

DRAWING INDEX

L100	COVER SHEET
L101	SITE PLAN
L102	FOUNDATION PLAN
L103	FLOOR PLAN
L104	CROSS SECTION
L105	ELEVATIONS
L106	ELEVATIONS
L107	DRAINAGE PLAN
A101	PILE FOOTING DETAILS
A102	PILE FIXING DETAILS
A103	PLUMBING INFORMATION



Client :	HAZELY WINDELBORN
Project :	Proposed Relocated Dwelling for Lot 18 DP 40198 224 State Highway 1, Awanui, Northland 0486

Drawn:	Caleb
Checked:	

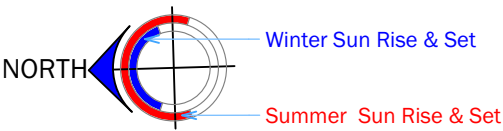
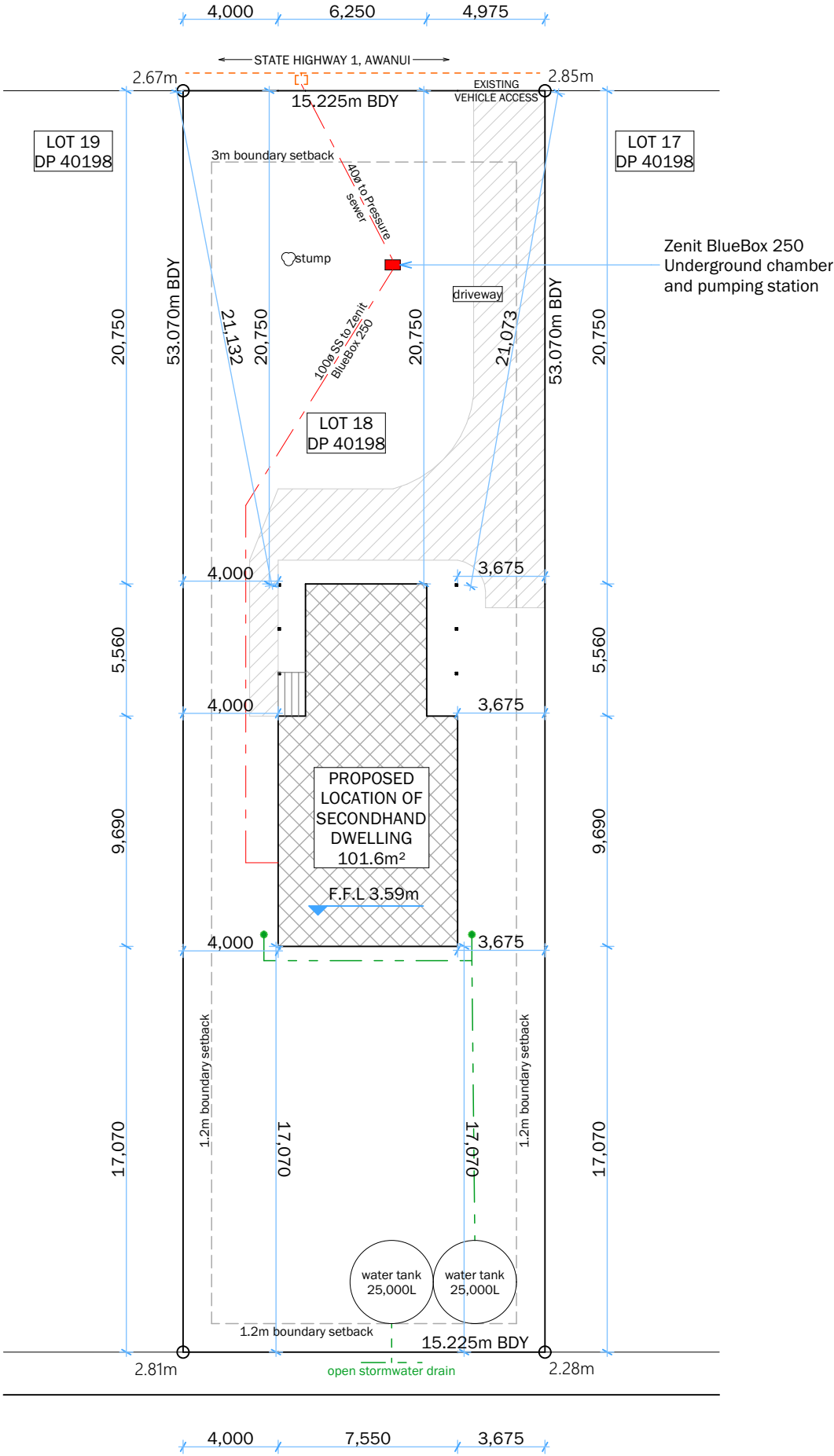
Wind Zone:	High
E/Quake Zone:	C

Sheet :	COVER SHEET
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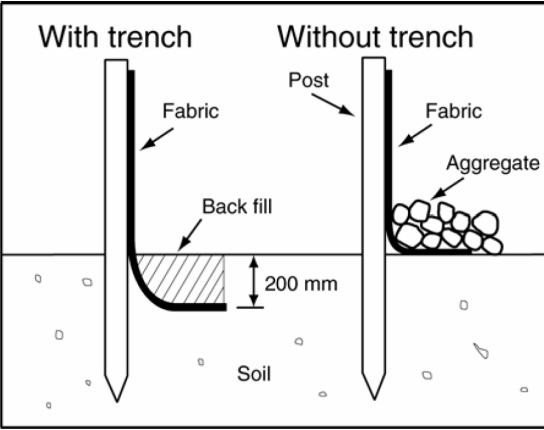
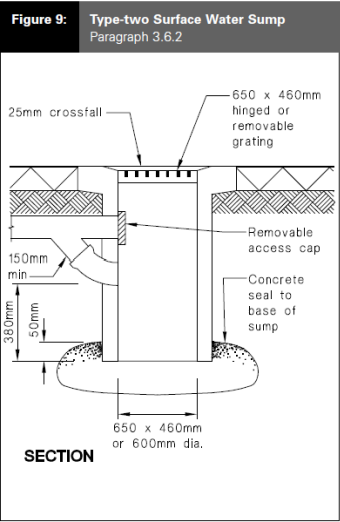
All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies, ask the designer or contractor immediately. COPYRIGHT; These drawings remain the property of Halo Group Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission.	
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Date :	26,06,26	Job no :	
Scale :		Sheet no :	L100
Revision :			

Driveways & Paths comply with NZBC D1/AS1
Surface water to comply with NZBC E1/AS1.
Surface water from all new impermeable surface to be collected and piped away from building.
The building site is to comply with NZBC F5 Construction and Demolition Hazards. Provide 2.0m high site barrier to prevent unauthorized access.



