

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☒ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- ☒ Land Use ☐ Discharge
☐ Fast Track Land Use* ☐ Change of Consent Notice (s.221(3))
☐ Subdivision ☐ Extension of time (s.125)
☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
☐ Other (please specify) _____

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☒ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

AC & JM Hay Family Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Steven Sanson - Bay of Islands Planning Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

refer title attached

Property Address/
Location:

20 Bay View Road, Cable Bay

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:	As above
Site Address/ Location:	20 Bay View Road, Cable Bay <div>Postcode</div>
Legal Description:	Section 30 Block V Mangonui Survey District
Certificate of title:	NA77D/946

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Second residential unit [studio] on the site. Discretionary activity

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

☒ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☒ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☒ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full) AC & JM Hay Family Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Andrew Charles Hay, Trustee

Signature:

(signature of bill payer)

Date 26-May-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Steven Sanson

Signature:

Date 29/05/2025

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Bay Of Islands Planning Limited

**Kerikeri House
Suite 3, 88 Kerikeri Road
Kerikeri**

Email office@bayplan.co.nz Website www.bayplan.co.nz

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30 May 2025

Dear Team Leaders

Re: Proposed residential unit [studio] at 20 Bay View Road, Cable Bay

Our client the AC & JM Hay Family Trust seeks a land use consent [retrospective] for a second residential unit [studio] found on the ground floor of the existing three storey dwelling.

We attach information required to be included in this application by the relevant statutory documents as follows:

- **Planning Report and Assessment of Environmental Effects**
- **Appendix 1 – Record of Title & Instruments**
- **Appendix 2 – Architectural Drawings**
- **Appendix 3 – Form 4**
- **Appendix 4 – Site Photos**

Please do not hesitate to contact me should you require any further information.



Steven Sanson
Consultant Planner

1. APPLICANT & PROPERTY DETAILS

Applicant	AC & JM Hay Family Trust
Address for Service	Bay of Islands Planning [2022] Limited PO Box 318 PAIHIA 0247 C/O – Steven Sanson steve@bayplan.co.nz 021-784-3331
Legal Description	Section 30 Block V Mangonui Survey District
Certificate Of Title	NA77D/946
Physical Address	20 Bay View Road, Cable Bay
Site Area	1,012m ²
Owner of the Site	Andrew Charles Hay and Joanne Mary Hay
District Plan Zone / Features	Residential [ODP] / General Residential [PDP]
Archaeology	Nil
NRC Overlays	Coastal Environment
Soils	Class 4
Protected Natural Area	Nil
HAIL	Nil

Schedule 1

2. SUMMARY OF PROPOSAL

Proposal	Resource consent [retrospective] for a second residential unit [studio] found on the ground floor of the existing three storey dwelling.
Reason for Application	<p>The proposal is considered to breach the following rules:</p> <ul style="list-style-type: none"> 7.6.5.1.2 Residential Intensity – Discretionary Activity
Appendices	<p>Appendix 1 – Record of Title & Instruments</p> <p>Appendix 2 – Architectural Plans</p> <p>Appendix 3 – Form 4</p> <p>Appendix 4 – Site Photos</p>
Consultation	Nil
Pre Application Consultation	Nil

3. INTRODUCTION & PROPOSAL

3.1 Report Requirements

This report has been prepared for the AC & JM Family Trust in support of a land use consent application at 20 Bay View Road, Cable Bay.

The application has been prepared in accordance with the provisions of Section 88 and the Fourth Schedule of the Resource Management Act 1991[RMA].

This report serves as the Assessment of Environmental Effects required under both provisions.

The report also includes an analysis of the relevant provisions of the Far North District Plan [Operative and Proposed], relevant Regional Planning documents, National Policy Statements and Environmental Standards, as well as Part 2 of the RMA.

3.2 Proposal

The site is located on NA77D/946 as outlined below with relevant interests as outlined on the Title in Appendix 1. The site is also shown below in Figure 1.

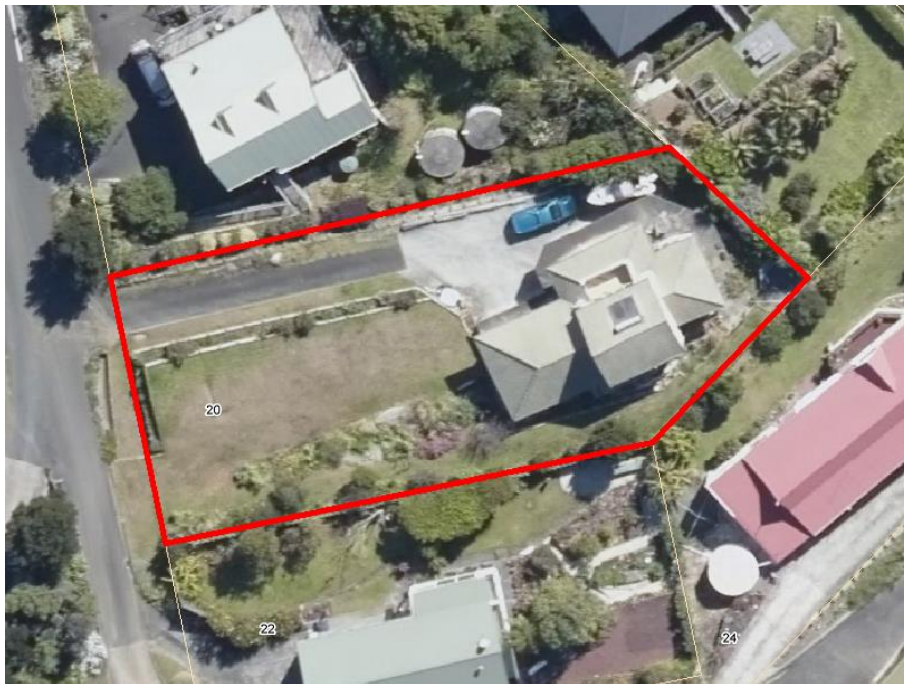


Figure 1: Site (Source: Prover)

The interests on the title have no material effect on this application.

The proposal seeks to authorise a second residential unit [retrospective] within the site as outlined on the plans provided in Appendix 2.

As is outlined in the Form 4 provided by FNDC in Appendix 3, the proposal requires consent under Rule 7.6.5.1.2 Residential Intensity. This is because the site is only 1,012m² in size and the permitted rule requires 600m² for each residential dwelling.

The Form 4 is associated with a building consent application [EBC-1997-1334/0/A] to alter the external cladding of the site as well as a raft of other exterior alterations to the building.

A range of photos of the site are provided for context in Appendix 4.

The proposal is a **Discretionary Activity** under the ODP.

4. SITE & SURROUNDING ENVIRONMENT

4.1 Zoning, Overlays, & Instruments

The property is located entirely within the Residential Zone and is not subject to any overlays under the ODP. Under the PDP, the site is to be zoned General Residential and is within the Coastal Environment.

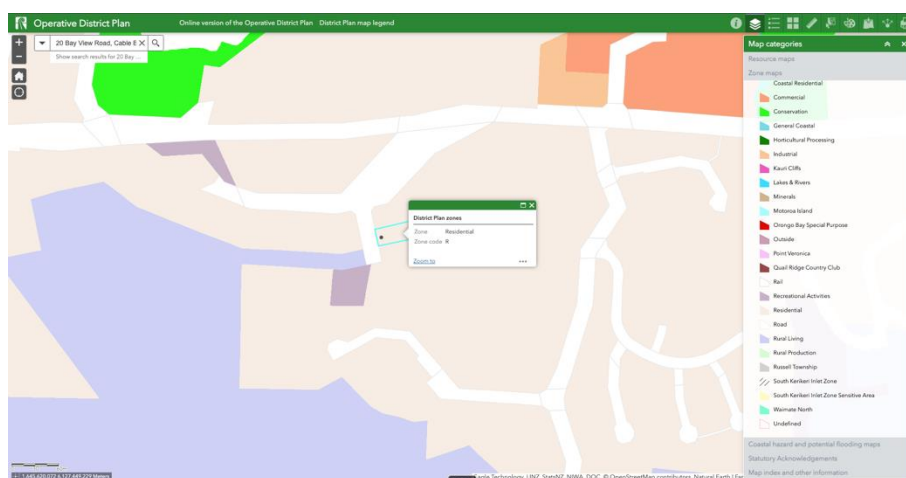


Figure 2: ODP Zoning (Source Far North Maps)

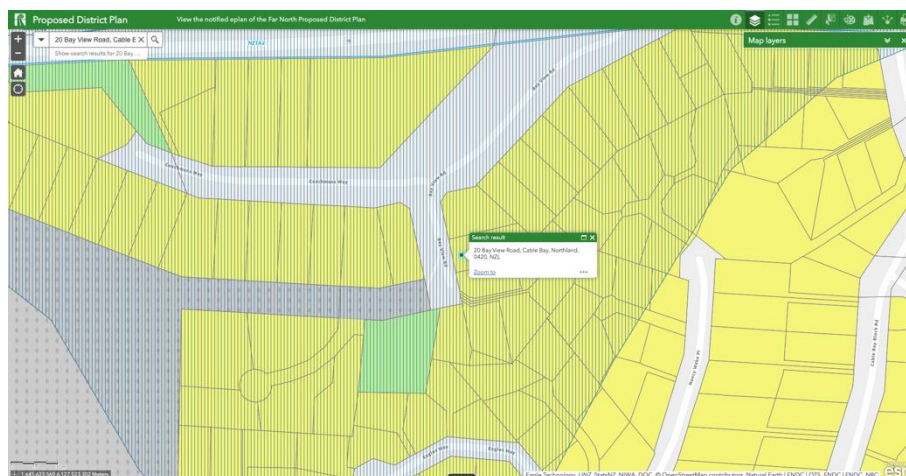


Figure 3: PDP Zoning (Source: Far North Maps)

4.2 Location

The site is located near the end of Bay View Road. Bay View Road gains access from State Highway 10 which is ~200m away. Bay View Road is in reasonable proximity to both Coopers Beach and Taipa.

4.3 Topography & Natural Features

Bay View Road rises from State Highway 10 and the coastal marine area. In relation to the architectural plans, the site therefore falls to the north and rises to the south. Natural features on the site relate to normal grassed areas and domestic landscaping.

4.4 Built Form & Access

The subject site contains two dwellings as outlined on the plans provided in Appendix 2. The site has an existing vehicle crossing from Bay View Road and internal access which serves both dwellings. The larger dwelling has a double garage whilst parking for the small studio can be accommodated along the eastern portion of the concrete access.

4.5 Surrounding Environment

The surrounds are characterized by residential use with pockets of vegetation. The surrounds enjoy coastal views from their elevated positions.

5. ASSESSMENT OF RELEVANT RULES

5.1 Far North District Plan

An assessment of the relevant rules of the ODP has been undertaken below:

Table 1 –Residential Zone Land Use Rules

Rule	Assessment
7.6.5.1.1 Relocated Buildings	Not applicable

	Complies
7.6.5.1.2 Residential Intensity	The site is not 1,200m ² in site and two dwellings are proposed. Discretionary Activity
7.6.5.1.3 Scale of Activities	Residential use is proposed. Complies
7.6.5.1.4 Building Height	Building is compliant / existing. Complies
7.6.5.1.5 Sunlight	Building is compliant / existing. Complies
7.6.5.1.6 Stormwater Management	Building is compliant / existing. Complies
7.6.5.1.7 Setback from boundaries	Building is compliant / existing. Complies
7.6.5.1.8 Screening for Neighbours – Non Residential Activities	Building is compliant / existing. Complies
7.6.5.1.9 Outdoor Activities	Not applicable Complies
7.6.5.1.10 Visual Amenity	Not applicable Complies
7.6.5.1.11 Transportation	Refer Table 3 below Complies
7.6.5.1.12 Site Intensity Non Residential Activities	Not applicable Complies
7.6.5.1.13 Hours of Operation Non Residential Activities	Not applicable Complies
7.6.5.1.14 Keeping of Animals	Not applicable Complies

7.6.5.1.15 Noise	Residential noise envisage Complies
7.6.5.1.16 Helicopter Landing Area	Not applicable Complies
7.6.5.1.17 Building Coverage	No new buildings are proposed. Complies

Table 2 – District Wide Rules

Rule	Assessment
12.1 Landscape & Natural Features	Not applicable Complies
12.2 Indigenous Flora and Fauna	No indigenous vegetation clearance required. Complies
12.3 Earthworks	Small works are required as outlined in <u>Appendix 2</u> . Complies
12.4 Natural Hazards	The dwellings are not within 20m of bush areas rather landscaped vegetation areas. Complies
12.5 Heritage	Not applicable Complies
12.5A Heritage Precincts	Not applicable Complies

12.6 Air	Not applicable Complies
12.7 Lakes, Rivers, Wetlands and the Coastline	Not applicable Complies
12.8 Hazardous Substances	Not applicable Complies
12.9 Renewable Energy and Energy Efficiency	Not applicable Complies

Table 3 – Transport Rules

Rule	Assessment
15.1.6A.2 Traffic Intensity	The residential zone allows 20 traffic movements as a permitted activity. Two dwellings generate 20 movements. Complies
15.1.6B.1 Parking	Two dwellings require 4 car parks. The site provides 2 car parks for the large dwelling in the double garage and there are 2 car parks for the studio. Complies
15.1.6C Access	Access comes off the existing crossing and concrete internal access. Complies

Overall, this application falls to be considered as a ‘Discretionary Activity’ under the ODP.

Clause 2(1)(d) of Schedule 4 of the RMA requires applicants to identify other activities of the proposal with the intention of capturing activities which need permission or licensing under other enactments. These are considered below.

5.2 Northland Regional Council Requirements

The relevant matter to consider in terms of the proposal is with respect to the matters under management of the Northland Regional Council.

The proposal has been assessed against the Proposed Regional Plan for Northland and no consents are required.

5.3 Proposed Far North District Plan 2022

The PDP has rules which have immediate legal effect for the following chapters:

Table 4 – Assessment of the PDP Rules

Rule	Assessment
Hazardous Substances	Not relevant as no such substances proposed. Complies
Heritage Area Overlays	Not relevant. Complies
Historic Heritage	Not relevant. Complies
Notable Trees	Not relevant. Complies
Sites and Areas of Significance to Māori	Not relevant. Complies
Ecosystems and Indigenous Biodiversity	Not relevant. Complies

Activities on the Surface of Water	Not relevant Complies
Earthworks	These standards can be imposed and required at time of development. Complies
Signs	Not relevant. Complies
Orongo Bay Zone	Not relevant Complies
Subdivision	No subdivision is proposed. Complies

No consents are required under the PDP.

