



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? **Yes / No**

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Discharge
- Extension of time (s.125)
- Change of conditions (s.127)
- Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? Yes / No

4. Applicant Details:

Name/s: Joe Allen

Electronic Address for Service (E-mail): [Redacted]

Phone Numbers: [Redacted]

Postal Address: (or alternative method of service under section 352 of the Act) [Redacted]

Post Code: [Redacted]

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: Martin O'Brien

Electronic Address for Service (E-mail): martin@obrienconsulting.co.nz

Phone Numbers: Work: 027 4075208 Home: _____

Postal Address: (or alternative method of service under section 352 of the Act) 153B Kerikeri Inlet Road, Kerikeri

Post Code: 0230

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Joe Allen

Property Address/
Location: 3 Tareha Place, Kerikeri

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/
Location: 3 Tareha Place, Kerikeri

Legal Description: Lot 2 DP 540557 Val Number: _____

Certificate of Title: 906355
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / No

Is there a dog on the property? Yes / No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Application for building coverage as a Restricted Discretionary activity is due to building coverage being a total of 13.1% (393.5m²) of the total lot area. Resulting in 93.5m² over the 10% (300m²) permitted allowance outlined in the Far North District Plan, Section 8.7.5.1.13. Mitigation discussed including existing and proposed landscaping. Application for Stormwater Management as a Discretionary activity is due to impermeable surfaces being a total of 26% (782.2m²) of the total lot area. Resulting in 282.2m² over the 500m² consented impermeable surface allowance as per Consent Notice 11600632.5 (i).

Mitigation outlined in a Stormwater Mitigation Report by Wilton Joubert Engineers. If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know
SVR Report by NZ Environmental, 25 July 2017 for the subdivision. No issues encountered.

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

[Redacted]

Email:

[Redacted]

Postal Address:

[Redacted]

Post Code: [Redacted]

Phone Numbers:

Work: [Redacted]

Home: _____

Fax: _____

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: [Redacted] (please print)

Signature: [Redacted] (signature of bill payer – mandatory)

Date: 06/12/2023

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: _____ (please print)

Signature _____ (signature)

(A signature made by electronic means)

Date: _____

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

ASSESSMENT OF ENVIRONMENTAL EFFECTS

Building Coverage & Stormwater Management

Joe Allen
3 Tareha Place
Kerikeri
Lot 2 DP 540557

Written by Nicola & Martin O'Brien

Rev: A
Date: 6th December 2023
Job No: 4127

Ph: (09) 407 5208 | Mob: 027 407 5208
E-mail: martin@obrienconsulting.co.nz
E-mail: nicola@obrienconsulting.co.nz

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Form 9

Application for Resource Consent under Sections 127 Resource Management Act 1991

To Far North District Council

1. *Joe Allen, from 3 Tareha Place, Kerikeri, Lot 2 DP 540557, applies for Resource Consent due to the following rule breaches in a Rural Living Zone:*

Application for building coverage as a Restricted Discretionary activity is due to building coverage being a total of 13.1% (393.5m²) of the total lot area. Resulting in 93.5m² over the 10% (300m²) permitted allowance outlined in the Far North District Plan, Section 8.7.5.1.13.

Rural Living Zone: Far North District Plan Section 8.7.5.3.4 Building Coverage:

Any new building or alteration/addition to an existing building is a Restricted Discretionary activity if the total Building Coverage of a site does not exceed 15% or 4000m², whichever is the lesser, of the gross site area. The activity is not Controlled as building coverage is not listed in that section.

Application for Stormwater Management as a Discretionary activity is due to impermeable surfaces being a total of 26% (782.2m²) of the total lot area. Resulting in 282.2m² over the 500m² consented impermeable surface allowance as per Consent Notice 11600632.5 (i).

Rural Living Zone: Far North District Plan Section 8.7.5.1.5 Stormwater Management states:

The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 12.5% or 3,000m², whichever is the lesser. 8.7.5.4 (c) states a Discretionary activity "does not comply with one or more of the other standards for permitted controlled or restricted discretionary activities in this zone as set out under Rules 8.7.5.1, 8.7.5.2 and 8.7.5.3.

A Stormwater Mitigation Report has been written by Wilton Joubert Consulting Engineers, 6th December 2023. The report outlines mitigation measures including adjusting the existing rainwater tank to act as detention.

The applicant opts out of the fast-track consent process as the breach is a Restricted Discretionary and Discretionary activity.

2. *The activity to which the application relates (the proposed activity) is as follows:*

An existing dwelling, shed and driveway are located at 3 Tareha Place, Kerikeri, Lot 2 DP 540557. O'Brien Design Consulting wrote an Assessment of Environmental Effects for stormwater management and building coverage for the original owner, Heath Nixon, 23rd August 2021. The Resource Consent was granted.

The new owner of 3 Tareha Place, Joe Allen, proposes to construct a 27m² addition to the east of the dwelling. A new Assessment of Environmental Effects report for stormwater management and building coverage is required.

This report addresses relevant criteria in the existing and proposed Far North District Plan and Resource Management Act (1991).

3. *The location of the proposed activity:*

3 Tareha Place is located to the west of Landing Road, Kerikeri and is zoned Rural Living in the Far North District Plan. Refer to the Site Location Plan, Appendix I, Sheet A01a, showing the location of Lot 2 DP 540557 and the surrounding area.

4. The owner listed is the only owner/occupier of the site to which this application relates.
5. There are no other activities that are part of the proposal to which this application relates.
6. No additional resource consents are required for the proposal to which this application relates.
7. Attached is an assessment of the proposed activity's effect on the environment that:
 - a. Includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
 - b. Addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
 - c. includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.
8. Attached is an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.
9. Attached is an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including the information required by clause 2(2) of Schedule 4 of that Act.
- 10-13 Not applicable.
14. Attached is further information required to be included in this application by the District Plan, the Regional Plan, the Resource Management Act 1991, or any regulations made under that Act.

1.0 Introduction

An existing dwelling, shed and driveway are located at 3 Tareha Place, Kerikeri, Lot 2 DP 540557. O'Brien Design Consulting wrote an Assessment of Environmental Effects for stormwater management and building coverage for the original owner, Heath Nixon, 23rd August 2021. The Resource Consent was granted.

The new owner, Joe Allen, proposes to construct a 5.2m x 5.2m (27m²) addition to the east of the dwelling and install a 40m² future swimming pool. The addition and pool will alter the building coverage and stormwater management required for the property. A new Assessment of Environmental Effects report for stormwater management and building coverage is required.

1.1 Scope

O'Brien Design Consulting were engaged by Joe Allen to prepare an Assessment of Environmental Effects Report to accompany an application to for Resource Consent addressing the requirements of Section 88.2 and Schedule 4 of the Resource Management Act 1991. The application is to be submitted to the Far North District Council. This application has been prepared in accordance with Form 9 and Schedule 4, Sections 2, 6 and 7 of the Resource Management Act.

Relevant District Plan rules and proposed District Plan rules have been assessed along with objectives and policies, for each plan. District Plan Criterion for building coverage are addressed in this report. A Stormwater Mitigation Report by Wilton Joubert Engineers addresses criterion for stormwater management and is attached as Appendix II.

1.2 Description of Activity

An existing dwelling and shed are located on the property. An addition to the dwelling and future swimming pool are proposed.

Building Coverage:

Existing dwelling:	263.5m ²
Proposed addition:	27.0m ²
Existing shed:	63.0m ²
Future pool:	<u>40.0m²</u>
Total:	393.5m ²

Refer to attached Site Plan for the location of each building (Appendix I).

Application for building coverage as a Restricted Discretionary activity is due to building coverage being a total of 13.1% (393.5m²) of the total lot area. Resulting in 93.5m² over the 10% (300m²) permitted allowance outlined in the Far North District Plan, Section 8.7.5.1.13.

Rural Living Zone: Far North District Plan Section 8.7.5.3.4 Building Coverage:

Any new building or alteration/addition to an existing building is a Restricted Discretionary activity if the total building coverage of a site does not exceed 15% or 4000m², whichever is the lesser, of the gross site area.

The activity is not controlled as building coverage is not listed in that section.

Stormwater Management:

Existing dwelling:	313.1m ²
Proposed addition:	33.2m ²
Existing shed:	63.0m ²
Concrete driveway	332.9m ²
Future pool:	<u>40.0m²</u>
Total:	782.2m ²

Application for stormwater management as a Discretionary activity is due to impermeable surfaces being a total of 26% (782.2m²) of the total lot area. Resulting in 282.2m² over the 500m² consented impermeable surface allowance as per Consent Notice 11600632.5 (i).

Rural Living Zone: Far North District Plan Section 8.7.5.1.5 Stormwater Management states:

The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 12.5% or 3,000m² whichever is the lesser.

A Stormwater Mitigation Report has been written by Wilton Joubert Consulting Engineers. The report outlines mitigation measures including utilising 3 existing rainwater tanks to act as detention. The report is provided in Appendix II. The low impact design principles utilised will mitigate runoff from impermeable areas exceeding permitted threshold to that of predevelopment levels (10% and 1% AEP). With mitigation stormwater effects are considered to be less than minor on the receiving environment.

2.0 Site Description

Lot 2 DP 540557 is a 3,003m², roughly square shaped, flat to very slightly sloping, established residential property located at 3 Tareha Place, Kerikeri. Access to the property is gained via a chip seal right of way off Tareha Place. The driveway enters the property at the northwest corner.

Lot 2 is part of a new, residential subdivision consisting of 15 residential sections ranging from 2,713m² to 4,229m² in area. Lot 17 and 19 are not residential sections but include legal access. Some of the sections have planted hedges along each boundary, some are bare grass. Landscaping has occurred along the right of way accessing Lot 2. Most of the lots are bare, grassed sections, yet to be built on. New dwellings have been built on at least 6 of the sections including Lot 8, 9, 11, 12, 14, 15. The existing and proposed development of Lot 2 is in keeping with the intended residential purpose of the subdivision. A dwelling with an addition, shed and pool are typical of the local area and in keeping with the surrounding environment.

An existing dwelling, shed and concrete driveway are located on the property. The buildings are serviced by 3 water tanks and onsite wastewater consisting of an aeration treatment system with buried dripper line. The northeasterly facing dwelling is modern and stylish improving the amenity and financial value of adjacent properties and the subdivision overall.

Some existing plantings including conifer species are sporadically planted to the north of the dwelling. The owner plans to plant additional species along the northern boundary to provide privacy for the dwelling and future pool. The existing and additional plantings will provide screening and privacy from adjacent Lot 1, currently a bare grassed section. Photograph 1 shows the modern, stylish dwelling with plantings to the north of the dwelling. Additional landscaping is proposed along the northern boundary.

A mix of plant species provides screening along the eastern boundary. Small trees include Five Finger, Magnolia and Karo with shrubs including Kowhai, Dragons Gold, and groundcover. In time, once mature, the small trees and shrubs will create privacy from Landing Road which runs along the eastern boundary. Refer to Photograph 2 showing the well-established plantings well on there way to providing zero visibility of the property from Landing Road or properties to the east.

Photograph 3 shows existing, juvenile hedging along the boundary of neighbouring Lot 4. The hedging and existing plantings on Lot 2 have the potential to provide screening and privacy for the 2 properties as they mature. Note that both Lot 4 and 5 have juvenile hedging growing along all boundaries increasing privacy.

Neighbouring Lot 3 to the south has landscaped in a way that keeps the property open, spacious, and sunny. They have planted a Pittosporum hedge along part of the boundary along with low growing sporadic plantings to the north of their dwelling. The hedge has been kept low. Fruit trees including Guava, Feijoa, Plum and Citrus have been planted on Lot 2. Once the fruit trees mature, they will provide a certain amount of screening and privacy without affecting the spacious, openness and sunny landscape on southern Lot 3. Tall planting along the southern boundary has the potential to negatively affect the amount of sunlight and the openness on Lot 3. Refer to Photograph 4 showing existing plantings near the boundary of Lot 2 and 3.

Existing and proposed plantings on Lot 2, once mature, along with existing plantings on neighbouring properties (e.g., Lot 3 and 4) will provide (at least) a reasonable level of privacy for inhabitants of buildings on adjoining sites.



Photograph 1: Showing the modern, stylish dwelling with plantings to the north. Additional planting along the northern boundary is proposed.



Photograph 2: View to the north showing established plantings along the eastern boundary. Grassed open space with buried dripperline is shown in the photograph foreground. A new dwelling within the 15 lot subdivision is visible in the photograph background.



Photograph 3: View to the south showing existing plantings along the boundaries of neighbouring Lot 4. Plantings such as Bananas in the photograph background, on Lot 2, will assist in blending the buildings with the landscape.



Photograph 4: Showing the Pittosporum hedge and occasional lawn planting on neighbouring Lot 3 and existing juvenile fruit trees including Plum and Guava on Lot 2. The fruit trees once mature will provide screening.

3.0 Far North District Plan Review

3.1 Operative Far North District Plan

Application for building coverage as a Restricted Discretionary activity is due to building coverage being a total of 13.1% (393.5m²) of the total lot area. Resulting in 93.5m² over the 10% (300m²) permitted allowance outlined in the Far North District Plan, Section 8.7.5.1.13.

Application for Stormwater Management as a Discretionary activity is due to impermeable surfaces being a total of 26% (782.2m²) of the total lot area. Resulting in 282.2m² over the 500m² consented impermeable surface allowance as per Consent Notice 11600632.5 (i).

3.2 Operative Far North District Plan Other Rule Assessment:

The following District Plan rules all comply:

8.6.5.1.1 Residential intensity: Complies.

8.6.5.1.2 Sunlight: Complies.

8.6.5.1.4 Setback from Boundaries: 3m minimum, Complies.

8.6.5.1.8 Building Height: Permitted 9m proposed 4.5m: Complies.

12.3.6.1: Earthworks: No earthworks required outside building platform: Complies.

3.3 Operative Far North District Plan Objectives & Policies

3.3.1 Rural Living Zone, Section 8.7, Operative Far North District Plan

The following has been taken from the Operative Far North District Plan, Section 8.7, p. 1 and 2.

Objectives

8.7.3.1 To achieve a style of development on the urban periphery where the effects of the different types of development are compatible.

Applicable for building coverage. The proposed development is in keeping with the subdivision which consists of 15 residential lots in a relatively urban rather than rural area. The development is compatible with existing development and the likely future development of the remaining bare sections.

8.7.3.2 To provide for low density residential development on the urban periphery, where more intense development would result in adverse effects on the rural and natural environment.

Applicable. A single dwelling, shed and pool are proposed. The development is in keeping with low density development and is not considered intense development that would result in adverse effects on the rural and natural environment. Low impact design principles are to be used to reduce run off volumes and to protect receiving environments from the adverse effects of stormwater discharges.

8.7.3.3 To protect the special amenity values of the frontage to Kerikeri Road between SH10 and the urban edge of Kerikeri.

Not applicable.

Policies

8.7.4.1 That a transition between residential and rural zones is achieved where the effects of activities in the different areas are managed to ensure compatibility.

Not applicable. The subdivision consists of 15 sections ranging from 2,713m² to 4,229m². Residential activity is proposed for all properties. Transition achieved at subdivision stage.

8.7.4.2 That the Rural Living Zone be applied to areas where existing subdivision patterns have led to a semi-urban character but where more intensive subdivision would result in adverse effects on the rural and natural environment.

Not applicable. Subdivision has created a semi urban character of 15 properties ranging from 2,713m² to 4,229m² in size.

8.7.4.3 That residential activities have sufficient land associated with each household unit to provide for outdoor space, and where a reticulated sewerage system is not provided, sufficient land for onsite effluent disposal.

Applicable. The lot area of 3,003m² provides room for residential development with enough outdoor space for gardens, lawns, and onsite wastewater. The land is of sufficient size to include a 300m² buried dripper field and 100% reserve area. Stormwater is to be managed with 3 existing water tanks.

8.7.4.4 That no limits be placed on the types of housing and forms of accommodation in the Rural Living Zone, in recognition of the diverse needs of the community.

Not applicable. The style of housing is in keeping with modern, Kerikeri dwellings.

8.7.4.5 That non-residential activities can be established within the Rural Living Zone subject to compatibility with the existing character of the environment.

Not applicable. The 15 lots were subdivided with the purposed of residential development.

8.7.4.6 That home-based employment opportunities be allowed in the Rural Living Zone.

Not applicable.

8.7.4.7 That provision be made for ensuring that sites, and the buildings and activities which may locate on those sites, have adequate access to sunlight and daylight.

Not applicable. The dwelling, shed and addition comply with the sunlight rule.

8.7.4.8 That the scale and intensity of activities other than a single residential unit be commensurate with that which could be expected of a single residential unit.

Applicable. The existing and proposed activities are in keeping with modern Kerikeri properties. Building coverage exceeds permitted but is not excessive and is compatible with existing development.

8.7.4.9 That activities with effects on amenity values greater than a single residential unit could be expected to have, be controlled so as to avoid, remedy or mitigate those adverse effects on adjacent activities.

Not applicable. This development is a single residential unit in keeping with a typical Kerikeri residential property. The completed development is not expected to affect amenity values on adjacent sites.

8.7.4.10 That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on adjoining sites.

Applicable. Existing and proposed plantings on Lot 2, once mature, along with existing plantings on neighbouring properties (e.g., Lot 3 and 4) will provide (at least) a reasonable level of privacy for inhabitants of buildings on adjoining sites.

8.7.4.11 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.

Not applicable as not on a site with frontage to Kerikeri Road.

8.7.4.12 That the Council maintains discretion over new connections to a sewerage system to ensure treatment plant discharge quality standards are not compromised.

Not applicable. A secondary treatment system with buried dripper lines services the dwelling.

Summary

The subdivision down Tareha Place includes 15 sections for the purpose of residential development. At the completion of the project a dwelling with an addition, a shed and pool accessed via a concrete drive will be present on the 3,003m² property. Although building coverage exceeds permitted the development is in keeping with the subdivision and typical development in the area. Existing and proposed plantings on Lot 2 and neighbouring properties will, once mature, screen the property from the road and provide a reasonable level of privacy for neighbouring properties. Visual effects on neighbouring sites are considered less than minor. Section 5 addresses Assessment Criteria Section, 8.7.5.3.4 of the Far North District Plan for building coverage.

Stormwater will be managed so that flow rates are that of predeveloped. The low impact design principles utilised will mitigate runoff from impermeable areas exceeding permitted threshold to that of predevelopment levels (10% and 1% AEP). Mitigation includes the use of 3 concrete water tanks for stormwater attenuation and a bubble up chamber at the northern corner of the site. With mitigation stormwater effects are considered to be less than minor on the receiving environment. The Stormwater Mitigation Report by Wilton Joubert, Appendix II provides further details of stormwater management.

The existing and proposed development is in keeping with the objectives and policies of the Far North District Plan for a Rural Living zone.

3.3.2 Proposed Far North District Plan Objectives & Policies

In the proposed District Plan the property will become Rural Residential. The Rural Residential zone has been applied to areas that were formerly zoned Rural Living and are contiguous with an urban area.

Objectives

RRZ-01 The Rural Residential zone is used predominantly for rural residential activities and small-scale farming activities that are compatible with the rural character and amenity of the zone.

Applicable. The proposed development is considered a residential activity which complies with the character and amenity of the zone and the purpose of the subdivision.

RRZ-02 The predominant character and amenity of the Rural Residential Zone is maintained and enhanced, which includes:

a. Peri-urban scale residential activities.

Applicable. The property is peri-urban scale residential. The development is in keeping with the subdivision and local area.

b. Small scale farming activities with limited buildings and structures.

Not applicable as no farming activities proposed.

c. Smaller lot sizes than anticipated in the Rural Production or Rural Lifestyles zones:

Applicable. Lot size of 3,003m² in keeping with residential activity.

d. A diverse range of rural residential environments reflecting the character and amenity of the adjacent urban area.

Applicable. In keeping with the character and amenity of adjacent sites and the local area.

RRZ-03 The Rural Residential zone helps meet the demand for growth around urban centers while ensuring the ability of the land to be rezoned for urban development in the future is not compromised.

Not applicable to this application.

RRZ-04 Land use and subdivision in the Rural Residential zone:

a. Maintains rural residential character and amenity values.

Applicable. The residential land use maintains rural residential character and amenity values of the subdivision and surrounding area.

b. Supports a range of rural residential and small-scale farming activities.

Not applicable as residential use with no farming activities.

c. Is managed to control any reverse sensitivity issues that may occur within the zone or at the zone interface.

Not applicable.

Policies

Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Residential Zone, while ensuring their design, scale and intensity is appropriate, including:

- a. *rural residential activities;***

Applicable. The design, scale and intensity are appropriate for the subdivision and surrounding area. The development does not compromise the role, function, character of the Rural Residential Zone. The dwelling is modern and stylish enhancing the amenity and financial value of the subdivision.

- b. *small-scale farming activities;*** Not applicable.

- c. *home business activities;*** Not applicable.

- d. *visitor accommodation;*** Not applicable.

- e. *small-scale education facilities;*** Not applicable.

RRZ-P2

Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Residential Zone including:

- a. *activities that are contrary to the density anticipated for the Rural Residential Zone;***

Not applicable. Residential development of the scale proposed is compatible with the zone.

- b. *primary production activities, such as intensive indoor primary production or rural industry, that generate adverse amenity effects that are incompatible with rural residential activities;***

Not applicable as primary production activities not proposed.

- c. *commercial or industrial activities that are more appropriately located in an urban zone or a Settlement Zone.***

Not applicable as commercial or industrial activities are not proposed.

RRZ-P3

Avoid where possible, or otherwise mitigate, reverse sensitivity effects from sensitive and other non-productive activities on primary production activities in adjacent Rural Production Zones and Horticulture Zones.

Not applicable. Reverse sensitivity effects from sensitive and other non-productive activities on primary production activities not anticipated.

RRZ-P4

Require all subdivision in the Rural Residential zone to provide the following reticulated services to the boundary:

- a. *telecommunications:***

i. *fibre where it is available;*

ii. *copper where fibre is not available;*

iii. *copper where the area is identified for future fibre deployment.*

- b. *local electricity distribution network.***

Not applicable.

Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

a. consistency with the scale and character of the rural residential environment;

Applicable. Although building coverage exceeds permitted the scale and character of the development is consistent with the subdivision and surrounding environment.

b. location, scale and design of buildings or structures;

Applicable. A typical residential development consistent with the subdivision and local area.

c. at zone interfaces:

- i. any setbacks, fencing, screening or landscaping required to address potential conflicts;**
- ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable;**

Not applicable as not located at a zone interface. Existing, and proposed landscaping to mitigate potential visual effects of building coverage are proposed. Stormwater management to that of predeveloped to ensure adverse effects do not occur on adjoining or surrounding sites.

d. the capacity of the site to cater for on-site infrastructure associated with the proposed activity;

Applicable. The 3,003m² property caters for onsite infrastructure including 3 x water tanks to be used for potable water and stormwater management. Onsite wastewater consists of an aeration treatment system with buried dripper line.

e. the adequacy of roading infrastructure to service the proposed activity;

Not applicable.

f. managing natural hazards;

Not applicable as no natural hazards identified. Rainfall intensity as a result of climate change considered for stormwater calculations.

g. any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity;

Not applicable. Not identified as having historic heritage and cultural values, natural features, landscapes, or indigenous biodiversity.

h. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.