Proposed Relocated Dwelling for Lot 18 DP 40198
SITE ADDRESS = 224 State Highway 1
Awanui, Northland
SITE AREA = 809m²
SITE COVERAGE = 101.6m²
EXPOSURE ZONE = C
WIND ZONE = HIGH
Impervious Area (m²) = 133.1m² (roof cover area)
= 102.9m² (driveway & foot path area)
Total area = 236.0m²



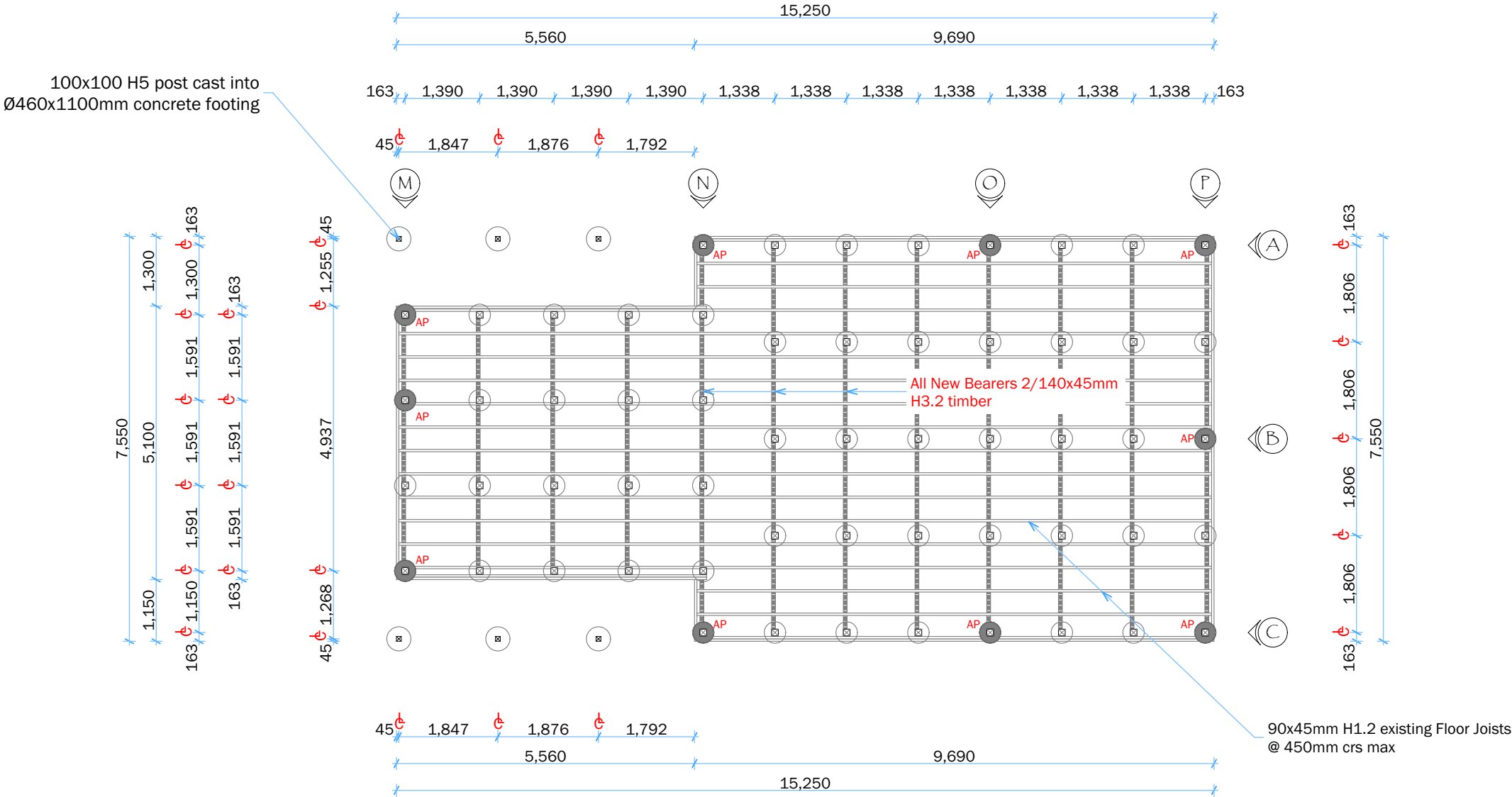
F4.3.1 Where people could fall 1 metre or more from an opening in the external envelope or floor of a building, or from a sudden change of level within or associated with a building, a barrier shall be provided.

NOTE
 All construction shall be carried out in accordance with NZBC, and NZS 3604 : 2011
 As well to comply with any Local Authority by laws Use SG8 Structural Timber throughout

 All timber in contact with concrete to have D.P.C under
 All fixings subject to weathering to be stainless steel fixings
 All fixings below 600mm from F.G.L to be stainless steel fixings

Piles = 125x125mm H5

- Ordinary Pile
 460mm Ø wide x 1100mm deep
 Extend through to good ground
- Anchor Pile
 460mm Ø wide x 1100mm deep
 Extend through to good ground
 12kN pile fixings ' Lumberlok '



NOTE ALL DIMENSION MUST BE CONFIRMED ON SITE PRIOR TO SETTING OUT PILES

*** NOTE ***
All construction shall be carried out in accordance with NZBC, and NZS 3604 : 2011
As well to comply with any Local Authority by laws
Use SG8 Structural Timber throughout

