

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

** The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Rasmey Ra

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Liam Breedt

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Listed Owners: Nary Hok and Rasmey Ra

**Property Address/
Location:**

32 Joyces Road, Paihia

Postcode

0200

Location and/or property street address of the proposed activity:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

☐ Yes ☐ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ **Building Consent**
- ☐ **Regional Council Consent (ref # if known)**
- ☐ **National Environmental Standard consent**
- ☐ **Other (please specify)**

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ **Yes** ☐ **No** ☐ **Don't know**

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ **Yes** ☐ **No** ☐ **Don't know**

- | | |
|--|--|
| <input type="radio"/> Subdividing land | <input type="radio"/> Disturbing, removing or sampling soil |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ **Yes**

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ **Yes** ☐ **No**

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ **Yes** ☐ **No**

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Rasmey Ra

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Rasmey Ra

Signature:

(signature of bill payer)



Date 02-May-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Liam Breedt

Signature:

[Redacted Signature]

Date 02-May-2025

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Assessment of Environmental Effects

Two New Dwellings

32 Joyces Road, Paihia



Prepared for

Rasmey Ra

April 2025

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Appendices

Appendix 1:	Record of Title
Appendix 2:	Architectural Plans
Appendix 3:	Landscape Concept Plans and Report
Appendix 4:	Civil Engineering Assessment and Drawings
Appendix 5:	Transportation Assessment Report
Appendix 6:	Geotechnical Assessment
Appendix 7:	Planning Assessment

1 Key Information

Address	32 Joyces Road, Paihia
Legal Description	Lot 1 Deposited Plan 85120
Site Area	2109m ²
Owner	Nary Hok and Rasmey Ra
Applicant	Rasmey Ra
Operative District Plan	Far North District Council Operative District Plan 2009
Zoning	Residential Zone
Overlays / Controls	None
Proposed District Plan	Far North District Council Proposed District Plan 2023
Zoning	General Residential zone
Overlays / Controls	<ul style="list-style-type: none"> Coastal Environment River Flood Hazard Zone (100 Year ARI Event) – located just outside of the site
Proposed Activity	It is proposed to construct two dwellings on the site alongside one existing dwelling and one proposed permitted dwelling being a total of four residential dwellings, together with ancillary (nominal) earthworks, parking, services and landscaping.
Consent Triggers	<p>Far North District Council Operative District Plan 2009</p> <p><i>Chapter 7 Urban Environment – Residential Zone</i></p> <ul style="list-style-type: none"> Consent is required as a restricted discretionary activity to infringe Standard 7.6.5.1.2 Residential Intensity pursuant to Rule 7.6.5.3, where 2,400m² net site area is required for four dwellings on the site (600m² per dwelling), and the site is 2,109m². Consent is required as a discretionary activity to infringe the 3m + 45-degree recession plane along the northern (street) boundary pursuant to Rule 7.6.5.3.4 Sunlight.

Chapter 15 Transportation

- Consent is required as a restricted discretionary activity pursuant to Rule 15.1.6A.4 for non-compliance with Standard 15.1.6A.2.1 Traffic intensity, where a traffic intensity factor of 20 is permitted and 31 is proposed.
- Consent is required as a restricted discretionary activity pursuant to Rule 15.1.6B.2 to infringe Standard 15.1.6B.1.1 On-site car parking spaces, where 8 parking spaces are required for four residential units, and 6 are proposed.

Overall, resource consent is required as a **Discretionary** activity under the ODP.

No consents are required under the PDP given no decisions have been issued and no provisions with immediate legal effect implicate the site or proposal.

Other consents/permits that may be required under legislation

Building consents are not required – refer plans confirming exemption given modular off-site build.

2 Introduction

This report is submitted as part of the application by Rasmey Ra ("**the Applicant**") for land use consent from Far North District Council ("**the Council**") in respect of the land at 32 Joyces Road, Paihia ("**the site**") to construct two new dwellings, together with ancillary (nominal) earthworks, parking, services, and landscaping.

The purpose of this report is to provide sufficient information to enable a full understanding of the proposal and any effects that the proposed development and subdivision may have on the environment.

In preparing this assessment, I have relied on the architectural plans and specialist assessments appended to this report. I have also visited the site and reviewed the relevant planning documents.

2.1 Background

The applicant has sought building consent to construct one dwelling on the site as a permitted activity. This dwelling is shown as 'House 1' on the proposed site plan in **Appendix 2** and Figure 10 below. House 1 has been assessed as being permitted on this site and complies with all relevant built form standards in the Residential zone. On this basis, this application only relates to the two proposed dwellings shown as 'House 2' and 'House 3' on the plans at **Appendix 2**, as well as the associated parking areas, infrastructure and landscaping for the site.

3 Existing Environment

3.1 Surrounding Environment

The site is located on Joyces Road, in a residential area in the town of Paihia, in the Bay of Islands. Paihia Town Centre is located northeast of the site, and Paihia Beach is located approximately 630m to the east of the site. Land 170m to the east of the site is heavily vegetated, and zoned Conservation in the Operative District Plan.

The surrounding residential environment comprises single and two storey standalone dwellings of a diverse range of ages and styles and on a variety of lot sizes. Sites in the area are generous in size, ranging from around 700m² to over 2000m² in area, are largely rectangular in shape, and feature densely vegetated areas, as shown in Figure 1.

Figure 1 - Site and surrounding environment (site outlined in red)



In terms of immediately adjacent land, and as shown in Figure 2, the property to the north at 5 Joyces Road is Commercial zoned and comprises the QRC Backpackers Accommodation. This site fronts Joyces Road to the south and features multiple buildings on the site up to two storeys. The Coastal Living zoned sites to the north at 25 Joyces Road and Lot 7 DP 333340 are spacious, heavily vegetated, and do not appear to contain any dwellings. The site to the north at 9 Joyces

Road is zoned Residential and features one dwelling. The subject site is separated from these properties to the north by Joyces Road.

The site to the east at 28 Joyces Road features one two storey dwelling which is accessed via Joyces Road to the north and is separated from the subject site by 30 Joyces Road, which is heavily vegetated. The site to the west at 36 Joyces Road contains a two-storey dwelling, and minor dwelling which is located partly within the subject site, as shown on the survey at **Appendix 2**, and is accessed via Joyces Road to the north. Sites to the south at 69, 71, and 73 School Road are all elevated above the subject site, and feature dwellings which are accessed via School Road to the south.

Images of the surrounding environment are provided as Figure 3.

Figure 2 – Aerial photograph of adjacent development (subject site in red)



Figure 3 – Photographs illustrating the immediate surrounding environment



Views looking north from within the subject site, towards 5 Joyces Road, 9 Joyces Road, 25 Joyces Road, and Lot 7 DP 333340.



View looking north from Joyces Road, towards 9 and 25 Joyces Road and Lot 7 DP 333340.



View looking east from within the subject site, towards 5 and 30 Joyces Road, Paihia Town Centre and Paihia Beach beyond.



View looking southeast from Joyces Road, towards 28 and 30 Joyces Road.



View looking south from Joyces Road, towards the accessway for 36 and 38 Joyces Road.



Looking southwest from Joyces Road, towards the subject site and 36 Joyces Road



View looking north from School Road, towards 69 School Road



View looking north from School Road, towards 71 School Road



View looking north from School Road, towards 73 School Road

3.2 The Site

The site is 2109m² in area, irregular in shape, and accommodates one two-storey dwelling. The dwelling is set back approximately 25m from the front boundary of the site, facing towards Joyces Road to the north, as shown on the aerial in Figure 2. The dwelling is located approximately 5m to the nearest neighbouring boundary, being 71 School Road to the south, and approximately 7.5m from the common boundary with 36 Joyces Road to the west.

The site is currently occupied by the primary residential dwelling, together with an ancillary wooden car parking deck, which is located to the north of the existing dwelling and accessed via a concrete driveway from Joyces Road to the north. The car parking deck is situated on piled foundations, features a wooden banister, and overlooks Joyces Road to the north. The remaining site area is pervious, comprising vegetated areas to the south of the existing dwelling, and along the eastern boundary. The northern and western boundaries are also vegetated, as well as the vacant area to the north of the dwelling where the units are proposed. There are no scheduled or protected trees within the site.

The site topography slopes up steeply from the northern boundary towards the southern boundary, with a steep grade within the north-western portion of the site where the units are proposed. As shown on the proposed site plan at **Appendix 2** and Figure 5 below, the land slopes

up from around 11 RL along the northern front site boundary, to around 25 RL where the existing wooden car parking deck is located. Land along the southern site boundary reaches up to 35 RL.

Land immediately to the north of the site in Joyces Road is subject to flooding in extreme rainfall events, as shown in Figure 4. Given the elevated topography, the site itself is not subject to any floodplains.

Figure 4 NRC Regionwide Model 10-, 50-, and 100-Year Extent Flood Hazard Zones (site outlined in red)

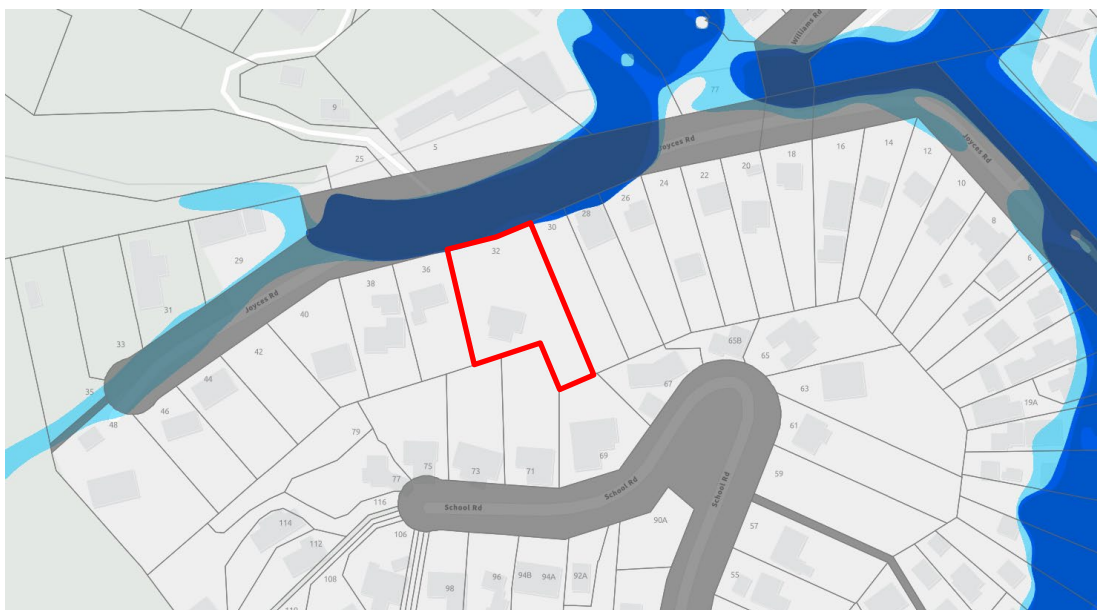
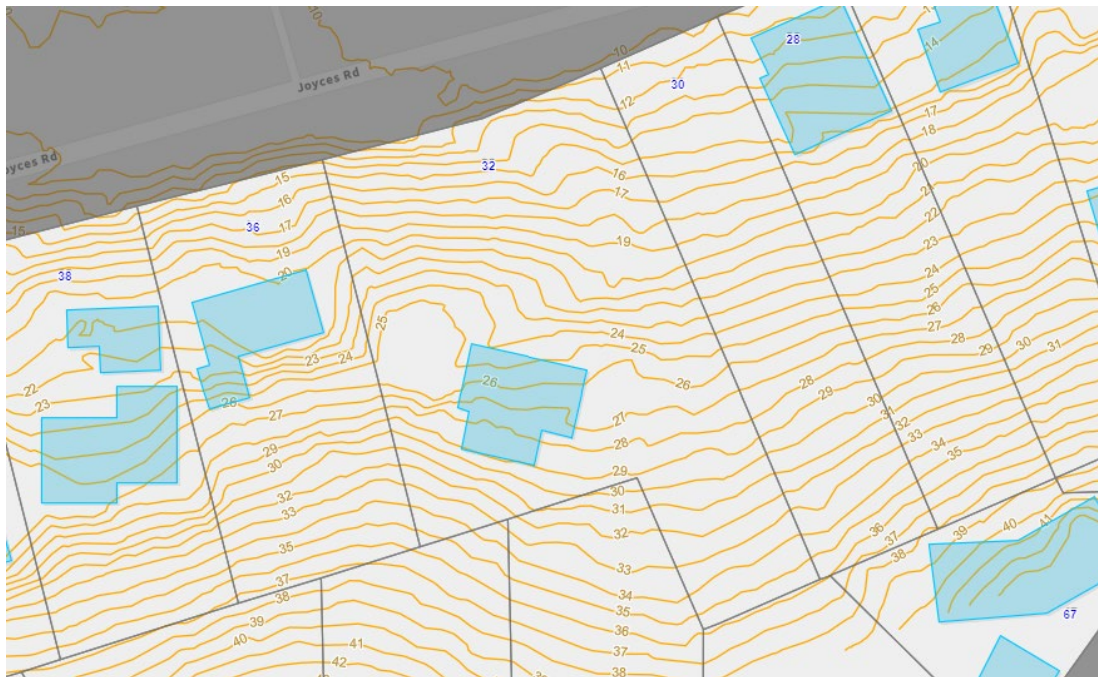


Figure 5 – Site Contours



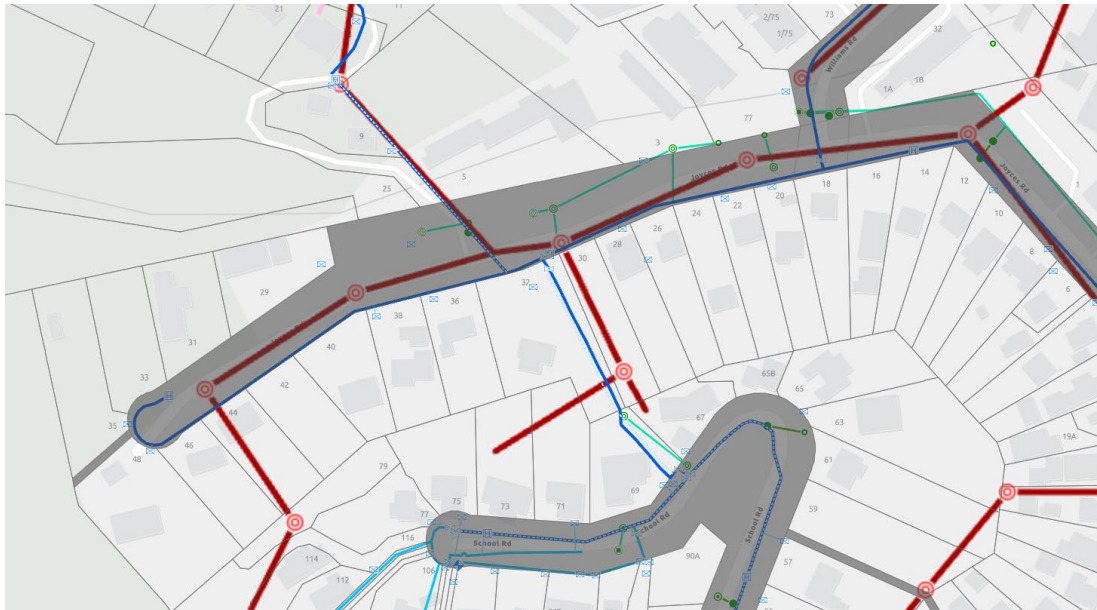
The servicing of the site is depicted in Figure 6. As noted in the Civil Engineering Assessment at **Appendix 4**, the site is connected to the public stormwater, wastewater, and water supply reticulation networks. The Civil Engineering Assessment notes:

The stormwater runoff from the existing dwelling is conveyed via an existing private stormwater pipe that discharges to an existing public 300mm-diameter concrete stormwater pipe at the north-eastern corner of site.

The existing public 300mm-diameter pipe connects with a 1,200mm-diameter pipe on the northern side of Joyces Road. The wastewater discharge from the existing dwelling is conveyed via an existing private wastewater pipe that discharges to an existing public 150mm-diameter wastewater line on Joyces Road.

There is an existing 125mm-diameter (OD) public water supply line which traverses through the site, adjacent to the eastern site boundary. This line connects to an existing public water supply line which runs along the northern site boundary, adjacent to Joyces Road. An existing public water meter is located within the site, near the northern site boundary.

Figure 6 – Three Waters Infrastructure



The Preliminary Geotechnical Assessment prepared by Shire Engineering Consultants (**Appendix 6**) describes the ground conditions in the location of the proposed works as follows:

- *The site is predominantly underlain by The Waipapa Group Formation. The Waipapa Group Formation is a massive to thin bedded, lithic volcanoclastic metasandstone and argillite, with tectonically enclosed basalt, chert and siliceous.*
- *The subsoils were generally found to comprise:*
 - *Topsoil to between 100 mm and 300 mm depth, overlying:*
 - *Waipapa Group Soils to the termination of all boreholes, consisting of stiff to very stiff yellow, orange, brown silts and clays with undrained shear strengths greater than 100 kPa.*
- *The site shows no obvious visual signs indicating past or presently active instability. However, due to gradients exceeding 1 vertical in 4 horizontal, slope stability analyses was carried out to assess the stability of the site... Based on the results of our analyses, we recommend the buildings are supported on piles.*
- *The subsoils at this site were found to comprise stiff natural soils. The soils have adequate bearing capacity, are of relatively low compressibility and are considered suitable foundation soils for the proposed new dwellings. However, due to the steep slope where the proposed dwelling platforms are and the results from the site stability model, we recommend that the building foundations are piled.*

A copy of the Record of Title for the site is attached in **Appendix 1**.

The site is not located within a statutory acknowledgement area, and there are no heritage or archaeological sites of interest.

A series of photographs of the subject site are provided at Figure 7.

Figure 7 - Photographs of the Subject Site



View looking south from the bottom of the driveway, towards the area of works.



View looking east from the bottom of the driveway.



View looking toward the eastern boundary from the driveway.



View looking west from the driveway towards the area of works.



View of the existing dwelling on the site, looking south from the wooden car parking deck.



View of the wooden car parking deck, looking north from the top of the driveway.



View looking east from the top of the driveway.



View looking northwest from the driveway, towards the area of works.

3.3 Far North Operative District Plan 2009

The site is zoned Residential under the Far North Operative District Plan 2009 (“ODP”). An extract from the zoning map is provided in Figure 8 below. The site is not subject to any other overlays or hazards.

The immediately surrounding land to the east, south and west is also zoned Residential. The adjacent land to the northeast is zoned Commercial and located within the Paihia Commercial Zone (A3), and the land to the northwest is zoned Coastal Living.

Figure 8 – ODP Planning Map (site in red)



3.4 Far North Proposed District Plan 2023

On 27 July 2022, the Council notified the Proposed District Plan (“PDP”) and called for submissions. The Hearings Panel has been appointed to hear submissions and make recommendations on the PDP, with hearings having commenced in May 2024 and programmed to continue until November 2025. Following the completion of hearings, Council will issue its decision and notify it thereafter. The Council received a timeframe extension approval from the Minister for the Environment for the Proposed District Plan project. Decisions must now be notified by 27 May 2026.



The proposal has been assessed against the PDP as set out in **Appendix 7** for completeness. That assessment confirms that the proposal does not require consent in respect of any rules or standards that the Council have identified as having immediate legal effect upon notification

(being those that relate to historic items and their settings, notable trees, Sites and Areas of Significance to Māori, and ecosystems and indigenous biodiversity).

Despite this, section 104(1)(b) of the Resource Management Act 1991 ("**the RMA**") states that the local authority must, subject to Part 2, have regard to any relevant provisions of a proposed plan. As such, the proposal is assessed against the relevant objectives and policies of the PDP in section 10 of this report. An appropriate weighting exercise is also carried out in section 11.

Zone and Overlays

The site is proposed to be zoned General Residential under the PDP. The surrounding land to the east, south and west is also proposed to be zoned General Residential. Land to the northeast is proposed to be zoned Mixed Use, and land to the northwest is proposed to be zoned Rural Lifestyle. The PDP also introduces two new notations relative to the site – Coastal Environment Overlay and the River Flood Hazard zone. An extract from the zoning map is provided in Figure 9 below.

Coastal Environment Overlay

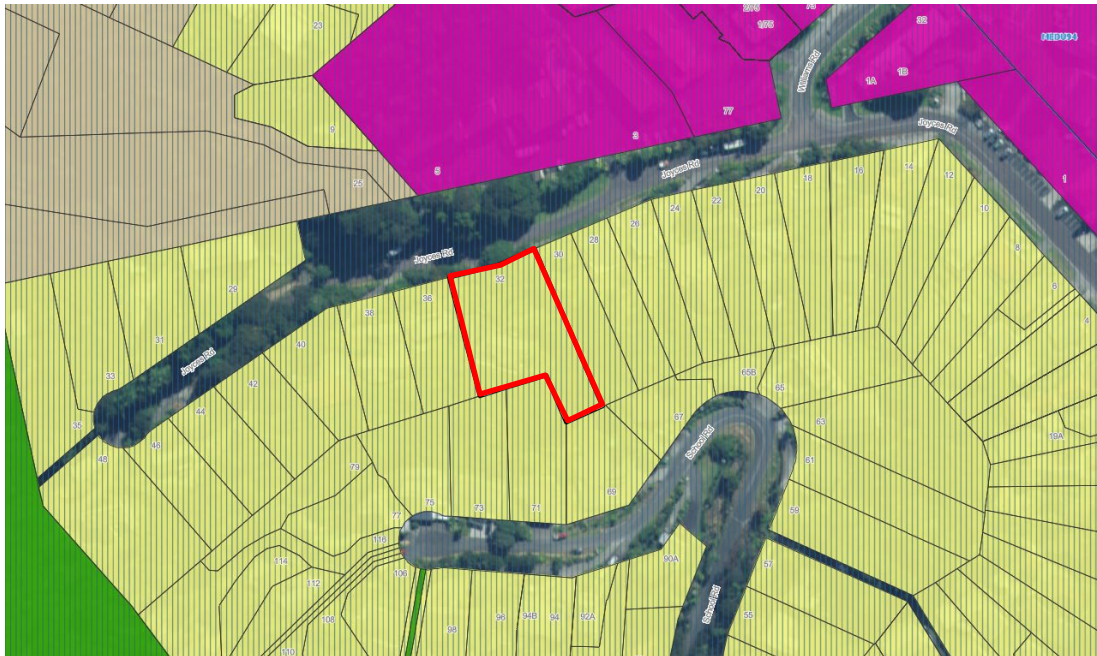
The subject site and surrounding sites are located within the PDP's Coastal Environment Overlay, the overview for which states that Council has a responsibility to preserve and protect the natural character of the coastal environment from inappropriate land use and subdivision. The rules of this Overlay would require discretionary activity resource consent for a new building over 5m in height and associated earthworks, despite not being located in an area of outstanding or high natural character.

River Flood Hazard Zone

The River Flood Hazard Zones (10 Year and 100 Year) are located within Joyces Road to the north of the site, and marginally enter the northern corners of the site. These floodplains are located outside the area of works, and will not be affected by this proposal.

Figure 9 – PDP Maps (site outlined in red)

Zoning and Coastal Environment Overlay Map



Flood Hazard Zone Map



4 Proposed Development

4.1 Design and Layout

The applicant proposes to construct two new residential units on the site. The existing dwelling will be retained and remain unchanged, and one identical residential unit (shown as House 1 on the proposed site plan at **Appendix 2**) is permitted and will be (or is currently being) installed on site, such that the total number of dwellings on the site will be four. The proposed homes are modular and will be constructed off-site and transported to the property via truck.

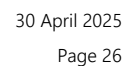
As shown in Figure 10 below, the new units are proposed in the northwestern portion of the site, to the north of the existing dwelling (and House 1), in the vegetated area adjacent to the existing driveway.

The new residential units will be identical in size and layout. Each unit is rectangular in shape, measuring 10.6m (length) x 3.9m (width) x 3m (height). The typology features an open-plan kitchen and living room in the centre of the building, which is accessed via the north facing deck areas. There will be two bedrooms, with one on each end of the dwelling, and one bathroom located centrally. Outdoor living is provided via a deck to the north relative to the orientation of the building, measuring approximately 5.8m x 2.18m. Each unit will have a floor area of around 41.34m².

Due to the steep topography of the site, the buildings will be situated on wooden piles with screw pile foundations. Each dwelling will be accessed via wooden stairs leading up from the driveway to the east of the units to the north facing deck and front entrances.

The buildings will be constructed with a timber finish, and each will feature a different cladding colour, in a combination with neutral tones that visually integrates with each other and the surrounding environment.

As shown on the site plans in **Appendix 2** and Figure 10 below, the unconsented minor dwelling at 36 Joyces Road encroaches into the subject site by approximately 6m. This building will need to be removed to accommodate proposed House 2 on the subject site.



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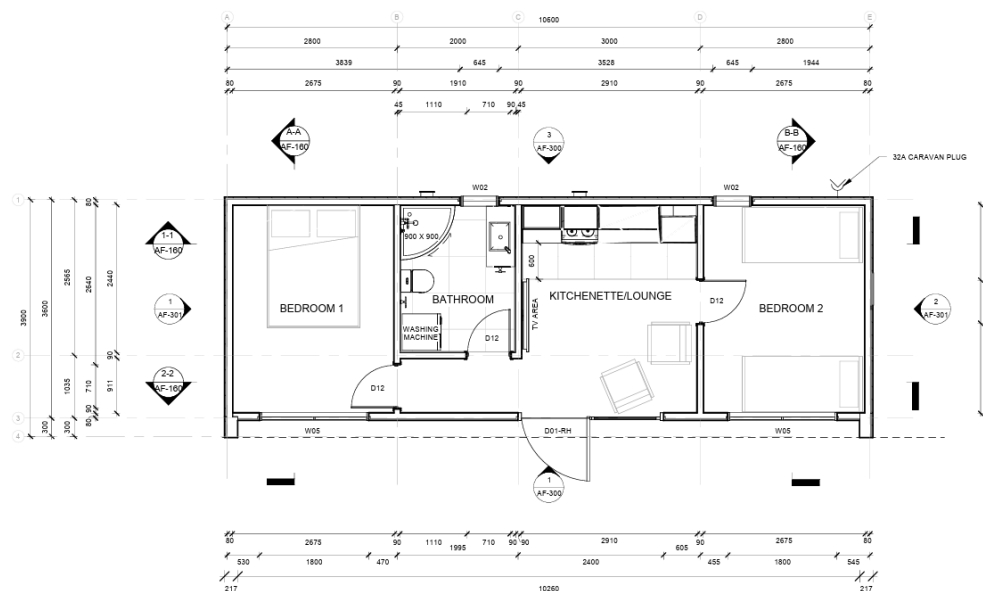
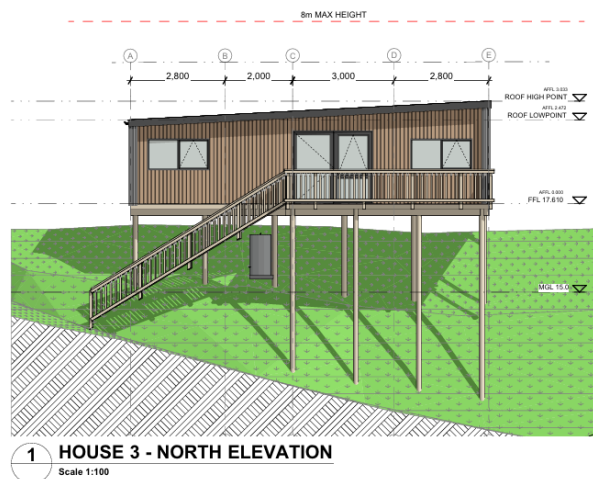
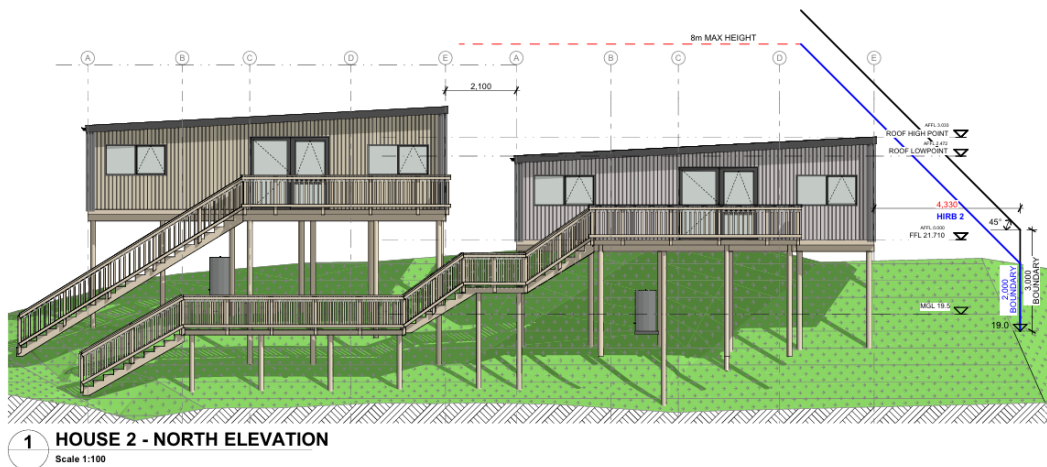
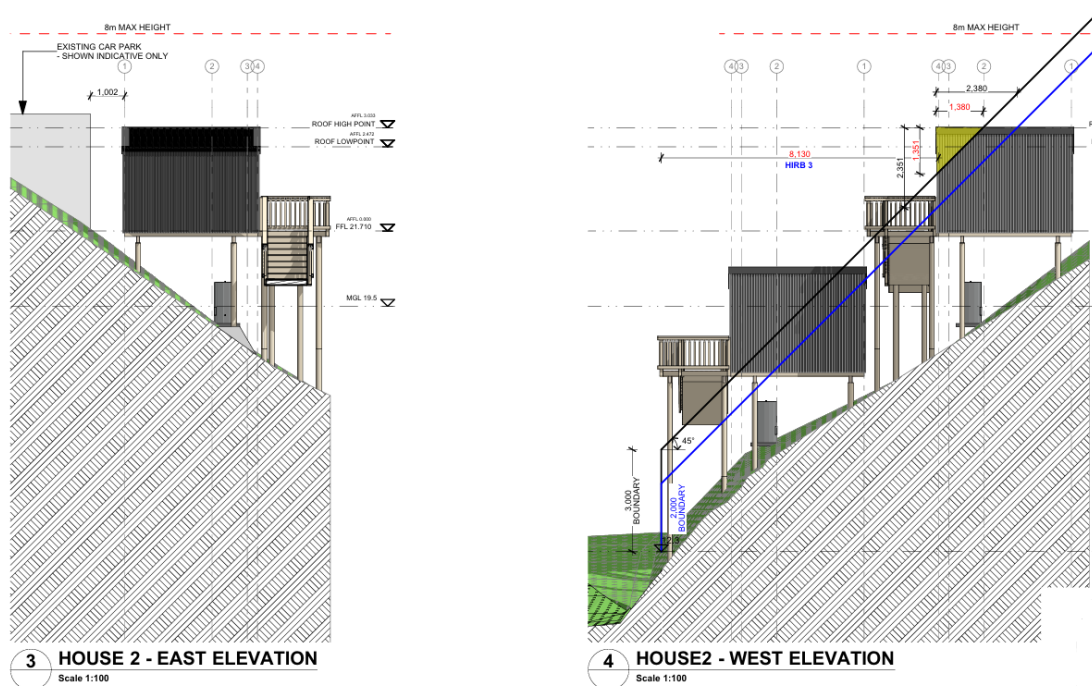


Figure 12 – Elevations of Houses 2 and 3





4.2 Landscaping

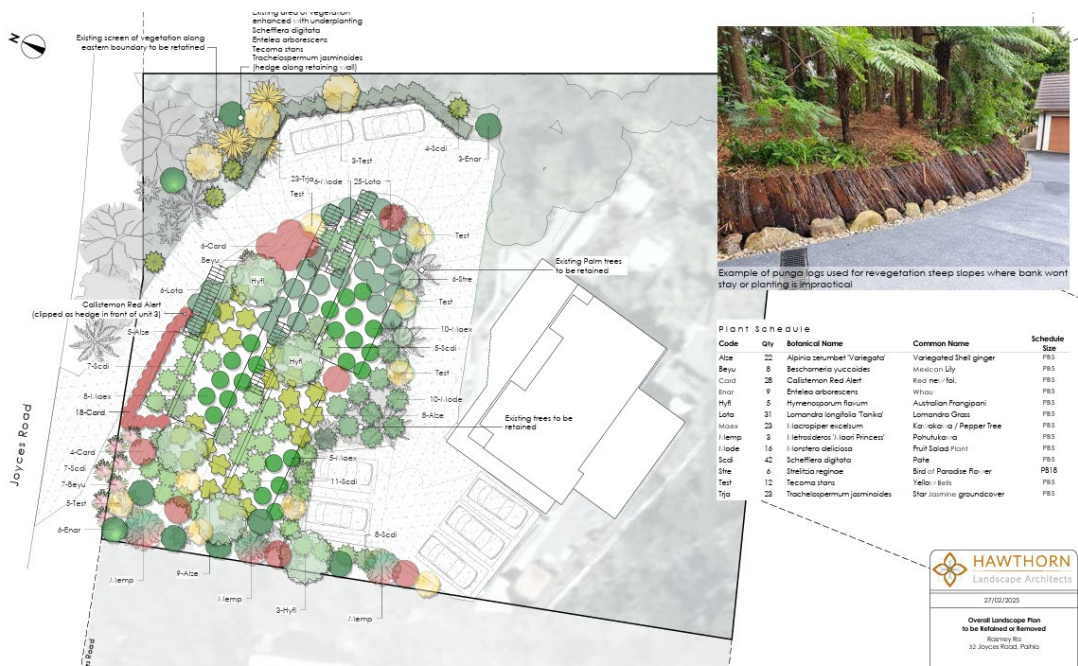
The Landscape Concept Plans at **Appendix 3** and in Figure 13 illustrate the integrated design of the landscape plans relative to the location and context of each residential dwelling. The proposed planting has been designed to mitigate potential dominance of the proposed buildings upon the streetscape and adjoining neighbours.

It is proposed to remove several existing weed species on the site, including the Taiwan Cherry seedlings, gorse and ginger. Planting is also proposed underneath the units, which will completely cover the site so that the units are set into a highly vegetated setting. There are some existing trees by the carparking deck and tree ferns on the site to be retained to provide a vegetated backdrop when viewed from Joyces Road. Bushy native species such as *Schefflera digitata*, and *Macropiper excelsum*, are proposed to be planted under the units, decks, stair areas.

The existing backdrop screen of vegetation along the eastern boundary is proposed to be retained and enhanced with additional tree and shrub plantings as shown in Figure 13, which aim to fully screen the proposal from the neighbour to the east. The existing Pohutukawa and Bottle brush trees along the northern boundary to the east of the driveway are recommended to be retained to assist with softening and screening the development from Joyces Road. In addition, a tall growing hedge of *Callistemon Red Alert* will be planted in front of House 3.

Tall narrow growing trees such as *Hymenosporum flavum*, *Metrosideros Māori Princess*, and *Tecoma stans* are proposed along the western boundary with 36 Joyces Road. Mass plantings of shrubs and trees along the western boundary will further provide a thick vegetated buffer to screen the proposed units.

Figure 13 – Landscape Concept Plan



4.3 Transportation

Traffic

The accompanying Transportation Assessment Report prepared by NCC Consulting Engineers at **Appendix 5**, confirms that each residential unit may generate up to 7 vehicle movements per day as per Appendix 3A of the ODP. This results in a total of 21 vehicle movements per day from the proposed units on the site including House 1, and 10 from the existing residential dwelling. This proposed traffic intensity is not compliant relative to Rule 15.1.6A.2.1 of the ODP, where a traffic intensity factor of 20 is permitted and 31 is proposed.

The proposal is unique in that the dwellings will be constructed off-site and transported to the site via truck. Therefore, traffic caused by construction will be minimal.

Access

As noted in the Transport Assessment at **Appendix 5**, vehicle and pedestrian access to the new units will be via the existing driveway and vehicle crossing from Joyces Road to the north, which will be retained as is. The existing vehicle crossing is 3m wide, steeply graded up from Joyces Road and is formed in concrete.

Parking

As shown on the proposed site plan, a total of six parking spaces are proposed on the site. Four of these parking spaces and turning area are existing, located within the wooden car parking deck and adjacent to the existing dwelling. A new parking area for two spaces is proposed in a layby at the midpoint of the driveway, opposite the access to Houses 1 and 2.

As noted in the Transport Assessment at **Appendix 5**, two parking spaces are required per unit (8 on site in total including House 1 and the existing house), and 6 are proposed on site. The existing five parking spaces adjacent to the existing house have been reduced to four to allow space for manoeuvring and turning in this area so no vehicle will have to reverse on the driveway and all vehicles will exit the property onto Joyces Road in a forward direction.

4.4 Earthworks

As noted in the Civil Engineering Assessment prepared by Riley Consultants at **Appendix 4**, the extent of earthworks will involve pile foundations for the new dwellings, excavations for the proposed parking area and associated low height retaining wall comprising 3m³ of cut and 3m³ of fill and trenching for services. It is noted that major earthworks will not be required as the existing site levels are to be maintained.

It is estimated that cut and fill will be required for typical retaining wall piles (approximately 350mm diameter holes at 1.2m centres, and 2m depth) and the new 35m² parking bay area (assuming 100mm fill depth, with the remainder backfilled with hardfill). Screw piles will be required for the dwellings piled foundations, which will not require any cut or fill.

On this basis, the earthworks will be compliant with the ODP requirements due to the nominal scale of land disturbance required, where 200m³ in any 12-month period is permitted, and the maximum permitted cut and fill height may be 3m.

Earthworks will be undertaken in accordance with sediment and erosion control measures as outlined in **Appendix 4**. A silt fence is proposed to be used downslope of the construction areas.

4.5 Infrastructure and Services

Proposed Stormwater Management

The Civil Engineering Assessment prepared by Riley Consultants (**Appendix 4**) explains that it is proposed to construct private stormwater reticulation to convey the roof runoff from each of the new dwellings. The runoff will be directed towards the existing private stormwater line which services the existing dwelling, ultimately discharging into the existing public stormwater pipe at the north-eastern corner of site. The proposed post-development impervious area coverage is 31.02%, and is therefore, a permitted activity under the ODP. A capacity assessment was undertaken, and Riley Consultants confirm that there is available capacity in the stormwater network to cater for the total of four dwellings on the site.

The increase in impervious area relative to the flood plain catchment is 0.07%. Riley Consultants consider that the increased impervious area will have negligible effect on the flood hazard and will not increase flood risk to neighbouring properties.

Proposed Wastewater

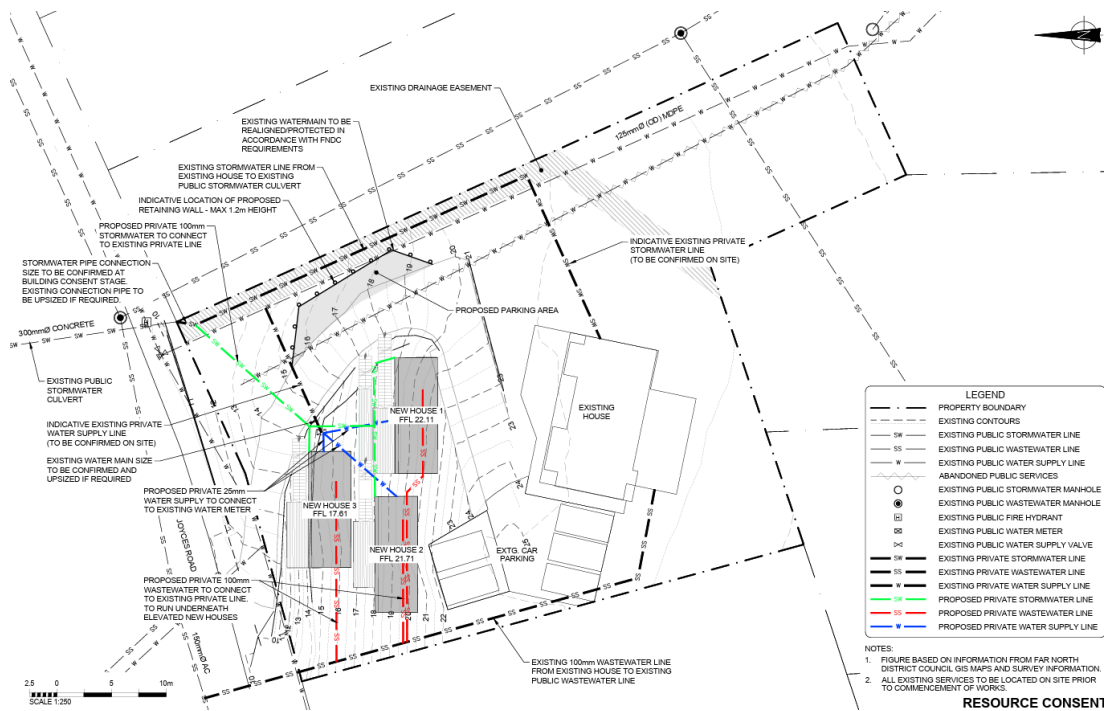
As noted in **Appendix 4**, it is proposed to construct private wastewater reticulation to convey the wastewater discharge from each of the new dwellings. The discharge will be directed towards the existing private wastewater line, which services the existing dwelling, ultimately discharging into the existing public wastewater line on Joyces Road. The proposed demand on the public wastewater network has been calculated in accordance with the Council Engineering Standards, and it is expected that the existing public network has capacity to cater for this small increase in flow.

Proposed Water Servicing

As outlined in **Appendix 4**, there is an existing 125mm-diameter (OD) public water supply line which traverses through the site, adjacent to the eastern site boundary. This line connects to an existing public water supply line which runs along the northern site boundary, adjacent to Joyces Road. It is proposed to maintain the existing public water supply connection and construct private water supply reticulation connecting to the existing public water meter to service the additional dwellings.

The Council GIS shows an existing public fire hydrant adjacent to the northern site boundary, available for fire-fighting purposes. No additional water supply requirements are anticipated for fire-fighting purposes.

Figure 14 – Proposed Site Plan (Servicing)



5 Matters Requiring Consent

5.1 National Environmental Standard – Contamination

No consents are required under the NES – Contamination.

5.2 Far North Operative District Plan 2009

The Applicant seeks resource consent under the ODP for land use consent to construct two dwellings together with ancillary works and landscaping as shown on the plans in **Appendices 2 and 3** and described in this AEE.

A detailed assessment of compliance with the relevant rules of the ODP is supplied in **Appendix 7**. The proposed development requires consent for the following matters:

Far North Operative District Plan 2009

Chapter 7 Urban Environment – Residential Zone

- Consent is required as a restricted discretionary activity to infringe Standard 7.6.5.1.2 Residential Intensity pursuant to Rule 7.6.5.3, where 2,400m² net site area is required for a total of four dwellings on the site (600m² per dwelling), and the site is 2,109m².
- Consent is required as a discretionary activity to infringe the 3m + 45-degree recession plane along the northern boundary pursuant to Rule 7.6.5.3.4 Sunlight.

Chapter 15 Transportation

- Consent is required as a restricted discretionary activity pursuant to Rule 15.1.6A.4 for noncompliance with Standard 15.1.6A.2.1 Traffic intensity, where a traffic intensity factor of 20 is permitted where 31 is proposed.
- Consent is required as a restricted discretionary activity pursuant to Rule 15.1.6B.2 to infringe Standard 15.1.6B.1.1 On-site car parking spaces, where 8 parking spaces are required for four residential units, and 6 are proposed.

Overall, resource consent is required as a **discretionary** activity under the ODP.

5.3 Far North Proposed District Plan 2023

As set out in the assessment of the PDP at **Appendix 7**, the proposal does not require consent in respect of any PDP rules that have been identified as having immediate legal effect. More

generally, the PDP has limited weight since hearings have not yet concluded and no decisions have been notified.

5.4 Scope of Application

This application is for all matters requiring resource consent rather than for the specific list of consent matters / non-compliances identified by the author.

As such, if the Council is of the view that resource consent is required for alternative or additional matters to those identified in this AEE, it has the discretion to grant consent to those matters as well as or in lieu of those identified in this AEE.

I also note that, if the Council is of the view that the activity status of any of the matters requiring consent is different to that described in this AEE, or that some or all of the matters requiring consent should be bundled or unbundled in a way that results in a different outcome to that expressed in this AEE, the Council has the ability under Section 104(5) of the Resource Management Act 1991 ("**RMA**") to process the application regardless of the type of activity that the application was expressed to be for.

6 Statutory Considerations

6.1 Resource Management Act

Council's decision on the proposal must have regard to the relevant matters in sections 104 to 108 of the RMA. Despite all section 104 considerations being "subject to Part 2", the Court of Appeal in *RJ Davidson Family Trust v Marlborough District Council* [2018] NZCA316 has held that reference to Part 2 should not be necessary if it is clear that a plan has been prepared having regard to Part 2 and with a coherent set of policies designed to achieve clear environmental outcomes.

In the context of this discretionary activity consent application, it is considered that the operative District Plan has been competently prepared, and those provisions are coherent and comprehensive, and therefore there is no need to go beyond the relevant provisions of the planning documents and look to Part 2 in making a decision.

Notwithstanding, the following assessment provides an analysis against Part 2 for completeness.

6.1.1 Purpose and Principles of the RMA

The purpose of the RMA, set out in Section 5, is to promote the sustainable management of natural and physical resources. This is defined as:

"managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety while—

- (a) Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
- (b) Safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*
- (c) Avoiding, remedying, or mitigating any adverse effects of activities on the environment."*

The broader principles of the Act are set out in sections 6 to 8 of the RMA. Of relevance to this application, section 6 requires Council to recognise and provide for the following matters of national importance:

- (a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development;*
- (e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga;*
- (h) the management of significant risks from natural hazards.*

Section 7 requires Council to have regard to the following other matters of relevance:

- (b) The efficient use and development of natural and physical resources;*
- (c) The maintenance and enhancement of amenity values;*
- (d) The intrinsic values of ecosystems;*
- (f) Maintenance and enhancement of the quality of the environment;*
- (i) the effects of climate change;*

Section 8 requires Council to take into account the principles of the Treaty of Waitangi.