Not applicable to this application.

Rules

RRZ-R2 Impermeable Surface Coverage

The proposed activity breaches the permitted which states “impermeable surface coverage of any site is no more than 12.5% or 2,500m² whichever is the lesser”. The activity is Restricted Discretionary. Matters of discretion are listed. The Stormwater Mitigation Report, Section 8 by Wilton Joubert covers criteria listed in the operative plan.

RRZ-S5 Building Structure or Coverage

The proposed activity breaches the permitted which states *“The building or structure coverage of the site area is no more than 12.5% or 2,500m², whichever is the lesser”*.

In the proposed plan permitted building coverage is to be no more than 12.5% which is greater than the 10% in the current plan. When building coverage includes the existing dwelling, existing shed, and proposed addition only and does not include the swimming pool the coverage is 11.8% which would be permitted in the new plan. Coverage including the pool is 13.1%.

Where the standard is not met, matters of discretion are restricted to:

- a. the character and amenity of the surrounding area;***
- b. any landscaping, planting and screening to mitigate any adverse effects;***
- c. the extent to which private open space can be provided for future uses;***
- d. the extent to which the siting, setback and design mitigate visual dominance on adjacent sites and surrounding environment; and***
- e. natural hazard mitigation and site constraints.***

A-e above are addressed in Section 5 of this report. The assessment criteria of the current plan are similar to the above an exception being the inclusion of e. natural hazard mitigation and site constraints in the proposed plan. There are no known or mapped hazards effecting Lot 2. Increased rainfall intensity as a result of climate change is considered in the stormwater calculations.

4.0 Proposed Far North District Plan Rules with Immediate Legal Effect

The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned Rural Production with a Coastal Environment overlay. Assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

Chapter	Rule Reference	Compliance of Proposal
<i>Hazardous Substances</i>	<i>The following rules have immediate legal effect: Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility. HS -R5 relates to a hazardous facility within a scheduled site and area of significance to Maori. HS-R6 relates to a hazardous facility within an SNA. HS-R9 relates to a hazardous facility within a scheduled heritage resource.</i>	Not applicable. The site does not contain any hazardous substances to which these rules would apply.
<i>Heritage Area Overlays</i>	<i>All rules have immediate legal effect (HAR1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)</i>	Not applicable. The site is not located within a Heritage Area Overlay.
<i>Historic Heritage</i>	<i>All rules have immediate legal effect (HHR1 to HH-R10) Schedule 2 has immediate legal effect</i>	Not applicable. The site is not located within a Heritage Area Overlay.
<i>Notable Trees</i>	<i>All rules have immediate legal effect (NTR1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect</i>	Not applicable. The site does not contain any notable trees.
<i>Sites and Areas of Significance to Maori</i>	<i>All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect</i>	Not applicable. The site does not contain any sites or areas of significance to Maori.
<i>Ecosystems and Indigenous Biodiversity</i>	<i>All rules have immediate legal effect (IB-R1 to IB-R5)</i>	Not applicable. The proposal does not include any indigenous vegetation pruning trimming, clearance, or associated land disturbance. No plantation forestry activities are proposed. Therefore, the proposal is not in breach of rules IB-R1 to IB-R5.
<i>Subdivision</i>	<i>The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17</i>	Not applicable. The proposal is not a subdivision
<i>Activities on the Surface of Water</i>	<i>All rules have immediate legal effect (ASWR1 to ASW-R4)</i>	Not applicable. The proposal does not involve activities on the surface of water.
<i>Earthworks</i>	<i>The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5</i>	Earthworks addressed in Section 5.2
<i>Signs</i>	<i>The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area</i>	Not applicable. No signs are proposed as part of this application.
<i>Orongo Bay Zone</i>	<i>Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water</i>	Not applicable. The site is not located in the Orongo Bay Zone.

The assessment above indicates that the proposal is determined to be a Permitted Activity in regard to the Proposed District Plan. Therefore, no further assessment of these rules will be undertaken.

5.0 Assessment of Environmental Effects

5.1 Building Coverage – Far North District Plan Assessment Criteria Section 8.7.5.3.4

Application for building coverage as a Restricted Discretionary activity is due to building coverage being a total of 13.1% (393.5m²) of the total lot area. Resulting in 93.5m² over the 10% (300m²) permitted allowance outlined in the Far North District Plan, Section 8.7.5.1.13.

In considering whether or not to grant consent or impose conditions, the Council shall also have regard to the following assessment matters:

In assessing an application under this provision, the Council will restrict the exercise of its discretion to:

(a) The ability to provide adequate landscaping for all activities associated with the site;

Some existing plantings including conifer species are sporadically planted to the north of the dwelling. The owner plans to plant additional species along the northern boundary to provide privacy for the dwelling and future pool. The existing and additional plantings will provide screening and privacy from adjacent Lot 1, currently a bare grassed section. Photograph 1 shows the modern, stylish dwelling with plantings to the north of the dwelling. Additional landscaping is proposed along the northern boundary.

Plantings along the eastern boundary between the property and Landing Road are well established and once mature will provide screening and privacy from the road and vice versa. Small trees include Five Finger, Magnolia and Karo with shrubs including Kowhai, Dragons Gold, and groundcover. The plantings along the eastern boundary occurred as a condition of the subdivision. Refer to Photograph 2 showing the well-established plantings well on their way to providing zero visibility of the property from Landing Road or properties to the east.

Consent Notice 11600632.5 (V) states:

The landscaping specified in condition 4(o) of RC2180246 is to be maintained in perpetuity. Plants requiring removal due to damage, disease or other cause shall be replaced with a similar specimen before the end of the next following planting season (1st May to 30th September).

The above Consent Notice refers to the existing plantings along the eastern boundary. The plants are doing well, and the current owners are looking after and maintaining the plantings as the juvenile trees, shrubs and groundcovers mature.

Photograph 3 shows existing, juvenile hedging along the boundary of neighbouring Lot 4. The hedging and existing plantings on Lot 2 have the potential to provide screening and privacy for the 2 properties as they mature. Note that both Lot 4 and 5 have juvenile hedging growing along all boundaries increasing privacy.

Neighbouring Lot 3 to the south has landscaped in a way that keeps the property open, spacious, and sunny. They have planted a Pittosporum hedge which they have kept low along with low growing sporadic plantings to the north of their dwelling. Fruit trees including Guava, Feijoa, Plum and Citrus have been planted on Lot 2. Once the fruit trees mature, they will provide a certain amount of screening and privacy without affecting the spacious, openness and sunny landscape on southern Lot 3. Tall planting along the southern boundary of Lot 2 has the potential to negatively affect the amount of sunlight and the openness on Lot 3. Refer to Photograph 4 showing existing plantings near the boundary of Lot 2 and 3.

Existing and proposed plantings on Lot 2, once mature, along with existing plantings on neighbouring properties (e.g., Lot 3 and 4) will provide (at least) a reasonable level of privacy for inhabitants of buildings on adjoining sites. Policy 8.7.4.10 of the operative plan states “That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on adjoining sites”.

Refer to the Landscape Plan, A01c, Appendix I showing existing and proposed plantings.

(b) The extent to which building(s) are consistent with the character and scale of the existing buildings in the surrounding environment;

The new subdivision is adjacent to well-established Landing Road and Kendall Road. Dwellings in this area and the greater Kerikeri area are of similar scale to the existing dwelling on Lot 2. The dwellings along Landing Road have mixed cladding types and styles.

The dwelling on Lot 2 is clad in Linea Weatherboard similar to the exterior of the dwelling on Lot 3. The existing buildings are modern and stylish improving the amenity and financial value of the subdivision.

The dwelling on Lot 2 has a floor area of 263.5m² with a total building coverage of 393.5m² (including the existing shed, proposed addition and shed). Whereas the dwelling on Lot 12 has a floor area of 441.7m² and a total building coverage of 508m². Therefore, the proposed building coverage on Lot 2 is less than that of an established dwelling within the same subdivision.

The existing buildings, proposed addition and pool are consistent with the character and scale of existing buildings in the surrounding environment and future development in the subdivision.

(c) The scale and bulk of the building in relation to the site;

The scale and bulk of the existing buildings, proposed addition, and future pool in relation to the 3,003m² property is typical of modern development in Kerikeri.

In the proposed plan permitted building coverage is to be no more than 12.5% which is greater than the 10% in the current plan. When building coverage includes the existing dwelling, existing shed, and proposed addition only and does not include the swimming pool the coverage is 11.8% which would be permitted in the new plan. Coverage including the pool is 13.1%. Overhang over the veranda and eave at the front door along the northern wall are greater than 600mm which also increases building coverage.

(d) The extent to which private open space can be provided for future uses;

The onsite wastewater system and dripper lines are located to the east of the property. As the dripper lines are buried the area is to remain as lawn leaving this area an open space for future use.

(e) The extent to which the cumulative visual effects of all the buildings impact on landscapes, adjacent sites and the surrounding environment;

The existing buildings and proposed addition are located on a well-maintained property. The property is aesthetically pleasing and likely to maintain or increase neighbouring property values.

Existing and proposed landscaping on Lot 2 and neighbouring properties will assist in blending the buildings with the landscape.

Cumulative visual effects of the buildings on landscapes, adjacent sites and the surrounding environment is not anticipated. The development is in keeping with the subdivision and local area.

(f) The extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;

The location of the buildings is limited due to lot size. As the property is flat the location of the buildings will not influence visual dominance on the landscape (in comparison to a house located on a ridge line). Setbacks from boundaries have been achieved. The shed is not visible from the road.

The building is clad in Linea Weatherboard with Trimline roof in keeping with local dwellings. The main area of driveway is at the northwest corner allowing access to the buildings, this area will not be seen from Landing Road. The right of way is planted with low growing grass species and well-maintained hedge.

(g) The extent to which landscaping and other visual mitigation measures may reduce adverse effects;

Refer to (a) above. The buildings are visually pleasing, and the property is well maintained. Policy 8.7.4.10 states "That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on adjoining sites". It does not require full screening of buildings. Planting along the southern boundary of Lot 2 could potentially block sunlight and the open spaciousness on Lot 3.

Existing and proposed plantings on Lot 2, once mature, along with existing plantings on neighbouring properties (e.g., Lot 3 and 4) will provide (at least) a reasonable level of privacy for inhabitants of buildings on adjoining sites.

(h) The extent to which non-compliance affects the privacy, outlook, and enjoyment of private open spaces on adjacent sites.

Existing and proposed plantings along the northern boundary will provide privacy and assist in screening and blending the development from bare Lot 1 to the north.

Plantings along the eastern boundary between the property and Landing Road are well established and once mature will provide screening and privacy from the Landing Road and vice versa.

Juvenile hedging is established along all property boundaries on neighbouring Lot 4 to the west. The hedging and existing plantings on Lot 2 will provide screening and privacy for the 2 properties.

The northern part of Lot 3 is open, spacious, and sunny with a low growing Pittosporum hedge along part of the boundary and occasional plantings in the lawn area. Fruit trees have been planted on Lot 2. Once the fruit trees mature, they will provide screening and privacy between the 2 properties.

Existing and proposed plantings on Lot 2, once mature, along with existing plantings on neighbouring properties (e.g., Lot 3 and 4) will provide (at least) a reasonable level of privacy for inhabitants of buildings on adjoining sites. Any negative effects on the privacy, outlook, and enjoyment of private open spaces on adjacent sites is expected to be less than minor.

Proposed Pan

RRZ-S5 Building Structure or Coverage

The proposed activity breaches the permitted which states *“The building or structure coverage of the site area is no more than 12.5% or 2,500m², whichever is the lesser”*.

Where the standard is not met, matters of discretion are restricted to:

- a. the character and amenity of the surrounding area;**
- b. any landscaping, planting and screening to mitigate any adverse effects;**
- c. the extent to which private open space can be provided for future uses;**
- d. the extent to which the sitting, setback and design mitigate visual dominance on adjacent sites and surrounding environment; and**
- e. natural hazard mitigation and site constraints.**

The proposed plan criteria have been addressed above with the exception of note e. No natural hazards have been identified on or adjacent to Lot 2.

Note that if the pool was removed from the calculations building coverage would be 11.8% which would comply with the proposed district plan.

5.2 Stormwater Management – Far North District Plan Assessment Criteria Section 8.7.5.2.2

The assessment criteria for stormwater management are addressed in Section 8 of the Stormwater Mitigation Report by Wilton Joubert attached as Appendix II.

6.0 Notification Assessment, Section 95, RMA 1991

6.1 Section 95A-G, RMA 1991

Section 95A-G, Public Notification and Limited Notification of Applications, of the Resource Management Act (1991) were reviewed against the breach discussed.

95A Public Notification of Consent Applications

- (1) A consent authority must follow the steps set out in this section, in the order given, to determine whether to publicly notify an application for a resource consent.

Step 1: Mandatory public notification in certain circumstances

- (2) Determine whether the application meets any of the criteria set out in subsection (3) and,—
 - (a) if the answer is yes, publicly notify the application; and
 - (b) if the answer is no, go to step 2.
- (3) The criteria for step 1 are as follows:
 - (a) the applicant has requested that the application be publicly notified;
 - (b) public notification is required under section 95C;
 - (c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

The applicant has not requested public notification nor is it required under section 95C. The application is not made jointly with an application to exchange recreation reserve land. Step 1 does not apply.

Step 2: If not required by step 1, public notification precluded in certain circumstances

- (4) Determine whether the application meets either of the criteria set out in subsection (5) and,—
 - (a) if the answer is yes, go to step 4 (step 3 does not apply); and
 - (b) if the answer is no, go to step 3.
- (5) The criteria for step 2 are as follows:
 - (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;
 - (b) the application is for a resource consent for 1 or more of the following, but no other, activities:
 - (i) a controlled activity;
 - (ii) [Repealed]
 - (iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.
 - (iv) [Repealed]
- (6) [Repealed]

Step 2 does not apply to the activity.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

- (7) Determine whether the application meets either of the criteria set out in subsection (8) and,—
 - (a) if the answer is yes, publicly notify the application; and
 - (b) if the answer is no, go to step 4.
- (8) The criteria for step 3 are as follows:
 - (a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;
 - (b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

The application does not require public notification. The activity will have a less than minor effect on the environment.

Step 4; Public notification in special circumstances

- (9) Determine whether special circumstances exist in relation to the application that warrant the application being publicly notified and,—
 - (a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, do not publicly notify the application, but determine whether to give limited notification of the application under section 95B.

No special circumstances exist in this application which justify public notification.
From the assessment above it is considered that the application does not require public notification.

95B Limited notification of consent applications

(1) A consent authority must follow the steps set out in this section, in the order given, to determine whether to give limited notification of an application for a resource consent, if the application is not publicly notified under section 95A.

Step 1: certain affected groups and affected persons must be notified

*(2) Determine whether there are any—
(a) affected protected customary rights groups; or
(b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).*

There are no protected customary rights groups or affected customary marine title groups.

*(3) Determine—
(a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and
(b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.*

Not applicable to this application.

(4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).

Step 2: if not required by step 1, limited notification precluded in certain circumstances

*(5) Determine whether the application meets either of the criteria set out in subsection (6) and,—
(a) if the answer is yes, go to step 4 (step 3 does not apply); and
(b) if the answer is no, go to step 3.*

No, go to step 3.

(6) The criteria for step 2 are as follows:

*(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification;
(b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).*

Step 3: if not precluded by step 2, certain other affected persons must be notified

(7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

(9) Notify each affected person identified under subsections (7) and (8) of the application.

The activity is not a boundary activity. Section 6.2 provides information determining that neighbours and the public are unlikely to be affected by the activity.

Step 4: further notification in special circumstances

*(10) Determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons), and,—
(a) if the answer is yes, notify those persons; and
(b) if the answer is no, do not notify anyone else.*

No special circumstances exist in relation to the application that warrant notification of other persons.

95C-E – Are not applicable as the activity has been assessed as being less than minor effect to neighbouring properties.

95F and G are not applicable as there are no affected customary rights groups involved or is it a customary marine title group.

It is considered that the application does not require public notification.

6.2 Neighboring Properties

As part of the subdivision planting was required along the eastern boundary. The planting once mature will provide full screening of the property from Landing Road.

Policy 8.7.4.10 of the operative plan states *“That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on adjoining sites”*. The existing and proposed plantings on Lot 2 and existing plantings on neighbouring properties, once mature, will provide a reasonable level of privacy for inhabitants of buildings on adjoining sites.

Consideration should be given to neighbouring properties that further planting does not affect sunlight or the open spaciousness created, for example Lot 3 to the south of Lot 2.

Lot 2 is aesthetically pleasing and in keeping with development of the subdivision and local area.

Once implemented and maintained stormwater mitigation outlined in the report by Wilton Joubert will ensure that neighbouring properties are not affected by stormwater run off from Lot 2.

7.0 Resource Management Act Section 104 Assessment

7.1 Section 104 Assessment

(1) *When considering an application for a resource consent and any submissions received, the consent authority must, subject to Part 2 and section 77M, have regard to:*

(a) *any actual and potential effects on the environment of allowing the activity; and*

Section 104(1)(a) requires assessment of any actual and potential effects on the environment as a result of the proposed activity. Section 4, 5 and 6.2 discusses actual and potential effects. The conclusion reached is that the adverse effects of granting consent to the proposal are less than minor, and therefore acceptable in the receiving environment.

(ab) *any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity;*

Section 104(1)(ab) requires that the consent authority consider 'any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. It is considered the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment. Mitigation measures are proposed and have been discussed.

(b) *any relevant provisions of:*

(i) *a national environmental standard:*

(ii) *other regulations:*

(iii) *a national policy statement:*

(iv) *a New Zealand coastal policy statement:*

(v) *a regional policy statement or proposed regional policy statement:*

(vi) *a plan or proposed plan; and*

(c) *any other matter the consent authority considers relevant and reasonably necessary to determine the application.*

The Regional Plan has been reviewed and there are no documents that are relevant to the proposal.

Any earthworks will proceed under the guidance of an ADP and will be in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016, in accordance with Rules EW-12, EW-R13, EW-S3 and EW-S5.

8.2 Part 2 of the Resource Management Act

(1) *The purpose of this Act is to promote the sustainable management of natural and physical resources.*

(2) *In this Act, sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while:*

(a) *sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*

(b) *safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*

(c) *avoiding, remedying, or mitigating any adverse effects of activities on the environment.*

The application will have less than minor effect on the items in Part 2 of the Resource Management Act.

8.0 Schedule 4

Information required in assessment of environmental effects.

(1) An assessment of the activity's effects on the environment must include the following information:

(a) if it is likely that the activity will result in any significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity:

Refer to Section 4, 5 and 6.2 which discuss the activity, potential effects, and mitigation methods. The activity will not result in any significant adverse effects on the environment.

(b) an assessment of the actual or potential effect on the environment of the activity:

Section 4, 5 and 6.2 discuss potential effects. The potential effects with mitigation are expected to be less than minor.

(c) if the activity includes the use of hazardous installations, an assessment of any risks to the environment that are likely to arise from such use:

There are no hazardous installations proposed.

(d) if the activity includes the discharge of any contaminant, a description of—

(i) the nature of the discharge and the sensitivity of the receiving environment to adverse effects; and

(ii) any possible alternative methods of discharge, including discharge into any other receiving environment:

No contaminants are proposed.

(e) a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effect:

Mitigation measures are discussed in this report. Refer to Section 5 for mitigation measures and recommendations.

(f) identification of the persons affected by the activity, any consultation undertaken, and any response to the views of any person consulted:

Refer to Section 6.1, Notification Assessment, Section 95, RMA 1991 and Section 6.2 Neighbouring Properties. Consultation and response not applicable.

(g) if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved:

No monitoring is required for this activity.

(h) if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).

The activity will not have a more than minor effect on protected customary rights groups.

(2) A requirement to include information in the assessment of environmental effects is subject to the provisions of any policy statement or plan.

Refer to Section 4 and 5 for the assessment against the operative and proposed Far North District Plan and the Far North District Plan Assessment Criterion.

(3) To avoid doubt, subclause (1)(f) obliges an applicant to report as to the persons identified as being affected by the proposal, but does not—

(a) oblige the applicant to consult any person; or

(b) create any ground for expecting that the applicant will consult any person.

Refer to Section 6.0 Notification Assessment, Section 95, RMA 1991.

Matters that must be addressed by assessment of environmental effects.

