

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? Yes No

2. Type of Consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

* *The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

Yes No If we qualify it will be great to have this.

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Angela Vujcich - Advance Build

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

0230

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

CPPC Planning - Claire Phillips

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

0941

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Sarah and Evan Da Silva and Mignon Beren, Pieter Zwart

**Property Address/
Location:**

Po Box 21, Waipapa

Postcode

0246

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Sarah and Evan Da Silva and Mignon Beren, Pieter Zwart

**Site Address/
Location:**

Legal Description:

Certificate of title:

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Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please let Agent know when site visit will be planned

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Consent to relocate two new pre built dwellings to site.
Please refer to the AEE for further details.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

Yes No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- Building Consent
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. Yes No Don't know

- Subdividing land
- Changing the use of a piece of land
- Disturbing, removing or sampling soil
- Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? Yes No [Unless agreed](#)

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Signature:

(signature of bill payer)



Date

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Signature:

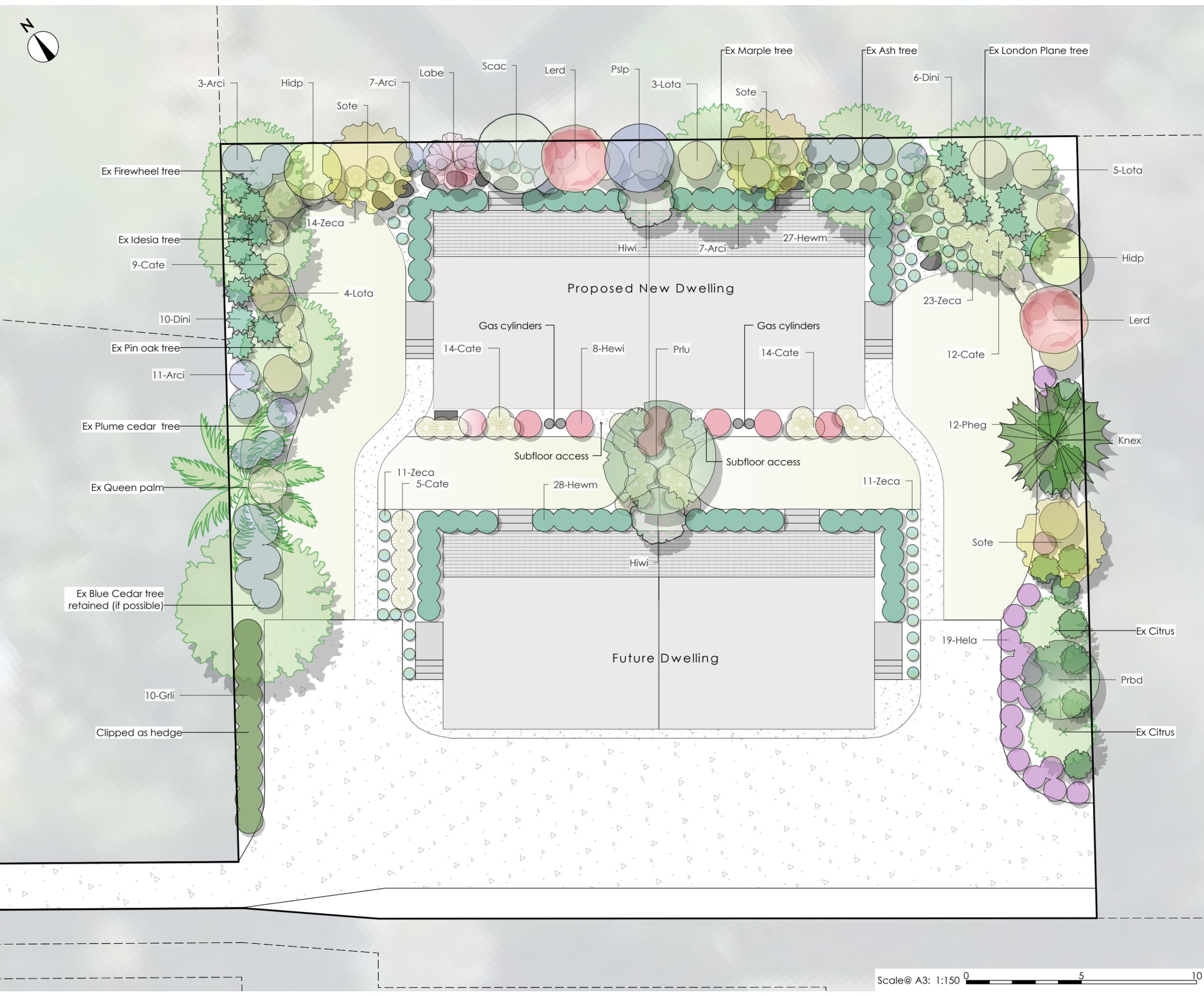
Date

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



The landscaping illustrated on this plan shall be implemented so that it is in general accordance with the Landscape Plan. Appropriate substitutions are possible providing they achieve the same visual integration intent as achieved with the current design and plant selections.



25/03/2026

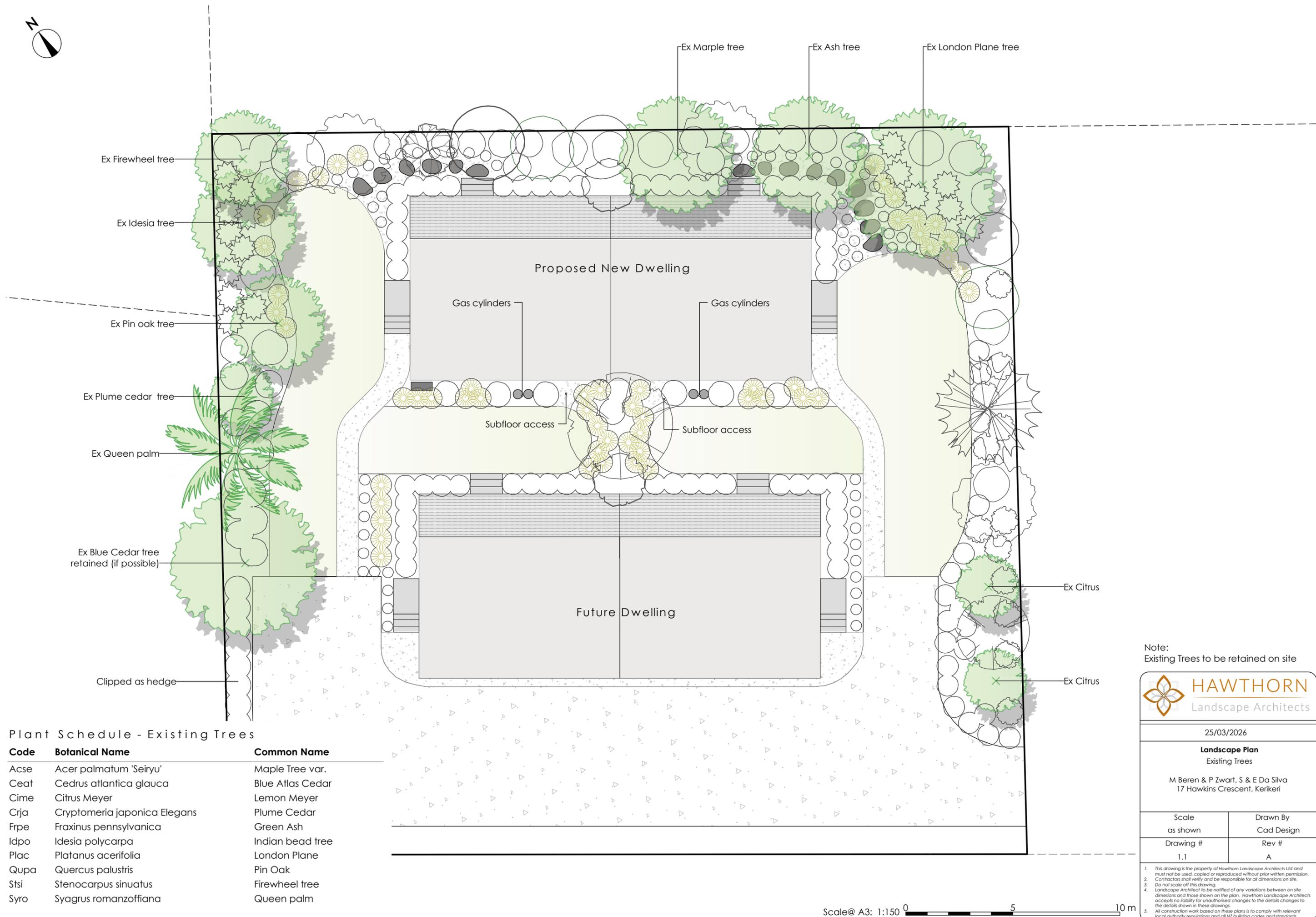
Landscape Plan

M Beren & P Zwart, S & E Da Silva
17 Hawkins Crescent, Kerikeri

Scale as shown	Drawn By Cad Design
Drawing # 1.0	Rev # A

1. This drawing is the property of Hawthorn Landscape Architects Ltd and must not be used, copied or reproduced without prior written permission.
2. Contractors shall verify and be responsible for all dimensions on site.
3. Do not scale off this drawing.
4. Landscape Architect to be notified of any variations between on site dimensions and those shown on the plan. Hawthorn Landscape Architects accepts no liability for unauthorised changes to the details changes to the details shown in these drawings.
5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

Scale@ A3: 1:150 0 5 10 m



Plant Schedule - Existing Trees

Code	Botanical Name	Common Name
Acse	Acer palmatum 'Seiryu'	Maple Tree var.
Ceat	Cedrus atlantica glauca	Blue Atlas Cedar
Cime	Citrus Meyer	Lemon Meyer
Crja	Cryptomeria japonica Elegans	Plume Cedar
Frpe	Fraxinus pennsylvanica	Green Ash
Idpo	Idesia polycarpa	Indian bead tree
Plac	Platanus acerifolia	London Plane
Qupa	Quercus palustris	Pin Oak
Stsi	Stenocarpus sinuatus	Firewheel tree
Syro	Syagrus romanzoffiana	Queen palm

Note:
Existing Trees to be retained on site



25/03/2026	
Landscape Plan Existing Trees	
M Beren & P Zwart, S & E Da Silva 17 Hawkins Crescent, Kerikeri	
Scale as shown	Drawn By Cad Design
Drawing # 1.1	Rev # A

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Scale@ A3: 1:150 10 m

Plant Schedule - Proposed Plants

Code	Qty	Botanical Name	Common Name	Schedule Size
Arci	28	Arthropodium cirratum 'Matapouri bay'	Renga Renga Lily	PB5
Cate	54	Carex testacea	Brown Tussock	PB5
Dini	16	Dianella nigra	NZ Blueberry	PB5
Grli	10	Griselinia littoralis 'Broadway Mint'	Hedge	PB8
Hela	19	Hebe Lavender Lace	Mauve flowers	PB5
Hewi	8	Hebe 'Wiri Image'	Mauve/white fl.	PB5
Hewm	55	Hebe 'Wiri Mist'	Hebe sp.	PB5
Hidp	2	Hibiscus 'Dainty Pink'	Hibiscus sp.	PB5
Hiwi	2	Hibiscus Wilders White	White flowers	PB5
Knex	1	Knightia excelsa	Rewarewa	PB12
Labe	1	Lagerstroemia Bergerac	Bright pink fl.	PB18
Lerd	2	Leptospermum Electric Red	Red fl.	PB5
Lota	12	Lomandra longifolia 'Tanika'	Lomandra Grass	PB5
Pheg	12	Phormium cookianum	'Emerald green'	PB5
Prbd	1	Prunus domestica	Plum Black doris	PB12
Prlu	1	Prunus domestica Luisa	Plum Luisa	PB12
Pslp	1	Pseudopanax lessonii Purpurea	Burgundy foliage	PB5
Scac	1	Schefflera Actinophylla	Umbrella Tree	PB12
Sote	3	Sophora tetraptera	Kowhai Tree	PB18
Zeca	59	Zephyranthes candida	White Rain lily	7cm tubes

Plant Schedule - Existing Trees

Code	Botanical Name	Common Name
Acse	Acer palmatum 'Seiryu'	Maple Tree var.
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Frpe	Fraxinus pennsylvanica	Green Ash
Idpo	Idesia polycarpa	Indian bead tree
Plac	Platanus acerifolia	London Plane
Qupa	Quercus palustris	Pin Oak
Stsi	Stenocarpus sinuatus	Firewheel tree
Syro	Syagrus romanzoffiana	Queen palm



25/03/2026

Plant Schedule

M Beren & P Zwart, S & E Da Silva
17 Hawkins Crescent, Kerikeri

Scale as shown	Drawn By Cad Design
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Drawing # 2.0	Rev # A
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5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.