It is my assessment that the proposed development will promote the sustainable management of natural and physical resources by:

- Enabling the Applicant to develop the site in a manner that will contribute to their social, and economic wellbeing, while providing for the more efficient use and development of the valuable natural and physical resource.
- Preserving the ecological and landscape values of the area with extensive proposed planting and landscaping.
- Using new high-quality roofing and cladding which integrates with the existing building character and enhances residential amenity and liveability on the site.

- Appropriately managing potential adverse effects.

The potential adverse effects of the proposed works are discussed in section 8 of this report.

6.1.2 Section 104 – Matters for Assessment

Section 104(1) of the RMA requires the Council to have regard to:

- (a) any actual and potential effects on the environment of allowing the activity; and*
- (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and*
- (b) any relevant provisions of –*
 - (i) a national environmental standard;*
 - (ii) other regulations;*
 - (iii) a national policy statement;*
 - (iv) a New Zealand coastal policy statement;*
 - (v) a regional policy statement or proposed regional policy statement;*
 - (vi) a plan or proposed plan; and*
- (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.*

Section 104(2) of the RMA states that, in considering the potential effects of allowing an activity, a consent authority may disregard an adverse effect if a national environmental standard or the plan permits an activity with that effect.

Section 104(3) states that a consent authority must not have regard to trade competition or the effects of trade competition, or any effect on a person who has given written approval to the application.

An assessment of the effects of the proposal on the environment is provided in section 7 of this report. Assessments against the relevant statutory documents are provided in section 10 below.

7 Effects on the Environment

Resource consent is required overall as a discretionary activity. Therefore, Council is unconstrained in its scope when undertaking an assessment of actual and potential environmental effects of the proposal.

The permitted baseline may be taken into account and the Council has the discretion to disregard those effects. In this case:

- The District Plan permits one residential unit per 600m² of sewered land in the Residential zone under Rule 7.6.5.1.2. I consider it appropriate therefore to apply the permitted baseline to the consideration of the proposal, noting that three dwellings are permitted on the 2,109m² site and a total of four dwellings are proposed.
- Buildings up to the 45-degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary are permitted under Rule 7.6.5.1.5. I consider it appropriate to apply the permitted baseline to the consideration of the proposal, noting that the proposed units are compliant with the eastern, southern, and western recession planes, but Houses 2 and 3 infringe the northern (front) boundary recession plane up to a maximum height of 3.19m and depth of 4.07m.
- The District Plan permits up to 20 daily one-way traffic movements per residential site under Rule 15.1.6A.1. I note that two dwellings on the site would be permitted with reference to Appendix A, and a total of four are proposed (up to 31 daily one-way traffic movements).
- The District Plan permits two parking spaces per residential unit under Rule 15.1.6B.2. I note that three out of the four dwellings on the site will meet the parking space requirements. There are six parking spaces proposed where 8 are required.
- Earthworks up to a maximum cut and fill height of 3m, and 200m³ per site within a 12-month period is permitted under Rule 12.3.6.1.3.
- Vegetation removal from the site is permitted under Rule 12.2.6.1.
- Residential units located at least 20m from the dripline of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest are permitted under Rule 12.4.6.1.2. Absent any clear definitions in the ODP, we do not consider that the existing or proposed vegetation on the subject site or immediate surrounds comprises scrub or shrubland, woodlot or forest.

Having regard to the potential effects arising from the proposal, and disregarding those effects which form part of permitted baseline outlined above, the assessment of actual and potential adverse effects can be grouped into the following matters:

- Building intensity, scale, location and appearance
- Natural character, landscape and visual effects
- Traffic, access and parking
- Infrastructure
- Geotechnical effects
- Land disturbance and construction effects.

These matters are addressed in turn.

7.1 Building intensity, scale, location, and appearance

The layout of the site and design of the buildings are illustrated within **Appendix 2**, while the proposed landscape design is presented in **Appendix 3**.

The Residential zone anticipates one residential dwelling per 600m² of land. As noted above, three dwellings on the 2,109m² site form part of the permitted baseline and the residential intensity effects arising from these dwellings can be disregarded. However, there is a shortfall of 291m² where four dwellings are proposed, and it is necessary therefore to consider the effects arising from the proposed scale and intensity of development in the context of this mixed residential setting and relative to the anticipated outcomes of the Residential zone, which anticipates medium density residential living.

The proposed residential units are modest in size, each comprising two bedrooms, an open-plan kitchen and dining area, a bathroom, and a deck, with a total area of approximately 41.34m² per unit. The area of works comprises a steep embankment, ranging from approximately 12m RL to 22m RL, and the buildings will be constructed on piles, as recommended by the Geotechnical Report in **Appendix 6**. The use of piled foundations increases the overall height and dominance of the units, leading to an infringement of the northern height-to-boundary recession plane. All units are compliant with the sunlight recession planes along the eastern, western neighbouring boundaries. Specifically, House 3 infringes the 3m + 45-degree recession plane along the northern boundary fronting Joyces Road by 3.19m in height and 4.07m in depth. House 2 infringes the same recession plane by 1.35m in height and 1.38m in depth.

As indicated in the shading plans in **Appendix 2**, the proposed units will introduce some additional shading on the neighbouring property to the west. However, the proposal complies with the recession plane along the western boundary, and the shading will only affect a small portion of the outdoor living area along the eastern elevation of the main dwelling on this site, discussed further in Section 9. Additionally, the proposed units will not feature windows on the eastern or western elevations, and the proposed decks will be largely screened by landscaping and the orientation of the buildings. Moreover, the closest unit (House 2), will incorporate a privacy screen on its western side, noting the building is located 3.3m from the external boundary. As such, any adverse privacy and shading effects on surrounding properties will be minimal. Furthermore, the Joyces Road streetscape to the north will not experience any shading from the development on this site.

The scale and dominance of each building is mitigated through the placement of each building relative to boundaries and each other. As shown on the proposed site plan, House 2 will maintain a compliant setback from the western boundary of 3.3m, and House 3 will maintain a compliant setback from the front site boundary of 3.3m. Further, the houses will maintain a separation distance of at least 2.1m from each other. The buildings will be constructed with a timber finish, and each will be constructed in a different cladding colour, maintaining a neutral colour palette that visually integrates with each other and the surrounding environment, as shown in the drawings in **Appendix 2**. The varied cladding colours will reduce the perceived dominance of the buildings when viewed from the streetscape and neighbouring areas, ensuring that they are seen as separate, smaller units rather than a single large structure. The physical separation of the buildings further enhances this visual distinction.

While one of the proposed units exceeds the anticipated residential intensity, the units are of modest size, situated on a spacious site, and set back adequately from neighbouring properties. Given these factors, the shortfall of 291m² may only be apparent from the Joyces Road streetscape to the north and is relatively insignificant considering the spaciousness of the densely vegetated 2,109m² site, the compliant height, setbacks, and recession planes along neighbouring boundaries. This section of Joyces Road is a low-volume, low-speed limit, no-exit road serving approximately 30 properties, as noted in the Transport Assessment in **Appendix 5**. As a result, the adverse effects arising from the residential intensity, scale, location, and appearance will be localised to portions of Joyces Road and will likely only be visible to residents along this road.

Further, parts of Joyces Road are Commercial zoned, which enables commercial activities to establish in centres within urban areas to provide for people of the district. This includes the

directly adjacent site to the northeast. This site comprises multiple large scale visitor accommodation buildings which are located directly adjacent to central Paihia. Given this context, the character of Joyces Road also includes higher-intensity commercial development. The proposed residential development will therefore not appear out of place when viewed in relation to the adjacent Commercial Zone and the proximity to central Paihia.

The buildings will be screened by new specimen planting, as shown in the landscape plan in **Appendix 3** and Figure 15. The proposed planting will serve to visually integrate the buildings with the existing highly vegetated environment, with the buildings sitting behind or appearing amidst the landscaping when viewed from the streetscape and surrounding properties. This landscaping will also provide screening for privacy along the eastern and western boundaries, further mitigating the nominal residential intensity infringement.

Figure 15 - Site Scope Landscape Plan



As such and with reference to the anticipated outcomes for the Residential zone, the buildings have been sited, designed, and landscaped in a manner that ensures the scale and intensity of the development will result in less-than-minor effects on the character and amenity of the residential environment.

Overall, the proposed architectural and landscape design, form, and location of the buildings will successfully mitigate the effects of the proposed intensity and density of built form, ensuring that the impacts on the character and amenity of the residential environment remain less than minor.

7.2 Natural Character, Landscape and Visual Effects

Natural Character effects

While the wider area comprises some areas of high natural character, including for example the Bush-clad hills west Opuia and Paihia ONL 180m to the west of the site, the site is located outside of this feature in an established residential area near Paihia commercial centre, and there are no scheduled trees or significant natural features on this site. The broader context of the site reflects areas that have been modified over time, with natural vegetation being removed and replaced by residential development, along with commercial and visitor accommodation structures to the northeast. Given this established context, the proposed development will have minimal impact on the natural character values of the area. The modification of the site for residential purposes will be consistent with the surrounding environment, which has already undergone development. As a result, the proposal is anticipated to result in less than minor adverse effects on the natural character values of both the site and the surrounding residential context.

Landscape effects

The site and its surrounding area are already modified, with residential and commercial developments integrated into the landscape, which reduces the overall sensitivity to change. The proposed exceedance of the permitted residential intensity threshold by one unit, will not cause a substantial change to the existing landscape character. The proposed residential development is in keeping with the established character along Joyces Road, which has a mix of residential properties and commercial development.

As detailed in the Civil Engineering Assessment at **Appendix 4**, the proposed works involve only minor earthworks for the construction of a parking area and retaining wall comprising 3m³ cut and 3m³ of fill. The existing site levels are to be retained, ensuring that the proposal will not disrupt or not adversely impact any key landscape features.

Additionally, the proposed buildings will be effectively screened through new specimen planting, as outlined in the Landscape Plan at **Appendix 3** and depicted in Figures 13 and 15. This planting will mitigate the visual impact of the development and enhance the overall integration of the proposal into the surrounding landscape.

Visual effects

The existing and proposed vegetation within the site and surrounding environment will provide a high level of screening towards the site, resulting in a constrained visual catchment. The visual effects will be confined to specific portions of Joyces Road and certain vantage points within adjacent properties. Mass plantings of shrubs and trees along the site boundaries will create a dense vegetative buffer, effectively minimising visual exposure to neighbouring properties.

Direct views of the proposed development will be available from the section of Joyces Road to the north of the site, where the two proposed units infringe the northern height-to-boundary setback. However, as detailed in the Landscape Report and plans at **Appendix 3**, tall planting is proposed in front of House 3, which will screen the underside and piled foundations of the unit. Existing trees, including a prominent Pohutukawa along the street frontage, will contribute to the foreground setting and provide visual interest when viewed from Joyces Road. Other proposed landscaping, including plantings around and beneath the units, will ensure that the development is set within a dense, vegetated context. The incorporation of trees and shrubs around the units will visually soften their mass and appearance, ensuring that they blend into the surrounding environment. In addition, existing trees, such as those near the car parking deck and the ferns on-site, will provide a natural backdrop, further enhancing the visual integration of the proposal.

The specific placement of screening vegetation has been carefully considered to ensure that the trees will effectively screen or buffer views of the buildings from the streetscape and neighbouring properties. The proposed vegetation will provide low-level amenity planting to 'ground' the buildings in the steep, open setting, softening the elevated piled foundations and building form. Larger trees around the units will further integrate the development into the surrounding landscape. As a result, the buildings will appear 'within' the vegetative landscape when viewed from the streetscape or neighbouring properties, reducing the visual effects arising from the one-unit residential intensity infringement and northern height-to-boundary infringement.

There are no significant visual effects from Joyces Road further to the east or west of the site, as the development will be wholly screened by the existing and proposed dense vegetation along the site boundaries and streetscape.

Due to the small scale and separation of the proposed units, the height to boundary infringement being contained to the northern street facing boundary, and only one dwelling infringing the anticipated residential intensity, the proposed landscaping is anticipated to visually integrate the buildings with the landscaping and wider residential development along Joyces Road.

Overall, having regard to the above assessment and the permitted baseline of three dwellings (where a total of four are proposed), it is considered that the proposal will result in less than minor adverse effects on the landscape, character or visual amenity values of the site and wider mixed residential environment.

7.3 Traffic, Access and Parking Effects

Traffic

The Transport Assessment prepared by NCC Consulting Engineering at (**Appendix 5**) notes that this section of Joyces Road is a no exit road serving approximately 30 properties and is classified as a Low Volume Road. While the anticipated traffic intensity exceeds the permitted levels by 11 daily one-way vehicle movements, the Transport Assessment notes that the proposed two-bedroom units will only add a relatively small percentage of additional traffic given their small scale, and close proximity to Central Paihia.

The site is within walking distance of a large amount of employment and various amenities in central Paihia, enabling the unit occupants to walk or cycle and reducing reliance on vehicle use. The Transport Assessment notes that although there are no formal pedestrian facilities along Joyces Road, a mown berm on the north side provides an informal pedestrian path. Given the existing low traffic volume and slow vehicle speeds, this is considered an adequate arrangement for pedestrian safety.

Further, the new two-bedroom units are likely to be occupied by either single people or a couple, and each unit is likely to possess only a single vehicle. On this basis, the additional traffic generated from the proposed development is unlikely to be appreciable by other road users along Joyces Road, particularly when regard is had to the permitted baseline comprised of one dwelling per 600m² of land and two parking spaces per dwelling, in which case three of the four dwellings would be permitted on this site.

On this basis, traffic generated by the proposal and its impact on the surrounding road network are considered to be less than minor.

Access

The proposed units will be accessed by vehicle and on foot via the existing accessway from Joyces Road. The Transport Assessment confirms that the current 3m-wide concrete vehicle crossing will be retained, and no changes to this access are proposed. The accessway approaches Joyces Road at an oblique angle, but given the low traffic volumes and vehicle speeds, this arrangement does not raise any road safety concerns. Additionally, the Transport Assessment indicates that the 30m visibility from the vehicle access point along Joyces Road is adequate and presents minimal risk, considering the low traffic volume and vehicle speeds in the area.

As such and overall, the proposal will be suitably serviced by vehicle accesses that will result in less than minor adverse effects on Joyces Road.

Parking

The proposed site plan, shown in **Appendix 2** and Figure 10, indicates that six parking spaces will be provided on-site. Four parking spaces, along with a turning area, are located adjacent to the existing property at the top of the driveway, and two additional spaces are proposed in a new parking bay along the existing driveway.

The Transport Assessment (**Appendix 5**) notes that the existing dwelling is classified as a standard residential unit, which requires two parking spaces. While the proposed two-bedroom units are smaller in size, they are still classified as standard residential units, and therefore each requires two parking spaces. As a result, there is a shortfall of two parking spaces. However, the site's constraints and topography make it challenging to provide additional parking, and doing so would likely be cost-prohibitive. Moreover, the new units are small-scale 2-bedroom units likely to be occupied by either single people or a couple, and each unit is likely to possess only a single vehicle. Therefore, the demand for two parking spaces per unit is anticipated to be low. Furthermore, the site is within walking and cycling distance of a variety of employment opportunities and amenities in central Paihia, and roadside parking is available on the north side of Joyces Road should additional spaces be needed.

The proposed parking spaces comply with the relevant manoeuvring and parking space standards, ensuring that each space provides adequate room for vehicles to park and for doors to be opened. Two of the six spaces are located in a parking bay midway along the driveway, opposite the access to Houses 1 and 2, facilitating easy unloading and access to the units.

Overall, the proposed development results in less than minor adverse effects on the existing and proposed public road environment and the safety of pedestrians and cyclists.

7.4 Infrastructure Effects

Stormwater Discharge

The Civil Engineering Assessment at **Appendix 4** explains the potential stormwater runoff effects arising from the proposed impervious surface areas will be appropriately managed as it is proposed to construct private stormwater reticulation to convey the roof runoff from each of the

new dwellings, including House 1. The runoff will be directed towards the existing private stormwater line which services the existing dwelling, ultimately discharging into the existing public stormwater network at the north-eastern corner of site.

The proposed works are not located within a flood plain or overland flow path, avoiding adverse flood hazards accordingly. It is considered the increased impervious area will have negligible effect on the flood hazard and will not increase flood risk to neighbouring properties.

Having regard to the above and the assessment provided in the Civil Engineering Assessment, it is considered that the proposal will not result in adverse effects in respect of stormwater.

Wastewater Discharge

The Civil Engineering Assessment provides an assessment of the proposed wastewater disposal arrangement. As outlined in **Appendix 4**, it is proposed to construct private wastewater reticulation to convey the wastewater discharge from each of the new dwellings, including House 1. The discharge will be directed towards the existing private wastewater line, which services the existing dwelling, ultimately discharging into the existing public wastewater line on Joyces Road. It is expected that the existing public network has capacity to cater for this small increase in flow.

Having regard to the above and the assessment provided in the Civil Engineering Assessment, it is considered that the proposal will not result in adverse effects in respect of wastewater.

Water Supply

The Civil Engineering Assessment confirms that there is an existing 125mm-diameter public water supply line which traverses through the site, adjacent to the eastern site boundary. It is proposed to maintain the existing public water supply arrangement and construct private water supply reticulation connecting to the existing public water meter to service the additional dwellings.

The existing water supply line will need to be realigned and/or protected, in accordance with Council requirements, to allow for construction of the proposed parking area. Riley Consultants has undertaken calculations to determine that the existing public network has capacity to cater for the additional dwellings, including House 1.

It is concluded that no additional water supply requirements are anticipated for fire-fighting purposes, as there is an existing public fire hydrant adjacent to the northern site boundary.

Overall, the proposed development results in no adverse effects on surrounding public infrastructure and can be serviced without detriment to the wider environment and capacity of public networks.

7.5 Geotechnical Effects

The Geotechnical Assessment at **Appendix 6**, prepared by Shire Engineering Consultants, confirms that as long as the recommendations in the report are complied with, the proposed single storey lightweight timber frame dwellings supported on timber poles located on the slope will not give rise to instability or natural hazard effects including with regard to the steep topography. Concluding:

- The subsoils on the site comprise topsoil between 100 mm and 300 mm depth, overlying Waipapa Group Soils to the termination of all boreholes, consisting of stiff to very stiff yellow, orange, brown silts and clays with undrained shear strengths greater than 100 kPa.
- The ground investigations encountered clayey expansive type soils and a ground water was not encountered. Based on experience in the area and similar geology, liquefaction is unlikely. The site shows no obvious visual signs indicating past or presently active instability.
- The subsoils at this site were found to comprise stiff natural soils. The soils are considered to have adequate bearing capacity, are of relatively low compressibility and are considered suitable foundation soils for the proposed new dwellings. However, due to the steep slope where the proposed dwelling platforms are and the results from the site stability model, piled building foundations are required up to 2.5m in depth to help safeguard against the effects of potential longer term soil creep or shallow seated slope failure.
- Based on the conditions encountered in the hand auger boreholes, the buildings can be supported on footings bearing in a combination of tested and approved native soil.
- Where required, retaining walls should be provided to support cut or fill faces.
- Vegetation should be maintained as much as possible during and after completion of the development works. Vegetation reduces surface water and groundwater effects and assists in maintaining slope stability through root binding action.

The findings and recommendations outlined in the Geotechnical Assessment have informed the design and placement of the proposed units. The units will have piled foundations, retaining walls

will be used for the proposed parking bay, and vegetation will be planted and maintained which will assist with managing slope stability. As such, the proposal will result in less than minor adverse geotechnical effects, including in respect of natural hazards and instability effects.

7.6 Land Disturbance and Construction Effects

The Civil Engineering Assessment prepared by Riley Consultants at **Appendix 4** confirms that the extent of earthworks will involve pile foundations for the new dwellings, excavations for the proposed parking area and associated low height retaining wall comprising 3m³ of cut and 3m³ of fill and trenching for services.

The Civil Engineering Assessment confirms that silt fences will be used to mitigate sediment and erosion effects during construction. These measures, together with standard dust control, will ensure silt and sediment is retained within the boundary of the site. No works are proposed within flood areas or other natural hazard areas, which are located to the north of the site in Joyces Road. The buildings will have piled foundations as recommended in the Geotechnical Assessment at **Appendix 6**, which will not require cut or fill which may have otherwise resulted in adverse visual effects on the landscape character and amenity. Land disturbance for the new parking bay will be minimal, as this area is only 35m² and cut and fill will be required for typical retaining wall piles as outlined in Section 4.4. No earthworks are associated with the removal of vegetation.

The modular homes are proposed to be constructed off-site and transported to the property via truck, which will not result in excessive traffic arising from construction.

On this basis, it is considered the proposed works can appropriately mitigate the potential effects of earthworks on the surrounding environment such that the proposal will generate less than minor adverse land disturbance and construction effects.

7.7 Conclusion

Overall, having regard to the assessment set out above when read in conjunction with the technical reports appended to this application, it is considered that the proposal will result in less than minor adverse effects upon the surrounding receiving environment.

8 Public Notification Assessment

8.1 Legislative Tests

Section 95A of the Resource Management Act 1991 (“**RMA**”) specifies the steps the Council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

Step 1: Mandatory public notification is required in certain circumstances

Section 95A (step 1) of the Resource Management Act 1991 (“**RMA**”) determines whether public notification of the application is mandatory if:

- the applicant requests public notification of the application; or
- it decides that public notification is required under section 95C; or
- the application is made jointly with an application to exchange recreation land.

The applicant has not requested public notification, the Council is yet to request any further information (in relation to section 95C), and the application is not made jointly with an application to exchange recreation land.

Public notification of the application is not mandatory.

Step 2: If not required by step 1, public notification precluded in certain circumstances

An application for resource consent must be precluded from public notification if:

- the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or environmental standard that precludes public notification, or
- The application is for one or more of the following, but no other, activities:
 - a controlled activity:
 - a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity:

The proposal is not for one of these activities and therefore is not precluded from public notification.

Step 3: If not precluded by step 2, public notification required in certain circumstances

Step 3 states that an application is required to be publicly notified if it is for a resource consent for 1 or more activities and any of those activities is subject to a rule or national environmental standard that requires public notification, or the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

The preceding assessment within Section 8 of this report found that the actual and potential effects of the proposal will be less than minor upon the environment. Therefore, the application is not required to be publicly notified pursuant to Section 95A (Step 3).

Step 4: Public notification in special circumstances

Section 95A (Step 4) states that a Council may publicly notify an application for resource consent if it considers that special circumstances exist, notwithstanding the statutory tests that would otherwise allow the application to be processed without public notification.

“Special circumstances” have been defined by the Court of Appeal as those that are unusual or exceptional, but not necessarily extraordinary or unique (*Peninsula Watchdog Group (Inc.) v Minister of Energy* [1996] 2 NZLR 529).

In addition, Elias J has stated that circumstances which are “special” will be those which make notification desirable, notwithstanding the general provisions excluding the need for notification (*Murray v Whakatane DC* [1997] NZRMA 433).

The ODP provides for the construction of one dwelling per 600m² of land as a permitted activity or 300m² of land as a restricted discretionary activity, thus providing a consenting pathway to consider the effects arising from the proposed density and intensity of the development on a case-by-case basis relative to the design and location of the works in the context of the site and surrounds.

The assessment in Section 7 confirms that in this instance, the potential adverse effects have been appropriately mitigated such that the proposal will result in less than minor adverse effects on the environment. I do not consider that public notification would give rise to any alternative or additional information that would prove useful for the decision-maker in considering the application. On the basis of the above, I am of the view that there are no special circumstances that would warrant the notification of this application.

8.2 Public Notification Conclusion

Having undertaken the section 95A public notification tests, the following conclusions are reached:

- Under step 1, public notification is not mandatory;
- Under step 2, public notification is not precluded;
- Under step 3, public notification is not required as the actual and potential adverse effects arising from the proposal are not considered to be more than minor; and
- Under step 4, no special circumstances are considered to arise.

Therefore, based on the preceding assessment and the assessment of effects in section 8 of this report, supported by expert analysis in accompanying appendices, public notification is not required in this circumstance.

9 Limited Notification Assessment

9.1 Legislative Tests

If the application is not publicly notified under s95A, the Council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

Step 1: certain affected protected customary rights groups must be notified

There are no protected customary rights groups or customary marine title groups affected by the proposed activity (s95B(2)).

In addition, the Council must determine whether the proposed activity is on or adjacent to, or may affect, land that is subject of a statutory acknowledgement under schedule 11, and whether the person to whom the statutory acknowledgement is made is an affected person (s95B(3)).

In this case, the proposed activity is not on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement.

Step 2: if not required by step 1, limited notification precluded in certain circumstances

An application for resource consent must be precluded from limited notification if:

- the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or environmental standard that precludes limited notification, or
- a controlled activity that requires consent under a district plan (other than a subdivision of land).

The proposed activity is not precluded from limited notification as it does not relate to any of the activities specified above.

The application is not precluded from limited notification.

Step 3: if not precluded by step 2, certain other affected persons must be notified

As this application is not for a boundary activity, there are no affected persons related to those types of activities (s95B(7)).

The following assessment addresses whether there are any affected persons that the application is required to be limited notified to (s95B(8)). In determining whether a person is an affected person:

- a person is affected if the activity's adverse effects on that person are minor or more than minor (but not less than minor)
- adverse effects permitted by a rule in a plan or NES (the permitted baseline) may be disregarded; and
- the adverse effects on those persons who have provided their written approval must be disregarded.

Written approval

No persons have given written approval.

Permitted baseline

Refer to Section 7, which outlines the permitted baseline.

Adjacent persons

The properties identified in Figure 16 are adjacent to the site, and it is therefore necessary to determine whether the proposal will result in adverse effects on these persons that are minor (or more than minor) to establish whether they are "affected":

Figure 16 – Aerial photograph identifying adjacent persons (site outlined in blue)



Persons to the north – 5, 25, 29 Joyces Road, Lot 7 DP 333340, Lot 9 DP 333340

Neighbours to the north are separated from the subject site by Joyces Road and feature extensive trees and vegetation along their boundaries. As such, they will not experience any shading or privacy effects as a result of the height to boundary infringement along the northern site boundary.

The site to the northeast at 5 Joyces Road is commercially zoned and accommodates large-scale visitor accommodation buildings. Located directly adjacent to central Paihia, this property is largely screened by dense vegetation along Joyces Road, which will also help screen the proposed development. Any potential visibility of the proposal from certain angles on this site is expected to be minimal and will not appear out of character, considering the already established large-scale commercial development on this site. Furthermore, three of the proposed units fall within the permitted baseline for residential intensity, and the additional unit will not disrupt the character or density of the area.

The properties at 25 Joyces Road, Lot 7 DP 333340, and Lot 9 DP 333340 are zoned Coastal Living and are densely vegetated. Although it is unclear whether there are dwellings on these lots, any such potential dwellings would be well set back and surrounded by dense vegetation, making them unlikely to have any visibility of the proposed works.

The residential zoned site at 29 Joyces Road comprises a two-storey dwelling on a spacious lot. This neighbour is separated from the subject site by approximately 57m and will have very limited views of the proposed works, if any, due to the distance. Moreover, the proposal accommodates a 3.3m setback of the units on the site, and effective screening from existing and proposed vegetation on the site and along Joyces Road.

As outlined in the Section 7.3, the proposed development will result in less than minor adverse effects on traffic, access, and parking. The minimal increase in traffic, the adequacy of the access arrangements, and the proposed parking provision are all deemed appropriate given the scale of the development and the context of the surrounding area. The development will integrate seamlessly into the existing road network, with no significant impacts on road safety, traffic flow, or parking availability.

Overall and with regards to that assessment it is considered that persons to the north along Joyces Road will be affected to a less than minor degree given the significant setback distance, and effective screening and less than minor transport related effects.

Persons to the south – 69, 71 and 73 School Road

The proposed units are located over 35m from the nearest common boundary to the south, being 71 School Road. The dwellings to the south at 69-73 School Road are located at the top of a steep, elevated topography, overlooking the subject site to the north. However, the southern portion of the subject site is densely vegetated and clear of any buildings. Any views to the area of works will be almost entirely screened by the existing vegetation, steep topography of the site, and existing dwelling such that persons to the south will not experience any shading, privacy, or visual dominance effects from the proposed units.

Three of the units fall within the permitted baseline in terms of residential intensity, and the portion of the subject site which is adjacent to these neighbours is spacious, vegetated, and clear of any buildings, such that the additional unit which exceeds the residential intensity factor will not appear out of character in terms of density and will be relatively indiscernible from this site.

Further, these dwellings front School Road to the north and will not experience any adverse transport or parking related effects from the proposed units.

Overall and with regards to that assessment it is considered that persons at 69, 71 and 73 School Road will not be affected given the significant setback distance and effective screening and less than minor transport related effects.

Persons to the east – 28-30 Joyces Road

Neighbours to the east at 30 Joyces Road comprises a heavily vegetated vacant site, and the site further to the east at 28 Joyces Road comprises a two-storey dwelling, which is screened from the subject site by extensive existing and proposed vegetation along the common boundary, as noted in the Landscape Report at **Appendix 3**. There is an existing backdrop screen of vegetation and trees that will be retained and enhanced with other tree and shrub plantings as shown on the Landscape Plan. The plantings within this eastern area of the site will fully screen the proposal from the neighbour to the east, including the proposed parking area adjacent to this boundary.

Additionally, proposed House 3 will be set back over 15m from the shared boundary. As such, they will not experience any shading or privacy effects due to the height to boundary infringement along the northern site boundary.

As outlined in the Section 7.3, the proposed development will result in less than minor adverse effects on traffic, access, and parking. The minimal increase in traffic, the adequacy of the access arrangements, and the proposed parking provision are all deemed appropriate given the scale of the development and the context of the surrounding area. The development will integrate seamlessly into the existing road network, with no significant impacts on road safety, traffic flow, or parking availability.

Overall and with regards to that assessment it is considered that persons at 28-30 Joyces Road will be affected to a less than minor degree given the effective boundary screening and less than minor transport related effects.

Persons to the west – 36 Joyces Road

The neighbouring site to the west at 36 Joyces Road comprises a two-storey dwelling, and unconsented minor dwelling which extends into the subject site by approximately 6m.

House 2 will maintain a compliant 3.3m setback from this boundary and will comply with the western 3m + 45-degree height to boundary recession plane relative to this boundary.

As shown on the shading plans at **Appendix 2**, the proposed units will result in some additional shading on the neighbour to the west. However, the shading will only affect a small portion of the outdoor living area along the eastern elevation of the main dwelling on this site, and therefore will not result in significant levels of shading or dominance on the dwelling itself. Additionally, the proposed units will not have any glazing on the western elevations, and the proposed decks will be largely screened by proposed landscaping and the orientation of the proposed units which screens these decks from view of the main dwelling at 36 Joyces Road. There will be less than minor adverse privacy effects on neighbours in this regard as the proposed units will have limited opportunities for overlooking of this site to the west.

The landscape report and plans at **Appendix 3** note that planting of tall narrow growing trees such as *Hymenosporum flavum*, *Metrosideros* Māori Princess, and *Tecoma stans* will also be used along the western boundary with 36 Joyces Road. Mass plantings of shrubs and trees along this boundary will provide a thick vegetated buffer between the development and main residence at 36 Joyces Road. The tall growing species and the bushy underplanting will visually screen the proposed units, decks and stairs when viewed from the western site. The proposed planting will retain privacy for the residents of 36 Joyces Road and will also screen the view of the development so that any potential adverse visual and landscape effects generated by the proposal upon this neighbour are appropriately mitigated. Additional planting is also proposed to screen the existing piled wooden car parking deck from view of these neighbours, which is considered to be an improvement to the existing arrangement.

As outlined in the Section 7.3, the proposed development will result in less than minor adverse effects on traffic, access, and parking. The minimal increase in traffic, the adequacy of the access arrangements, and the proposed parking provision are all deemed appropriate given the scale of the development and the context of the surrounding area. The development will integrate seamlessly into the existing road network, with no significant impacts on road safety, traffic flow, or parking availability.

Overall and with regards to that assessment it is considered that persons at 36 Joyces Road will be affected to a less than minor degree given the effective boundary screening, compliant built form along this boundary, and less than minor transport related effects.

Summary

Overall, the proposal will result in less than minor adverse effects on all adjacent properties and as such, there are no affected persons pursuant to section 95E who are required to be notified pursuant to section 95B(9).

Step 4: further notification in special circumstances

Step 4 requires us to determine whether special circumstances exist in relation to the application that warrant it being notified to any other persons not already determined as eligible for limited notification.

Special circumstances are those that are:

- exceptional or unusual, but something less than extraordinary;
- outside of the common run of applications of this nature; or
- circumstances which make limited notification to any other person desirable, notwithstanding the conclusion that no other person has been considered eligible.

In this instance I have turned my mind specifically to the existence of any special circumstances under s95B(10) and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that notification to any other persons should occur.

9.2 Limited Notification Conclusion

Having undertaken the s95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes limited notification of the activities, and the application is for an activity other than those specified in s95B(6)(b).
- Under step 3, limited notification is not required as it is considered that the activity will not result in any adversely affected persons.
- Under step 4, there are no special circumstances that warrant the application being limited notified to any persons.

It is therefore considered appropriate that this application be processed without limited notification.

10 Policy Framework

10.1 National Policy Statements

National Policy Statement on Urban Development

The NPSUD is intended to support productive and well-functioning cities, recognising that some urban areas in New Zealand are growing quickly. The NPSUD requires councils to plan well for that growth and to do so in a way that:

- Ensures the principles of the Treaty of Waitangi are taken into account
- Ensures that plans make room for growth both up and out, and that rules are not unnecessarily constraining growth
- Develops, monitors and maintains local evidential bases for demand, supply and prices of land (for housing and to inform planning decisions)
- Aligns and coordinates with planning across urban areas.

The NPSUD sets objectives and policies that are mandatory for some councils and strongly encouraged for others.

The Far North District is Tier 3 under the NPSUD. Further, Paihia does not meet the definition of an “urban environment” (requiring a population of at least 10,000 within an urban character area) and as such, the NPSUD does not affect development potential or the relevant planning framework in this instance.

10.2 National Environmental Standards

National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (“NES – Contamination”) does not apply as the site has not been used for activities on the Ministry for the Environment’s Hazardous Activities and Industries List (“HAIL”).

10.3 Northland Regional Policy Statement 2016

The Regional Policy Statement of relevance is the Northland Regional Policy Statement 2016 ("RPS").

The RPS deals with region-wide issues and in this case, focuses on the following:

- Section 3.13 Natural hazard risk - the proposed works are not located within a coastal or flood hazard area as identified in the relevant planning maps, and the Geotechnical Assessment confirms the buildings will not give rise to stability effects.
- Section 3.14 Natural character, outstanding natural features, outstanding natural landscapes and historic heritage – the proposal is not located within any such overlays.
- Section 3.15 Active management – development is outside of the ONL and ONF overlays. The proposal will maintain the natural character of the coastal environment by minimising earthworks, and planting and maintaining additional vegetation.

For the above reasons, the proposal is considered to be consistent with the relevant provisions of the RPS.

10.4 Proposed Regional Plan for Northland (February 2024)

As set out within **Appendix 7**, the proposal complies with all relevant standards under the Proposed Northland Regional Plan (February 2024) and therefore is considered to be consistent with the anticipated outcomes, objectives and policies of the relevant regional plan accordingly. The former regional plans are no longer of relevance as there are no reasons for consent pursuant to the Proposed Regional Plan that are under appeal.

10.5 Far North Operative District Plan 2009

The following objectives and policies of the ODP are relevant to the assessment of the proposed discretionary activity.

Clause	Provision	Comment
Chapter 7 Urban Environment		
7.3 Objectives		

Clause	Provision	Comment
7.3.1	To ensure that urban activities do not cause adverse environmental effects on the natural and physical resources of the District.	The use of the site for residential purposes will be consistent with the existing and surrounding environment, which has already undergone development.
7.3.2	To enable the continuing use of buildings and infrastructure in urban areas, particularly where these are under-utilised.	The proposal will enable efficient use of this Residential zoned land, which anticipates 'medium density residential living'. The units are able to connect to existing infrastructure public infrastructure.
7.3.3	To avoid, remedy or mitigate the adverse effects of activities on the amenity values of existing urban environments.	Section 7.1 concludes that the proposed architectural and landscape design, form, and location of the buildings will mitigate the effects of the proposed intensity and built form, ensuring that the impacts on the character and amenity of the residential environment remain less than minor.
7.3.4	To enable urban activities to establish in areas where their potential effects will not adversely affect the character and amenity of those areas.	Section 7.1 notes that the site is located in an established residential area near central Paihia, and portions of the road are Commercial zoned and comprises higher intensity visitor accommodation. The proposed residential units will not appear out of character therefore.
7.3.5	To achieve the development of community services as an integral and complementary component of urban development.	N/A
7.3.6	To ensure that sufficient water storage is available to meet the needs of the community all year round.	Refer to Section 7.4 and the Civil Engineering Assessment at Appendix 4 .
7.4 Policies		
7.4.1	That amenity values of existing and newly developed areas be maintained or enhanced.	Refer to Objective 7.3.3 above.
7.4.2	That the permissible level of effects created or received in residential areas reflects those appropriate for residential activities.	Refer to Objective 7.3.3 above and Section 7.1 – 7.2.

Clause	Provision	Comment
7.4.3	That adverse effects on publicly-provided facilities and services be avoided or remedied by new development, through the provision of additional services.	Refer to Section 7.4 and the Civil Engineering Assessment at Appendix 4 .
7.4.4	That stormwater systems for urban development be designed to minimise adverse effects on the environment.	Refer to Section 7.4 and the Civil Engineering Assessment at Appendix 4 .
7.4.5	That new urban development avoid:	Refer to Section 7.2.
	(a) adversely affecting the natural character of the coastal environment, lakes, rivers, wetlands or their margins;	
	(b) adversely affecting areas of significant indigenous vegetation or significant habitats of indigenous fauna;	
	(c) adversely affecting outstanding natural features, landscapes and heritage resources;	
	(d) adversely affecting the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga;	N/A
	(e) areas where natural hazards could adversely affect the physical resources of urban development or pose risk to people's health and safety;	The proposed works are located outside of any flood plains, overland flow paths which are located in Joyces Road to the north of the site.
	(f) areas containing finite resources which can reasonably be expected to be valuable for future generations, where urban development would adversely affect their availability;	Refer to Section 7.2.
	(g) adversely affecting the safety and efficiency of the roading network;	Refer to Section 7.3 and the Transport Assessment at Appendix 5 .
	(h) the loss or permanent removal of highly productive and versatile soils from primary production due to subdivision and development for urban purposes.	N/A

Clause	Provision	Comment
7.4.6	That the natural and historic heritage of urban settlements in the District be protected (refer to Chapter 12).	N/A
7.4.7	That urban areas with distinctive characteristics be managed to maintain and enhance the level of amenity derived from those characteristics.	Refer to Objective 7.3.4 above.
7.4.8	That infrastructure for urban areas be designed and operated in a way which: (a) avoids remedies or mitigates adverse effects on the environment; (b) provides adequately for the reasonably foreseeable needs of future generations; and (c) safeguards the life-supporting capacity of air, water, soil and ecosystems	Refer to Section 7.4 and the Civil Engineering Assessment at Appendix 4 .
7.4.9	That the need for community services in urban areas is recognised and provided for.	N/A

Overall, the proposal is consistent with the anticipated outcomes for the Urban Environment and achieves and delivers the anticipated outcomes of the zone.

10.5.1 District-wide Objectives and Policies

With regard to Chapter 15 Transportation, the preceding assessment and that of NCC Consulting Engineers confirms that the proposal is generally consistent with the most relevant objective 15.1.3.3 which seeks to ensure that appropriate provision is made for on-site car parking while considering safe cycling and pedestrian access and use of the site. The proposal falls short of two parking spaces for the site, however, the analysis of NCC Consulting Engineers confirms that the site is within walking distance of a large amount of employment and amenities in central Paihia, enabling the occupants to walk and reducing parking demand. In addition, the three units on the site are small scale two-bedroom units likely to be occupied by either single people or at most a couple, each unit is anticipated to only require single vehicle, which can be accommodated by the six parking spaces on the site. NCC Consulting Engineers further confirms in **Appendix 5**, that the additional traffic movements will be minimal and will not result in adverse effects on the access nor Joyces Road, due to the low volume of traffic anticipated by the small-scale residential

units proposed. The proposal is therefore considered to be consistent with the relevant objectives and policies of Chapter 15 Transportation.

10.5.2 Assessment Criteria

As a discretionary activity overall, the Council is unconstrained in its assessment of the matters of discretion and associated assessment criteria. Where relevant, the assessment criteria have been used to guide the assessment of effects throughout this report, however the assessment is not limited to these matters by virtue of the overall discretionary activity status.

10.6 Far North Proposed District Plan 2023

10.6.1 General Residential Zone

As notified, Objective GRZ-O1 seeks to ensure that “The General Residential zone provides a variety of densities, housing types and lot sizes that respond to: housing needs and demand; the adequacy and capacity of available or programmed development infrastructure; the amenity and character of the receiving residential environment; and historic heritage”. The proposal is considered to be wholly consistent with this objective as the purpose of the proposal is to construct small scale residential dwellings which respond to the demand for housing in central Paihia, in an established residential and commercial area.

Objective GRZ-O2 seeks to ensure the “The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the function and resilience of the receiving residential environment while reducing urban sprawl”. Similarly, GRZ-O4 states: “Land use and subdivision in the General Residential zone is supported where there is adequacy and capacity of available or programmed development infrastructure.” The preceding assessment and the Civil Engineering Assessment at **Appendix 4** confirms that the proposed units can be adequately serviced by existing public water, stormwater and wastewater networks. The proposal is considered to be acceptable with regard to with these objectives noting that the units will provide for the efficient use of this residential zoned site and will not result in urban sprawl.

Objective GRZ-O5 seeks to ensure “Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments.” The proposal is consistent in this regard as the proposed form and location of the buildings has been designed

to mitigate the effects of the proposed intensity and built form, ensuring that the impacts on the character and amenity of the residential environment remain less than minor.

The relevant policies at GRZ-P1 and GRZ-P8 seek to give effect to these outcomes, and the preceding assessment confirms the proposal is consistent insofar as the proposal is located in an established mixed residential and commercial environment located in close proximity to the town centre, and the buildings have been sited, designed, and landscaped in a manner that ensures the scale and intensity of the development will result in less-than-minor effects on the character and amenity of the residential environment.

Policy GRZ-P3 is especially relevant to this proposal, as it seeks to “Enable multi-unit developments within the General Residential zone, including terraced housing and apartments, where there is adequacy and capacity of available or programmed development infrastructure.” The proposed residential units are wholly consistent with this policy, and provides for the efficient use of this residential zoned site.

Finally and as discussed further below, it is considered that the PDP has limited weighting at this early stage in the plan review process.

10.6.2 Part 2 District-wide Objectives and Policies

Transport

With regard to the preceding assessment and Transport Assessment (**Appendix 5**), the proposal is considered to be generally consistent with the anticipated outcomes of the relevant objectives and policies in this regard, particularly TRAN-03, TRAN-04 and TRAN-05. The proposal still results in a shortfall of two parking spaces under the PDP, but based on the detailed assessments above, it is concluded that the proposed development will result in less than minor adverse effects on traffic, access, and parking. The minimal increase in traffic, the adequacy of the access arrangements, and the proposed parking provision are all deemed appropriate given the scale of the development and the context of the surrounding area. The development will integrate seamlessly into the existing road network, with no significant impacts on road safety, traffic flow, or parking availability.

Coastal Environment

Under the PDP, the site is located within the Coastal Environment.

Objective CE-O1 seeks to ensure the natural character of the coastal environment is identified and managed to ensure its long-term preservation and protection for current and future generations. Objective CE-02 states that land use and subdivision in the coastal environment:

- a. preserves the characteristics and qualities of the natural character of the coastal environment;*
- b. is consistent with the surrounding land use;*
- c. does not result in urban sprawl occurring outside of urban zones;*
- d. promotes restoration and enhancement of the natural character of the coastal environment; and*
- e. recognises tangata whenua needs for ancestral use of whenua Māori.*

The preceding assessment confirms the proposal is consistent with these objectives, and in turn, the relevant policies within CE-P1 – CE-P10. Namely, the buildings are located outside of ONL and ONF areas, is consistent with the residential uses on the adjoining land, will have a total of four dwellings on the site, which in my view combats urban sprawl, and extensive existing and proposed vegetation is proposed, which will also enhance the natural character. These outcomes are consistent with the general thrust of the Coastal Environment overlay in the ODP and a weighting exercise in this regard is not required therefore.

Earthworks

Having regard to the Civil Engineering Assessment and the assessment in Section 7.6 of this report, the proposal comprises minimal earthworks to facilitate development, such that erosion and sediment control measures can be readily installed for the duration of works, mitigating adverse effects on the environment, including the amenity of the landscape. The proposal is consistent with the objectives and policies at EW-01-3 and EW-P1-8 therefore.

10.6.3 Weighting of ODP and PDP

The proposal does not require consent in respect of any PDP rules that have been identified as having immediate legal effect. Notwithstanding, section 104 of the Act requires regard to be had to any relevant provisions of a plan or proposed plan, as is set out above. Where there is a policy shift between the ODP and PDP, it must be determined whether greater weighting should be applied to the ODP or to the PDP, relative to the progress and status of the PDP.

In this instance, the site is zoned Residential under the ODP and General Residential under the PDP. Hearings have not concluded on the PDP and no decisions have been issued. Therefore, little weight has been afforded to the PDP relative to the ODP. Greater weighting is to be given to the policy direction of the ODP when assessing the proposed application.

10.7 Overall Statutory Conclusions

Overall, it is my assessment that the proposal is acceptable having regard to all relevant provisions of the ODP and PDP and the higher order documents as assessed.