6. NOTIFICATION ASSESSMENT

6.1 Public Notification

The table below outlines the steps associated with public notification insofar as it relates to s95 of the Act.

Table 5 – s95 Assessment

<u>Step 1</u>	<u>Mandatory public notification in certain circumstances</u>	
S95A(3)(a)	Has the applicant requested that the application be publicly notified?	No
S95A(3)(b)	Is public notification required under section 95C? (after a request for further information)	TBC
S95A(3)(c)	Has the application been made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.	No
<u>Step 2</u>	<u>if not required by step 1, public notification precluded in certain circumstances</u>	
S95A(5)(a)	Is the application for a resource consent for 1 or more activities and each activity is subject to a rule or national	No

	environmental standard that precludes public notification?	
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but no other, activities. (i) a controlled activity. (ii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.	No

The proposed development does not meet the tests for mandatory public notification, nor does it meet the tests for precluding public notification. Therefore, an assessment of environmental effects is required to consider whether these matters should be further explored.

7. EFFECTS ON THE ENVIRONMENT

7.1 Effects That Must Be Disregarded

Effects on persons who are owners and occupiers of the land in, on, or over which the application relates, or of adjacent land must be disregarded when considering effects on the environment (s 95D(a)). Those properties / persons are shown in Table 6 below.

Table 6 – Adjacent Persons

[Download CSV](#)

Address	Suburb	Town	Capital Value	Owners	Last Sale Date	Last Sale Price	Land Area	Floor Area
20 Bay View Road	Cable Bay	Far North	950000	Andrew Charles Hay, Joanne Mary Hay	04 Oct 2024	500000	1,012 m²	260 m²
24 Bay View Road	Cable Bay	Far North	780000	Patricia Frances Smith, Virginia Louise Smith, Michele Joy Twigden	04 Jan 2016	355000	806 m²	140 m²
16 Bay View Road	Cable Bay	Far North	1100000	Michael Dennis Bush, Vicki Jean Bush	09 Mar 2020	812500	1,012 m²	208 m²
18 Bay View Road	Cable Bay	Far North	900000	Ian Christopher Daniels, Kaye Denene Daniels	03 May 2016	460000	985 m²	220 m²
22 Bay View Road	Cable Bay	Far North	660000	NWM Trustees 111 Limited, Karl Edward Olsen	01 Jan 1900	190000	691 m²	150 m²
2 Coachmans Way	Cable Bay	Far North	1000000	Christine Elizabeth Drewery, Peter Ian Fraser Drewery	06 Sep 2017	635000	999 m²	190 m²



Figure 4: Adjacent Sites (Source: Prover)

7.2 Written Approvals

No written approvals have been sought

7.3 Effects That May Be Disregarded

Sections 95D(b) and 95E(2)(a) provide that when determining the extent of the adverse effects of an activity or the effects on a person respectively, a council ‘may disregard an adverse effect if a rule or national environmental standard permits an activity with that effect’. This is known as the permitted activity baseline test.

The purpose of the permitted baseline test is to isolate and make effects of activities on the environment that are permitted by a plan or NES, irrelevant.

When applying the permitted baseline such effects cannot then be taken into account when assessing the effects of a particular resource consent application. The baseline has been defined by case law as comprising non-fanciful (credible) activities that would be permitted as of right by the plan in question.

In relation to the above, the proposal relies on the establishment of the larger building and it being permitted in terms of various rules, except for the fact that the downstairs has been converted into a studio unit.

7.4 Existing Environment

The receiving environment is the environment upon which a proposed activity might have effects. It is permissible (and often desirable or necessary) to consider the future state of the environment upon which effects will occur, including:

- the future state of the environment as it might be modified by the utilization of rights to carry out permitted activities (refer above).
- the environment as it might be modified by implementing resource consents that have been granted at the time a particular application is considered, where it appears likely that those resource consents will be implemented.

The existing environment in this instance is characterized by the existing and legalized built development already located on site.

There are no known unimplemented consents with respect to this site.

7.5 Effects Assessment

The following assessment (refer Table 7) has been prepared in accordance with Section 88 and Schedule 4 of the Act which specifies that the assessment of effects provided should correspond with the scale and significance of the proposal.

Table 7 – Effect Assessment (Environment)

Item	Assessment Criteria	Comments
Positive Effects	Nil	<p>The proposal provides for economic and social wellbeing for the current site owner.</p> <p>The development seeks approval for a studio unit which can contribute to tourism and additional accommodation nights in Cable Bay for visitors. Alternatively, the owner of the site will be able to accommodate friends and family with their own lodgings and facilities within the larger building.</p>
Residential Intensity	Derived from 11.1	<p><i>(a) The character and appearance of building(s) and the extent to which the effects they generate can be avoided, remedied or mitigated, consistent with the principal activity on the site and with other buildings in the surrounding area.</i></p> <p>The site photos found in <u>Appendix 4</u> provide a glimpse of the current character and appearance of the building. Exterior aspects of the building are proposed to be modernised through the current building consent application. The studio unit forms part of the overall works being sought and will be consistent in character and appearance.</p> <p>In effect, there will be little external clues obvious that would signal that there are two dwellings present.</p> <p><i>(b) The siting of the building(s), decks and outdoor areas relative to adjacent properties and the road frontage, in order to avoid visual domination and loss of privacy and sunlight.</i></p>

		<p>The buildings and outdoor areas are easily observed on site and in relation to the studio the adjacent properties are those to the north / north east. The studio is within the larger dwelling and there are no sunlight issues / breaches as a result of the proposed works.</p> <p>In terms of privacy, the dwellings to the north are largely positioned to take up views to the coastal area, not back toward the south, and where they do have minimal views south, they would simply note what would be a downstairs room within a wider dwelling. There are therefore no additional effects to privacy that what already exists.</p> <p><i>(c) The size, location and design of open space and the extent to which trees and garden plantings are utilised for mitigating adverse effects.</i></p> <p>This is shown on the site plan and photos in the appendices. The site has aspects of open space and residential landscaping along its boundaries. These assist in mitigating effects.</p> <p><i>(d) The ability of the immediate environment to cope with the effects of increased vehicular and pedestrian traffic.</i></p> <p>The environment in this respect is unchanged as the additional traffic from the studio is permitted.</p> <p><i>(e) The location and design of vehicular and pedestrian access, on site vehicle manoeuvring and parking areas and the ability of those to mitigate the adverse effects of additional traffic.</i></p>
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		<p>The additional traffic load is permitted. The area on site for parking is the double garage for the existing dwelling and for the studio the concrete apron is immediately adjacent to the studio entry.</p> <p>Manouvring is possible from this area to where the apron splays for entrance into the double garage and there are not expected to be any manouvring clashes.</p> <p><i>(f) Location in respect of the roading hierarchy – the activity should be assessed with regard to an appropriate balance between providing access and the function of the road.</i></p> <p>There are no known effects resulting.</p> <p><i>(g) The extent to which hours of operation are appropriate in terms of the surrounding environment.</i></p> <p>Residential hours of operation are expected and are appropriate in the residential zone.</p> <p><i>(h) Noise generation and the extent to which reduction measures are used.</i></p> <p>Residential noise is envisaged which is appropriate.</p> <p><i>(i) Any servicing requirements and/or constraints of the site – whether the site has adequate water supply and provision for disposal of waste products and stormwater.</i></p>
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		<p>There are no known servicing requirements.</p> <p><i>(j) Whether the development is designed in a way that avoids, remedies or mitigates any adverse effects of stormwater discharge from the site into reticulated stormwater systems and/or natural water bodies.</i></p> <p>Stormwater management forms part of the building consent application but there is no impervious surface breach resulting from the application.</p> <p><i>(k) The ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s) permitted on the site.</i></p> <p>The site is already well landscaped.</p> <p><i>(l) The degree to which mitigation measures are proposed for loss of open space and vegetation.</i></p> <p>There is no loss of open space or vegetation in this instance.</p> <p><i>(m) Any adverse effects on the life supporting capacity of soils.</i></p> <p>Not relevant.</p> <p><i>(n) The extent of visual and aural privacy between residential units on the site and their associated outdoor spaces.</i></p>
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		<p>The internal aural issues are considered to be appropriate from the landowner who is seeking consent. A reasonable level of residential noise is expected between the two dwellings.</p> <p><i>(o) Visual effects of site layout on the natural character of the coastal environment.</i></p> <p>There are no resulting effects from the exterior changes [permitted] nor the proposed studio.</p> <p><i>(p) The effect on indigenous vegetation and habitats of indigenous fauna.</i></p> <p>There are no effects from the consenting of the studio which is already built and inside an existing building.</p> <p><i>(q) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.</i></p> <p>There are no known effects from or to natural hazards in this instance.</p> <p><i>(r) Proximity to rural production activities and potential for incompatible and reverse sensitivity effects.</i></p> <p>There are no such uses in the immediate surrounds.</p> <p><i>(s) When establishing a minor residential unit (i) the extent of the separation between it and the principal dwelling; (ii) the degree to</i></p>
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		<p><i>which the design is compatible with the principal dwelling; (iii) the extent that services can be shared; (iv) the extent that the floor plan is fit for purpose; (v) the extent to which landscaping is utilised to mitigate adverse effects; (vi) the design of the building in regard to how easily it may be removed from a site should circumstances change.</i></p> <p>A Minor Residential Unit is not proposed.</p> <p><i>(t) With respect to access to a State Highway (SH) that is a Limited Access Road, the effects on the safety and/or efficiency on any SH and its connections to the local roading network and the provision of written approval from the NZ Transport Agency.</i></p> <p>Access is not immediately off the State Highway.</p>
<p><u>Concluding Statement:</u></p> <p>Having considered the relevant actual and potential effects associated with the development, it is considered that the proposed land use promotes effects that are less than more than minor on the environment.</p>		

8. EFFECTS TO PEOPLE

8.1 Limited Notification

The table below outlines the steps associated with limited notification insofar as it relates to s95 of the Act.

Table 8 – s95 Assessment

<u>Step 1</u>	<u>certain affected groups and affected persons must be notified</u>	
S95B(2)(a)	Are there any affected protected customary rights groups?	No
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?	No
S95B(3)(a)	Is the proposed activity on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?	No
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?	No
<u>Step 2</u>	<u>if not required by step 1, limited notification precluded in certain circumstances</u>	
S95B(6)(a)	the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:	No
S95B(6)(b)	the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land)	No

8.2 Affected Person Determination

As the proposed activity does not trigger mandatory limited notification, nor is it precluded, an assessment of potential affected persons must be undertaken.

The consent authority has discretion to determine whether a person is an affected person. A person is affected if an activity's adverse effects are minor or more than minor to them.

The potential effects of the proposal on adjacent landowners has been undertaken below in context of those parties outlined earlier in Section 7.

8.3 Effects on Persons Assessment

The proposal is not considered to result in any potential affected persons for the following reasons:

- The studio does not generate traffic effects above what is permitted.
- The studio can be appropriately serviced with water, wastewater and stormwater.
- The studio to neighbours would generate effects that are no different to another room being used in the overall structure. Neighbours can't easily tell that it is a separate dwelling being used independently from the main house. With the external changes proposed to the overall dwelling, it will be difficult to tell that there is a separate 'dwelling' within the overall building.
- The house / site has no known effects to cultural or spiritual resources or values.

Accordingly, the effects to persons are less than minor.

9. STATUTORY CONTEXT

9.1 National Policy Statements and Plans

In terms of NPS' and NES' the following is provided:

- With respect to the National Environmental Standard – Soil Contamination, the site is not HAIL.

- The site is Coastal as per the Regional Policy Statement and therefore the New Zealand Coastal Policy Statement is relevant. Whilst the NZCPS is relevant, there is nothing proposed within the studio that offends any objective or policy of the NZCPS. This is particularly true when the activity corresponds to the zone and results in no related visual infringements of the district plan.
- The site is within an urban area and is considered to be contributing to the outcomes outlined in the NPS – Urban Development.
- The site has no wetlands attributed to it as defined in various planning documents. The NPS for Freshwater Management is not considered relevant.
- The site is zoned Residential and therefore the NPS Highly Productive Land does not apply.

9.2 Regional Policy Statement for Northland

The role of the RPS is to promote sustainable management of Northland's natural and physical resources by providing an overview of the regions resource management issues and setting out policies and methods to achieve integrated management of Northlands natural and physical resources.

While the subject site is located within the coastal environment, as identified in the RPS, the proposal is located entirely within an existing structure which is commensurate with the residential / coastal character in which it is located.

There are no offending aspects of the proposal in terms of the RPS.

9.3 Far North District Plan Assessment

An assessment of the relevant objectives and policies associated with the ODP has been undertaken for the Residential zone:

Table 9 – ODP Residential Zone Assessment

Objectives	Assessment
7.6.3.1 To achieve the development of new residential areas at similar densities to those prevailing at present.	The studio is internalised so perception of increased density in the area is not increased.
7.6.3.2 To enable development of a wide range of activities within residential areas where the effects are compatible with the effects of residential activity	The proposal meets this objective as the studio is compatible with residential activity.
7.6.3.3 To protect the special amenity values of residential sites on the urban fringe, specifically Lot 1 DP 28017, Lot 1 DP 46656, Lot 1 DP 404507, Lot 1 DP 181291, Lot 2 DP 103531, Lot 1 DP 103531, Lot 2 DP 58333, Pt Lot 1 DP 58333 (and any sites created as a result of a subdivision of these lots), and those having frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive.	Not relevant.
Policies	Assessment
7.6.4.1 That the Residential Zone be applied to those parts of the District that are currently predominantly residential in form and character.	Noted
7.6.4.2 That the Residential Zone be applied to areas which are currently residential but where there is scope for new residential development	Noted
7.6.4.3 That the Residential Zone be applied to areas where expansion would be sustainable in terms of	Noted

its effects on the environment	
7.6.4.4 That the Residential Zone provide for a range of housing types and forms of accommodation.	Noted. The studio forms part of a wide range of housing.
7.6.4.5 That non-residential activities only be allowed to establish within residential areas where they will not detract from the existing residential environment	Non-residential activities are not proposed.
7.6.4.6 That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.	It is hard to conclude that the effects are commensurate or larger than a single dwelling when in reality the studio is simply a room within the larger dwelling that can be used independently.

9.4 Proposed Far North District Plan

Section 88A(2) provides that “any plan or proposed plan which exists when the application is considered must be had regard to in accordance with section 104(1)(b).” This requires applications to be assessed under both the operative and proposed objective and policy frameworks from the date of notification of the proposed district plan.