Ceat
Cedrus atlantica glauca



Cime
Citrus Meyer



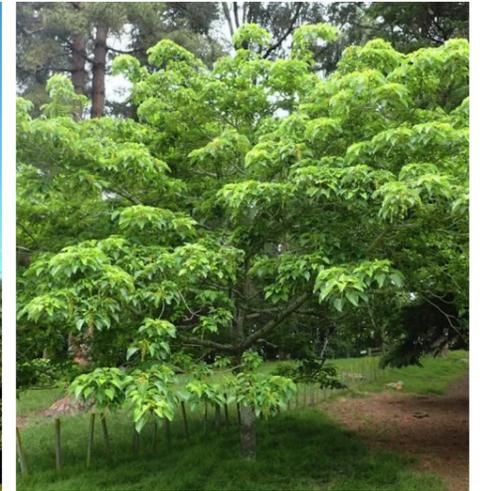
Crja
Cryptomeria japonica Elegans



Acse
Acer palmatum 'Seiryu'



Frpe
Fraxinus pennsylvanica



Idpo
Idesia polycarpa



Plac
Platanus acerifolia



Qupa
Quercus palustris



Stsi
Stenocarpus sinuatus



Syro
Syagrus romanzoffiana



Arci
Arthropodium cirratum 'Matapouri bay'



Cate
Carex testacea



Dini
Dianella nigra



Grli
Griselinia littoralis 'Mint'



Hela
Hebe Lavender Lace



Hewi
Hebe 'Wiri Image'



Hewm
Hebe 'Wiri Mist'



Hidp
Hibiscus 'Dainty Pink'



Hiwi
Hibiscus Wilders White



Knex
Knightia excelsa



Labe
Lagerstroemia Bergerac



Lerd
Leptospermum Electric Red



Lota
Lomandra longifolia 'Tanika'



Pheg
Phormium cookianum



Sote
Sophora tetraptera



Prlu
Prunus domestica Luisa



Pslp
Pseudopanax lessonii Purpurea



Scac
Schefflera Actinophylla



Zeca
Zephyranthes candida

RESOURCE CONSENT APPLICATION FOR 17A HAWKINGS CRESCENT, KERIKERI

MARCH 2026



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APPLICANT DETAILS

Applicant: Advance Build

Owners: Sarah D Silva, Evan /Arthur Francis Da Silva, Bignon Beren, Pieter William Zwart

Site Address: 17A Hawkins Crescent, Kerikeri

Legal Description: Lot 1 DP 320780

Site Area: 1362m²

Consent: Land Use

Activity: Land use consent for the relocation two x two bedroom duplex dwellings (four dwellings in total) and servicing.

District Plan Zones:
Operative District Plan
Zone
Residential

Proposed District plan
Zone
Residential

Address for Service: Claire Phillips
Consultant Planner
CPPC Planning
PO Box 550, Warkworth, 0941, New Zealand
Mobile: 021302340
Email: claire.phillips1@xtra.co.nz

PROPOSAL DESCRIPTION

Consent is being sought pursuant to section 88 of the Resource Management Act 1991 for the relocation two x two bedroom duplex dwellings (four dwellings in total) and servicing.

The proposal involves the following elements:

- Construction of two Duplex. Each duplex are to have a roof area of (143.34m²) and total floor area of 123.7m² and is split into two dwellings. Each dwelling will contain two bedrooms, bathroom and laundry and kitchen, dining and living area.



Figure 1: North elevation of duplex

- The new duplex dwellings are to be constructed out of weathertex cladding, aluminum joinery and coloursteel roofing.
- Each dwelling will be serviced with Council's reticulated services (wastewater, stormwater and water supply).
- The proposal involves impervious surfaces of 636.28m², which includes the proposed duplex dwellings along with the driveway and access. All water and stormwater is to be directed into the reticulated stormwater servicing, no specific mitigation is proposed.
- To provide access to the proposed development involves the use of the existing formed right of way and a metaled service area.
- The application is to be staged in two separate stages, with one duplex at a time.

RECORD OF TITLE, SITE DESCRIPTION, BACKGROUND

RECORD OF TITLE

The subject property is currently legally described as Lot 1 DP 320780 with an area of 1362m² and is contained with Identifier 82482. There are number of interests on the title, including:

- Land Covenant – 754793.1
- Easements

SITE DESCRIPTION

The property is currently vacant of buildings, however there is an existing formed driveway from Hawkings Crescent. The site is reasonably flat and is currently in grass. There are dotted trees and the property is fully fenced.

The property is located on the periphery of the commercial township of Kerikeri.



Figure 2: Aerial Photo of site and locality – Source – Google maps



Figure 3: Photo of site – Source – T&A Structures Ltd

BACKGROUND

Land use consent 2230119-RMALUC was issued on 28 November 2023 to construct 29 rental units in the Residential Zone as a Discretionary Activity breaching the Residential Intensity, Sunlight, Storm water Management, Excavation and/or filling, Fire Risk to Residential Units, Traffic Intensity and Private Access ways. This does not relate to application site.

FAR NORTH DISTRICT COUNCIL – OPERATIVE DISTRICT PLAN

The subject site is zoned Residential as shown on the portion of planning map below:

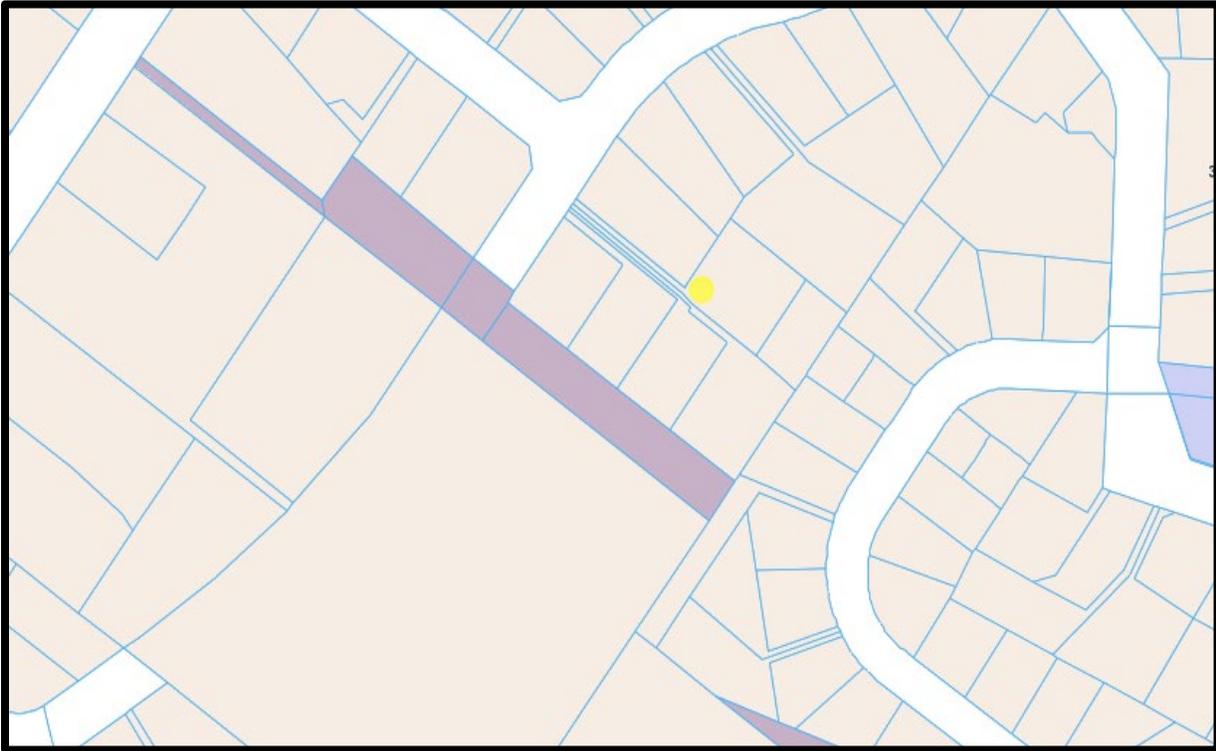


Figure 4: Zone Map – Source – Far North Operative District Plan

Chapter 7 – Urban Environment

Section 6 – Residential Zone

- Rule 7.6.5.1.2 states that each residential unit for a single household shall have a minimum net site area of 600m². In this case, the net site area is 1003.45m², thus the two duplex dwellings (four in total) have an average dwelling of 1 per 250.86m². The residential density is therefore considered a discretionary activity under Rule 7.6.5.4(c).

Chapter 15 -Transportation

Section 1 – Traffic, Parking and Access

- Based on Appendix 3A Traffic Intensity Factor (TIF), each residential unit equates to 10 one-way vehicle movements. As there will be 4 residential units, there will be a total TIF of 40. Rule 15.1.6A states that a Residential Zoned property allows for a total TIF of 20 as a permitted activity. As the proposal exceeds this TIF, consent is required under Rule

15.1.6A as a Restricted Discretionary Activity. It is noted that no car parking spaces are shown, thus this is a technical infringement.

FAR NORTH DISTRICT COUNCIL – PROPOSED DISTRICT PLAN

The Far North Proposed District Plan was notified on July 27, 2022. Only some parts of this plan have legal effects and only those rules where relevant are assessed below.

The subject site is zoned Residential as shown on the portion of planning map below:



Figure 5: Zone Map Source – Far North Proposed District Plan

PART 3 – AREA-SPECIFIC MATTERS – ZONES – Residential Zones – General Residential

- No parts of this chapter have legal effect.

Note: The above only reflects those rules that have immediate legal effect. If the Council considers that more rules require assessment, I am sure you will let us know.

Overall, the proposal is considered to be a Discretionary Activity.

PUBLIC NOTIFICATION ASSESSMENT

ASSESSMENT OF STEPS 1 TO 4 (SECTION 95A)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

STEP 1: MANDATORY PUBLIC NOTIFICATION IN CERTAIN CIRCUMSTANCES

Step 1 states that no mandatory notification is required as:

- the applicant has not requested that the application is publicly notified (s95A(3)(a));
- there are no outstanding or refused requests for further information (s95C and s95A(3)(b)); and
- The application does not involve any exchange of recreation reserve land under s15AA of the Reserves Act 1977 (s95A(3)(c)).

In this case the applicant does not request notification.

STEP 2: IF NOT REQUIRED BY STEP 1, PUBLIC NOTIFICATION PRECLUDED IN CERTAIN CIRCUMSTANCES

Step 2 states that the application is not precluded from public notification as:

- The activities are not subject to a rule or national environmental standard (NES) which precludes public notification (s95A(5)(a)); and
- The application does not exclusively involve one or more of the activities described in s95A(5)(b).

In this case, the proposal is not precluded from notification.

STEP 3: IF NOT PRECLUDED BY STEP 2, PUBLIC NOTIFICATION REQUIRED IN CERTAIN CIRCUMSTANCES

The application is not required to be publicly notified as the activity are not subject to any rule or a NES that requires public notification (s95A(8)(a)).

The following assessment addresses the adverse effects of the activities on the environment, as public notification is required if the activities will have or are likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).

STEP 4: PUBLIC NOTIFICATION IN SPECIAL CIRCUMSTANCES

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A (9)).

Special circumstances are those that are:

- exceptional, abnormal or unusual, but something less than extraordinary or unique.

- outside of the common run of applications of this nature; or
- circumstances which make notification desirable.

In this instance I have turned my mind specifically to the existence of any special circumstances and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that public notification should occur.

ASSESSMENT OF ENVIRONMENTAL EFFECTS

EXISTING ENVIRONMENT AND PERMITTED BASELINE

ENVIRONMENT

The 'Environment' includes the 'Existing Environment' which includes all lawfully established activities that exist – and the 'Future Environment' which includes the effects of activities enabled by an unimplemented consent where the consent is 'live' that have not lapsed and there are no reasons why the consent is not likely to be implemented.

These activities and their constituent effects form part of the existing (lawfully established) environment.

In this case the site and locality have been described in the site description above.

PERMITTED BASELINE

RMA states that for the purposes of formulating an opinion as to whether the adverse effects on the environment will be minor or more than minor a consent authority may disregard an adverse effect of an activity on the environment if the plan permits an activity with that effect. In this case the site is within General Residential Zone and the following activities are provided for as it relates to this application:

- Residential activity provided that it complies with the residential intensity rules.
- The traffic intensity value for each dwelling is 10 vehicle movements – Max permitted of 20 TIF.

ASSESSMENT OF EFFECTS

Having regard to the above and after an analysis of the application, including any proposed mitigation measures, the adverse effects of the activity on the environment are identified and discussed below.

RESIDENTIAL CHARACTER AND AMENITY VALUES

Amenity values are derived from the natural and physical qualities that make an area pleasant, distinctive, and coherent, including the scale of buildings, the pattern of development, levels of privacy, and the overall visual character of the neighbourhood.