- (1) An assessment of the activity's effects on the environment must address the following matters:*
- (a) any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects:*
 - (b) any physical effect on the locality, including any landscape and visual effects:*
 - (c) any effect on ecosystems, including effects on plants or animals and any physical disturbance of habitats in the vicinity:*
 - (d) any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural value, or other special value, for present or future generations:*
 - (e) any discharge of contaminants into the environment, including any unreasonable emission of noise, and options for the treatment and disposal of contaminants:*
 - (f) any risk to the neighbourhood, the wider community, or the environment through natural hazards or hazardous installations.*
- (2) The requirement to address a matter in the assessment of environmental effects is subject to the provisions of any policy statement or plan.*

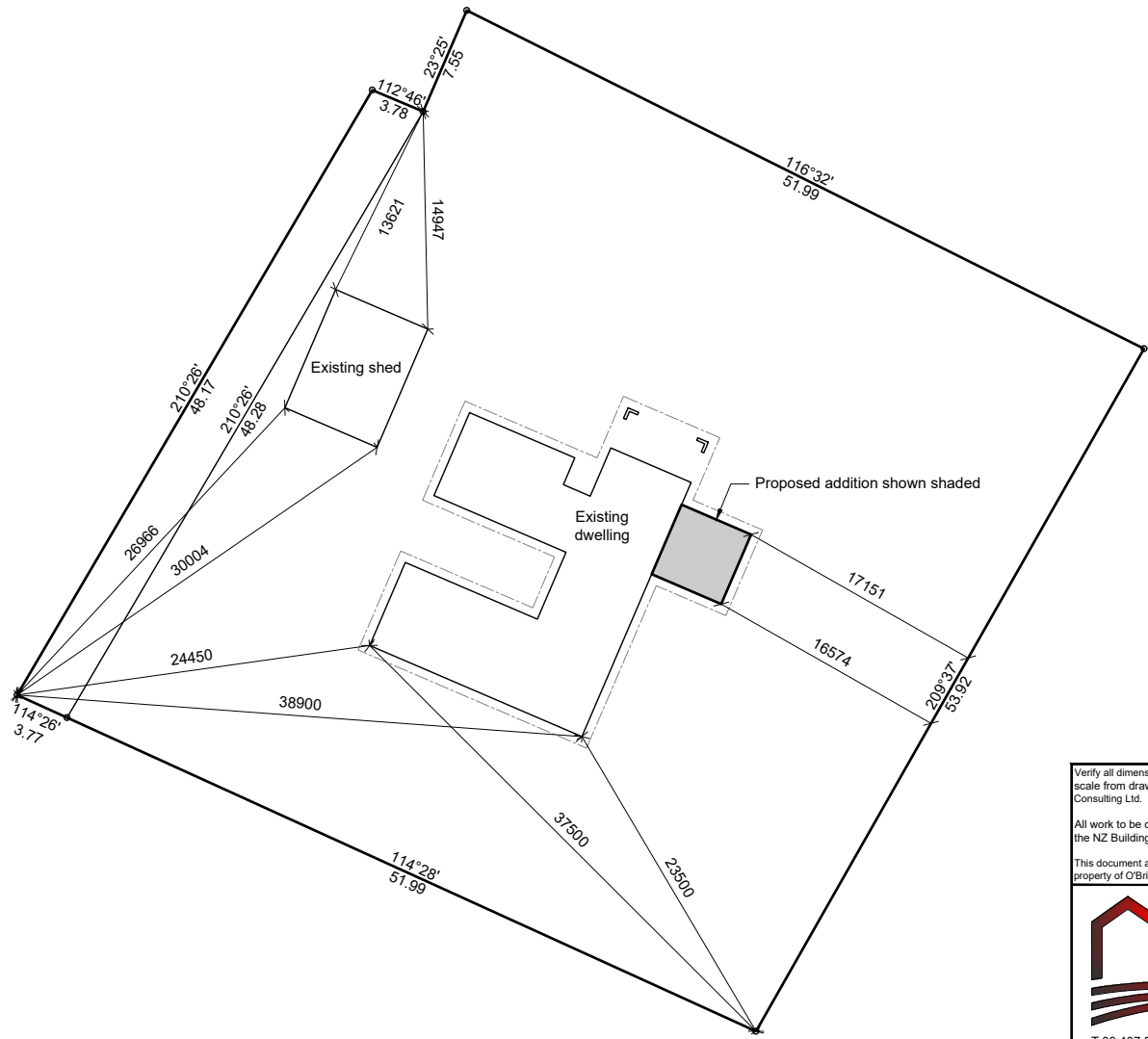
Refer to Section 4.0 - 7.0 which address the items required as per Schedule 4, Section 7.

9.0 Conclusion

At the completion of the project a dwelling with an addition, shed and pool accessed via a concrete drive will be present on the 3,003m² property. Although building coverage exceeds permitted the development is in keeping with the 15-lot residential subdivision and typical development in the area. Existing and proposed plantings on Lot 2 and neighbouring properties will, once mature, screen the property from the road and provide a reasonable level of privacy from neighbouring properties. The existing development is modern, stylish, well maintained and visually pleasing. Potential visual effects of building coverage on neighbouring sites are considered to be less than minor.

Stormwater will be managed so that flow rates are that of predeveloped. The low impact design principles utilised will mitigate runoff from impermeable areas exceeding permitted threshold to that of predevelopment levels. Mitigation includes the use of 3 concrete water tanks for stormwater attenuation and a bubble up chamber. With mitigation implemented and maintained stormwater effects are considered to be less than minor on the receiving environment.

Far North Maps



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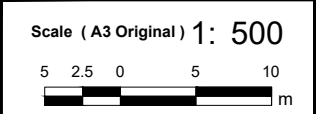
Project Title
 Joe Allen
 3 Tareha Place
 Kerikeri
 Lot 2 DP 540557

Sheet Title
 Site Location Plan

Drawn 6 December 2023

Project No 4127

Rev	Sheet
D	A01a



DISCLAIMER:
 While the Far North District Council strives to keep the data in this service current, it may not be the most recent or most accurate data available. No reliance on the information contained on this map by any person is permitted. FNDC will not be liable for any omissions or errors of information contained on this map. FNDC recommends that persons seek specific advice on individual properties from FNDC and other specialist organisations which may hold more up to date or accurate information.

Created: 17/06/2021



Lot 2 DP 540557
 Lot area: 3,003m²
 Roof pitch: 3°
 Cladding weight: Light
 Corrosion zone: C
 Wind zone: High
 Rural Living Zone
 District plan compliance:

Residential intensity: Complies

Sunlight rule: Complies

Stormwater Management

(Impermeable surfaces):
 Existing dwelling: 313.1m²
 Proposed addition: 33.2m²
 Existing shed: 63.0m²
 Proposed concrete driveway: 332.9m²
 Future pool: 40.0m²
 Total proposed: 782.2m²

Total permitted designed impermeables = 500m²
 Total permitted district plan = 12.5% of gross site area = 375.4m²
 Total Proposed = 782.2m² = 26% Refer to RC

Setbacks to boundaries: 3m min. Complies

Building height:
 Permitted: 9m max
 Proposed: 4.5m approx. Complies

Building Coverage:

Existing dwelling: 263.5m²
 Proposed addition: 27.0m²
 Existing shed: 63.0m²
 Future pool: 40.0m²
 Total Proposed: 393.5m²

Total permitted = 10% of gross site area = 300m²
 Total Proposed = 393.5 = 13.1% Refer to RC

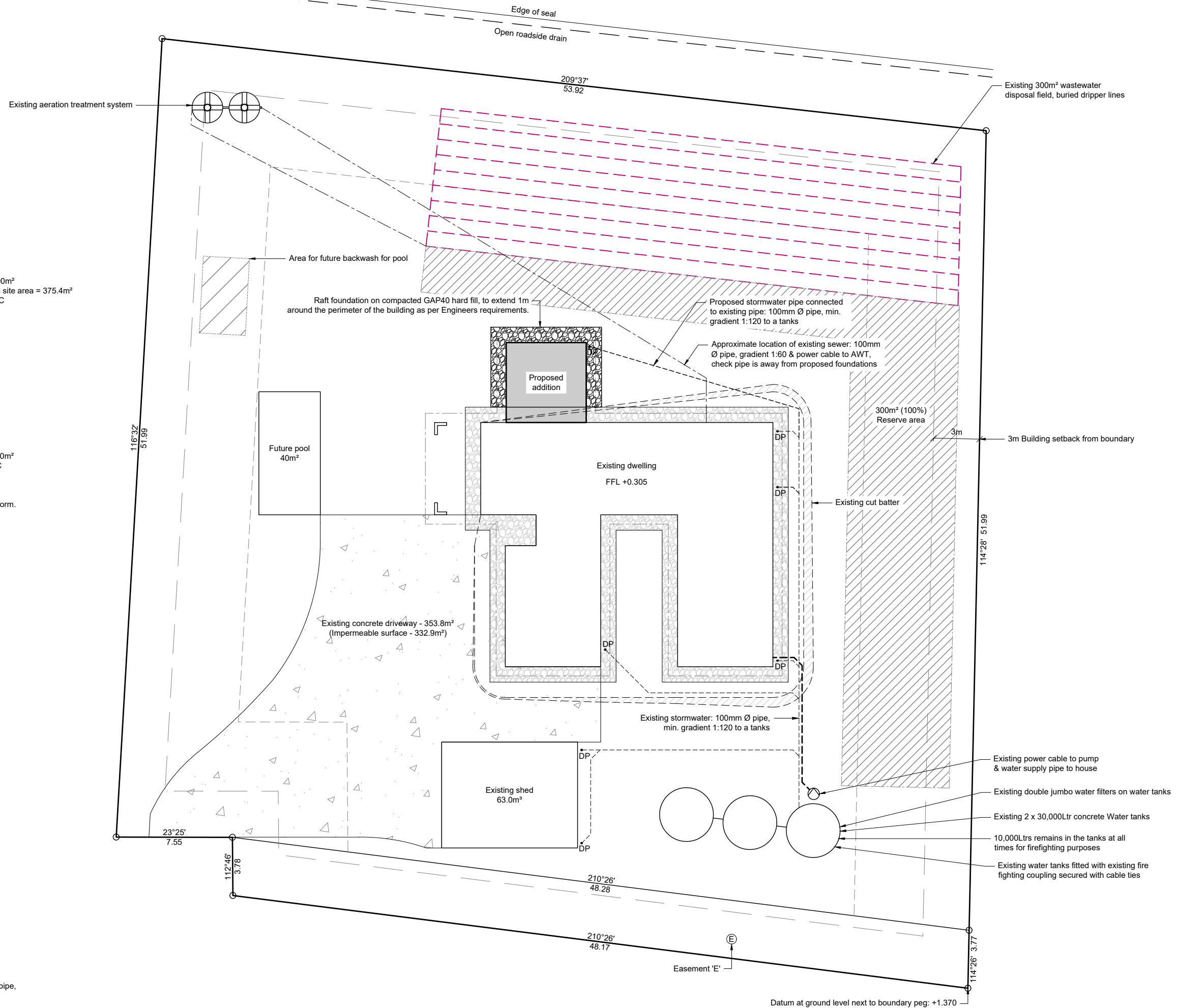
Earthworks

No earthworks required outside building platform.

Total permitted = 300m² Complies

Legend

- Setbacks
- Stormwater: 110mm Ø pipe, min. gradient 1:120
- Effluent distribution line



NOTES

1. All heights shown are existing ground heights.
2. Contour lines sourced from FNDC maps.
3. All drainage to comply with AS/NZS3500 & NZBC G13/AS1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
4. Length of dripper lines to be no more than 100m between feed points.
5. Dripper lines to follow contour lines
6. Dripper lines to be setback:
 - 1.5m from buildings
 - 5m from any intermittent storm water flow path such as a drain or overland flow path
 - 15m from surface water such as a drain with standing water
 - 30m from any stream, wetland, lake
7. Smoke alarms are to be installed in accordance with the New Zealand Building Code Clause F7 Section 3.0:
 - Smoke alarms shall be installed on or near the ceiling in every sleeping space or within 3m of every sleeping space door.
 - Refer to the report outlining Section 3 of the Building Code, detailing smoke alarm regulations.

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T 09 407 5208 | martin@obrienconsulting.co.nz

Project Title

Joe Allen
 3 Tareha Place
 Kerikeri
 Lot 2 DP 540557

Sheet Title

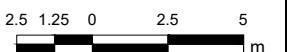
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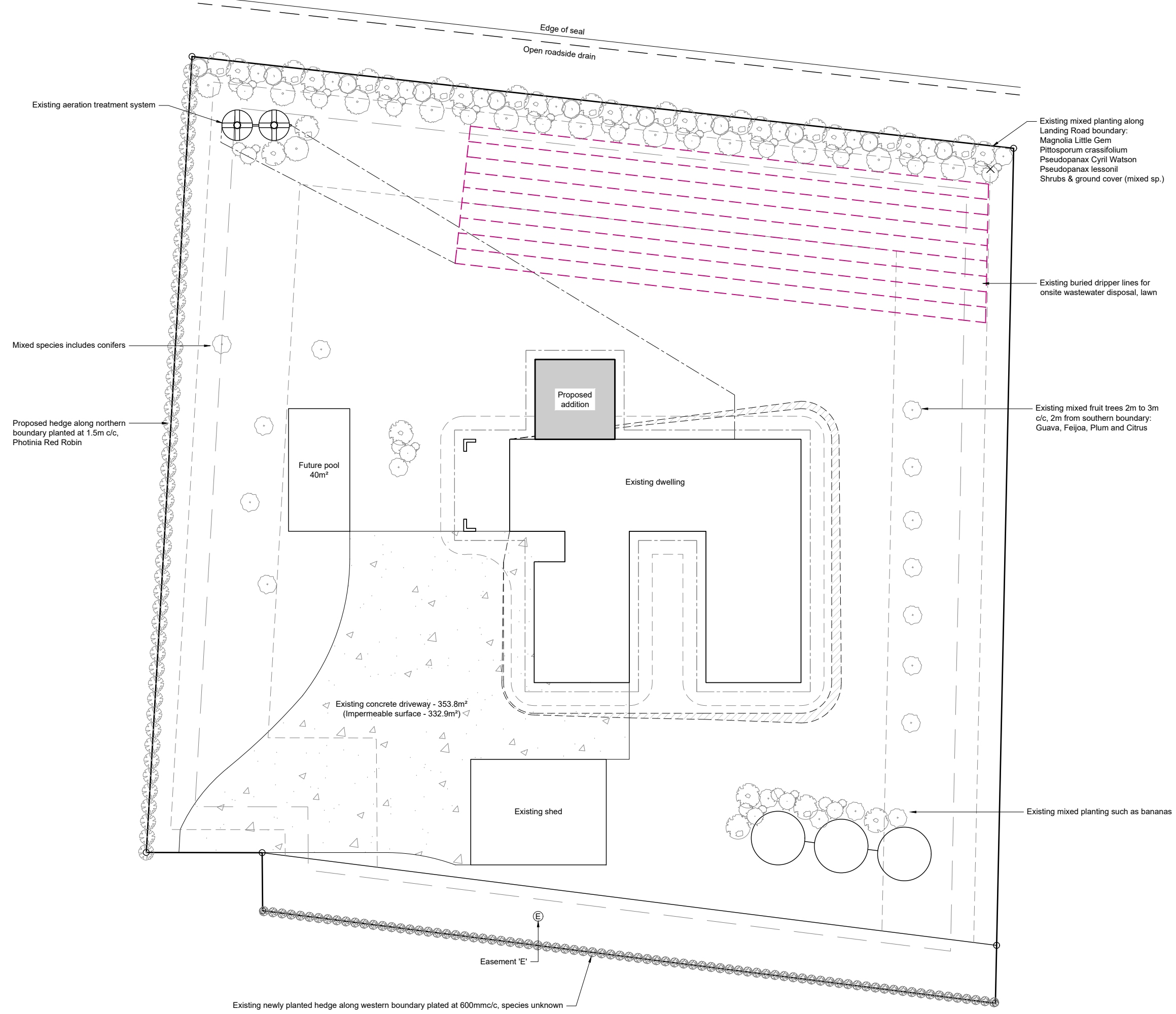
Drawn 6 December 2023

Project No 4127

Rev	Sheet
D	A01b

Scale (A3 Original) 1: 250





Planting Method:

1. Spray areas to be planted with weed killer 3 weeks prior to planting.
2. Space Red Robin plants at ~1.5m intervals.
3. If possible plan planting for autumn (most favorable), winter and spring. Avoid planting during hot summer months.
4. Excavate a hole 250mm deep x 250mm wide.
5. Remove plastic pb3 bag from the plant and place the plants roots in the hole.
6. Use the soil from hole excavation to refill around the root ball of the plant making sure that the original potting mix of the plant is level to the surrounding ground.
7. Water the plant well.
8. In order to suppress weed growth and for moisture retention, it is recommended a layer of approximately 200mm of mulch is placed around each plant.

Maintenance Schedule:

1. Remove weed species from around the plants regularly.
2. A small handful of all-purpose garden fertilizer may be sprinkled around each plant annually to encourage growth and plant health.
3. Re apply mulch when needed.
4. Water over the summer months especially in the first year.

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Project Title
 Joe Allen
 3 Tareha Place
 Kerikeri
 Lot 2 DP 540557

Sheet Title
 Landscape Plan

Drawn 6 December 2023

Project No 4127

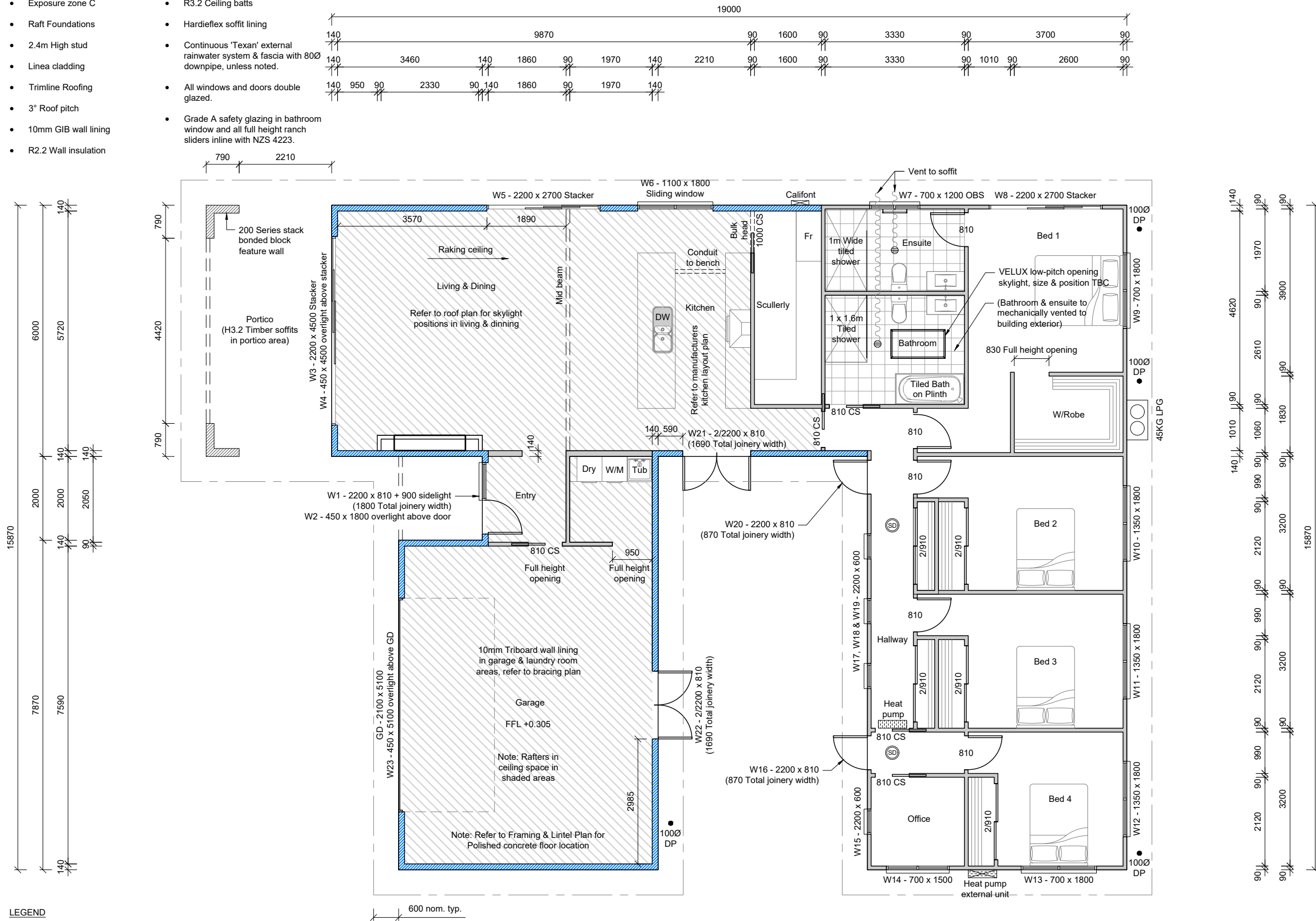
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D	A01c

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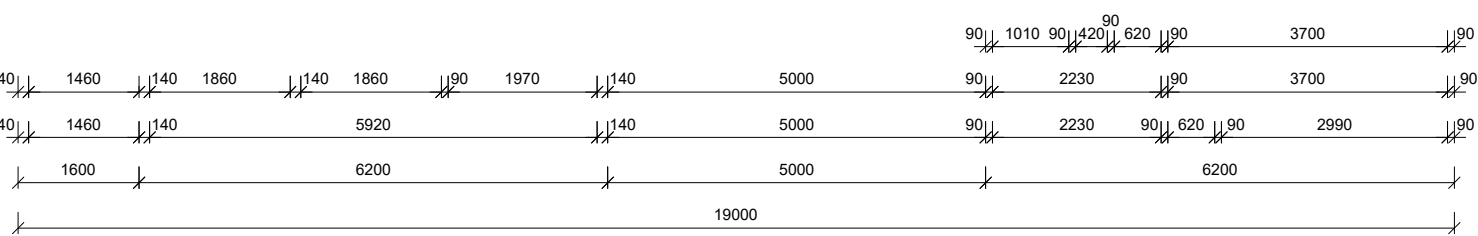
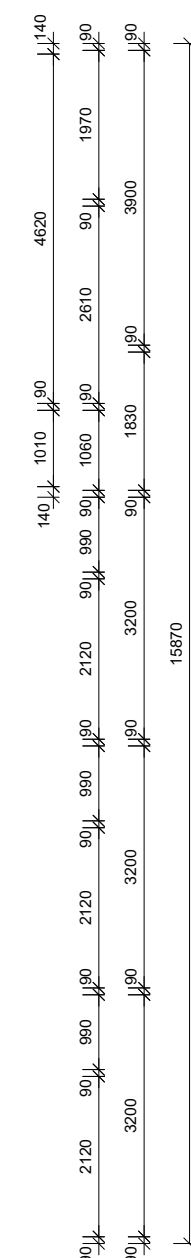
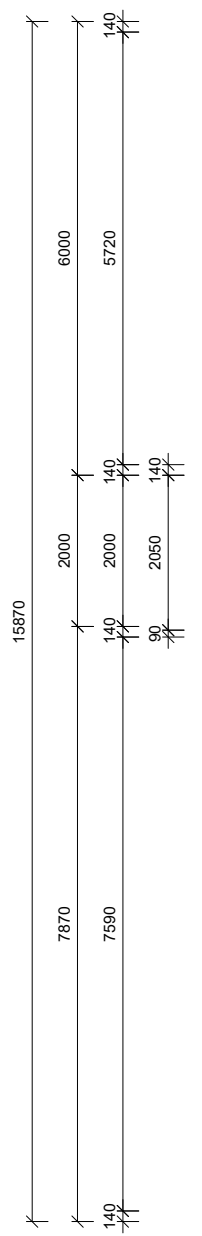
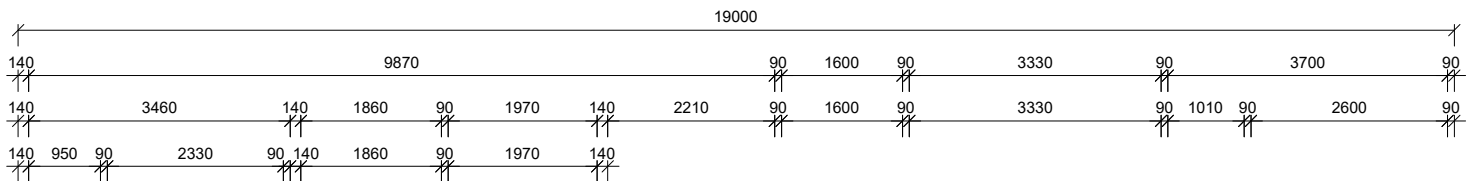


Specification:

- High Wind Zone
- Exposure zone C
- Raft Foundations
- 2.4m High stud
- Linea cladding
- Trimline Roofing
- 3° Roof pitch
- 10mm GIB wall lining
- R2.2 Wall insulation
- 13mm GIB ceiling lining
- R3.2 Ceiling batts
- Hardieflex soffit lining
- Continuous 'Texan' external rainwater system & fascia with 800 downpipe, unless noted.
- All windows and doors double glazed.
- Grade A safety glazing in bathroom window and all full height ranch sliders inline with NZS 4223.