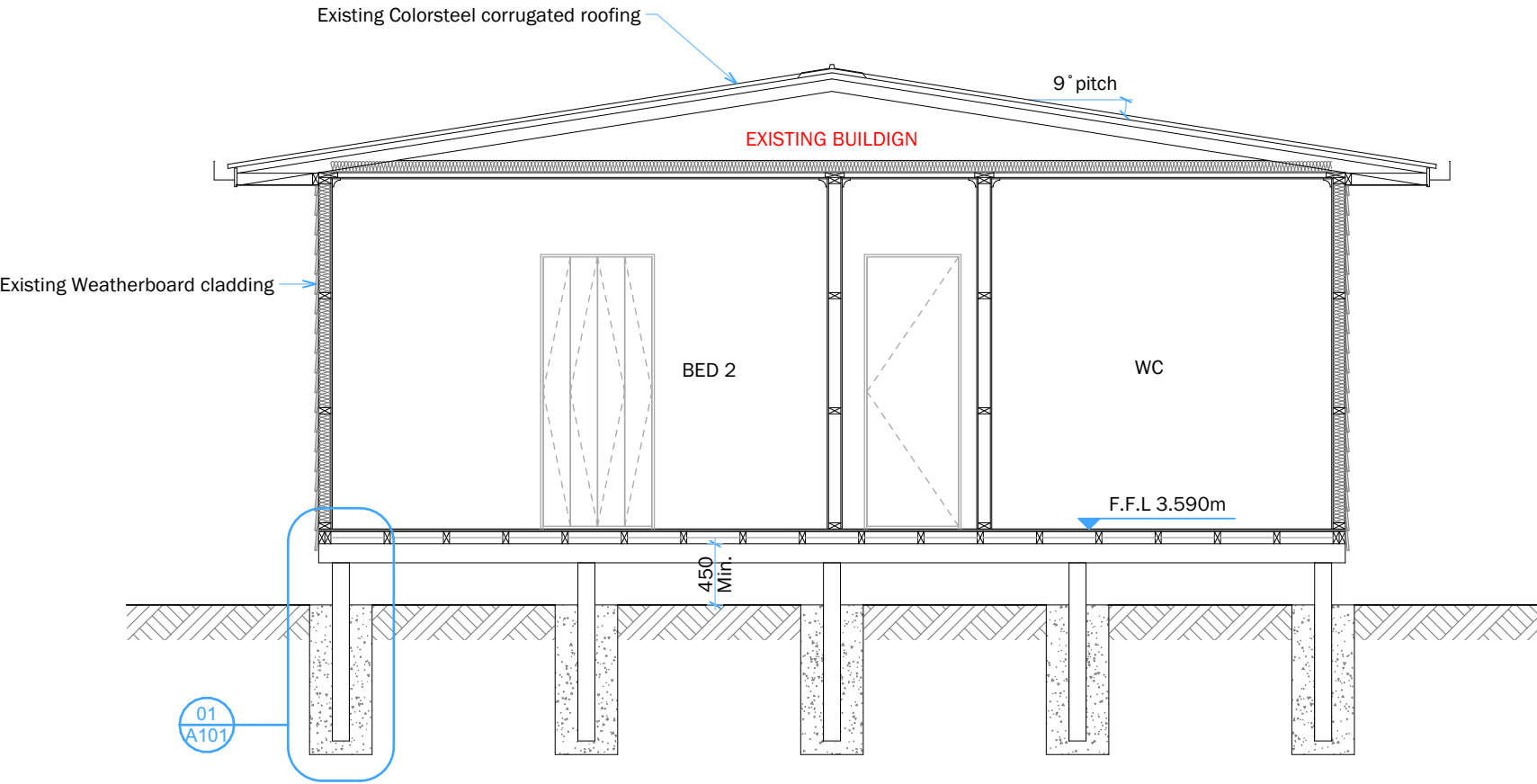
-  BATHROOM HEATER/LIGHT/ FAN
-  Interconnected smoke alarm
-  EXISTING TILE AREA