The site is located within the Residential Zone, where the Far North District Plan anticipates a suburban living environment characterized by dwellings of domestic scale, landscaped private open space, and a coherent pattern of residential activity. Within this context, the proposed development sits comfortably within the expected built form and intensity of the zone.

The scale, form, and architectural treatment of the proposed buildings are consistent with the surrounding residential environment, including the established dwellings and the rest-home care facility located immediately to the south. Although the proposal accommodates four residential units, the duplex configuration ensures the built form presents as two dwellings, maintaining a level of visual simplicity and domestic scale that aligns with the existing character of the area.

This design approach avoids the appearance of over-intensification and ensures the development integrates with the surrounding pattern of residential buildings. It is also relevant that the consented environment includes approval for 29 rental units in this locality, demonstrating that a higher level of residential activity and built form has already been anticipated and accepted in this area.

The site's position as a rear lot provides an additional layer of visual containment, with the development largely screened from public vantage points and the street environment. This reduces potential effects on streetscape character and reinforces the sense of privacy and separation typical of rear sites within the Residential Zone. When viewed from adjoining properties, the buildings will appear as part of an existing cluster of residential development, and their height, setbacks, and overall massing ensure they will not appear dominant or visually intrusive. The proposed dwellings are of a size and scale comparable to other residential buildings in the immediate vicinity, and the retention of open space around the buildings maintains the spacious, landscaped character anticipated in this part of Kerikeri.

Overall, the proposal maintains the established residential character and amenity values of the area. The development will not introduce built form that is inconsistent with the anticipated suburban environment, nor will it generate visual or character effects that could be considered adverse or out of scale with its surroundings. For these reasons, the adverse effects of the proposal on residential character and visual amenity are assessed as less than minor.

TRAFFIC AND ACCESS

Access to the proposed duplex development will be provided via the existing formed right-of-way and the metalled service area, both of which are already established and capable of accommodating light-vehicle movements associated with residential activity. While no on-site parking is proposed, the Traffic Intensity Factor (TIF) calculation does not explicitly reference parking provision, resulting in a technical non-compliance. However, this infringement is procedural rather than effects-based, as the absence of formal parking spaces does not materially alter the scale or frequency of vehicle movements generated by the development. The modest size of the proposed dwellings, combined with their residential use, means that traffic generation will be low and comparable to that of typical suburban households. As a result, the expected vehicle movements are well within the capacity of the surrounding roading network and will not give rise to adverse operational or safety effects.

The right-of-way itself is already used for residential access and is constructed to a standard suitable for the anticipated level of use. The additional vehicle movements associated with two duplex buildings (functionally equivalent to two dwellings in terms of perceived built form) will not materially increase traffic volumes or create conflict between users. Any incremental increase in use of the right-of-way is considered negligible, with no change to its function, safety, or efficiency. Overall, the traffic intensity associated with the proposal is low, consistent with the Residential Zone expectations, and will not result in more than minor adverse effects on the transport network or the operation of the shared access.

CULTURAL/HISTORIC HERITAGE

There are no known heritage sites or archaeological sites within the area adjacent to the application site. As shown in the map below, there is a history of occupation around the coastal area. There are a variety of structures adjacent to the coastal marine area, such as stairs and paths, with the historical access to the river evident.

In accordance with standard protocols accidental discovery, work must cease immediately, and Council and Heritage NZ notified should any archaeological or heritage site be uncovered during the earthworks. Given this standard and the relatively unlikely nature of any archaeological site being uncovered, it is considered that the effects of the proposal on cultural matters will be less than minor.

The proposal will not result in effects on the cultural or heritage values of the area.

SUMMARY

In summary, having assessed the adverse effects of the activity on the environment, it is considered that the proposed development will be less than minor adverse effects on the

environment. In particular the proposal is considered to be consistent with the type of building anticipated within this residential environment.

LIMITED NOTIFICATION ASSESSMENT

ASSESSMENT OF STEPS 1 TO 4 (SECTION 95B)

If the application is not publicly notified under s95A, the council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

STEP 1: CERTAIN AFFECTED PROTECTED CUSTOMARY RIGHTS GROUPS MUST BE NOTIFIED

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups or affected persons under a statutory acknowledgement affecting the land (ss95B (2) and 95B (3)).

The application site is not affected by customary rights.

STEP 2: IF NOT REQUIRED BY STEP 1, LIMITED NOTIFICATION PRECLUDED IN CERTAIN CIRCUMSTANCES

Step 2 describes that limited notification is precluded where all applicable rules and NES preclude public notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity (ss95B (5) and 95B (6)).

The proposal is a Discretionary activity and there are no rules precluding notification.

STEP 3: IF NOT PRECLUDED BY STEP 2, CERTAIN OTHER AFFECTED PERSONS MUST BE NOTIFIED

Step 2 requires that where limited notification is not precluded under step 2 above, a determination must be made as to whether any of the following persons are affected persons:

- In the case of a boundary activity, an owner of an allotment with an infringed boundary.
- In the case of a prescribed activity under s360H(1(b)), a prescribed person; and
- In the case of any other activity, a person affected in accordance with s95E.

The application is not for a boundary or prescribed activity, and therefore an assessment in accordance with s95E is required. This assessment is set out below.

Overall, it is considered that any adverse effects in relation to adjacent properties will be less than minor, and accordingly that no persons are adversely affected.

STEP 4: FURTHER NOTIFICATION IN SPECIAL CIRCUMSTANCES

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

There are not considered to be any special circumstances that would warrant notification.

SECTION 95E STATUTORY MATTERS

As required by step 3 above, certain other affected persons must be notified, and the following assessment addresses whether there are any affected persons in accordance with s95E. A person is affected if the effects of the activity on that person are minor or more than minor (but not less than minor).

In deciding who is an affected person under section 95E:

- Adverse effects permitted by a rule in a plan or NES (the permitted baseline) may be disregarded.

It is considered that there is no useful baseline that can be applied as the land needs to be earth worked to provide building platforms and subdivision of the land would also require resource consent.

- The adverse effects on those persons who have provided their written approval must be disregarded.

Because of the minor scale of the proposal no written approvals have been sought for this proposal.

The sections below set out an assessment in accordance with section 95E, including identification of adjacent properties, and an assessment of adverse effects.

ADJACENT PROPERTIES

The adjacent properties to be considered in the limited notification assessment under section 95B and 95E are set out below:

No other persons are considered to be adversely affected by the activity because:

- The design of the proposal has been designed to be sympathetic with the residential environment and integrated as a result of the design and materials proposed.
- The proposal retains sufficient separation distances between the neighbouring dwellings (consistent with other locations within this locality) and will not compromise the existing levels of amenity or urban character enjoyed by adjacent properties to a minor or more than minor extent.

- The proposal will be consistent in the residential character and scale to other dwellings located within the local vicinity and will comply with all the relevant development standards so will not generate adverse effects in terms of shading, overbearance and overlooking to the adjoining properties.
- The right-of-way itself is already used for residential access and is constructed to a standard suitable for the anticipated level of use. The additional vehicle movements associated with two duplex buildings (functionally equivalent to two dwellings in terms of perceived built form) will not materially increase traffic volumes or create conflict between users. Any incremental increase in use of the right-of-way is considered negligible, with no change to its function, safety, or efficiency. Overall, the traffic intensity associated with the proposal is low, consistent with the Residential Zone expectations, and will not result in more than minor adverse effects on the transport network or the operation of the shared access.
- Any construction related effects will be temporary and transient and less than minor.

SECTION 104 MATTERS

The matters that require consideration in assessing this application are set out in section 104 of the Resource Management Act 1991. These matters include the actual and potential effects of the allowing the activity on the environment and the relevant rules and assessment criteria.

OBJECTIVES AND POLICIES

FAR NORTH DISTRICT COUNCIL – OPERATIVE DISTRICT PLAN

The following objectives and policies are considered relevant when considering this application:

Chapter 7 Urban Environment – Section 6 Residential Zone

- *Objectives 7.6.2*
- *Policies 7.6.3*

The proposal has been assessed against the Residential Zone objectives and policies, particularly Objective 7.6.2, which seeks to maintain and enhance the residential character and amenity values of neighbourhoods, and Policies 7.6.3, which guide the scale, intensity, and form of development to ensure it remains compatible with the anticipated suburban environment. The duplex development is consistent with these provisions as it provides for residential activity in a manner that reflects the domestic scale and built form expected within the zone. Although the proposal accommodates four residential units, the duplex configuration ensures the development presents as two dwellings, maintaining the visual simplicity, building rhythm, and low-rise

character anticipated by the zone. This outcome aligns with the objective of ensuring that new development contributes positively to the coherence and amenity of residential areas.

In relation to Policy 7.6.3, the proposal achieves an appropriate scale and intensity by utilising an existing formed right-of-way for access and by generating only modest levels of traffic consistent with typical residential activity. While the Traffic Intensity Factor (TIF) calculation identifies a technical non-compliance due to the absence of on-site parking, this does not translate into any actual adverse effects on the transport network or the functioning of the right-of-way. The policy framework anticipates residential development that does not compromise safety, efficiency, or amenity, and the expected vehicle movements associated with the duplex units fall well within the capacity of the surrounding road network. The rear-lot location further reduces any potential effects on streetscape character, reinforcing the policy direction to ensure development integrates sensitively with its surroundings.

Overall, the proposal is consistent with Objective 7.6.2 and gives effect to the relevant Policies 7.6.3 by maintaining the established residential character, ensuring a compatible scale and intensity of development, and avoiding adverse effects on amenity, access, or the safe and efficient operation of the transport network. The duplex development therefore appropriately aligns with the outcomes sought for the Residential Zone.

Chapter 15 Transportation

- *Objectives 15.1.3*
- *Policies 15.1.4*

The proposal has been assessed against Objective 15.1.3, which seeks to ensure that land use and subdivision patterns do not compromise the safe and efficient operation of the transport network, and Policies 15.1.4, which guide the management of access, parking, traffic generation, and the integration of development with the roading system. The duplex development utilises an existing formed right-of-way and metalled service area, avoiding the need for new vehicle crossings or modifications to the public road network. This approach is consistent with the objective of minimising new access points and ensuring that development is supported by appropriate transport infrastructure. Although no on-site parking is proposed and the Traffic Intensity Factor (TIF) identifies a technical non-compliance due to the absence of parking spaces, this does not translate into any actual adverse transport effects. The modest scale of the dwellings means that traffic generation will be low and comparable to typical residential activity, ensuring that the safe and efficient functioning of the surrounding road network is maintained.

In relation to Policy 15.1.4, the proposal achieves an appropriate level of integration with the transport system by relying on existing access arrangements that are already functioning safely and effectively. The additional vehicle movements associated with the duplex units are minor and well within the capacity of both the right-of-way and the adjoining road network. There is no

evidence that the development will create conflict between users, reduce visibility, or generate turning movements that would compromise road safety. The rear-lot configuration further reduces any potential effects on the street environment, as vehicle movements will be largely contained within the internal accessway. Overall, the proposal aligns with the policy direction to ensure that development does not adversely affect transport efficiency, safety, or amenity, and that any increase in traffic intensity remains compatible with the existing and anticipated residential environment.

In summary it is concluded that this proposal satisfies the relevant matters requiring consideration under section 104.

FAR NORTH DISTRICT COUNCIL – PROPOSED DISTRICT PLAN

PART 3 – AREA-SPECIFIC MATTERS / ZONES / Residential zones / General residential

- *Objectives GRZ-O1 – GRZ-O6*
- *Policies GRZ-P1 – GRZ-P8*

The General Residential Zone seeks to provide for a coherent suburban living environment characterised by residential buildings of domestic scale, adequate open space, and a pattern of development that maintains amenity, safety, and neighbourhood character. The duplex proposal is consistent with GRZ-O1, which seeks to ensure that residential areas provide a pleasant and attractive living environment. Although the development contains four units, the duplex arrangement ensures the built form presents as two dwellings, maintaining the visual rhythm, scale, and domestic character anticipated in the zone. The rear-lot location further reduces visibility from public vantage points, ensuring the development integrates unobtrusively into the surrounding residential environment.

The proposal aligns with GRZ-O2 and GRZ-O3, which seek to maintain residential character and ensure that development is compatible with the scale and intensity of the surrounding neighbourhood. The dwellings are modest in size, consistent with the established pattern of residential buildings in this part of Kerikeri, and do not introduce bulk or dominance that would detract from the existing character. The surrounding environment already includes a rest-home facility and a consented 29-unit residential development, demonstrating that a range of residential forms and intensities are anticipated in this locality. Within this context, the duplex proposal represents a low-impact, compatible form of residential intensification.