In the event of differing directives between objective and policy frameworks, it is well established by case law that the weight to be given to a proposed district plan depends on what stage the relevant provisions have reached, the weight generally being greater as a proposed plan moves through the notification and hearing process. In *Keystone Ridge Ltd v Auckland City Council*, the High Court held that the extent to which the provisions of a proposed plan are relevant should be considered on a case by case basis and might include:

- The extent (if any) to which the proposed measure might have been exposed to testing and independent decision making;
- Circumstances of injustice; and

- The extent to which a new measure, or the absence of one, might implement a coherent pattern of objectives and policies in a plan.

In my view the PDP has not gone through the sufficient process to allow a considered view of the relevant objectives and policies. However, for fullness the Subdivision and General Residential objectives and policies have been assessed below.

Table 10 – PDP General Residential Zone Assessment

Objective	Assessment
GRZ-O1 The General Residential zone provides a variety of densities, housing types and lot sizes that respond to: <ul style="list-style-type: none"> a. housing needs and demand; b. the adequacy and capacity of available or programmed development infrastructure; c. the amenity and character of the receiving residential environment; and d. historic heritage. 	Noted.
GRZ-O2 The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the function and resilience of the receiving residential environment while reducing urban sprawl.	Noted.
GRZ-O3 Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone	Noted.
GRZ-O4 Land use and subdivision in the General Residential zone is	There are adequate services provided to the site.

supported where there is adequacy and capacity of available or programmed development infrastructure.	
GRZ-O5 Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments	The proposed land use adds to a functional living environment.
GRZ-O6 Residential communities are resilient to changes in climate and are responsive to changes in sustainable development techniques.	Noted.
Policy	Assessment
<p>GRZ-P1 Enable land use and subdivision in the General Residential zone where:</p> <ul style="list-style-type: none"> a. there is adequacy and capacity of available or programmed development infrastructure to support it; and b. it is consistent with the scale, character and amenity anticipated in the residential environment 	Services are available to the site.
<p>GRZ-P2 Require all subdivision in the General Residential zone to provide the following reticulated services to the boundary of each lot:</p> <ul style="list-style-type: none"> a. telecommunications: <ul style="list-style-type: none"> i. fibre where it is available; or ii. copper where fibre is not available; b. local electricity distribution network; 	No subdivision proposed.

<p>c. wastewater; and potable water and stormwater where it is available.</p>	
<p>GRZ-P3 Enable multi-unit developments within the General Residential zone, including terraced housing and apartments, where there is adequacy and capacity of available or programmed development infrastructure.</p>	<p>The proposal is not for multi unit development but is within the intent of the rule to enable residential density.</p>
<p>GRZ-P4 Enable non-residential activities that:</p> <ul style="list-style-type: none"> a. do not detract from the vitality and viability of the Mixed Use zone; b. support the social and economic well-being of the community; c. are of a residential scale; and <p>are consistent with the scale, character and amenity of the General Residential zone.</p>	<p>Not applicable.</p>
<p>GRZ-P5 Provide for retirement villages where they:</p> <ul style="list-style-type: none"> a. compliment the character and amenity values of the surrounding area; b. contribute to the diverse needs of the community; c. do not adversely affect road safety or the efficiency of the transport network; and d. can be serviced by adequate development infrastructure. 	<p>Not applicable.</p>

GRZ-P6 Encourage and support the use of on-site water storage to enable sustainable and efficient use of water resources	Noted.
GRZ-P7 Encourage energy efficient design and the use of small-scale renewable electricity generation in the construction of residential development.	Noted.
<p>GRZ-P8 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> a. consistency with the scale, design, amenity and character of the residential environment; b. the location, scale and design of buildings or structures, potential for shadowing and visual dominance; c. for residential activities: <ul style="list-style-type: none"> i. provision for outdoor living space; ii. privacy for adjoining sites; iii. access to sunlight; d. for non-residential activities: <ul style="list-style-type: none"> i. scale and compatibility with residential activities ii. hours of operation e. at zone interfaces, any setbacks, fencing, screening or 	The proposal contains many of the facets sought by the proposal and is commensurate with the surrounds.

<p>landscaping required to address potential conflicts;</p> <p>f. the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity, including:</p> <ul style="list-style-type: none"> i. opportunities for low impact design principles ii. ability of the site to address stormwater and soakage; <p>g. managing natural hazards; and</p> <p>h. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6</p>	
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Overall, and considering the above, the proposal is considered to be consistent with the objectives and policies of all relevant statutory documents. In the context of the PDP, it is considered that the appropriate weighting to give the objectives and policies is nil as they have yet to go through sufficient public scrutiny to determine the application at hand.

10 PART 2 ASSESSMENT

10.1 Section 5 – Purpose of The Act

Section 5 in Part 2 of the Act identifies the purpose as being the sustainable management of natural and physical resources. This means managing the use of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being which sustain those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding remedying or mitigating adverse effects on the environment.

It is considered that proposal represents a sustainable use of existing resources that allow people and the community to provide for its social and economic wellbeing in a manner that mitigates adverse effects on the environment.

10.2 Section 6 – Matters of National Importance

In achieving the purpose of the Act, a range of matters are required to be recognised and provided for. This includes:

- a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:
- b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:
- c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:

- d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:
- e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:
- f) the protection of historic heritage from inappropriate subdivision, use, and development:
- g) the protection of protected customary rights:
- h) the management of significant risks from natural hazards.

In context, the relevant items to the proposal and have been recognised and provided for in the design of the development.

10.3 Section 7 – Other Matters

In achieving the purpose of the RMA, a range of matters are to be given particular regard. This includes:

- (a) kaitiakitanga:
 - (aa) the ethic of stewardship:
 - (b) the efficient use and development of natural and physical resources:
 - (ba) the efficiency of the end use of energy:
 - (c) the maintenance and enhancement of amenity values:

(d) intrinsic values of ecosystems:

(e) [Repealed]

(f) maintenance and enhancement of the quality of the environment:

(g) any finite characteristics of natural and physical resources:

(h) the protection of the habitat of trout and salmon:

(i) the effects of climate change:

(j) the benefits to be derived from the use and development of renewable energy.

These matters have been given particular regard through the design of the proposal.

10.4 Section 8 – Treaty of Waitangi

The Far North District Council is required to take into account the principles of the Treaty of Waitangi when processing this consent. This consent application may be sent to local iwi and hapū who may have an interest in this application.

10.5 Section 8 – Part 2 Conclusion

Given the above, it is considered that the proposal meets the purpose of the RMA.

11. CONCLUSION

Discretionary Activity resource consent is sought from the Far North District Council to carry out the proposed development.

The proposal is not precluded from public notification and is considered to have less than minor effects on the wider environment. Through assessment, there are considered to be no affected persons.

The proposal is consistent with the objectives and policies of the Far North District Plan, the Regional Policy Statement for Northland, and achieves the purpose of the RMA.

Given the assessment carried out in this report, it is considered that this proposal can be determined non-notified under the RMA. We would appreciate a review of draft conditions when available.

Regards,



Steven Sanson
Consultant Planner



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R.W. Muir
Registrar-General
of Land

Identifier **NA77D/946**
Land Registration District **North Auckland**
Date Issued 23 May 1991

Estate Fee Simple
Area 1012 square metres more or less
Legal Description Section 30 Block V Mangonui Survey
District

Registered Owners

Andrew Charles Hay and Joanne Mary Hay

Interests

Subject to Section 27B State-Owned Enterprises Act 1986 (which provides for the resumption of land on the recommendation of the Waitangi Tribunal and which does not provide for third parties, such as the owner of the land, to be heard in relation to the making of any such recommendation)

Subject to Section 3 Petroleum Act 1937

Subject to Section 8 Atomic Energy Act 1945

Subject to Section 3 Geothermal Energy Act 1953

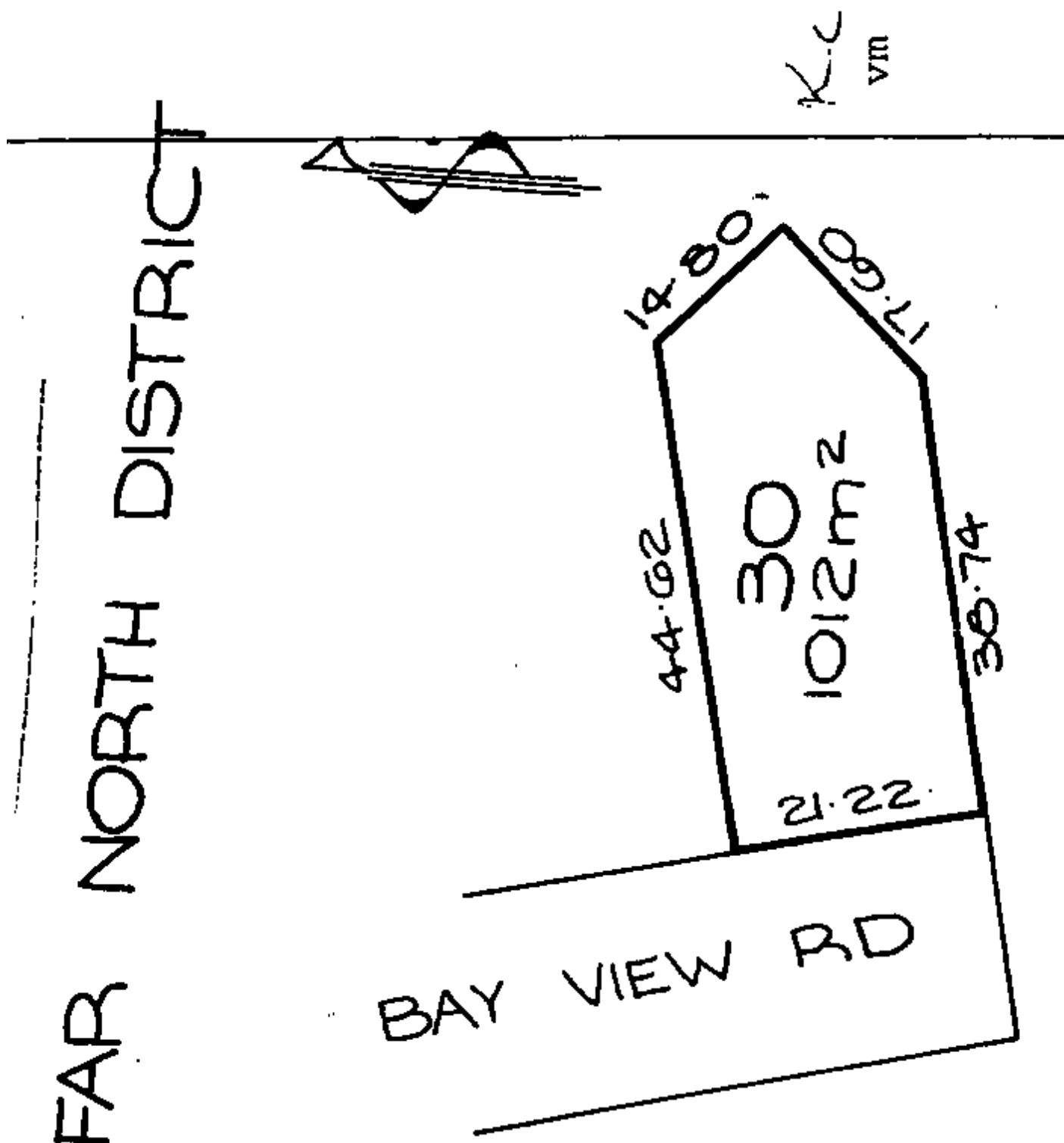
Subject to Sections 6 and 8 Mining Act 1971

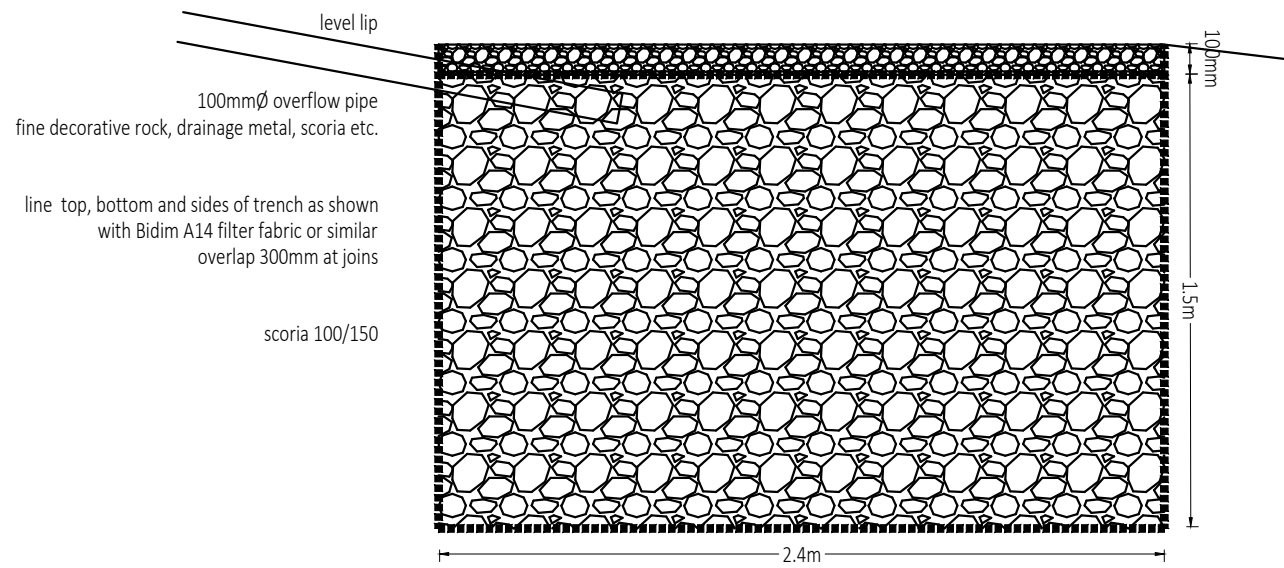
Subject to Section 5 Coal Mines Act 1979