- LEGEND**
- ⊙ Smoke Detector
 - - - Roof Line
 - ▬ 140 x 45 SG8 Timber framing walls
 - ▬ 90 x 45 SG8 Timber framing walls
 - Selected tiles on selected tile underlay to all wet areas installed to manufacturers specifications & Branz tiling good practice guide
 - ☒ Rinnai Infinity VT26 water heater installed to manufacturers instructions
 - ⊙ 45KG LPG Bottles, top of bottle to be 500mm min. from ignition source refer to LPG Association Code of Practice for clearances and seismic restraints.



BUILDING AREA:
 Floor Area: 232.3m²
 Roof Area: 313.1m²

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Project Title
 Joe Allen
 3 Tareha Place
 Kerikeri
 Lot 2 DP 540557

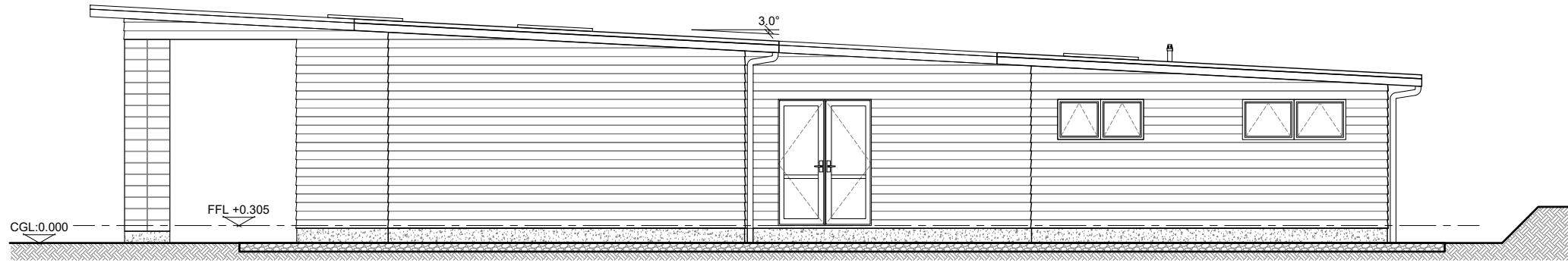
Sheet Title
 Existing Floor Plan

Drawn 6 December 2023

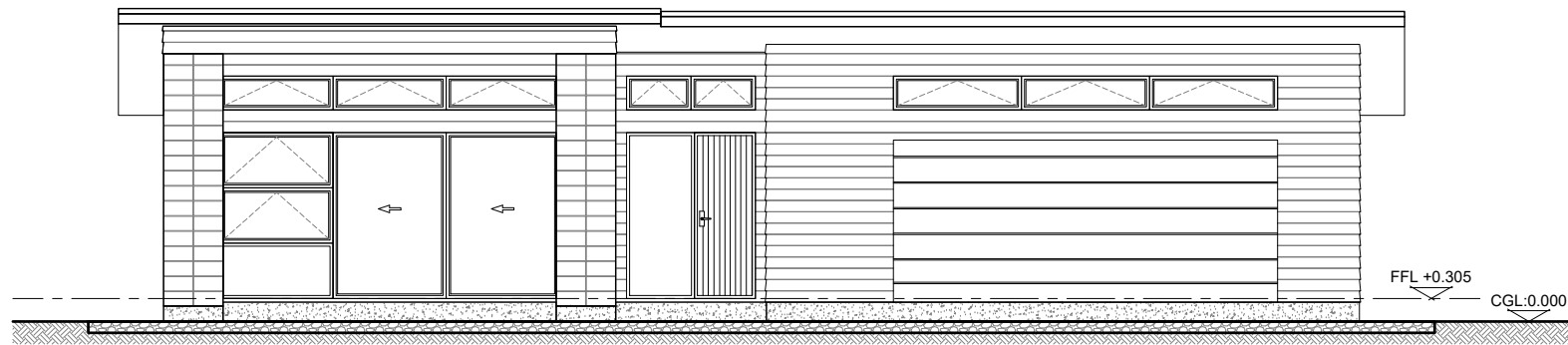
Project No 4127

Rev D **Sheet** A02a

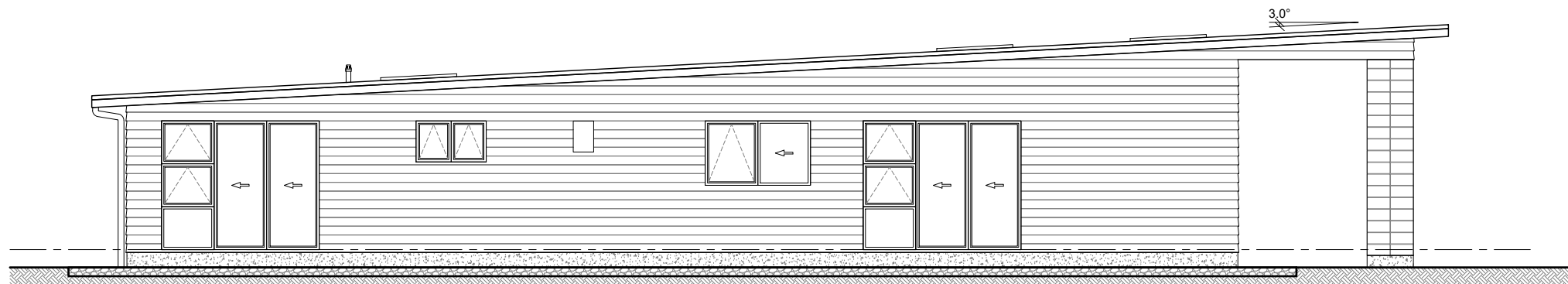
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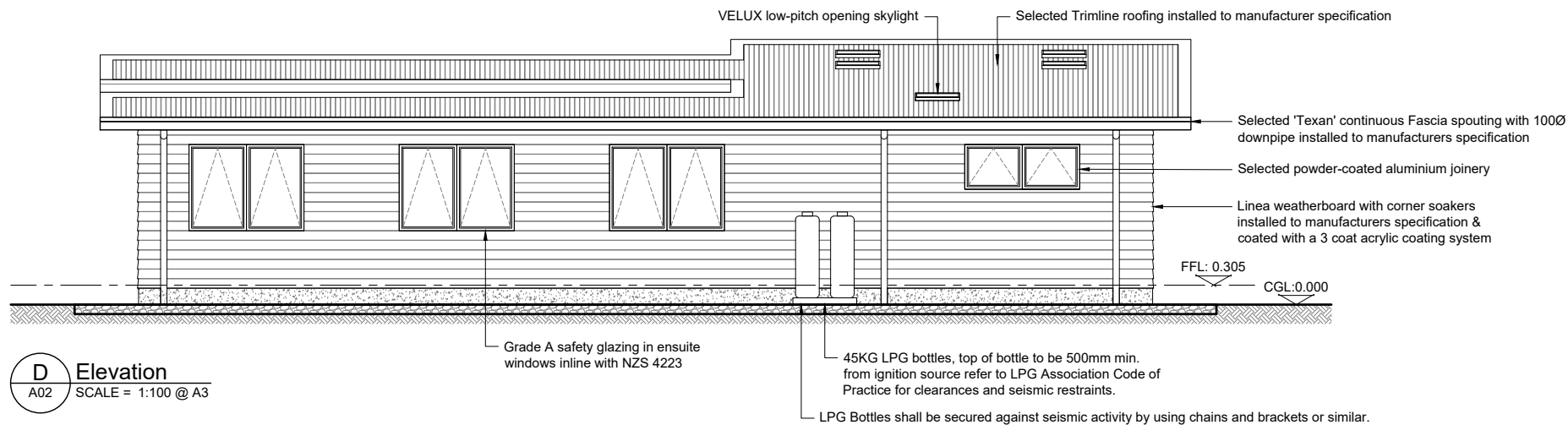
A Elevation
A02 SCALE = 1:100 @ A3



B Elevation
A02 SCALE = 1:100 @ A3



C Elevation
A02 SCALE = 1:100 @ A3



D Elevation
A02 SCALE = 1:100 @ A3

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Project Title
Joe Allen
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Kerikeri
Lot 2 DP 540557

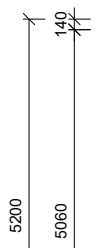
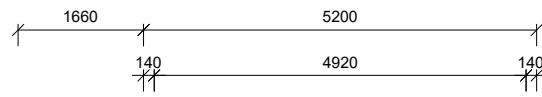
Sheet Title
Existing Elevations

Drawn 6 December 2023

Project No 4127

Rev D **Sheet** A02b

Scale (A3 Original) 1: 100
1 0.5 0 1 2 m



Specification:

- High Wind Zone
- Exposure zone C
- Raft Foundations
- 3.44m High stud
- Linea cladding
- Trimline Roofing
- 3° Roof pitch
- 10mm GIB wall lining
- R2.2 Wall insulation
- 13mm GIB ceiling lining
- R3.6 Ceiling batts
- Hardiflex soffit lining
- Continuous 'Texan' external rainwater system & fascia with 80Ø downpipe, unless noted.
- All windows and doors double glazed.
- Grade A safety glazing in bathroom window and all full height ranch sliders inline with NZS 4223.

NOTE:

1. All dimensions taken from the outside of pre-cut, please check all dimensions before construction commences.
2. Refer to Framing & Lintel Plan for lintel dimensions, stud spacing & external door offsets.
3. Additional nogs to be installed at framing stage to allow for fixed shelves, wall mounted extractors, heat pump, A/C units & garage door components where required.
4. Refer to attached sheet for cladding & roofing notes & details.
5. All wall framing typically H1.2 treated unless specifically stated.
6. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.

BUILDING AREA:

Floor Area:	232.3m ²
Proposed Addition:	27.0m ²
Total Floor Area:	259.3m ²
Roof Area:	313.1m ²
Proposed Roof Area:	33.3m ²
Total Roof Area:	346.4m ²

FIXINGS:

Exposure Zone: C
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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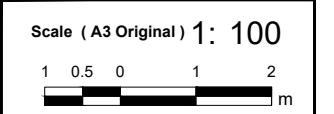
Project Title
 Joe Allen
 3 Tareha Place
 Kerikeri
 Lot 2 DP 540557

Sheet Title
 Proposed Floor Plan

Drawn 6 December 2023

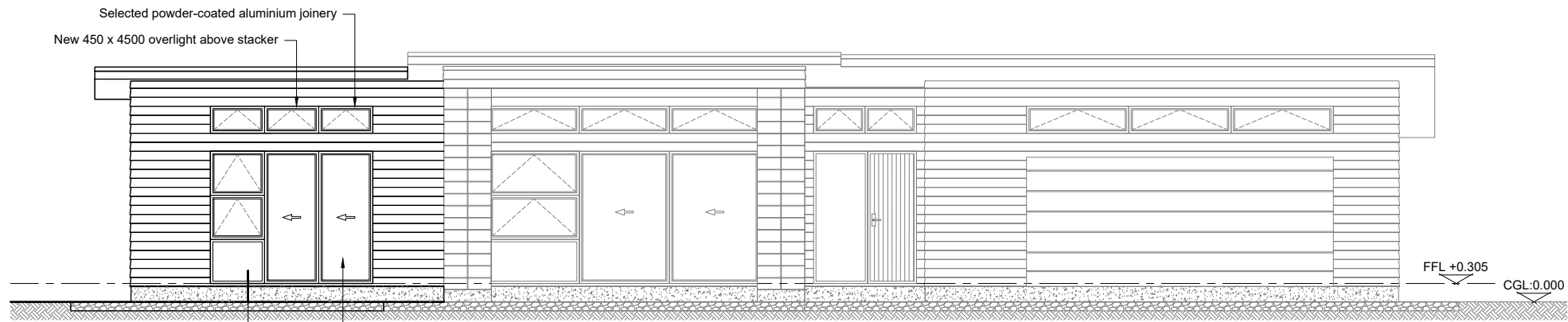
Project No 4127

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LEGEND

- Smoke Detector
- Roof Line
- 140 x 45 SG8 Timber framing walls
- Existing timber framing walls

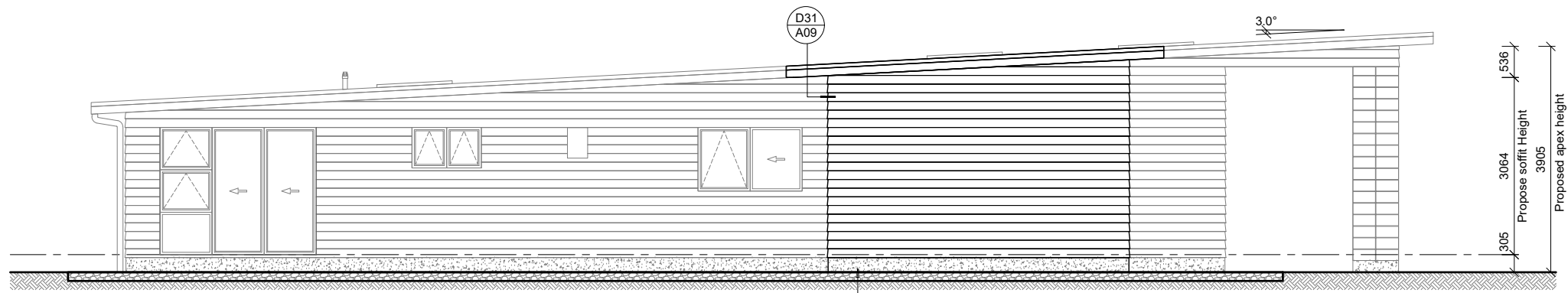


B Elevation
A02 SCALE = 1:100 @ A3

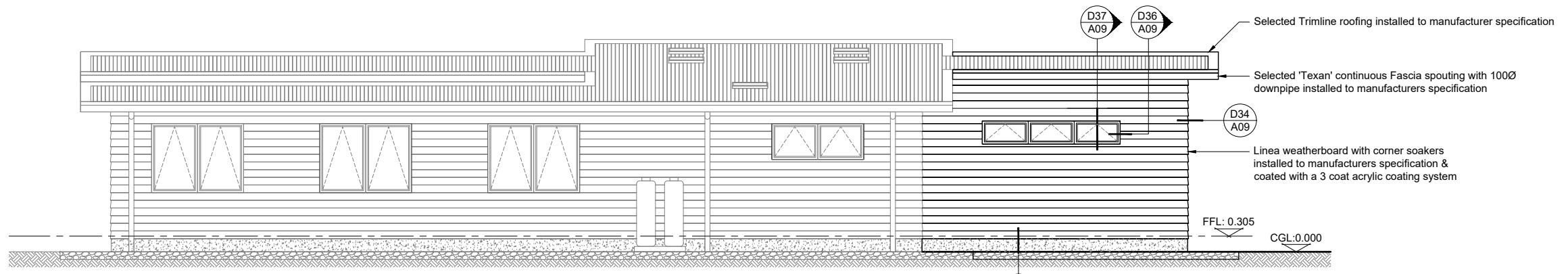
SPECIFICATIONS	
Cladding Type	Linea Weatherboards
Stud Height	3.6m
Roofing Type	Trimline
Roof Pitch	3°
Joinery	Aluminium
Wind Zone	High
Earth Quake Zone	1

RISK MATRIX					
Risk Factor	L	M	H	VH	Score
A. Wind Zone	0	0	1	2	1
B. Number of Storeys	0	1	2	4	0
C. Roof / Wall Intersection	0	1	3	5	0
D. Eave Width	0	1	2	5	1
E. Envelope Complexity	0	1	3	6	0
F. Deck Design	0	2	4	6	0
Total					2

- NOTE:**
- All heights shown are existing ground heights.
 - All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 - All windows and doors double glazed other than the garage joinery.
 - Grade A safety glazing in bathrooms & tall windows and sliders inline with NZS 4223.



C Elevation
A02 SCALE = 1:100 @ A3



D Elevation
A02 SCALE = 1:100 @ A3

FIXINGS:
Exposure Zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Project Title
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3 Tareha Place
Kerikeri
Lot 2 DP 540557

Sheet Title
Proposed Elevations

Drawn 6 December 2023

Project No 4127

Rev D **Sheet** A03b

Scale (A3 Original) 1: 100
1 0.5 0 1 2 m

SITE Lot 2 DP 540557, 3 Tareha Place, Kerikeri

PROJECT Proposed Residential Dwelling

REFERENCE NO. 109251

DOCUMENT Stormwater Mitigation Report

STATUS/REVISION No. 05

DATE OF ISSUE 6th December 2023

Authored by

Patrick McSweeney

Civil Design Engineer

BEng(Hons)

Reviewed by

Ben Steenkamp

Civil Group Manager

CPEng, CMEngNZ, BEng Civil, BSc (Geology)

Report Prepared For	Email
Joe Allen	

1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Legal Description:	Lot 2 DP 540557
Site Area:	3,003m ²
Development Proposals Supplied:	Yes
Development Type:	Proposed Residential Dwelling
Related Documents:	WJL Geotechnical Report Ref. 107660
District Plan Zone	Rural Living
Site Impervious Proposed Post-Development	782.2m ² or 26% of the site area – Discretionary Activity
Geology Encountered:	Kerikeri Volcanic Group
Pre-Development Ground Cover:	Site Soil Tests = Type C. C = 0.59
Attenuation Proposed:	Attenuation for impermeable areas in excess of the Permitted Activity threshold Detention Tank 3 x 25,000L Rainwater Tanks Dimensions – 3730m Ø (or greater) x 2600mm high (or greater) 10% AEP Control Orifice - 40mm diameter orifice; located <u>750mm below the overflow outlet</u> 1% AEP Control Orifice - 24mm diameter orifice; located <u>480mm above the primary outlet orifice</u> Overflow Outlet - 100mm diameter; located at the top of the tank
Outlet:	Bubble-up chamber (Type 1 catchpit per E1 or similar) at the northern corner of the site, draining to subdivision planted drain.

2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client to produce a stormwater mitigation assessment at the above site.

At the time of report writing, the following documents were referred to for background data and details of the proposed development:

- Site Plan, Floor Plan and Elevations by O'Brien Design Consulting Ltd, Ref. 4127 RevC, Dated 05.12.23.

Any revision of these drawings and/or development proposals with stormwater management implications should be referred back to us for review.

3. SITE DESCRIPTION

The 3,003m² site is designated as Lot 2 DP 540557, located at 3 Tareha Place, Kerikeri. It is accessed directly from Tareha Place which in turn is accessed via Landing Road. Landing Road forms the easternmost boundary. The section is on relatively level ground, with land directly surrounding it also being relatively flat to gently sloping.

The property is not serviced by Far North District Council (FNDC) Wastewater and Stormwater Services. FNDC main water services are present within Landing Road for firefighting purposes.



Figure 1 – Aerial Snip from NRC Maps Showing Site Boundaries and 1m Contours.

4. DEVELOPMENT PROPOSALS

It is our understanding that a single-storey residential dwelling and concrete driveway have been constructed on-site, and it is further proposed to construct a 5.2 x 5.2m addition to the primary dwelling. This report also includes stormwater mitigation recommendations for the additional proposals of a future 63m² shed and 40m² pool.

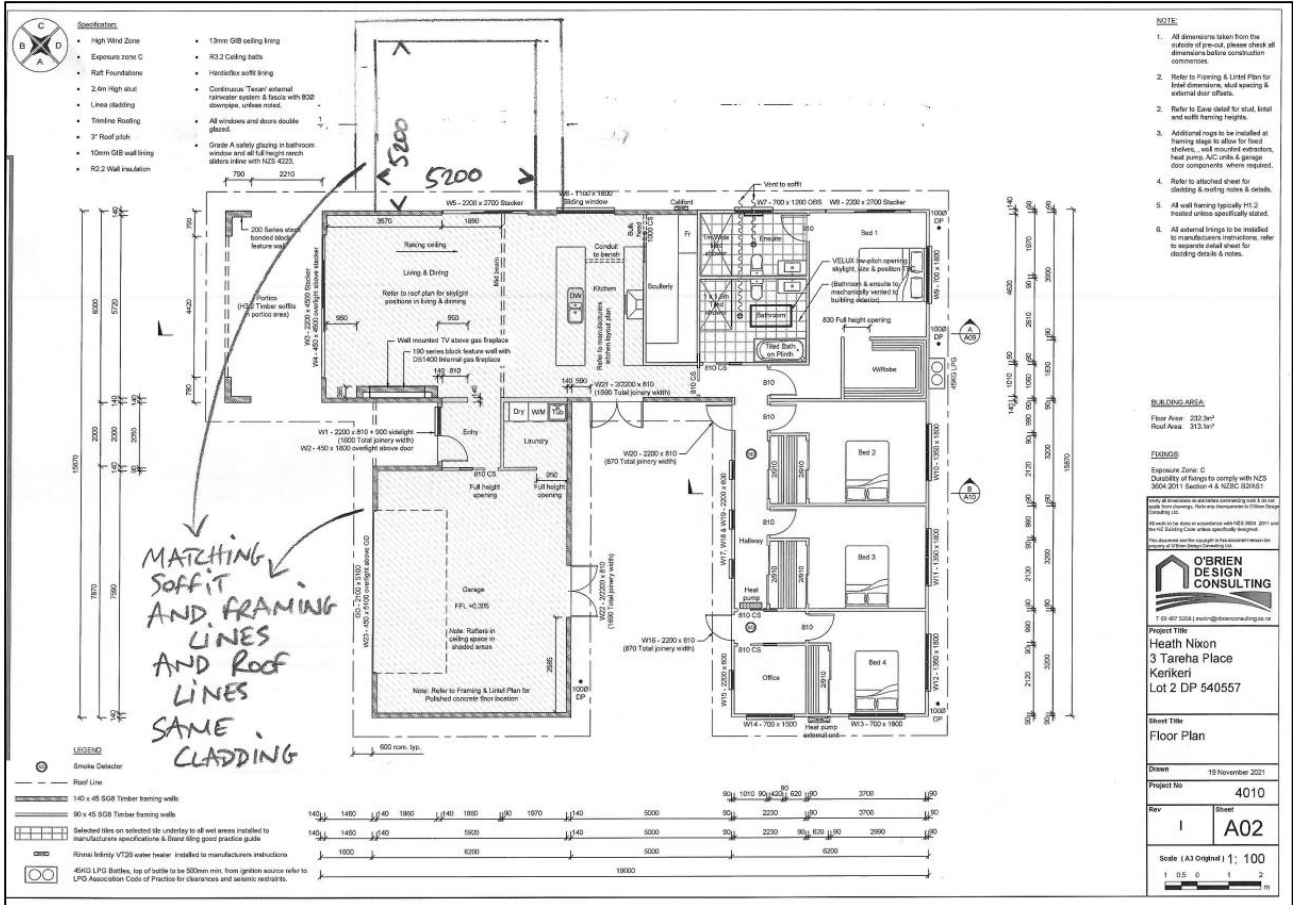


Figure 2 - Snip of the addition markup provided by the client.