In relation to GRZ-O4 and GRZ-O5, which address amenity, privacy, and the maintenance of a safe and functional residential environment, the proposal achieves appropriate separation, open space, and building design outcomes. The rear-lot configuration provides a high level of privacy

for occupants and limits potential effects on neighbouring properties. The buildings are designed to avoid overlooking, shading, or dominance effects, and the retained open space ensures the development maintains the spacious, landscaped character expected in the General Residential Zone.

The proposal also supports GRZ-O6, which seeks to ensure that residential development is supported by appropriate infrastructure and transport connections. Access is provided via an existing formed right-of-way and metalled service area, and the modest traffic generation associated with the duplex units will not compromise the safe or efficient operation of the transport network. While the Traffic Intensity Factor (TIF) identifies a technical non-compliance due to the absence of on-site parking, this does not result in any actual adverse effects, and the development remains consistent with the zone's expectations for residential activity.

Turning to the policies, the proposal gives effect to GRZ-P1 to GRZ-P3, which require development to maintain residential character, be of a scale compatible with the surrounding environment, and ensure that buildings do not visually dominate neighbouring properties. The duplex form, modest building height, and domestic architectural treatment all contribute to an outcome that is consistent with these policy directions. GRZ-P4 and GRZ-P5, which address amenity, privacy, and the maintenance of open space, are met through the provision of adequate setbacks, the retention of outdoor living areas, and the avoidance of adverse visual or privacy effects.

The proposal is also consistent with GRZ-P6 to GRZ-P8, which guide the integration of development with infrastructure, access, and transport networks. The use of the existing right-of-way, combined with low traffic intensity, ensures that the development does not impose unreasonable demands on the transport system or compromise safety. The absence of on-site parking does not generate adverse effects, and the development remains compatible with the anticipated residential environment.

Overall, the duplex development is consistent with GRZ-O1 to GRZ-O6 and gives effect to GRZ-P1 to GRZ-P8, with any character, amenity, or transport-related effects.

PART 2 – DISTRICT-WIDE MATTERS ENERGY, INFRASTRUCTURE, AND TRANSPORT

- *Objectives TRAN-O1 – TRAN-O6*
- *Policies TRAN-P1 – TRAN-P8*

The proposal has been assessed against the district-wide transport objectives and policies (TRAN-O1 to TRAN-O6 and TRAN-P1 to TRAN-P8), which collectively seek to ensure that land use and development are supported by a safe, efficient, and well-functioning transport network. The duplex development utilises an existing formed right-of-way and metalled service area,

avoiding the need for new vehicle crossings or upgrades to the public road network. This approach is consistent with TRAN-O1 and TRAN-O2, which promote the effective integration of land use with transport infrastructure and the maintenance of a transport system that supports the district's settlement pattern without generating unnecessary demand for new roading assets. The modest scale of the dwellings and the low level of traffic generation align with TRAN-O3 and TRAN-O4, which seek to ensure that transport effects from development do not compromise the safety or efficiency of the transport network. Although the Traffic Intensity Factor (TIF) identifies a technical non-compliance due to the absence of on-site parking, this does not result in any measurable adverse effects. The expected vehicle movements are comparable to those of typical residential households and fall well within the capacity of both the right-of-way and the adjoining road network. The rear-lot configuration further reduces potential effects on the street environment, ensuring that the development does not detract from the safe and efficient functioning of the wider transport system.

The proposal is also consistent with TRAN-O5 and TRAN-O6, which emphasise the need for transport infrastructure and access arrangements that support amenity, safety, and the efficient movement of people and goods. The existing right-of-way is already operating safely, and the incremental increase in vehicle movements associated with the duplex units is negligible. There is no evidence that the development will create conflict between users, reduce visibility, or generate manoeuvring patterns that would compromise safety. The proposal therefore maintains the functional integrity of the transport network and avoids adverse effects on transport amenity.

In relation to the policies, the proposal gives effect to TRAN-P1 to TRAN-P4, which require that development be designed and located to ensure safe and efficient access, appropriate vehicle manoeuvring, and compatibility with the existing transport environment. The use of the existing accessway, combined with the low traffic intensity, ensures that the development integrates appropriately with the surrounding network. TRAN-P5 and TRAN-P6, which address the management of traffic generation and the avoidance of adverse effects on the transport system, are met as the proposal does not generate traffic volumes or patterns that exceed the capacity of the local road network or the right-of-way.

Finally, the proposal aligns with TRAN-P7 and TRAN-P8, which seek to ensure that parking, access, and transport infrastructure are provided at levels appropriate to the scale and nature of development. While no on-site parking is proposed, the absence of parking does not create adverse effects, and the technical TIF infringement does not translate into any functional transport issues. The development remains consistent with the policy direction to ensure that transport effects are appropriately managed and that development does not impose unreasonable demands on the transport system.

Overall, the duplex development is consistent with TRAN-O1 to TRAN-O6 and gives effect to TRAN-P1 to TRAN-P8, with any transport-related effects.

In summary it is concluded that this proposal satisfies the relevant matters requiring consideration under section 104.

NATIONAL POLICY STATEMENT ON URBAN DEVELOPMENT 2022 (NPS:UD)

The National Policy Statement on Urban Development 2022 (NPS-UD) has limited direct application to Kerikeri because it is not identified as a Tier 1, 2, or 3 urban environment. As a result, the directive intensification requirements that apply to larger centres do not apply here. However, the high-level objectives and policies of the NPS-UD still apply district-wide, and must be given effect to in all planning decisions, including those relating to development within Kerikeri.

Objective 1 seeks to ensure that urban environments function well for people and communities both now and in the future. The proposed development contributes to this outcome by providing additional housing choice in a location that is already serviced and capable of accommodating further residential activity. Kerikeri continues to experience population growth and increasing demand for diverse housing typologies; the proposal supports this by adding well-designed residential units that integrate with existing infrastructure and the surrounding neighbourhood.

Objective 2 and Policy 1 emphasise the need for planning decisions to enable a range of housing options that reflect the needs and aspirations of communities, including Māori. The proposal supports this direction by contributing to housing supply in a manner that is consistent with the established residential character of Kerikeri and responsive to local housing needs.

The NPS-UD also requires that development be located where it can be efficiently serviced and where it does not undermine the functioning of the wider urban environment. Kerikeri's existing infrastructure capacity, transport network, and mixed residential environment mean that the proposal can be accommodated without generating adverse effects on infrastructure, transport efficiency, or surrounding land uses. The development therefore aligns with the NPS-UD's broader intent to support compact, efficient, and resilient urban form, even though Kerikeri is not subject to the intensification requirements applied to larger centres.

Overall, while the NPS-UD does not impose mandatory intensification requirements on Kerikeri, the proposal is consistent with its high-level objectives. It contributes to housing choice, supports a well-functioning urban environment, and represents an appropriate form of development within the Kerikeri context.

NATIONAL POLICY STATEMENT FOR FRESHWATER MANAGEMENT 2020 (NPSFM)

The NPSFM aims to maintain and enhance freshwater quality. In this case the site does not contain any wetlands.

S106A CONSENT AUTHORITY MAY REFUSE LAND USE CONSENT IN CERTAIN CIRCUMSTANCES

Section 106A requires the consent authority to consider whether the land subject to a land-use activity is, or is likely to be, affected by natural hazards, and whether the activity would expose people or property to unacceptable risk.

In this case, the site is not identified as being subject to any natural hazard overlays, and there is no evidence of flooding, overland flow, coastal inundation, erosion, instability, or any other hazard process affecting the land. The existing ground conditions are stable, and the site has a long history of residential use without hazard-related constraints.

Given the absence of natural hazards, the proposed development does not increase exposure to risk, does not alter landform or drainage patterns in a way that could create or exacerbate hazard susceptibility, and does not transfer risk to adjoining properties. The scale and nature of the activity are consistent with the established residential environment, and no works are proposed that would modify the site in a manner that could introduce new hazard pathways.

Accordingly, the proposal does not give rise to any of the matters that Section 106A is designed to address. The land is suitable for the intended residential use, and the activity will not expose people or property to unacceptable natural hazard risk. On this basis, there is no reason to withhold consent under Section 106A.

PART II OF THE RESOURCE MANAGEMENT ACT

Part II of the Act sets out the Purpose and Principles. This proposal is in keeping with Part II as the effects of the proposal on the environment will be minor and the proposal will not compromise the ability of this site to be used by existing and future generations, also the life supporting capacity of air, water, soil and ecosystems will not be compromised.

Section 5 of the Resource Management Act 1991 (the Act) describes the Purpose and Principles of the Act and provides a definition of 'sustainable management' which includes reference to managing the use and development of natural and physical resources at a rate that allows people and communities to provide for their wellbeing, whilst avoiding, remedying and mitigating any adverse effects of activities on the environment.

This involves sustaining resource potential (excluding minerals), safeguarding the life supporting capacity of air, water, soil and ecosystems and avoiding, remedying or mitigating adverse effects. The effects of this proposal on the environment have been described above.

The proposal is considered to be consistent with the Purposed and Principles outlined above as the effects on character and amenity will be no more than minor. Further any potential effects can be adequately avoided, remedied and mitigated.

Section 6 of the Act requires all persons exercising functions and powers under the Act to recognise and provide for matters of national importance in relation to the natural character of the coastal environment, wetlands, lakes and rivers and the protection of them from inappropriate subdivision use and development. Outstanding natural features and landscapes are also to be protected from inappropriate subdivision, use and development.

The proposal is considered to be consistent with section 6 of the Act as there are considered to be no matters of national importance on this site.

Section 7 relates to other matters that are to which regard must be had in achieving the sustainable management of natural and physical resources: The proposed duplex dwellings are considered to be consistent with the provisions of the section of the Act.

Section 8 requires that account shall be taken of the principles of the Treaty of Waitangi. The proposal is considered to be consistent with the matters outlined in Section 8.

Overall, it is considered that the proposal is in keeping with Part II of the Resource Management Act 1991.

CONCLUSION

It is concluded that the proposal will have less than minor adverse effects on the surrounding environment. Further the proposed activity is in keeping with the relevant assessment criteria, objectives and policies set out in Far North District Plan and Proposed District Plan.

As a result of the above granting consent to this proposal will be in keeping with the provisions set out in Part II of the Resource Management Act 1991 and sections 104 and 104B.

Appendix 1 – Record of Title

Appendix 3 – Site Suitability Report



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **82482**
Land Registration District **North Auckland**
Date Issued 14 November 2003

Prior References
NA49C/942

Estate Fee Simple
Area 1362 square metres more or less
Legal Description Lot 1 Deposited Plan 320780

Registered Owners

Sarah Da Silva as to a 1/4 share
Evan Arthur Francis Da Silva as to a 1/4 share
Mignon Beren as to a 1/4 share
Pieter William Zwart as to a 1/4 share