ROOM	Airflow Rate (min.)
Toilet	25 l/s
bathroom/shower	25 l/s
Kitchen	50 l/s

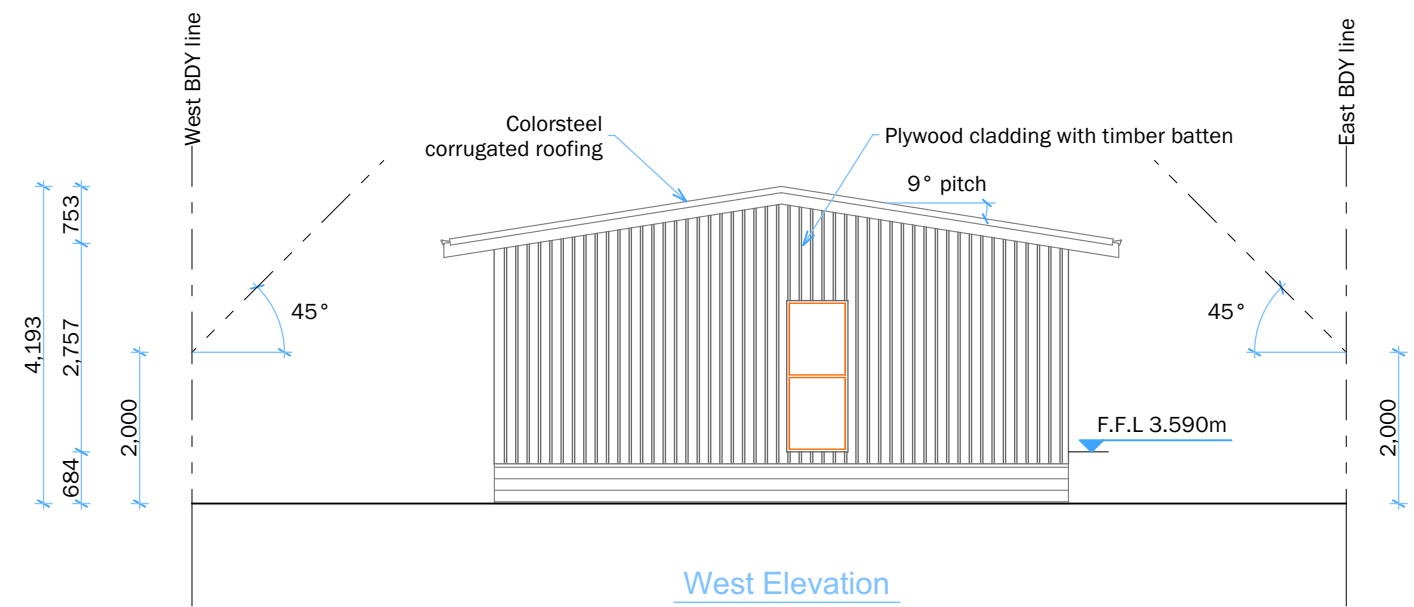


LIVING AREA	101.6m²
TOTAL AREA	101.6m²

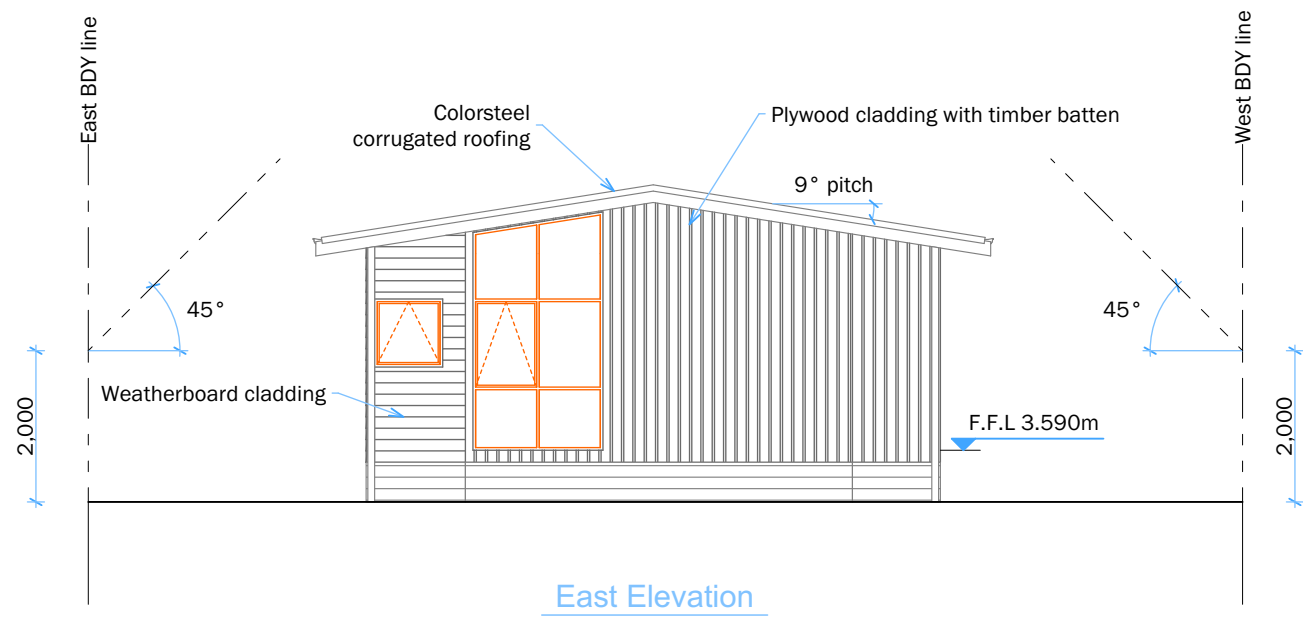
*** NOTE ***
All construction shall be carried out in accordance with NZBC, and NZS 3604 : 2011
As well to comply with any Local Authority by laws
Use SG8 Structural Timber throughout



*** NOTE ***
All construction shall be carried out in accordance with NZBC, and NZS 3604 : 2011.
As well to comply with any Local Authority by laws Use SG8 Structural Timber throughout

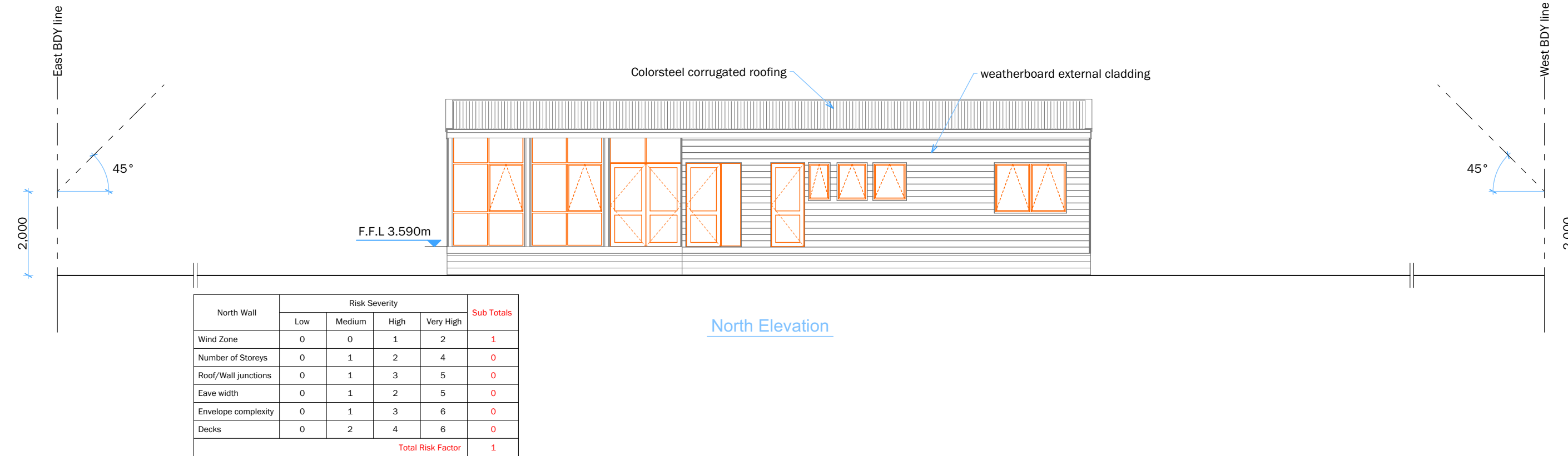
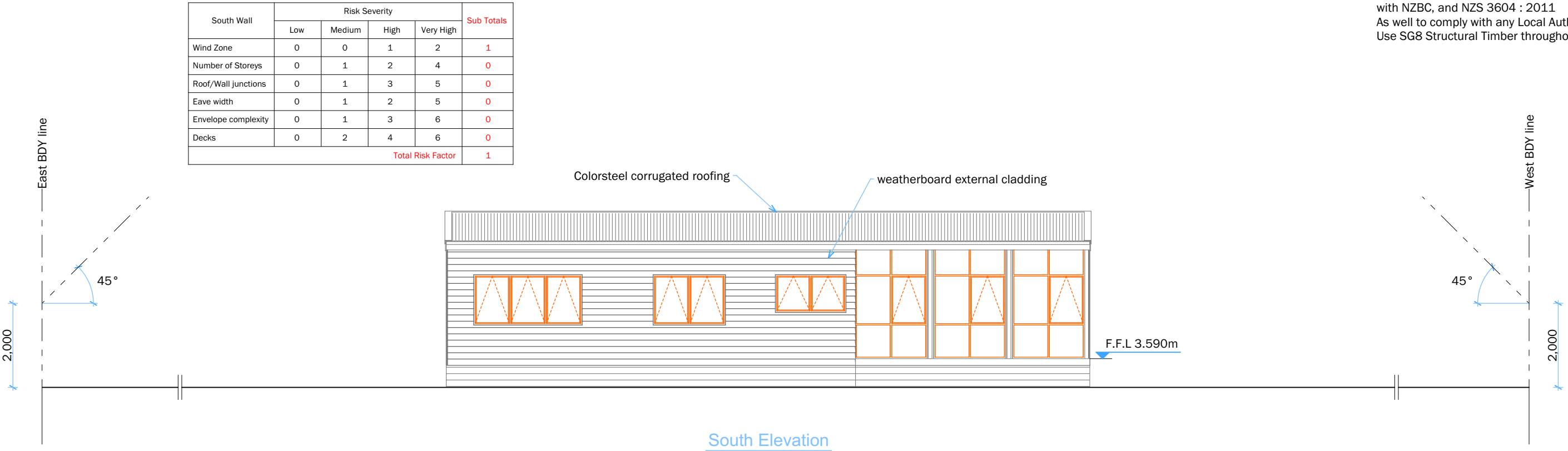


West Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	1
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	5
Envelope complexity	0	1	3	6	0
Decks	0	2	4	6	0
Total Risk Factor					6



East Wall	Risk Severity				Sub Totals
	Low	Medium	High	Very High	
Wind Zone	0	0	1	2	1
Number of Storeys	0	1	2	4	0
Roof/Wall junctions	0	1	3	5	0
Eave width	0	1	2	5	5
Envelope complexity	0	1	3	6	0
Decks	0	2	4	6	0
Total Risk Factor					6

*** NOTE ***
All construction shall be carried out in accordance with NZBC, and NZS 3604 : 2011
As well to comply with any Local Authority by laws
Use SG8 Structural Timber throughout



Notes:
Water heaters shall be installed in accordance with the manufacturer’s instructions. Safe tray to be directed to ground as per the requirements of NZBC G12/AS1.

6.14 Safe water temperatures

6.14.1 Maximum temperatures

The delivered hot water temperature at the outlet of any *sanitary fixture* used for personal hygiene shall not exceed:

- a) 45°C for *early childhood education and care centres*, schools, old people’s homes, institutions for people with psychiatric or physical disabilities, hospitals, and
- b) 50°C for all other buildings.

COMMENT:

- 1. At greatest risk from scalding are children, the elderly, and people with physical or intellectual disabilities, particularly those in institutional care.
- 2. *Sanitary fixtures* used for personal hygiene includes showers, baths, hand basins and bidets.
- 3. For licensing purposes for *early childhood education and care centres*, the Ministry of Education requires the temperature of water delivered from taps that are accessible to children does not exceed 40°C.

6.14.2 Delivery temperature control devices

Devices for limiting the hot water temperature delivered to *sanitary fixtures* used for personal hygiene shall comply with Table 8A and Table 8B.

6.14.3 Legionella bacteria

Irrespective of whether a delivery temperature control device is installed, the *storage water heater* control thermostat shall be set at a temperature of not less than 60°C to prevent the growth of Legionella bacteria.

*** NOTE ***
All construction shall be carried out in accordance with NZBC, and NZS 3500.2
As well to comply with any Local Authority by laws
Use SG8 Structural Timber throughout

** PIPE GRADIENT **	
SEWER PIPE	Ø65mm = 1 : 40 FALL Ø100mm = 1 : 60 FALL
STORMWATER PIPE	Ø100mm = 1 : 120 FALL

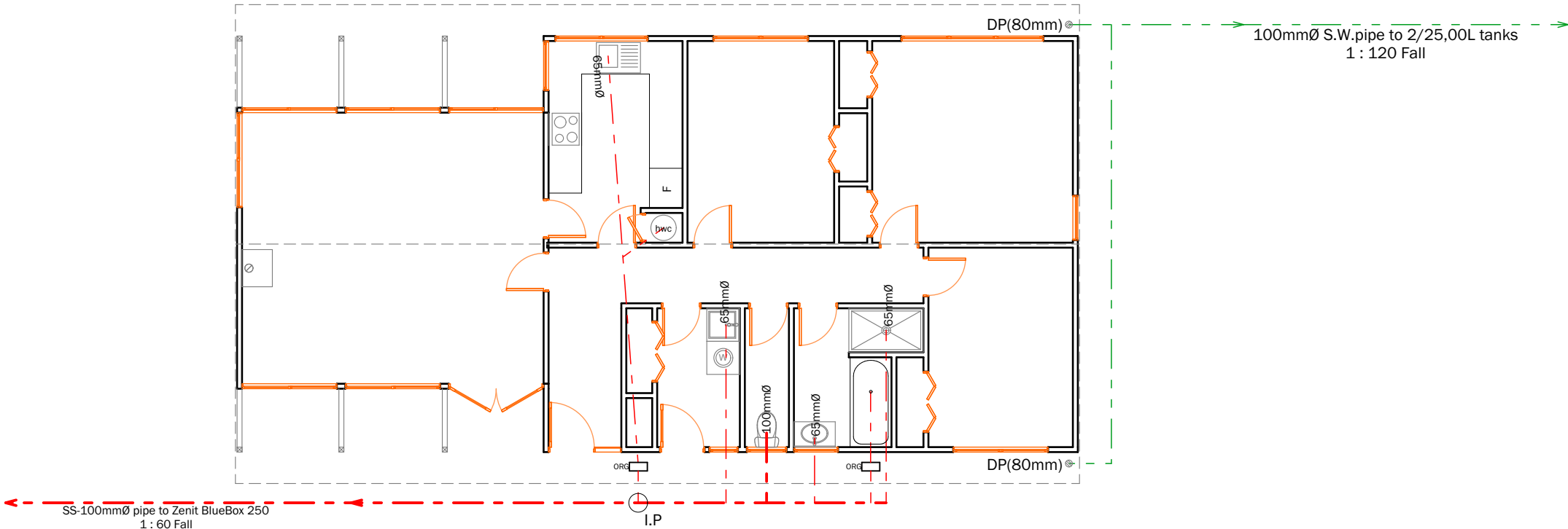


Table 1:	Pipe Materials for Hot and Cold Water Paragraphs 2.1.2, 2.2.1 and 6.7.2
Material	Relevant Standard
Hot and Cold	
Copper	NZS 3501
Galvanised steel	NZS/BS 1387
Polybutylene	AS/NZS 2642: Parts 1, 2 and 3
Cold Only	
PVC-U	AS/NZS 1477
Polyethylene	NZS 7601 for pressures up to 0.9 MPa (Type 3) NZS 7602 for pressures up to 1.2 MPa (Type 5) NZS 7610 for pressures up to 1.2 MPa AS/NZS 4129 for fittings AS/NZS 4130 for pressures up to 2.5 MPa

Table 5:	Downpipe Sizes for Given Roof Pitch and Area Paragraph 4.2.1			
Downpipe size (mm) (minimum internal sizes)	Roof pitch			
	0-25°	25-35°	35-45°	45-55°
Plan area of roof served by the downpipe (m²)				
63 mm diameter	60	50	40	35
74 mm diameter	85	70	60	50
100 mm diameter	155	130	110	90
150 mm diameter	350	290	250	200
65 x 50 rectangular	60	50	40	35
100 x 50 rectangular	100	80	70	60
75 x 75 rectangular	110	90	80	65
100 x 75 rectangular	150	120	105	90



Client : HAZELY WINDELBORN
Project : Proposed Relocated Dwelling for Lot 18 DP 40198
224 State Highway 1, Awanui, Northland 0486

Drawn: Caleb
Checked:

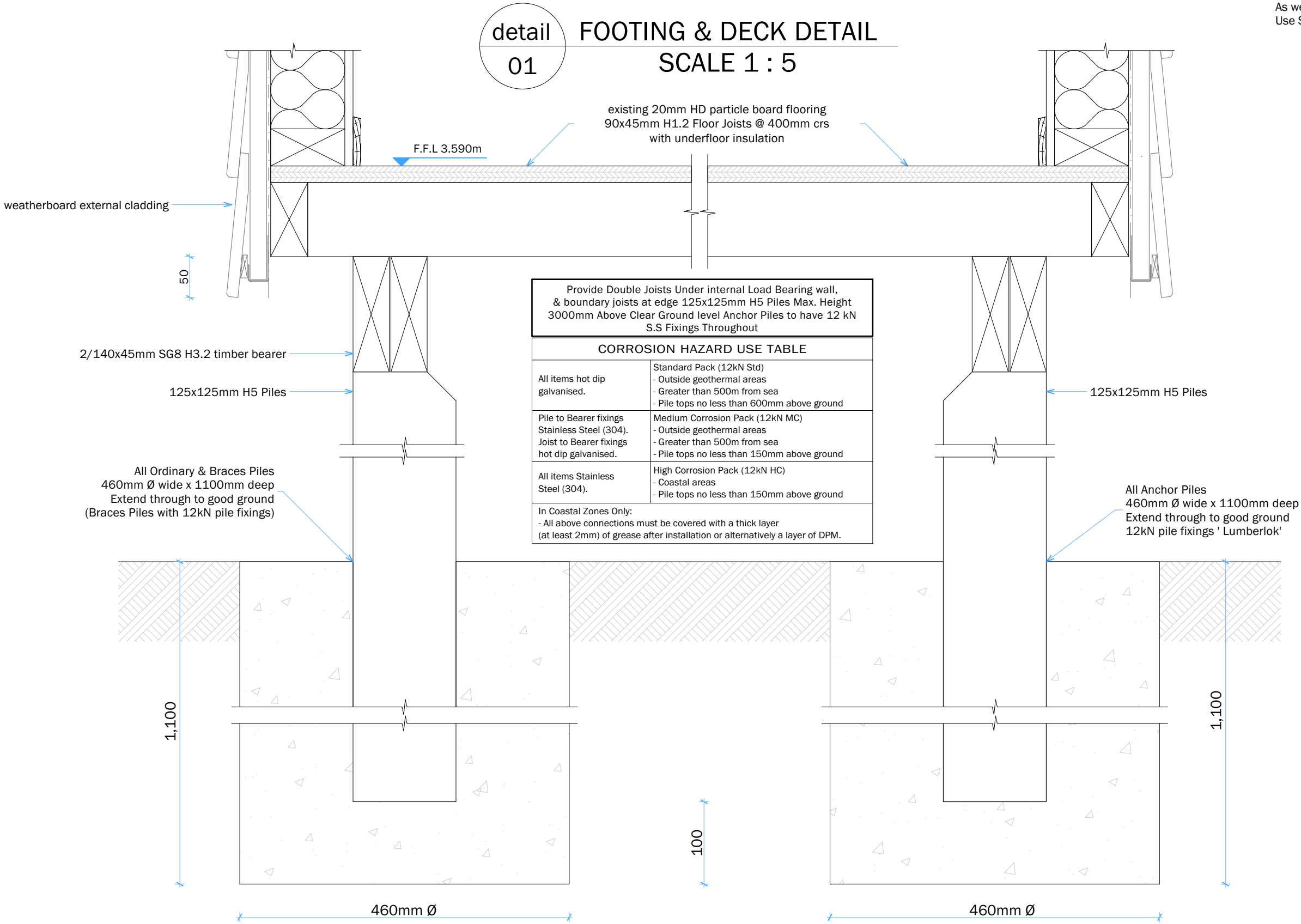
Wind Zone: High
E/Quake Zone: C

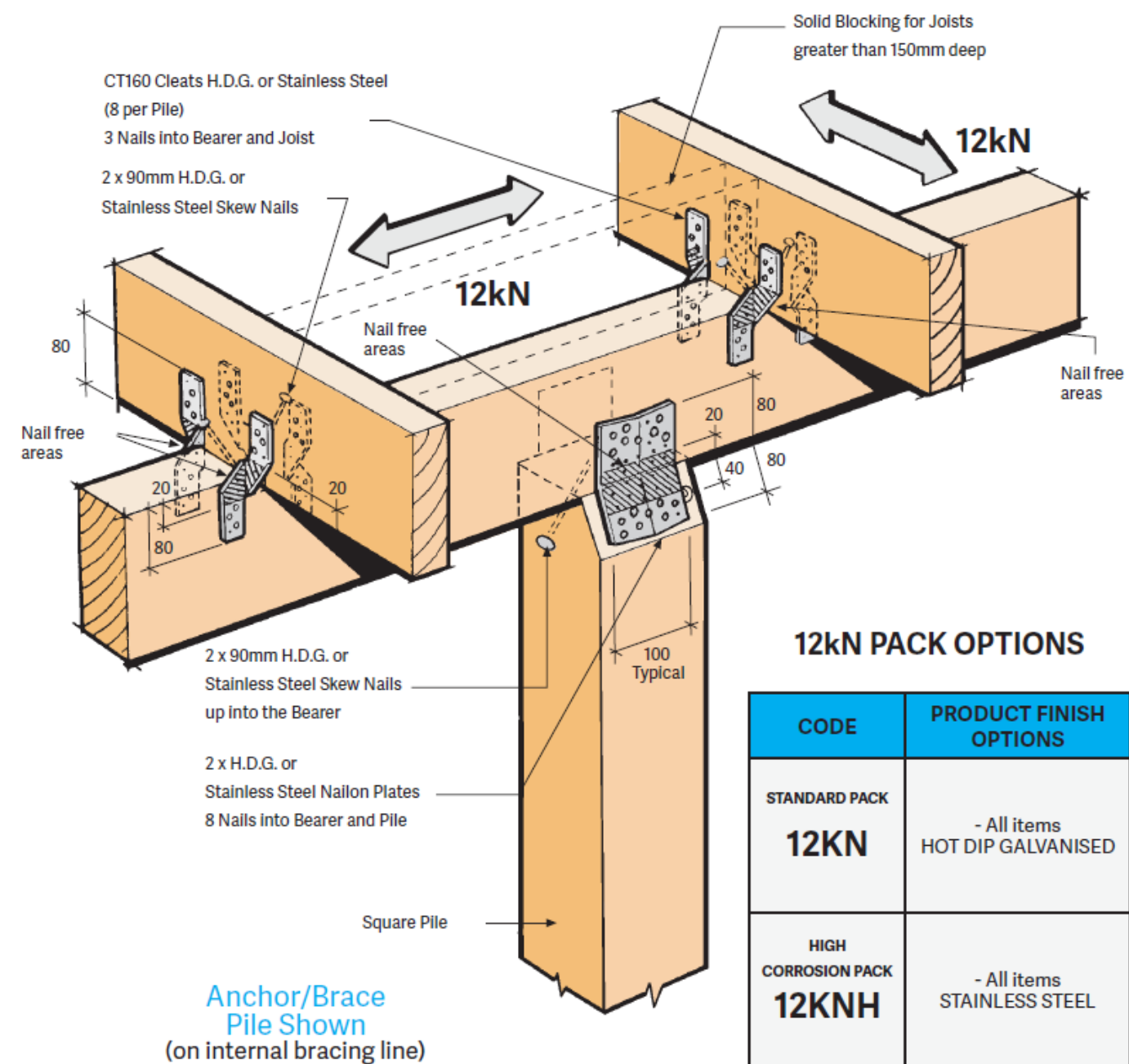
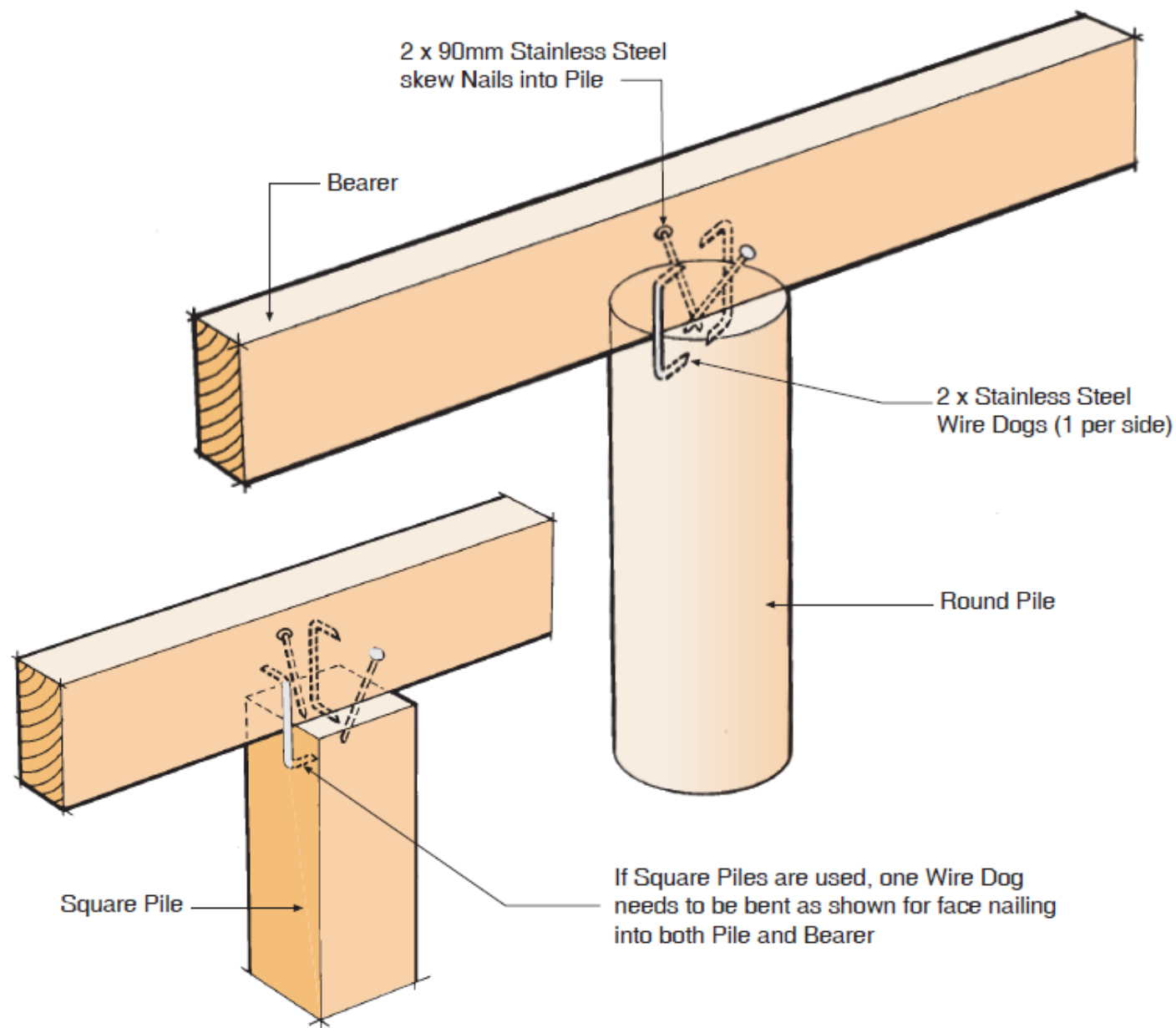
Sheet : DRAINAGE PLAN

All dimensions & underground service locations to be checked prior to commencement of all works. DO NOT scale off drawings. Cross reference all drawings, confirm site levels, floor heights & restrictions prior to earthworks. If any discrepancies, ask the designer or contractor immediately. COPYRIGHT; These drawings remain the property of Halo Group Ltd and are provided for use as described above and may not be used or re-produced in whole or part without written permission.