11 Conclusion

In considering whether to approve the application, the Council is required to have regard to any relevant provisions of any national policy statements, national environmental standards, regional policy statements, regional plans and district plans. The Council is also required to have regard to the effects of the proposal on the environment and those other matters listed in section 104(1).

It is my opinion that, in respect of those matters that are relevant to the proposal:

1. The adverse effects of the proposal will be less than minor having regard to the preceding assessment set out in section 7.
2. The proposal is not considered to result in adversely affected persons beyond a less than minor degree, as set out in section 9.
3. The proposal is acceptable having regard to the relevant objectives and policies of the relevant planning documents, including proposed plans, for the reasons outlined in section 10.
4. The proposal does not require consent in respect of any PDP rules that have been identified as having immediate legal effect. It is concluded that greater weighting is to be given to the policy direction of the ODP when assessing the proposed application.
5. For the avoidance of doubt, the proposal will give effect to the purpose and principles of the RMA for the reasons outlined in this AEE.

Based on the above, it is my opinion that the proposal is worthy of being granted resource consent, and on a non-notified basis.

Prepared by:



Liam Breedt
Planner

Reviewed by:



Kay Panther Knight
Director



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **NA41B/838**
Land Registration District **North Auckland**
Date Issued 23 January 1978

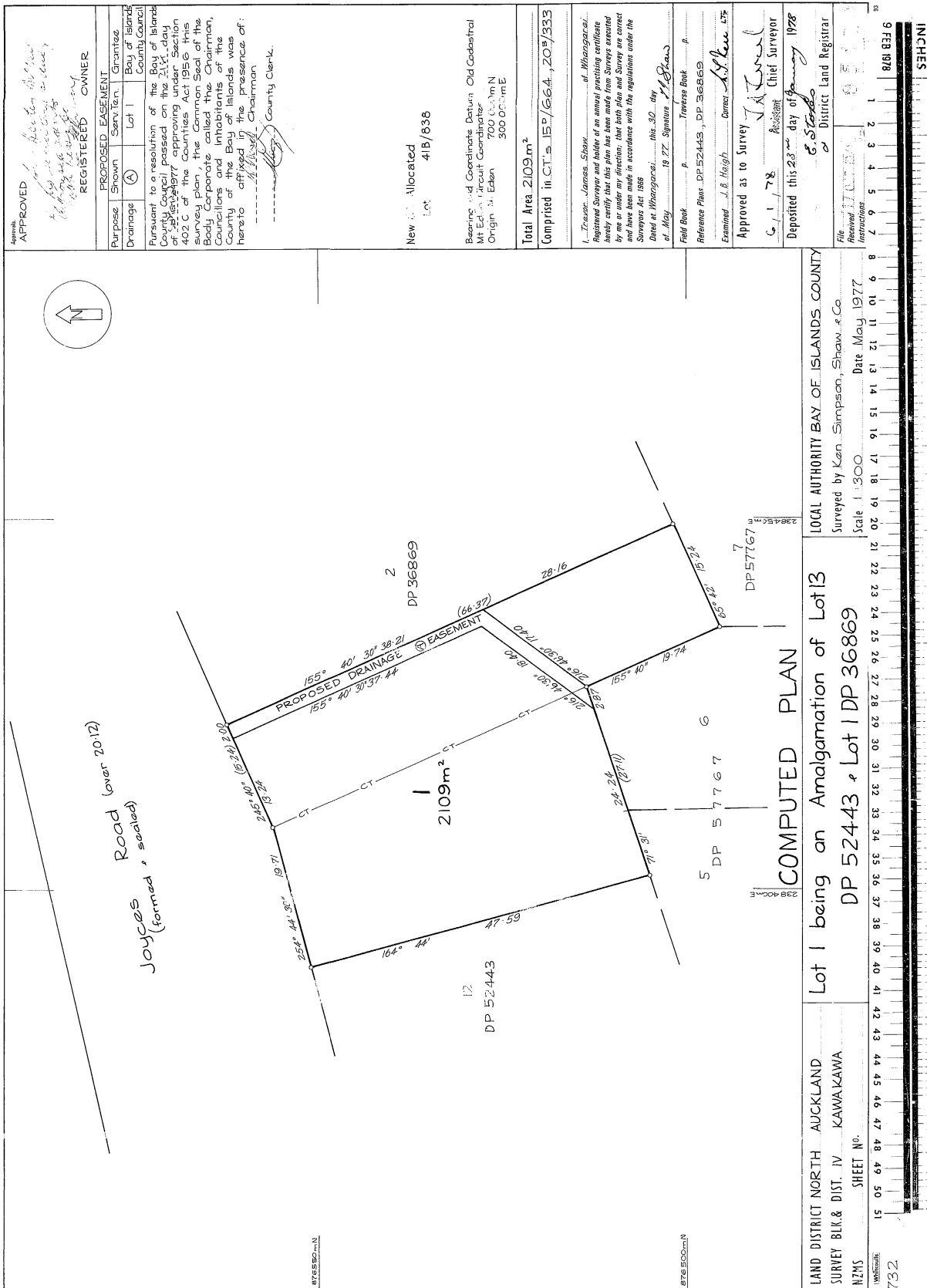
Prior References

NA15D/664 NA20B/333

Estate Fee Simple
Area 2109 square metres more or less
Legal Description Lot 1 Deposited Plan 85120
Registered Owners
Nary Hok and Rasmey Ra

Interests

Subject to Section 402C (4) Counties Act 1956
Subject to a stormwater drainage right (in gross) over part in favour of The Bay of Islands County Council created by
Transfer B761706.1 - 8.12.1987 at 9.07 am
13048565.2 Mortgage to ANZ Bank New Zealand Limited - 4.7.2024 at 2:23 pm



B761706.1 TE

Approved by the District Land Registrar, South Auckland. H.310733

New Zealand

MEMORANDUM OF TRANSFER

WHEREAS ALAN KENNETH COOPER of Rotorua, Company Director and ELIZABETH ANNE COOPER his wife (hereinafter called "the owners") are

25N087 17511 DTY #####10.00

registered as the proprietor s of an estate in fee simple

NEW ZEALAND STAMP DUTY ROT

subject however, to such encumbrances, liens, and interests as are notified by memoranda underwritten or endorsed

hereon, in all that piece of land situate in the Kawakawa Survey District

containing 2109m²

be the same a little more or less being Lot 1 on Deposited Plan 85120 and being part Section 1 Block IV and being all the land in Certificate of Title Volume 41B Folio 838 Subject to:-

- (a) Section 402(C)4 Counties Act 1956.
- (b) Fencing Covenant in Transfer 652304.

AND WHEREAS the registered proprietors for the time being proposed to grant in favour of the BAY OF ISLANDS COUNTY COUNCIL a drainage easement appurtenant to the abovedescribed land

AND WHEREAS it is intended that the course of the proposed easement be altered in accordance with the plan annexed hereto

NOW THEREFORE to give effect to the said intention the owners and the said Council do hereby release and surrender any right title or interest in or to the said easement to the intent that such be wholly extinguished

AND to give further effect to the said intention the owners of the abovedescribed land in consideration of these premises do hereby transfer and grant unto the said Bay of Islands County Council (herein called "the Council") an easement in gross for all times the right to convey stormwater and surface water through that part of the abovedescribed land shown on the plan annexed hereto (called "the servient land") by means of ~~pipe~~ drains together with the licences from time to time to dig construct and lay ~~pipe~~ drains through the servient tenement to inspect repair cleanse dig up alter enlarge renew or replace such ~~pipe~~ drains and for the purposes of this grant for the Council's agents servants workmen and employees with or without vehicles to enter upon the servient tenement and generally to do anything necessary or convenient for the full exercise of the rights so granted subject to the Council restoring the servient tenement as nearly as reasonably possible to its previous condition and making good any damage thereby done.

~~IN CONSIDERATION of the sum of~~

(which sum includes \$ for chattels)

paid to

(the receipt of which sum is hereby acknowledged) DO HEREBY TRANSFER to the said

all estate and interest in the said piece
~~of land above described~~

Joyces Road
(over 20.12)

N

2

D.P. 36869

1

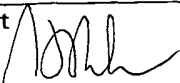
D.P. 85120

C.T. 418/838

12

D.P. 52443

Correct



24.12.87 L.T. Surveyor

PROPOSED
DRAINAGE
EASEMENT

24.24
71° 31'

5

6

D.P. 57767

7

D.P. 57767

Scale:- 1 : 300

Registered Surveyor.

19/2/87

IN WITNESS WHEREOF these presents have been executed this

1772

day of November

One thousand nine hundred and eighty seven.

SIGNED by the abovenamed ALAN KENNETH COOPER and ELIZABETH ANNE COOPER
in the presence of

El Cooper

E.A. Cooper

Witness:

Blumenthal

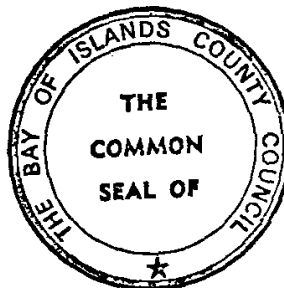
Occupation:

Solicitor

Address:

Patina

THE COMMON SEAL of THE BAY OF
ISLANDS COUNTY COUNCIL was hereunto
affixed in the presence of:-



[Signature] County Chairman

[Signature] General Manager

229059/08.

SW.

No.

TRANSFER

A.K. & E.A. COOPER Transferor

BAY OF ISLANDS COUNTY Transferee
COUNCIL

Correct for the purposes of the Land Transfer Act.

[Signature]
Solicitor for Transferee/s.

I HEREBY CERTIFY THAT THIS TRANSACTION DOES NOT CONTRAVENE THE PROVISIONS OF PART IIA OF THE LAND SETTLEMENT PROMOTION AND LAND ACQUISITION ACT 1952.

Solicitor for the Purchaser or Lessee

Particulars entered in the Register as shown in the Schedule of Land hereon on the date and at the time stamped below

Assistant Land Registrar of the District of South Auckland

1907 08 DEC 27 B 761706
PARTICULARS ENTERED IN REGISTER
LAND REGISTRY AUCKLAND
41/8/838

DENNETT OLPHERT SANDFORD & DOWTHWAITE
SOLICITORS
ROTORUA

HAMILTON DISTRICT LAW SOCIETY

RICE PRINT



(IF) E \$35
Diag \$23
\$58
41 B/838 h/w

P3670 RA RESIDENCE - RESOURCE CONSENT PLANS

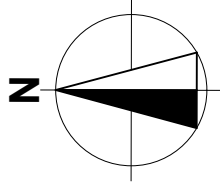
[illegible]

GENERAL BUILDING INFORMATION
ALL CONSTRUCTION SHALL COMPLY WITH THE NEW ZEALAND BUILDING CODE & NEW ZEALAND STANDARDS. DESIGNED IN ACCORDANCE OF NZS 3604:2011
PARCEL ID: LOT 01 DP 85120
APPELLATION:
LOCATION: 32 JOYCES ROAD, PAIHIA 0200
DESIGN LIMITATIONS
CLIMATE ZONE: 1
EARTHQUAKE ZONE: 1
CORROSION ZONE: C
LEE ZONE: NO
WIND ZONE: MEDIUM
SNOW ZONE: NO ALTITUDE LIMIT

CLIENT: RAMSEY RA
DATE: 30/04/2024
DRAWN: PRIYA
CHECKED: MATTHEW ABERCROMBIE



DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	BUILDING CONSENT	06/11/2024
B	BUILDING CONSENT	26/11/2024
C	RESOURCE CONCENT	05/02/2025
D	RESOURCE CONCENT	25/02/2025
E	RESOURCE CONSENT	15/03/2025
H	RESOURCE CONSENT	30/04/2025



28

30

32

36

MANHOLE
LID 9.79

JOYCES ROAD

EDGE OF SEAL

EXTG. CONCRETE DRIVE

EXTG. RETAINING WALL
EXTG. CONCRETE DRIVE

EXISTING HOUSE

EXTG. CAR
PARKING
RL 25.14

Existing unconsented Dwelling belonging
to the owner of 36 Joyces Road

COUNCIL PERMIT REQUIREMENT	
PLANNING ZONE -	RESIDENTIAL
BUILDING HEIGHT	MAX 8M
SUNLIGHT	2M UP, 45°
BUILDING COVERAGE	45%
STORMWATER MANAGEMENT	50%
BOUNDARY SET-BACKS	ROAD BDY: 3m , OTHER BDY : 1.2m
DISTANCE TO BUSH	20m

SITE AREA	2107 m ²
-----------	---------------------

EXTG. IMPERVIOUS AREA -
AS PER EBC2022-575-0

HOUSE	= 161.35m ² APPROX.
DRIVEWAY	= 330.43m ² APPROX.
TOTAL	491.78m ² APPROX. = 23.34%

EXTG. BUILDING COVERAGE

HOUSE & DECKS = 171m² APPROX.

SITE LEGEND	
	EXTG. FIRE HYDRANT
	EXTG. VALVE
	EXTG. FNDC SEWER MANHOLE
	EXTG. WATER METER
	EXTG. COUNCIL WATER LINE
	EXTG. COUNCIL SEWER LINE
	EXTG. STORMWATER CULVERT

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
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E	RESOURCE CONSENT	15/03/2025
F	RESOURCE CONSENT	24/03/2025
G	RESOURCE CONSENT	04/04/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

DATE:	30/04/2025	REV:	SCALE:	1:250
DRAWN:	PV		SHEET NO:	AO-A010
CHECKED:	MA			

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
SITE PLAN- EXISTING



260 WAIMATE NORTH ROAD,
KERIKERI, 0293

projects@sitescope.co.nz
www.sitescope.co.nz

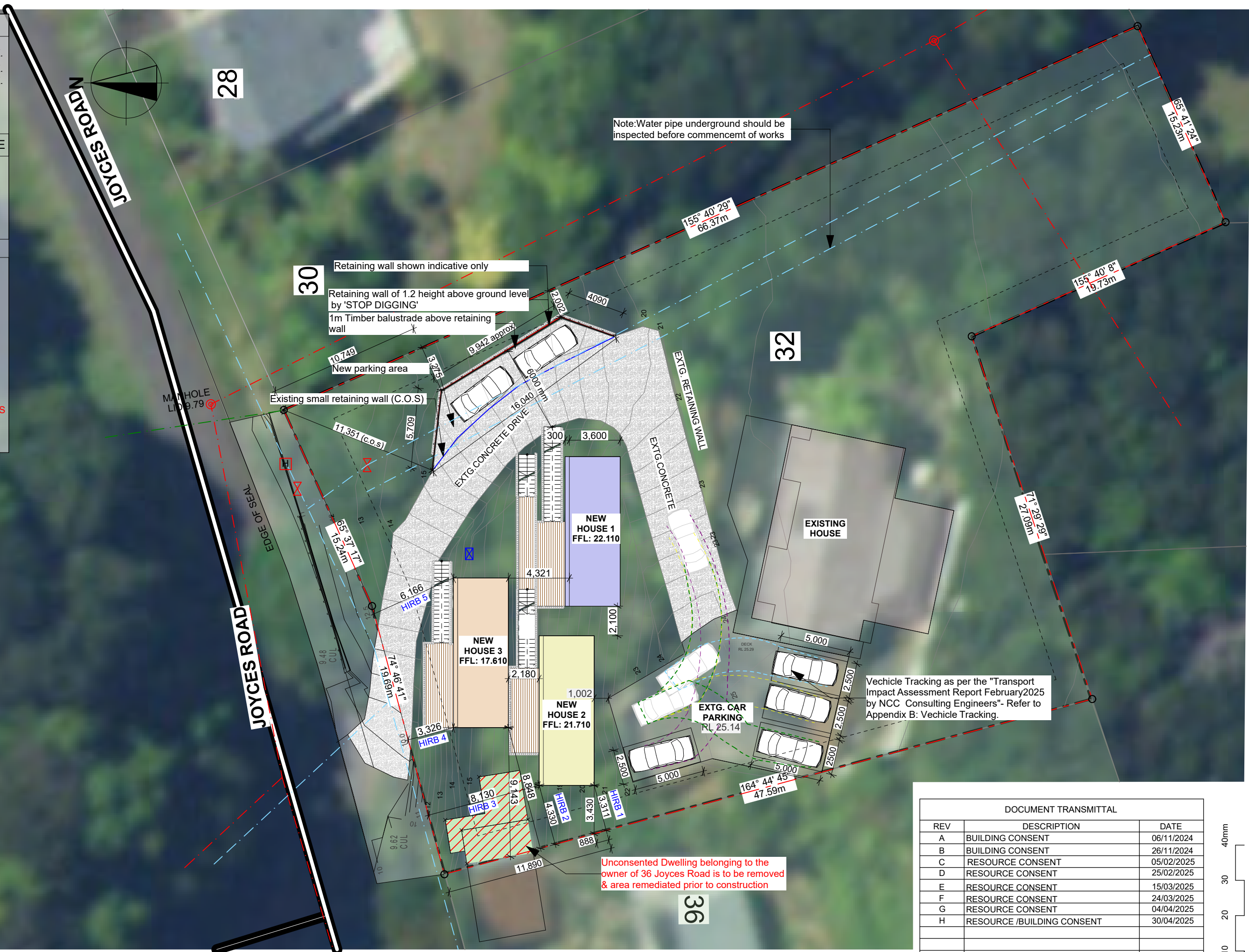
HOUSE 1	= 42.75m ² APPROX.
HOUSE 2	= 42.75m ² APPROX.
HOUSE 3	= 42.75m ² APPROX.
TOTAL	128.25m ² APPROX.
	= 6.09%

HOUSE 1 & DECK = 51.66 m²
HOUSE 2 & DECK = 51.66 m²
HOUSE 3 & DECK = 51.66 m²
TOTAL 154.98m² APPROX.
= 7.35%

EXTG IMP.AREA	= 491.78 m ²
PROPOSED IMP.AREA	= 128.25m ²
NEW PARKING AREA	= 33.74m ²
TOTAL	= 653.77 m ²
	= 31.02%
	= COMPLIES

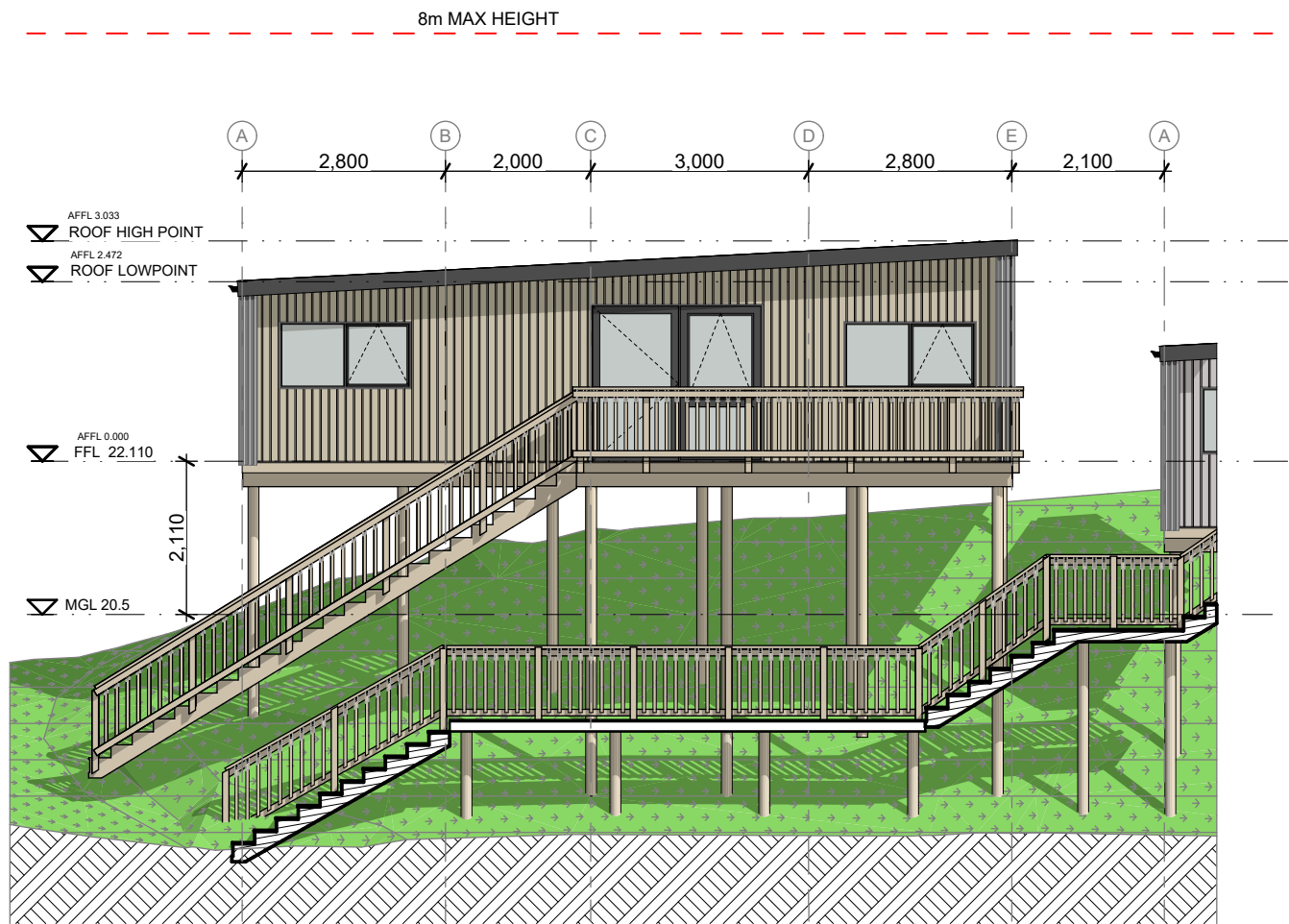
EXTG BUILDING COVERAGE	=	171m ²
PROP. BUILDING COVERAGE	=	154.98m ²
TOTAL	=	325.98m ²
	=	15.47%
	=	COMPLIES

COMMERCIAL ZONE

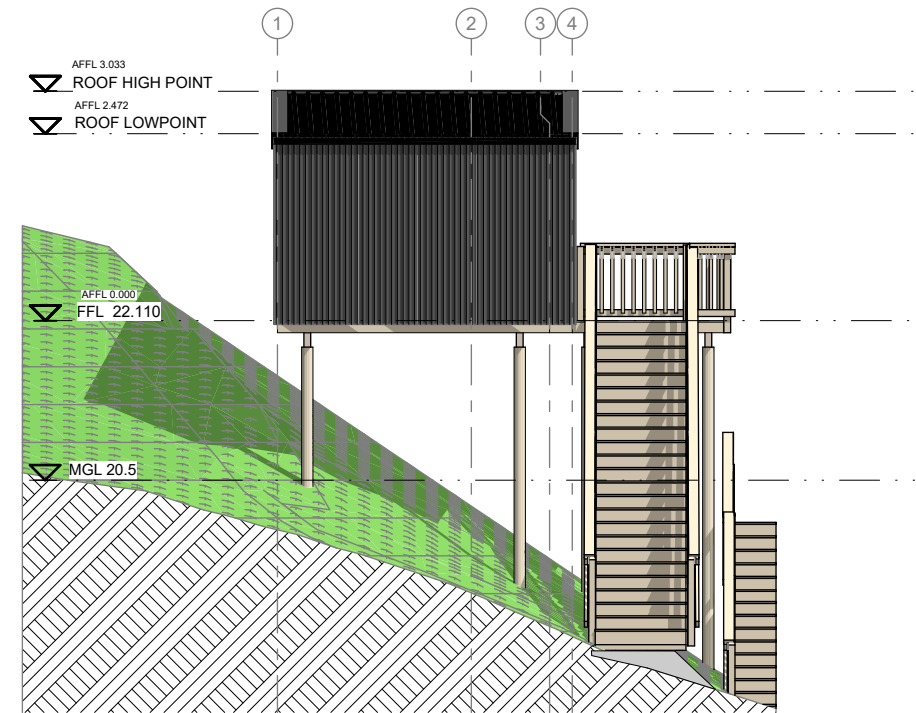


DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
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F	RESOURCE CONSENT	24/03/2025
G	RESOURCE CONSENT	04/04/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

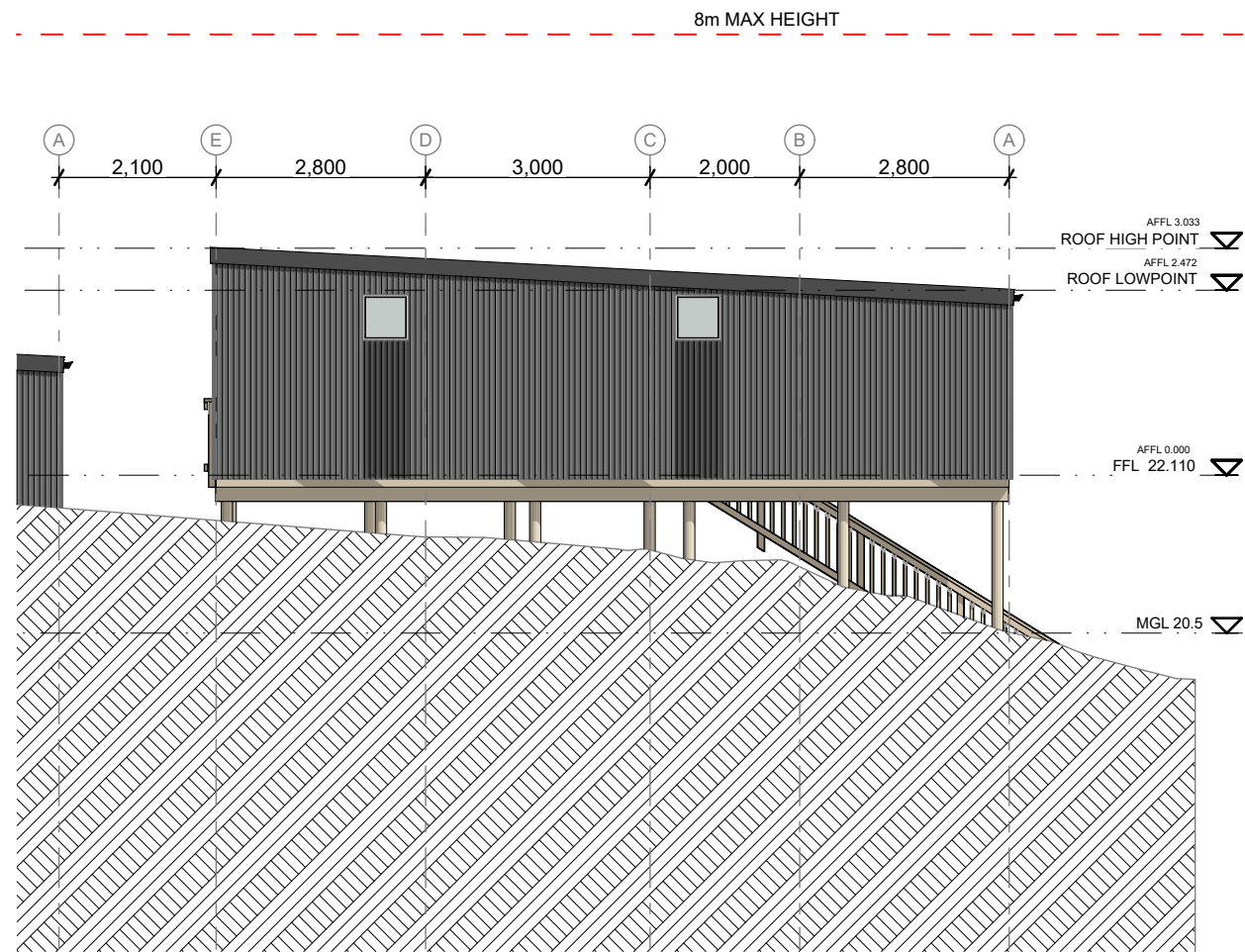
DATE: 30/04/2025	REV: H	SCALE: 1:250
DRAWN: PV		SHEET NO: AO-011
CHECKED: MA		



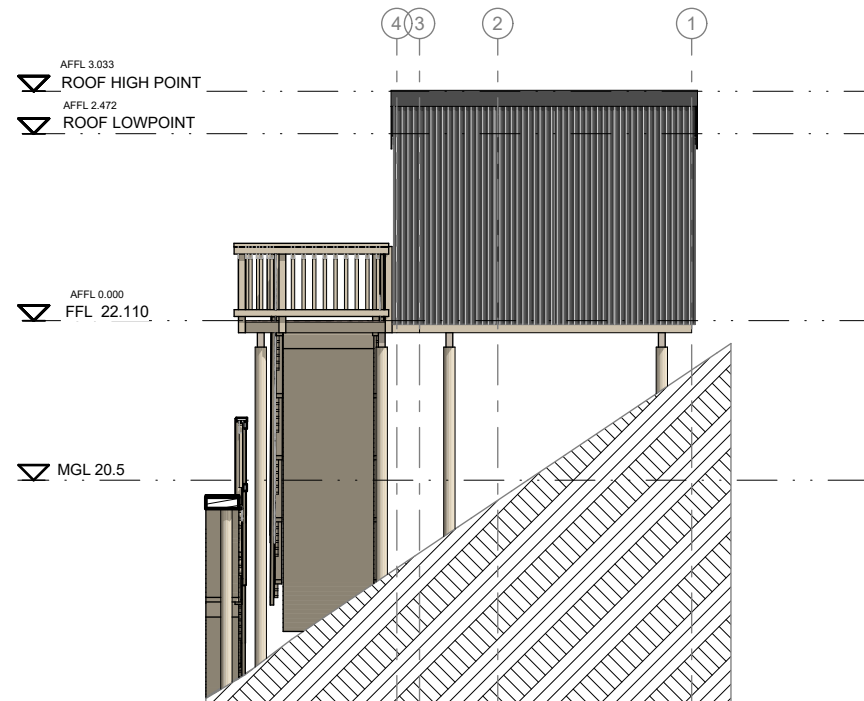
1 HOUSE 1 - NORTH ELEVATION
Scale 1:100



2 HOUSE 1 - EAST ELEVATION
Scale 1:100



3 HOUSE 1- SOUTH ELEVATION
Scale 1:100



4 HOUSE1 - WEST ELEVATION
Scale 1:100

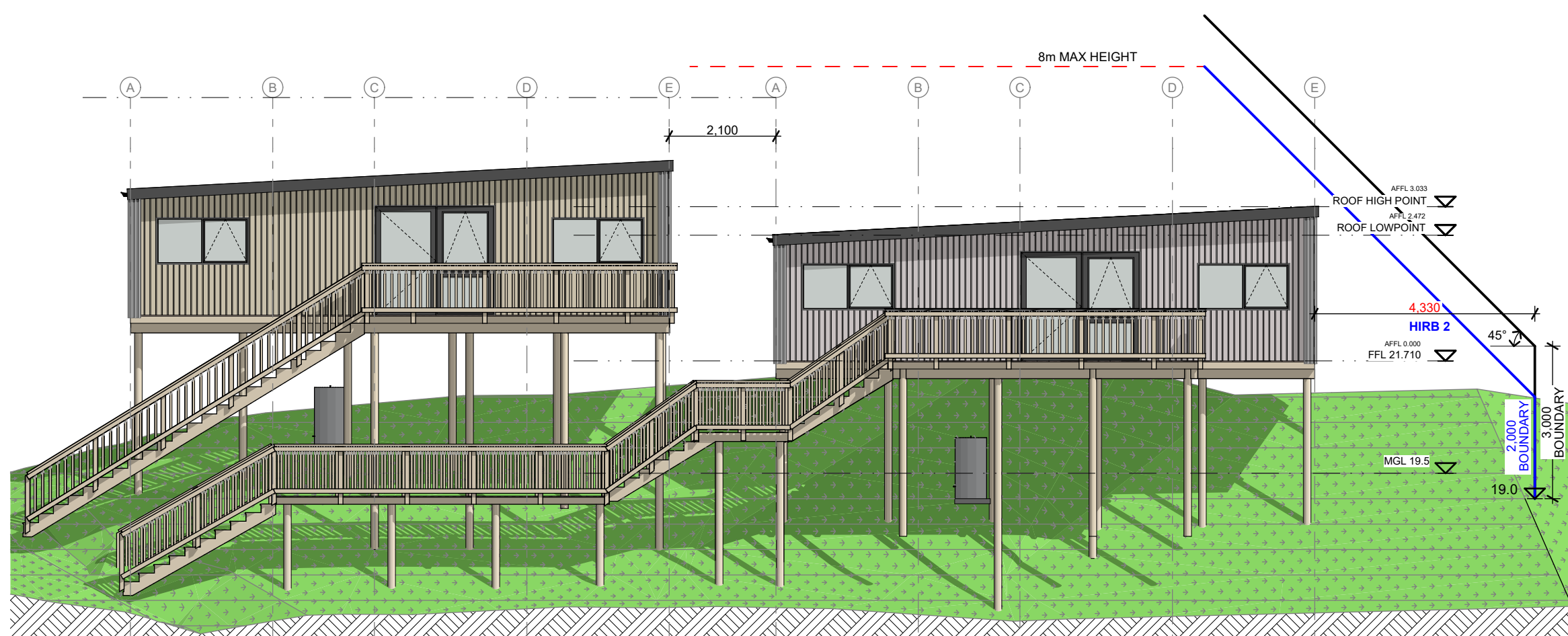
NOTES - ELEVATIONS

ELEVATIONS SHOW ON SITE SET OUT OF MODULES ONLY.

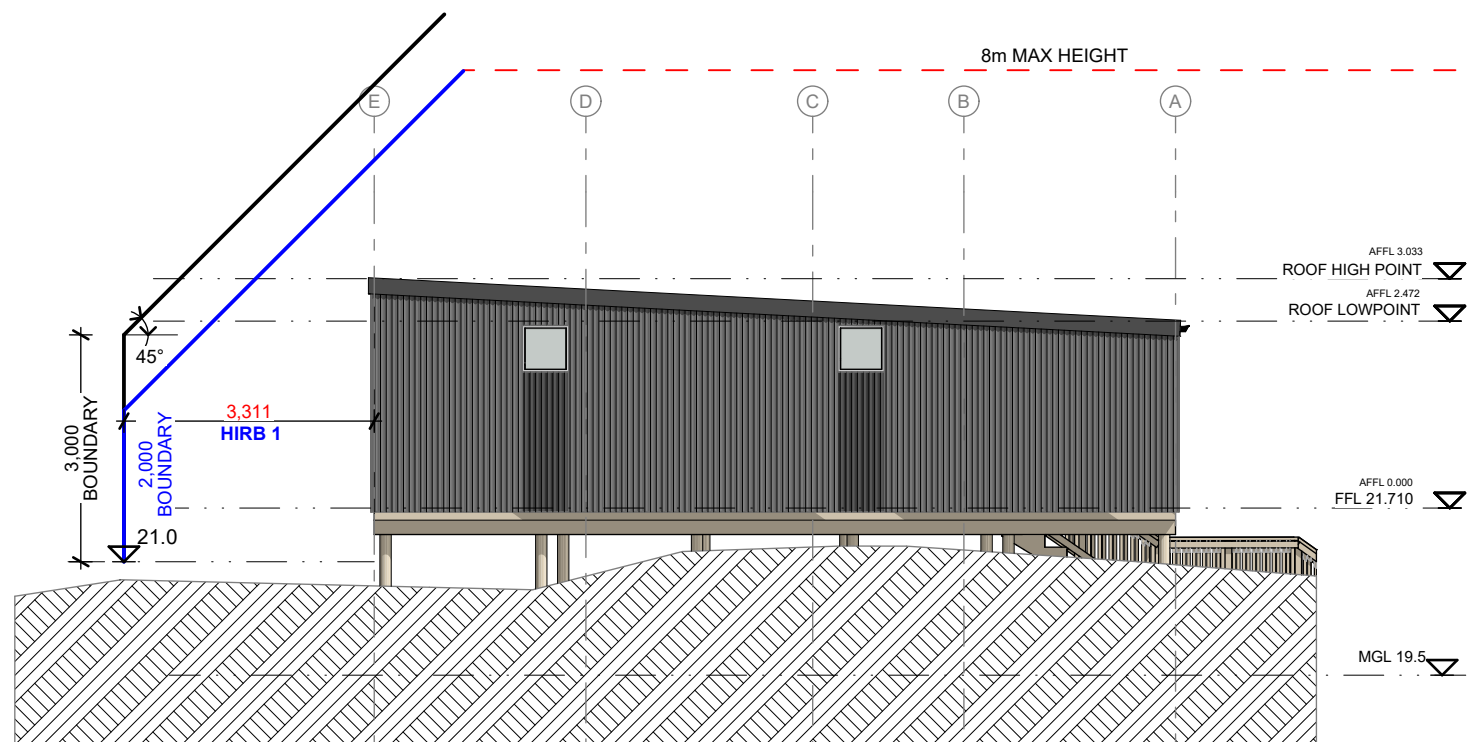
FOR FURTHER DETAILS ON MODSPACE CONSTRUCTION ,
REFER TO ARCHITECTURAL FACTORY DRAWINGS

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
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D	RESOURCE CONSENT	25/02/2025
E	RESOURCE CONSENT	04/04/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

DATE:	30/04/2025	REV:	H	SCALE:	1:100
DRAWN:	PV			SHEET NO:	AO-A204
CHECKED:	MA				



1 HOUSE 2 - NORTH ELEVATION
Scale 1:100



2 HOUSE 2- SOUTH ELEVATION
Scale 1:100

NOTES - ELEVATIONS

ELEVATIONS SHOW ON SITE SET OUT OF MODULES ONLY.

FOR FURTHER DETAILS ON MODSPACE CONSTRUCTION ,
REFER TO ARCHITECTURAL FACTORY DRAWINGS

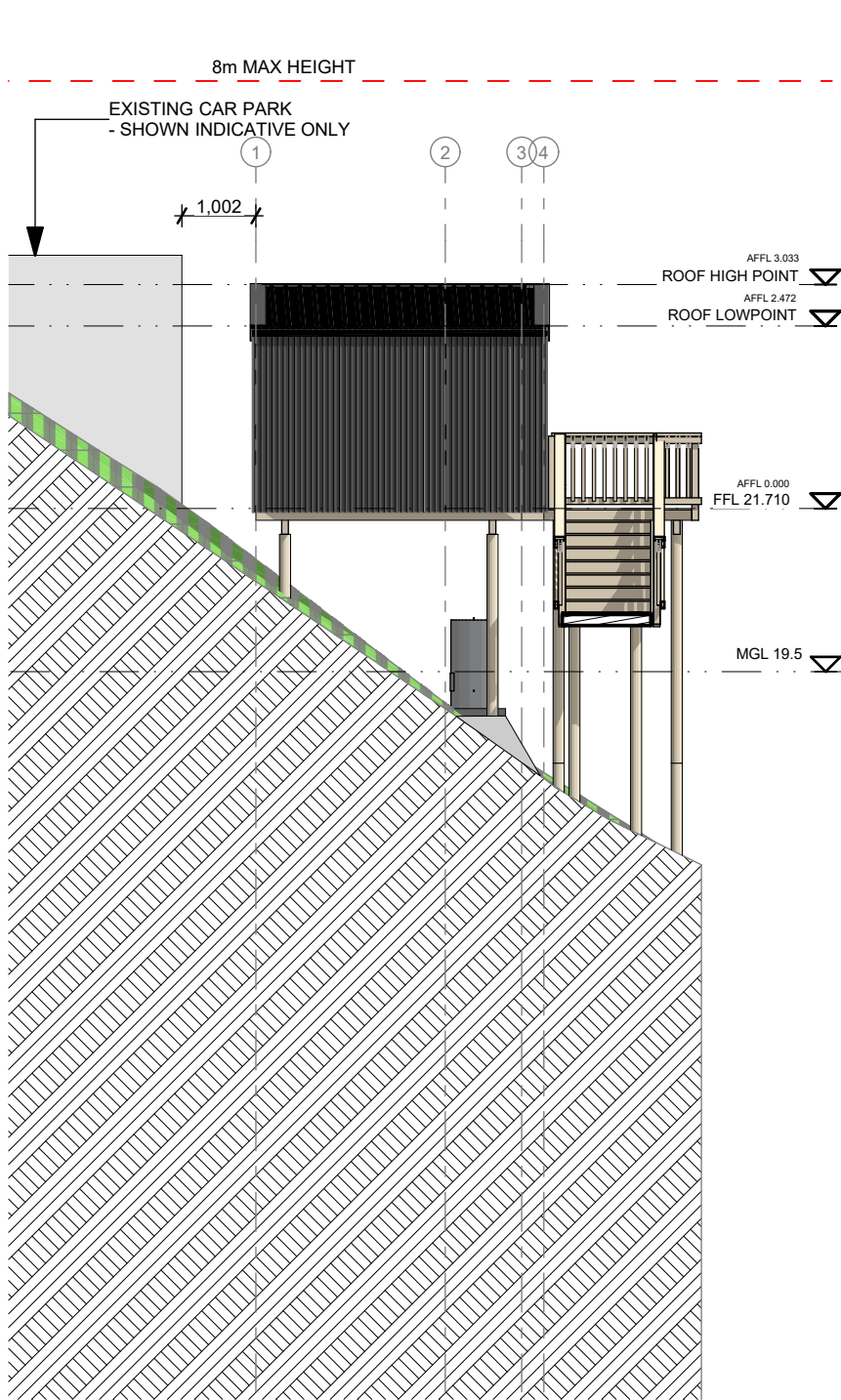
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REV	DESCRIPTION	DATE
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H	RESOURCE /BUILDING CONSENT	30/04/2025

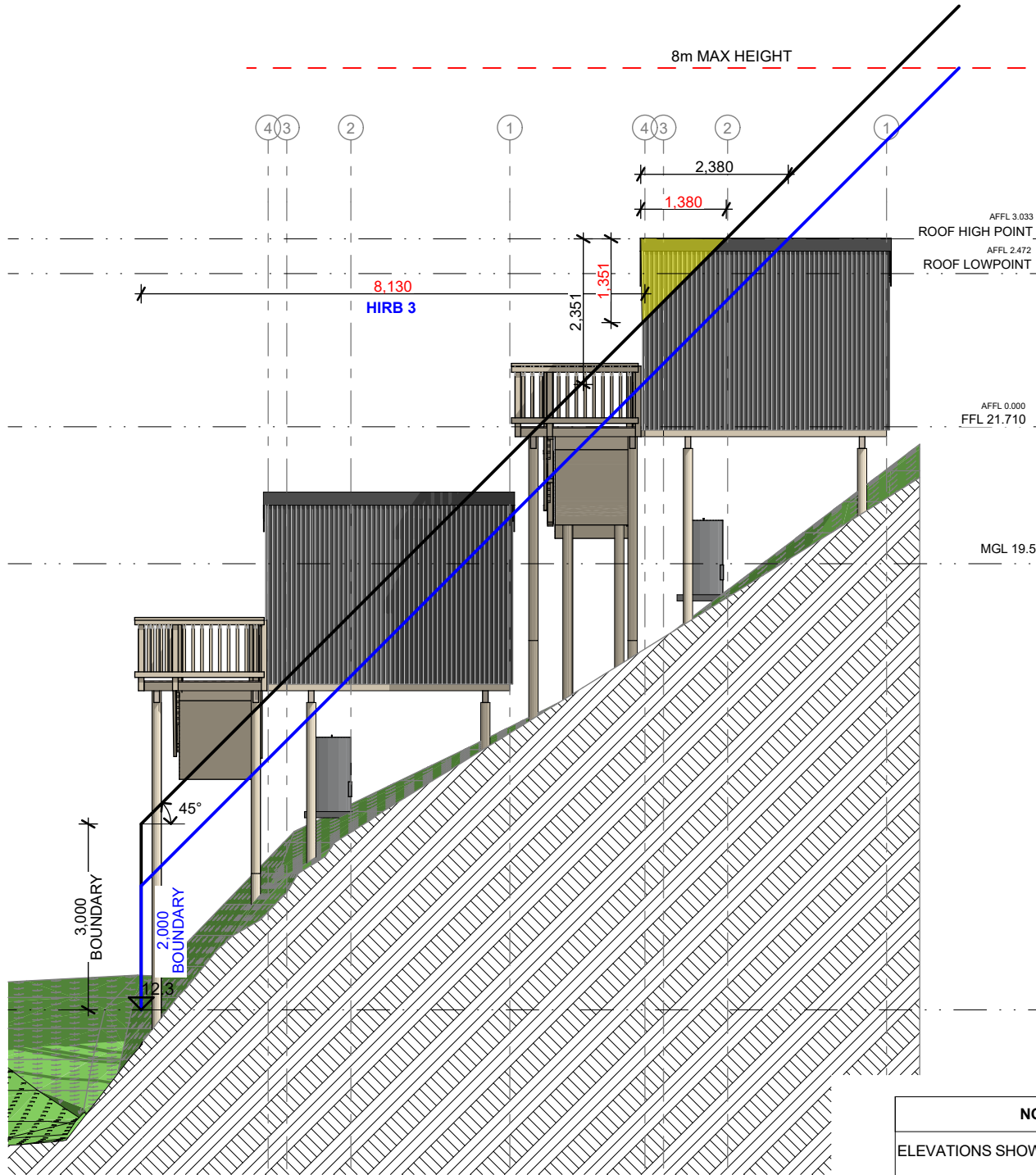
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DRAWN:	PV			SHEET NO:	AO-A205
CHECKED:	MA				

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
HOUSE 2 - ELEVATIONS



3 HOUSE 2 - EAST ELEVATION
Scale 1:100



4 HOUSE2 - WEST ELEVATION
Scale 1:100

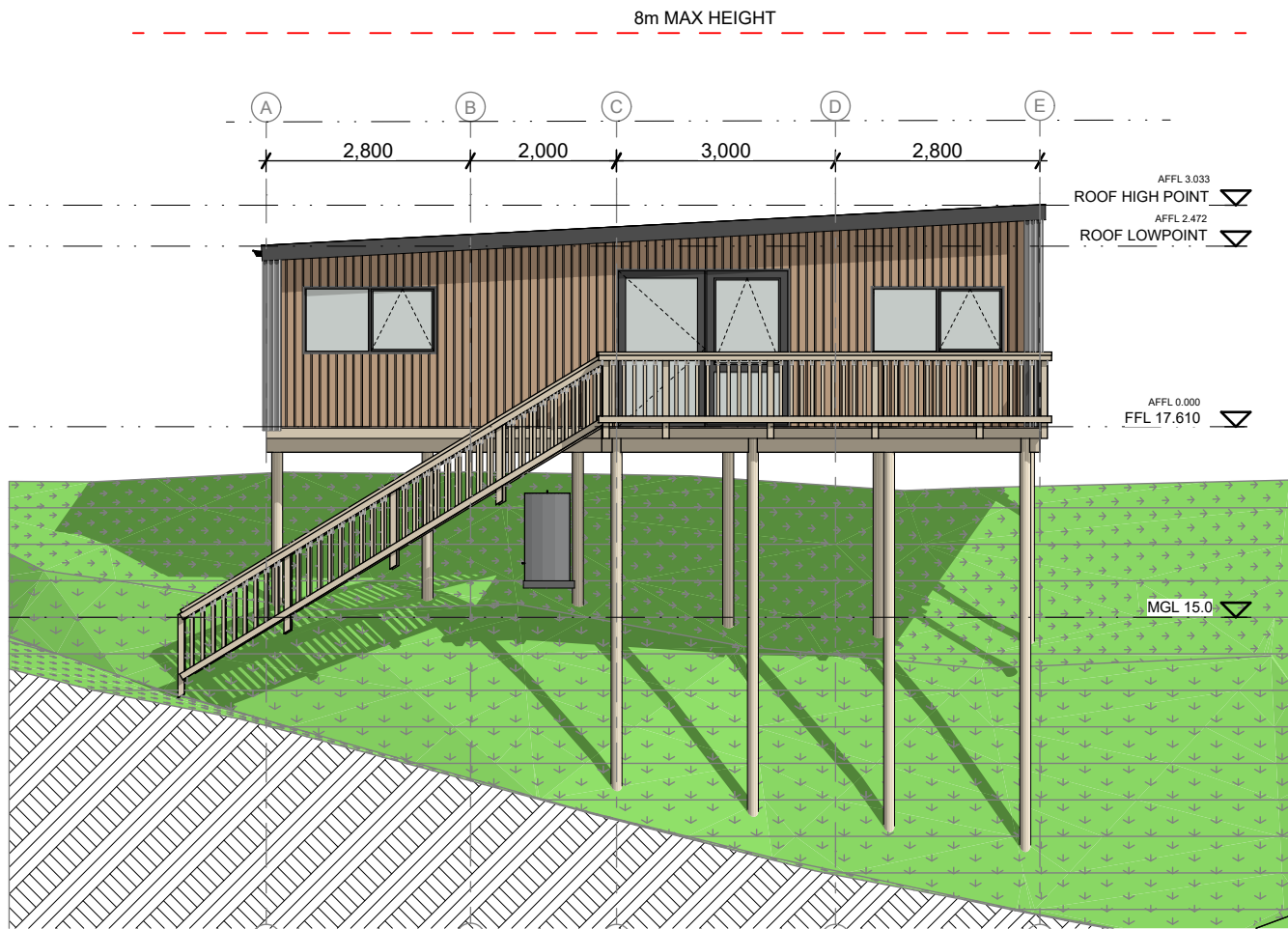
NOTES - ELEVATIONS

ELEVATIONS SHOW ON SITE SET OUT OF MODULES ONLY.