Interests

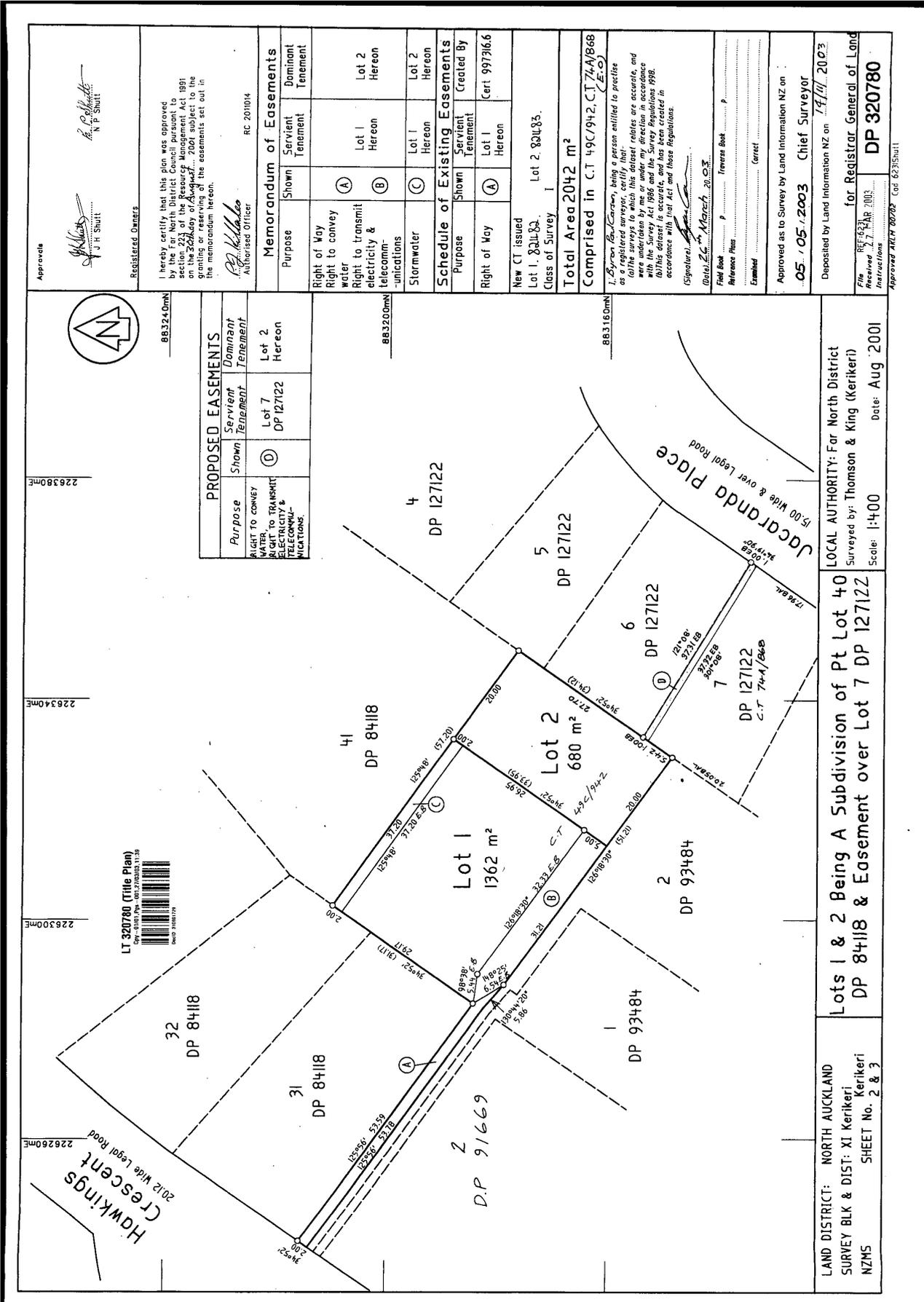
Land Covenant in Transfer 754793.1

Appurtenant hereto is a right of way specified in Easement Certificate 997316.6 - 5.10.1981 at 9:03 am

The easements specified in Easement Certificate 997316.6 are subject to Section 309 (1) (a) Local Government Act 1974
Subject to a right of way over part marked A on DP 320780 specified in Easement Certificate 997316.6 - 5.10.1981 at 9:03 am

Subject to a right of way and rights to convey electricity, telecommunications, computer media & water easements over parts marked A & B and a right to drain water easement over part marked C all on DP 320780 created by Easement Instrument 5800345.3 - 14.11.2003 at 9:00 am

The easements created by Easement Instrument 5800345.3 are subject to Section 243 (a) Resource Management Act 1991
13373114.3 Mortgage to ANZ Bank New Zealand Limited - 22.9.2025 at 3:23 pm



Approved by Registrar-General of Land under No. 2002/6055

Easement instrument to grant easement or profit à prendre or create land covenant
Sections 90A and 90F, Land Transfer Act 1952

EI 5800345.3 Easement

Cpy - 01/01, Pgs - 003, 14/11/03, 07:44



DocID: 311150528

Land registration district

North Auckland

Grantor

Surname(s) must be underlined.

James Henry Shutt and Norma Phyllis Shutt

Grantee

Surname(s) must be underlined.

James Henry Shutt and Norma Phyllis Shutt

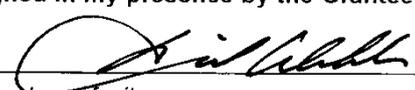
Grant* of easement or profit à prendre or creation or covenant

The Grantor, being the registered proprietor of the servient tenement(s) set out in Schedule A, grants to the Grantee (and, if so stated, in gross) the easement(s) or profit(s) à prendre set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Dated this 28th day of October 2003

Attestation

Signature [common seal] of Grantor	Signed in my presence by the Grantor
	Signature of witness Witness to complete in BLOCK letters (unless legibly printed) Witness name Occupation Address

 Signature [common seal] of Grantee	Signed in my presence by the Grantee and Grantor
	 Signature of witness Witness to complete in BLOCK letters (unless legibly printed) Witness name Occupation Address

Certified correct for the purposes of the Land Transfer Act 1952.

[Solicitor for] the Grantee

*If the consent of any person is required for the grant, the specified consent form must be used.

Annexure Schedule 1

Easement instrument

Dated

23 October 2003

Page

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of

3

pages

Schedule A

(Continue in additional Annexure Schedule if required.)

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right of Way Right to convey electricity Right to convey telecommunications and computer media Right to convey water	320780 marked "A" and "B"	82482	82483
Right to Drain Water	320780 marked "C"	82482	82483

Easements or profits à prendre rights and powers (including terms, covenants, and conditions)

Delete phrases in [] and insert memorandum number as required.

Continue in additional Annexure Schedule if required.

Unless otherwise provided below, the rights and powers implied in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are [varied] ~~[negated]~~ ~~[added to]~~ or ~~[substituted]~~ by:

~~[Memorandum number, registered under section 155A of the Land Transfer Act 1952].~~

[the provisions set out in Annexure Schedule 2].

Covenant provisions

Delete phrases in [] and insert memorandum number as required.

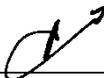
Continue in additional Annexure Schedule if required.

The provisions applying to the specified covenants are those set out in:

~~[Memorandum number, registered under section 155A of the Land Transfer Act 1952]~~

~~[Annexure Schedule 2].~~

All signing parties and either their witnesses or solicitors must sign or initial in this box

JES N.P.S. 

Annexure Schedule

Insert below

"Mortgage", "Transfer", "Lease" etc

Easement Instrument

Dated 23 October 2007

Page 3 of 3 Pages

Annexure Schedule 2

1. Where there is a conflict between the provisions of the Fourth Schedule to the Land Transfer Regulations 2002 and the Ninth Schedule to the Property Law Act 1952, the provisions of the Ninth Schedule must prevail.
2. Where there is a conflict between the provisions of the Fourth Schedule and/or the Ninth Schedule, and the modifications in this Easement Instrument, the modifications must prevail.
3. Any maintenance, repair or replacement of the right of way, stormwater, sewage drains and pipes, and telecommunication and electric power cables on the servient or dominant land that is necessary because of any act or omission by the Grantor (which includes agents, employees, contractors, subcontractors and invitees of that Grantor) must be carried out promptly by that owner and at that owner's sole cost. Where the act or omission is the partial cause of the maintenance, repair or replacement, the costs payable by that owner responsible must be in proportion to the amount attributable to that act or omission (with the balance payable in accordance with Clause 11 of the Fourth Schedule).
4. All telecommunications, water and electricity shall be conveyed through that part of the Servient Land subject to these rights only by underground cables, conductors or pipes.
5. All underground cables, conductors or pipes within those parts at a depth and location so as to avoid disturbance or risk of damage to existing services.

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or their solicitors must put their signatures or initials here.

JRS NPS. 

754793.1 T

Approved by the District Land Registrars: North Auckland 421775, South Auckland H.021029/1974, Canterbury 96477, Marlborough 77665, Gisborne 114178, Hawkes Bay 308258, Taranaki 218164.3, Wellington 057254.1 Westland 46475

01.000.331
35-000.180.00
X 79 3 305

MEMORANDUM OF TRANSFER

WHEREAS KINGSTON ORCHARDS LIMITED a duly incorporated company having its registered office at Kerikeri (hereinafter referred to as "the Transferor") being registered as the proprietor of an estate in fee simple

subject however to such encumbrances liens and interests as are notified by memoranda underwritten or endorsed hereon in all that piece of land containing 2072 square metres

be the same a little more or less being Lot 40 Deposited Plan 84118 being part Old Land Claim No. 3, situated in Block XI, Kerikeri Survey District and being all the land comprised and described in Certificate of Title Volume 40B Folio 992 (North Auckland Land Registry) SUBJECT TO: Easement Certificate No. 383359.2 (hereinafter referred to as "the land first described")

AND WHEREAS the Transferor when registered as proprietor of all the land contained in a plan deposited in the Land Registry Office at Auckland under Number 84118 subdivided that land into residential lots and roadway and reserve in the manner shown and defined on the plan for the purposes of the sale of the said land into residential lots as a building estate

AND WHEREAS it is the intention of the Transferor that all residential lots contained in the said plan shall be subject to a general scheme applicable to and for the benefit of all the said residential lots and that the registered proprietor or occupier for the time being of each of the said residential lots shall be bound by the stipulations and restrictions set out in the Second Schedule hereto and that the respective registered proprietors and occupiers for the time being of any of the said residential lots may be able to enforce the observance of such stipulations and restrictions by the registered proprietors or occupiers for the time being of any of the other said residential lots in equity or otherwise howsoever

AND WHEREAS the Transferor has agreed to sell the land first described to BRIAN MAURICE OLIVER of Kerikeri, Technician and CAROL ANN OLIVER his wife (hereinafter called "the Transferee") for the consideration hereinafter appearing and the Transferee agreed to purchase the same and to enter into the covenants on the part of the Transferee hereinafter contained

N.B. On no account should this margin be used

N.B. On no account should this margin be used

10/10/79 3 305 35-000.180.00

FIRST SCHEDULE

ALL THAT parcel of land containing 3.3018 hectares more or less being Lots 3, 5, 6, 13, 17, 22, 23, 24, 25, 26, 29, 30, 31, 32, 33, 34, 35, 36, 40, 41 and 42 on Deposited Plan 84118 and being all the land in Certificates of Title 40B/973 to 40B/994 (North Auckland Land Registry) inclusive.

SECOND SCHEDULE

1. THAT the Transferee shall not use the said land or permit or suffer it to be used for any trading or commercial purpose.

2. THAT the Transferee shall not erect or place or permit or suffer to be erected or placed on the said land any building having a closed-in floor area of fewer than eight hundred (800) square feet (exclusive of carport or garage) and having a value of less than TWENTY THOUSAND DOLLARS (\$20,000.00).

3. THAT the Transferee shall not use or permit or suffer to be used in any buildings on the said land any second-hand materials nor for outer wall sheathing of any such buildings any corrugated iron flat fibrolite or flat asbestos cement.

4. THAT the Transferor shall not without the approval of the Transferor erect or permit or suffer to be erected on the said land any building prior to the erection thereon of a dwelling house.

5. THAT the Transferee shall not place nor permit or suffer to be upon the said land any caravan unless such caravan is currently registered has a current warrant of fitness, has wheels attached and is not occupied as a dwelling.

6. THAT the Transferee shall not remove from the said land any existing ground cover plants shrubs or trees except as may be necessary for the purpose of erecting forthwith any building authorised in the terms hereof or constructing any paths or driveways.

7. THAT the Transferee shall not allow any iron or aluminium roof to remain unpainted for a period of more than three months after such roof has been placed.

8. THAT the Transferee will not without the prior permission of the Transferor erect or allow to be erected any fence on the said land to a height greater than four feet.

B
P

N.B. On no account should this margin be used

IN WITNESS WHEREOF these presents have been executed this

28th day of Sept 1979

Signed by the ~~xxxxxx~~ THE COMMON SEAL of
KINGSTON ORCHARDS LIMITED as
Transferor was hereunto affixed
~~xxxxxx~~ in the presence of:



Witness's Signature

G. Bradwell
Secretary

~~xxxxxx~~

~~xxxxxx~~

B. Maurice
Director

SIGNED by the said BRIAN MAURICE)
OLIVER and CAROL ANN OLIVER as)
Transferee in the presence of:)

B. M. Oliver
B. M. Oliver

Oliver
Herker

N.B. On no account should this margin be used

MEMORANDUM OF TRANSFER

Transfer correct for the purposes of the Land Transfer Act

of Lot 40 D.P. 84118

[Handwritten Signature]
(Solicitor for) the transferee

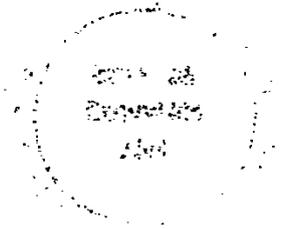
I hereby certify that this transaction does not contravene the provisions of Part IIA of the Land Settlement Promotion and Land Acquisition Act 1952.

KINGSTON ORCHARDS LIMITED Transferor

B.M. & C.A. OLIVER Transferee

(Solicitor for) the transferee

N.B. On no account should this margin be used



N.B. On no account should this margin be used

Particulars entered in the Register as shown in the schedule of land herein on the date and at the time stamped below

District Land Registrar
Assistant
of the District of

① T
\$10
CT. 40B-992 herewith

GRAHAM N. JAFFE,
SOLICITOR,
KERIKERI.

DISTRICT REGISTRY
AUCKLAND, NO. 1
40B/992
754793
OCT 17 9 05 AM 1978
AUCKLAND, N.Z.