Subject to Section 261 Coal Mines Act 1979

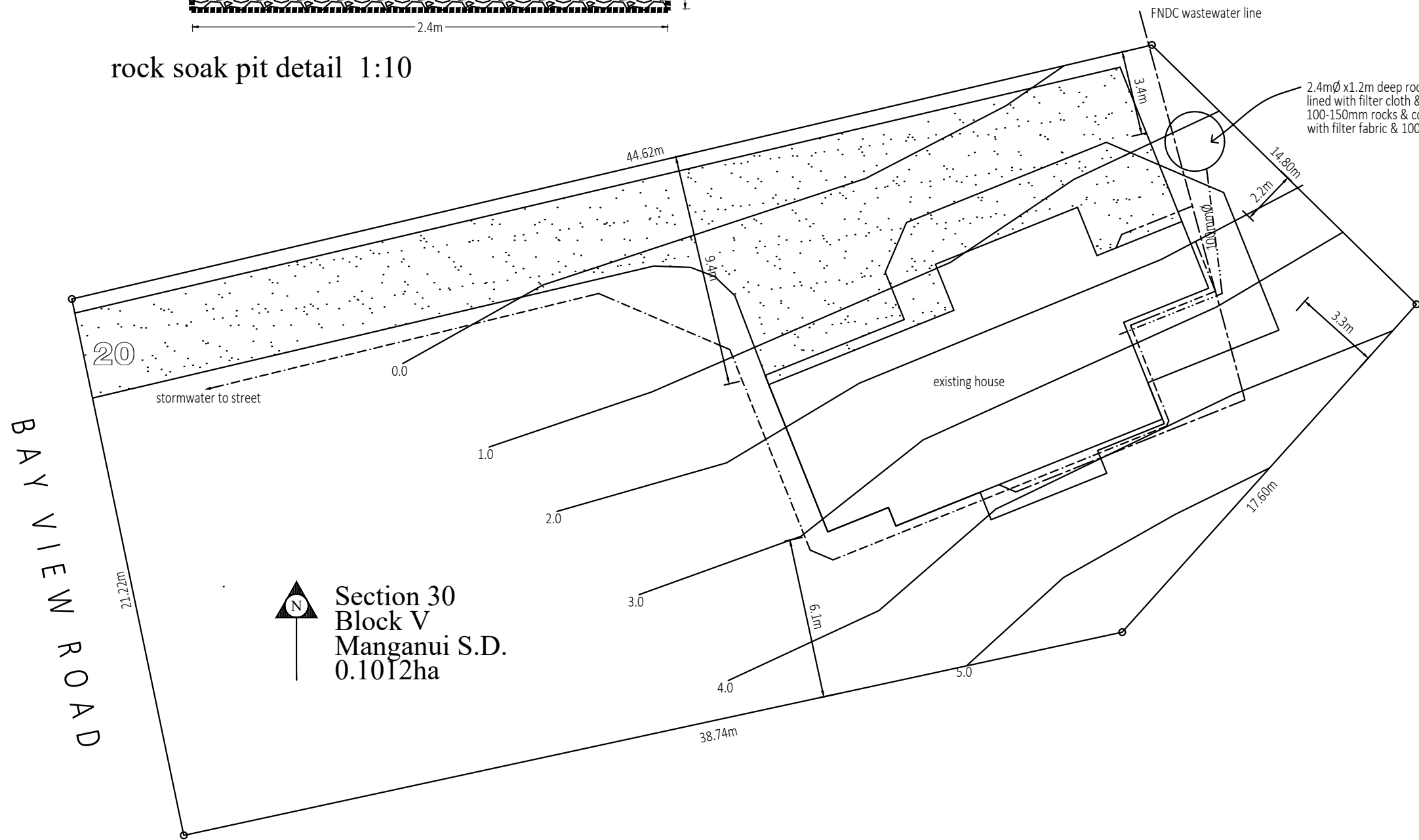
Subject to Part IV A Conservation Act 1987

Subject to Section 11 Crown Minerals Act 1991





rock soak pit detail 1:10



Notes:

floor area:	
existing basement GFA	123m ²
existing mid-floor GFA	126.89m ²
existing top-floor GFA	39.92m ²
Total GFA	289.81m ²

district plan zone:
site is in the 'Residential' zone

wind zone:
building site wind zone is 'High'

exposure zone:
building site exposure zone is 'D'

ground:
the soil supporting the footings is assumed to be good ground as per NZS 3604:2011 3.1.3 (a) - (d) and (f)

topography:
building site contour is sloping

excavation:
maximum depth: <1.5m
maximum volume: <6m³

plumbing & drainage:
all plumbing & drainage work is to fully comply with NZBC G13/AS1 & all local body regulations

wastewater:
wastewater disposal is by FNDC wastewater system

stormwater:
stormwater is collected in an underground tank
overflow is piped to rock soak pit
retaining wall drainage is disposed to road side

building coverage:	
area of site	1,012m ²
existing house footprint	126.89m ²
total building coverage	126.89m ²

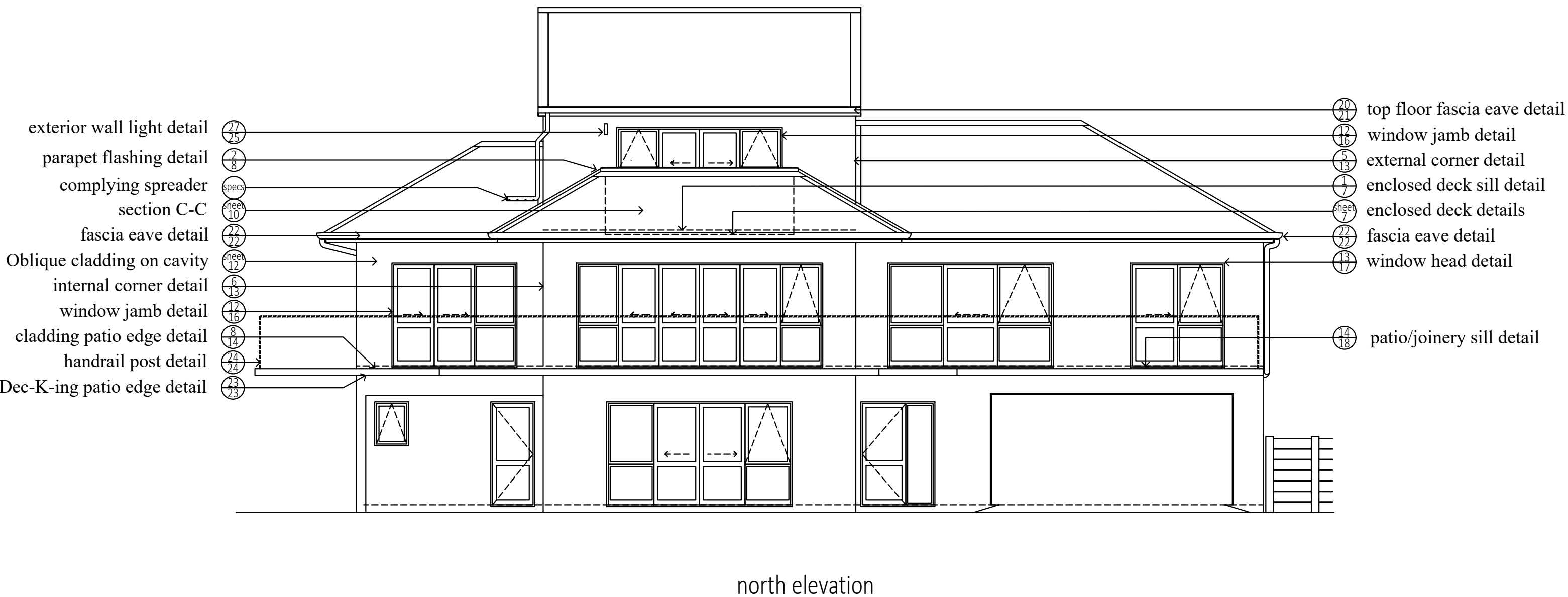
12.5% of site has building coverage
45% building coverage is permitted

site coverage:	
area of site	1,012m ²
existing house roof area	163.25m ²
driveway & paths	220m ²
total impermeable surfaces	383.25m ²

37.8% of site has impermeable surfaces
50% impermeable surfaces is permitted

site plan 1:200

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



north elevation 1:75

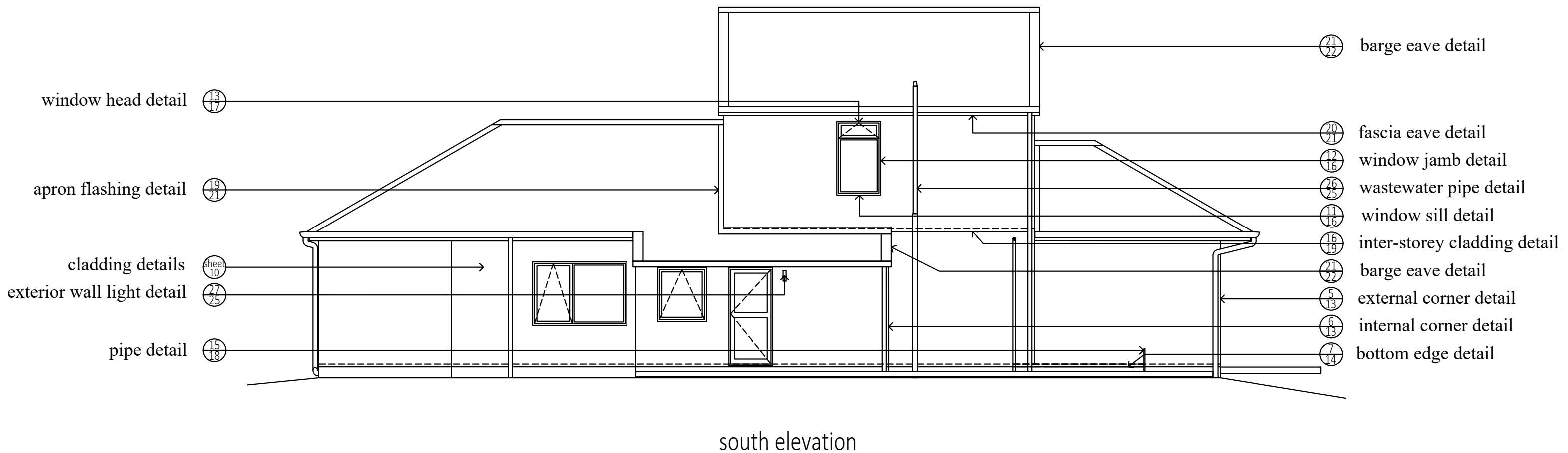
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS....ASK!

DATE 08/05/2025

SHEET 2a



Notes:

remove all existing on grade concrete paths, etc.
which have been poured up against house
all new on grade concrete paths, etc. are to be
150mm lower than FFL

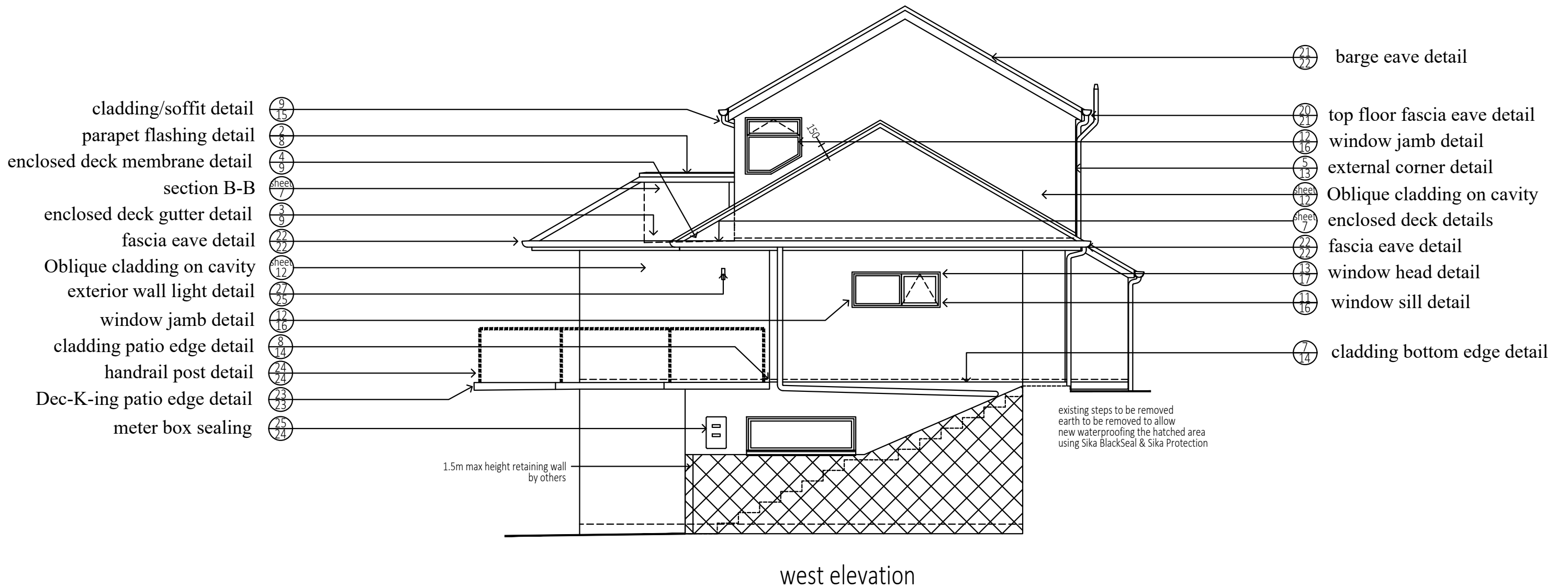
south elevation 1:75
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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SHEET 2b



west elevation 1:75

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



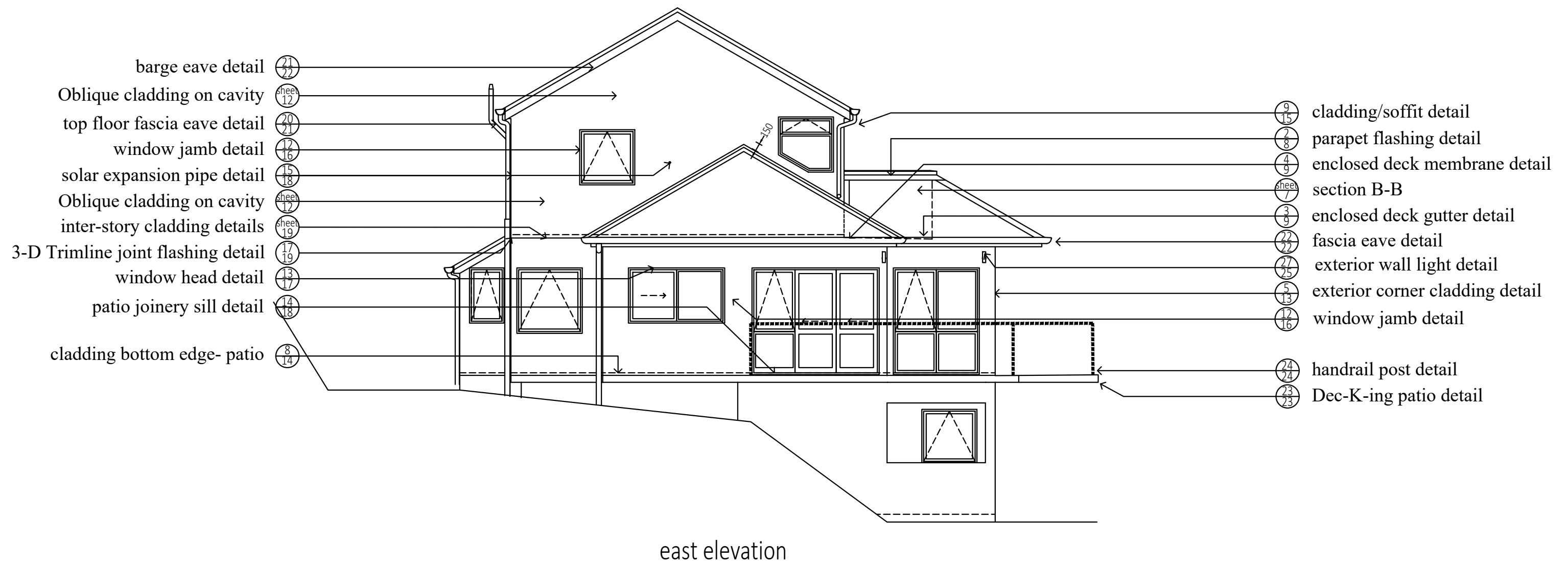
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east elevation 1:75