FOR FURTHER DETAILS ON MODSPACE CONSTRUCTION ,
REFER TO ARCHITECTURAL FACTORY DRAWINGS

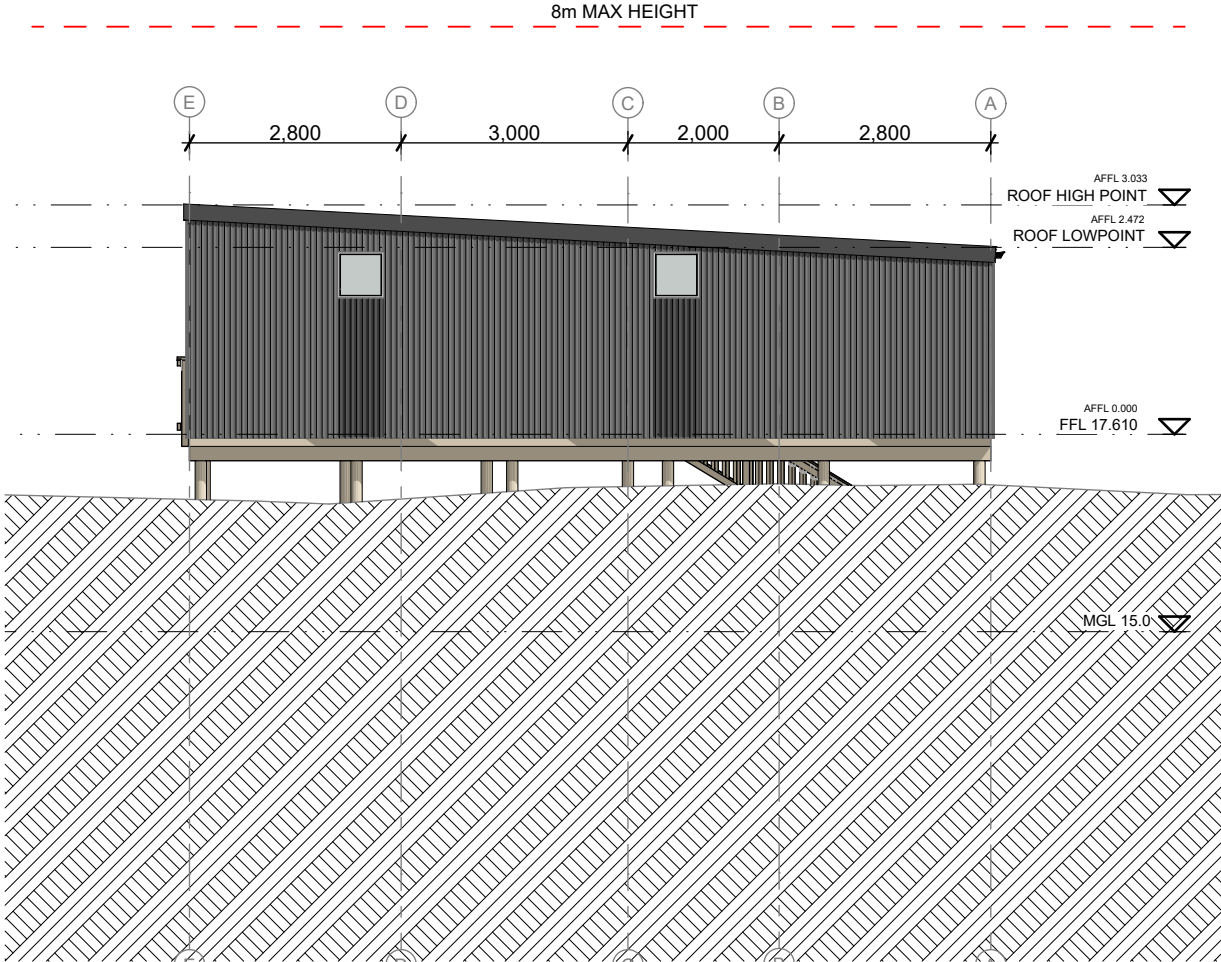
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C	RESOURCE CONSENT	05/02/2025
D	RESOURCE CONSENT	25/02/2025
E	RESOURCE CONSENT	04/04/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

DATE:	30/04/2025	REV:	SCALE:	1:100
DRAWN:	PV		SHEET NO:	AO-A206
CHECKED:	MA			



1 HOUSE 3 - NORTH ELEVATION

Scale 1:100



2 HOUSE 3- SOUTH ELEVATION

Scale 1:100

NOTES - ELEVATIONS

ELEVATIONS SHOW ON SITE SET OUT OF MODULES ONLY.
FOR FURTHER DETAILS ON MODSPACE CONSTRUCTION ,
REFER TO ARCHITECTURAL FACTORY DRAWINGS

DOCUMENT TRANSMITTAL

REV	DESCRIPTION	DATE
A	BUILDING CONSENT	06/11/2024
B	BUILDING CONSENT	26/11/2024
C	RESOURCE CONSENT	05/02/2025
D	RESOURCE CONSENT	25/02/2025
E	RESOURCE CONSENT	04/04/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

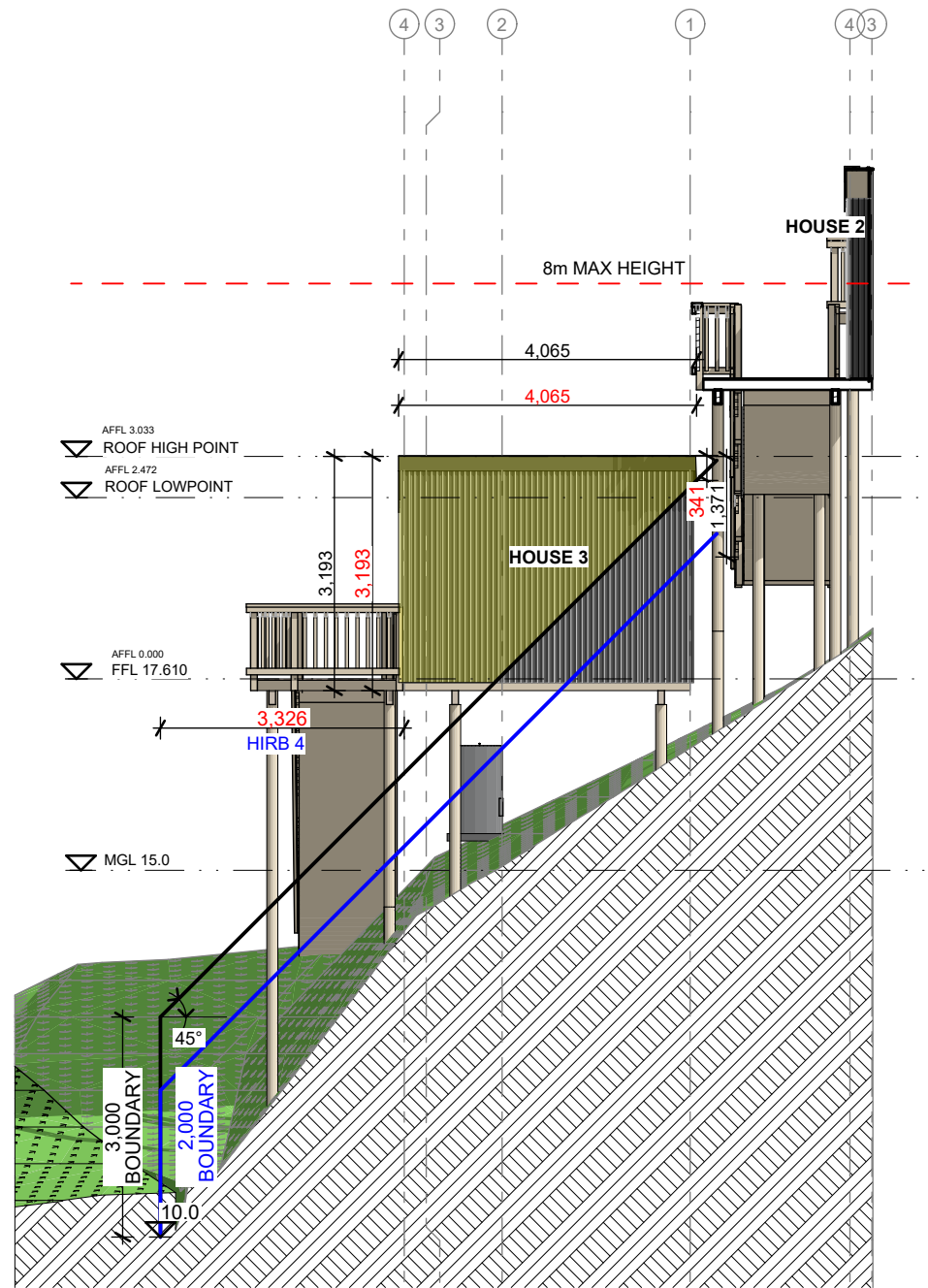
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DRAWN:	PV			SHEET NO:	AO-A207
CHECKED:	MA				



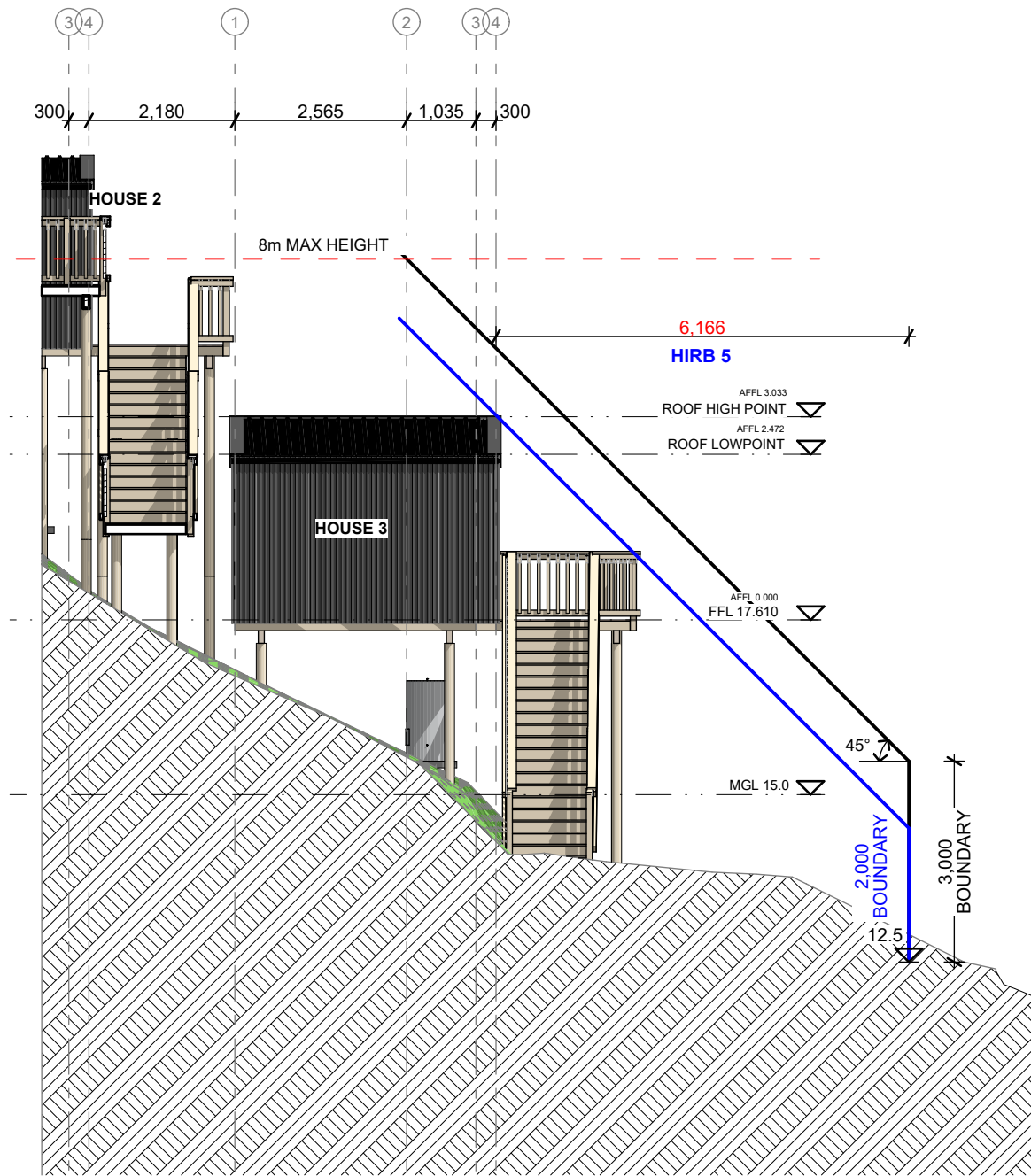
260 WAIMATE NORTH ROAD,
KERIKERI, 0293
projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
HOUSE 3 - ELEVATIONS



1 HOUSE 3 - WEST ELEVATION
Scale 1:100



2 HOUSE 3 - EAST ELEVATION
Scale 1:100

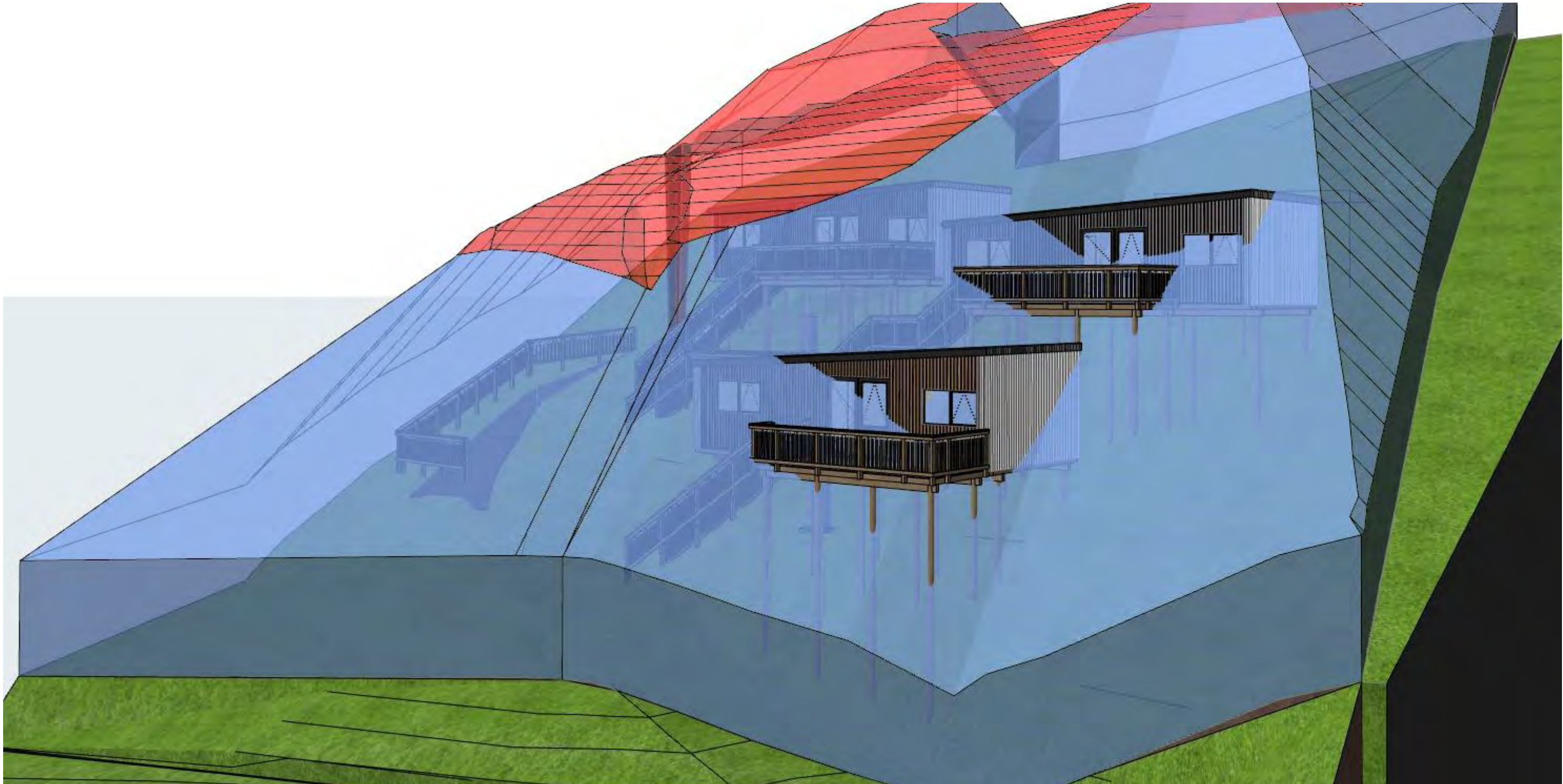
NOTES - ELEVATIONS


ELEVATIONS SHOW ON SITE SET OUT OF MODULES ONLY.

FOR FURTHER DETAILS ON MODSPACE CONSTRUCTION ,
REFER TO ARCHITECTURAL FACTORY DRAWINGS

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	BUILDING CONSENT	06/11/2024
B	BUILDING CONSENT	26/11/2024
C	RESOURCE CONSENT	05/02/2025
D	RESOURCE CONSENT	25/02/2025
E	RESOURCE CONSENT	04/04/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

DATE:	30/04/2025	REV:	SCALE:	1:100
DRAWN:	PV	H	SHEET NO:	AO-A208
CHECKED:	MA			



 **HIRB - 3D MODEL**
NTS



260 WAIMATE NORTH ROAD,
KERIKERI, 0293
projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
HIRB - 3D MODEL

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	BUILDING CONSENT	06/11/2024
B	BUILDING CONSENT	26/11/2024
C	RESOURCE CONSENT	05/02/2025
D	RESOURCE CONSENT	25/02/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025
DATE:	30/04/2025	REV: H
DRAWN:	PV	SCALE: NTS
CHECKED:	MA	SHEET NO: A0-A604

40mm
30
20
10
0



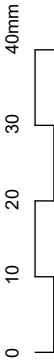
1 16 JAN 2025 - 9AM
Scale 1:500



2 16 JAN 2025 - 12PM
Scale 1:500

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	RESOURCE CONSENT	12/02/2025

DATE:	12/02/2025	REV:	SCALE:	1:500
DRAWN:	PV	A	SHEET NO:	AO-A605
CHECKED:	MA			



260 WAIMATE NORTH ROAD,
KERIKERI, 0293
projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
SUN STUDY



3 16 JAN 2025 - 3PM
Scale 1:500



4 16 JAN 2025 - 6PM
Scale 1:500

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	RESOURCE CONSENT	12/02/2025

DATE:	12/02/2025	REV:	SCALE:	1:500
DRAWN:	PV	A	SHEET NO:	AO-A606
CHECKED:	MA			



260 WAIMATE NORTH ROAD,
KERIKERI, 0293
projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
SUN STUDY



1 22 JULY 2025 - 9AM
Scale 1:500



2 22 JULY 2025 - 12PM
Scale 1:500



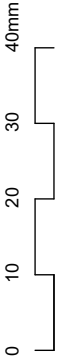
260 WAIMATE NORTH ROAD,
KERIKERI, 0293
projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
SUN STUDY

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	RESOURCE CONSENT	12/02/2025

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CHECKED:	MA			





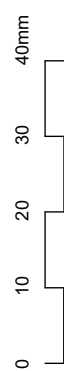
3 22 JULY 2025 - 3PM
Scale 1:500



2 22 JULY 2025 - 6PM
Scale 1:500

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	RESOURCE CONSENT	12/02/2025

DATE:	12/02/2025	REV:	SCALE:	1:500
DRAWN:	PV	A	SHEET NO:	AO-A608
CHECKED:	MA			



260 WAIMATE NORTH ROAD,
KERIKERI, 0293
projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA
PROJECT: RA RESIDENCE

SHEET:
SUN STUDY



NOTE: LANDSCAPE PLAN SHOWN INDICATIVE ONLY.
REFER TO THE LANDSCAPE PLAN SUPPLIED BY THE
LANDSCAPE ARCHITECT.

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	BUILDING CONSENT	06/11/2024
B	BUILDING CONSENT	26/11/2024
C	RESOURCE CONSENT	05/02/2025
D	RESOURCE CONSENT	25/02/2025
H	RESOURCE /BUILDING CONSENT	30/04/2025

DATE:	30/04/2025	REV:	SCALE:	NTS
DRAWN:	PV	H	SHEET NO:	AO-A609
CHECKED:	MA			



260 WAIMATE NORTH ROAD,
KERIKERI, 0293

projects@sitescope.co.nz
www.sitescope.co.nz

CLIENT: RAMSEY RA

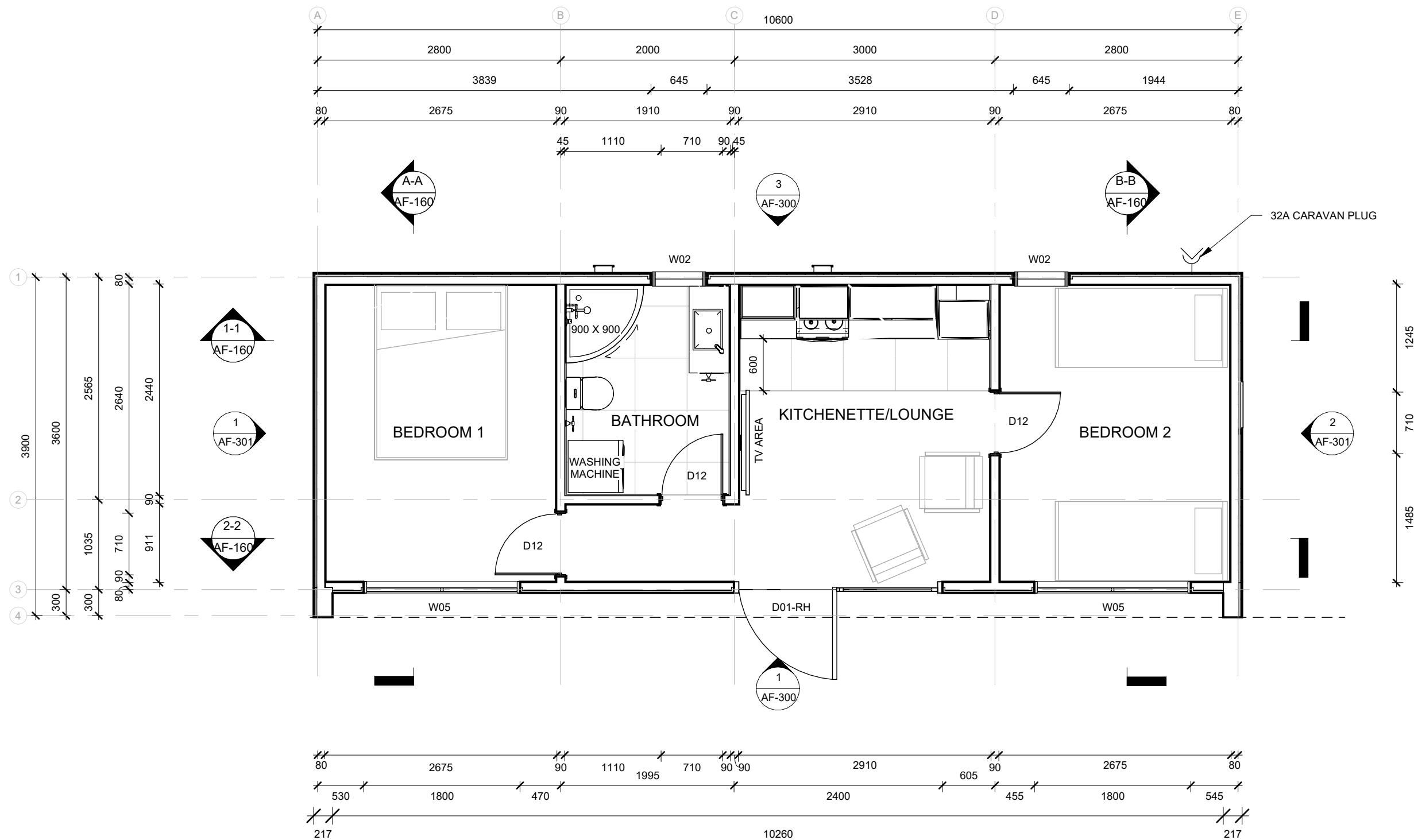
PROJECT: RA RESIDENCE

SHEET:

LANDSCAPE PLAN

DOCUMENT TRANSMITTAL		
REV	DESCRIPTION	DATE
A	BUILDING CONSENT	03/10/2024

DATE: 03/10/2024	REV: A	SCALE: 1:100
DRAWN: HB	SHEET NO: AF-100	
CHECKED: MA		





Existing Pohutukawa trees to be left to re-grow (Previously cut back)

Existing Cabbage trees to be retained

Existing screen of vegetation along eastern boundary to be retained

Existing Bottle Bush allowed to grow back

Existing Palm trees to be retained

Existing trees to be retained

Taiwan Cherry seedlings, Gorse & Ginger removed from site

Existing tree ferns on the site to be retained

Existing Agapanthus plants retained as require for topsoil stabilisation (can be retained as an alternative to bark mulch which would be hard to keep on steep slopes)

Unit 1

Unit 3

Unit 2

Car parking

Existing house

Joyces Road

Photo 1 - View from parking deck



Photo 2 - View from Joyces Road



Photo 3
View from parking deck towards 36 Joyces Road



Photo 4 - View from Joyces Road showing boundary between 32 & 36 Joyces Road



HAWTHORN
Landscape Architects

27/02/2025

**Existing Vegetation
to be Retained or Removed**

Rasmey Ra
32 Joyces Road, Paihia

Scale

1:200 @ A3

Drawing #

1.0

Drawn By

Cad Design

Rev #

A

1. This drawing is the property of Hawthorn Landscape Architects Ltd and must not be used, copied or reproduced without prior written permission.
2. Contractors shall verify and be responsible for all dimensions on site.
3. Do not scale off this drawing.
4. Landscape Architect to be notified of any variations between on site dimensions and those shown on the plan. Hawthorn Landscape Architects accepts no liability for unauthorised changes to the details changes to the details shown in these drawings.
5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

0 10 15 m



Joyces Road

Existing screen of vegetation along eastern boundary to be retained

Existing area of vegetation enhanced with underplanting
Schefflera digitata
Entelea arborescens
Tecoma stans
Trachelospermum jasminoides
(hedge along retaining wall)

Existing Palm trees to be retained

Existing trees to be retained

Callistemon Red Alert
(clipped as hedge in front of unit 3)

0 10 15 m



Plant Schedule

Code	Qty	Botanical Name	Common Name	Schedule Size
Alze	22	Alpinia zerumbet 'Variegata'	Variegated Shell ginger	PB5
Beyu	8	Beschorneria yuccoides	Mexican Lily	PB5
Card	28	Callistemon Red Alert	Red new fol.	PB5
Enar	9	Entelea arborescens	Whau	PB5
Hyfl	5	Hymenosporum flavum	Australian Frangipani	PB5
Lota	31	Lomandra longifolia 'Tanika'	Lomandra Grass	PB5
Maex	23	Macropiper excelsum	Kawakawa / Pepper Tree	PB5
Memp	3	Metrosideros 'Maori Princess'	Pohutukawa	PB5
Mode	16	Monstera deliciosa	Fruit Salad Plant	PB5
Scdi	42	Schefflera digitata	Pate	PB5
Stre	6	Strelitzia reginae	Bird of Paradise Flower	PB18
Test	12	Tecoma stans	Yellow Bells	PB5
Trja	23	Trachelospermum jasminoides	Star Jasmine groundcover	PB5



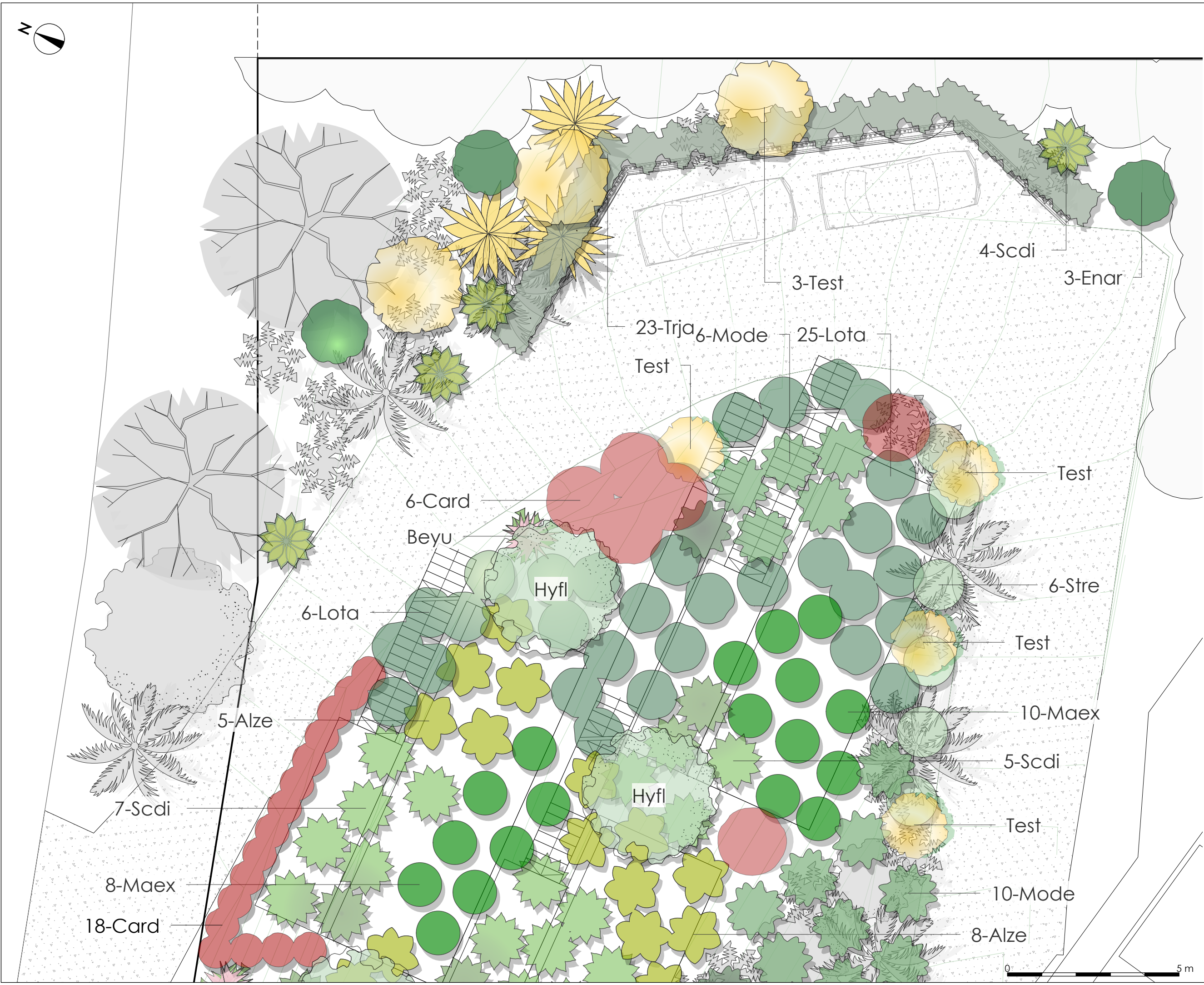
27/02/2025

Overall Landscape Plan to be Retained or Removed

Rasmey Ra
32 Joyces Road, Paihia

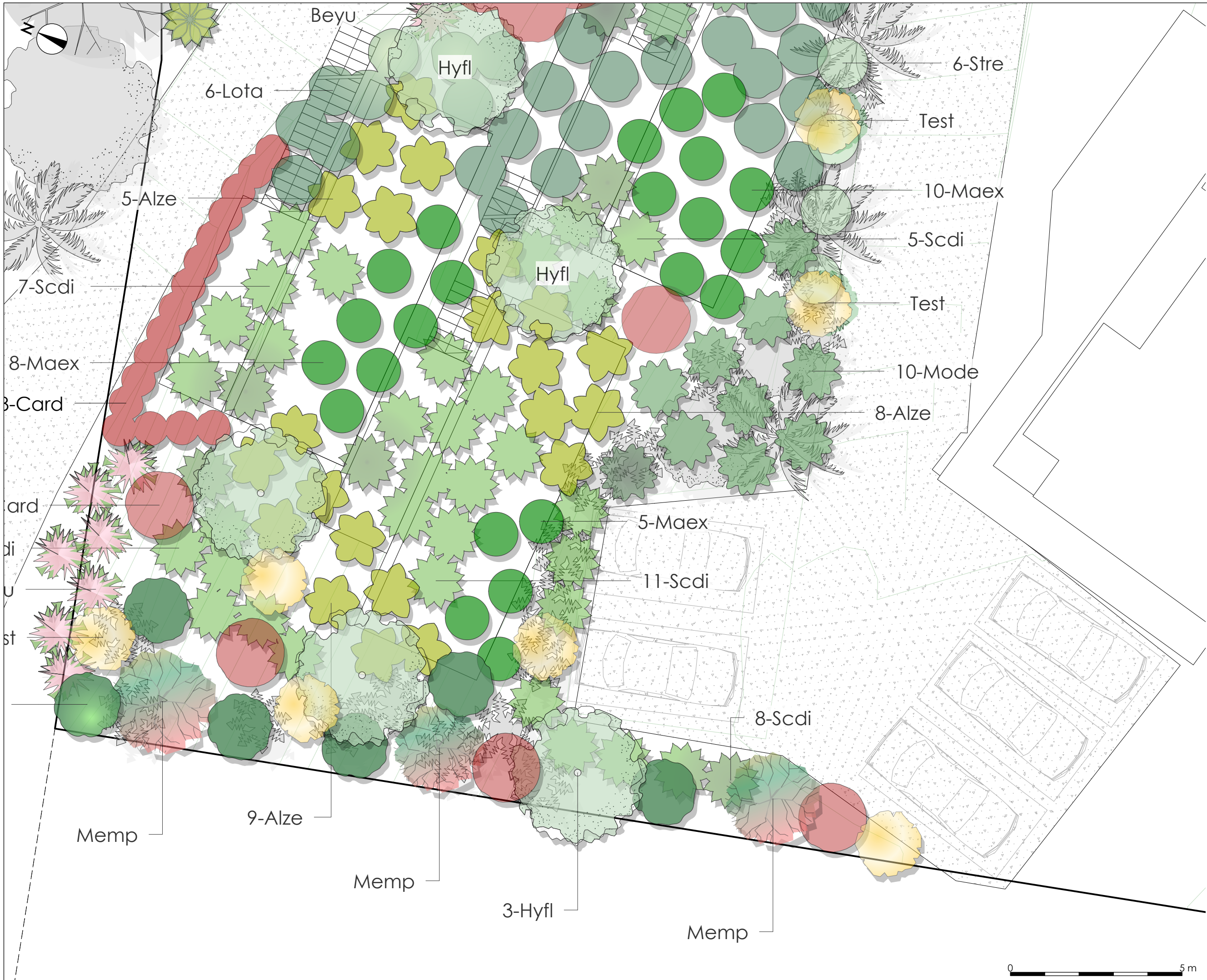
Scale	Drawn By
1:200 @ A3	Cad Design
Drawing #	Rev #
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- All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.



27/02/2025	
Landscape Plan	
Rasmey Ra 32 Joyces Road, Paihia	
Scale	Drawn By
1:100 @ A3	Cad Design
Drawing #	Rev #
3.0	A

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Alpinia zerumbet variegata



Beschorneria yuccoides



Callistemon Red Alert



Entelea arborescens



Hymenosporum flavum



Lomandra Tanika



Macropiper excelsum



Monstera deliciosa



Schefflera digitata



Strelitzia reginae



Tecoma stans



Trachelospermum jasminoides

Landscape Planting Implementation + Maintenance

Implementation Scope

The scope of the planting is:

- i. Preparation of planting areas;
- ii. Timing of planting;
- iii. Plant material;
- iv. Siting of plants in accordance with the planting plan;
- v. Planting;
- vi. Watering in newly planted shrubs, and;
- vii. General maintenance, and;
- viii. Weed pest and disease control.

Preparation of Planting Areas

- i. Undertake clearance of any exotic weed species.
- ii. The initial weed control should be carried out during the autumn months prior to the winter planting, when plants are still actively growing and therefore more susceptible to herbicides.
- iii. Spot spray planting areas three weeks before planting. A follow up spray should be applied if required.

For grasses spray:

- Spray 100ml glyphosate (e.g. Roundup)+ 20ml penetrant per 10litres water

Timing of Planting

- i. Planting shall only be undertaken when there is adequate ground moisture. If planting is undertaken early or late in the season, plants should be irrigated during any dry periods.

Plant Material

- i. Plants shall be purchased from a reputable nursery. All plants shall be best nursery stock, being healthy and vigorous. Root systems shall be well developed and in balance with the amount of foliage growth of the plant.
- ii. Root-bound plants or those with badly spiraling root systems shall not be acceptable. Plants should have a root ball of fine, fresh root growth. This should be sliced through vertically with a sharp knife when removing the planter bag.
- iii. Plants are to be planted as soon as possible after delivery and no later than 3 days after delivery.

Siting of Plants

- i. Planting shall be in accordance with and as shown on the Landscape Plans.

Planting

- iii. Plants should be well watered in their containers prior to planting.
 - iv. Holes for the larger (pb3 and above) plants should be dug approximately 1.5 times wider that the root ball, so that the roots are not cramped. Some loose soil should be left in the bottom of the hole to aid root growth and drainage.
 - v. Approximately one tablespoon of good quality eighteen to twenty-four month slowrelease fertiliser should be placed in the bottom of the plant hole, and mixed in with the loose soil, ensuring that the fertiliser is not sitting directly on the roots (as it may burn them).
 - vi. Soil returned around the roots should be firmed with the foot, with a small amount of loose soil left at the top of the hole.
 - vii. Holes for large plants may exceed the depth of topsoil. In these cases the subsoil is to be thoroughly broken and well mixed with topsoil, which has been added as a 100mm layer to the bottom of the planting hole. Any compacted soil pan is to be thoroughly broken by relevant measures ensuring good root penetration and drainage.
 - viii. Individual specimens should be planted approx 50mm proud of the existing ground level to prevent waterlogging.
 - ix. The base of the planting hole is to be filled and firmed with backfilling material to a level where the top of the plant root ball is level with surrounding ground.
 - x. All care shall be taken to keep the root ball of the plant intact during placement.
 - xi. Individual specimen trees shall be mulched with 70mm layer of bark mulch. The plantings with wetland covenant areas do not need to be barked mulched.
- The foreground and backdrop plantings can either be bark mulch per individual tree or whole planted area mulched.

Specimen Tree Planting


- i. Ground preparation to take place prior to planting; consisting of a 1m3 hole for each pb95 grade tree. Integrate existing soil within this hole with a 50/50 mix of locally sourced compost and topsoil.
- ii. Trees should be planted approx 50mm proud of the existing ground level to prevent waterlogging.
- iii. Finish with a 70mm layer of locally sourced, high quality mulch to a 1m diameter around tree trunk, do not mound up around trunk.
- iv. Stake trees with appropriate wooden stakes and soft tree tie.

Watering In

Immediately after planting all of the plants are to be thoroughly watered until the planting hole is saturated. The foliage of plants is also to be thoroughly wetted. This is to be done even if soil conditions are already wet.

General Maintenance

- i. Maintenance weed control should commence within three months following the planting, and then twice annually
- ii. Maintenance shall be undertaken for a minimum period of 3 years following practical completion in accordance with this specification and the accompanying plan.
- iii. Care should be taken to identify and control any weeds that may have been introduced to the property in potting mix associated with the new plants.
- iv. All weeds should be cleared from the site by appropriate physical and chemical control. The majority of weeds growing close to the plant can be pulled by hand (taking care not to damage the roots of the plant) or, if appropriate, sprayed with herbicide by an experienced operator.
- v. During this three-year maintenance programme, any dead plants will need to be replaced.

	
27/02/2025	
Implementation + Maintenance Rasmey Ra 32 Joyces Road, Paihia	
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28th February 2025

Kay Panther Knight
Forme Planning
8 Commerce Street
Auckland

Dear Kay

Re: Rasmey Ra – 32 Joyces Road Paihia – Proposed Units

I have prepared a comprehensive landscape planting design that will integrate the proposed development at 32 Joyces Road into the surrounding setting.

The proposed planting has been structured and designed to mitigate any potential dominance of the proposed buildings upon the streetscape and adjoining neighbours, particularly any effects upon the residence at 36 Joyces Road.

The site-specific landscape planting plan details:

- The location of existing vegetation to be retained and removed,
- The location and extent of proposed mitigation planting,
- Recommended species type, size and numbers,
- Planting palette, images depicting plants proposed, and a
- Implementation and Maintenance Schedule

On the site there are several weed species. It is recommended to remove the Taiwan Cherry seedlings, gorse and ginger. There is also a lot of Agapanthus plants, and although these are a weed species, some of the Agapanthus plants may be left where they are not in the way of new plantings as they provide a good ground cover that minimises runoff on the steep slopes.

Along the eastern boundary there is an existing backdrop screen of vegetation that will be retained. There are also specimen trees of Cabbage trees and Palms that will be retained. This area to the east of the driveway will be enhanced with other tree and shrub plantings as shown on the Landscape Plan. The plantings within this eastern area of the site will fully screen the proposal from the neighbour to the east.

Along the northern boundary to the east of the driveway the existing Pohutukawa and Bottle brush trees that have been cut back should be allowed to grow back. This will assist with providing a foreground setting to the development from Joyces Road. In addition, a tall growing hedge of Callistemon Red Alert planted in front of Unit 3 will screen the underside of this unit and visually soften the view of the developed from the driveway and Joyces Road.

As there is a good screen of existing vegetation along the northern side of Joyces Road the neighbours to the north will not have a permanent view the proposed development.

Other landscape plantings surrounding the units, including planting under the units will completely cover the site so that the units are set into a highly vegetated setting. In addition, there are some existing trees by the carparking deck and trees ferns on the site that provide a vegetated backdrop to the units when viewed from Joyces Road.



HAWTHORN

Landscape Architects

The use of bushy native species such as *Schefflera digitata*, and *Macropiper excelsum*, which are shade loving species, planted under the units, decks, stair areas will fill in this void so that the units don't look like they are protruding above the landscape.

Other species used to integrate the units and partially screen them from Joyces Road are tall narrow growing trees such as *Hymenosporum flavum*, *Metrosideros Māori Princess*, and *Tecoma stans*. These species will also be used along the western boundary with 36 Joyces Road.

Mass plantings of shrubs and trees along the western boundary adjoining 36 Joyces Road will provide a thick vegetated buffer between the development and residence at 36 Joyces Road. The tall growing species and the bushy underplanting's will visually screen the view from the car parking deck and Units when viewed from the western aspect.

The proposed plantings will retain the privacy for the residents of 36 Joyces Road and will also screen the view of the development so that any potential adverse visual and landscape effects generated by the proposal upon this neighbour are greatly minimised.