[Large handwritten signature/initials]
R. J. McArthur
Solicitor

997316.6EC

Approved by the District Land Registrars: North Auckland 4221/75, South Auckland H.008116/1974, Canterbury 957768, Marlborough 75776, Gisborne 112239.9, Hawkes Bay 303051, Taranaki 217464.1, Wellington A038045, Westland 45629.

EASEMENT CERTIFICATE

(IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein).

X. WE, BRIAN MAURICE OLIVER of Kerikeri, Technician and **CAROL ANN OLIVER** his wife (as regards the land comprised in C.T. 40B/992) and **SCOTT GEOFFREY SINEL** of Kerikeri, Builder (as regards the land comprised in C.T. 40B/985)

being the registered proprietor of the land described in the Schedule hereto hereby certify that the easements specified in that Schedule, the servient tenements in relation to which are shown on a plan of survey deposited in the Land Registry Office at **Auckland** on the **19 81** day of **19 81** under No. **93484** are the easements which it is intended shall be created by the operation of section 90A of the Land Transfer Act 1952.

SCHEDULE DEPOSITED PLAN NO. 93484

Nature of Easement (e.g., Right of Way, etc.)	Servient Tenement		Dominant Tenement Lot No.(s) or other Legal Description	Title Reference
	Lot No.(s) or other Legal Description	Colour, or Other Means of Identification, of Part Subject to Easement		
Right of Way	Part Lot 40 Deposited Plan 84118	Marked A	Lots 1 and 2 Deposited Plan 93484	49D/1246 and 49D/1247
Right of Way	Part Lot 2 Deposited Plan 93484	Marked B	Part Lot 40 Deposited Plan 84118 and Lot 1 Deposited Plan 93484	40B/992 and 49D/1246
Right of Way	Part Lot 1 Deposited Plan 93484	Marked C	Part Lot 40 Deposited Plan 84118 and Lot 2 Deposited Plan 93484	40B/992 and 49D/1247
Stormwater	Part Lot 1 Deposited Plan 93484	Marked D	Lot 2 Deposited Plan 93484	49D/1247

N.B. On no account should this margin be used

N.B. On no account should this margin be used

State whether any rights or powers set out here are in addition to or in substitution for those set out in the Seventh Schedule to the Land Transfer Act 1952.

1. Rights and powers: **nil**

N.B. On no account should this margin be used

N.B. On no account should this margin be used

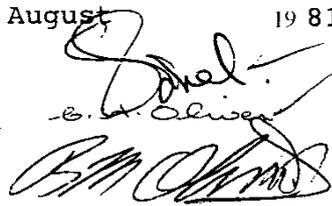
2. Terms, conditions, covenants, or restrictions in respect of any of the above easements: **nil**

N.B. On no account should this margin be used

N.B. On no account should this margin be used

Dated this 17th day of August 19 81

Signed by the above-named
BRIAN MAURICE OLIVER,
CAROL ANN OLIVER and
SCOTT GEOFFREY SINEL



in the presence of

Witness [Signature]

Occupation [Signature]

Address [Signature]

EASEMENT CERTIFICATE

IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein.

Correct for purposes of the Land Transfer Act



(Solicitor for) the registered proprietor

N.B. On no account should this margin be used

N.B. On no account should this margin be used

Particulars entered in the register as shown in the schedule of land herein on the date and at the time stamped below

9973166F
498/1246
1247.
408/993
5 9 03AM '81



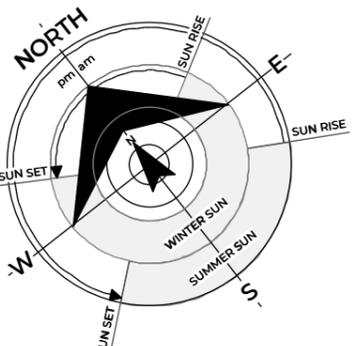
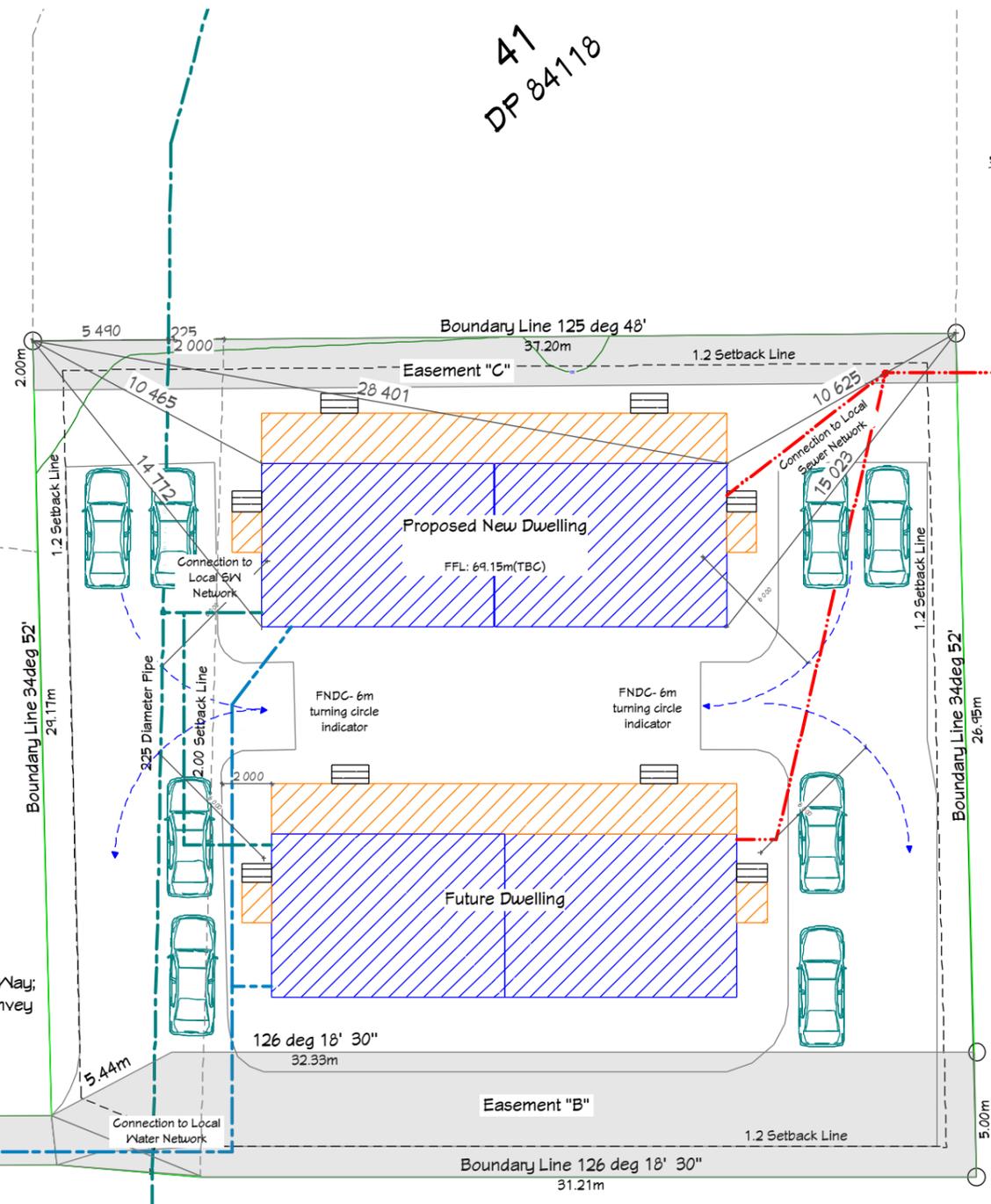
GRAHAM N. JAFFE,
SOLICITOR,
KERIKERI.





NB: Boundary Lines are Indicative Only

37
DP 84118



REVISION: BY: DATE:
Drawn JBD Sep 17 2025

Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer any discrepancies to Advance manufacturing Ltd.
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Proposed New Home for:
Mignon Beren & Pieter Zwart,
Sarah & Evan Da Silva
17 Hawkings Crescent,
Kerikeri

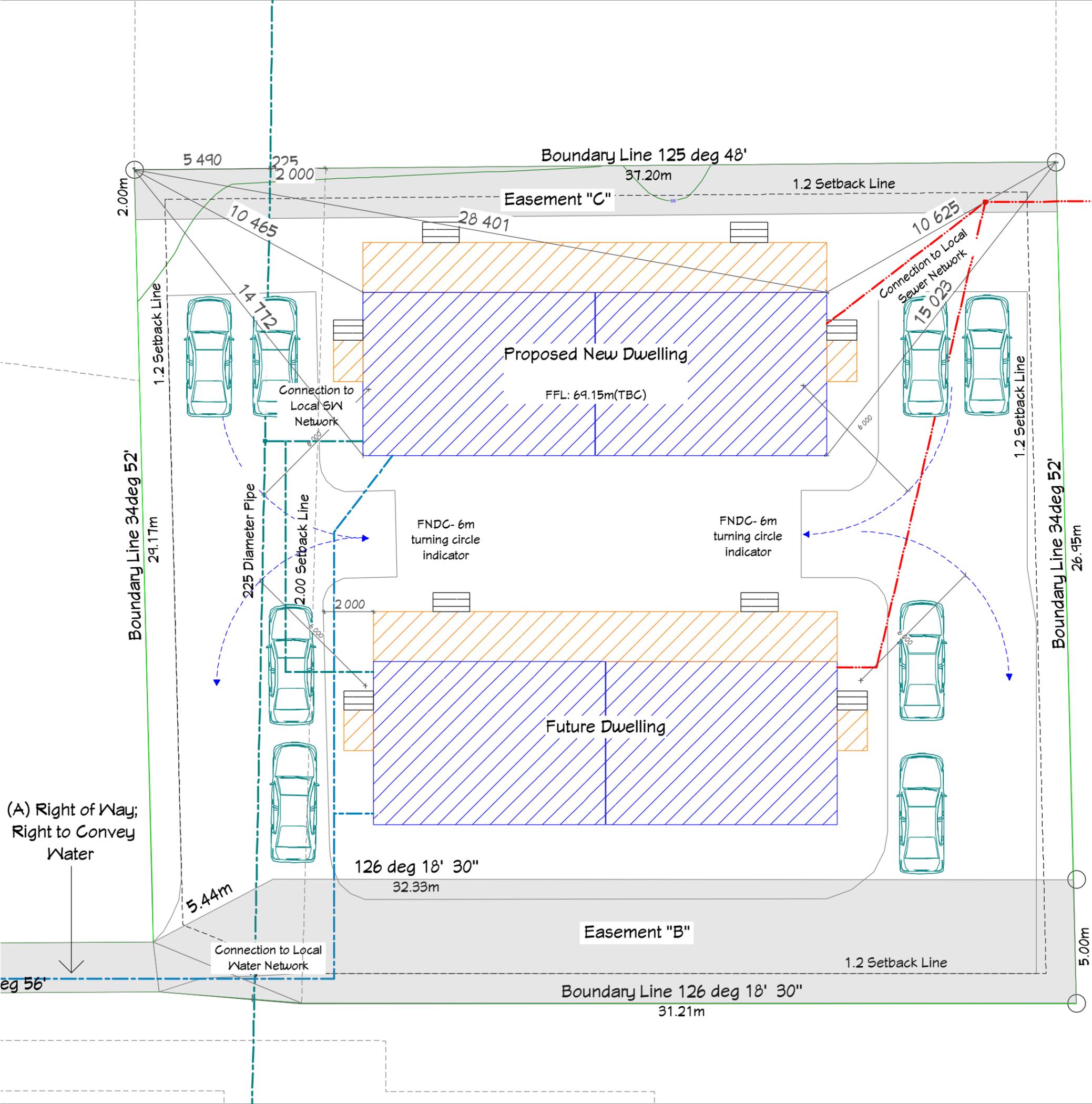
SHEET TITLE:
Site Location Plan

SCALE: NTS

PROJECT #: PAGE: REVISION:

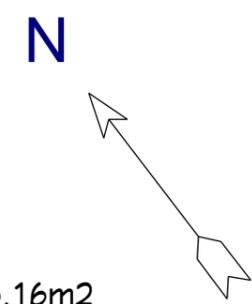
1302 01 C01

Overall Site Plan
Scale - 1:250



Site Information

17 Hawkings Crescent, Kerikeri
 Lot 1
 DP 320780
 Medium Wind Zone
 Corrosion Zone C
 Earthquake Zone 1
 Zone: Residential



Site area: 1362m²
 New Driveway area: 426.16m²
 New buildings area:
 Floor Area(excl. slatted Deck): 123.68m²
 Roof Area(incl Garage): 143.34m²
 Existing buildings are: NIL
 Total impermeable surfaces: 655.29m² = 48.11%
 Earthworks: TBC

REVISION:	BY	DATE:
Drawn	JBD	Sep 17 2025

Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer any discrepancies to Advance manufacturing Ltd.