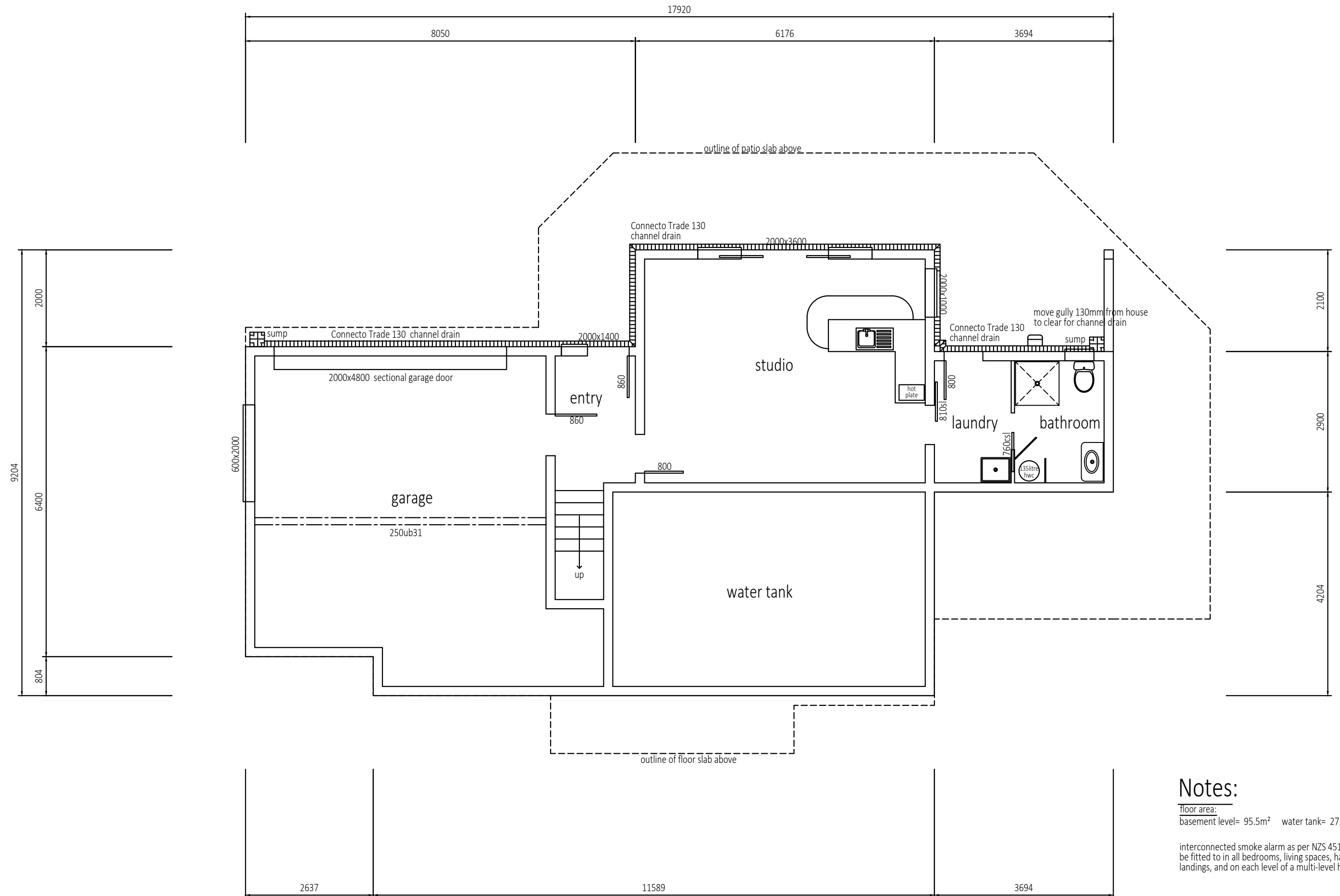
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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SHEET 2d



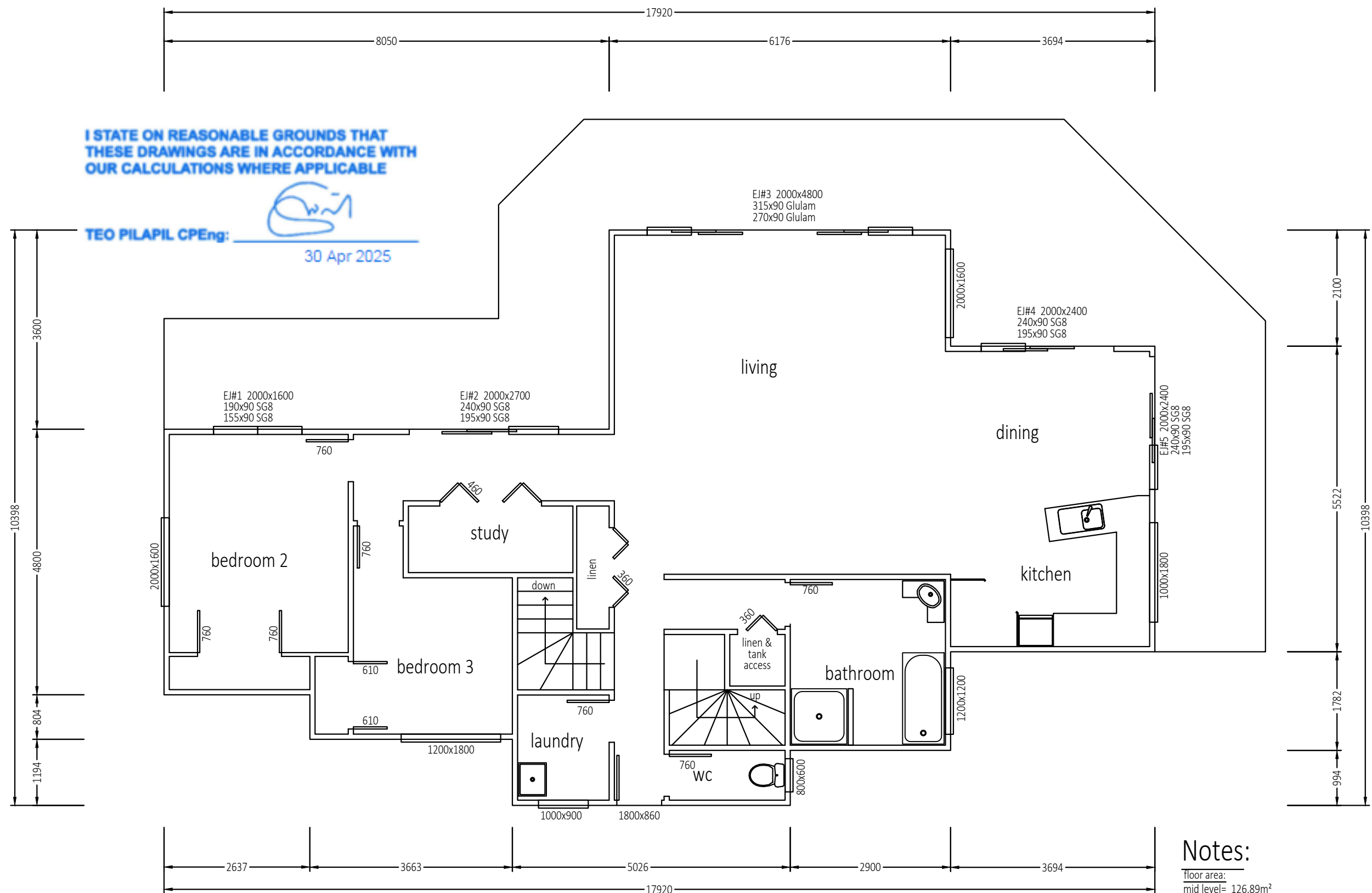
Proposed floor plan 1:75
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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Proposed mid-floor plan 1:75

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay

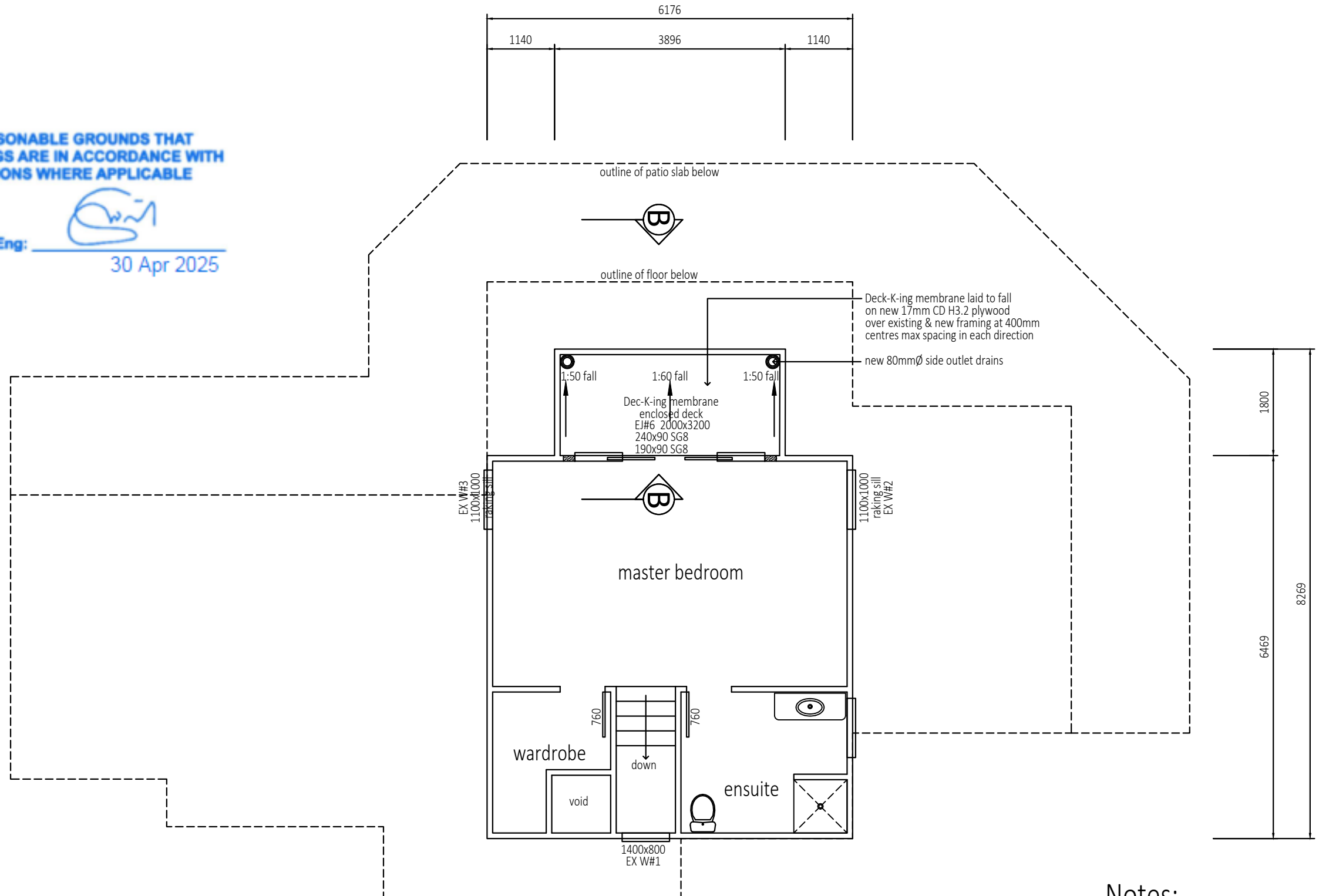


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DATE: 08/05/2025
 SHEET: 3b



30 Apr 2025




Notes:

floor area:
top level= 39.92m²

interconnected smoke alarm as per NZS 4514:2021 must be fitted to in all bedrooms, living spaces, hallways and landings, and on each level of a multi-level home

joinery unit number & size	EJ5 2000x1600
original lintel	240x90 SG8
Proposed lintel	195x90 SG8