If you have any questions, please don't hesitate to contact me.

Yours sincerely

Christine Hawthorn
BLA (Hons.)
Hawthorn Landscape Architects Ltd.

Rasmey Ra
nary_hok2001@yahoo.com

16 April 2025

Our Ref: 250049-C
Reissue of: 250049-B

Dear Rasmey

Civil Engineering Assessment Proposed Development 32 Joyces Road, Paihia

1.0 Introduction

Riley Consultants Ltd (Riley) has been engaged by Rasmey Ra to prepare this letter in support of a Land Use Consent application to Far North District Council (Council) for a proposed development at the above address. This letter demonstrates how the development can be serviced with stormwater, wastewater, and water supply infrastructure. This letter also outlines the proposed mitigation requirements for erosion and sediment control.

2.0 Site Description

The site is located at 32 Joyces Road, Paihia and has a total site area of 2,108m². The legal title is Lot 1 DP 85120. The property is bounded by residential lots on the eastern, southern, and western boundaries. The northern boundary fronts on to Joyces Road. The site contains an existing dwelling with a concrete driveway and car parking. The remaining site area is pervious. The location of the site is shown in Figure 1, which also shows the Council GIS information including public stormwater, wastewater, water supply, and aerial photography. The Council GIS existing contours are shown on Figure 2. Refer to attached Riley Figure: 250049-FIG 1 for the existing site plan.

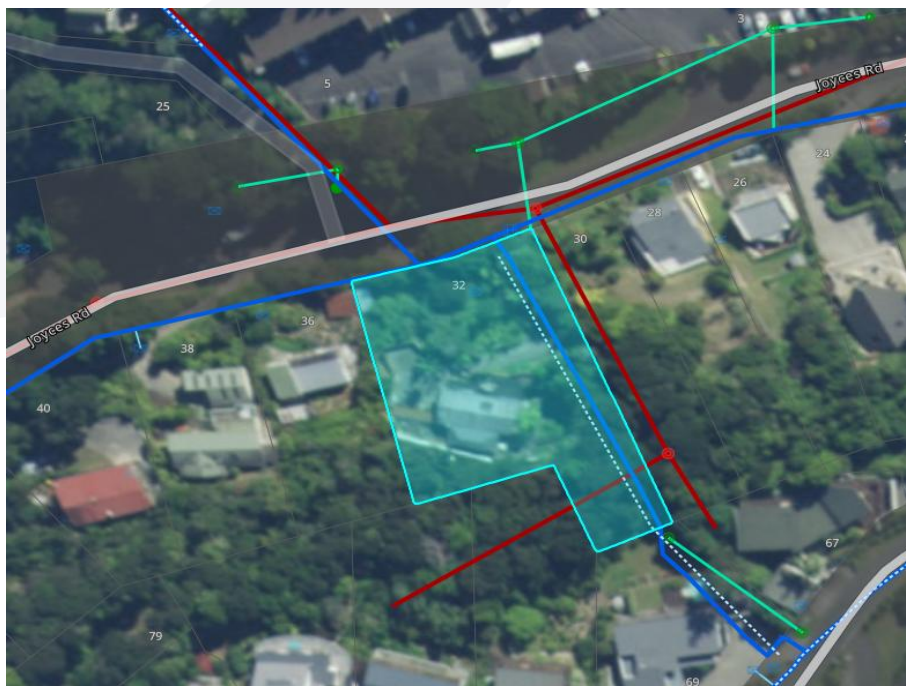


Figure 1: Site Location (Council GIS)

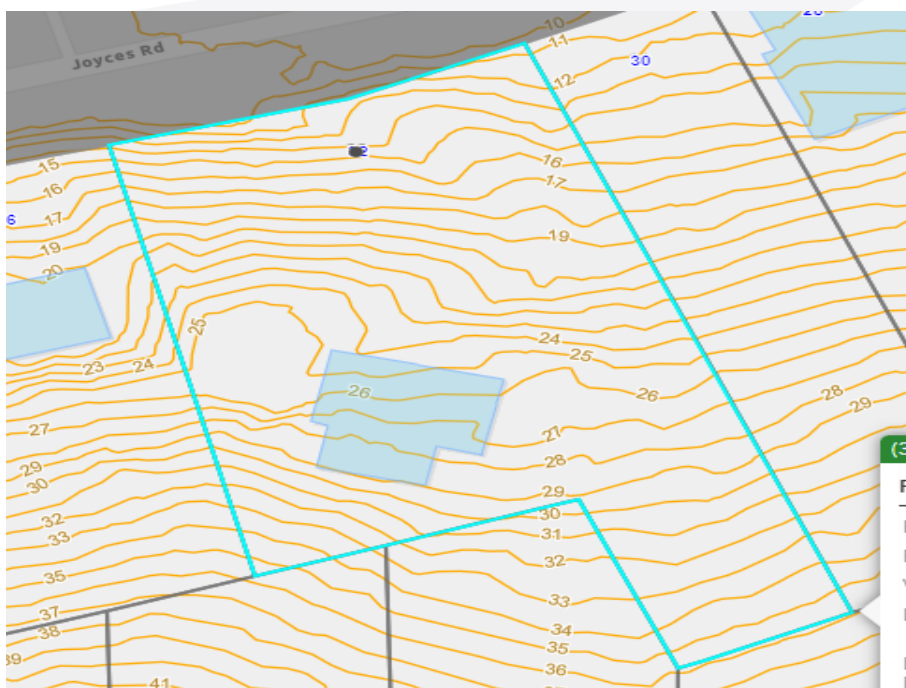


Figure 2: Existing Site Contours (Council GIS)

The site topography slopes from the southern boundary towards the northern boundary, with a relatively steep grade within the north-western portion of the site.

The land is zoned as Residential under the Council District Plan. This assessment has been undertaken with respect to the requirements of the Operative Far North District Plan 2009, Proposed Regional Plan for Northland (February 2024), and Council Engineering Standards.

3.0 Proposed Development

Development plans have been prepared by Site Scope Ltd which show the existing dwelling to be retained and three proposed new minor dwellings to be constructed. The existing concrete driveway will be used for access to the new dwellings. A new parking area is proposed, to be constructed adjacent to the existing driveway, to service the new dwellings. Refer to attached Riley Figure: 250049-FIG 2 for the proposed site plan.

4.0 Earthworks

Major earthworks will not be required as the existing site levels are to be maintained. The extent of earthworks will involve pile foundations for the new dwellings, excavations for the proposed parking area and associated low-height retaining wall and trenching for services.

It is envisaged that the material won from excavating the low-height retaining wall piles will be used to fill the proposed parking area prior to backfilling with pavement hardfill material. The earthwork volumes required to construct the proposed parking area and retaining wall have been estimated to be approximately 3m³ of cut and 3m³ of fill.

Erosion and sediment controls will need to be carried out in accordance with Council requirements and industry standard practice. This principally involves construction of a silt fence downslope of the construction areas. Refer to attached Riley Figure: 250049-FIG 3 for the proposed erosion and sediment control layout.

5.0 Stormwater

5.1 Existing Stormwater

The stormwater runoff from the existing dwelling is conveyed via an existing private stormwater pipe that discharges to an existing public 300mm-diameter concrete stormwater pipe at the north-eastern corner of site. The existing public 300mm-diameter pipe connects with a 1,200mm-diameter pipe on the northern side of Joyces Road.

5.2 Proposed Stormwater Management

It is proposed to construct private stormwater reticulation to convey the roof runoff from each of the three new minor dwellings. The runoff will be directed towards the existing private stormwater line which services the existing dwelling, ultimately discharging into the existing public stormwater pipe at the north-eastern corner of site. Refer to attached Riley Figure: 250049-FIG 2 for the proposed stormwater arrangement. Below is an image showing the existing inlet into the public stormwater network.



Figure 3: Existing Stormwater Connection

As the stormwater runoff from the site will be directed towards the public stormwater network and will not discharge to land or water, the activity is permitted under the Proposed Regional Plan for Northland (February 2024), Section C.6.4.

The proposed post-development impervious area coverage is 31.0%, and is therefore, a permitted activity under the Operative Far North District Plan 2009, Rule 7.6.5.1.6.

We have undertaken a capacity assessment of the existing 300mm-diameter pipe that has an available capacity of 111L/s using Colebrook-white formula, assuming 1% gradient. The calculated runoff values from the existing house and the neighbouring house, together with the proposed units, are approximately 11.1L/s (50% AEP) and 14.4L/s (20% AEP). Therefore, there is available capacity to cater for the development.

5.3 Existing Stormwater

As shown on Council GIS, an existing floodplain exists adjacent to the northern boundary of the site, on Joyces Road. This flood plain does not impede on the site. In accordance with the Council Engineering Standards, an assessment of the effects of the increased roof area on the flood hazard has been undertaken. The increase in impervious area relative to the flood plain catchment is 0.07%. It is considered the increased impervious area will have negligible effect on the flood hazard and will not increase flood risk to neighbouring properties.

Refer to attached stormwater calculations for a summary of the proposed site coverage and assessment of the effects on the flood hazard.

6.0 Wastewater

6.1 Existing Wastewater

The wastewater discharge from the existing dwelling is conveyed via an existing private wastewater pipe that discharges to an existing public 150mm-diameter wastewater line on Joyces Road.

6.2 Proposed Wastewater

It is proposed to construct private wastewater reticulation to convey the wastewater discharge from each of the three new minor dwellings. The discharge will be directed towards the existing private wastewater line, which services the existing dwelling, ultimately discharging into the existing public wastewater line on Joyces Road. Refer to the attached Riley Figure: 250049-FIG 2 for the proposed wastewater infrastructure arrangement.

The proposed demand on the public wastewater network has been calculated in accordance with the Council Engineering Standards. The flows are based on a typical domestic household of four people for the new dwellings and six people for the existing dwelling, with an Average Dry Weather flow of 200L/person/day, and a peaking factor for peak wet weather flows of 5. This equated to a peak wet weather flow of 0.208L/s for the development. Refer to attached wastewater calculations for a summary of the proposed discharge flows. It is expected that the existing public network has capacity to cater for this small increase in flow.

7.0 Water Supply

7.1 Existing Site Servicing

As shown on Council GIS, there is an existing 125mm-diameter (OD) public water supply line which traverses through the site, adjacent to the eastern site boundary. This line connects to an existing public water supply line which runs along the northern site boundary, adjacent to Joyces Road. An existing public water meter is located within the site, near the northern site boundary. It is assumed that the existing dwelling is serviced by a connection to this water meter.

7.2 Proposed Site Servicing

It is proposed to maintain the existing public water supply connection and construct private water supply reticulation connecting to the existing public water meter to service the three additional dwellings. The existing public water supply line which traverses through the site will need to be realigned and/or protected, in accordance with Council requirements, to allow for construction of the proposed parking area. Refer to attached Riley Figure: 250049-FIG 2 for the proposed water supply infrastructure arrangement.

Refer to attached water supply calculations for a summary of the proposed water supply demand. It is intended that this information is used by Council to confirm that the existing public network has capacity to cater for the additional three dwellings.

7.3 Fire Fighting

The Council GIS shows an existing public fire hydrant adjacent to the northern site boundary, available for fire-fighting purposes. No additional water supply requirements are anticipated for fire-fighting purposes.

8.0 Limitation

This letter has been prepared solely for the benefit of Rasmey Ra as our client with respect to the brief and Council in processing the consent. The reliance by other parties on the information or opinions contained in the letter shall, without our prior review and agreement in writing, be at such parties' sole risk.

Opinions and judgements expressed herein are based on our understanding and interpretation of current regulatory standards and should not be construed as legal or planning opinions. Where opinions or judgements are to be relied on, they should be independently verified with appropriate advice.

If you have any queries, please do not hesitate to contact the undersigned.

Yours faithfully
Riley Consultants Ltd

Prepared by:



Talal El-Jack
Civil Engineer

Reviewed by:



Chris Jennins
Principal Civil Engineer

Approved for issue by:



Arthur Amputch
Project Director, CPEng

Enc: Stormwater, Wastewater, and Water Supply Calculations
Riley Figures: 250049-FIG 1 to -FIG3



Attachment 1



Stormwater, Wastewater, and Water Supply Design Calculations

Prepared for:

Rasmey Ra

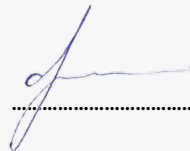
Prepared by:

Talal El-Jack, Civil Engineer

A handwritten signature in blue ink, appearing to read 'T. El-Jack', positioned above a dotted line.

Checked by:

Chris Jennins, Principal Civil Engineer

A handwritten signature in blue ink, appearing to read 'C. Jennins', positioned above a dotted line.

Reviewed and approved for issue
by:

Arthur Amputch, Project Director, CPEng


A handwritten signature in blue ink, appearing to read 'Arthur R. Amputch', positioned above a dotted line.

Report reference:

250049

Date:

16 April 2025

	4 Fred Thomas Drive, Takapuna, Auckland 0622 PO Box 100253, North Shore, Auckland 0745 Tel: 09 489 7872 Email: riley@riley.co.nz	Project No:	250049	Page	1	of	7
		Project:	32 Joyces Road				
	22 Moorhouse Avenue, Addington, Christchurch 8011 PO Box 4355, Christchurch 8140 Tel: 03 379 4402 Email: rileychch@riley.co.nz	Calc:	TEJ	Date:	25/03/2025		
		Check:	CJ	Date:	25/03/2025		
Description:	Stormwater Calculations						


Objectives

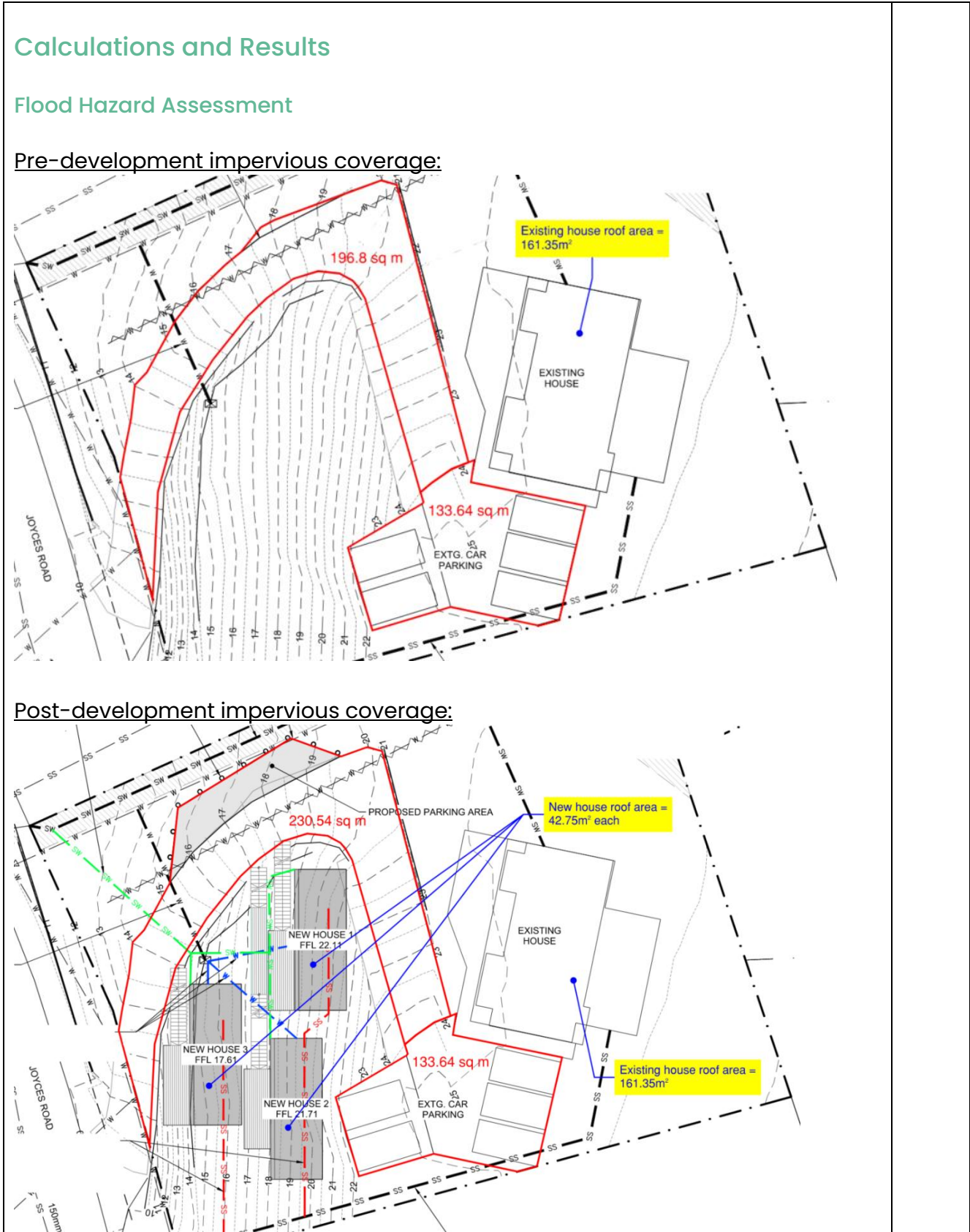
- Assess the effects of the increased impervious surface area as a result of the proposed project on the flood hazard adjacent to the site.
- Undertake a capacity assessment on the existing downstream public stormwater culvert where it is intended to discharge roof runoff from the site.
- Calculations intended to support a Resource Consent application.


Design Philosophy

Catchment area contributing to the floodplain adjacent to the site has been compared to the additional impervious area as a result of the proposed project to assess flood hazard risk.

Stormwater calculations to determine peak discharge for downstream capacity assessment carried out using the Rational Method. Design parameters in accordance with Far North District Council Engineering Standards (FNDC ES).

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Description:	Stormwater Calculations						

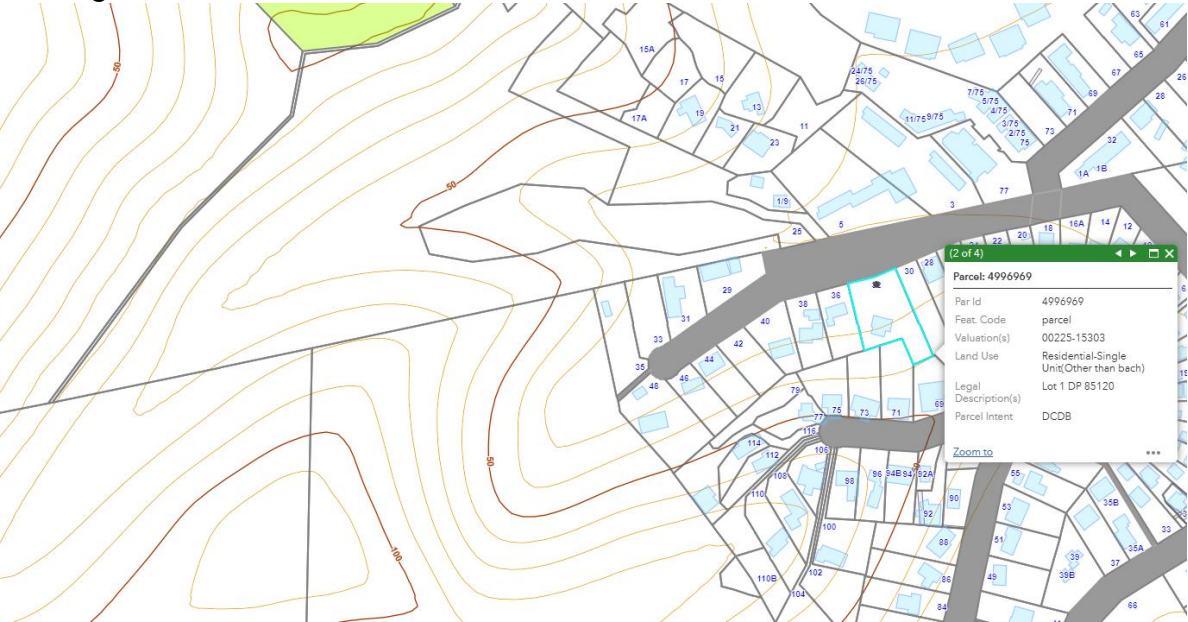



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		Project:	32 Joyces Road					
		Calc:	TEJ	Date:	25/03/2025			
		Check:	CJ	Date:	25/03/2025			
Description:	Stormwater Calculations							

Flood plain adjacent to site (Council GIS):

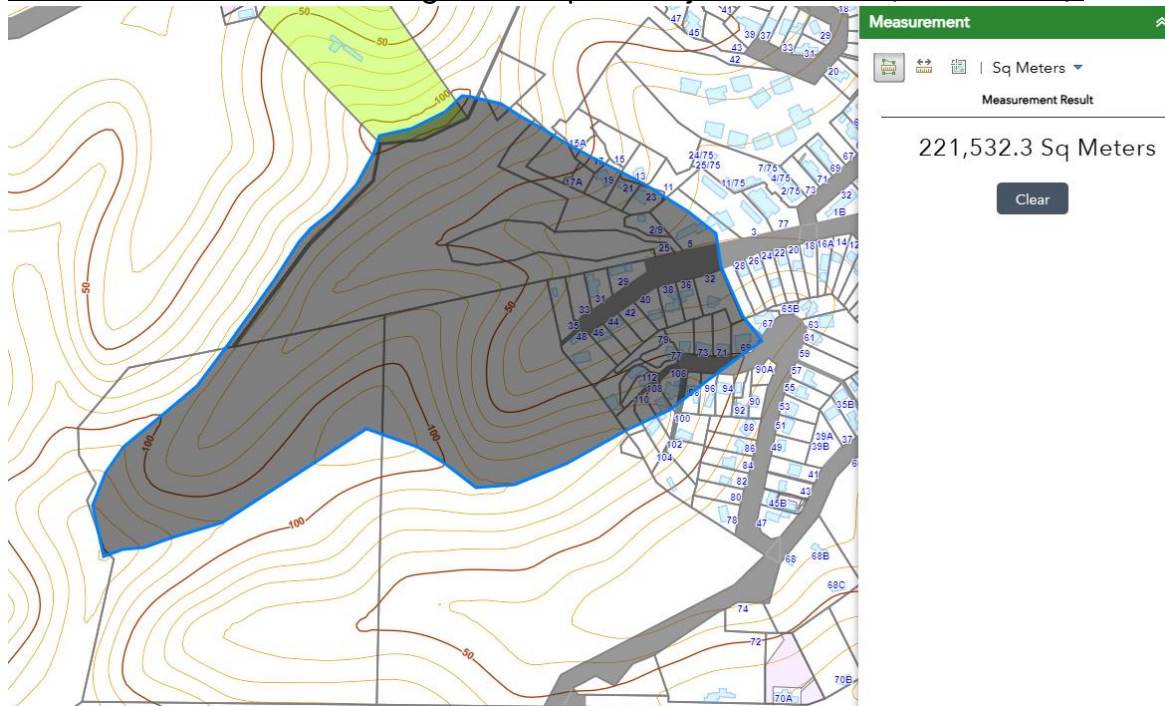


Existing contours (Council GIS):



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	22 Moorhouse Avenue, Addington, Christchurch 8011 PO Box 4355, Christchurch 8140 Tel: 03 379 4402 Email: rileychch@riley.co.nz	Calc:	TEJ	Date:	25/03/2025		
		Check:	CJ	Date:	25/03/2025		
Description:	Stormwater Calculations						

Catchment area contributing to flood plain adjacent to site (Council GIS):



Site coverage summary:

	Total area (m ²)	Impervious area (m ²)	Impervious area (%)
Pre-development	2,108	492	23.3
Post-development	2,108	654	31.0


- Total increase in impervious area is 162m² (7.7% of total site area)

Flood hazard assessment:

Existing catchment area contributing to flood plain = 221,532m²

Additional impervious area = 162m² = 0.07% of total flood plain area

The additional contributing impervious area to the flood plain adjacent to the site is negligible relative to the overall contributing catchment. Note that this additional impervious area is already contributing to the flood plain (existing pervious area); the development will only incrementally increase the contributing secondary flow runoff due to the reduced area for soil infiltration. It is therefore expected that the increased impervious area will have negligible effect on the flood hazard.

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		Project:	32 Joyces Road				
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Description:	Stormwater Calculations						


Downstream Capacity Assessment

Roof runoff from the existing dwelling on the site currently discharges to the existing public stormwater culvert at the northeastern corner of site. There is an existing drainage easement which runs from a neighbouring property (71 School Road) towards the existing stormwater culvert; therefore, it is assumed that roof runoff from this neighbouring property also discharges to the existing stormwater culvert.

See below summary of existing and proposed catchment areas discharging to the existing public stormwater culvert (screenshot of Council GIS showing existing dwelling on neighbouring property shown under the table):

Catchment	Roof area (m ²)
Existing dwelling on proposed site	161.35
Existing dwelling on neighbouring property	186.78
Pre-development total	348.13
Proposed dwellings on proposed site	128.25
Post-development total	476.38



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		Check:	CJ	Date:	25/03/2025			
Description:	Stormwater Calculations							

Design parameters:

- The runoff coefficient used for impervious roof is $C = 0.96$, based on Table 4-3 in the FNDC ES.
- Assuming 10 minutes for time of concentration, t_c (conservative).
- Stormwater runoff was assessed against the 50% and 20% AEP storm events, in accordance with the FNDC ES for primary design flows.
- Design rainfall intensity was obtained from HIRDS NIWA and increased by 20% to account for climate change (CC), in accordance with the FNDC ES.

Rainfall Event	Historical 10min Rainfall Intensity (mm/hr)	Design 10min Rainfall including Climate Change effects (mm/hr)
50% AEP	72.7	87.2
20% AEP	94.4	113.3

Rational method calculation and results:

$$Q = CiA$$

Q = Peak discharge

C = Dimensionless runoff coefficient

i = rainfall intensity for duration equal to catchment time of concentration


A = Catchment area

Scenario	Peak discharge, Q (m ³ /s)
50% AEP Pre-development (no CC effects)	0.0067
50% AEP Post-development (incl. CC effects)	0.0111
20% AEP Pre-development (no CC effects)	0.0088
20% AEP Post-development (incl. CC effects)	0.0144

Post-development design flows:

50% AEP – 11.1L/s

20% AEP – 14.4L/s

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		Project:	32 Joyces Road				
	22 Moorhouse Avenue, Addington, Christchurch 8011 PO Box 4355, Christchurch 8140 Tel: 03 379 4402 Email: rileychch@riley.co.nz	Calc:	TEJ	Date:	25/03/2025		
		Check:	CJ	Date:	25/03/2025		
Description:	Stormwater Calculations						

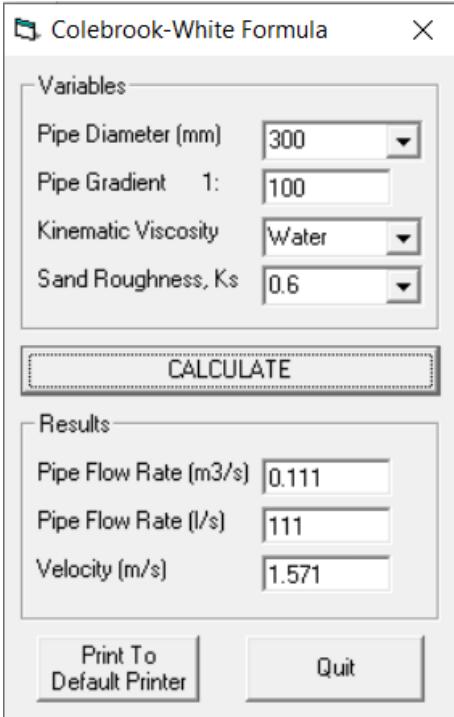
Existing public stormwater culvert capacity:

The stormwater runoff from the proposed development will be conveyed downstream towards the existing public stormwater culvert via the proposed private reticulation.


Existing stormwater culvert capacity calculated using Colebrook-White Formula with the following parameters:

- Diameter = 300mm (Source: Council GIS)
- Material = Concrete (Source: Council GIS)
- Gradient assumed to be 1%
- Roughness coefficient, K_s = 0.6mm (more conservative than minimum roughness coefficient provided in Section 4.3.10.5 of the FNDC ES)

See below results:



The existing public stormwater culvert has a capacity of 111L/s, with post-development design flows (including climate change effects) of 11.1L/s (50% AEP) and 14.4L/s (20% AEP). It is therefore expected that the existing piped network can accommodate the proposed development with no surcharge, which complies with the FNDC ES.

	4 Fred Thomas Drive, Takapuna, Auckland 0622 PO Box 100253, North Shore, Auckland 0745 Tel: 09 489 7872 Email: riley@riley.co.nz	Project No:	250049	Page	1	of	2
		Project:	32 Joyces Road				
	22 Moorhouse Avenue, Addington, Christchurch 8011 PO Box 4355, Christchurch 8140 Tel: 03 379 4402 Email: rileychch@riley.co.nz	Calc:	TEJ	Date:	10/02/2025		
		Check:	CJ	Date:	03/03/2025		
Description:	Wastewater Calculations						


Objective

Determine the pre- and post-development wastewater discharge flows for the proposed residential project. Calculations intended to support a Resource Consent application.

Design Philosophy

Wastewater design flow analysis undertaken in accordance with the Far North District Council (FNDC) Engineering Standards (ES).

The Auckland Regional Council (ARC) "On-site Wastewater Systems: Design and Management Manual" Technical Publication No.58 (TP58) was used to determine the existing dwelling occupancy allowance (more conservative than occupancy allowance provided in FNDC ES).

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		Project:	32 Joyces Road				
	22 Moorhouse Avenue, Addington, Christchurch 8011 PO Box 4355, Christchurch 8140 Tel: 03 379 4402 Email: rileychch@riley.co.nz	Calc:	TEJ	Date:	10/02/2025		
		Check:	CJ	Date:	03/03/2025		
Description:	Wastewater Calculations						

Calculations and Results

Wastewater Flow Allowances

Design inflows (average daily dry weather flows) taken from FNDC ES, Table 5-1:

- Allowance of 200 litres / person / day (L/p/d) for households using reticulated source of water supply.

Occupancy Allowance – Existing Dwelling

Occupancy allowance for the existing house was taken from ARC TP58 Table 6.1:

- 4 Bedroom Home: 6 Occupants

Occupancy Allowance – Proposed Dwellings

Occupancy allowance for the proposed new houses was taken from FNDC ES:

- Number of people per Household unit = 4
 - Note this is consistent with the proposed architectural floor plans, which indicate a total of 2 bedrooms (1 double bed and 2 single beds).

Design Wastewater Volumes


	No. of Units	Total Occupancy	Flow Allowance (L/p/d)	Total Wastewater Production (m³/d)
Existing house	1	6	200	1.2
Total Pre-Development Design Wastewater Production				1.2
New houses	3	12	200	2.4
Total Post-Development Design Wastewater Production				3.6

Wastewater Discharge Flows

The proposed wastewater flows for the project have been calculated in accordance with the FNDC ES:

	Average Dry Weather Flows (over 24hrs) (L/s)	Dry Weather Peak Flows (L/s)	Peak Wet Weather Flows (L/s)
Pre-Development	0.014	0.035	0.069
Post-Development	0.042	0.104	0.208

- Peaking factors for dry weather peak and peak wet weather flows taken as 2.5 and 5, respectively, in accordance with FNDC ES.

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		Project:	32 Joyces Road				
	22 Moorhouse Avenue, Addington, Christchurch 8011 PO Box 4355, Christchurch 8140 Tel: 03 379 4402 Email: rileychch@riley.co.nz	Calc:	TEJ	Date:	10/02/2025		
		Check:	CJ	Date:	03/03/2025		
Description:	Water Supply Calculations						


Objective

Determine the pre- and post-development water supply demands for the proposed residential project. Calculations intended to support a Resource Consent application.

Design Philosophy

Potable water average, peak day, and peak hourly demand flows calculated in accordance with the Far North District Council (FNDC) Engineering Standards (ES).

The Auckland Regional Council (ARC) "On-site Wastewater Systems: Design and Management Manual" Technical Publication No.58 (TP58) was used to determine the existing dwelling occupancy allowance (more conservative than occupancy allowance provided in FNDC ES).

	4 Fred Thomas Drive, Takapuna, Auckland 0622 PO Box 100253, North Shore, Auckland 0745 Tel: 09 489 7872 Email: riley@riley.co.nz	Project No:	250049	Page	2	of	2
		Project:	32 Joyces Road				
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		Check:	CJ	Date:	03/03/2025		
Description:	Water Supply Calculations						

Calculations and Results

Water Supply Allowances

Domestic demand taken from FNDC ES, Section 6.2.2.3:

- Allowance of 300 litres / person / day (L/p/d).

Occupancy Allowance – Existing Dwelling

Occupancy allowance for the existing house was taken from ARC TP58 Table 6.1:

- 4 Bedroom Home: 6 Occupants

Occupancy Allowance – Proposed Dwellings

Occupancy allowance for the proposed new houses was taken from FNDC ES:

- Number of people per Household unit = 4
 - Note this is consistent with the proposed architectural floor plans, which indicate a total of 2 bedrooms (1 double bed and 2 single beds).

Design Water Supply Volumes

	No. of Units	Total Occupancy	Demand Allowance (L/p/d)	Total (L/d)
Existing house	1	6	300	1,800
Total Pre-Development Design Water Supply Volume				1,800
New houses	3	12	300	3,600
Total Post-Development Design Water Supply Volume				5,400

Water Supply Demand

The water supply peak flows for the project have been calculated in accordance with the FNDC ES:

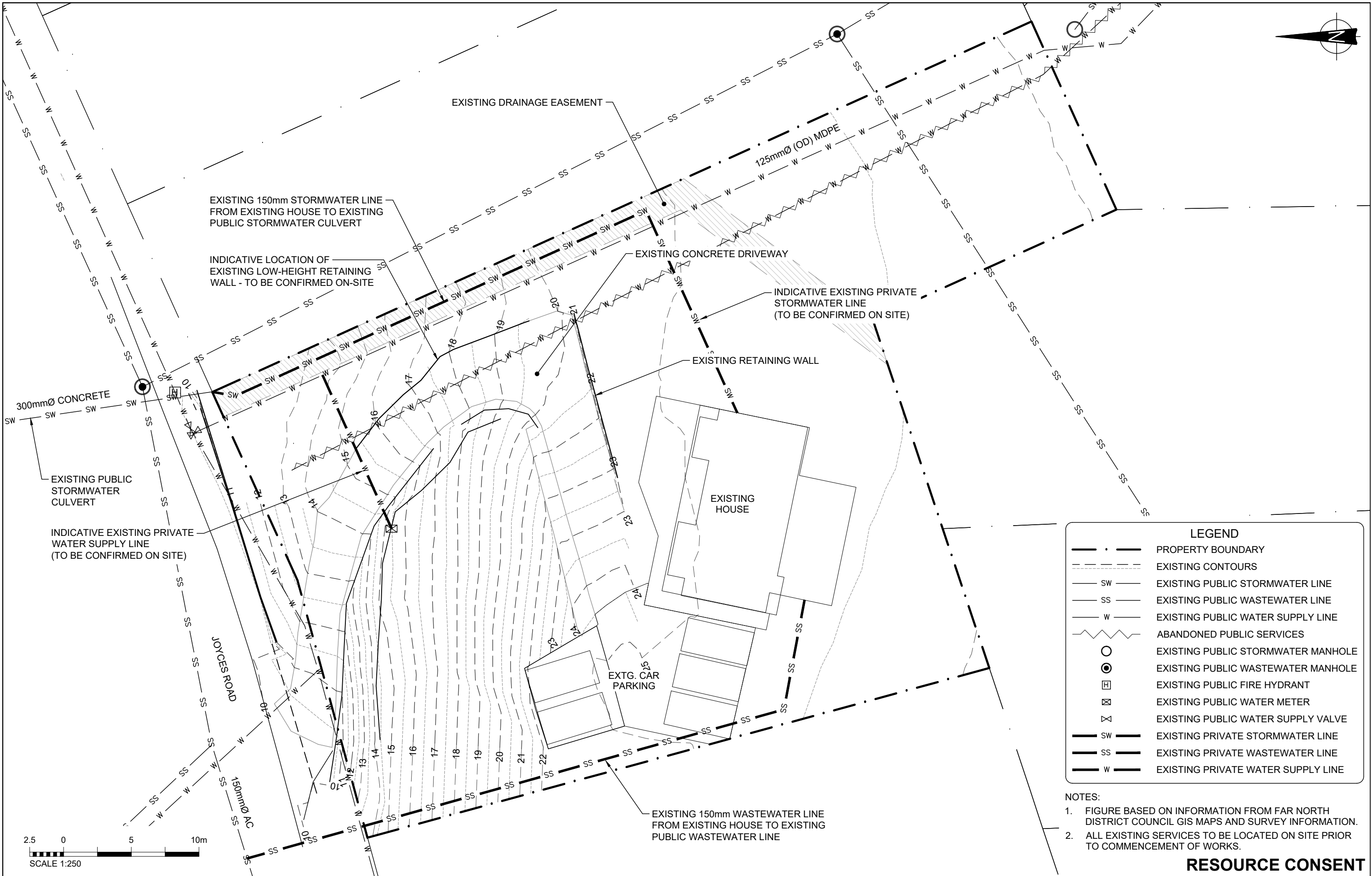
	Average Demand (L/s)	Peak Day Demand (L/s)	Peak Hourly Demand (L/s)
Pre-Development	0.02	0.04	0.10
Post-Development	0.06	0.13	0.31

- Peaking factors for peak day and peak hourly demand taken as 2 and 5, respectively, in accordance with FNDC ES.




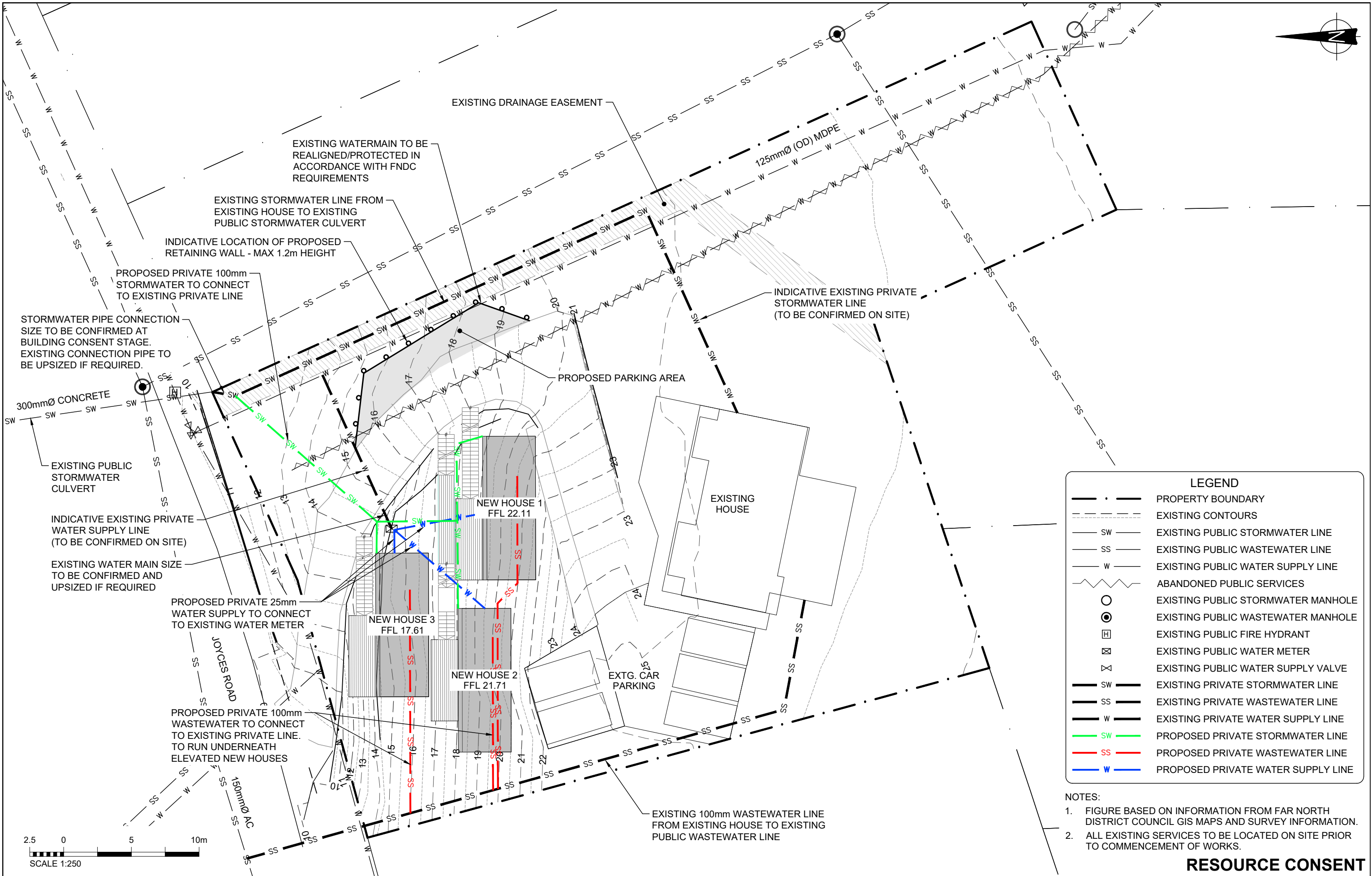
Attachment 2




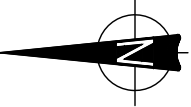


RESOURCE CONSENT

						PREP. BY TEJ	REVD. BY CJ	 www.riley.co.nz		CLIENT	RASMEY RA		CADFILE		
					APPROVED FOR ISSUE		ADDRESS			32 JOYCES ROAD, PAIHIA		250049-FIG 1.dwg		SCALE (A3)	ORIG. SHEET SIZE
					A. AMPUTCH		PROJECT			CIVIL ASSESSMENT		1:250		A3	
A	04.03.25	ISSUED FOR RESOURCE CONSENT			FY					SHEET TITLE	EXISTING SITE PLAN		DRAWING No.	REV.	
REV	DATE	ISSUE			BY							250049-FIG 1		A	



					PREP. BY TEJ		REV. BY CJ		 www.riley.co.nz				CLIENT ADDRESS PROJECT SHEET TITLE		RASMEY RA 32 JOYCES ROAD, PAIHIA CIVIL ASSESSMENT PROPOSED SITE PLAN		CADFILE 250049-FIG 2.dwg			
B 16.04.25 ISSUED FOR RESOURCE CONSENT			FY				SCALE (A3) 1:250										ORIG. SHEET SIZE A3			
A 04.03.25 ISSUED FOR RESOURCE CONSENT			FY				DRAWING No. 250049-FIG 2										REV. B			
REV	DATE	ISSUE			BY		A. AMPUTCH													



LEGEND

PROPERTY BOUNDARY

EXISTING CONTOURS

SF

PROPOSED SILT FENCE

RESOURCE CONSENT

A	04.03.25	ISSUED FOR RESOURCE CONSENT		FY
REV	DATE	ISSUE		BY

PREP. BY	REVD. BY
TEJ	CJ
APPROVED FOR ISSUE	
A. AMPUTCH	



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CLIENT	RASMEY RA
ADDRESS	32 JOYCES ROAD, PAIHIA
PROJECT	CIVIL ASSESSMENT
SHEET TITLE	PROPOSED EROSION AND SEDIMENT CONTROL LAYOUT

CADFILE	
250049-FIG 3.dwg	
SCALE (A3)	ORIG. SHEET SIZE
1:250	A3
DRAWING No.	REV.
250049-FIG 3	A

Transport Impact Assessment Report February 2025



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Document Status

Rev No.	Project No.	Author	Reviewer		Approved for Issue		
			Name	Signature	Name	Signature	Date
A		David Spoonley			David Spoonley		February 2025
B		David Spoonley			David Spoonley		March 2025
C		David Spoonley			David Spoonley		March 2025
D		David Spoonley			David Spoonley		April 2025
E							
F							

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1. Brief

This report addresses the transport effects of a proposed intensification of use at 32 Joyces Road, Paihia.

2. Proposal

The proposal is to construct an additional three residential units on the subject lot, Lot 1 DP 85120 located at 32 Joyces Road, Paihia,

Lot 1 DP 85120 current has one residential dwelling and is 2,109m² in area.

The additional three units will be accessed via the existing driveway from Joyces Road.

3. Site

The site is shown in **Figure 1**.

The site is zoned Residential under the Operative District Plan.

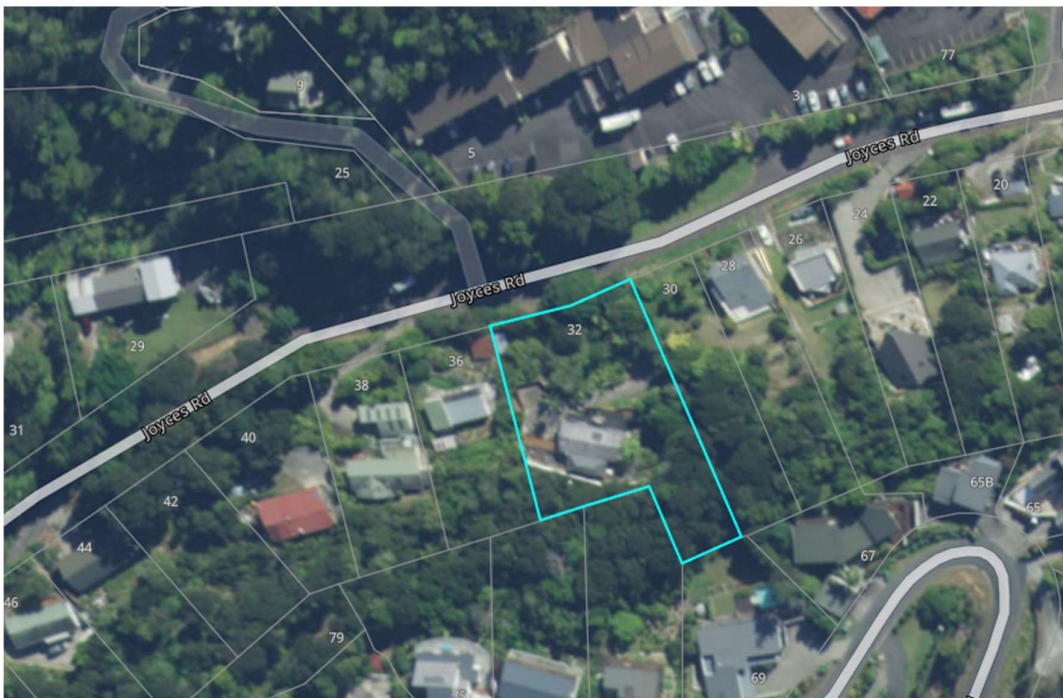


Figure 1: Site Location

The site is accessed off Joyces Road, Under the One Network Road Classification Joyces Road is classified as a Low Volume Road. Joyces Road comprises of two parts, The section of Joyces Road between its intersection with School Road and Williams Road is not considered in this assessment.