Date : 26,06,26 Job no :
Scale : 1:100 Sheet no : L107
Revision :

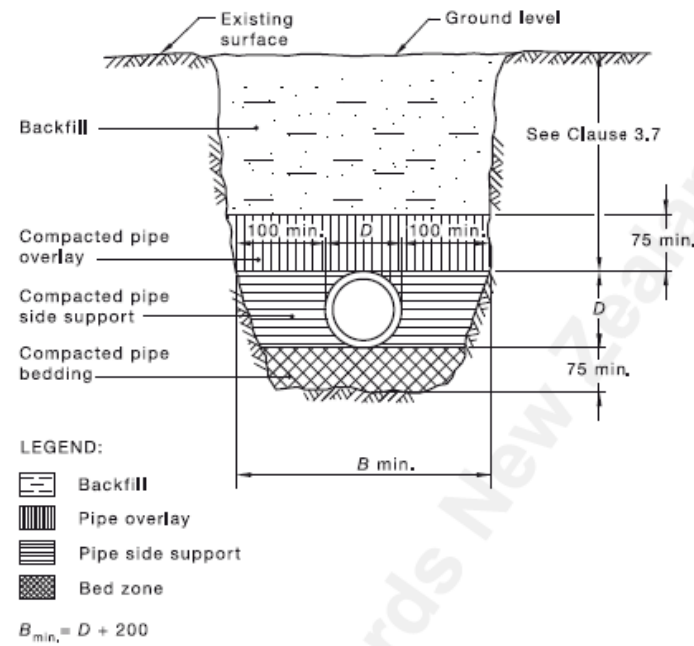
*** NOTE ***
All construction shall be carried out in accordance with NZBC, and NZS 3604 : 2011
As well to comply with any Local Authority by laws
Use SG8 Structural Timber throughout





12kN PACK OPTIONS

CODE	PRODUCT FINISH OPTIONS
STANDARD PACK 12KN	- All items HOT DIP GALVANISED
HIGH CORROSION PACK 12KNH	- All items STAINLESS STEEL



DIMENSIONS IN MILLIMETRES

FIGURE 5.4.4 TYPICAL BEDDING OF DRAINS

5.4.5 Minimum cover

The minimum cover requirements for drain shall be in accordance with Clause 3.7.