Builder to that check original intel dimensions are as per this plan ..
If smaller contact Paul at cadplanz 0274505471 info@cadplanz.co.nz

 denotes 90x45 SG8 H1.2 framing
with studs at 600mm max centres

Proposed top floor plan 1:75
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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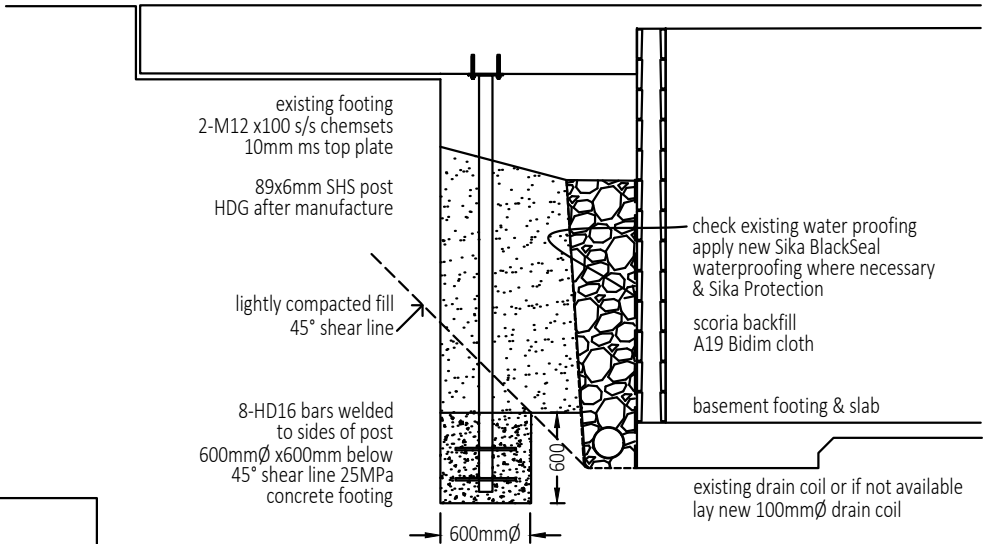
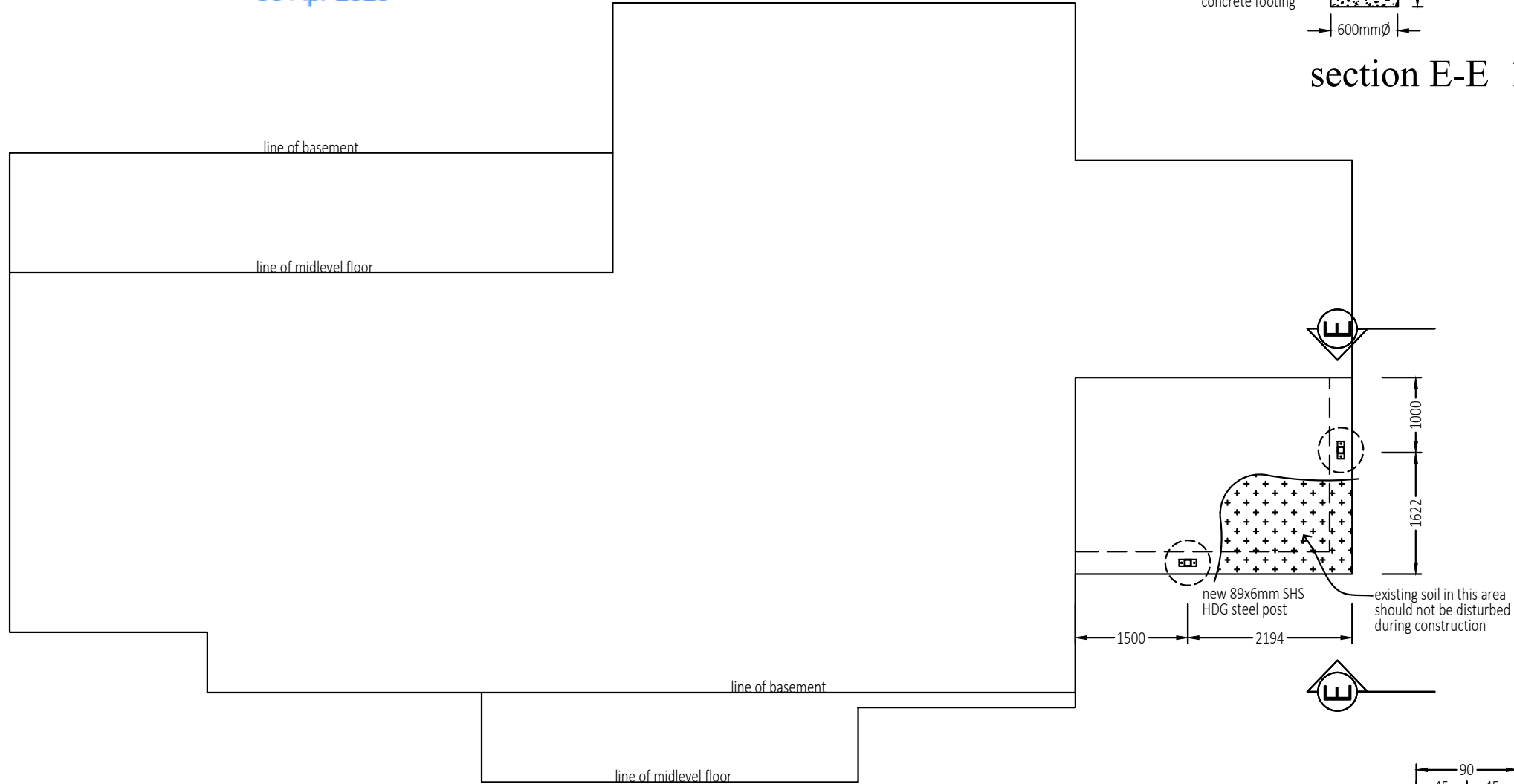
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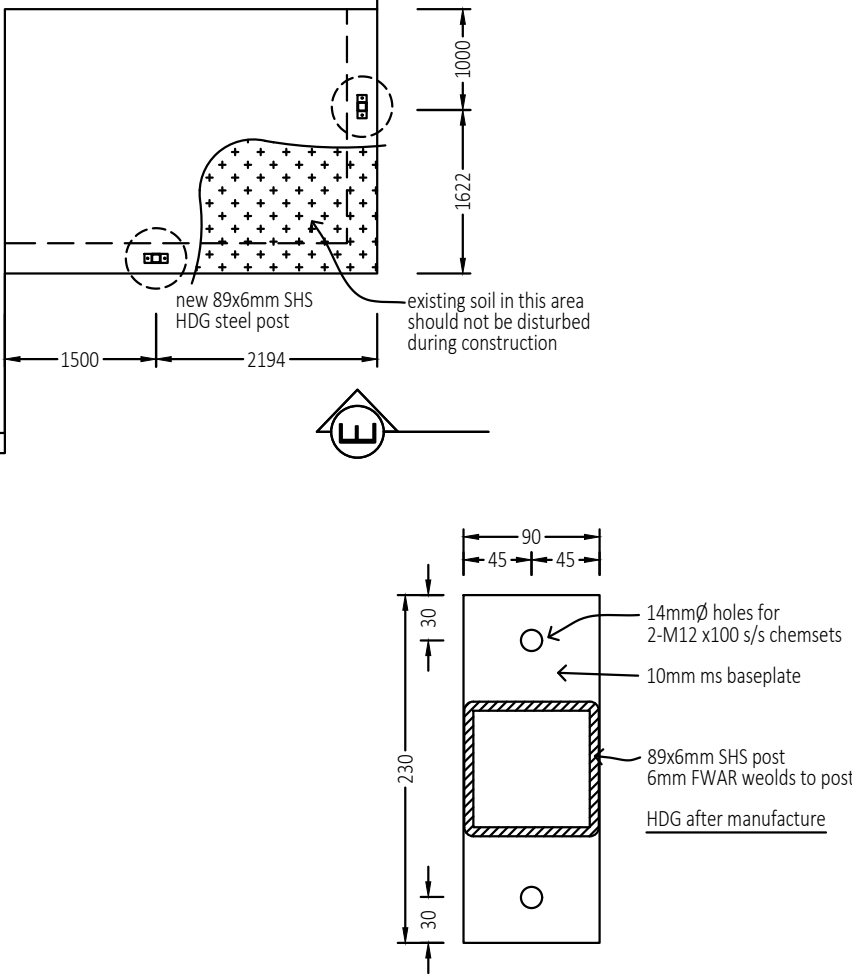
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THESE DRAWINGS ARE IN ACCORDANCE WITH
OUR CALCULATIONS WHERE APPLICABLE

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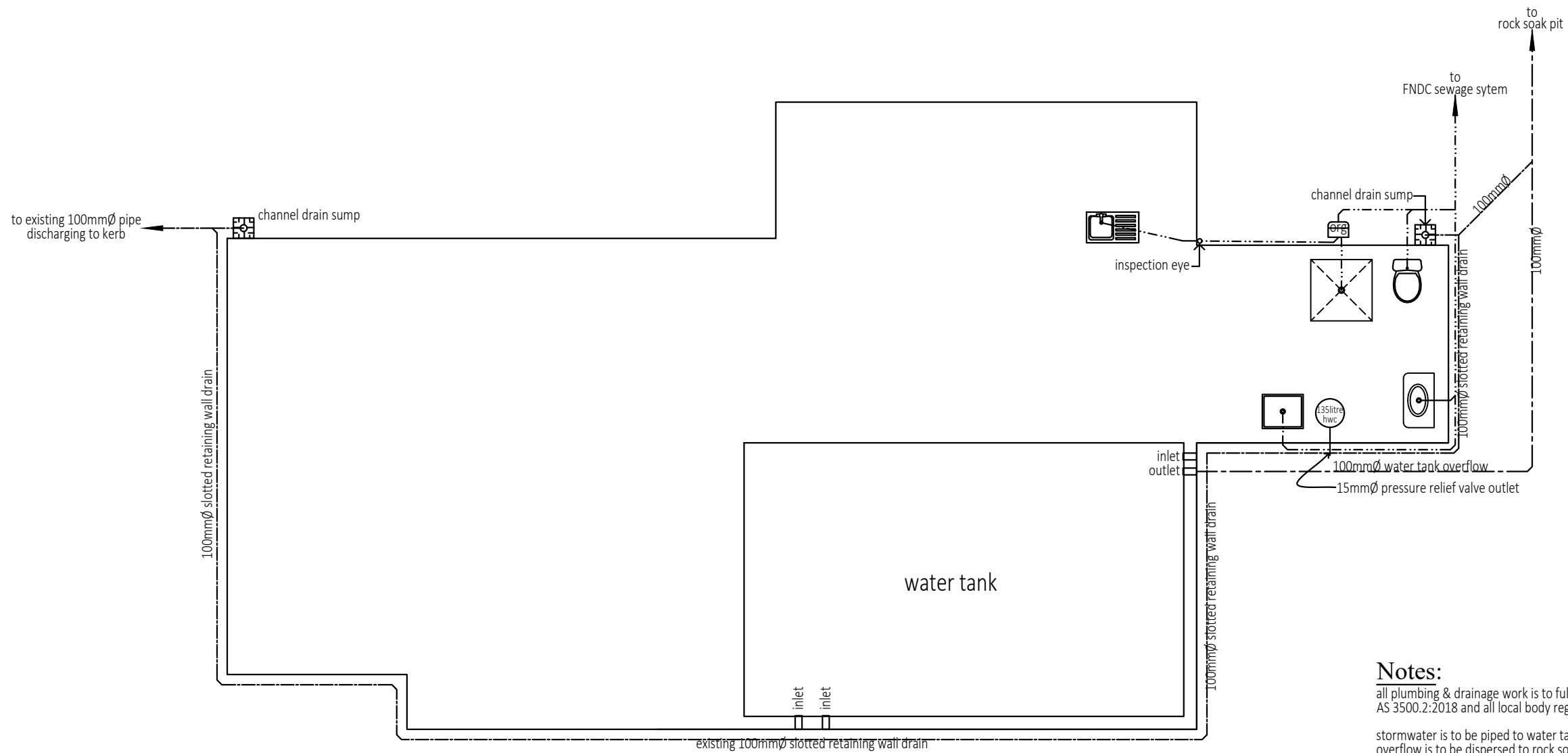


section E-E 1:50



top plate detail 1:5

Proposed subfloor plan 1:75 & details 1:50 & 1:5
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



Notes:

all plumbing & drainage work is to fully comply with AS 3500.2:2018 and all local body regulations

stormwater is to be piped to water tanks
overflow is to be dispersed to rock soak pit
effluent disposal is by FNDc wastewater system

1:40 min gradient for 100mmØ pipe
1:60 min gradient for 65mmØ & 40mmØ pipe

basement plumbing layout 1:75

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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DATE 08/05/2025
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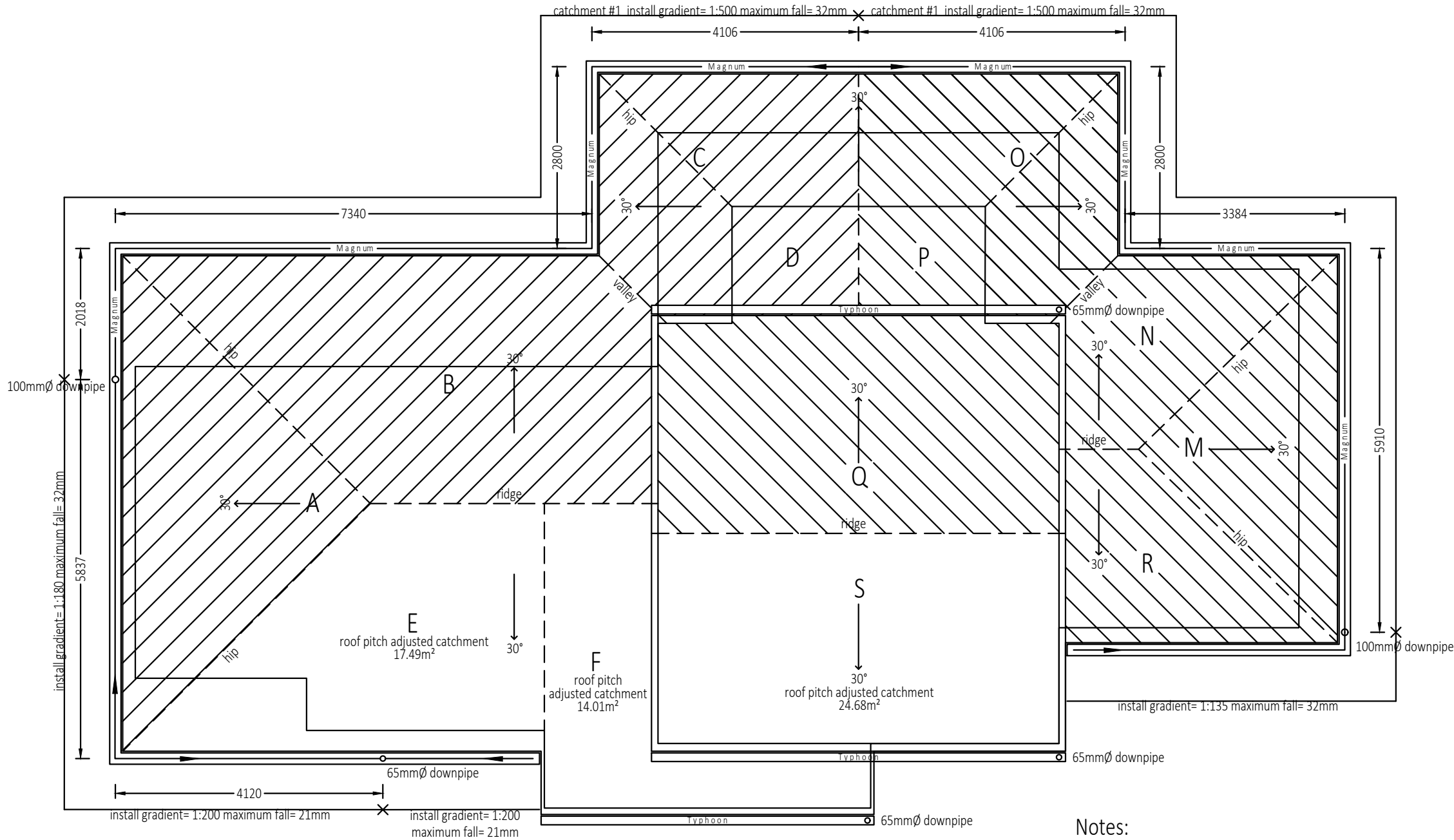
rainwater disposal plan 1:75