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the increased impermeable areas associated with the proposed development.

5. ASSESSMENT CRITERIA

Impermeable Areas

The calculation for the stormwater system for the development is based on a gross site area of 3,003m² and the below areas extracted from the supplied plans:

	Pre-Development	Post-Development	Total Change
Roof Areas			
Dwelling	0 m ²	409.3 m ²	409.3 m ²
Dwelling Addition		313.1 m ²	
Shed		33.2 m ²	
Driveway Area*	0 m ²	63 m ²	63 m ²
Pool Area	0 m ²	332.9 m ²	332.9 m ²
Pervious	3,003 m ²	40 m ²	-2,963 m ²
		2,220.8 m ²	-782.2m ²

*Uncovered Area

The total amount of impermeable area on site, post-development will be 782.2m² or 26% of the site area.

Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

District Plan Rules

The site is zoned Rural Living. The following rules apply under the FNDC District Plan:

8.7.5.1.5 – **Permitted Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 12.5% or 3,000m², whichever is the lesser.

8.7.5.2.2 – **Controlled Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other Impermeable Surfaces shall be 20% or 3300m², whichever is the lesser.

The total proposed impervious area for the development exceeds 20% of the site area and does not comply with Controlled Activity rules under 8.7.5.2 of the District Plan. Therefore, this activity is considered a Discretionary Activity under the FNDC District Plan. Additional consideration has been given to stormwater management areas as outlined in Section 8 of this report.

Design Requirements

The site is under the jurisdiction of the Far North District Council. This design has been completed in general accordance with the recommendations and requirements contained within the Far North District Engineering Standards and the Far North District Council District Plan as well as Clause E1 of the New Zealand Building Code.

The total impervious area exceeding the amount falling under a Permitted Activity as per the FNDC District Plan 8.7.5.1.5 is 406m² for the above proposals. Stormwater attenuation will therefore be provided for this excess impervious area.

Provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed impermeable surfaces (376.2m² total) are considered to have less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold.

Stormwater Modelling Method

The attenuation calculations have been computed using HydroCAD modelling software. The model has been configured utilising the Rational Method (NZ Building Code E1). The rainfall intensity values the 10% AEP and 1% AEP storm events adjusted for climate change are as follows:

	Rainfall Intensity Values (RCP6.0 2081-2100)							
Time	10m	20m	30m	1h	2h	6h	12h	24h
10% AEP	121	87.2	72	51.6	36.1	19.3	12.5	7.71
1% AEP	181	131	109	78	54.9	29.6	19.2	11.9

The post-development flow scenarios for the storm events must be increased to account for climate change. For this, the NIWA RCP6.0 rainfall data scenario for 2081-2100 has been used.

Soil tests conducted for the lot (Ref. WJL Geotechnical Investigation Job No. 107660) indicate the presence of very stiff silty CLAY and clayey SILT. These are expected to have characteristics in-line with Type C soils. Therefore, in accordance with Table 4-3 of the standards, a pre-development weighted runoff coefficient of 0.59 has been adopted. See attached borehole logs.



Figure 3 – Site Photo – Arisings from HA01.

6. STORMWATER MITIGATION ASSESSMENT

6.1 Potable Water Supply

A potable water supply for the primary dwelling will be provided via rainwater tanks on-site. The tank type and location of the tanks is at the discretion of the client.

The tanks are required to be plumbed together to act as one unit via balancing pipes. This should be done at the top of the tanks and above a 150mm sludge zone at the base of the tanks. All stormwater runoff from the roof of the proposed primary dwelling and future shed is required to be captured by a suitable gutter system and directed to the potable water tanks. Proprietary gutter screens, leaf debris filters and first flush diverters are recommended to be installed in-line between the gutter system and the tanks.

The tank inlet level must be at least 600mm lower than the gutter inlet and flush diverters. Provision should be made by the homeowner for top-up of the tanks via water tankers in periods of low rainfall. The tanks must be constructed on a level platform, and installed in accordance with the tank suppliers' details and specifications. Partial burial of the tanks is at the discretion of the client – the invert level of the tank's primary orifice outlet must be at least 500mm above the invert level of the discharge point.

The upper section of the rainwater tanks is to act as a detention volume to achieve hydrologic neutrality for the proposed impermeable areas exceeding the permitted activity threshold. One of the tanks is to be fitted with a 100mm \varnothing overflow outlet with flow attenuation outlets as specified below.

6.2 Primary Dwelling and Future Shed Roof Areas

The upper sections of the rainwater tanks are required to act as a detention volume for stormwater runoff collected from the proposed roof areas. As per the attached design calculations, the design elements of the detention volume are as follows:

Proposed Tank	3 x 25,000 litre Rainwater Tanks
Tank dimensions	3730m \emptyset (or greater) x 2600mm high (or greater)
Outlet orifice (10% AEP control)	40mm diameter orifice ; located <u>750mm below the overflow outlet</u> <ul style="list-style-type: none">- 475mm water elevation- 15.0m³ Storage
Outlet orifice (1% AEP control)	24mm diameter orifice ; located <u>480mm above the primary control orifice</u> <ul style="list-style-type: none">- 747mm water elevation- 23.6m³ Storage
Overflow Outlet	100mm diameter ; located at the top of the tank

Tank detail, 109251-C201, is appended to this report. Refer to the appended calculation set for clarification. All discharge from detention tank must be transported via sealed pipes to the discharge point specified in Section 6.4 of this report.

6.3 Concrete Driveway

The proposed concrete driveway area is to be shaped to shed runoff to the west, discharging via sheet flow to Easement E west of the property.

Hardstand runoff must be directed to the easement in a controlled manner, shedding away from any structures.

6.4 Discharge Point

Discharge from rainwater tanks is to be directed via sealed pipes to a bubble-up chamber consisting of a Type 1 catchpit per E1 or similar. The lid level of the bubble-up chamber must be at least 500mm below the invert level of the detention tank's 10% AEP control orifice. On-site levels must be confirmed by the contractor prior to construction to verify that this clearance can be achieved.

The bubble-up chamber is to be installed at a location allowing runoff to be released from the bubble-up chamber to the subdivision planted roadside swale along Tareha Place.

7. STORMWATER RUNOFF SUMMARY

Please refer to the appended HydroCAD Calculation output.

Pre-Development Scenario – 10% AEP and 1% AEP Storm Events

Surface	Area	Runoff C	10% AEP Flow Rate	1% AEP Flow Rate
Primary Dwelling & Addition Roof Area	346.3 m ²	0.59	2.09ℓ/s	3.14ℓ/s
Future Shed Roof Area (Partial)	59.7 m ²	0.59	0.24ℓ/s	0.37ℓ/s
		Total	2.33ℓ/s	3.51ℓ/s

Post-Development Scenario – 10% AEP and 1% AEP Storm Events + CCF

Surface	Area	Runoff C	10% AEP Flow Rate	1% AEP Flow Rate
Primary Dwelling & Addition Roof Area via Detention Tank	346.3 m ²	0.96	2.27ℓ/s*	3.49ℓ/s*
Future Shed Roof Area via Detention Tank	59.7 m ²	0.96		

*HydroCAD output summary

Given the design parameters, stormwater neutrality has been achieved for the 10% AEP and 1% AEP storm events across the cumulative impermeable surfaces in excess of the Permitted Activity threshold on site.

8. DISTRICT PLAN ASSESSMENT

This report has been prepared to demonstrate the likely effects of increased stormwater run-off arising from the proposed development and the means of mitigating run-off to no more than the levels that would result from the permitted threshold under Stormwater Management Rule 8.7.5.1.5.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (m) of Section 11.3.

In respect of matters (a) through (m), we provide the following comments:

(a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;	Impermeable surfaces resulting from the development increase site impermeability. Low impact design principles have been utilised to mitigate runoff from impermeable areas exceeding the permitted threshold to that of pre-development levels (10% and 1% AEP). Potable tank overflow and attenuation outlets to drain to a bubble-up chamber discharging to the subdivisional drains north of the property.
(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;	Discharge from the detention tank is to be directed through a bubble-up chamber to the subdivisional drains north of the property, with attenuation for areas in excess of Permitted Activity threshold. Runoff from driveway area is to shed to Easement E in a controlled manner via sheet flow, with treatment and evapotranspiration assistance mitigating stormwater flows.

	All stormwater discharge from impervious areas is to be directed through easement E and a bubble-up chamber to the roadside swale along Tareha Place, providing a controlled disposal method with various forms of treatment.
(c) any cumulative effects on total catchment impermeability;	The development proposals will result in an increase in catchment impermeability. The average size of residential lots in the larger subdivision is approximately 3,350m ² . The subject lot is smaller than this (3,003m ²), and the exceedance of the Permitted Activity threshold will have a relatively lower impact than an average lot with the same percentage of exceedance.
(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;	Runoff from the proposed roof and hardstand areas is to be collected and directed to stormwater management devices via sealed pipes, mitigating the potential for runoff to pass over / saturate the surrounding soils. Ponding is not anticipated to occur provided the recommendations within this report are adhered to, mitigating interference with natural water absorption.
(e) the physical qualities of the soil type;	Kerikeri Volcanic Group. Good to moderate drainage.
(f) Any adverse effects on the life supporting capacity of the soils;	Runoff from the proposed roof and hardstand areas is to be collected and directed to stormwater management devices via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to life.
(g) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;	<p>Stormwater runoff from all impermeable surfaces will be captured by either a gutter system or directed to Easement E and conveyed to the subdivisional drains north of the property.</p> <p>The site is large enough for on-site stormwater and effluent disposal (i.e set backs between water sources and effluent disposal comply with Table 9 of the PRPN).</p> <p>A review of NRC Bore location maps shows no ground water bores in close proximity to the site (i.e. within 20m to the proposed wastewater field).</p>
(h) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;	The proposed driveway provides vehicle access to the dwelling and future shed.
i) the extent to which land scaping and vegetation may reduce adverse effects of runoff;	Plantings exist at the eastern property boundary, increasing site permeability.
(j) Any recognised standards promulgated by industry groups;	N/A

(k) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold.	The newly proposed impervious areas in excess of the Permitted Activity threshold have been accounted for with a detention tank system, supplying attenuation for the 10% and 1% AEP storm event. Given this, hydraulic neutrality will be achieved across the site for these areas, and stormwater runoff has effectively been mitigated to the Permitted Activity threshold.
(l) The extent to which the proposal has considered and provided for climate change;	RCP 6.0 2081-2100 rainfall values from HIRDS have been utilised in the design of stormwater management devices, accounting for climate change.
(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.	Runoff is to be released at the specified discharge points into the subdivisional swale system along Tareha Place, disposing of post-development runoff to a public system in a controlled manner.

9. NOTES

If any of the design specifications mentioned in the previous sections are altered, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (109251-C200 & 109251-C201).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system. Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.

10. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. The secondary stormwater system, Overland Flow Paths (OLFP), vehicular access and the consideration of road/street water flooding is all assumed to be undertaken by a third party.

All drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

Wilton Joubert Ltd.



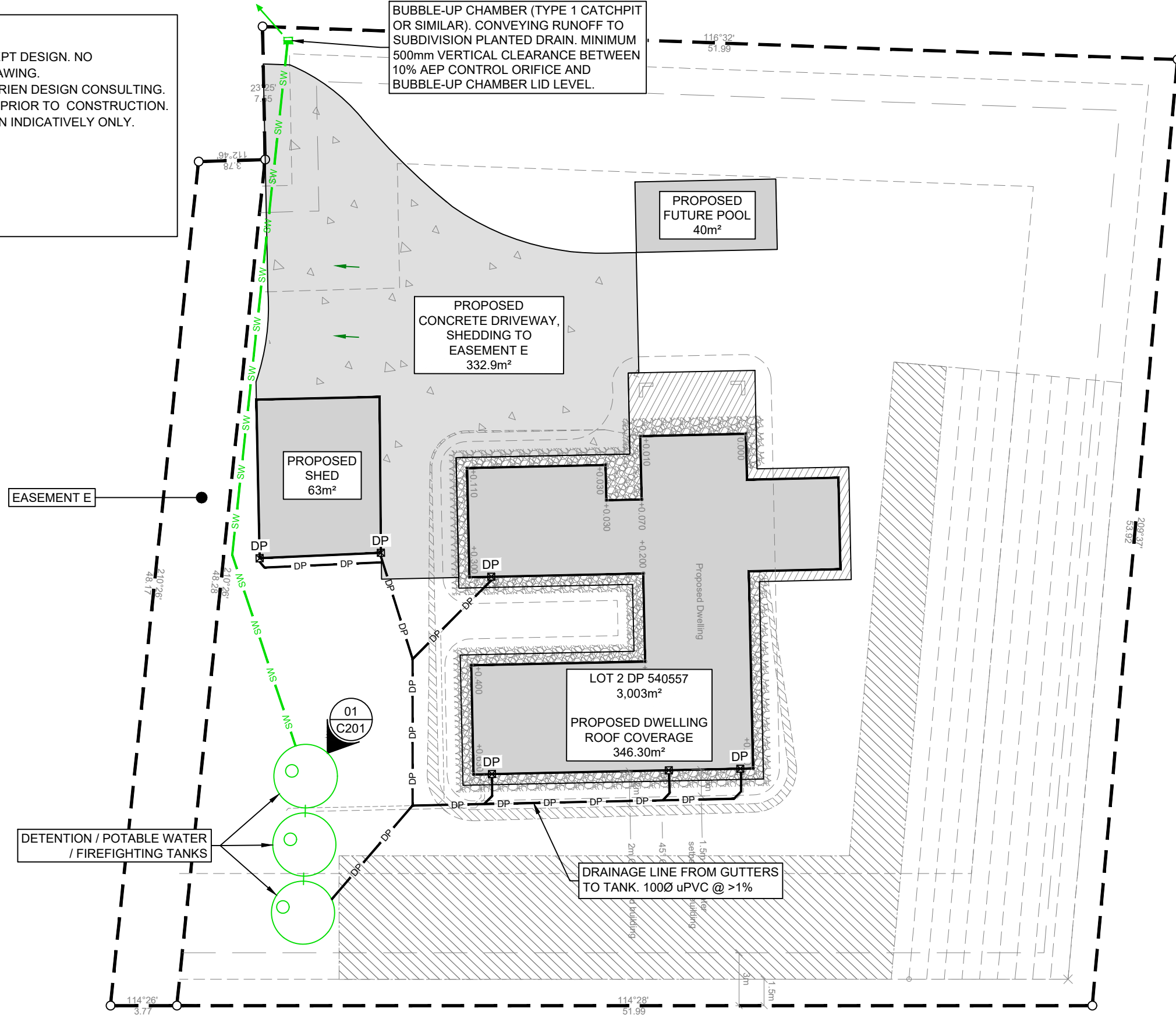
Patrick McSweeney
BEng(Hons)

REPORT ATTACHMENTS

1. Site Plan - C200 (1 sheet)
2. Tank Detail - C201 (1 sheet)
3. HydroCAD Calculations

NOTES:

1. SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
2. BACKGROUND DRAWING PROVIDED BY O'BRIEN DESIGN CONSULTING.
3. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.
4. CONTOURS & LOCAL SERVICES ARE SHOWN INDICATIVELY ONLY.
5. IMPERVIOUS SURFACES FOR MITIGATION:
 SITE AREA = 3,003m²
 DWELLING ROOF COVER = 346.30m²
 FUTURE SHED = 63m²
 CONCRETE DRIVEWAY = 332.90m²
 POOL AREA = 40m²



SITE LAYOUT
1:250

WILTON JOUBERT
 Level 1, 108 Lunn Avenue, Mt Wellington, Auckland 1072
 PO Box 11-381, Ellerslie, Auckland 1051
 Phone: 09 527 0196
 www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	21 JUL '21	RDS	STORMWATER MITIGATION REPORT
B	OCT '21	PTM	TANK & DISPERSAL UPDATE
C	18 NOV '22	PTM	DISCHARGE POINT & TANK REVISION
D	NOV '23	PM	TANK REVISION TO ACCOMMODATE ADDITION
E	DEC '23	PM	ROOF COVER REVISID

DESIGNED BY: PM
DRAWN BY: PM
CHECKED BY: BGS
SURVEYED BY: OTHER

SERVICES NOTE
 WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT

DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
SITE PLAN

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

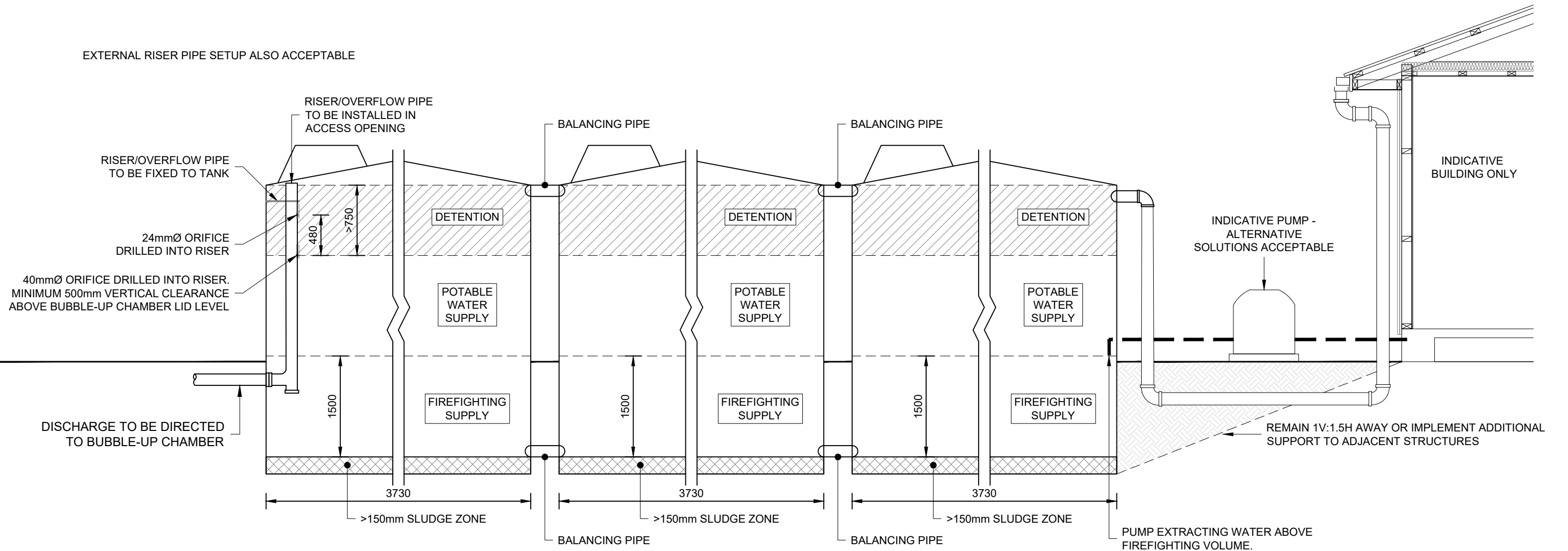
PROJECT TITLE:
**LOT 2 DP 540557
3 TAREHA PLACE
KERIKERI
FAR NORTH**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: 1:250	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 109251-C200	ISSUE: E
<small>COPYRIGHT - WILTON JOUBERT LIMITED</small>	

NOTES:

1. NOT TO SCALE. DRAWN INDICATIVELY ONLY.
2. ALL LEVELS & DIMENSIONS TO BE CONFIRMED ON SITE & ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. TANKS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & RELEVANT COUNCIL STANDARDS.
4. REGULAR INSPECTION & CLEANING IS REQUIRED TO ENSURE THE EFFECTIVE OPERATION OF THE SYSTEM.
5. MINIMUM SLUDGE ZONE OF 150mm TO BE KEPT.
6. ASSUMED USE OF 3 x 25,000L CONCRETE RAINWATER TANKS OR SIMILARLY APPROVED.
7. ORIFICE OUTLETS TO BE FITTED WITH STAINLESS STEEL OR NYLON MESH COVERINGS.