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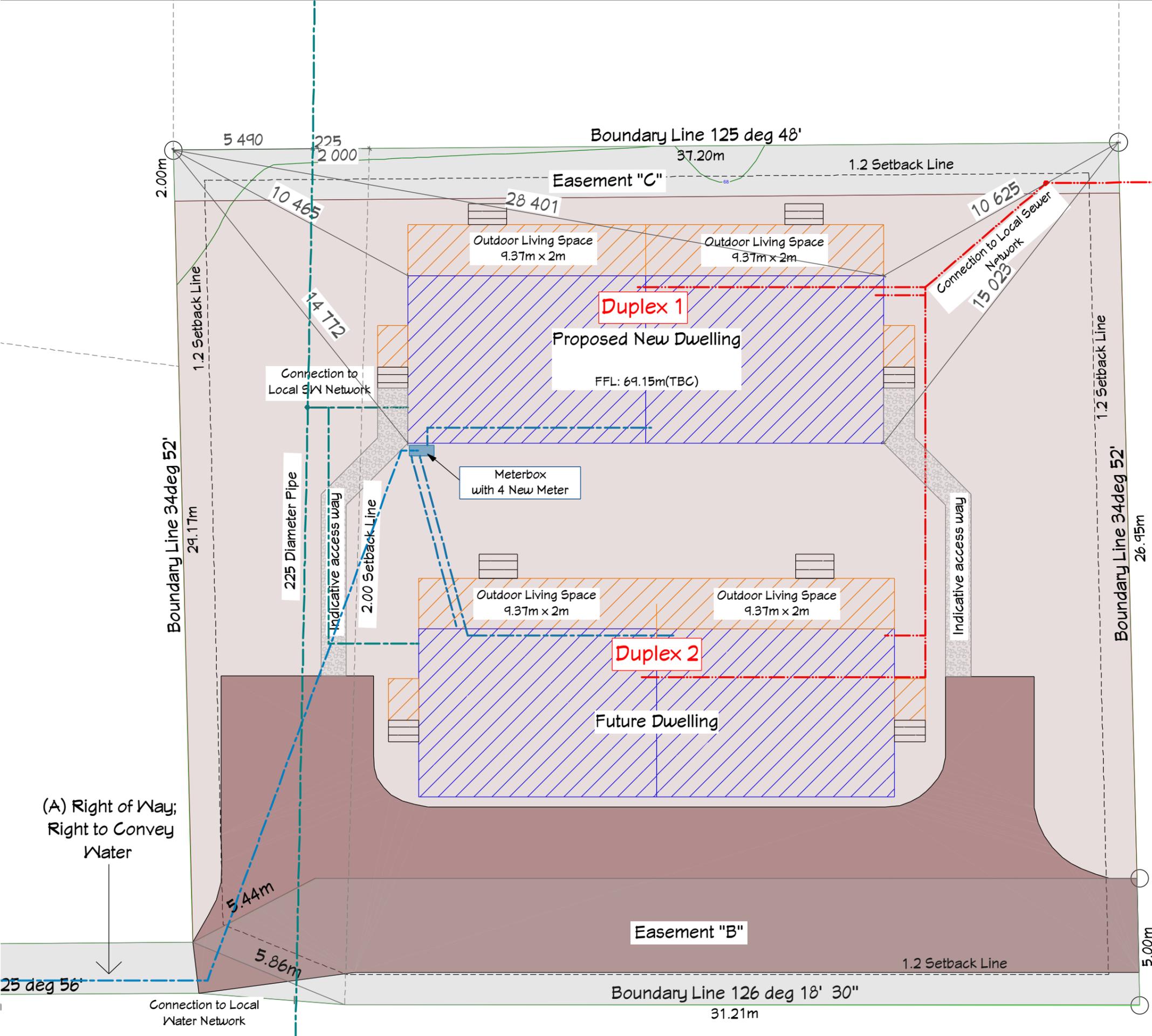


Proposed New Home for:
 Mignon Beren & Pieter Zwart,
 Sarah & Evan Da Silva
 17 Hawkings Crescent,
 Kerikeri

SHEET TITLE:
 Site Plan

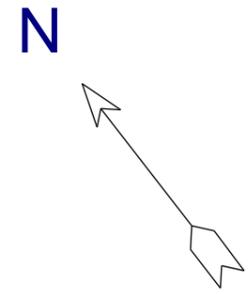
SCALE: 1 : 150 (A3 Original)

PROJECT #: PAGE: REVISION:
 1302 01A C01



Site Information

17 Hawkings Crescent, Kerikeri
 Lot 1
 DP 320780
 Medium Wind Zone
 Corrosion Zone C
 Earthquake Zone 1
 Zone: Residential



Total Site Area: 1362m²
 Net Site Area: 1003.45m²
 New Driveway area: 281.46m²

New building (Duplex 1) area:
 Floor Area(excl. slatted Deck): 123.68m²
 Roof Area: 143.34m²

New building (Duplex 2) area:
 Floor Area(excl. slatted Deck): 123.68m²
 Roof Area: 143.34m²

Existing shared driveway: 107.46m²
 Total impermeable surfaces: 636.28m² = 46.7%
 Earthworks: TBC

REVISION:	BY:	DATE:
Drawn	JBD	Sep 17 2025
Rev	JBD	Oct 22 2025
Rev	JBD	Nov 18 2025
Rev	JBD	Feb 26 2025

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Proposed New Home for:
 Mignon Beren & Pieter Zwart,
 Sarah & Evan Da Silva
 17 Hawkings Crescent,
 Kerikeri

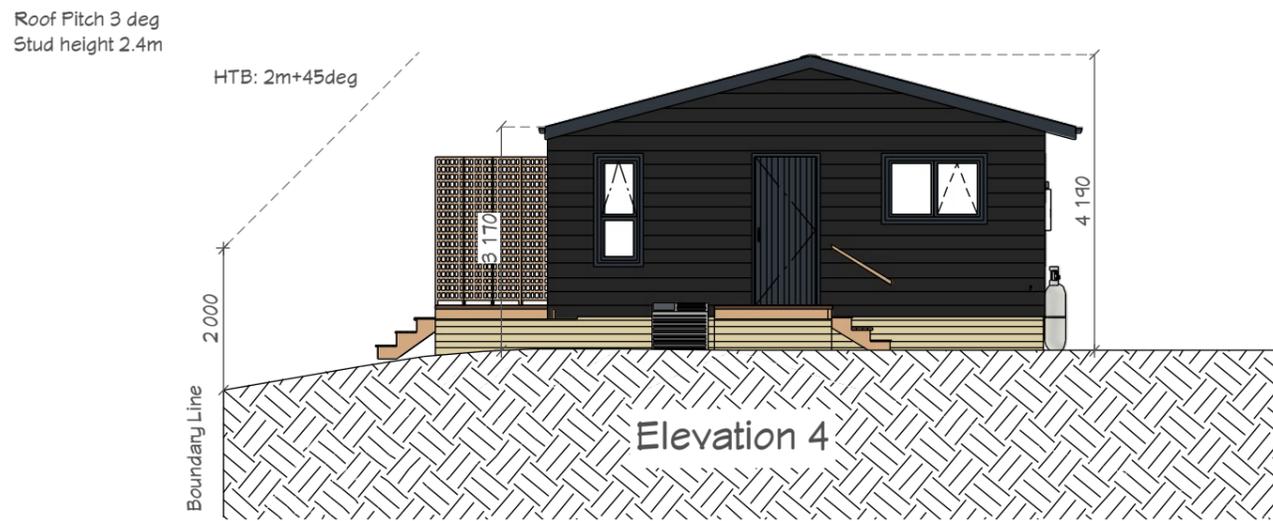
SHEET TITLE:
 Site Plan

SCALE: 1 : 150 (A3 Original)

PROJECT #: PAGE: REVISION:

1302 01A C02

(A) Right of Way;
 Right to Convey
 Water



REVISION:	BY:	DATE:
Drawn	JBD	Sep 17 2025
Rev	JBD	Dec 10 2025
Rev	KAT	Jan 15 2026

Verify all dimensions on site before commencing work. Refer to figured dimensions. Refer any discrepancies to Advance manufacturing Ltd.

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Proposed New Home for:
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Sarah & Evan Da Silva
17 Hawkings Crescent,
Kerikeri

SHEET TITLE:
Elevations

SCALE: 1:100 (A3 Original)

PROJECT #: PAGE: REVISION:

1302 03 C02



SITE SUITABILITY REPORT

17 Hawkings Crescent, Kerikeri 0230



T&A STRUCTURES LTD.

25 March, 2026

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1. PROJECT

1.1 Project Details

Client's Name	:	Advance Build
Site Address	:	17 Hawkings Crescent, Kerikeri 0230
Lot Number	:	1
DP number	:	320780

1.2 Brief

T&A Structures Ltd were engaged by the Client to undertake a Site Suitability Report with the purpose of checking the suitability of the site for a proposed new dwelling and a future dwelling. The site assessment was carried out on 16 October 2025.

This report addresses the suitability of the site for the proposed dwellings. As part of the assessment, the report undertakes to:

- Describe the soils at the site;
- Quantify sub-soil conditions to allow selection of foundation types;
- Note any pertinent features of the land;
- Make recommendations regarding further investigations if necessary.

It was understood that the Client proposes to construct a single-level dwelling in the site. The dwelling will be made in the factory and then transported to the site and then placed on a pre-constructed foundation.

2. SITE DESCRIPTION

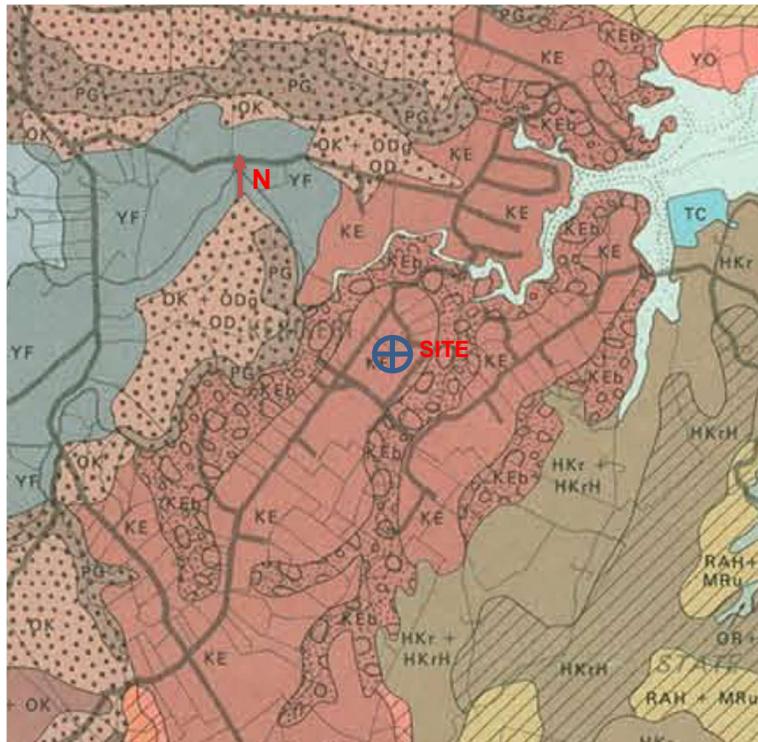
The property occupies a land area of about 1,362 square metres. There was no any existing structures in the property.

The proposed dwelling is to be constructed at the central part of the property. The ground is relatively flat. The property is currently covered with a very thin grass cover. It is bounded by the existing driveway to the south and neighbouring properties to the north, east and west. It is accessed through a long shared driveway from the northwest.