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay

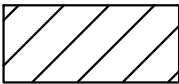
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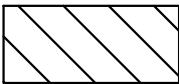
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Notes:

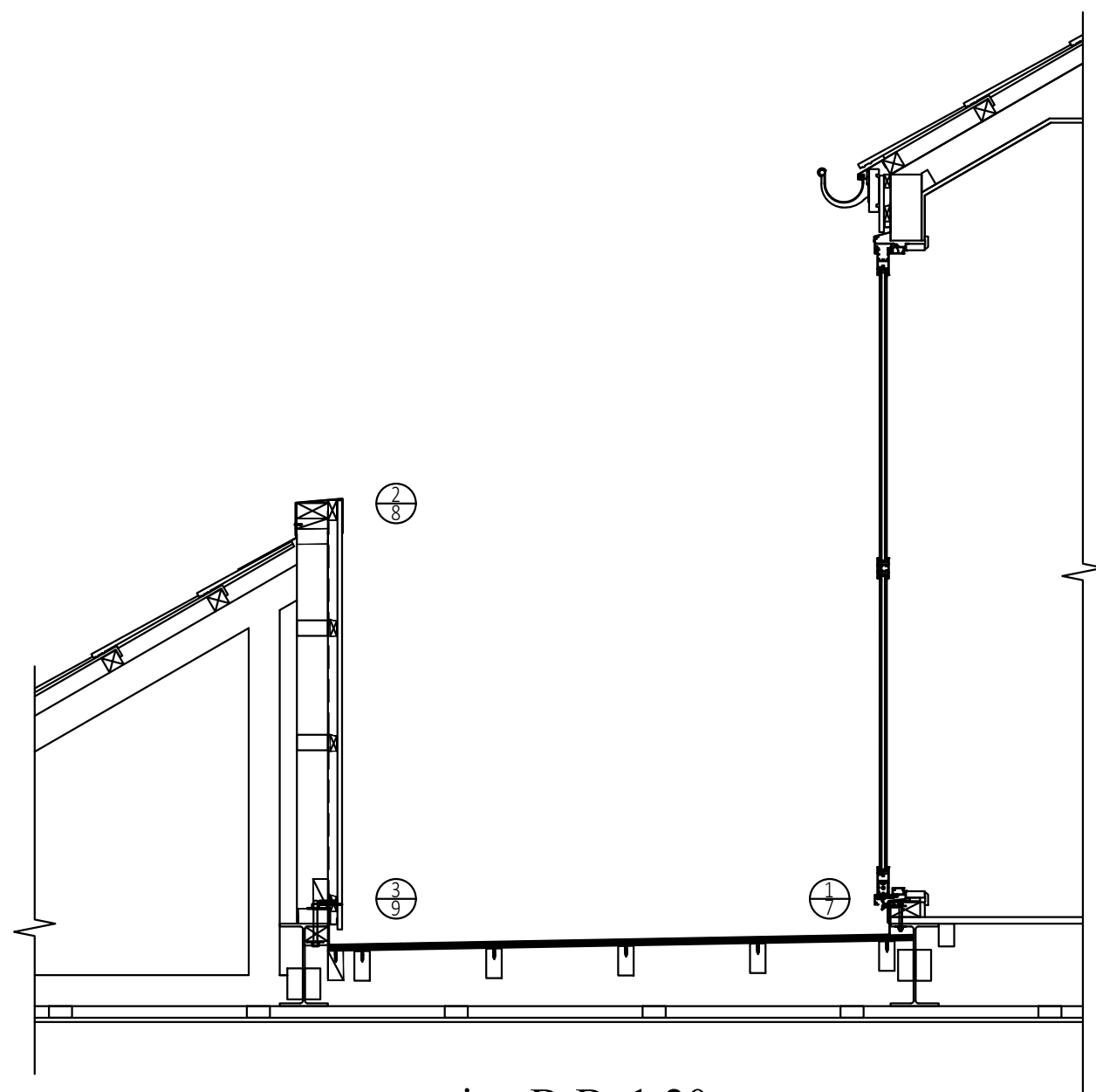


denotes catchment #1
A= 14.55m² B= 23.77m² C= 11.36m² D= 3.51m²= 40.49m²
53.23/cos30°= total roof catchment= 61.46m²
N wall area= 3.96m² balustrade wall= 4.8m² =total wall catchment= 8.76m²
Total catchment= 70.22m² x2.08 (flow load factor for 125mm/hr)= 146.05l/minute

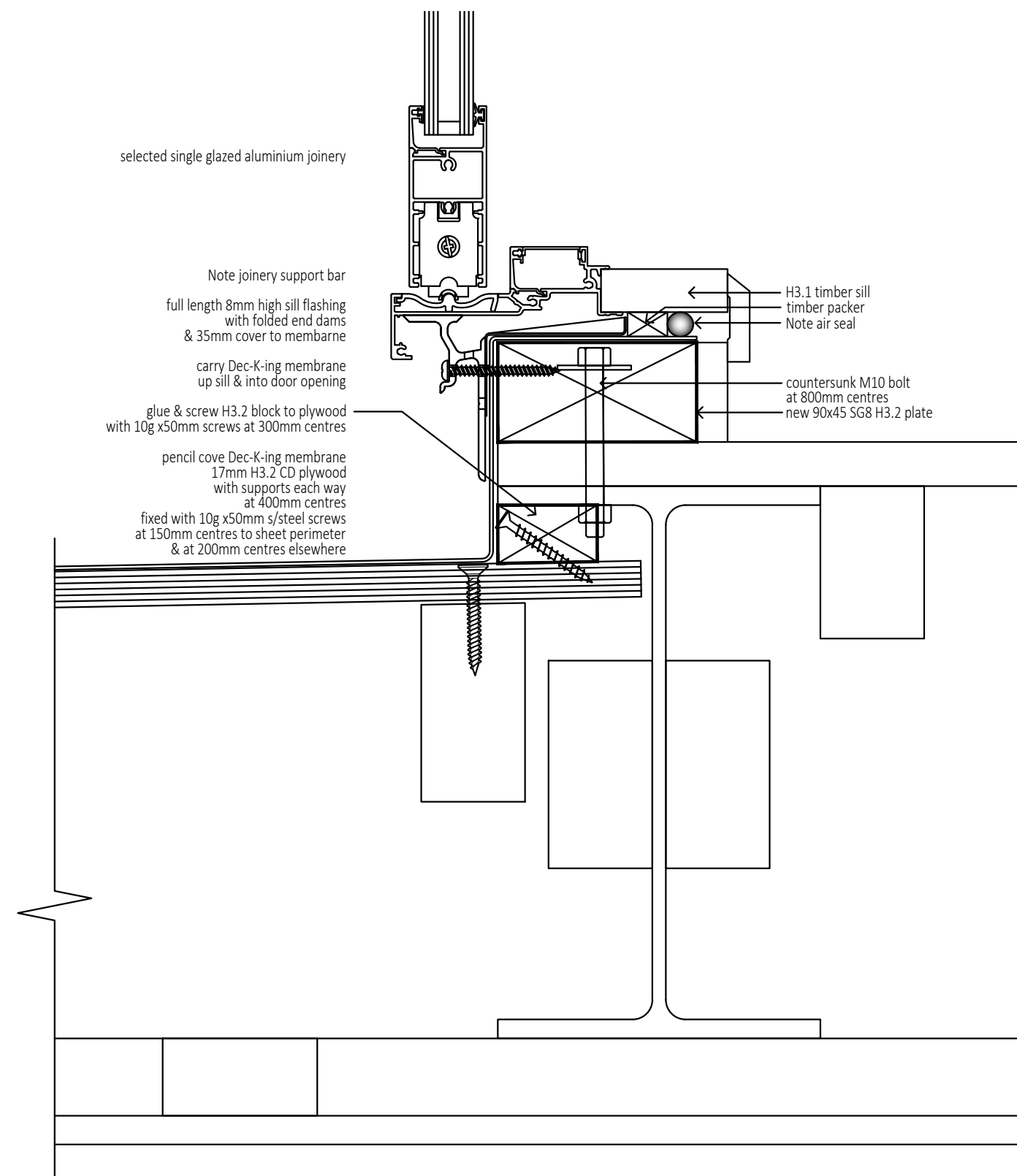


denotes catchment #2
M= 9.12m² N= 7.81m² O= 11.36m² P= 3.51m² Q= 21.38m² R= 9.48m² = 62.66m²
62.66/cos30°= total roof catchment 72.35m²
N wall area= 3.96m² balustrade= 4.8m² =total wall catchment= 8.76m²
Total catchment= 81.11m² x2.08 (flow load factor for 125mm/hr)= 168.70l/minute

Magnum gutter flow rate= 250l/min
Typhoon gutter flow rate= 87l/min



section B-B 1:20



⊕ enclosed deck door sill detail 1:2.5

section B-B 1:20 & details 1:2.5
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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SHEET 7