EXTERNAL RISER PIPE SETUP ALSO ACCEPTABLE



01 TANK DETAIL
C200 N.T.S

Level 1, 108 Lunn Avenue, Mt Wellington, Auckland 1072
PO Box 11-381, Ellerslie, Auckland 1051
Phone: 09 527 0196
www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	21 JUL '21	RDS	STORMWATER MITIGATION REPORT
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DESIGNED BY:	PM
DRAWN BY:	PM
CHECKED BY:	BGS
SURVEYED BY:	OTHER

SERVICES NOTE
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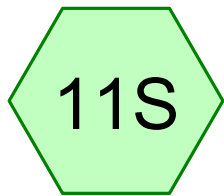
BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
TANK DETAIL

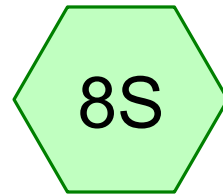
PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 2 DP 540557
3 TAREHA PLACE
KERIKERI
FAR NORTH**

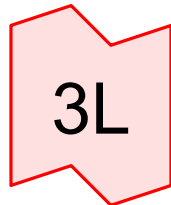
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DRAWING NUMBER: 109251-C201	ISSUE: D
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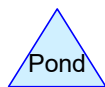
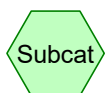
Dwelling & Extension
Roof - Greenfields



Shed Roof (Partial) -
Greenfields



Pre-development Flows



3 Tareha PI

Prepared by Wilton Joubert Ltd

HydroCAD® 10.00-26 s/n 10413 © 2020 HydroCAD Software Solutions LLC

TarehaPlace 10-Year Duration=80 min, Inten=36.8 mm/hr

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Page 2

Summary for Subcatchment 8S: Shed Roof (Partial) - Greenfields

Runoff = 0.24 L/s @ 0.17 hrs, Volume= 1.2 m³, Depth= 20 mm

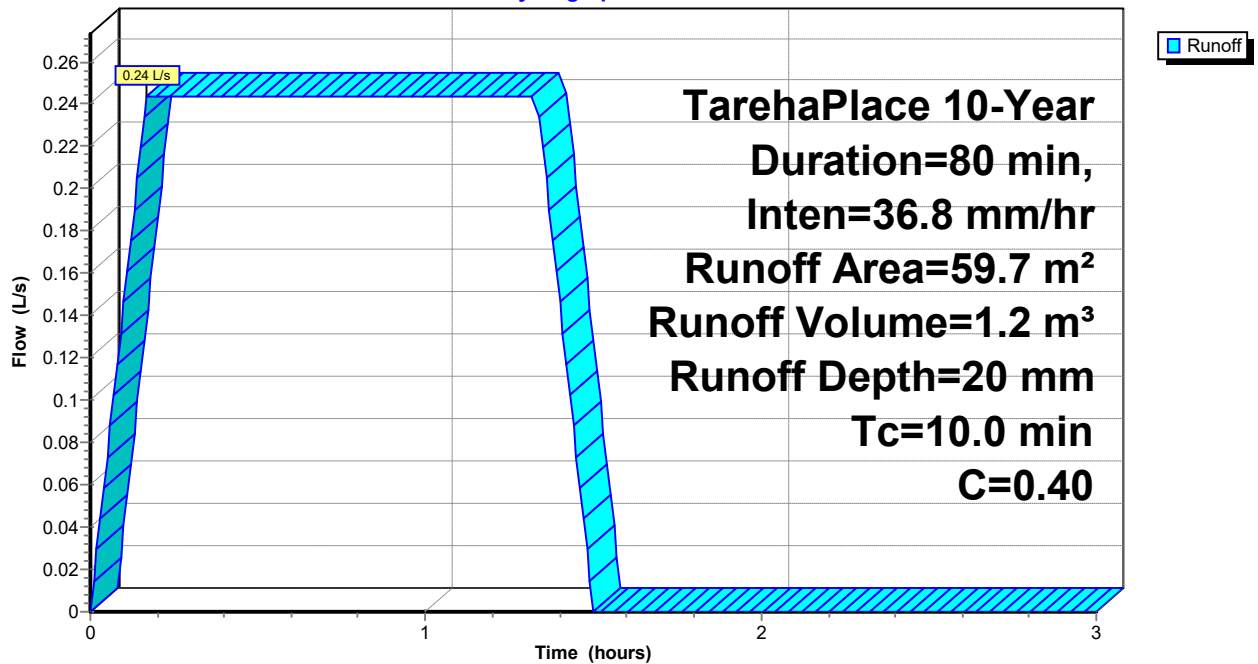
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 10-Year Duration=80 min, Inten=36.8 mm/hr

Area (m ²)	C	Description
59.7	0.40	Grass, short
59.7		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 8S: Shed Roof (Partial) - Greenfields

Hydrograph



3 Tareha PI

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TarehaPlace 10-Year Duration=80 min, Inten=36.8 mm/hr

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Page 3

Summary for Subcatchment 11S: Dwelling & Extension Roof - Greenfields

Runoff = 2.09 L/s @ 0.17 hrs, Volume= 10.0 m³, Depth= 29 mm

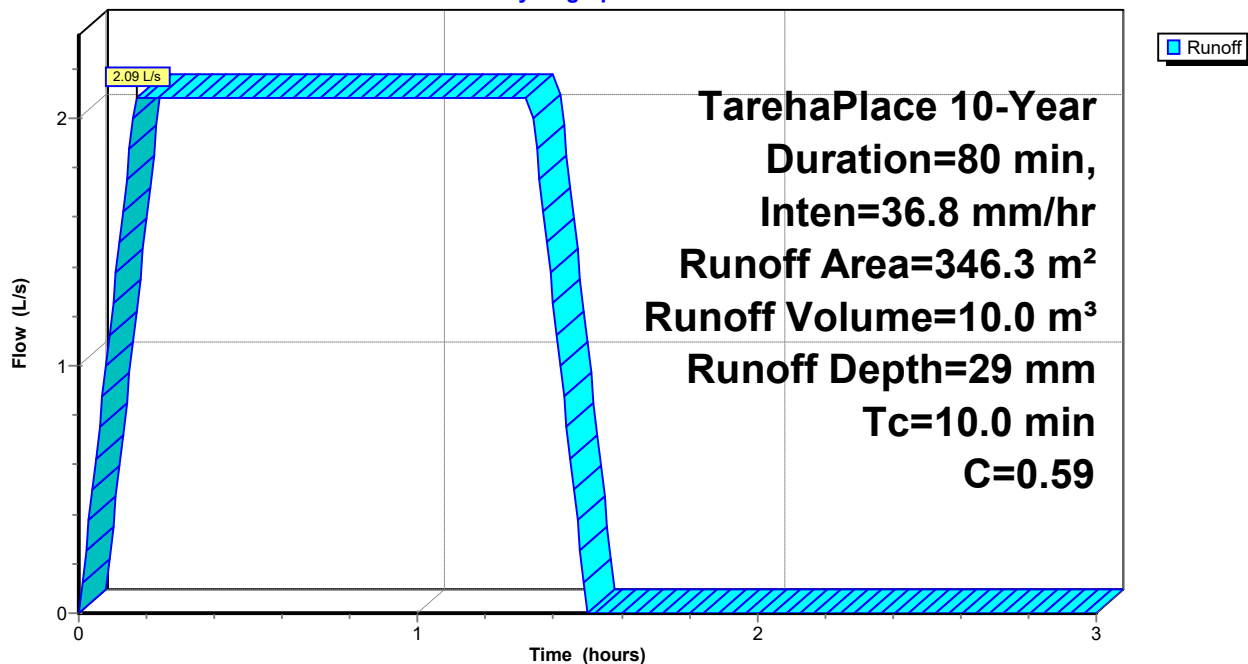
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 10-Year Duration=80 min, Inten=36.8 mm/hr

Area (m ²)	C	Description
313.1	0.59	dwelling roof - greenfields
33.2	0.59	5.2 x 5.2 addition - greenfields
346.3	0.59	Weighted Average
346.3		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 11S: Dwelling & Extension Roof - Greenfields

Hydrograph



3 Tareha PI

TarehaPlace 10-Year Duration=80 min, Inten=36.8 mm/hr

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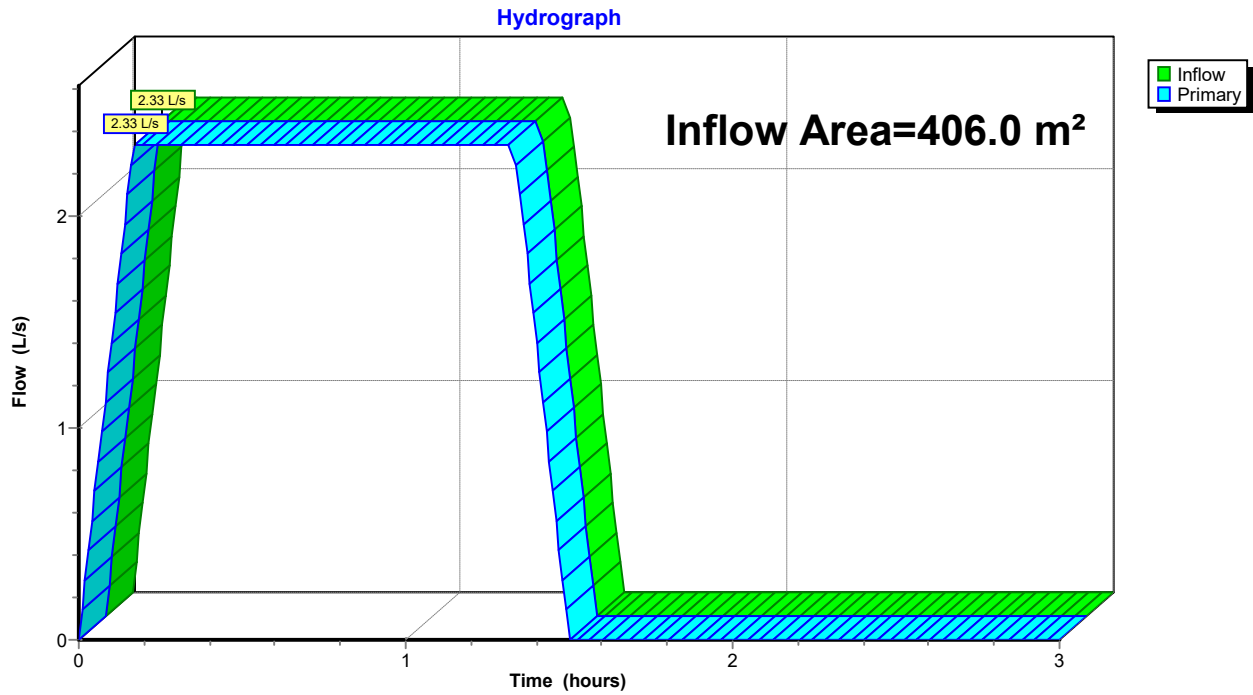
Page 4

Summary for Link 3L: Pre-development Flows

Inflow Area = 406.0 m², 0.00% Impervious, Inflow Depth = 28 mm for 10-Year event
Inflow = 2.33 L/s @ 0.17 hrs, Volume= 11.2 m³
Primary = 2.33 L/s @ 0.17 hrs, Volume= 11.2 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Link 3L: Pre-development Flows



3 Tareha PI

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TarehaPlace 100-Year Duration=80 min, Inten=55.3 mm/hr

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Summary for Subcatchment 8S: Shed Roof (Partial) - Greenfields

Runoff = 0.37 L/s @ 0.17 hrs, Volume= 1.8 m³, Depth= 30 mm

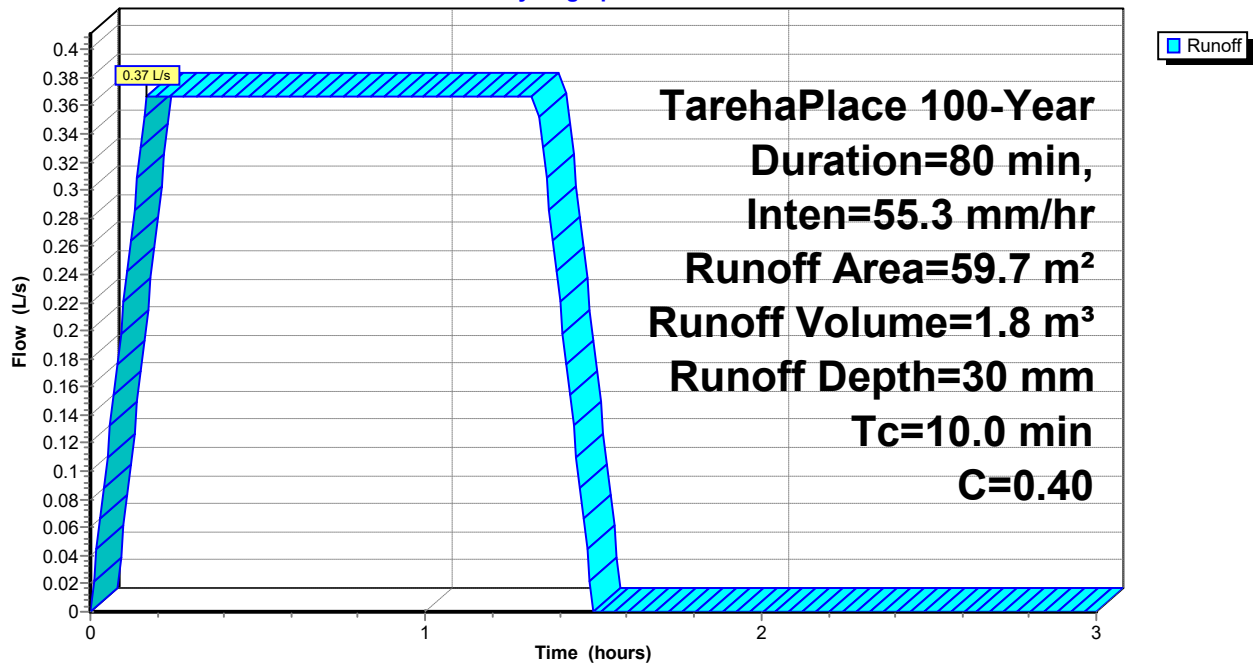
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 100-Year Duration=80 min, Inten=55.3 mm/hr

Area (m ²)	C	Description
59.7	0.40	Grass, short
59.7		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 8S: Shed Roof (Partial) - Greenfields

Hydrograph



3 Tareha PI

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TarehaPlace 100-Year Duration=80 min, Inten=55.3 mm/hr

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Summary for Subcatchment 11S: Dwelling & Extension Roof - Greenfields

Runoff = 3.14 L/s @ 0.17 hrs, Volume= 15.1 m³, Depth= 44 mm

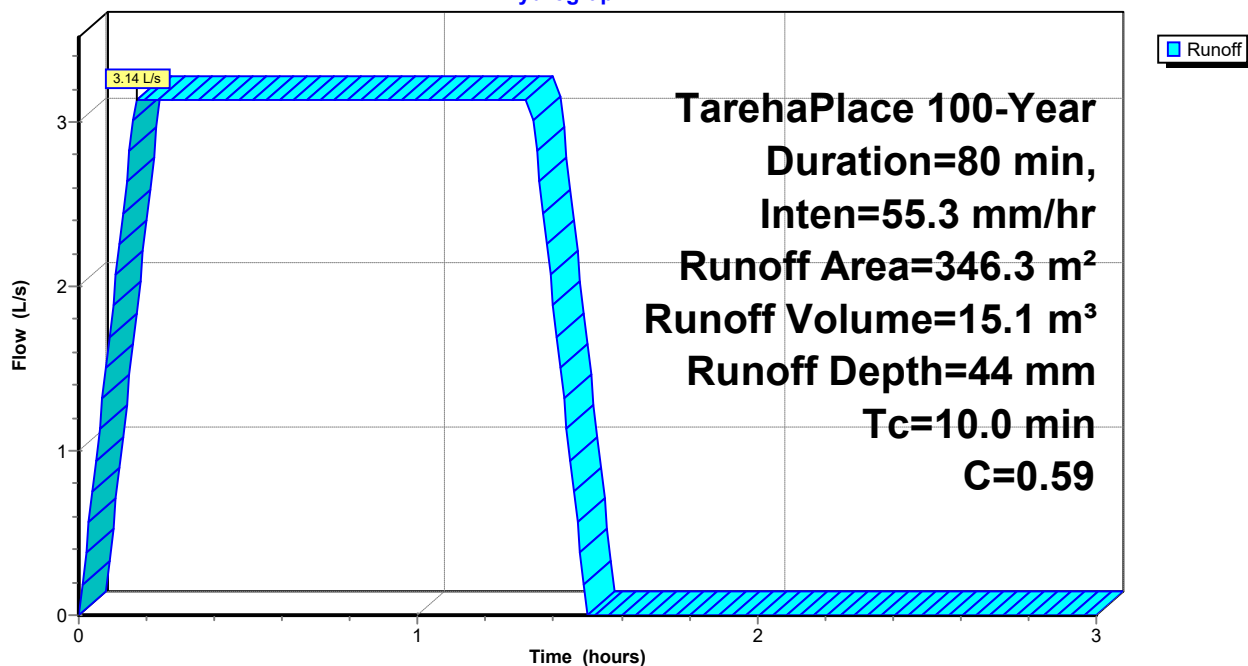
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 100-Year Duration=80 min, Inten=55.3 mm/hr

Area (m ²)	C	Description
313.1	0.59	dwelling roof - greenfields
33.2	0.59	5.2 x 5.2 addition - greenfields
346.3	0.59	Weighted Average
346.3		100.00% Pervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 11S: Dwelling & Extension Roof - Greenfields

Hydrograph

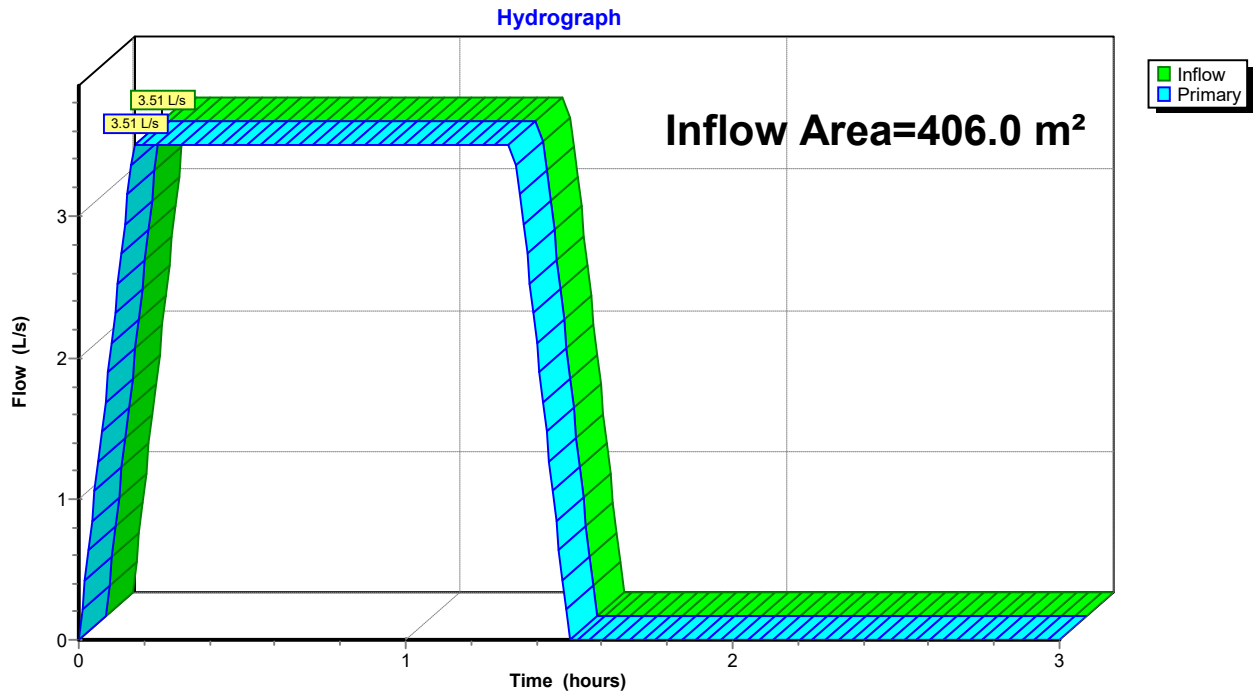


Summary for Link 3L: Pre-development Flows

Inflow Area = 406.0 m², 0.00% Impervious, Inflow Depth = 41 mm for 100-Year event
Inflow = 3.51 L/s @ 0.17 hrs, Volume= 16.8 m³
Primary = 3.51 L/s @ 0.17 hrs, Volume= 16.8 m³, Atten= 0%, Lag= 0.0 min

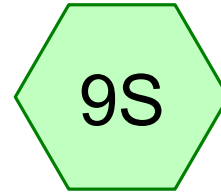
Primary outflow = Inflow, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Link 3L: Pre-development Flows

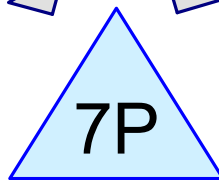




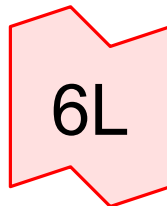
Post-Development Dwelling & Extension Roof



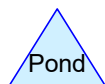
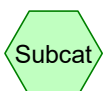
Post-Development Shed Roof (Partial)



Detention Tank



Post-development Flows



3 Tareha PI

TarehaPlace 10-Year + CCF Duration=80 min, Inten=44.5 mm/hr

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Page 2

Summary for Subcatchment 4S: Post-Development Dwelling & Extension Roof

Runoff = 4.11 L/s @ 0.17 hrs, Volume= 19.7 m³, Depth= 57 mm

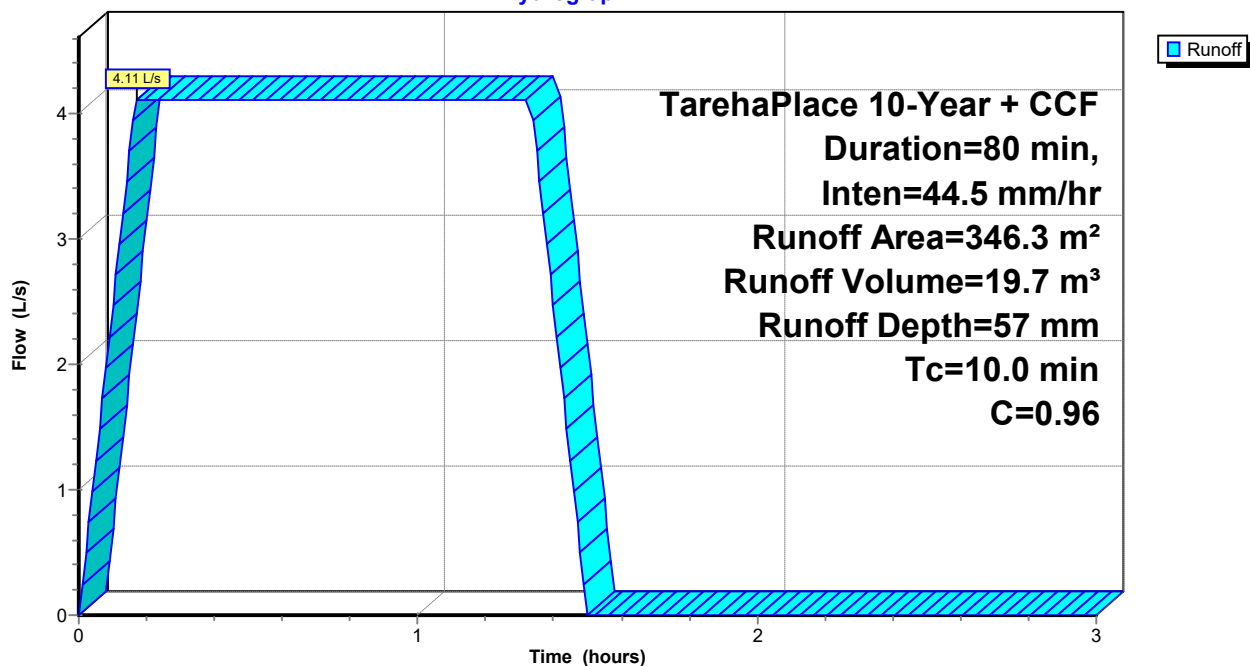
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 10-Year + CCF Duration=80 min, Inten=44.5 mm/hr

Area (m ²)	C	Description
313.1	0.96	Roof, smooth
33.2	0.96	Extension
346.3	0.96	Weighted Average
346.3		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 4S: Post-Development Dwelling & Extension Roof