Mobile Roads website indicates and Annual Average Daily Traffic on Joyces Road of 208 vehicles per day with 4% heavy vehicles.

This section of Joyces Road is a no exit road serving approximately 30 properties.

4. Traffic Generation

The Far North District Council Operative District Plan provides traffic intensity factors in Appendix 3A

Using Appendix 3A the existing dwelling is assessed as a 'Standard Residential Unit and the three proposed dwellings are assessed a Home Unit/Town House

Table 1 below give the anticipated traffic generation.

Category	Number	Vehicle movements/unit	Total
Standard Residential Unit	1	10	10
Home Unit/Town House	3	7	21
		Total	31

Table 1: Anticipated traffic generation

In accordance with Section 15.1.6A of the Operative District Plan the proposed used is a Restricted Discretionary Activity.

5. The Road/Access Network

5.1. The Intersection between Joyces Road and Williams Road.

5.1.1. Visibility

The operating speed on all approaches to this intersection is assessed as 40km/h. the posted speed limit is 30km/h.

Table 2 below indicates the sight distance as measured on site. With the exception of Vector AD, all vectors pass the requirements of Austroads Part 3 Geometric Design Stopping Sight Distance. Photographs of the visibility vectors are in **Figures 3-7** below.

Vector AD is below the stopping sight distance required by Austroads Part 3. This is primarily due to the vegetation on the inside of the curve. The visibility in Vector AD is primarily to prevent stationary vehicle waiting to turn being run into by following vehicles. However, given the low traffic and low speeds this scenario is considered very low risk. The 30m visibility therefore considered adequate.

	Austroads Part 3 Geometric Design Stopping Sight Distance Requirement (based upon RT of 2 seconds and d of 0.46)	Measured Vectors			
		Vector AC	Vector AD	Vector BC	Vector BD
Williams Road	40m	55m (P)	30m (F)	55m (P)	47m (P)
(P) = Passes WDC EES, (F) = Fails WDC EES					

Table 2 : Measured sight lines

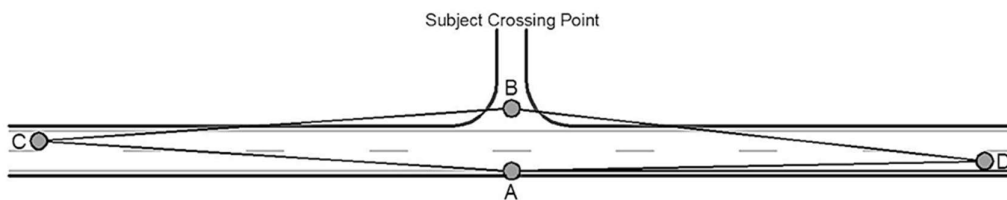


Figure 2: Sight Distance Vectors



Figure 3 : Intersection Joyces Road and Williams Road. Vector BC 55m visibility.



Figure 4 : Intersection Joyces Road and Williams Road. Vector AC 55m visibility.



Figure 5 : Intersection Joyces Road and Williams Road. Vector BD 47m visibility.



Figure 6 : Intersection Joyces Road and Williams Road. Vector AD 30m visibility.



Figure 7 : Intersection Joyces Road and Williams Road, looking into Joyces Road.

5.1.2. Crash History

The Waka Kotahi NZ Transport Agency CAS Database shows there have been no recorded crashes within 100m of the intersection with Joyces Road in the last 5 years from 2019-2023.

5.1.3. Intersection Form

The current intersection is a simple intersection with a Give Way control on Joyces Road, this is considered adequate for this situation.

Given the existing number of users on Joyces Road, the proposed intensification of use would only add a further small percentage of traffic. To modify an intersection that is functioning efficiently and safely is not reasonable.

5.2. Joyces Road (Ref B).

Between the intersection with Williams Road and the access to 32 Joyces Road, Joyces Road is 6m wide to the access to the hotel and 4.5m wide beyond that access, refer to **Figure 8**. This width is acceptable as a 2-way road. The proposed development will only add a relatively small percentage of additional traffic and given that there are no recorded problems with the operation of this section of Joyces Road no improvements are proposed.

The section of Joyces Road between the intersection of Williams Road and the hotel entrance is used for roadside parking. Even with parked vehicles there is still 6m seal with at this point.

There are no formal pedestrian facilities on Joyces Road, however there is a mown berm on the north side of the road. Given the low traffic volume and slow vehicle speeds this is considered adequate.



Figure 8: Joyces Road

5.3. Access to No32 Joyces Road

5.3.1. Visibility

The operating speed on Joyces Road is assessed as being 40km/h.

Table 3 below indicates the sight distance as measured on site. All vectors pass the requirements of Austroads Part 3 Geometric Design Stopping Sight Distance. Photographs of the visibility vectors are in **Figures 10-14** below. In addition, the Far North District Council Engineering Standards (Sheet 4) requires 45m visibility for a driveway onto a Low volume road with a posted speed of 40km/h. The access to No32 Joyces Road is complaint with this requirement

	Austroads Part 3 Geometric Design Stopping Sight Distance Requirement (based upon RT of 2 seconds and d of 0.46)	Measured Vectors			
		Vector AC	Vector AD	Vector BC	Vector BD
Joyces Road	40m	80m (P)	60m (P)	80m (P)	60m (P)
(P) = Passes WDC EES, (F) = Fails WDC EES					

Table 3 : Measured sight lines

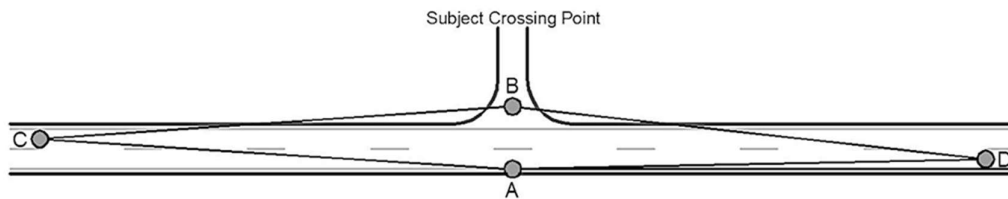


Figure 9: Sight Distance Vectors



Figure 10 : Access to 32 Joyces Road, Vector BC 80m visibility.



Figure 11 : Access to 32 Joyces Road, Vector AC 80m visibility.



Figure 12 : Access to 32 Joyces Road, Vector BD 60m visibility.



Figure 13 : Access to 32 Joyces Road, Vector AD 60m visibility.



Figure 14 : Access to 32 Joyces Road, looking into access.

5.3.2. Vehicle Crossing Form

The existing vehicle crossing is 3m wide, steeply graded up from Joyces Road and is formed in concrete. **Figure 14** shows the existing vehicle access. Given the local topography, the access leaves Joyces Road at an oblique angle. Any vehicles using the access have to proceed a short distance pass the access, loop around in a large sealed area before approaching the access from the west. The same manoeuvre would apply in the opposite direction. **Figure 15** shows this arrangement.



Figure 15 : The vicinity of the access to 32 Joyces Road. Red line shows the approach to the access.

Whilst slightly unconventional, given the low traffic volumes and vehicles speeds this arrangement should not cause any road safety concerns

The access is broadly compliant with a residential vehicle crossing shown on FNDC Engineering Standards, Sheet 18.

5.4. Vehicle Manoeuvring and Parking

The proposed site plan in **Appendix A** shows a total of six parking places on the property. Four of these parking spaces and turning area are located adjacent to the existing property and two are located in a layby on the existing driveway. Two of the six spaces are in a layby at the mid point of the driveway and are opposite the access to Units 1 and 2 thus providing for easy unloading from vehicles into the units.

The Operative District Plan Rule 15.1.6B.1.1 requires a minimum number of on-site parking spaces as defined in Appendix 3C of the Operative District Plan.

Appendix 3C states the following parking space numbers should be applied, this is shown in **Table 4** below

Residential use	Car Parking Spaces Required
Standard Residential Unit	2 per unit
Home Unit / Town House	2 per unit
Home Occupations	1 per non residential employee
Pensioner Housing	1 per unit
Boarding Houses	1 per 2 persons accommodated
House on Papakainga	1 space for the first house plus one space per 2 additional houses
Kuia / Kaumatua housing on Papakainga	1 per house

Table 4 : Requirements of Appendix C of the Operative District Plan

The existing dwelling is classified as standard residential unit and is assessed as requiring 2 car parking spaces. Whilst distinctly smaller, the units are nonetheless classified as a standard residential unit.

On this basis, 2 parking spaces are required per unit (8 on site in total including the existing house), and 6 are proposed on site. There is, therefore, a shortfall of 2 spaces and does not comply with Standard 15.1.6B.1.1 Pursuant to Rule 15.1.6B.2 this is a restricted discretionary activity.

Using the assessment criteria in the following assessment has been made as shown in **Table 5** of this report.

Criteria from Operative District Plan Rule 15.1.6B.5	Comment
a) Whether it is physically practicable to provide the required car parks on site.	The site constraints and topography make providing any further parking extremely challenging and cost prohibitive
b) Whether there is an adequate alternative supply of parking in the vicinity, such as a public car park or angled road parking.	Roadside parking is available on the north side of Joyces Road and there is a large public car park on Williams Road
c) Whether there is another site nearby where a legal agreement could be entered into with the owner of that site to allow it to be used for the parking required for the application.	There is no such site available in the vicinity of the development
d) Whether it can be shown that the actual parking demand will not be as high as that indicated in Appendix 3C.	<p>32 Joyces Road is within easy walking distance of a large amount of employment on central Paihia, thus enabling the unit occupants to walk to work, this will reduce parking demand.</p> <p>In addition, the three new units are distinctly smaller 2-bedroom units likely to be occupied by either single people or at most a couple, each unit is likely to possess only a single vehicle</p>
e) Adequacy of the layout and design of the car parking areas in terms of other recognised standards, including the provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.	Refer to Civil Engineering Assessment
f) Degree of user familiarity with the car park and length of stay of most vehicles.	It is likely that all units will be occupied by longer term residents who will be familiar with the layout.
g) Total number of spaces in the car park.	A total of 6 parking spaces will be provided

Criteria from Operative District Plan Rule 15.1.6B.5	Comment
h) Clear space for car doors to be opened even if columns, walls and other obstructions intrude into a car parking space.	All parking spaces will have adequate space for vehicle doors to be opened.
i) For sites with a frontage with Kerikeri Road between its intersection with SH10 and Cannon Drive <ul style="list-style-type: none"> (i) the visual impact of hard surfaces and vehicles on the natural environment; (ii) the effectiveness of any landscape plantings in screening hard surfaces and vehicles associated with parking areas 	Not applicable
j) Whether cycling facilities or open green space have been considered or are appropriate as an alternative to car parking.	Not applicable to this site, the subject site is steep and heavily vegetated
k) Whether adequate consideration has been given to providing accessible car parking spaces for those with disabilities, the location of these spaces and regulating inappropriate use of the spaces.	This site is extremely steep. The proposed units are only accessed by stairs. This makes the development unsuitable for mobility impaired occupants
l) The extent to which the site can be accessed by alternative transport means such as buses, cycling or walking.	32 Joyces Road is within easy walking distance of a large amount of employment on central Paihia. The wider Paihia/Waitangi area is accessible by cycling
m) The extent to which the reduced number of car parking spaces may increase congestion along arterial and strategic roads.	None of the surrounding roads are arterial and strategic roads.
n) The degree to which provision of on-site car parking spaces may have resulted in adverse visual effects or fragmented pedestrian links.	The proposed on-site parking will have no adverse effect on visual effects or pedestrian links
o) Whether a financial contribution in lieu of car parking spaces is appropriate.	In light of the availability of additional parking and the lack of demand for this proposal a financial contribution is not appropriate
p) Consideration given to shared parking options between adjacent sites and activities that have varying peak parking demands.	This is not feasible

Criteria from Operative District Plan Rule 15.1.6B.5	Comment
q) The varying parking requirements for staff and customers.	Not applicable – this is a residential development

Table 5 Assessment against the criteria from Operative District Plan Rule 15.1.6B.5

The existing five spaces adjacent to the existing house has been reduced to four, this allows space for manoeuvring and turning in this area so no vehicle will have to reverse on the driveway and all vehicles will exit the property onto Joyces Road in a forward direction. **Appendix B** shows the vehicle tracking in the turning area.

6. Conclusions and Recommendations

From the above discussion the following conclusions are made:

- Based upon the existing traffic volumes, the traffic generation of this subdivision and the visibility at the intersection of Joyces Road and Williams Road will continue to operate in a safe and sustainable way even with the additional trips caused by this proposed subdivision, no improvements to this intersection are justified,
- Based upon its alignment and sealed width Joyces Road will continue to operate in a safe and sustainable way even with the additional trips caused by this proposed subdivision, no improvements are justified,
- Sightlines at the existing dwelling access are adequate, the access is broadly compliant with the Residential vehicle crossing shown on FNDC Engineering Standards Sheet 18,
- Six parking spaces have been provided against an Operative District Plan requirement for eight. The responses to the assessment criteria indicate that six spaces will be adequate for the proposed usage and the location of the development close to central Paihia.
- Manoeuvring spaces is provided on the property so no vehicle should have to reverse on the driveway.
- The traffic effects of the proposed intensification of use at 32 Joyces Road are therefore less than minor.

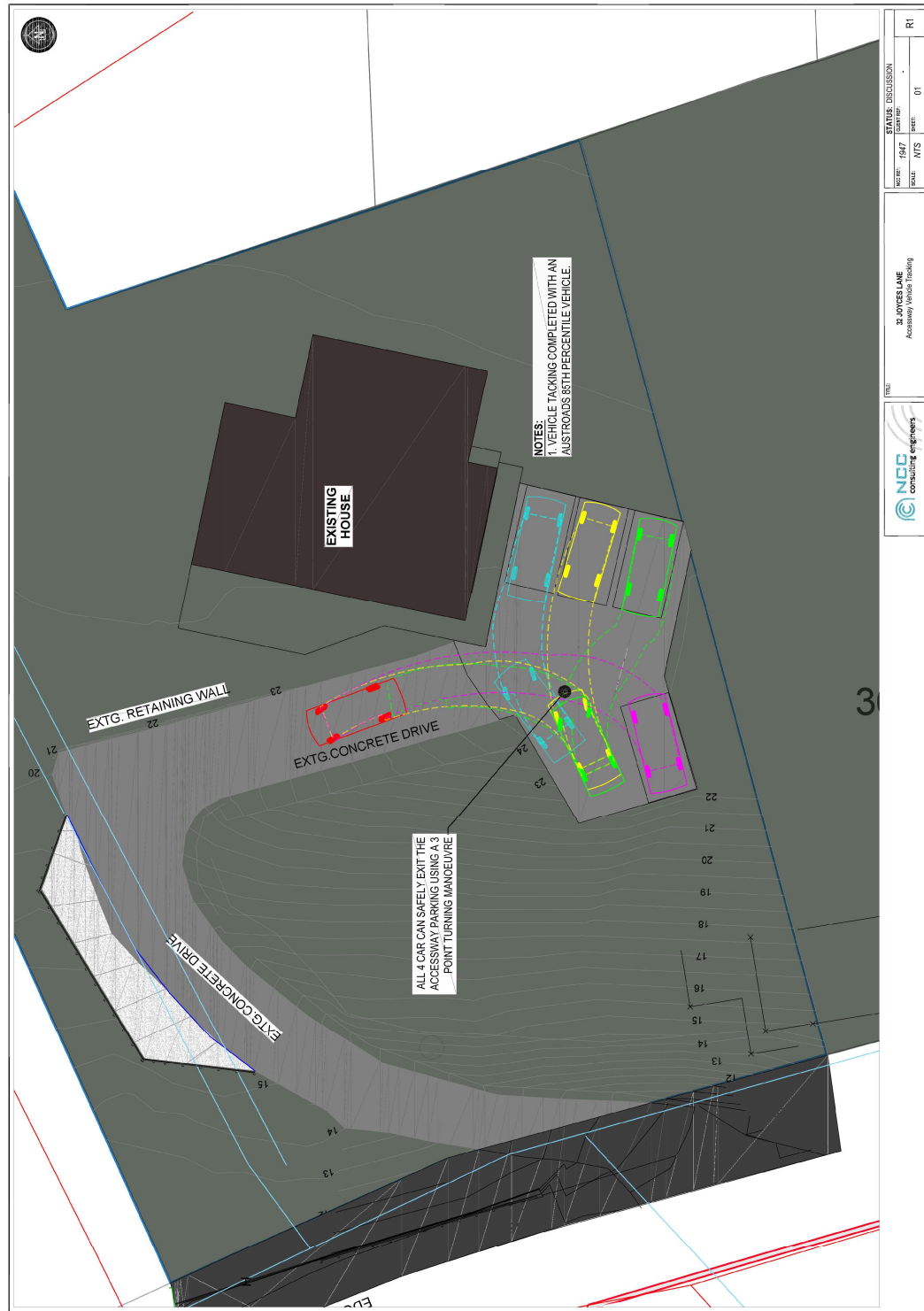


Appendices

Appendix A: Site Plan

Appendix B: Vehicle Tracking

Appendix B: Vehicle Tracking



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32 JOYCES ROAD, PAIHIA

GEOTECHNICAL ASSESSMENT

Matthew Abercrombie

Revision 0

Reference: SE1912

Issued on: 17/9/2024

Revision History

Revision	Date	Details
-	17/9/2024	Original Report

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Important information about your Shire Geotechnics Report

Figures

Figure 1: Site location plan

Figure 2: Cross Section

Appendices

Appendix A: Borehole Locations

Appendix B: Site photos

Appendix C: Slope Stability Analysis

1 INTRODUCTION

Shire Engineering was tasked by the Matthew Abercrombie to conduct a geotechnical investigation aimed at evaluating subsoil conditions and offering recommendations for building foundations for three new dwellings located at the 32 Joyce Road, Paihia.

This report has been prepared to support an application to the Council for approval of resource and/or building consent concerning the proposed development outlined herein.

2 SITE DESCRIPTION

The site, legally designated as Lot 1 DP 85120, is a residential parcel situated on the south side of Joyces Road. It encompasses an irregular shaped site spanning approximately 2,106.91m², as illustrated in the layout plan provided in Appendix A.

The site is bordered by residential areas to the north, east, and west. The slope in front of the existing dwelling steeply slopes down to the north towards Joyces Road.

Presently, the land is developed with a 2-storey dwelling and steep driveway.

3 SCOPE OF WORKS

The scope of works for the project include:

Desk Study

- Review of published geological records
- Review of NZGS Database
- Review of Shire Geotechnics Limited GIS database.
- Review of the Northland Regional Council.

Fieldwork

- The drilling of 5 hand auger boreholes to depths of between 3.1 m and 5.0 m.
- The conducting of 2 Scala Penetrometer tests from the base of 2 boreholes.
- The measurement of cross section by tape and clinometer.

Analysis

Slope Stability Analysis Section A.

4 PROPOSED DEVELOPMENT

We have not received any formal drawings for this project. However, through discussions with our client and on-site observations, we have garnered an understanding of the proposed development, which includes:

- Construction of three (10m x 3m) single storey lightweight timber frame dwelling on timber floor supported on timber poles located on the slope adjacent to existing dwelling.

The approximate location of the proposed dwellings is shown on the attached site plan drawing number SE1912

5 EXISTING GEOTECHNICAL INFORMATION

We are not aware of any previously existing geotechnical information relating to this site.

6 GROUND CONDITIONS

6.1 Geological model

The site is predominantly underlain by The Waipapa Group Formation. The Waipapa Group Formation is a massive to thin bedded, lithic volcanoclastic metasandstone and argillite, with tectonically enclosed basalt, chert and siliceous.

Shire Geotechnics carried out a shallow ground investigation at the site comprising of 5 hand auger boreholes to a maximum depth of 5.0m and 2 scala penetrometer tests in Boreholes 2 and 5.

Detailed descriptions of the subsoils encountered in the boreholes are given on the attached borehole logs. The subsoils were generally found to comprise:

- Topsoil to between 100 mm and 300 mm depth, overlying:
- Waipapa Group Soils to the termination of all boreholes, consisting of stiff to very stiff yellow, orange, brown silts and clays with undrained shear strengths greater than 100 kPa.

The Scala Penetrometer tests carried out from the base of the boreholes obtained effective refusal (defined as 10 or more blows per 50 mm penetration) at depths of between 3.1m and 3.5m below ground level in Boreholes 2 and 5.

6.2 Groundwater regime

The following sources of groundwater records have been reviewed:

- Hand auger field logs and observations

Groundwater was not encountered in any of the hand auger boreholes during our time on site. This deeper water level may not be representative of typical groundwater conditions on the site which may be higher following times of heavy or prolonged rainfall and/or during wetter winter conditions.

6.3 Soil Expansivity

To substantiate our designation of the in-situ soil as highly expansive (Class H1), it is imperative to adhere to the guidelines outlined in the B1 amendment of November 2021, which updates NZS3604:2011, including the design return period for drought events set at 1/500 years for Serviceability Limit State (SLS) and 1/1000 years for Ultimate Limit State (ULS) cases. This amendment refers to AS2870:2011 as an acceptable solution.

According to AS2870:2011, if the method of 'visual-tactile identification of the soil by a suitably qualified and experienced person' is employed, it is incumbent upon us to furnish evidence demonstrating fulfilment

of the following AS2870 requirement: "The suitably qualified and experienced person shall cross-reference the soil property identification against laboratory testing on reactive soils within a period not exceeding six months and at least once for every 50 sites personally classified."

Our classification is founded on extensive practical experience rather than solely relying on laboratory testing. The visual and tactile identification of the soil was conducted and meticulously documented by a Chartered Professional Engineer (CPEng) specialized in geotechnical engineering, with the upper soils characterized as Waipapa Group Formation.

Furthermore, our company diligently conducts Atterberg testing and Shrink and Swell testing within intervals not exceeding six months and/or after every classification of 50 sites. This ensures ongoing validation and refinement of our soil classifications.

The results of our testing can be viewed [here](#).

Based on our understanding of the encountered materials and substantiated by on-site observations such as Silty CLAY, light yellow, orange brown streaks, moist, high plasticity Waipapa Group Formation, we assert that the site as a whole warrant's classification as highly expansive (Class H1 per AS2870 (2011)), unless specific testing within individual building sites indicates otherwise.

We advocate for the utilization of shallow foundations, with provisions for deepening them to a depth where significant changes in soil volume are mitigated, or alternatively, designing them to withstand heave and suction induced by soil shrinkage and swelling

7 SEISMIC HAZARD

7.1 Liquefaction

Liquefaction is a phenomenon where saturated granular soils temporarily lose strength due to high pore pressure development during rapid densification. Classically liquefaction occurs in loose silts/sands or gravels below the water table. In the event of liquefaction, loss in strength, settlement and instability (lateral spreading) may occur.

The ground investigations encountered clayey expansive type soils and a ground water was not encountered. Based on our experience in the area and similar geology, liquefaction is unlikely.

8 SITE SEISMICITY

We consider that the site is a Class C shallow soil site as defined by NZS 1170.5 (2004) "Structural Design Actions: Part 5: Earthquake actions – New Zealand".

9 SITE STABILITY

The site shows no obvious visual signs indicating past or presently active instability. However, due to gradients exceeding 1 vertical in 4 horizontal, slope stability analyses was carried out to assess the stability of the site.

This report includes consideration of the slope stability of both existing and proposed contours.

Three stability scenarios were considered as outlined below:

- Normal groundwater conditions – an assumed deeper ground water level based on the depths measured during our site investigation.
- Normal groundwater conditions with earthquake load - an assumed deeper ground water summer level with an earthquake seismic load, $C(T)=C_h(T) Z R N (T,D)$, $SLS = 1.33 \times 0.13 \times 0.35 \times 1$
- Elevated groundwater conditions – a higher groundwater level assumed to be possible during wetter winter conditions following periods of heavy and/or prolonged rainfall.

The slope stability analyses were conducted along our cross section A-A', measured through the site, using limited equilibrium software "Slide" version 6 by Rocscience.

The following soil parameters were assumed:

Soil Unit	Cohesion (c')	Soil Unit Weight (γ_b)	Angle of Internal Friction (ϕ')
Very Stiff Waiapa Soils	5 kPa	18 kN/m ³	35°
Hard Waiapa Residual Soils	10 kPa	18 kN/m ³	37°
Less Weathered Rock	∞	18 kN/m ³	

Slopes were assessed for minimum Factor of Safety (FoS) criteria as follows:

- ≥ 1.5 for slopes under normal ground water conditions.
- ≥ 1.3 for extreme (worst credible) groundwater condition.
- ≥ 1.2 for seismic condition with 150-year event.

The results of the slope stability analyses are as follows:

- Under assumed normal groundwater conditions the site was assessed to have a minimum factor of safety of 1.328
- Under assumed elevated groundwater conditions the site was assessed to have a minimum factor of safety of 1.013.
- Under assumed seismic conditions (Undrained) , the site was assessed to have a minimum factor of safety of 4.460.

The stability analyses summary sheets for both groundwater conditions are attached.

Waipapa group are observed to show signs of shallow, surficial (translational) landslides, which is typically related to movement in thin layers of residual soils on very steep slopes.

The theoretical slip circle on the slide Model shows a shallow seated slope failure up to 1.5m depth.

Based on the results of our analyses, we recommend the buildings are supported on piles,

Please refer to the 10.3.2 Pile Foundations section for recommendations.

10 RECOMMENDATIONS

10.1 General

Based on the conditions encountered in the hand auger boreholes, the buildings can be supported on footings bearing in a combination of tested and approved native soil

High plasticity clay soils are present on this site. This report provides recommendations to help mitigate the effects of soil shrinkage and expansion. However, even if these procedures are followed, some shrink/swell type movements should be anticipated.

Ideally, a minimum thickness of low plasticity engineered fill can be constructed beneath slab-on-grade floors, however this is not always practicable.

10.2 Earthworks

Areas within the limits of construction should be stripped and cleared of topsoil, fill, vegetation, soft soils and debris.

The topsoil layer was found to vary from 100 mm to 300 mm deep across the property.

If any part of the proposed dwelling is to be constructed on a timber floor supported on timber piles existing topsoil and fill may remain in place to that area provided that all surface vegetation has been removed, the required sub floor clearance is provided, and the piles are embedded to the required minimum depths as discussed in the foundations section below.

10.2.1 Cuts and Fills

Cut batters less than 1.2 m in vertical height can be formed at gradients no steeper than 1V:2H with cut batters greater than 1.2 m in vertical height formed at gradients no steeper than 1V:3H. If batter slopes greater than the above recommendations are required retaining walls should be used. Cut faces of any height that are to be subject to surcharge loading of any sort should be supported using specifically designed retaining walls or battered to a suitable slope angle subject to specific geotechnical design recommendations.

10.3 Building Foundations

The subsoils at this site were found to comprise stiff natural soils. The soils have adequate bearing capacity, are of relatively low compressibility and are considered suitable foundation soils for the proposed new dwellings.

However, due to the steep slope where the proposed dwelling platforms are and the results from the site stability model, we recommend that the building foundations are piled.

Specific recommendations are outlined below.

10.3.1 Pile Foundations

Due to the steep nature of the site and results from Section 9: Site Stability, piles will be required.

These piles are to help safeguard against the effects of potential longer term soil creep or shallow seated slope failure.

Where required all piles should be embedded to a minimum depth of 2.5 m beneath existing ground level.

The following soil parameters are considered appropriate for axial load design purposes:

	End Bearing	Side Adhesion*
Ultimate Capacity	1000 kPa	70 kPa
Allowable Stress (F.O.S. = 3)	333 kPa	23 kPa
Dependable Capacity ($\Phi = 0.5$)	500 kPa	35 kPa

The piles should also be designed to resist lateral earth pressure over the upper 1.5 m below the ground surface. The magnitude of lateral loading acting on each pile should be calculated assuming at rest earth pressures over a width of 3 times the pile diameter to a depth of 1.5 m using a coefficient of lateral earth pressure $K_0 = 0.5$ and a soil unit weight of 18kN/m³. Passive resistance in front of the piles below 1.0 m depth can be calculated using Broms method with a soil undrained shear strength $C_u = 100$ kPa.

10.4 Retaining Walls

Where required, retaining walls should be provided to support cut or fill faces. Free standing cantilever walls can be designed for active earth pressures. Walls that are incorporated within the structure should be designed for at rest earth pressures.

The following soil parameters are considered appropriate for retaining wall design:

Cohesion (c')	0 kPa
Angle of Internal Friction (ϕ')	30°
Soil Unit Weight (γ)	18 kN/m ³

For timber pole walls an undrained shear strength $C_u = 100$ kPa can be assumed for the soil in front of the poles when calculating lateral soil resistance.

Free draining granular backfill and a perforated drain coil should be provided behind all retaining walls. Retaining walls should be constructed as soon as possible following excavation of steep site cuts. Steep cut faces left unprotected may be detrimental to the stability of the site and neighbouring sections.

10.5 Specific Structural Design

A suitably qualified structural engineer, familiar with the contents of this report, should be engaged to design the retaining walls, foundations, piles and floor slab for the proposed dwellings.

10.6 Vegetation

Vegetation should be maintained as much as possible during and after completion of the development works. Vegetation reduces surface water and groundwater effects and assists in maintaining slope stability through root binding action. Any newly planted trees should be kept well clear of the foundations of the new dwelling to avoid the potential for settlement that can occur due to the localised ground shrinkage possible as high water demand tree species mature.

10.7 Stormwater Control

Stormwater from paved areas, roofs, tank overflows and all other sources should be collected in sealed pipes and discharged into the Council stormwater system. Concentrated stormwater flows should not be allowed to discharge onto or into the ground close to the buildings or on sloping ground as this would be detrimental to foundation conditions and site stability.

10.8 Plan Review

It is recommended that Shire Geotechnics Ltd is engaged to review detailed development plans when they are available. This is to ensure that the information used as the basis of this report is consistent with final development proposals and that the recommendations outlined in this report have been interpreted correctly.

10.9 Site Inspections during Construction

It is recommended that Shire Geotechnics Ltd is engaged to inspect pile foundations during construction. This is to confirm expected ground conditions and to ensure compliance with the recommendations contained in this report.

It is the Client's responsibility to ensure that we are notified of any required inspections and that we are given adequate notice to carry out the inspections (at least 24 hours).

We will issue a Producer Statement – Geotechnical Review (PS4) upon successful completion of the inspected works. The inspections and preparation of the Producer Statement will be at additional cost to that of preparing this report.

11 LIMITATIONS

This report has been prepared solely for the use of our client, Matthew Abercrombie, their professional advisers and Northland Regional Council in relation to the specific project described herein. No liability is accepted in respect of its use for any other purpose or by any other person or entity.

The opinions, recommendations and comments given in this report result from the application of normal methods of site inspection and investigation. As factual evidence has been obtained solely from boreholes that by their nature only provide information about a relatively small volume of subsoils, there may be special conditions pertaining to this site that have not been disclosed by the investigation and that have not been taken into account in the report.

If variations in the subsoils occur from those described or assumed to exist, then the matter should be referred back to us immediately.

For and on behalf of Shire Geotechnics Ltd



Apa Fatialofa

Junior Geotechnical Engineer

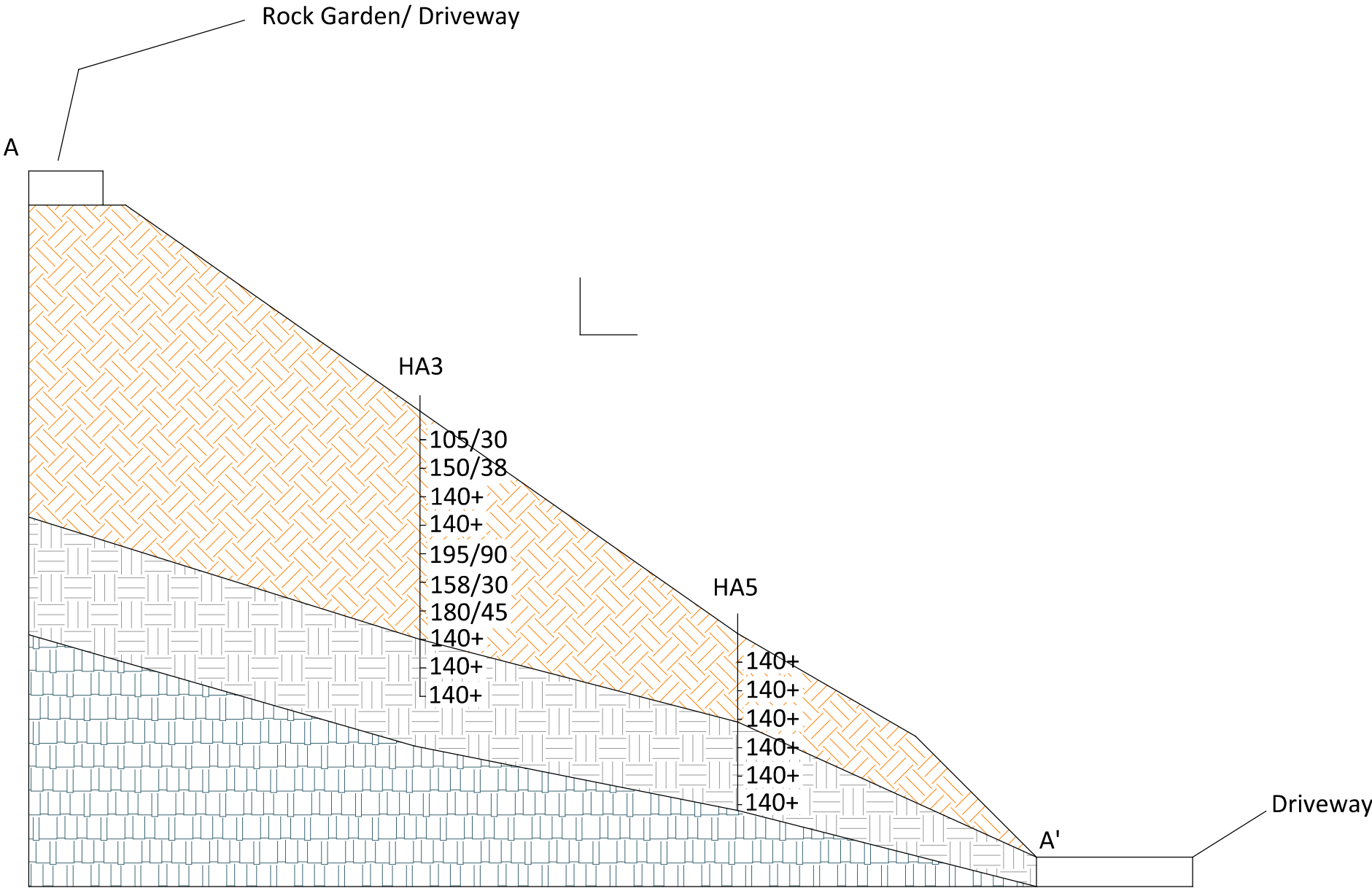


J Brokenshire

Senior Engineer



Notes:			
1. THIS PLAN IS BASED ON A GOOGLE MAPS AERIAL PHOTOGRAPH			
2. TEST LOCATIONS ARE APPROXIMATE ONLY.			
Key:			
<div>HA</div> <div><div></div></div> Hand auger borehole location			
<div><div>A</div></div> Cross Section A - A'			
REV:	DESCRIPTION:	BY:	DATE:
-	-	-	-
STATUS: NOT FOR CONSTRUCTION			
Shire Engineering Consultants 2/19 COLLEGE ROAD, NORTHCOTE, AUCKLAND 0627 P: 09 393 7230 E: www.shireengineeringconsultants.co.nz			
PROJECT: MATTHEW ABERCROMBIE PROPOSED DWELLINGS			
SITE: 32 JOYCES ROAD, PAIHIA			
TITLE: SITE PLAN			
SCALE AT A3: Not to Scale	DATE: SEP 24	DRAWN: AF	CHECKED: JB
SHEET NO: 1 OF 2	DRAWING NO: SE1912	REVISION: -	



Notes:

- 1. THIS CROSS SECTION IS BASED ON A AUCKLAND COUNCIL GIS CONTOURS.
- 2. TEST LOCATIONS ARE APPROXIMATE ONLY.

Key:



NON-ENGINEERED FILL



VERY STIFF RESIDUAL EAST COAST BAYS FORMATION SOILS



HARD RESIDUAL EAST COAST BAYS FORMATION SOILS



LESS WEATHERED EAST COAST BAYS FORMATION MATERIALS

REV:	DESCRIPTION:	BY:	DATE:
-	-	-	-

STATUS: **NOT FOR CONSTRUCTION**

Shire Engineering Consultants
2/19 COLLEGE ROAD, NORTHCOTE, AUCKLAND 0627

P: 09 393 7230 E: www.shireengineeringconsultants.co.nz

PROJECT: **MATTHEW ABERCROMBIE
PROPOSED DWELLINGS**

SITE: **32 JOYCES ROAD, PAIHIA**


TITLE: **CROSS SECTION A-A'**

SCALE AT A3: 1 : 100	DATE: SEPT 24	DRAWN: AF	CHECKED: JB
SHEET NO: 2 OF 2	DRAWING NO: SE1912	REVISION: -	

Appendix A

Hand Auger Logs

Job No: SE1912		BOREHOLE LOG HA 1			
Job Name: 32 Joyces Road, Paihia					
SOIL GROUP	SOIL DESCRIPTION	SOIL SYMBOL	DEPTH (m)	GROUNDWATER	• Peak Corrected Vane Shear Strength(kPa) ○ Remoulded Corrected Vane Shear Strength(kPa) 50 100 200
Waipapa Formation	Topsoil, brown, some rootlets				
	Silty CLAY, reddish orange brown, intermix organics, moist, high plasticity some rootlets				
	Silty CLAY, black organic staining, orange brown streaks, moist, high plasticity				○ ●
	Silty CLAY, yellow, orange brown, moist, high plasticity		1	○ ●	
	Silty CLAY, light grey, reddish orange brown streaks, moist, high plasticity				●
	Clayey SILT, light grey, reddish orange brown, moist, low plasticity, friable		2	●	
	Silty CLAY, fine silt, light grey, yellow orange brown, pink and red mottle, moist low plasticity				●
	Clayey SILT, fine gravel, reddish orange brown, pink streaks, moist, low plasticity		3	●	
	Clayey SILT, light grey, pink, orange brown, moist, low plasticity		4	○ ●	
			5	●	
End of Borehole at 5.0m (Target Depth)					
NOTES		Shire Engineering Consultants P: 09 393 7230 shireengineering.co.nz			
Date: 11/9/24		Logged by: AF		Shear Vane No: DR6384	

Job No: SE1912		BOREHOLE LOG HA 3				
Job Name: 32 Joyces Road, Paihia						
SOIL GROUP	SOIL DESCRIPTION	SOIL SYMBOL	DEPTH (m)	GROUNDWATER	<div>• Peak Corrected Vane Shear Strength(kPa)</div> <div>○ Remoulded Corrected Vane Shear Strength(kPa)</div> <div>50 100 200</div>	
Waipapa Formation	Silty CLAY, light grey, orange brown mottle, intermix organics, moist, low plasticity	x x	1			
	decaying wood fragments	x x				
	Silty CLAY, black organic staining, moist, high plasticity	x x				
	Silty CLAY, yellow, orange brown, moist, high plasticity	x x				
		x x				
		x x				
	pink streaks	x x	2			
		x x				
		Silty CLAY, light grey, pink orange, reddish orange brown, moist, low plasticity	x x		3	
			x x			
	Clayey SILT, light grey, reddish orange brown, moist, low plasticity	x x	4			
		x x				
	End of Borehole at 5.0m (Target Depth)	x x	5			
NOTES		<div> Shire Engineering Consultants P: 09 393 7230 shireengineering.co.nz</div>				
Date: 11/9/24		Logged by: AF		Shear Vane No: DR6384		

Job No: SE1912		BOREHOLE LOG HA 4			
Job Name: 32 Joyces Road, Paihia					
SOIL GROUP	SOIL DESCRIPTION	SOIL SYMBOL	DEPTH (m)	GROUNDWATER	• Peak Corrected Vane Shear Strength(kPa) ○ Remoulded Corrected Vane Shear Strength(kPa) 50 100 200
Waipapa Formation	Silty CLAY, grey, pink, orange brown, moist, highly plastic		1		
	Clayey SILT, light grey, pink orange, moist, low plasticity				
	Silty CLAY, black organic staining, moist, highly plastic				
	Silty CLAY, yellow, orange brown, moist, highly plastic		2		
	Clayey SILT, orange brown, pink, grey, moist, low plasticity		3		
End of Borehole at 3.5m (Target Depth)			4		
			5		
NOTES		Shire Engineering Consultants P: 09 393 7230 shireengineering.co.nz			
Date: 11/9/24		Logged by: AF		Shear Vane No: DR6384	

[illegible]