5.5 INSTALLATION OF BACKFILL MATERIALS

5.5.1 General

Backfill materials shall be compacted to restore the trench as near as practicable to the normal surrounding ground surface level and reduce the likelihood of subsidence.

NOTE: For minimum cover, see Clause 3.7.

5.5.2 Excavated material

Excavated material from the trench may be suitable for final backfill, provided it is free from rock, hard matter and organic material, and broken up so that it does not contain soil lumps larger than 75 mm, which would prevent adequate compaction.

3.7 DEPTH OF COVER FOR BURIED PIPES

3.7.1 General

Drains shall be laid in a manner that provides protection against mechanical damage and deformation due to vehicular loadings.

3.7.2 Depth of cover

Drains shall be installed with a minimum depth of cover, measured from the top of the pipe socket or inspection opening to the finished surface level, as specified in Table 3.7.2.

TABLE 3.7.2
MINIMUM COVER FOR BURIED PIPES

Location	Minimum depth of cover mm	
	Cast iron and ductile iron	Other materials
Subject to vehicular traffic	300	500
All other locations	Nil	300*

* Except as provided in Clauses 3.7.3 and 3.7.4.

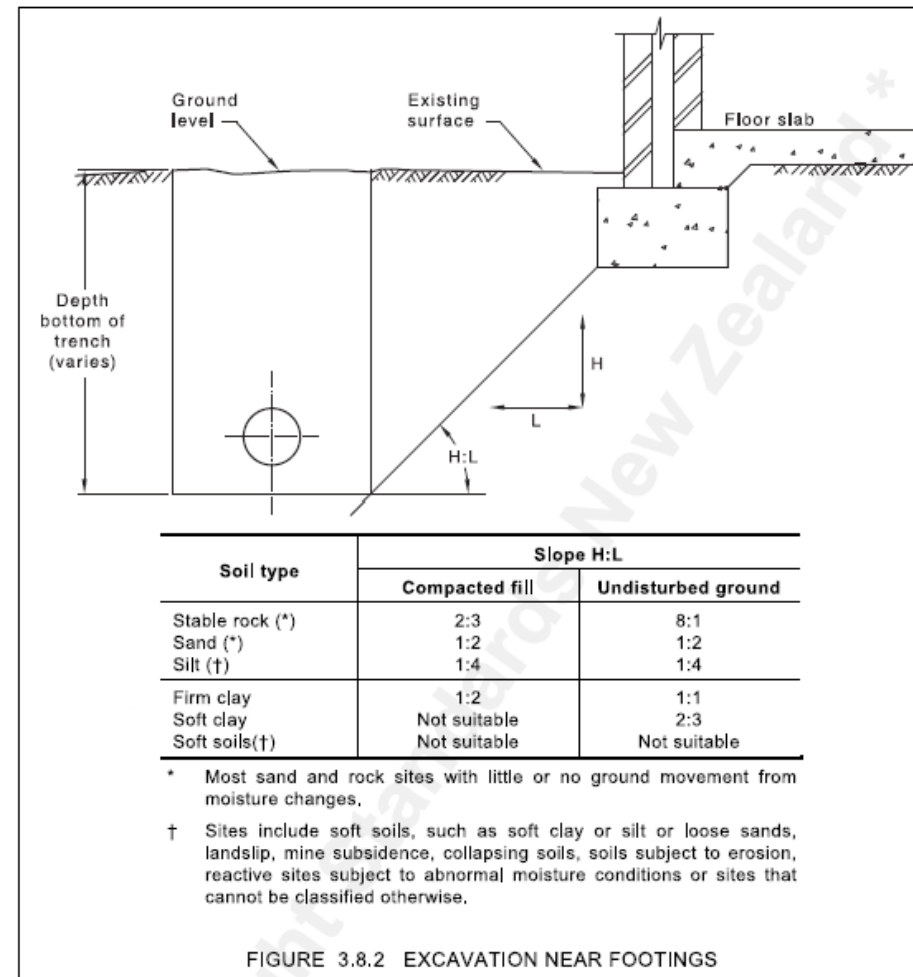


FIGURE 3.8.2 EXCAVATION NEAR FOOTINGS

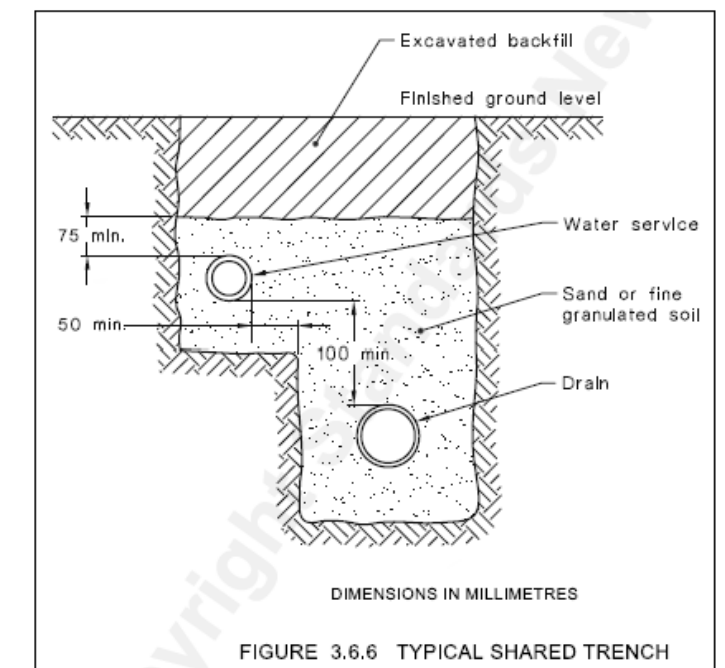


FIGURE 3.6.6 TYPICAL SHARED TRENCH