Hydrograph



3 Tareha PI

TarehaPlace 10-Year + CCF Duration=80 min, Inten=44.5 mm/hr

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Page 3

Summary for Subcatchment 9S: Post-Development Shed Roof (Partial)

Runoff = 0.71 L/s @ 0.17 hrs, Volume= 3.4 m³, Depth= 57 mm

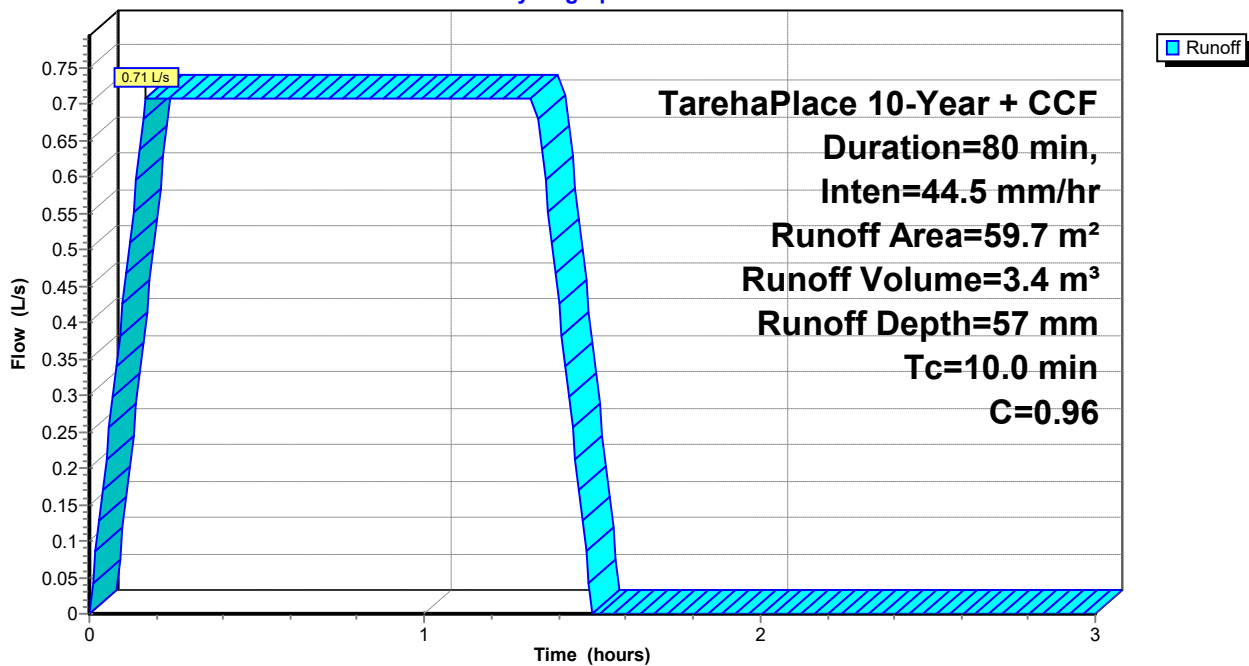
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 10-Year + CCF Duration=80 min, Inten=44.5 mm/hr

Area (m ²)	C	Description
59.7	0.96	
59.7		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 9S: Post-Development Shed Roof (Partial)

Hydrograph



3 Tareha PI

TarehaPlace 10-Year + CCF Duration=80 min, Inten=44.5 mm/hr

Prepared by Wilton Joubert Ltd

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Page 4

Summary for Pond 7P: Detention Tank

Inflow Area = 406.0 m², 100.00% Impervious, Inflow Depth = 57 mm for 10-Year + CCF event
 Inflow = 4.82 L/s @ 0.17 hrs, Volume= 23.1 m³
 Outflow = 2.27 L/s @ 1.42 hrs, Volume= 17.8 m³, Atten= 53%, Lag= 75.1 min
 Primary = 2.27 L/s @ 1.42 hrs, Volume= 17.8 m³

Routing by Dyn-Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 0.482 m @ 1.42 hrs Surf.Area= 31.6 m² Storage= 15.2 m³

Plug-Flow detention time= 60.3 min calculated for 17.7 m³ (77% of inflow)
 Center-of-Mass det. time= 51.2 min (96.2 - 45.0)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	88.4 m ³	3.66 mD x 2.80 mH Vertical Cone/Cylinder x 3

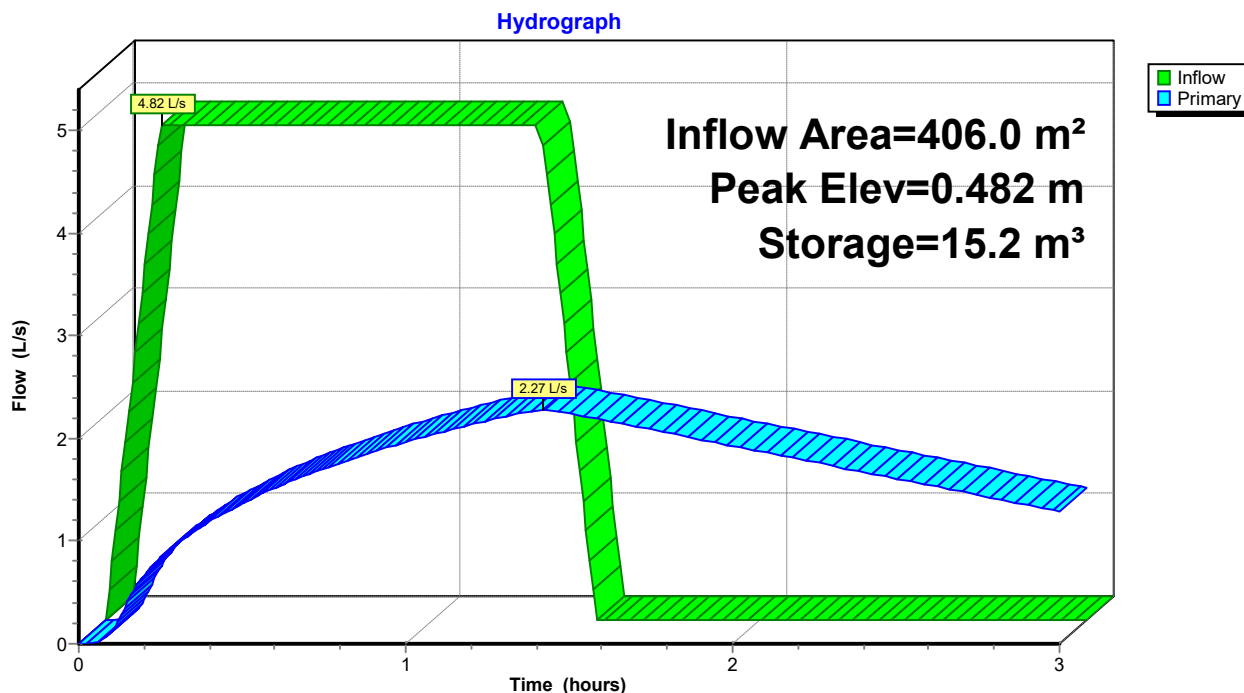
Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	40 mm Vert. Orifice/Grate C= 0.600
#2	Primary	0.480 m	24 mm Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=2.27 L/s @ 1.42 hrs HW=0.482 m TW=0.000 m (Dynamic Tailwater)

1=Orifice/Grate (Orifice Controls 2.27 L/s @ 1.81 m/s)

2=Orifice/Grate (Orifice Controls 0.00 L/s @ 0.08 m/s)

Pond 7P: Detention Tank

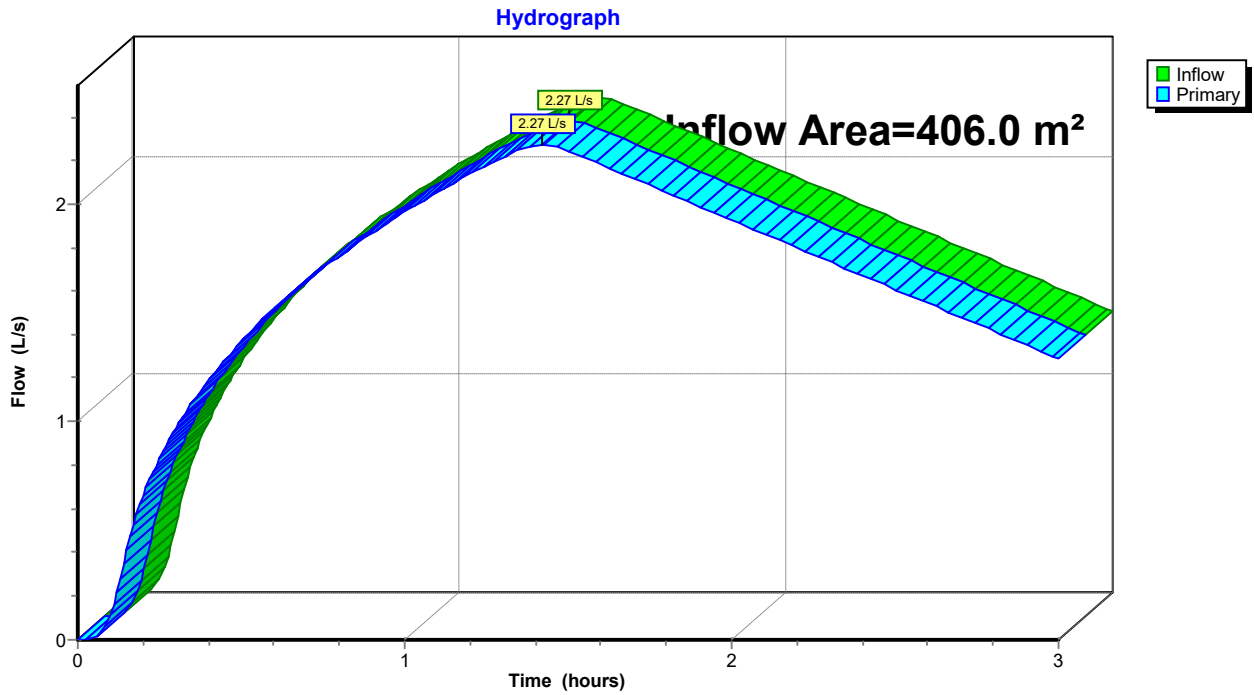


Summary for Link 6L: Post-development Flows

Inflow Area = 406.0 m², 100.00% Impervious, Inflow Depth > 44 mm for 10-Year + CCF event
Inflow = 2.27 L/s @ 1.42 hrs, Volume= 17.8 m³
Primary = 2.27 L/s @ 1.42 hrs, Volume= 17.8 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Link 6L: Post-development Flows



3 Tareha PI

TarehaPlace 100-Year + CCF Duration=80 min, Inten=67.4 mm/hr

Prepared by Wilton Joubert Ltd

Printed 6/12/2023

HydroCAD® 10.00-26 s/n 10413 © 2020 HydroCAD Software Solutions LLC

Page 6

Summary for Subcatchment 4S: Post-Development Dwelling & Extension Roof

Runoff = 6.23 L/s @ 0.17 hrs, Volume= 29.9 m³, Depth= 86 mm

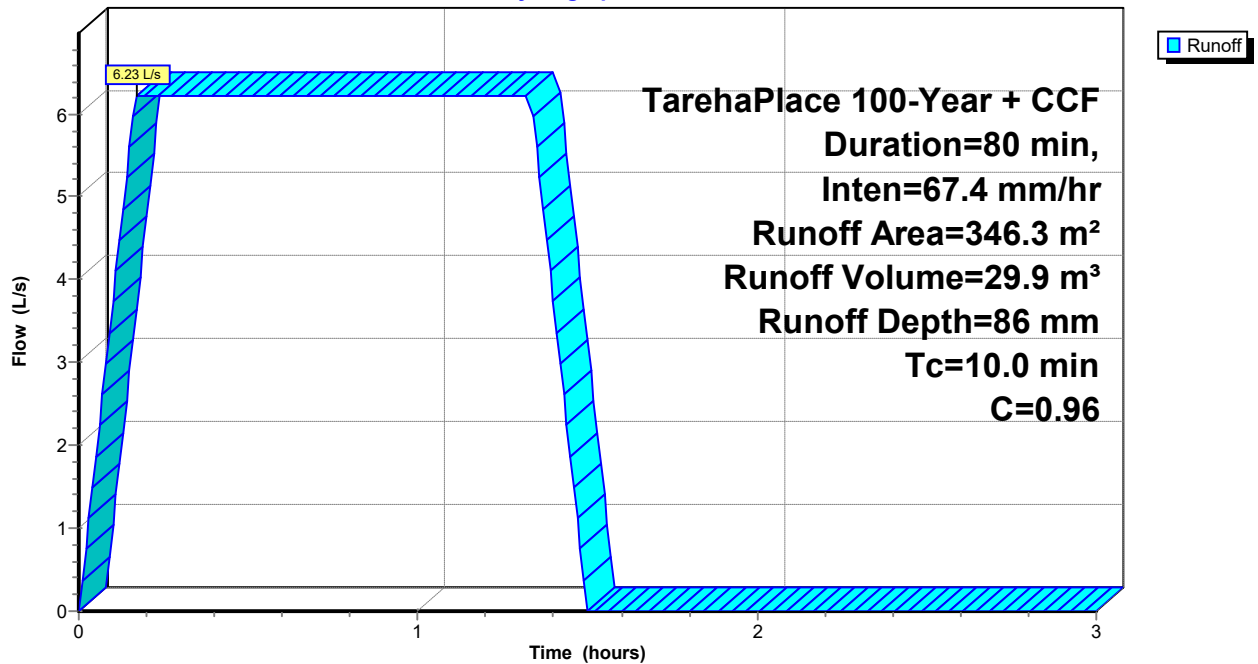
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 100-Year + CCF Duration=80 min, Inten=67.4 mm/hr

Area (m ²)	C	Description
313.1	0.96	Roof, smooth
33.2	0.96	Extension
346.3	0.96	Weighted Average
346.3		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 4S: Post-Development Dwelling & Extension Roof

Hydrograph



3 Tareha PI

TarehaPlace 100-Year + CCF Duration=80 min, Inten=67.4 mm/hr

Prepared by Wilton Joubert Ltd

Printed 6/12/2023

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Page 7

Summary for Subcatchment 9S: Post-Development Shed Roof (Partial)

Runoff = 1.07 L/s @ 0.17 hrs, Volume= 5.2 m³, Depth= 86 mm

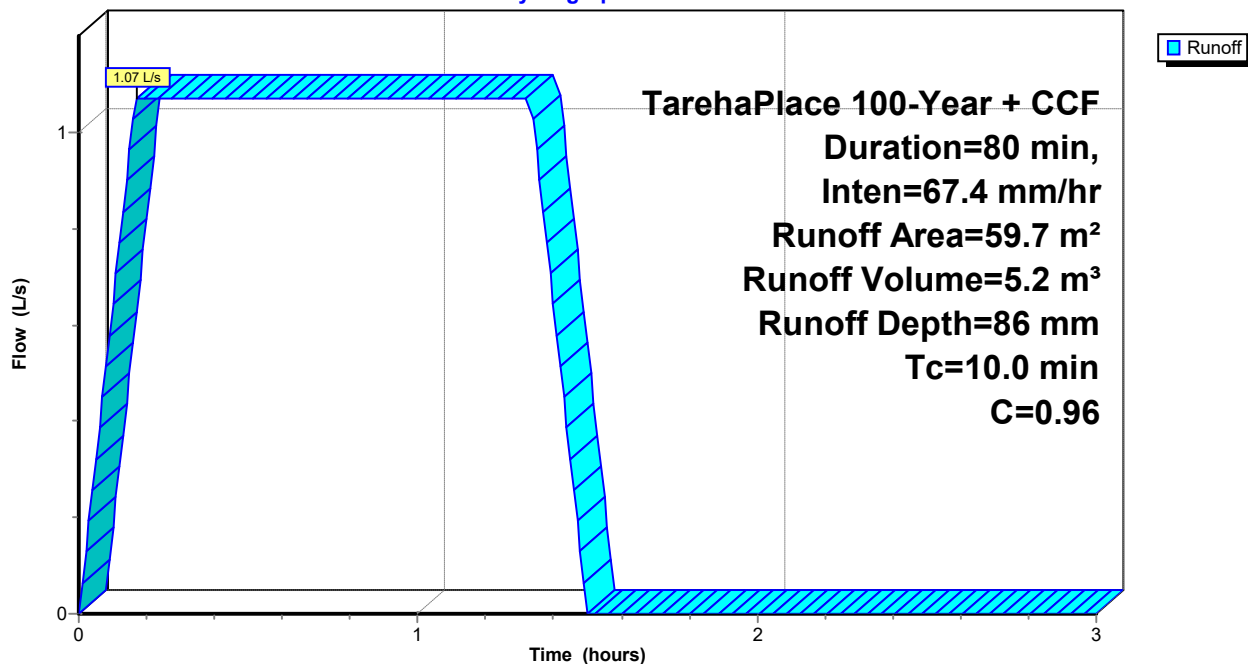
Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
TarehaPlace 100-Year + CCF Duration=80 min, Inten=67.4 mm/hr

Area (m ²)	C	Description
59.7	0.96	
59.7		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 9S: Post-Development Shed Roof (Partial)

Hydrograph



Summary for Pond 7P: Detention Tank

Inflow Area = 406.0 m², 100.00% Impervious, Inflow Depth = 86 mm for 100-Year + CCF event
 Inflow = 7.30 L/s @ 0.17 hrs, Volume= 35.0 m³
 Outflow = 3.49 L/s @ 1.42 hrs, Volume= 25.1 m³, Atten= 52%, Lag= 75.0 min
 Primary = 3.49 L/s @ 1.42 hrs, Volume= 25.1 m³

Routing by Dyn-Stor-Ind method, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs
 Peak Elev= 0.757 m @ 1.42 hrs Surf.Area= 31.6 m² Storage= 23.9 m³

Plug-Flow detention time= 62.7 min calculated for 25.1 m³ (72% of inflow)
 Center-of-Mass det. time= 51.3 min (96.3 - 45.0)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	88.4 m ³	3.66 mD x 2.80 mH Vertical Cone/Cylinder x 3

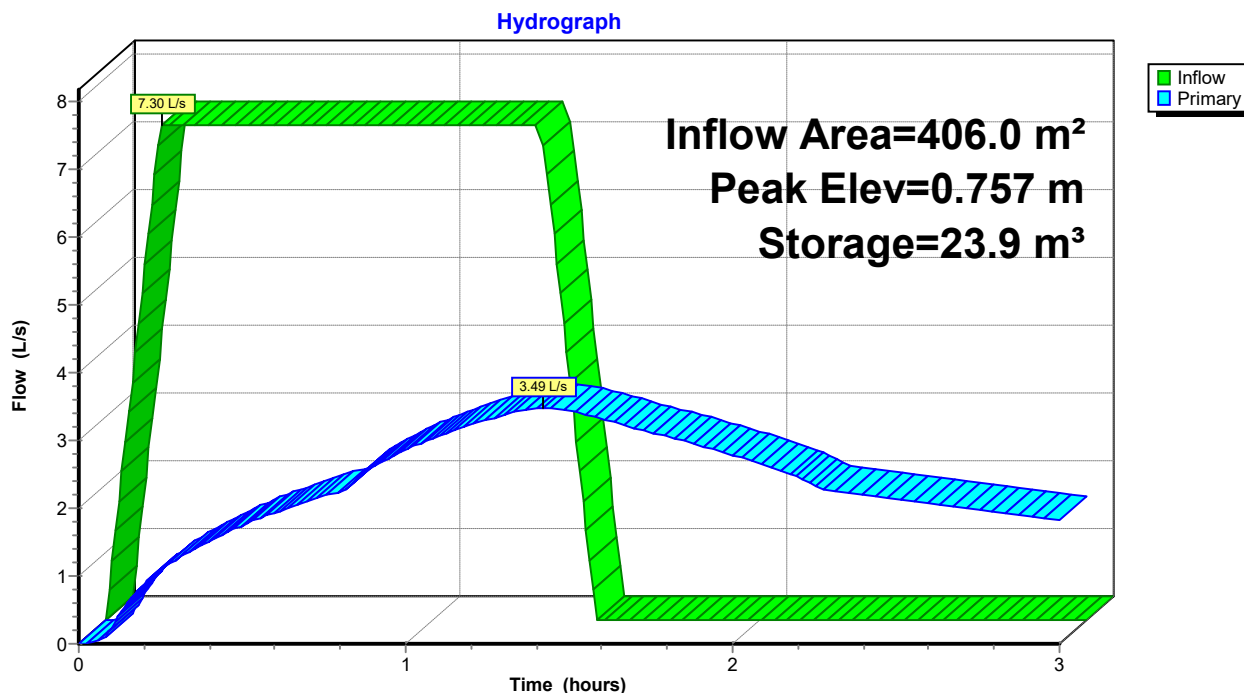
Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	40 mm Vert. Orifice/Grate C= 0.600
#2	Primary	0.480 m	24 mm Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=3.49 L/s @ 1.42 hrs HW=0.757 m TW=0.000 m (Dynamic Tailwater)

1=Orifice/Grate (Orifice Controls 2.87 L/s @ 2.28 m/s)

2=Orifice/Grate (Orifice Controls 0.62 L/s @ 1.37 m/s)