3. GEOTECHNICAL INVESTIGATIONS

3.1 Geology

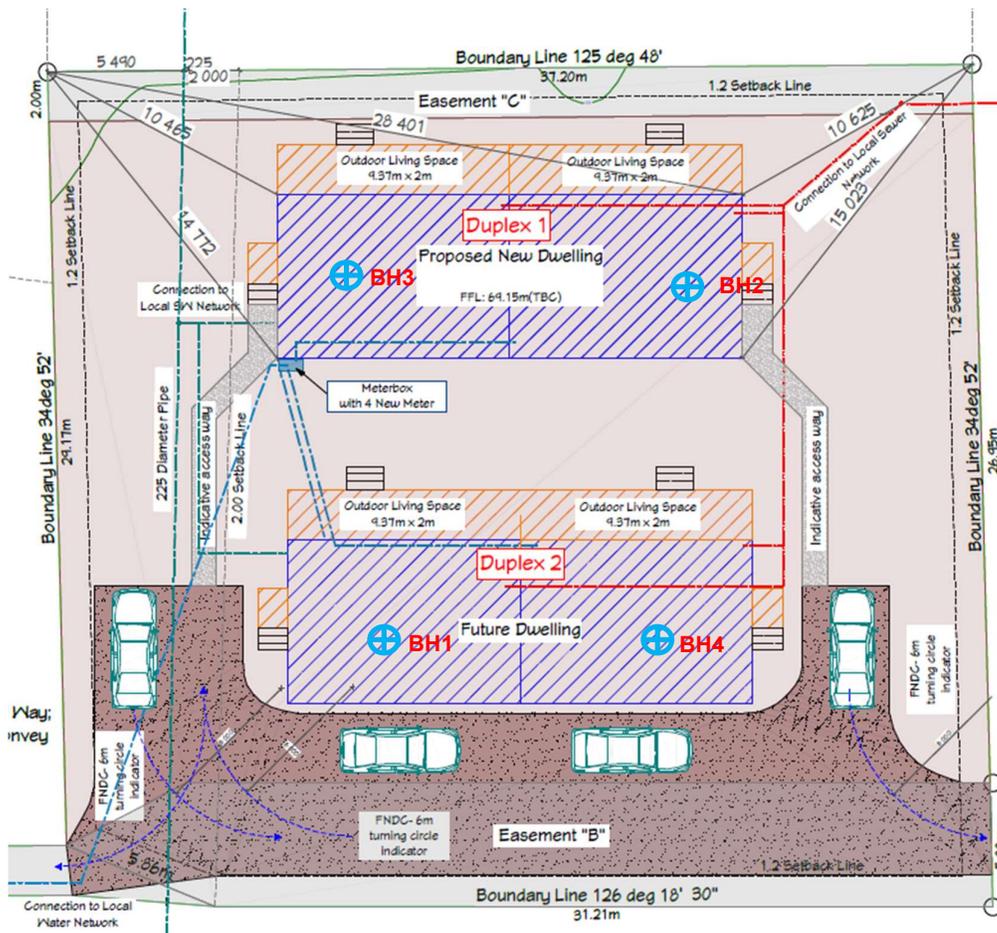
The land is described in the New Zealand Land Inventory NZMS 290 series as Kerikeri Friable Clay (KE), belonging to the Soils of the Rolling and Hilly Land and categorised as well to moderately well drained soils. This has been found to be consistent with the results of the site investigation.



3.2 Subsurface Investigations

The investigations undertaken included a walkover inspection, one augered borehole and three Scala Penetrometer tests. The location plan of the test holes is attached below.

The borehole logs are attached as Appendix 1 to this report. The depths of strata on the Engineer's log are measured from ground levels at each exploratory hole.



3.4 Subsurface Findings

The subsoil materials were found to have the following bearing capacities 500mm below existing ground level:

	BEARING CAPACITY (kPa)	DESCRIPTION
Allowable bearing capacity	100	the reading the inspector obtained with any specialised equipment
Ultimate bearing capacity	300	value = 3 times the allowable bearing capacity
Ultimate dependable bearing capacity	150	value = 1.5 times the allowable bearing capacity

From the results of our preliminary investigations, we were able to establish that in the area of the proposed house site, the subsurface soils comprised of about 200mm thick gravelly fill material underlain with stiff gravelly clay. Ground water was not encountered

in any of the test holes. It should be noted however, that ground water table will vary according to season. The subsurface conditions are detailed on the borehole logs in Appendix 1. The observations noted in the investigations have been extrapolated between the various test locations to infer probable site conditions. It is noted that these inferences in no way guarantee the validity of these findings due to the inherent variability of natural soil deposits. The actual ground conditions discovered during excavation may vary from what is reported herein.

4. MATERIAL PROPERTIES

Soil shear strengths (measured with shear vane, BH4) are generally more than 190 kpa.

The three Scala Penetrometer tests (BH1 to BH3) carried out within the proposed development generally reached 100 kpa (3.3 blows per 100mm) allowable soil bearing capacity at 0.50 mbgl and consistently have higher readings as the scala was driven down.

5. STORMWATER AND SEWERAGE

The FNDC 3 Waters Map indicated that both the council's stormwater and wastewater reticulated systems are available in this site for the stormwater mitigation and wastewater proper disposal. It is anticipated that the proper disposal and mitigation of stormwater and wastewater, respectively will no longer require any additional engineering input.

Any site-specific stormwater management design and/or wastewater disposal system design, if required, is outside the scope of this report.

6. NATURAL HAZARD

The NRC Natural Hazards Map indicated that as of writing this report, there were no any natural hazard affecting the property which could affect the proposed development.

7. ASSESSMENT

7.1 Expansiveness

Based on the results of our field investigation, along with our knowledge and experience with these kinds of soils, we classify the investigated site as moderately expansive in

terms of AS2870:2011. Expansive soils are prone to shrinkage and swelling effects resulting from moisture changes from within the soil.

We note that no laboratory testing of the material to confirm the soil expansivity was undertaken.

7.2 Site Stability

The site did not appear to be subject to creep or instability. There appear to be no recent ground movement on the site. In terms of Section 72 of the Building Act 2004, it is concluded that:

- a. that the proposed development will not affect or worsen the current stability of the site or result in slippage or subsidence on the land where the building work is to be carried; and
- b. the land is neither subject to or likely to be subject to slippage or subsidence.

7.3 Earthworks and Retaining Structures

As mentioned earlier, the ground in the site where the proposed dwelling is to be built is relative flat. We do not anticipate that this development will require considerable earthworks or retaining. Cuts and fills in excess of 0.5m high and within 3.0 metres from any of the building footprints, if needed should either be battered back at no greater than 1v:3h or retained by a suitably designed retaining wall. Any retaining wall retaining at least a metre of soil should be specifically designed according to the following parameters:

- Unit weight of soil: 18 KN/m³
- Angle of internal friction: 28°
- Undrained soil shear strength: 100 kpa

7.4 Liquefaction Potential

Liquefaction occurs when the structure of a loose, saturated sand breaks down due to some rapidly applied loading such as earthquake shaking. As mentioned above, the soil in the site is cohesive clay. Ground water was not encountered in any of the boreholes. In addition, the site is in Northland where earthquake occurrence is considered unlikely. Hence, it is considered that liquefaction is unlikely to occur on this site.

A detailed liquefaction assessment for this site is outside the scope of this study.

7.5 Foundation System

The soils on this site are considered to be moderately expansive and soft. The soils appeared to have not complied with the definition of “good ground” as noted in NZS3604:2011. It is however, considered that the site is suitable for the proposed development. The following are the recommended foundation options:

- Pile foundation designed according to the requirements of NZS3604:2011 provided that the piles are embedded into the ground at least 900mm. At these depths, it is expected that the soil has at least 300kpa ultimate soil bearing capacity. It is also expected that these depths are enough to mitigate the possible effect of seasonal ground movements due to soil expansion and contraction as a result of soil moisture changes.
- Where a shallow foundation is preferred, a specifically designed ribraft concrete slab foundation is recommended. The top 300mm of soil, including topsoil should be taken out and be replaced with compacted hardfill, preferably Gap 65 or 40, placed and compacted at every 150mm fill layer. Any pockets of soft and organic soil should be over-excavated. The foundation should be designed for a maximum allowable soil bearing pressure of 75Kpa.

8. OTHER RECOMMENDATIONS

- In case of shallow foundation, the exposed subsoils should be examined, and any potential soft spots are to be over-excavated. Replacement fill shall be GAP 65 or GAP 40 placed in layers not exceeding 150mm thick and compacted with a suitable compactor. Any fill exceeding 600mm thick should be tested for compaction.
- All stormwater collected from roofed and paved surfaces together with discharges from retaining walls and other subsoil drains shall be controlled and piped away from the proposed building footprint. Ensure that no uncontrolled runoff or concentrated discharges are directed onto open ground, into soakage pits or into subsoil drainage systems.
- Fill materials beneath any on-ground slab shall be GAP 65 or GAP 40 placed and compacted in layers not exceeding 150mm thick. Any fill exceeding 600mm thick should be tested for compaction.
- In case of shallow foundation, an engineer should inspect the earthworks, building platform and foundation prior to the concrete being poured to ensure that the actual

soil parameters are as mentioned in this report or better. Producer Statements PS4 – Construction Review should be required for each of these stages.

9. LIMITATIONS

- Our responsibility for this report is limited to the Client named in this report. We disclaim all responsibility and will accept no liability to any other person unless that party has obtained the written consent of T&A Structures Ltd. T&A Structures Ltd reserves the right to qualify or amend any opinion expressed in this report in dealing with any other party. It is not to be relied upon for any other purpose without reference to T&A Structures Ltd.
- Recommendations and opinions in this report are based on data obtained from the investigations and site observations as detailed in this report. The nature and continuity of subsoil conditions at locations other than the investigation bores and tests are inferred and it should be appreciated that actual conditions could vary from the assumed model.
- It is essential that this office be contacted if there is any variation in subsoil conditions from those described in this report as it may affect the design parameters recommended.
- This report was carried for the purpose of checking the ground with respect to the proposed development. This should not be taken as a full geotechnical report.
- Our professional services were performed using a degree of care and skill normally exercised, under similar circumstances, by reputable consultants practicing in this field at the time.



Teo Pilapil

Chartered Professional Engineer

Structural Engineer, CMEngNZ CPEng

T&A STRUCTURES LTD.

10. APPENDIX 1: BORE LOGS

BORE HOLE LOG BH1

Job No. 152-FND-25SD

Address 17 Hawkings Crescent, Kerikeri
Client Advance Build

Borehole Location Refer to site plan

Surface elevation Datum Ground level

Surface Condition Grassed



Fill



Topsoil



Sand



Clay



Silt

Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	

Drill Method Scala penetrometer

Date Drilled 16 October 2025 **NOTE : The subsurface data described above has been determined at this specific borehole location.**

Drilled by Teo Such data will not identify any variations away from this location

Shear Vane No

T&A STRUCTURES LTD
 CHARTERED PROFESSIONAL ENGINEERS
 www.tastructures.co.nz info.tastructures@gmail.com

Tests

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line

BORE HOLE LOG BH2

Job No. 152-FND-25SD

Address 17 Hawkings Crescent, Kerikeri

Client Advance Build

Borehole Location Refer to site plan

Surface elevation Datum Ground level

Surface Condition Grassed



Fill



Topsoil



Sand



Clay



Silt

Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	
					0	
					0	
					0	
					0	
					0	
					0	

Drill Method Scala penetrometer

Date Drilled 16 October 2025 **NOTE : The subsurface data described above has been determined at this specific borehole location.**

Drilled by Teo Such data will not identify any variations away from this location

Shear Vane No

T&A STRUCTURES LTD
 CHARTERED PROFESSIONAL ENGINEERS
 www.tastructures.co.nz info.tastructures@gmail.com

Tests

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line

BORE HOLE LOG BH3

Job No. 152-FND-25SD

Address 17 Hawkings Crescent, Kerikeri
Client Advance Build

Borehole Location Refer to site plan

Surface elevation Datum Ground level

Surface Condition Grassed



Depth mm	G.W.L	Geologic Unit	Graphic Log	Field Description	Undrained Shear Strength (kPa) Corrected (Per NZGS guideline) 50 100 150 200	Scala Penetrometer (blows/ 100 mm) 3 6 9 12
0					0	
300					0	
600					0	
900					0	
1200					0	
1500					0	
1800					0	
2100					0	
					0	
					0	
					0	
					0	
					0	
					0	

Drill Method: Scala penetrometer
 Date Drilled: 16 October 2025
 Drilled by: Teo
 Shear Vane No:
NOTE : The subsurface data described above has been determined at this specific borehole location. Such data will not identify any variations away from this location

T&A STRUCTURES LTD
 CHARTERED PROFESSIONAL ENGINEERS
 www.tastructures.co.nz info.tastructures@gmail.com

Tests

- In situ shear vane reading
- Remoulded shear vane reading
- Scala Penetrometer
- 100 kPa reference line



Home Starter Pack

Authorisation for Council

As the legal owner of property at: 17 Hawkings Crescent, Kerikeri

I give authority and permission for the builder (Advance Manufacturing Ltd) or nominated designer to apply for a PIM Report, Resource Consent and Building Consents on my behalf and to undertake site visits on my property.

Date: 9/11/2025 Home Consultant: Chris Peterson

Client/s Name/s: Mignon Beren and Sarah Da Silva

Client/s Signature: Signed by:  483F559AE7194F4 Signed by: Sarah Da Silva B93F63D23E3F428

Help us Support Starship:

Advance Build are thrilled to have come on board as a partner of the Starship Foundation in support of Starship children’s hospital. We are inviting you to help us fundraise as we want to help ensure kiwi kids get the best level of care.



To donate either **\$30, \$50, \$100, \$200 or \$500** please scan the QR Code. We appreciate your support!