Appendix B

Site Photos



Photo 1 Typical view of site



Photo 2 View facing West



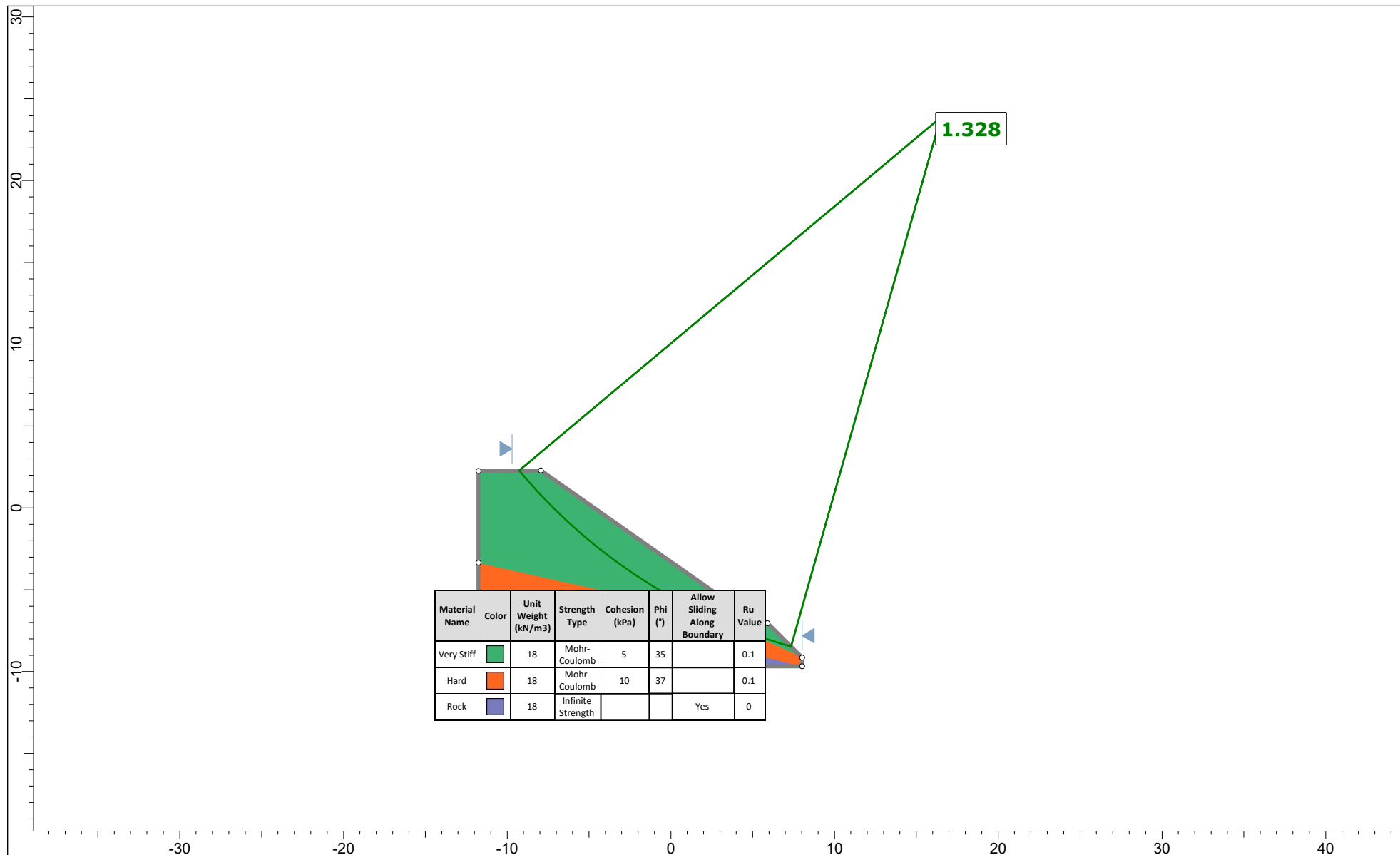
Photo 3 Steepest section



Photo 4 View facing north towards Joyces Road

Appendix C

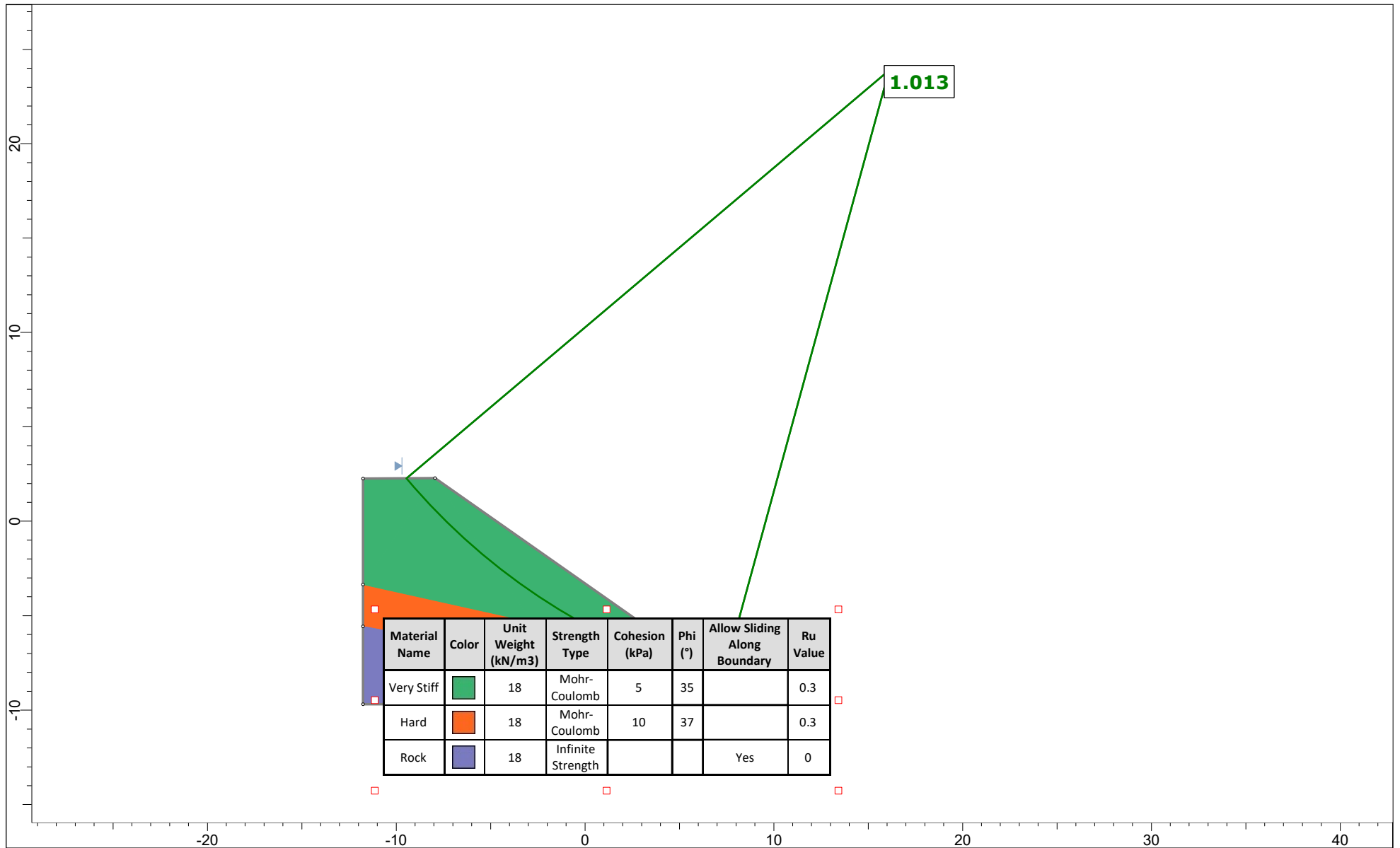
Slope Stability Analysis



ENGINEERING

SLIDEINTERPRET 9.034 CONSULTANTS

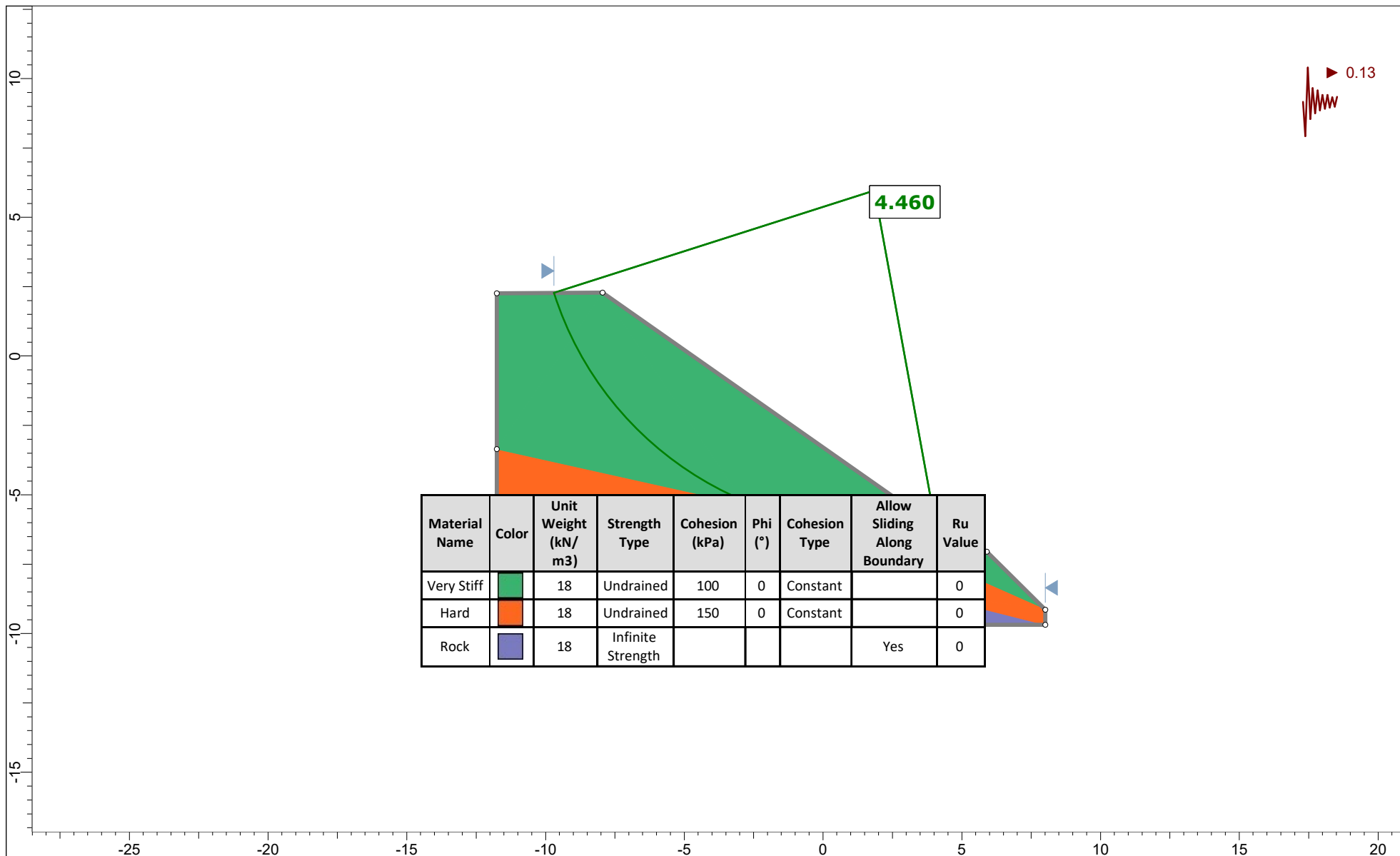
Project	32 Joyces Road, Paihia		
Group	Section A Summer.slim	Scenario	Section A Summer.slim
Drawn By	Apa Fatialofa	Company	Shire Engineering
Date	12/09/2024, 11:44:32 am	File Name	Section A Summer.slim



ENGINEERING
CONSULTANTS

SLIDEINTERPRET 9.034

Project		32 Joyces Road, Paihia	
Group	Section A Winter.slim	Scenario	Section A Winter.slim
Drawn By	Apa Fatialofa	Company	Shire Engineering
Date	12/09/2024, 11:44:32 am	File Name	Section A Winter.slim



ENGINEERING

SLIDEINTERPRET 9.034 CONSULTANTS

Project

32 Joyces Road, Paihia

Group

Section A Seismic.slim

Scenario

Section A Seismic.slim

Drawn By

Apa Fatialofa

Company

Shire Engineering

Date

12/09/2024, 11:44:32 am

File Name

Section A Seismic.slim

Appendix 7 – Planning Assessment

1. Site Information

Address	32 Joyces Road, Paihia, Northland, 0200
Land Area	2,109m ²
Title	Lot 1 Deposited Plan 85120
Relevant Interests on Title	Not reviewed
Current Land Use	Residential
District Plan Zone	<u>Operative</u> Residential zone <u>Proposed</u> General Residential zone
Notations	<u>Operative</u> <ul style="list-style-type: none"> None <u>Proposed</u> <ul style="list-style-type: none"> Coastal Environment River Flood Hazard Zone (100 Year ARI Event) – located just outside of the site
NZ Heritage List Record	None in immediate vicinity
Archaeological Association	None in immediate vicinity
Hazards known to Council	<u>ODP Map</u> None <u>PDP Map</u> River Flood Hazard Zone - 100 Year ARI Event (located just outside the site)

Figure 1 - Aerial Photograph (site indicated with red outline)



Figure 2 – Operative District Plan: Residential zone (Site indicated in red circle)



Figure 3 – Proposed District Plan: General Residential Zone and Coastal Environment Overlay (Site outlined in red)



Figure 4 – NRC Flood Susceptible Land – None near site (Operative District Plan)

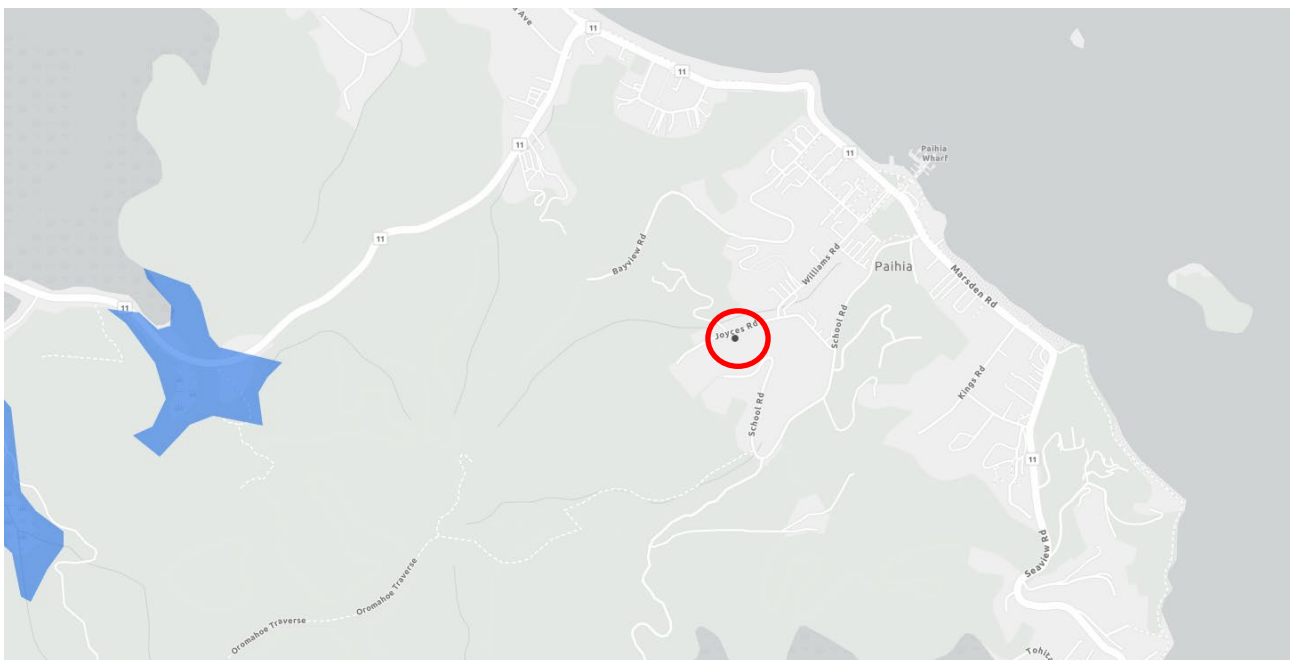


Figure 5 – PDP River Flood Hazard Zone - Located just outside the site (100 Year ARI Event)



Figure 6 – Three waters infrastructure

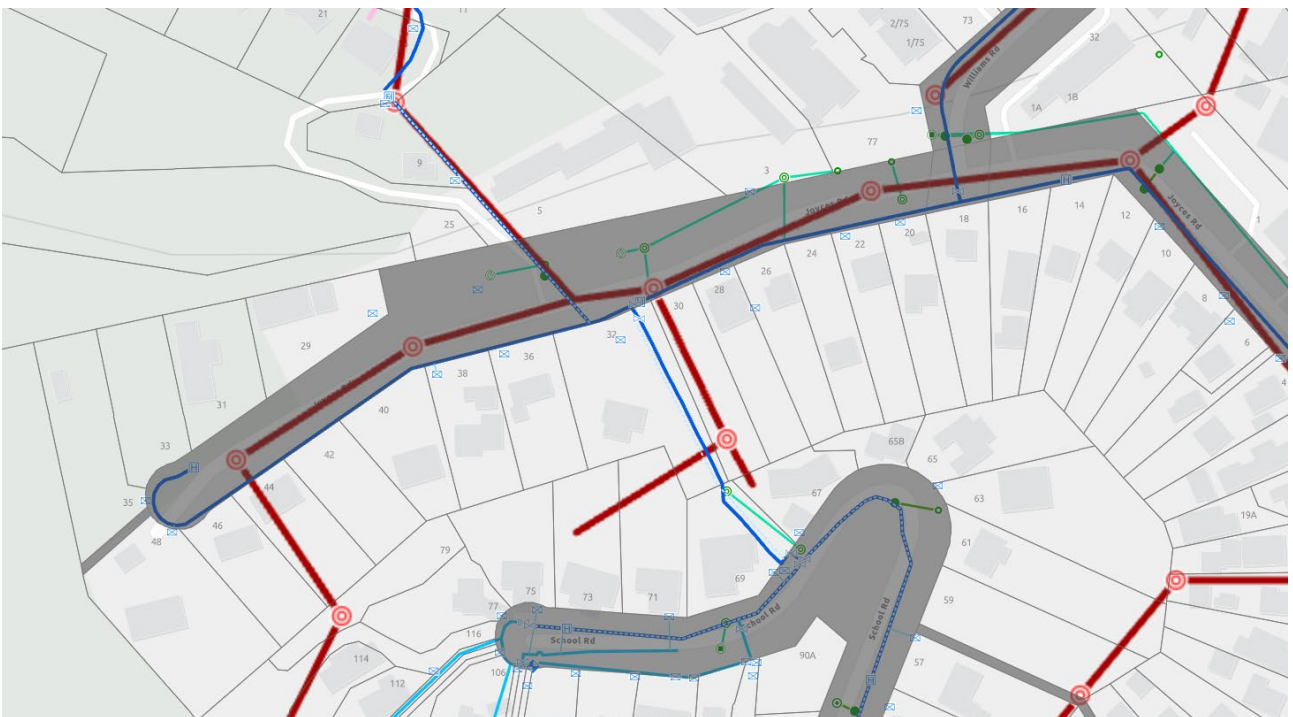
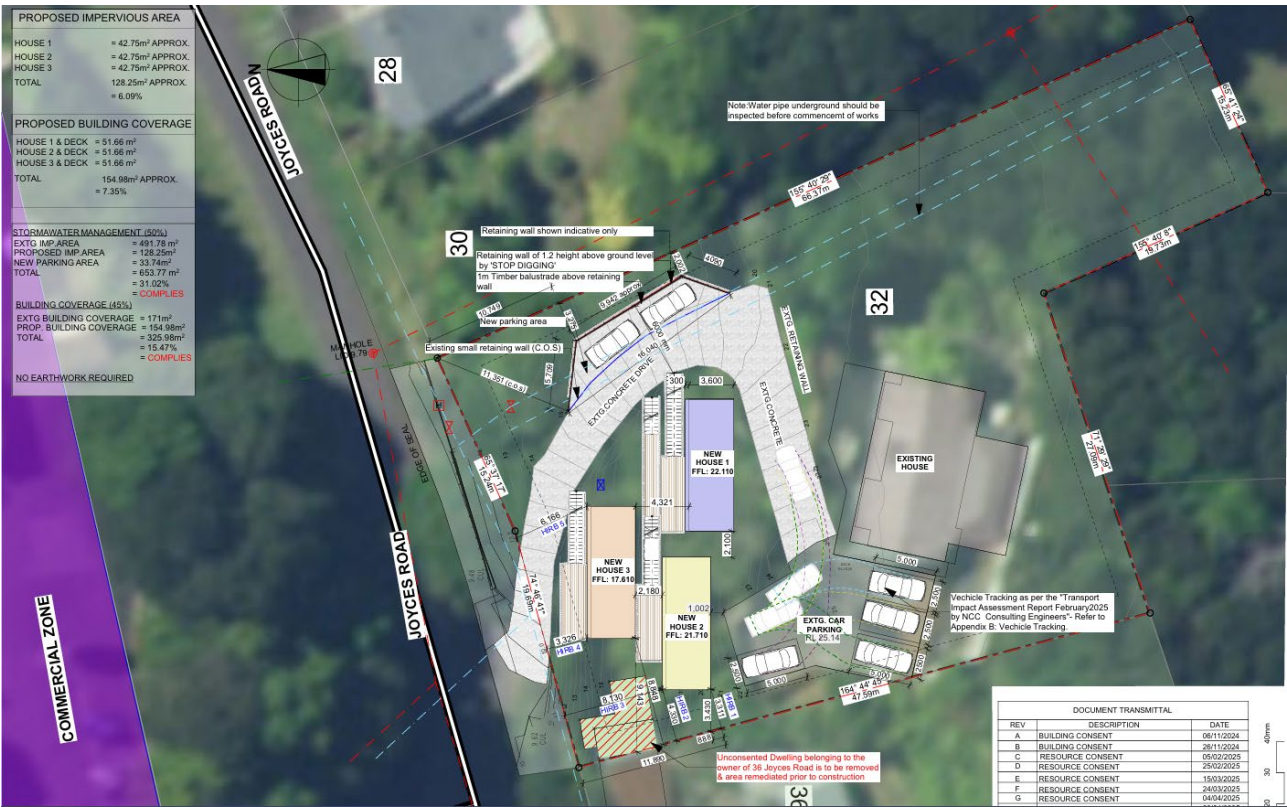


Figure 7 – Proposed Site Plan



2. NES – Managing Contaminants

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (“NES – Contamination”) does not apply. The site is not listed on the Northland Regional Council “Selected Land-Use Register” for contaminated sites.

Accordingly, it is our assessment that no consent is required under the NES – Contamination for disturbing contaminated land.

3. Proposed Regional Plan for Northland (February 2024)

Now that all appeals have been resolved, Council is taking steps to make the Proposed Regional Plan fully operative. All rules in the Proposed Regional Plan must now be treated as operative, in accordance with Section 86F of the Resource Management Act (and any previous rule as inoperative).

Rule	Comment	Resource Consent
C6.1 On-site domestic wastewater discharges		

Rule	Comment	Resource Consent																		
Discharge to the existing public network, as the site does now.																				
C.6.4 Stormwater discharges																				
Discharge to the existing public network, as the site does now.																				
C.8 Land use and disturbance activities																				
C8.3.1 Earthworks Table 15: permitted activity earthworks thresholds	<div>1) the area and volume of earthworks at a particular location or associated with a project complies with the thresholds in Table 15:</div> <div>Table 15: Permitted activity earthworks thresholds</div> <table><tr><th>Location</th><th>Earthworks thresholds</th></tr><tr><td>Within 10m of a natural wetland, the bed of a continually or intermittently flowing river or lake</td><td>200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.</td></tr><tr><td>Within 10m of an inanga spawning site</td><td>200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.</td></tr><tr><td>Catchment of an outstanding lake</td><td>2500 square metres of exposed earth at any time.</td></tr><tr><td>Erosion-prone land</td><td>2500 square metres of exposed earth at any time.</td></tr><tr><td>High-risk flood hazard area</td><td>50 cubic metres of moved or placed earth in any 12-month period.</td></tr><tr><td>Coastal riparian and foredune management area</td><td>Excluding for coastal dune restoration, 200 square metres of exposed earth at any time.</td></tr><tr><td>Flood hazard area</td><td>100 cubic metres of moved or placed earth in any 12-month period.</td></tr><tr><td>Other areas</td><td>5000 square metres of exposed earth at any time.</td></tr></table> <div>2) the discharge is not within 20 metres of a geothermal surface feature, and except for coastal dune restoration activities, good management practice erosion and sediment control measures equivalent to those set out in the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016 (Auckland Council Guideline Document GD2016/005), are implemented for the duration of the activity, and</div> <div>3) batters and side castings are stabilised to prevent slumping, and</div> <div>4) exposed earth is stabilised upon completion of the earthworks to minimise erosion and avoid slope failure, and</div> <div>5) earth and debris are not deposited into, or in a position where they can enter, a natural wetland, a continually or intermittently flowing river, a lake, an artificial watercourse, or the coastal marine area, and</div> <div>6) the earthworks activity does not</div>	Location	Earthworks thresholds	Within 10m of a natural wetland, the bed of a continually or intermittently flowing river or lake	200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.	Within 10m of an inanga spawning site	200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.	Catchment of an outstanding lake	2500 square metres of exposed earth at any time.	Erosion-prone land	2500 square metres of exposed earth at any time.	High-risk flood hazard area	50 cubic metres of moved or placed earth in any 12-month period.	Coastal riparian and foredune management area	Excluding for coastal dune restoration, 200 square metres of exposed earth at any time.	Flood hazard area	100 cubic metres of moved or placed earth in any 12-month period.	Other areas	5000 square metres of exposed earth at any time.	Complies The flood hazard area appears to be contained within the road reserve to the north of the site and therefore outside the area of works.
Location	Earthworks thresholds																			
Within 10m of a natural wetland, the bed of a continually or intermittently flowing river or lake	200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.																			
Within 10m of an inanga spawning site	200 square metres of exposed earth at any time, and 50 cubic metres of moved or placed earth in any 12-month period.																			
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Coastal riparian and foredune management area	Excluding for coastal dune restoration, 200 square metres of exposed earth at any time.																			
Flood hazard area	100 cubic metres of moved or placed earth in any 12-month period.																			
Other areas	5000 square metres of exposed earth at any time.																			

Rule	Comment	Resource Consent
	<ul style="list-style-type: none"> a) reduce the height of a dune crest in a coastal riparian and foredune management area... b) exacerbate flood or coastal hazard risk on any other property, or c) create or contribute to the instability or subsidence of land on other property, or d) divert flood flow onto other property, and 	
	<p>7) any associated damming, diversion and discharge of stormwater does not give rise to any of the following effects in the receiving waters beyond the zone of reasonable mixing:</p> <ul style="list-style-type: none"> a) any conspicuous change in colour or visual clarity, or b) the rendering of fresh water unsuitable for consumption by farm animals, or c) contamination which may render freshwater taken from a mapped priority drinking water abstraction point (refer I Maps Ngā mahere matawhenua) unsuitable for human consumption after existing treatment, and 	
	<p>8) information on the source and composition of any clean fill material and its location within the disposal site are recorded and provided to the Regional Council on request, and</p>	
	<p>9) the Regional Council's Compliance Manager is given at least five working days' notice</p>	
C.8.3.2 Earthworks – controlled activity	<p>Earthworks outside the bed of a river or lake, wetland and the coastal marine area that exceed 5000m² of exposed earth at any time at a particular location or associated with a project area, provided the earthworks are not located:</p> <p>5) in a flood hazard or high-risk flood hazard area, or</p>	N/A – flood hazard area is located to the north of the site.
C.8.3.3 Earthworks in a flood hazard area	<p>Controlled activity</p> <p>Flood hazard area where more than 50m³ and less than 1000m³ of moved or placed earth in any 12 month period.</p>	N/A – flood hazard area is located to the north of the site.
C.8.3.4 Earthworks –	<p>Earthworks outside the bed of a river or lake, that are not a permitted or controlled activity under another rule in section C.8.3 of this Plan.</p>	N/A

Rule	Comment	Resource Consent
discretionary activity		
D.6 Natural Hazards		
D6.5 Flood hazard management – development within floodplains	Development in flood hazard areas must not increase the risk of adverse effects from flood hazards on other property (including or another person's use of land or high risk property).	N/A – flood hazard area is located to the north of the site, outside the area of works.

4. Operative District Plan

4.1. Map Information

Environment	Residential zone
Resources Area	N/A
Overlay	None
Designations	None
Road Classification	Joyces Road is a local road

4.2. Rules

Rule	Comment	Resource Consent
Part 2 Environment Provisions		
Chapter 7 Urban Environment		
7.5 Residential zone		
7.6.5.1 PERMITTED ACTIVITIES	An activity is permitted in the Residential zone if (a) it complies with the standards for permitted activities set out in Rules 7.6.5.1.1 to 7.6.5.1.17 below; and	Does not comply with 7.6.5.1.2 RESIDENTIAL INTENSITY.

Rule	Comment	Resource Consent
	(b) it complies with the relevant standards for permitted activities set out in Part 3 of the Plan - District Wide Provisions.	
7.6.5.1 Standards		
7.6.5.1.1 RELOCATED BUILDINGS	Buildings are permitted activities provided that they comply with all the standards for permitted activities in the Plan, and further provided that where the building is a relocated building all work required to reinstate the exterior including painting and repair of joinery shall be completed within six months of the building being delivered to the site. Reinstatement work is to include connections to all infrastructure services and closing in and ventilation of the foundations.	Will comply. The proposed residential units will be transported to and installed on site.
7.6.5.1.2 RESIDENTIAL INTENSITY	<p>(a) Each residential unit for a single household shall have available to it a minimum net site area of:</p> <p>Sewered sites: 600m²</p> <p>Unsewered sites: 3,000m²</p> <p>This minimum net site area may be for the exclusive use of the residential unit, or as part of land held elsewhere on the property, provided that a ratio of one residential unit per minimum net site area (as stated above) is not exceeded.</p> <p>Except that this rule shall not limit the use of an existing site for a single residential unit for a single household, provided that all other standards for permitted activities are complied with.</p> <p>(b) Accessory buildings on a site within the Coopers Beachfront Estate are a permitted activity provided that:</p> <p>(i) there is no more than one accessory building detached from each residential unit on the site; and</p> <p>(ii) any accessory building which is detached from the residential unit has a total floor area of no more than 45m².</p>	<p>Does not comply.</p> <p>The site is 2,109m² and sewered.</p> <p>A total of four residential units are proposed on the site (2 new units, 1 existing and 1 currently being installed (as a permitted activity)).</p> <p>The site is 2,109m² and sewered. Therefore, a compliant net site area of 2,400m² is required for the proposed total of four dwellings.</p>
7.6.5.1.3 SCALE OF ACTIVITIES	The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people	Complies / N/A. This standard excludes people who 'normally reside on the site' and the

Rule	Comment	Resource Consent
	<p>who normally reside on the site or are members of the household shall not exceed:</p> <p>2 persons per 600m² (sewered)</p> <p>2 persons per 3,000m² (unsewered)</p> <p>Provided that:</p> <p>(a) this number may be exceeded for a period totalling not more than 60 days in any 12 month period where the increased number of persons is a direct result of activities ancillary to the primary activity on the site; and</p> <p>(b) this number may be exceeded where persons are engaged in constructing or establishing an activity (including environmental enhancement) on the site; and</p> <p>(c) this number may be exceeded where persons are visiting marae.</p> <p>In determining the total number of people engaged at any one period of time, the Council will consider the maximum capacity of the facility (for instance, the number of beds in visitors accommodation, the number of seats in a restaurant or theatre), the number of staff needed to cater for the maximum number of guests, and the number and nature of the vehicles that are to be accommodated on site to cater for those engaged in the activity.</p>	<p>proposal is for two new residential units.</p>
7.6.5.1.4 BUILDING HEIGHT	The maximum height of any building shall be 8m.	<p>Complies</p> <p>The plans show that the buildings (which are on stilts / piles) will measure less than 8m in height above ground level.</p>
7.6.5.1.5 SUNLIGHT	<p>No part of any building shall project beyond a 45-degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in Chapter 3 - Definitions), except that:</p> <p>(a) a building may exceed this standard for a maximum distance of 10m along any one boundary other than a road boundary, provided that the maximum height of any building where it</p>	<p>Does not comply along northern road frontage boundary.</p> <p>House 2 will infringe the 2m + 45-degree recession plane by a height of 2.351m and a depth of 2.38m.</p>

Rule	Comment	Resource Consent
	exceeds the standard is 2.7m (refer to Recession Plane Diagram B within the definition of Recession Plane in Chapter 3 – Definitions); and (b) where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest boundary of the entrance strip, private way, access lot, or access way.	House 3 will infringe the 2m + 45-degree recession plane by a height of 4.193m and a depth of 4.065m.
7.6.5.1.6 STORMWATER MANAGEMENT	The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 50%.	Complies – 31.02% proposed.
7.6.5.1.7 SET BACK FROM BOUNDARIES	N/A – applies to specific sites in the district.	N/A
7.6.5.1.8 SCREENING FOR NEIGHBOURS - NON- RESIDENTIAL ACTIVITIES	N/A – activity is residential	N/A
7.6.5.1.9 OUTDOOR ACTIVITIES	Except as otherwise provided by Rule 7.6.5.1.10, any activity may be carried out outside except that any commercial non-residential activity involving manufacturing, altering, repairing, dismantling or processing of any materials, live produce, goods or articles shall be carried out within a building.	N/A Activity is residential
7.6.5.1.10 VISUAL AMENITY	N/A – applies to specific sites in the district.	N/A
7.6.5.1.11 TRANSPORTATION	Refer to Chapter 15 – Transportation for Traffic, Parking and Access rules.	
7.6.5.1.12 SITE INTENSITY - NON- RESIDENTIAL ACTIVITIES	N/A – activity is residential	N/A

Rule	Comment	Resource Consent
7.6.5.1.13 HOURS OF OPERATION - NON-RESIDENTIAL ACTIVITIES	N/A – activity is residential	N/A
7.6.5.1.14 KEEPING OF ANIMALS	No site shall be used for factory farming, a boarding or breeding kennel or a cattery.	N/A
7.6.5.1.15 NOISE	<p>All activities shall be conducted so as to ensure that noise from the site shall not exceed the following noise limits as measured at or within the boundary of any other site in this zone, or at or within the notional boundary of any dwelling in a rural or coastal zone:</p> <p>0700 to 2200 hours 50 dBA L₁₀ 2200 to 0700 hours 45 dBA L₁₀ and 70 dBA L_{max}</p> <p>Construction Noise: Construction noise shall meet the limits recommended in, and shall be measured and assessed in accordance with, NZS 6803P:1984 "The Measurement and Assessment of Noise from Construction, Maintenance and Demolition Work".</p>	Compliance assumed – condition of consent can address.
7.6.5.1.16 HELICOPTER LANDING AREA	Helicopter landing areas are not permitted.	N/A
7.6.5.1.17 BUILDING COVERAGE	Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 45% of the gross site area.	Complies – 15.47% proposed.
7.6.5.2 CONTROLLED ACTIVITIES	<p>An activity is a controlled activity in the Residential Zone if:</p> <ul style="list-style-type: none"> (a) it complies with all of the standards for permitted activities under Rules 7.6.5.1 except for 7.6.5.1.6 Stormwater Management; and (b) it complies with 7.6.5.2.1 Stormwater Management below; and (c) it complies with the relevant standards for permitted, controlled or restricted discretionary 	N/A

Rule	Comment	Resource Consent
	<p>activities set out in Part 3 of the Plan - District Wide Provisions.</p> <p>The Council must approve an application for a land use consent for a controlled activity but it may impose conditions on that consent.</p>	
7.6.5.2 Controlled Activity Standards		
7.6.5.2.1 STORMWATER MANAGEMENT	<p>The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 60% or 600m², whichever is the lesser.</p> <p>In order for an activity to be regarded as a controlled activity, a report must be prepared to demonstrate the likely effects of the activity on stormwater run-off and the means of mitigating run-off to no more than the levels that would result from the permitted threshold of buildings and other impermeable surface coverage in Rule 7.6.5.1.6.</p>	<p>The proposal is compliant with Rule 7.6.5.1.6 above and therefore this rule is N/A.</p>
7.6.5.3 Restricted discretionary activities	<p>An activity is a restricted discretionary activity in the Residential Zone if:</p> <ul style="list-style-type: none"> (a) it does not comply with any one of the following Rules 7.6.5.1.2 Residential Intensity; 7.6.5.1.3 Scale of Activities; 7.6.5.1.4 Building Height; 7.6.5.1.5 Sunlight; 7.6.5.1.7 Setback from Boundaries; 7.6.5.1.11 Transportation; 7.6.5.1.15 Noise and/or 7.6.5.1.17 Building Coverage as set out above; but (b) it complies with all of the other rules for permitted and controlled activities under Rules 7.6.5.1 and 7.6.5.2; and (c) it complies with Rules 7.6.5.3.1 Residential Intensity; 7.6.5.3.2 Scale of Activities; 7.6.5.3.3 Building Height; 7.6.5.3.4 Sunlight; 7.6.5.3.5 Building Coverage; 7.6.5.3.6 Transportation; 7.6.5.3.7 Setback from Boundaries and 7.6.5.3.8 Noise below; and (d) it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in Part 3 of the Plan - District Wide Provisions. 	<p>Restricted discretionary activity consent will be required.</p> <p>The proposal does not comply with Rule 7.6.5.1.2 RESIDENTIAL INTENSITY or Rule 7.6.5.1.5 SUNLIGHT.</p>

Rule	Comment	Resource Consent
	The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent.	
7.6.5.3 Restricted Discretionary Activity Standards		
7.6.5.3.1 RESIDENTIAL INTENSITY	<p>Each residential unit for a single household shall have available to it a minimum net site area of:</p> <p>Sewered sites: 300m²</p> <p>Unsewered sites: 2,000m²</p> <p>This minimum net site area may be for the exclusive use of the residential unit, or as part of land held elsewhere on the property, provided that a ratio of one residential unit per minimum net site area (as stated above) is not exceeded.</p> <p>Except that this rule shall not limit the use of an existing site for a single residential unit for a single household, provided that all other standards for permitted, controlled or restricted discretionary activities are complied with.</p>	<p>Complies</p> <p>Each residential unit on the site will have available to it a minimum net site area of 527.25m² (four units proposed on a 2,109m² site).</p> <p>Restricted discretionary activity consent is required.</p>
7.6.5.3.2 SCALE OF ACTIVITIES	<p>The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people who normally reside on the site or are members of the same household shall not exceed:</p> <p>4 persons per 600m² (sewered)</p> <p>4 persons per 3,000m² (unsewered)</p> <p>Provided that:</p> <ul style="list-style-type: none"> (a) this number may be exceeded for a period totalling not more than 60 days in any 12 month period where the increased number of persons is a direct result of activities ancillary to the primary activity on the site; and (b) this number may be exceeded where persons are engaged in constructing or establishing an activity (including environmental enhancement) on the site; and (c) this number may be exceeded where persons are visiting marae. 	<p>Complies / N/A.</p> <p>This standard excludes people who normally reside on the site where the proposal is for 4 residential units in total.</p>

Rule	Comment	Resource Consent
	In determining the total number of people engaged at any one period of time, the Council will consider the maximum capacity of the facility (for instance, the number of beds in visitors accommodation, the number of seats in a restaurant or theatre), the number of staff needed to cater for the maximum number of guests, and the number and nature of the vehicles that are to be accommodated on site to cater for those engaged in the activity.	
7.6.5.3.3 BUILDING HEIGHT	The maximum height of any building shall be 9m.	Complies
7.6.5.3.4 SUNLIGHT	No part of any building shall project beyond a 45-degree recession plane as measured inwards from any point 3m vertically above ground level on any site boundary.	<p>Does not comply along northern road frontage boundary.</p> <p>House 2 will infringe the 3m + 45-degree recession plane by a height of 1.351m and a depth of 1.38m.</p> <p>House 3 will infringe the 3m + 45-degree recession plane by a height of 3.193m and a depth of 4.065m.</p> <p>Discretionary activity consent required.</p>
7.6.5.3.5 BUILDING COVERAGE	Any new building or alteration/addition to an existing building is a restricted discretionary activity if the total Building Coverage of a site does not exceed 55% or 550m ² , whichever is the lesser, of the gross site area.	N/A – complies with permitted activity standard above.
7.6.5.3.6 TRANSPORTATION	Refer to Chapter 15 – Transportation for Traffic, Parking and Access rules.	
7.6.5.3.7 SETBACK FROM BOUNDARIES	Restricted discretionary to breach Rule 7.6.5.1.7.	N/A
7.6.5.3.8 NOISE	Restricted discretionary to breach Rule 7.6.5.1.15 Noise	N/A

Rule	Comment	Resource Consent
7.6.5.4 Discretionary Activity Standards		
	<p>An activity is a discretionary activity in the Residential Zone if:</p> <ul style="list-style-type: none"> (a) it complies with Rules 7.6.5.1.13 Hours of Operation for Non-residential Activities and 7.6.5.1.14 Keeping of Animals for permitted activities set out above; and (b) it complies with the relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in Part 3 of the Plan - District Wide Provisions; but (c) it does not comply with one or more of the other standards for permitted, controlled, or restricted discretionary activities in this zone as set out under Rules 7.6.5.1, 7.6.5.2, and 7.6.5.3 above. 	Consent required as a discretionary activity for non-compliance with Standard 7.6.5.3.4 Sunlight.
7.6.5.4.1 HELICOPTER LANDING AREA	N/A	
No listed non-complying or prohibited activities		
Chapter 10 Coastal Environment – N/A, the Coastal Environment overlay applies in the PDP, not ODP		
Part 3 District-wide		
12 Natural & Physical Resources		
12.1 Outstanding natural landscapes – N/A		
12.2 Indigenous Flora and Fauna		
12.2.6.1 PERMITTED ACTIVITIES	<p>An activity is a permitted activity if:</p> <ul style="list-style-type: none"> (a) it complies with the standards for permitted activities set out in Rules 12.2.6.1.1 to 12.2.6.1.4 below; and (b) it complies with the relevant standards for permitted activities in the zone in which it is located, set out in Part 2 of the Plan - Environment Provisions; and (c) it complies with the other relevant standards for permitted activities set out in Part 3 of the Plan - District Wide Provisions. 	Permitted activity.
12.2.6.1 Standards		

Rule	Comment	Resource Consent
12.2.6.1.1 INDIGENOUS VEGETATION CLEARANCE PERMITTED THROUGHOUT THE DISTRICT	<p>Notwithstanding any rule in the Plan to the contrary but subject to Rules 12.5.6.1.1, 12.5.6.1.3 and 12.5.6.2.2 in the Heritage section of this Plan, indigenous vegetation clearance is permitted throughout the District where the clearance is for any of the following purposes:</p> <p>...</p> <p>(o) it involves the felling, trimming, damaging or removal of a tree or group of trees in an urban environment unless the tree or group of trees is—</p> <p style="padding-left: 40px;">(A) specifically identified in the plan (refer to Chapter 12.5 and Appendix 1D); or</p> <p style="padding-left: 40px;">(B) located within an area in the district that—</p> <p style="padding-left: 80px;">(i) is a reserve (within the meaning of section 2(1) of the Reserves Act 1977); or</p> <p style="padding-left: 80px;">(ii) is subject to a conservation management plan or conservation management strategy prepared in accordance with the Conservation Act 1987 or the Reserves Act 1977.</p> <p>Where urban environment means an allotment no greater than 4000 m²—</p> <p style="padding-left: 40px;">(a) that is connected to a reticulated water supply system and a reticulated sewerage system; and</p> <p style="padding-left: 40px;">(b) on which is a building used for industrial or commercial purposes, or a dwellinghouse.</p>	The site is located in the urban environment, and there are no listed trees on the site, therefore indigenous vegetation and tree removal is permitted.
12.3 Soils and minerals		
12.3.6.1 Permitted activities	<p>An activity is a permitted activity if:</p> <p>(a) it complies with the standards for permitted activities set out in Rules 12.3.6.1.1 to 12.3.6.1.5 below; and</p> <p>(b) it complies with the relevant standards for permitted activities in the zone in which it is located, set out in Part 2 of the Plan - Environment Provisions; and</p> <p>(c) it complies with the other relevant standards for permitted activities set out in Part 3 of the Plan - District Wide Provisions.</p>	Permitted activity.

Rule	Comment	Resource Consent
12.3.6.1 Permitted Activity Standards		
12.3.6.1.3 Excavation and/or filling in the Residential zone	Excavation and/or filling, excluding mining and quarrying, on any site in the Residential, Industrial, Horticultural Processing, Coastal Residential or Russell Township Zones is permitted, provided that: (a) it does not exceed 200m ³ in any 12-month period per site; and (b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the maximum permitted cut and fill height may be 3m.	Complies. Minor land disturbance will only be required for the piles and new parking bay along the driveway which will not exceed 200m ³ . The Geotech report at Appendix 6 recommends piles up to 2.5m in depth. These will be screw piles and no cut or fill is required. The Civil Engineering Assessment at Appendix 4 confirms that approximately 3m ³ of cut and 3m ³ of fill will be required for the proposed parking area and retaining wall.
12.3.6.1.4 Nature of filling material in all zones	Filling in any zone shall meet the following standards: (a) the fill material shall not contain putrescible, pollutant, inflammable or hazardous components; and (b) the fill shall not consist of material other than soil, rock, stone, aggregate, gravel, sand, silt, or demolition material; and (c) the fill material shall not comprise more than 5% vegetation (by volume) of any load.	Complies.
12.3.6.1.5 Excavation and/or filling, including mining and quarrying within the national grid yard in all zones	N/A	N/A

Rule	Comment	Resource Consent
12.3.6.2 Restricted discretionary activities	An activity is a restricted discretionary activity if: (a) it does not comply with 12.3.6.1.3 Excavation and/or filling in the Residential ... Zones; but (b) it complies with 12.3.6.1.4 Nature of Filling Material in All Zones; and (c) it complies with Rules 12.3.6.2.2 Excavation and/or Filling in the Residential ... Zone below; and (d) it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in Part 2 of the Plan – Environment Provisions; and (e) it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in Part 3 of the Plan – District Wide Provisions.	Likely N/A.
12.3.6.2 Restricted Discretionary Activity Standards		
12.3.6.2.3 EXCAVATION AND/OR FILLING, EXCLUDING MINING AND QUARRYING, IN THE RESIDENTIAL, ... ZONES	Excavation and/or filling, excluding mining and quarrying, on any site in the General Coastal zone is a restricted discretionary activity provided that: (a) it does not exceed 2000m ³ in any 12-month period per site; and (b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the maximum permitted cut and fill height may be 3m.	N/A. Proposal complies with Rule 12.3.6.1.3 above.
12.3.6.3 Discretionary activities	N/A for this site	N/A
12.3.6.3.1 Discretionary Activity Standards		
12.3.6.3.1 Mining and quarrying activities...	N/A	N/A
12.4 Natural hazards		
12.4.6.1 PERMITTED ACTIVITIES	An activity is a permitted activity if:	Permitted activity.

Rule	Comment	Resource Consent
	<ul style="list-style-type: none"> a) it complies with the standards for permitted activities set out in Rules 12.4.6.1.1 to 12.4.6.1.2 below; and b) it complies with the relevant standards for permitted activities in the zone in which it is located, set out in Part 2 of the Plan - Environment Provisions; and c) it complies with the other relevant standards for permitted activities set out in Part 3 of the Plan - District Wide Provisions. 	
12.4.6.1 Standards		
12.4.6.1.1 COASTAL HAZARD 2 AREAS	On land identified on the Coastal Hazard maps (Maps CH 1 - 17) as lying within a Coastal Hazard 2 Area...	N/A
12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS	<p>(a) Residential units shall be located at least 20m away from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest;</p> <p>(b) Any trees in a deliberately planted woodlot or forest shall be planted at least 20m away from any urban environment zone, Russell Township or Coastal Residential Zone boundary, excluding the replanting of plantation forests existing at July 2003.</p>	<p>Will comply.</p> <p>The proposed units will be within 20m of existing trees on the site. However, we do not consider that the existing vegetation and trees on the site, nor the proposed landscaping, comprise scrub, shrubland, woodlot or forest.</p>
12.5 Heritage – N/A		
12.6 Air - deleted		
12.7 Lakes, rivers, wetlands and the coastline		
12.7.6.1 Permitted activities	<p>An activity is a permitted activity if:</p> <ul style="list-style-type: none"> (a) it complies with the standards for permitted activities set out in Rules 12.7.6.1.1 to 12.7.6.1.6 below; and (b) it complies with the relevant standards for permitted activities in the zone in which it is located, set out in Part 2 of the Plan - Environment Provisions; and 	Permitted activity.