Pond 7P: Detention Tank

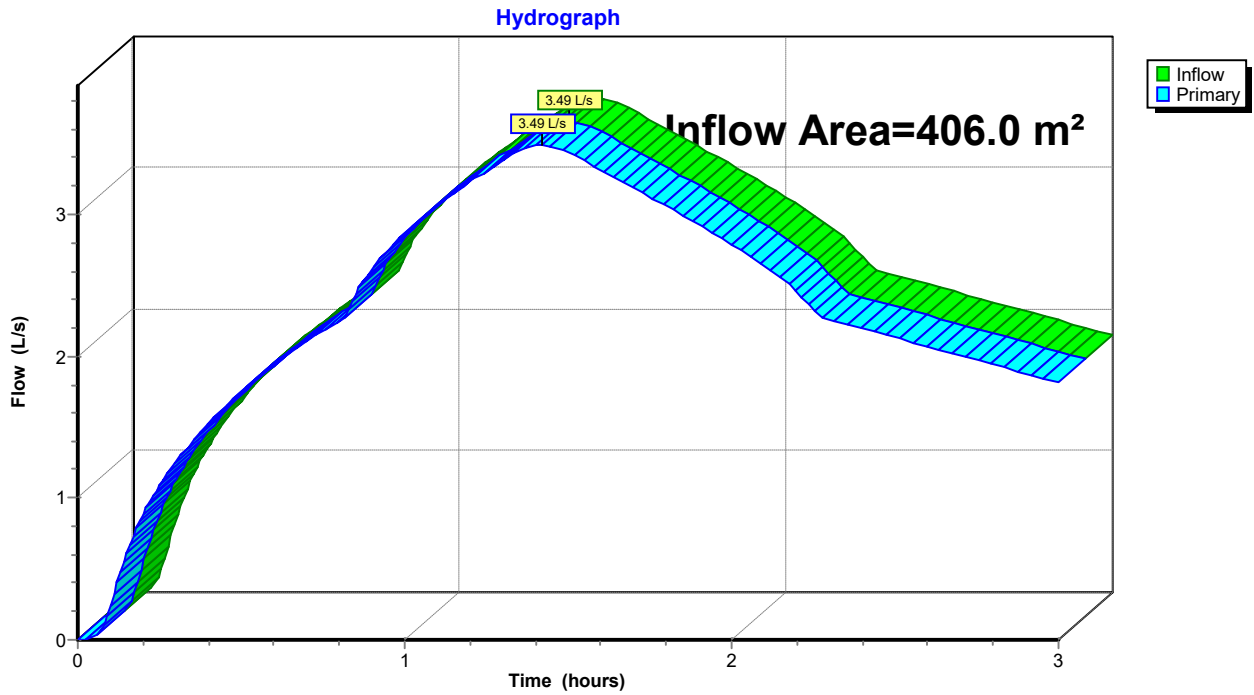


Summary for Link 6L: Post-development Flows

Inflow Area = 406.0 m², 100.00% Impervious, Inflow Depth > 62 mm for 100-Year + CCF event
Inflow = 3.49 L/s @ 1.42 hrs, Volume= 25.1 m³
Primary = 3.49 L/s @ 1.42 hrs, Volume= 25.1 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-3.00 hrs, dt= 0.01 hrs

Link 6L: Post-development Flows





RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R. W. Muir
Registrar-General
of Land

Identifier **906355**
Land Registration District **North Auckland**
Date Issued 08 January 2020

Prior References
803342

Estate Fee Simple
Area 3003 square metres more or less
Legal Description Lot 2 Deposited Plan 540557
Registered Owners
Joseph William Allen and Taryn Rochelle Allen

Estate Fee Simple - 1/2 share
Area 440 square metres more or less
Legal Description Lot 16 Deposited Plan 540557
Registered Owners
Joseph William Allen and Taryn Rochelle Allen

Interests

439308.1 Gazette Notice declaring that part of Landing Road, Kerikeri shown on County Plan 870 shall be a limited access road - 15.10.1976 at 1.55 pm (Affects Lot 2 DP 540557)

Subject to Section 241(2) Resource Management Act 1991 (affects DP 540557)

11600632.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 8.1.2020 at 2:59 pm (affects Lot 2 DP 540557)

Subject to a right (in gross) to convey telecommunications over part Lot 16 DP 540557 marked B and over part Lot 2 DP 540557 marked E all on DP 540557 in favour of Chorus New Zealand Limited created by Easement Instrument

11600632.7 - 8.1.2020 at 2:59 pm

The easements created by Easement Instrument 11600632.7 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right (in gross) to convey electricity over part Lot 16 DP 540557 marked B and over part Lot 2 DP 540557 marked E all on DP 540557 in favour of Top Energy Limited created by Easement Instrument 11600632.8 - 8.1.2020 at 2:59 pm

The easements created by Easement Instrument 11600632.8 are subject to Section 243 (a) Resource Management Act 1991

Subject to a right of way, a right to convey water, electricity and telecommunications and a right to drain water over part Lot 16 DP 540557 marked B and a right to drain water and a right to convey water, electricity and telecommunications over part Lot 2 DP 540557 marked D all on DP 540557 created by Easement Instrument 11600632.10 - 8.1.2020 at 2:59 pm

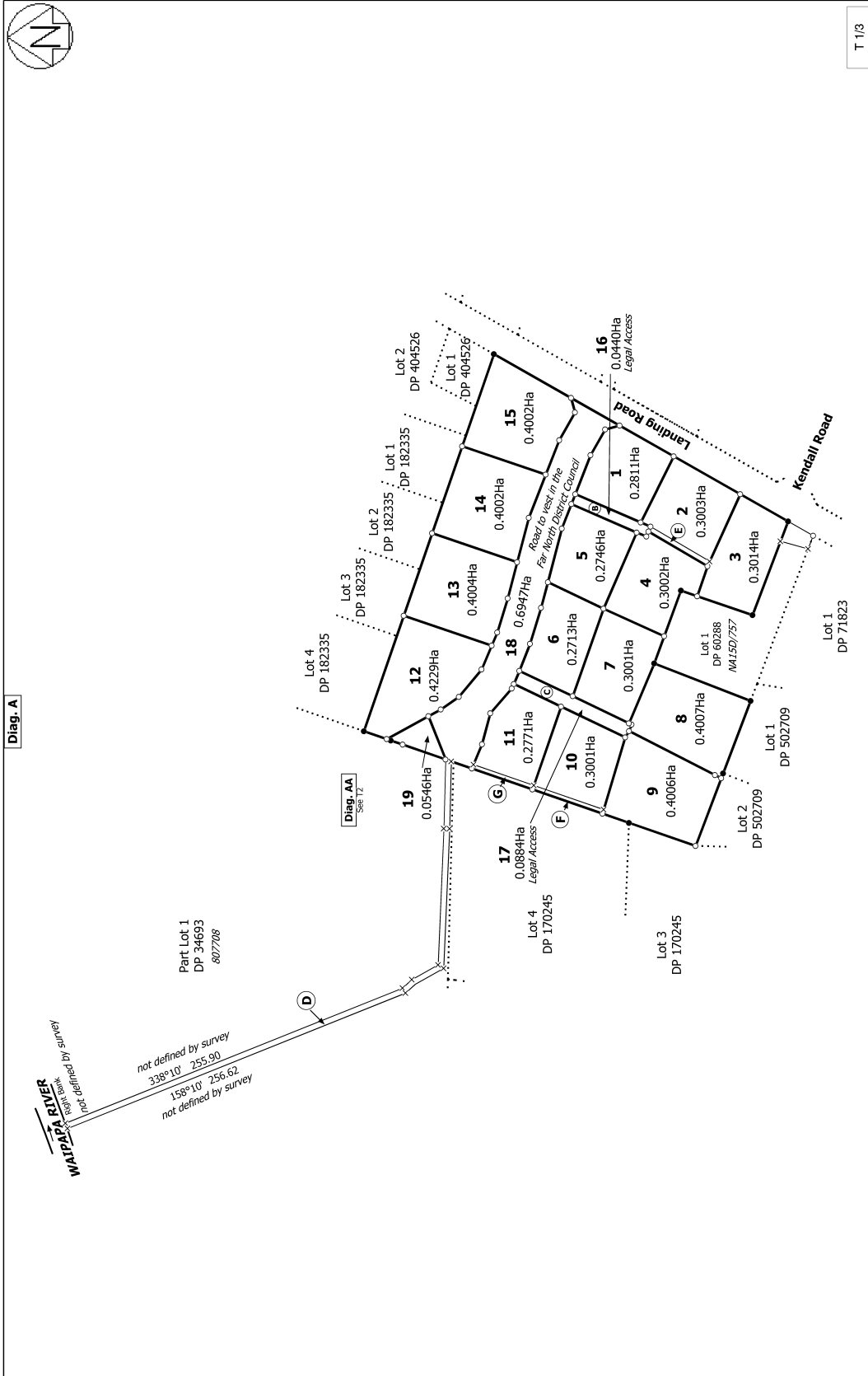
Appurtenant to Lot 2 DP 540557 is a right of way, a right to convey water, electricity and telecommunications and a right to drain water created by Easement Instrument 11600632.10 - 8.1.2020 at 2:59 pm

The easements created by Easement Instrument 11600632.10 are subject to Section 243 (a) Resource Management Act 1991

Land Covenant in Covenant Instrument 11600632.11 - 8.1.2020 at 2:59 pm (affects Lot 2 DP 540557)

Fencing Covenant in Transfer 12061545.1 - 25.3.2021 at 3:57 pm

12806104.2 Mortgage to ANZ Bank New Zealand Limited - 1.9.2023 at 11:56 am



T 1/3

<p>Land District: North Auckland</p> <p>Digitally Generated Plan</p> <p>Generated on: 04/11/2019 07:39am Page 4 of 6</p>	<p>LOTS 1-19 BEING A SUBDIVISION OF LOT 1 DP 515920 AND EASEMENTS OVER LOT 1 DP 60288 & Pt LOT 1 DP 34693</p>	<p>Surveyor: Kurt Eric Watson</p> <p>Firm: Survey & Planning Solutions (2010) L</p>	<p>Title Plan</p> <p>LT 540557</p> <p>Approved on: 4/11/2019</p>
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View Instrument Details



Instrument No 11600632.5
Status Registered
Date & Time Lodged 08 January 2020 14:59
Lodged By Kenealy, Karyn Leanne
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



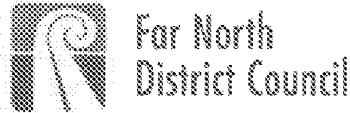
Affected Records of Title	Land District
906354	North Auckland
906355	North Auckland
906356	North Auckland
906357	North Auckland
906358	North Auckland
906359	North Auckland
906360	North Auckland
906361	North Auckland
906362	North Auckland
906363	North Auckland
906364	North Auckland
906365	North Auckland
906366	North Auckland
906367	North Auckland
906368	North Auckland

Annexure Schedule Contains 3 Pages.

Signature

Signed by Karyn Leanne Kenealy as Territorial Authority Representative on 08/01/2020 12:43 PM

***** End of Report *****



Postal Bag 751, Whangarei
District 0103, New Zealand
Telephone: 0907 379 627
Facsimile: 0907 461 1000
Tel: 091 461 2131
Email: info@fn.govt.nz
www.fn.govt.nz

To Kōwhiriā a Tei Takarua Ki Te Raki

Whakapākekehia te Kōwhiriā
2011-12-14 11:00:41

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 2180246

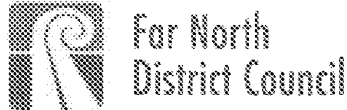
Being the Subdivision of Lot 1 DP 438884
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c) (ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

Lots 1 to 15 DP 540557

- (i) In conjunction with the construction of any building requiring consent and associated impermeable surfaces on an allotment exceeding 500m² total impermeable surface coverage, the lot owner shall submit for approval of Council a stormwater management mitigation report. The system shall be designed as such that the total stormwater discharged from the site, after development, is no greater than 500m² allowance for impermeable surface flow from the site for rainfall events up to a 1% AEP plus allowance for climate change. The report shall be prepared by a suitably qualified and experienced practitioner and be submitted in conjunction with the Building Consent application.
- (ii) The road side drainage detention and attenuation in the vested road located in Lot 17, provides an allowance for likely impermeable surface coverage on the allotment to a maximum of 500m². Stormwater from roofs, other impermeable surfaces (driveways, paving, etc.) and tank overflows shall be directed to the road side drainage detention system up to the 500m² permitted allowance.
- (iii) In conjunction with the construction of any building which includes a wastewater treatment & effluent disposal system the applicant shall submit for Council approval in conjunction with the Building Consent application. An onsite wastewater system Report prepared by a Chartered Professional Engineer or an council approved Report Writer. The report shall identify a suitable method of wastewater treatment for





Phone 080 752 8000
Website 080 752 8000
Fax 080 752 8000
Email info@fncc.govt.nz
Web www.fncc.govt.nz

Te Kōwhiri o Te Takekōwhiri Ki Te Kōwhiri

*Whakawhiriwhiri Whakawhiri
Whakawhiri Whakawhiri*

the proposed development along with an identified effluent disposal area plus a reserve disposal area and reference the on-site wastewater treatment and disposal assessment, produced by Ormiston Associates Ltd, dated June 2017, ref 3980 and submitted with Resource Consent 2180246 .

- (iv) In conjunction with the construction of any dwelling, and in addition to a potable water supply and stormwater mitigation measures, a water collection system with sufficient supply for fire fighting purposes is to be provided by way of tank or other approved means and to be positioned so that it is safely accessible for this purpose. These provisions will be in accordance with the New Zealand Fire Fighting Water Supply Code of Practice SNZ PAS 4509.

Lots 1,2,3 & 15 DP540557

- (v) The landscaping specified in condition 4(o) of RC2180246 is to be maintained in perpetuity. Plants requiring removal due to damage, disease or other cause shall be replaced with a similar specimen before the end of the next following planting season (1st May to 30th September).

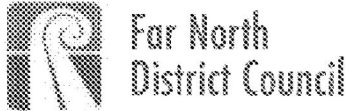
Lots 1,2 & 15 DP540557

- (vi) Vehicle crossings that gain access onto Landing Road are not permitted from lots 1, 2 and 15. Access to these lots is to be obtained via vested road as described in RC2180246. Vehicle Crossing's can only be permitted for lots 1,2 and 15 if written approval to construct is obtained from Councils Roading Engineer or their designate.

Lot 3 DP 540557

- (vii) Lot 3 is only permitted to have one vehicle crossing from Landing road, this is via R.O.W A and the associated existing vehicle crossing. An additional crossing to lot 3 can only be permitted if written approval to construct is obtained from Councils Roading Engineer or their designate.





Phone: 09 438 7551, Resource
09 438 7445, Fax: 09 438 7445
Toll-free: 1800 750 029
Fax: 09 438 7445
Fax: 09 438 7445
Fax: 09 438 7445
Fax: 09 438 7445
Fax: 09 438 7445

Te Kaitiaki a Te Kaitiaki

Te Kaitiaki a Te Kaitiaki

SIGNED:



Mr Patrick John Killalea - Authorised Officer

By the FAR NORTH DISTRICT COUNCIL

Under delegated authority:

PRINCIPAL PLANNER – RESOURCE MANAGEMENT

DATED at KERIKERI this

19th day of December

2019



Bay of Islands County Council

Our Reference

L 98

If calling, please ask for



County Chambers,
Main Highway,
Kawakawa, N.Z.

September 20 1976

The District Land Registrar
Private Bag
Auckland

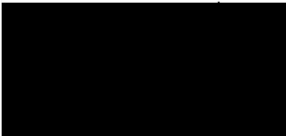
IN THE MATTER of the
Public Works Amendment
Act 1963, and

IN THE MATTER of the
declaration of a part of
Landing Road, Kerikeri
to be a Limited Access
Road

I, MAURICE MANNING PLOWRIGHT, County Clerk of the County of Bay of Islands, hereby submit a copy of this Council's Declaration of a Limited Access Road by Special Order which was published in the N. Z. Gazette on the 29th July 1976 - Number 83 at page 1780, together with a statement setting out the descriptions and title references of all the parcels of land affected by the said declaration.

A copy of the declaration has been served on all the owners and occupiers of land affected by the declaration, so far as they can be ascertained.

Dated at Kawakawa this 20th day of SEPTEMBER 1976.


Maurice Manning Plowright
County Clerk

BAY OF ISLANDS COUNTY COUNCIL
LANDING ROAD, KERIKERI

DESCRIPTIONS AND TITLE REFERENCES
SECTION 4(c) PUBLIC WORKS AMENDMENT ACT 1963
DECLARATION OF LIMITED ACCESS ROAD

Owners	Description and Area	Cert. of Title	Mortgagees
Richard Broadbent	Lot 6 DP 70353 6400 m2	27A/590	O'Neill Mahood & Armstrong Nominees Ltd Bank of NSW George Keith Wilson Rural Banking & FinCo
Wilson's Citrus Nursery Limited	Lot 1 DP 60288 1a-1r-17.0p	15D/757	Bank of NSW George Keith Wilson Rural Banking & FinCo
Wilson's Citrus Nursery Limited	Lot 2 DP 60288 14a-2r-18.3p	16D/108	Bank of NSW George Keith Wilson Rural Banking & FinCo
Wilson's Citrus Nursery Ltd	Lot 8 DP 26336 5a-Or-00.0p	702/355	Graeme Barry Crane Sharon G'ennis Crane Rural Banking & FinCo
Alfreda Ethel Stuart Edkins	Lot 1 DP 33079 60a-Or-20.7p	18D/1366	Sylvia Mary Amy Brooker
Raymond Angus Lodge	Lot 2 DP 33079 7a-3r-39.9p	900/131	
Roderick Graham MacDiarmid John Sedgley Reynolds Executors	Lot 1 DP 29265 3a-3r-39.7	725/204	State Advances Corp
Ronald Graham Hayes and Lois Jill Hayes	Lot 1 DP 59117 0a-2r-32.4p	14B/1482	Western Co-operative Building Socy.
Marlin Epiha and Huhana Epiha	Lot 2 DP 59117 0a-2r-21.1p	14B/1483	
David Michael Thomson and Shirley Thomson	Lot 3 DP 59117 5a-1r-01.1p	14D/80	
Grant Charles Wolfe and Patricia Joan Wolfe	Lot 4 DP 59156 2a-Or-05.1p	14D/342	State Advances Corp
Phillip Ivan Kay Harding and Violet Rose Harding	Lot 5 DP 59156 6a-Or-27.9p	14D/104	HM the Queen
Douglas Edwin Davis and Ada Tawa Davis	Lot 12 DP 26336 8a-1r-09.0p	15B/794	
Peggy Christophers	Lot 1 DP 42162 0a-3r-24.1p	997/218	
Howard Vernon D'Arcy Iles	Lot 2 DP 42162 2a-1r-12.0p	999/47	

BAY OF ISLANDS COUNTRY COUNCIL DESCRIPTIONS AND TITLE REFERENCES DECLARATION OF LIMITED ACCESS ROAD

LANDING ROAD, KERIKERI SECTION 4 (c) PUBLIC WORKS AMENDMENT ACT 1963

<u>Owners</u>	<u>Description and area</u>	<u>Cert. of Title</u>	<u>Mortgages</u>
Alan Henry Gilbert	Lot 1 DP 45434	1a-Or-27.6p 1810/91	
Robert Arthur Butler Hunter	Lot 1 DP 34480	10a-1r-00.5p 1676/69	
Perceval Sydney Charles Williams and Gertrude Hope Williams	Lot 2 DP 72726	1.6060 ha 28D/1325	
Barry Lloyd Guest and Anne Guest	Lot 1 DP 70063	8065 m2 25D/802	Barbara Mary Ash
William Francis Boobyer	Lot 2 DP 37056	2a-Or-25.2p 1032/57	Jack McCreedy
Norris Kelvin Mark Gee and Frances Claire Gee	Lot 2 DP 53234	0a-1r-29.6p 19C/1263	
John William Duckett James Morrison Donald William Ryan	Lot 6 DP 72389 Lot 5 DP 72389 Lot 4 DP 72389	1011 m2 950 m2 929 m2 28C/190 28C/189 28C/188	Maud Henderson Maud Henderson Maud Henderson
Brian Charles Cook and Valerie Dawn Cook	Lot 3 DP 72389	1575 m2 28C/187	Auckland Co-op Term Building Scty
Maud Henderson and Clarence John Henderson	Lot 1 DP 72389	3319 m2 28C/185	
Alan Ernest Cunliffe and Rae Ellen Cunliffe	Lot 2 DP 72389	814 m2 28C/186	Northern Co-op Term Building Scty
Maud Henderson	Lot 7 DP 72389	1131 m2 28C/191	
John Thomas Henderson and Beverley Henderson	Lot 2 DP 70169	3682 m2 25D/1259	Isabella Meldrum Crawford
Maud Henderson	Lot 1 DP 70169	3715 m2 25D/1258	BNSF Savings Bank
Denis Wele Hewett	Lot 1 DP 42245	0a-1r-05.3p 1190/61	
Sydney Robert Bell and Rita Bell	Lot 1 DP 50936	0a-Or-36.6p 8B/4437	
Hervyn Charles Theodore Burton and Elaine Beryl Burton	Lot 2 DP 50936	0a-1r-12.1p 1A/881	Joyce Ethel Davis Canterbury Term Building Scty
Geoffrey Harold Fulton and Constance Amy Fulton	Lot 3 DP 50936	0a-1r-08.9p 8A/501	

BAY OF ISLANDS COUNTY COUNCIL

DESCRIPTIONS AND TITLE REFERENCES

DECLARATION OF LIMITED ACCESS ROAD

LANDING ROAD, KERIKERI

SECTION 4(c) PUBLIC WORKS AMENDMENT ACT 1963

PAGE 3

<u>Owners</u>	<u>Description and Area</u>	<u>Cert. of Title</u>	<u>Mortgagees</u>
Llewellyn Arnold	Lot 4 DP 50936	Ca-Or-35.6p	3D/486
Melton Ferris and) Mary Jane Ferris)	Lot 1 DP 70749	821 m2	27B/671
	Lot 2 DP 70749	1174 m2	27B/672
Leonard Baker and Mary Honor Baker	Lot 6 DP 50936	Oa-1r-16.5p	3D/487
Everard Conan Hall Galbraith	Lot 7 DP 50936	Oa-3r-13.8p	17B/1391
Eric Underwood	Lot 1 DP 50623	Oa-3r-23.2p	2A/873
Richard Edward CIVIL and Emily Luana CIVIL	Lot 2 DP 50623	Oa-1r-00.6p	2106/19
Robert Smith and Angela Smith	Lot 4 DP 29411	12a-2r-06.6p	893/34
Murray David Edwards and Henry Joseph Edwards and Edward Gerald Edwards	Lot 3 DP 29411	9a-1r-16.3p	893/35

State Advances Corp

Raymond Prevailow

Owen Johnson

Esme Eileen Johnson

David Murray

Hempleman



XRP_0046545

25669
123 A13 b

Extract from *N.Z. Gazette*, 29 July 1976, No. 83, page 1780

BAY OF ISLANDS COUNTY COUNCIL

DECLARATION OF A LIMITED ACCESS ROAD BY SPECIAL ORDER
PURSUANT to a resolution passed by the Bay of Islands County Council on the 21st day of July 1976, the said council hereby declares that the part of Landing Road, Kerikeri (formerly part of Kerikeri Road) shown on County Plan No. 870 shall be a limited access road with effect from 1st August 1976. A copy of the County Plan No. 870 is held at the office of the council at Main Highway, Kawakawa, and may there be inspected during ordinary office hours. This special order is made in accordance with the powers vested in the Council, under section 4 of the Public Works Amendment Act 1963, and will be confirmed at the council meeting to be held on Wednesday, the 18th day of August 1976.

M. M. PLOWRIGHT, County Clerk.

1970

A. R. SHERRER, Government Printer, Wellington, New Zealand.

31 JUL 1976 1 22 PM '76

R 972

R 1277

R 1278

me 8/6/76.

①



OCT 15 1 55 PM '76

DISTRICT OF COLUMBIA
REGISTERED MAIL
NO. 6

See Schedule.

4 2 9 9 0 8 1