Rule	Comment	Resource Consent
	(c) it complies with the other relevant standards for permitted activities set out in Part 3 of the Plan - District Wide Provisions.	
12.7.6.1.1 SETBACK FROM LAKES, RIVERS AND THE COASTAL MARINE AREA	Any building and any impermeable surface must be set back from the boundary of any lake (where a lake bed has an area of 8ha or more), river (where the average width of the riverbed is 3m or more) or the boundary of the coastal marine area, except that this rule does not apply to man-made private water bodies other than the Manuwai and Waingaro Reservoirs. ...	Will comply / N/A.
12.7.6.1.2 12.7.6.1.3 SETBACK FROM SMALLER LAKES, RIVERS AND WETLANDS	Any building and any impermeable surface must be set back from the boundary of lakes (where the lake bed has an area of less than 8ha) smaller continually flowing rivers (where the average width of the river bed is less than 3m) and wetlands except that this rule does not apply to man-made private water bodies. ...	Will comply / N/A.
12.7.6.1.3 PRESERVATION OF INDIGENOUS WETLANDS	Any land use activity within an indigenous wetland of 200m ² or more that does not change the natural range of water levels or the natural ecosystem or flora and fauna...	N/A.
12.7.6.1.4 Land use activities involving discharges of human sewage effluent	Land use activities which produce human sewage effluent (including grey water) are permitted provided that: (a) the effluent discharges to a lawfully established reticulated sewerage system; or (b) the effluent is treated and disposed of on-site such that each site has its own treatment and disposal system no part of which shall be located closer than 30m from the boundary of any river, lake, wetland or the boundary of the coastal marine area.	Will comply, the units can connect to existing wastewater infrastructure as outlined in the civil report.
12.7.6.1.5- 12.7.6.1.6	N/A	N/A
12.7.6.2 Restricted	An activity is a restricted discretionary activity if: (a) it complies with Rule 12.7.6.2.1 Development Bonus below; and	N/A

Rule	Comment	Resource Consent
discretionary activities	(b) it complies with the relevant standards for permitted, controlled or restricted discretionary activities in the zone in which it is located, set out in Part 2 of the Plan – Environment Provisions; and (c) it complies with the other relevant standards for permitted, controlled or restricted discretionary activities set out in Part 3 of the Plan – District Wide Provisions.	
12.7.6.2.1 Development bonus	Where in any zone an activity is subject to a discretionary activity standard limiting building coverage or impermeable surface coverage, the maximum coverage set by that discretionary activity standard may be increased by up to 100% where a 20m wide margin for the length of the surface waterbody that lies within or adjacent to the site, is permanently protected from all stock intrusion by fencing or other means and is planted and maintained in indigenous vegetation suitable for that location.	N/A
12.7.6.3 Discretionary activities	An activity is a discretionary activity if: (a) it complies with Rule 12.7.6.1.6 Noise above; but (b) it does not comply with one or more of the other standards for permitted activities set out under Rule 12.7.6.1 above; and (c) it complies with the relevant standards for permitted, controlled, restricted discretionary or discretionary activities in the zone in which it is located, set out in Part 2 of the Plan - Environment Provisions; and (d) it complies with the other relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in Part 3 of the Plan - District Wide Provisions; and (e) it is not a non-complying activity as described in Rule 12.7.6.4.	N/A
12.8 Hazardous substances - N/A		
12.9 Renewable energy and energy efficiency – N/A		
13 Subdivision		
N/A – no subdivision is proposed.		

Rule	Comment	Resource Consent																		
14 Financial contributions – N/A																				
15 Transportation																				
15.1.6A Traffic																				
Table 15.1.6A.1 Maximum daily one-way traffic movements	<p>Table 15.1.6A.1 Maximum daily one-way traffic movements</p> <p>The table below provides the Traffic Intensity threshold values and relevant classes of activity for all zones in the District Plan. This table must be used in conjunction with the permitted, controlled, restricted discretionary, discretionary and non-complying Traffic Intensity rules located in Rules 15.1.6A.2 through 15.1.6A.6.</p> <p><u>Table 15.1.6A.1</u></p> <table><tr><th>Zone</th><th>Permitted Activity</th><th>Controlled Activity</th><th>Restricted Discretionary Activity</th><th>Discretionary Activity</th><th>Non-Complying Activity</th></tr><tr><td colspan="6">Urban Environment</td></tr><tr><td>Residential</td><td>20</td><td>-</td><td>21 – 40</td><td>More than 40</td><td>-</td></tr></table>	Zone	Permitted Activity	Controlled Activity	Restricted Discretionary Activity	Discretionary Activity	Non-Complying Activity	Urban Environment						Residential	20	-	21 – 40	More than 40	-	<p>20 one-way vehicle movements are permitted.</p> <p>21-40 is a restricted discretionary activity.</p> <p>40+ is a discretionary activity.</p>
Zone	Permitted Activity	Controlled Activity	Restricted Discretionary Activity	Discretionary Activity	Non-Complying Activity															
Urban Environment																				
Residential	20	-	21 – 40	More than 40	-															
15.1.6A.2 Permitted activities	<p>An activity is permitted if</p> <p>(a) it complies with the standards set out in Rule 15.1.6A.2.1; and</p> <p>(b) it complies with the relevant standards for permitted activities in the zone; and</p> <p>(c) it complies with other relevant standards for permitted activities set out in Part 3 District wide provisions</p>	<p>Proposal does not comply with 15.1.6A.2.1.</p>																		
15.1.6A.2.1 Traffic intensity	<p>The traffic intensity threshold value for a site shall be determined by Table 15.1.6A.1 and determined by reference to Appendix 3A in Part 4.</p> <p><u>Appendix 3A</u></p> <table><tr><th>LAND USE ACTIVITY</th><th>TRAFFIC INTENSITY FACTOR (based on average daily one-way vehicle movements)</th></tr><tr><td>Residential</td><td></td></tr><tr><td>Standard Residential Unit</td><td>10 per unit</td></tr><tr><td>Home Unit / Town House</td><td>7 per unit / house</td></tr><tr><td>House on Papakainga</td><td>5 per house</td></tr><tr><td>Kuia / Kaumatua housing on Papakainga</td><td>2 per house</td></tr><tr><td>Home Occupations</td><td>10 per unit</td></tr><tr><td>Pensioner Housing</td><td>2 per unit</td></tr><tr><td>Boarding Houses</td><td>2 per person accommodated</td></tr></table>	LAND USE ACTIVITY	TRAFFIC INTENSITY FACTOR (based on average daily one-way vehicle movements)	Residential		Standard Residential Unit	10 per unit	Home Unit / Town House	7 per unit / house	House on Papakainga	5 per house	Kuia / Kaumatua housing on Papakainga	2 per house	Home Occupations	10 per unit	Pensioner Housing	2 per unit	Boarding Houses	2 per person accommodated	<p>Does not comply.</p> <p>20 is permitted where 31 is proposed as outlined in the Transport Assessment at Appendix 5 (10 per residential unit on the site, and 7 per home unit).</p>
LAND USE ACTIVITY	TRAFFIC INTENSITY FACTOR (based on average daily one-way vehicle movements)																			
Residential																				
Standard Residential Unit	10 per unit																			
Home Unit / Town House	7 per unit / house																			
House on Papakainga	5 per house																			
Kuia / Kaumatua housing on Papakainga	2 per house																			
Home Occupations	10 per unit																			
Pensioner Housing	2 per unit																			
Boarding Houses	2 per person accommodated																			
15.1.6A.3 CONTROLLED ACTIVITIES	N/A – only applies to the Commercial, Industrial, Horticultural Processing and Orongo Bay Special Purpose Zones.	N/A																		

Rule	Comment	Resource Consent																		
15.1.6A.4 Restricted discretionary activities	An activity is restricted discretionary if <ul style="list-style-type: none">(a) it does not comply with the applicable permitted or controlled traffic intensity threshold but(b) complies with Rule 15.1.6A.4.1 Traffic intensity below(c) complies with the relevant standards for permitted, controlled or restricted discretionary activities in the zone(d) complies with all other relevant standards for permitted, controlled or restricted discretionary activities in Part 3 District wide provisions	Restricted discretionary activity consent is required.																		
15.1.6A.4.1 Traffic intensity	<p>The traffic intensity threshold value for a site shall be determined for each zone by Table 15.1.6A.1 above and with reference to Appendix 3A in Part 4.</p> <p><u>Appendix 3A</u></p> <table><tr><th>LAND USE ACTIVITY</th><th>TRAFFIC INTENSITY FACTOR (based on average daily one-way vehicle movements)</th></tr><tr><td>Residential</td><td></td></tr><tr><td>Standard Residential Unit</td><td>10 per unit</td></tr><tr><td>Home Unit / Town House</td><td>7 per unit / house</td></tr><tr><td>House on Papakainga</td><td>5 per house</td></tr><tr><td>Kuia / Kaumatua housing on Papakainga</td><td>2 per house</td></tr><tr><td>Home Occupations</td><td>10 per unit</td></tr><tr><td>Pensioner Housing</td><td>2 per unit</td></tr><tr><td>Boarding Houses</td><td>2 per person accommodated</td></tr></table>	LAND USE ACTIVITY	TRAFFIC INTENSITY FACTOR (based on average daily one-way vehicle movements)	Residential		Standard Residential Unit	10 per unit	Home Unit / Town House	7 per unit / house	House on Papakainga	5 per house	Kuia / Kaumatua housing on Papakainga	2 per house	Home Occupations	10 per unit	Pensioner Housing	2 per unit	Boarding Houses	2 per person accommodated	Does not comply. Traffic intensity factor of 31 is proposed for the site.
LAND USE ACTIVITY	TRAFFIC INTENSITY FACTOR (based on average daily one-way vehicle movements)																			
Residential																				
Standard Residential Unit	10 per unit																			
Home Unit / Town House	7 per unit / house																			
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Home Occupations	10 per unit																			
Pensioner Housing	2 per unit																			
Boarding Houses	2 per person accommodated																			
15.1.6B Parking																				
15.1.6B.1 Permitted activities	An activity is permitted if <ul style="list-style-type: none">(a) it complies with the standards set out in Rules 15.1.6B.1.1 – 6; and(b) complies with the relevant standards for permitted, controlled or restricted discretionary activities in the zone.(c) complies with all other relevant standards for permitted, controlled or restricted discretionary activities in Part 3 District wide provision	Does not comply with Rule 15.1.6B.1.1.																		
15.1.6B.1.1 On-site car parking spaces	Where: <ul style="list-style-type: none">(i) an activity establishes; or(ii) the nature of an activity changes; or(iii) buildings are altered to increase the number of persons provided for on the site;	Does not comply. 8 parking spaces required to provide for the four dwellings on the site (2 per residential unit) as per Appendix 3C and 6																		

Rule	Comment	Resource Consent																																																																																																																																																																																																																
	<p>the minimum number of on-site car parking spaces to be provided for the users of an activity shall be determined by reference to Appendix 3C.</p> <p><u>Appendix 3C</u></p> <table><tr><th>LAND USE ACTIVITY</th><th>CAR PARKING SPACES REQUIRED</th></tr><tr><td>Residential</td><td></td></tr><tr><td>Standard Residential Unit</td><td>2 per unit</td></tr><tr><td>Home Unit / Town House</td><td>2 per unit</td></tr><tr><td>Home Occupations</td><td>1 per non residential employee</td></tr><tr><td>Pensioner Housing</td><td>1 per unit</td></tr><tr><td>Boarding Houses</td><td>1 per 2 persons accommodated</td></tr><tr><td>House on Papakainga</td><td>1 space for the first house plus one space per 2 additional houses</td></tr><tr><td>Kuia / Kaumatua housing on Papakainga</td><td>1 per house</td></tr></table>	LAND USE ACTIVITY	CAR PARKING SPACES REQUIRED	Residential		Standard Residential Unit	2 per unit	Home Unit / Town House	2 per unit	Home Occupations	1 per non residential employee	Pensioner Housing	1 per unit	Boarding Houses	1 per 2 persons accommodated	House on Papakainga	1 space for the first house plus one space per 2 additional houses	Kuia / Kaumatua housing on Papakainga	1 per house	<p>parking spaces are proposed.</p>																																																																																																																																																																																														
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15.1.6B.1.4 Accessible car parking spaces	N/A – does not apply to dwellings	N/A																																																																																																																																																																																																																
15.1.6B.1.5 Car parking space standards	<p>Refer Appendix 3D: Manoeuvring & parking space dimensions.</p> <table><tr><th>Parking Angle</th><th>Width of Parking Space</th><th>Kerb Overhang</th><th>Depth of Parking Space</th><th>Manoeuvring Spaces</th><th>Total Depth One Row</th><th>Total Depth Two Rows</th></tr><tr><td rowspan="4">90° Regular Users⁽¹⁾</td><td>2.4⁽²⁾</td><td>1.0</td><td>4.9</td><td>7.1</td><td>12.9</td><td>16.9</td></tr><tr><td>2.5</td><td>1.0</td><td>4.9</td><td>6.7</td><td>11.6</td><td>16.5</td></tr><tr><td>2.6</td><td>1.0</td><td>4.9</td><td>6.3</td><td>11.2</td><td>16.1</td></tr><tr><td>2.7</td><td>1.0</td><td>4.9</td><td>5.9</td><td>10.8</td><td>15.7</td></tr><tr><td rowspan="4">90° Casual Users⁽¹⁾</td><td>≥2.75</td><td>1.0</td><td>4.9</td><td>5.9</td><td>10.8</td><td>15.7</td></tr><tr><td>2.5</td><td>1.0</td><td>4.9</td><td>8.1</td><td>13.0</td><td>17.9</td></tr><tr><td>2.6</td><td>1.0</td><td>4.9</td><td>7.1</td><td>12.0</td><td>16.9</td></tr><tr><td>2.7</td><td>1.0</td><td>4.9</td><td>6.7</td><td>11.6</td><td>16.5</td></tr><tr><td rowspan="4">75°</td><td>≥2.75</td><td>1.0</td><td>4.9</td><td>6.6</td><td>11.6</td><td>16.4</td></tr><tr><td>2.4⁽²⁾</td><td>1.0</td><td>5.2</td><td>6.5</td><td>11.7</td><td>16.9</td></tr><tr><td>2.5</td><td>1.0</td><td>5.2</td><td>6.0</td><td>11.2</td><td>16.4</td></tr><tr><td>2.6</td><td>1.0</td><td>5.2</td><td>5.7</td><td>10.9</td><td>16.1</td></tr><tr><td rowspan="4">60°</td><td>2.7</td><td>1.0</td><td>5.2</td><td>5.0</td><td>10.2</td><td>15.4</td></tr><tr><td>≥2.75</td><td>1.0</td><td>5.2</td><td>4.3</td><td>9.5</td><td>14.7</td></tr><tr><td>2.4⁽²⁾</td><td>1.0</td><td>5.2</td><td>4.6</td><td>9.8</td><td>15.0</td></tr><tr><td>2.5</td><td>1.0</td><td>5.2</td><td>4.1</td><td>9.3</td><td>14.5</td></tr><tr><td rowspan="4">45°</td><td>2.6</td><td>1.0</td><td>5.2</td><td>3.5</td><td>8.7</td><td>13.9</td></tr><tr><td>2.7</td><td>1.0</td><td>5.2</td><td>3.3</td><td>8.5</td><td>13.7</td></tr><tr><td>≥2.75</td><td>1.0</td><td>5.2</td><td>3.2</td><td>8.4</td><td>13.6</td></tr><tr><td>2.4⁽²⁾</td><td>0.8</td><td>4.9</td><td>2.9</td><td>7.8</td><td>12.7</td></tr><tr><td rowspan="4">30°</td><td>2.5</td><td>0.8</td><td>4.9</td><td>2.7</td><td>7.6</td><td>12.5</td></tr><tr><td>2.6</td><td>0.8</td><td>4.9</td><td>2.5</td><td>7.4</td><td>12.3</td></tr><tr><td>2.7</td><td>0.8</td><td>4.9</td><td>2.4</td><td>7.3</td><td>12.2</td></tr><tr><td>≥2.7</td><td>0.8</td><td>4.9</td><td>2.3</td><td>7.2</td><td>12.1</td></tr><tr><td rowspan="4">Parallel</td><td>2.4⁽²⁾</td><td>0.6</td><td>4.0</td><td>2.4</td><td>6.4</td><td>10.4</td></tr><tr><td>2.5</td><td>0.6</td><td>4.0</td><td>2.4</td><td>6.4</td><td>10.4</td></tr><tr><td>2.6</td><td>0.6</td><td>4.0</td><td>2.4</td><td>6.4</td><td>10.4</td></tr><tr><td>2.7</td><td>0.6</td><td>4.0</td><td>2.3</td><td>6.3</td><td>10.3</td></tr><tr><td rowspan="3">Parallel</td><td>≥2.75</td><td>0.6</td><td>4.0</td><td>2.3</td><td>6.3</td><td>10.3</td></tr><tr><td>5.9</td><td>0.4</td><td>2.5</td><td>3.6</td><td>6.1</td><td>8.6</td></tr><tr><td>6.1</td><td>0.4</td><td>2.5</td><td>3.3</td><td>5.8</td><td>8.3</td></tr><tr><td></td><td>6.3</td><td>0.4</td><td>2.5</td><td>3.0</td><td>5.5</td><td>8.0</td></tr></table>	Parking Angle	Width of Parking Space	Kerb Overhang	Depth of Parking Space	Manoeuvring Spaces	Total Depth One Row	Total Depth Two Rows	90° Regular Users ⁽¹⁾	2.4 ⁽²⁾	1.0	4.9	7.1	12.9	16.9	2.5	1.0	4.9	6.7	11.6	16.5	2.6	1.0	4.9	6.3	11.2	16.1	2.7	1.0	4.9	5.9	10.8	15.7	90° Casual Users ⁽¹⁾	≥2.75	1.0	4.9	5.9	10.8	15.7	2.5	1.0	4.9	8.1	13.0	17.9	2.6	1.0	4.9	7.1	12.0	16.9	2.7	1.0	4.9	6.7	11.6	16.5	75°	≥2.75	1.0	4.9	6.6	11.6	16.4	2.4 ⁽²⁾	1.0	5.2	6.5	11.7	16.9	2.5	1.0	5.2	6.0	11.2	16.4	2.6	1.0	5.2	5.7	10.9	16.1	60°	2.7	1.0	5.2	5.0	10.2	15.4	≥2.75	1.0	5.2	4.3	9.5	14.7	2.4 ⁽²⁾	1.0	5.2	4.6	9.8	15.0	2.5	1.0	5.2	4.1	9.3	14.5	45°	2.6	1.0	5.2	3.5	8.7	13.9	2.7	1.0	5.2	3.3	8.5	13.7	≥2.75	1.0	5.2	3.2	8.4	13.6	2.4 ⁽²⁾	0.8	4.9	2.9	7.8	12.7	30°	2.5	0.8	4.9	2.7	7.6	12.5	2.6	0.8	4.9	2.5	7.4	12.3	2.7	0.8	4.9	2.4	7.3	12.2	≥2.7	0.8	4.9	2.3	7.2	12.1	Parallel	2.4 ⁽²⁾	0.6	4.0	2.4	6.4	10.4	2.5	0.6	4.0	2.4	6.4	10.4	2.6	0.6	4.0	2.4	6.4	10.4	2.7	0.6	4.0	2.3	6.3	10.3	Parallel	≥2.75	0.6	4.0	2.3	6.3	10.3	5.9	0.4	2.5	3.6	6.1	8.6	6.1	0.4	2.5	3.3	5.8	8.3		6.3	0.4	2.5	3.0	5.5	8.0	<p>Complies</p> <p>One parking space has been removed adjacent to the existing house to provide for a manoeuvring space. The new parking bay adjacent the driveway will comply.</p>
Parking Angle	Width of Parking Space	Kerb Overhang	Depth of Parking Space	Manoeuvring Spaces	Total Depth One Row	Total Depth Two Rows																																																																																																																																																																																																												
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15.1.6B.1.6 Loading spaces	N/A – does not apply to Residential zone	N/A																																																																																																																																																																																																																
15.1.6B.2 Restricted discretionary activities	<p>An activity is a restricted discretionary activity if:</p> <ul style="list-style-type: none">(a) it does not comply with Rule 15.1.6B.1.1 On-site car parking spaces; but(b) complies with all other standards for permitted activities above; and(c) complies with Rules 15.1.6B.2.1 Cycling Facilities or 15.1.6B.2.2 Green Space; and	<p>Restricted discretionary activity consent required.</p> <p>Proposal does not comply with Rule 15.1.6B.1.1 On-site car parking spaces, where 8 parking spaces required on site and 6 parks are provided.</p>																																																																																																																																																																																																																

Rule	Comment	Resource Consent
	<p>(d) complies with the relevant standards for permitted, controlled or restricted discretionary activities in the zone.</p> <p>(e) complies with all other relevant standards for permitted, controlled or restricted discretionary activities in Part 3 District wide provision</p>	
15.1.6B.2.1 Cycling facilities	N/A – does not apply to Residential zone	N/A
15.1.6B.2.2 Green space	N/A – does not apply to Residential zone	N/A
15.1.6C Access		
N/A – no changes to the access arrangement is proposed		
16 Signs and Lighting		
16.6.1 Permitted activities	<p>(a) An activity is permitted if it complies with the standards below; and</p> <p>(b) it complies with the relevant standards for permitted activities in the zone</p> <p>(c) it complies with the other relevant standards for permitted activities set out in Part 3 of the Plan .</p>	Permitted activity
16.6.1.1 Light spill and glare	<p>(a) Outdoor lighting used by, or in association with, any activity, including any illuminated sign, shall not exceed the following limits:</p> <p>(i) between 0700hrs and 2200hrs the use of any outdoor lighting shall not cause an added luminance in excess of 25Lux measured horizontally or vertically at any point on the boundary of any adjacent site zoned Residential...</p> <p>(ii) between 2200hrs and 0700hrs the following day the use of any outdoor lighting shall not cause an added luminance in excess of 10Lux measured horizontally or vertically at any point 2m within the boundary of any adjacent site zoned Residential...</p> <p>(b) All outdoor lighting, except street lighting, shall be directed away from roads and any adjacent sites zoned Residential... Street lighting shall be designed and constructed in accordance with the AS/NZS 1158, NZS 4404:2002 "Land Development and Subdivision</p>	Compliance assumed.

Rule	Comment	Resource Consent
	Engineering” and Council’s “Engineering Standards and Guidelines” (June 2004 – Revised 2009). (c) Any activity which involves lighting and is situated on a site adjacent to a State Highway ... N/A	
16.6.1.2 - 16.6.1.5	N/A no signage is proposed	
16.6.2 Restricted discretionary activities	(a) An activity is a restricted discretionary activity if it does not comply with one or more of the standards for permitted activities set out above (b) Must also comply with standards below (c) it complies with the relevant standards for permitted, controlled or restricted discretionary activities in the zone (d) d) it complies with the other relevant standards for permitted, controlled, or restricted discretionary activities set out in Part 3 of the Plan.	N/A
16.6.2.1 – 16.6.2.3	N/A no signage is proposed	
16.6.3 Discretionary activities	N/A	

5. Proposed District Plan

5.1. Plan Status

The Proposed District Plan (**PDP**) is at the hearings stage. The Hearings Panel has been appointed to hear submissions and make recommendations on the PDP, with hearings having commenced in May 2024 and programmed to continue until later in 2025. The Hearings Panel recommendation reports are then programmed to be delivered to the Council by early 2026. In 2026 the Council will give notice of its decisions on the PDP based on the recommendations of the Hearings Panel.

Key Milestone	Timeline
Draft Proposed District Plan	2021
Proposed District Plan notified	2022
Submissions and further submissions	2023
Hearings	2024-2025
Panel Recommended Decisions	Early 2026
Council Decisions	By 27 May 2026

There are only some rules of the PDP that have immediate legal effect. Notwithstanding, a comprehensive assessment of the PDP rules follows.

5.2. Map Information

Environment	General Residential zone
Resources Area	N/A
Overlay	Coastal Environment River Flood Hazard Zone (100 Year ARI Event) – <u>located outside of the site / area of works</u>
Designations	None
Road Classification	Joyces Road is a local road

5.3. Rules

Rule	Comment	Resource Consent
District-wide Matters		
Infrastructure – N/A		
Transport		
TRAN-R1 Parking	Permitted where: PER-1 - Parking spaces and loading spaces are located on site and not located over any footpaths, access, manoeuvring, or outdoor living areas. PER-2 - Stacked parking N/A PER-3 - Parking spaces and loading spaces are permanently marked or delineated.	Restricted discretionary activity. 8 spaces are required on the site (2 per residential unit) by TRAN-S1. 6 are proposed.

Rule	Comment	Resource Consent
	PER-4 - All parking and loading spaces comply with: TRAN-S1 Requirements for parking.	
TRAN-R2 Vehicle crossings and access including private accessways	<p>Permitted where:</p> <p>PER-1 - Where the private accessway serves a maximum of 8 household equivalents – will comply, the total number of units on site will be 4.</p> <p><u>(Note:</u> 1 household equivalent is represented by 10 vehicle movements. One vehicle movement is a single movement to or from a property.).</p> <p>PER-2 - The vehicle crossing and access for fire appliances comply with SNZ PAS 4509:2008 New Zealand Fire Fighting Water Supplies Code of Practice – compliance TBC.</p> <p>PER-3 - The vehicle crossing is not off a State Highway, or off a road classified arterial or higher under the One Network Road Classification – will comply.</p> <p>PER-4 - Any unused vehicle crossings are reinstated to match the existing footpath and kerbing, or the shoulder and berm are reinstated where there is no footpath or kerbing, with all works to be undertaken as per any required traffic management plan and corridor access request. – N/A.</p> <p>PER-5 - Private accessways shall be designed and constructed in accordance with TRAN-Table 9 - Requirements for private accessways. – no change.</p> <p>PER-6 - The vehicle crossing, access, or private accessway complies with standards: TRAN-S2 Requirements for vehicle crossings; and TRAN-S3 Requirements for passing bays. – no change.</p> <p>Activity status where compliance not achieved: Discretionary</p>	Complies.
TRAN-R3 Maintenance or upgrading of existing transport infrastructure within the	N/A	N/A

Rule	Comment	Resource Consent																		
existing road corridor																				
TRAN-R4 Electric vehicle charging stations	Permitted where the minimum number of parking spaces are provided in accordance with: TRAN-S1 Requirements for parking. Restricted discretionary where compliance not achieved.	N/A No electric charging stations are required or proposed.																		
TRAN-R5 Trip generation	Permitted where use or development no greater than thresholds in TRAN-Table 11: <u>Residential Activity:</u> 20 residential units.	Complies.																		
TRAN-R6 – TRAN R8	N/A	N/A																		
TRAN-R9 New or altered vehicle crossings accessed from a State Highway or a Limited Access Road	N/A – Joyces Road is not a SH or limited access road	N/A																		
TRAN-R10 Activities not otherwise listed	Activity status: Discretionary	N/A																		
Standards																				
TRAN-S1 Parking	<p>TRAN-Table 1 - Minimum number of parking spaces</p> <ul style="list-style-type: none"> 2 spaces required per residential unit (8 total) <p>TRAN-Table 1 - Minimum number of parking spaces</p> <table> <tr> <th>Activity</th><th>Required car parking spaces</th><th>Required bicycle parking spaces</th></tr> <tr> <td>Residential activities</td><td></td><td></td></tr> <tr> <td>Residential unit</td><td>2 per unit</td><td>Nil</td></tr> <tr> <td>Multi-unit development Home unit or townhouse</td><td>1 per unit</td><td>1 per residential unit without dedicated parking plus 1 per 10 residential units</td></tr> <tr> <td>Papakāinga</td><td>1 for the first house, plus 1 per 2 additional residential units</td><td>Nil</td></tr> <tr> <td>Minor residential unit Pensioner housing Kūia/kaumatua housing</td><td>1 per unit</td><td>Nil</td></tr> </table> <p>TRAN-Table 2 - Minimum number of accessible car parking spaces</p> <ul style="list-style-type: none"> None required for less than 20 parking spaces on site. 	Activity	Required car parking spaces	Required bicycle parking spaces	Residential activities			Residential unit	2 per unit	Nil	Multi-unit development Home unit or townhouse	1 per unit	1 per residential unit without dedicated parking plus 1 per 10 residential units	Papakāinga	1 for the first house, plus 1 per 2 additional residential units	Nil	Minor residential unit Pensioner housing Kūia/kaumatua housing	1 per unit	Nil	<p>Does not comply.</p> <p>8 parking spaces are required and 6 provided.</p> <p>Restricted discretionary activity.</p>
Activity	Required car parking spaces	Required bicycle parking spaces																		
Residential activities																				
Residential unit	2 per unit	Nil																		
Multi-unit development Home unit or townhouse	1 per unit	1 per residential unit without dedicated parking plus 1 per 10 residential units																		
Papakāinga	1 for the first house, plus 1 per 2 additional residential units	Nil																		
Minor residential unit Pensioner housing Kūia/kaumatua housing	1 per unit	Nil																		

Rule	Comment	Resource Consent
	<p>TRAN-Table 3 - Minimum on-site loading bay requirements</p> <ul style="list-style-type: none"> None required for residential sites <p>TRAN-Table 4 - End of trip facility requirements</p> <ul style="list-style-type: none"> None required for residential sites <p>TRAN-Table 5 - Parking and manoeuvring dimensions</p> <p>Refer Plan.</p>	
TRAN-S2 Requirements for vehicle crossings	<p>1. No more than the maximum number of vehicle crossings shall be provided per site in accordance with TRAN-Table 6 - Maximum number of vehicle crossings per site;</p> <p>2. New vehicle crossings shall be located at least 8m from a dedicated pedestrian crossing facility;</p> <p>3. Where a site has frontage to more than one road, the vehicle crossing shall be prioritised to be provided onto the road that has the lower road classification.</p> <p>4. New vehicle crossings shall meet the minimum separation distance requirements from intersections as set out in TRAN-Table 7 - Minimum distance of vehicle crossings from intersections; and</p> <p>5. New vehicle crossings shall be located to meet the minimum sight distance requirements as set out in TRAN-Table 8 - Minimum sight distances for vehicle crossings: 120m</p> <p><u>Note:</u> Minimum vehicle crossing widths to the State Highway network may be greater than those above. All access to the State Highway network requires the approval of Waka Kotahi under the Government Rooding Powers Act 1989.</p>	<p>Complies / no change.</p> <p>No new vehicle crossings are proposed.</p>
TRAN-S3 Passing bays	<p>1. Where required, passing bays on private accessways are to be at least 15m long and provide a minimum usable access width of 5.5m;</p> <p>2. Passing bays are required:</p> <p>i. in Rural Production, Rural Lifestyle, Horticulture, and Māori Purpose Rural zones at spacings not exceeding 100m;</p>	<p>Complies / N/A</p> <p>No passing bays are required or proposed.</p>

Rule	Comment	Resource Consent
	<p>ii. on all blind corners in all zones at locations where the horizontal and vertical alignment of the private accessway restricts visibility; and</p> <p>3. All accesses serving 2 or more sites shall provide passing bays and a double width vehicle crossing to allow for vehicles to queue within the site.</p>	
TRAN-S4 Road design	<p>N/A</p> <p>No new roads are proposed.</p>	N/A
TRAN-S5 Streetlighting	<p>1. Any land use or subdivision which creates a new road or extends the requirement for street lighting, must...</p>	N/A
Natural Hazards		
NH-R1 Maintenance, repair or upgrading of infrastructure, including structural mitigation assets	<p><u>1 in 100 Year River Flood hazard areas</u></p> <p>Permitted where:</p> <p>PER-1: There is no increase to the footprint of any above ground infrastructure.</p> <p>PER-2: Any works to maintain, repair or upgrade infrastructure do not alter or divert an overland flow path.</p> <p>PER-3: Ground is reinstated to the equivalent state that existed prior to the works.</p>	N/A – not proposed.
NH-R2 Extensions and alterations to existing buildings or structures 1 in 100 Year River Flood hazard areas	<p>N/A – only new buildings are proposed.</p>	N/A
NH-R3 New buildings or structures in the 1 in 100 Year River Flood hazard areas	<p>Permitted where:</p> <p>PER-1</p> <p>The building or structure is one of the following:</p> <ol style="list-style-type: none"> above ground buildings or structures with a footprint of 10m² or less; or deck less than 30m² and less than 1m in height; or 	<p>N/A / complies.</p> <p>The proposed buildings are not located within the flood hazard area.</p>

Rule	Comment	Resource Consent
	<p>3. boardwalks or stairs that are less than 500mm above ground level and located within a public reserve or legal road.</p> <p>PER-2</p> <p>The building or structure is not located within or does not alter or divert an overland flow path.</p>	
NH-R4 New buildings or structures ancillary to farming activity	N/A	N/A
NH-R5 Wild fire - Buildings used for a vulnerable activity (excluding accessory buildings)	<p>Activity status: Permitted</p> <p>Where:</p> <p>PER-1</p> <p>Any building used for a vulnerable activity (excluding accessory buildings) either:</p> <ol style="list-style-type: none"> 1. is located on a site that has access to a fire hydrant; or 2. provides for water supply and access to water supplies for fire fighting purposes in compliance with the SNZ PAS 4509:2008 New Zealand Fire Service Firefighting Water Supplies Code of Practice. <p>PER-2</p> <p>Any building used for a vulnerable activity (excluding accessory buildings) is set back at least 20m from the dripline of any contiguous scrub or shrubland, woodlot or forestry.</p>	Permitted activity.
NH-R6 Wild fire - extensions and alterations to buildings	N/A	N/A
NH-R7 New buildings, and extensions or alterations that increase the GFA	<p><u>1 in 100 Year River Flood hazard areas</u></p> <p>Activity status: Restricted discretionary where:</p> <p>RDIS-1</p> <p>The new building, extension or alteration is not located in the 1 in 10 Year River Flood Hazard Area and is or will be used for a vulnerable activity.</p>	<p>N/A</p> <p>The Flood hazard area is located to the north of the site, outside the area of works.</p>

Rule	Comment	Resource Consent
of existing buildings	<p>RDIS-2</p> <p>The finished floor level of:</p> <ol style="list-style-type: none"> any new building or extension or alteration to an existing building that will accommodate vulnerable activities must be at least 500mm above the maximum water level in a 1 in 100 year flood event; any extension or alteration that increases the GFA of a building that accommodates vulnerable activities must be at least 500mm above the maximum water level in a 1 in 100 year flood event; and all other new buildings, or extensions or alterations to existing buildings, must be at least 300mm above the maximum water level in a 1 in 100 year flood event. <p>RDIS-3</p> <p>The new, extended or altered building does not divert divert an overland flow path onto other properties.</p> <p>RIDS-4</p> <p>The building complies with standard:</p> <p>NH-S1 Information requirements</p> <p>Activity status where compliance with RDIS-2, RDIS-3 or RDIS-4 is not achieved: Discretionary</p>	
NH-R8 Changes in use to accommodate vulnerable activity within existing buildings	N/A – no change to the existing building on the site.	N/A
NH-R9 New structures (excluding buildings)	<p>1 in 100 Year River Flood hazard areas</p> <p>Restricted discretionary where:</p> <p>PER-1: Does not divert flood flow onto other properties or result in any increase in flood hazard beyond the site.</p> <p>PER-2: The structure or infrastructure complies with standard NH-S1 Information requirements.</p>	N/A – refer rules re buildings above
Standards		

Rule	Comment	Resource Consent
NH-S1 Information requirements	Any application for a resource consent in relation to a site that is potentially affected by natural hazards must be accompanied by a report prepared by a suitably qualified and experienced engineer that addresses the matters identified in the relevant objectives, policies, performance standards and matters of control/discretion.	N/A
Natural Environment Values – N/A, site is not located within an SNA, ONL or ONF overlay area		
Subdivision – N/A not proposed		
Coastal Environment		
CE-R1	<p>Activity status: Permitted</p> <p>Where:</p> <p>PER-1</p> <p>If a new building or structure is located in an urban zone it is:</p> <ol style="list-style-type: none"> no greater than 300m²; and located outside high or outstanding natural character areas. <p>PER-2</p> <p>If a new building or structure is not located within an urban zone it is:</p> <ol style="list-style-type: none"> ancillary to farming activities (excluding a residential unit); no greater than 25m²; and located outside outstanding natural character areas. <p>PER-3</p> <p>Any extension to a lawfully established building or structure is no greater than 20% of the GFA of the existing lawfully established building or structure.</p> <p>PER-4</p> <p>The building or structure, or extension or addition to an existing building or structure, complies with standards:</p> <p><u>CE-S1 Maximum height.</u></p> <p>CE-S2 Colours and materials.</p>	<p>Discretionary activity</p> <p>consent required.</p> <p>Does not comply with CE-S1 Maximum 5m height.</p> <p>Each new residential unit measures around 42.75m² and is located outside high or outstanding natural character areas.</p>
CE-R2	Repair or maintenance	N/A

Rule	Comment	Resource Consent
CE-R3	<p>PER-1</p> <p>The earthworks or indigenous vegetation clearance is:</p> <ol style="list-style-type: none"> 1. required for repair or maintenance permitted under CE-R2 Repair or Maintenance; or 2. required to provide for safe and reasonable clearance for existing overhead power lines; or 3. necessary to ensure the health and safety of the public; or 4. for biosecurity reasons; or 5. for the sustainable non-commercial harvest of plant material for rongoā Māori. <p>PER-2</p> <p>The earthworks or indigenous vegetation clearance is not provided for within CE-R3 PER-1 but it complies with standard CE-S3 Earthworks or indigenous vegetation clearance.</p>	<p>Discretionary activity.</p> <p>Earthworks cannot exceed a cut height or fill depth of <u>1m</u> and must screen any exposed faces.</p>
CE-R4 Farming	N/A	N/A
CE-R5 Demolition of buildings or structures	N/A	N/A
CE-S1	<ol style="list-style-type: none"> 1. The maximum height of any new building or structure above ground level is 5m and must not exceed the height of the nearest ridgeline, headland or peninsula; and 2. Any extension to a building or structure must not exceed the height of the existing building above ground level or exceed the height of the nearest ridgeline, headland or peninsula. 	<p>Does not comply.</p> <p>Discretionary activity.</p> <p>The proposed residential units are on stilts / piles.</p>
CE-S2	Colours and materials – must be constructed of materials and/or finished to achieve a reflectance value no greater than 30% and have an exterior finish within Groups A, B or C as defined within BS5252	Complies
CE-S3	Earthworks or indigenous vegetation clearance cannot exceed a cut height or fill depth of 1m and must screen any exposed faces	Discretionary activity to infringe.

Rule	Comment	Resource Consent
Earthworks		
EW-R1 Earthworks for buildings or structures, and extensions to existing buildings or structures	Activity status: Permitted where: PER-1: The earthworks comply with standards: EW-S1 - EW-S9. Activity status where compliance not achieved with PER-1: Restricted discretionary.	Restricted discretionary activity consent may be required to infringe EW-S2 depending on depth of cut required for piles.
EW-R2 – EW-R15	N/A	N/A
Standards		
EW-S1 Max earthworks thresholds	General Residential zone - 200m ³ and 2500m ²	Complies. Only minor land disturbance required for parking bay and retaining wall comprising approximately 3m ² of cut and 3m ² of fill, as outlined in Appendix 4 . The screw piles will not require cut or fill.
EW-S2 Max depth and slope	The maximum depth of any cut or height of any fill shall not exceed: 1. 1.5m, i.e. maximum permitted cut and fill height may be 3m; or 2. 3m subject to it being retained by a engineered retaining wall, which has had a building consent issued.	Will comply with 3m as outlined above.
EW-S3 Accidental discovery protocol	Refer rule	Compliance assumed
EW-S4 Site reinstatement	As soon as practicable, but no later than six months from the commencement of works: 1. the earthworks area shall be stabilised, filled and/or recontoured in a manner consistent with the surrounding land.	Compliance assumed

Rule	Comment	Resource Consent
	2. replanted with vegetation which is the same as, or of similar species, to that which existed on the site prior to the earthworks taking place (if any), except that where the site was vegetation with any plant pest, the site may be replanted with indigenous vegetation, from locally sourced genetic stocks or sealed, paved, metaled or built over.	
EW-S5 Erosion and sediment control	<p>Earthworks</p> <p>1. must for their duration be controlled in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016 (Auckland Council Guideline Document GD2016/005);</p> <p>2. shall be implemented to prevent silt or sediment from entering water bodies, coastal marine area, any stormwater system, overland flow paths, or roads.</p>	Compliance assumed
EW-S6 Setback	Earthworks must be setback 3m from a site boundary (1.5m if supported by engineered retaining walls)	Compliance assumed
EW-S7 Land stability	Earthworks must not result in any instability of land at or beyond the boundary of the property where earthworks occur	Compliance assumed
EW-S8 Nature of filling material	<p>The fill material shall not:</p> <p>1. contain putrescible, pollutant, inflammable or hazardous components;</p> <p>2. consist of material other than soil, rock, stone, aggregate, gravel, sand, silt, or demolition material.</p> <p>3. comprise more than 5% vegetation (by volume) of any load.</p>	Will comply
EW-S9 Flood and coastal hazards	Earthworks must not divert flood flow onto other properties or otherwise result in any increase in flood hazard beyond the boundaries of the site; or result in the loss of any flood storage volume within a flood hazard area, unless equivalent flood storage is provided.	<p>Will comply</p> <p>Proposed units are on stilts / piles and the flood hazard area is located outside the area of proposed works.</p>
NOISE		
NOISE-R1 Emission of	Permitted where:	Permitted activity

Rule	Comment	Resource Consent
noise (not otherwise provided for in this chapter)	PER-1 Noise generated from any activity on a site complies with standard: NOISE-S1 Maximum noise levels.	
NOISE-R2 New buildings, alterations and/or additions to an existing building for a noise sensitive activity	Permitted where: PER-1: All habitable rooms comply with the noise insulation for noise sensitive activities effect standards which are relevant to the underlying zone or specific area identified: NOISE-S5 Noise insulation.	N/A NOISE-S5 does not apply to the site.
NOISE-R3 Noise from temporary activity	N/A	N/A
NOISE-R4 Construction noise	Permitted where: PER-1: The noise from construction activities undertaken on a site complies with the guidelines and recommendations of the New Zealand Standard NZS 6803:1999: Acoustics Construction Noise.	Compliance assumed Units will be constructed off site and transported via truck.
Standards		
NOISE-S1 Maximum noise levels - zone specific	Noise generated by any activity shall not exceed the following noise limits at any point within any other site in the General Residential, Kororāreka Russell Township zone or Rural Residential zone: 7.00 am to 10.00 pm - 50 dB LAeq (15min); 10.00 pm to 7.00 am - 40 dB LAeq (15 min); and 10.00 pm to 7.00 am - 70 dB LAFmax.	Compliance assumed
NOISE-S2 Temporary activities standards	N/A	Not a temporary activity.
NOISE-S3 Noise from temporary military training activities	N/A	N/A

Rule	Comment	Resource Consent
NOISE-S4 Helicopter landing areas	N/A	N/A
NOISE-S5 Noise insulation standards for all noise sensitive activities	N/A – relates to sites within 40m of state highway and other zones.	N/A
NOISE - S6 Explosives	N/A	N/A
SIGNS – N/A no signage proposed		
AREA SPECIFIC MATTERS		
General Residential Zone		
GRZ-R1 New buildings or structures, or extensions or alterations to an existing buildings or structures	Activity status: Permitted Where: PER-1 The new building or structure, or extension or alteration to an existing building or structure, will accommodate a permitted or controlled activity.	
	PER-2 The new building or structure, or extension or alteration to an existing building or structure complies with standards: GRZ-S1 – GRZ-S7	Discretionary activity Compliance with GRZ-S2 Height in relation to boundary not achieved .
GRZ-R2 Impermeable surface coverage	Activity status: Permitted Where: PER-1 The impermeable surface coverage of any site is no more than 50%.	Permitted.
GRZ-R3 Residential activity (standalone residential units)	Activity status: Permitted Where: PER-1 The number of standalone residential units on a site does not exceed one; and	Discretionary activity The number of standalone residential units will be 4 where 1 is permitted.

Rule	Comment	Resource Consent
	The site does not contain a multi-unit development.	
GRZ-R4 –GRZ-R8	N/A	N/A
GRZ-R9 Residential activity (multi-unit development)	N/A - means a group of two or more residential units contained within one contiguous building.	N/A
Standards		
GRZ-S1 Maximum height	8m	Complies
GRZ-S2 Height in relation to boundary	<p>The building or structure, or extension or alteration to an existing building or structure must be contained within a building envelope defined by the following recession planes measured inwards from the respective boundary:</p> <ol style="list-style-type: none"> 1. 55 degrees at 2m above ground level at the northern boundary of the site; 2. 45 degrees at 2m above ground level at the eastern and western boundaries of the site; and 3. 35 degrees at 2m above ground level at the southern boundary of the site. <p>Except where the site boundary adjoins a lawfully established accessway or access lot serving a rear site, the measurement shall be taken from the furthest boundary of the accessway or access lot.</p> <p>This standard does not apply to:</p> <ol style="list-style-type: none"> i. Solar and water heating components not exceeding 0.5m in height on any elevation; or ii. Chimney structures not exceeding 1.2m in width and 1m in height on any elevation; or iii. Satellite dishes and aerals not exceeding 1m in height and/or diameter on any elevation; or iv. Architectural features (e.g. finials, spires) not exceeding 1m in height on any elevation; or 	<p>Does not comply along northern front boundary.</p> <p>Discretionary activity</p>

Rule	Comment	Resource Consent
	<p>v. A building or structure exceeding this standard for a maximum distance of 10m along any one boundary other than a road boundary, provided that the maximum height of any building or structure where it exceeds the standard is 2.7m.</p>	
GRS-S3 Setback	<p>The building or structure, or extension or alteration to an existing building or structure must be set back at least 1.2m from all site boundaries, except that the setback must be at least 3m measured from a road boundary.</p> <p>This standard does not apply to:</p> <ul style="list-style-type: none"> i. Fences or walls no more than 2m in height above ground level; or ii. uncovered decks no more than 0.5m above ground level. 	Complies.
GRZ-S4 Setback from MHWS	N/A	
GRZ-S5 Façade length	<p>The new building or structure, or extension or alteration to an existing building or structure must include a recess where the façade exceeds 20m along any road or public land.</p> <p>The recess must:</p> <ul style="list-style-type: none"> be at least 1m in depth for a length of at least 2m; be for the full height of the wall; and include a break in the eave line and roofline of the façade. 	<p>N/A</p> <p>Building facades will not exceed 20m</p>
GRZ-S6 Outdoor living space	<p>1. Each residential unit must have an exclusive outdoor living space:</p> <ul style="list-style-type: none"> i. of at least 50m² at ground level with a minimum dimension of 5m; or ii. at least 8m² (with a minimum dimension of 2m) where the residential unit is not on the ground floor. <p>2. The outdoor living space must:</p> <ul style="list-style-type: none"> i. be directly accessibly from a habitable room in the residential unit; 	<p>Complies</p> <p>1(ii) applies - Plans show that the units will have a deck measuring approx. 6m x 2m orientated north.</p>

Rule	Comment	Resource Consent
	<ul style="list-style-type: none"> ii. be free of buildings, storage, parking spaces and manoeuvring areas; and iii. be oriented to the north, east or west side (or a combination) of the residential unit. 	
GRZ-S7 Outdoor storage	Any outdoor area used for storage or stockpiling must be fully screened by a solid fence or wall of a minimum height of 1.8m so that it is not visible from adjoining sites and public land.	N/A – not proposed.
DESIGNATIONS – N/A		