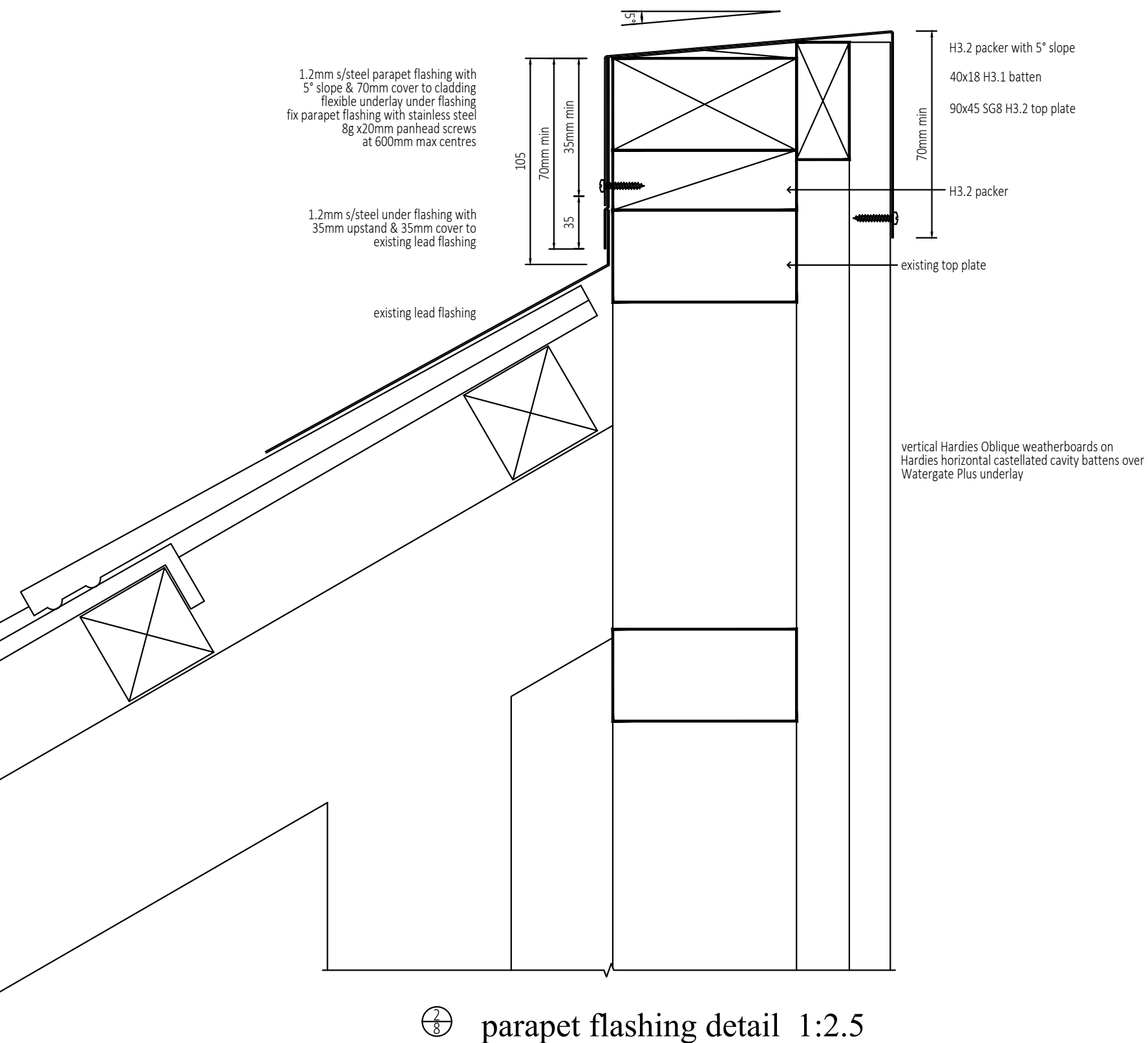
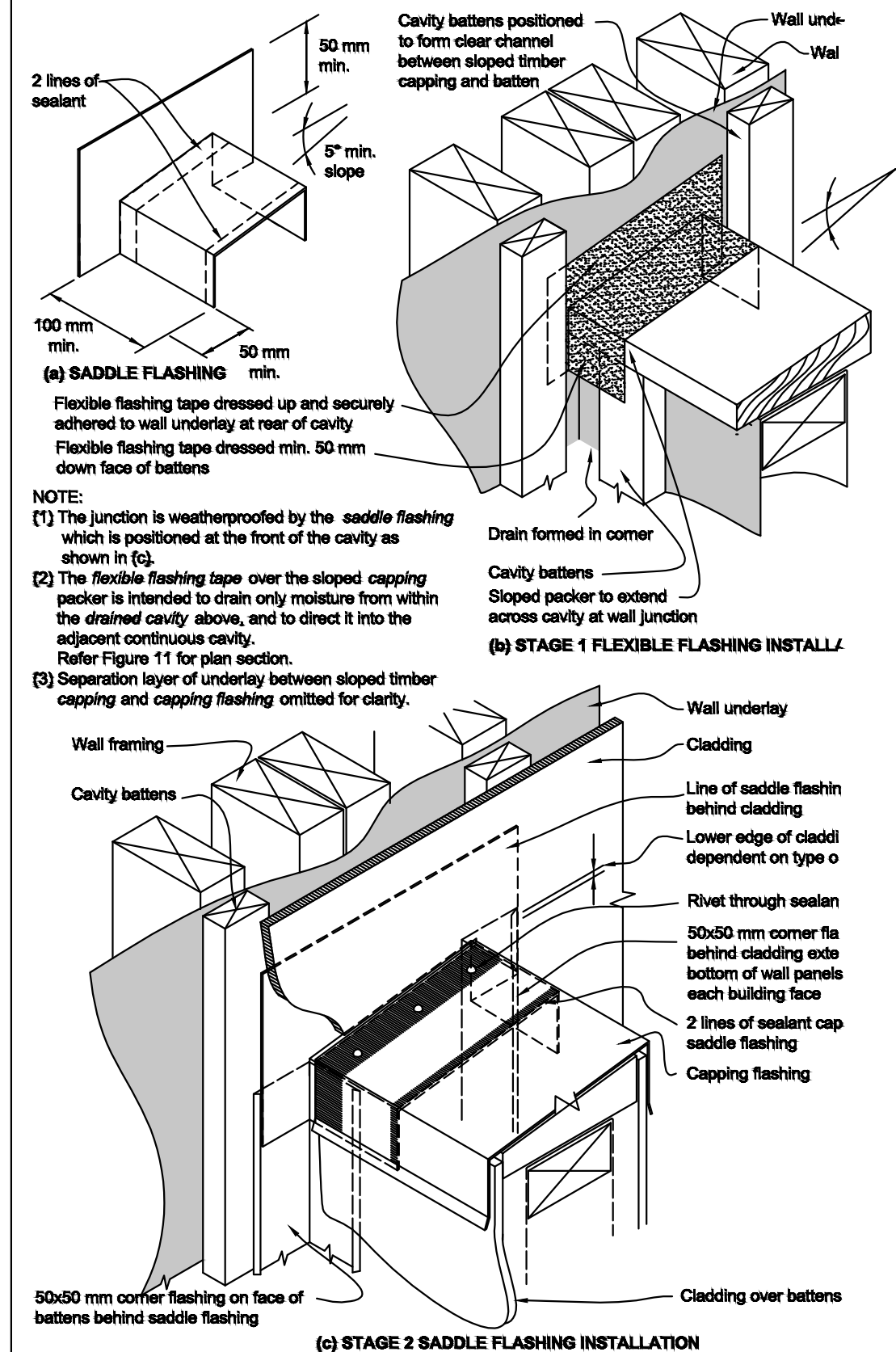
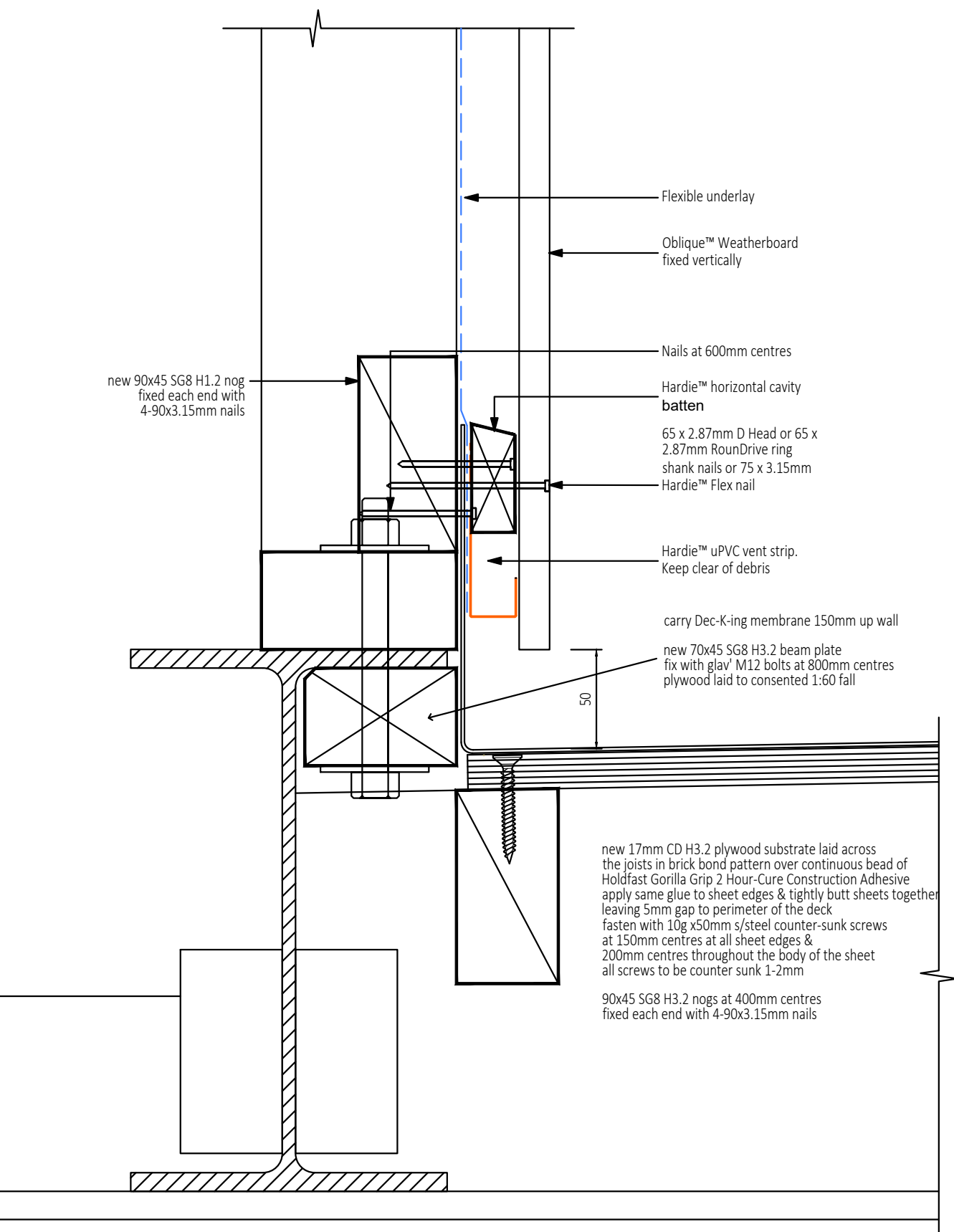


Figure 12: General junction of parapet and enclosed balustrade to wall
Paragraphs 6.4.1, 7.4.2, and 9.9.10.2, Figures 10, 11, 117, 129 and 130

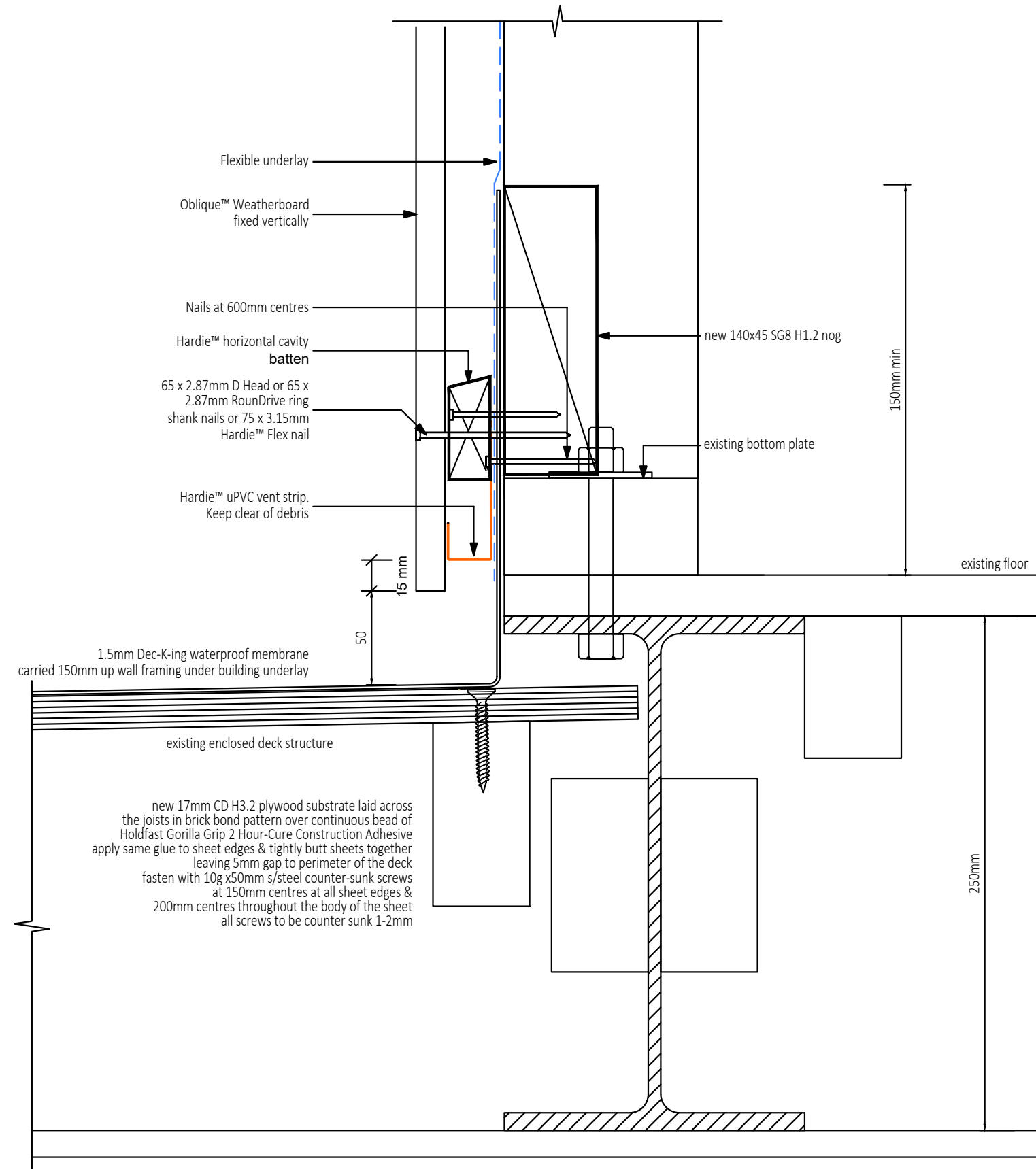


parapet detail

cladding details #1 1:2.5
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



③ enclosed deck gutter detail 1:2.5



④ enclosed deck membrane detail 1:2.5

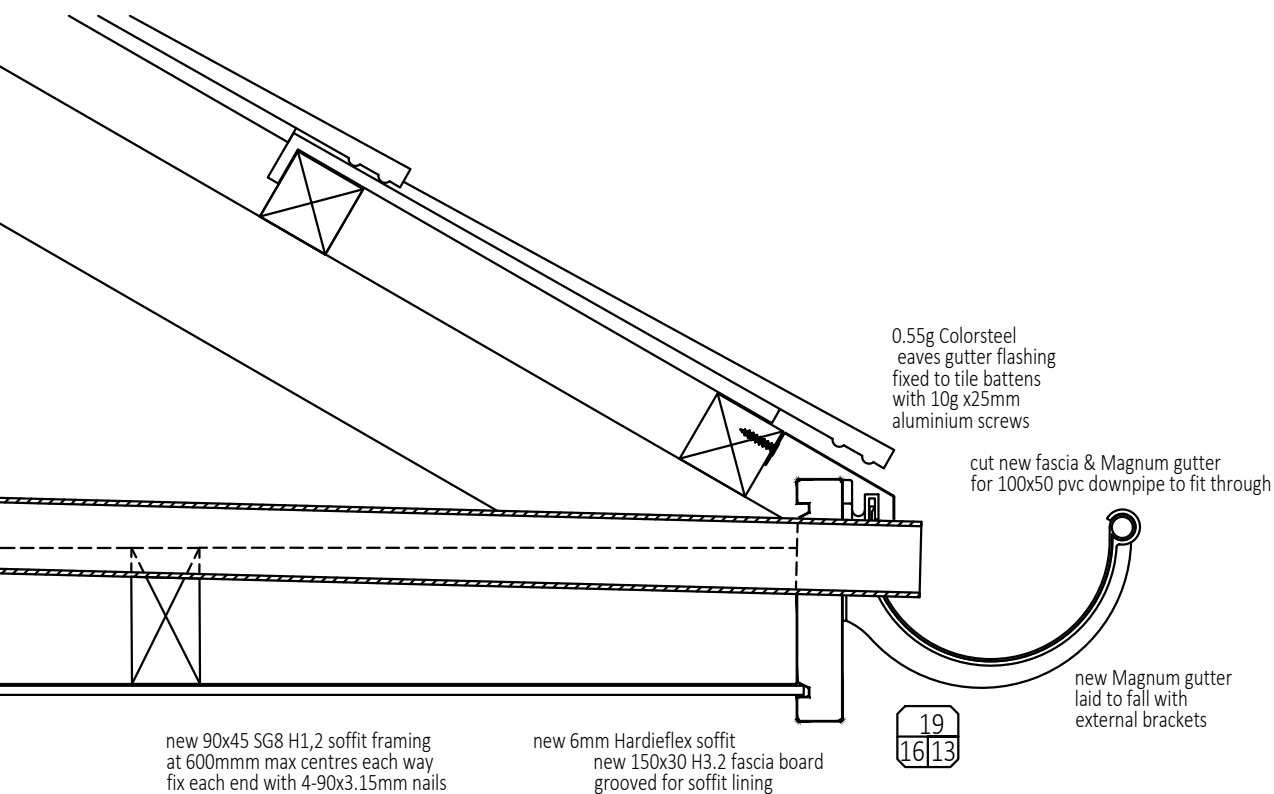
cladding details #2 1:2.5

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay

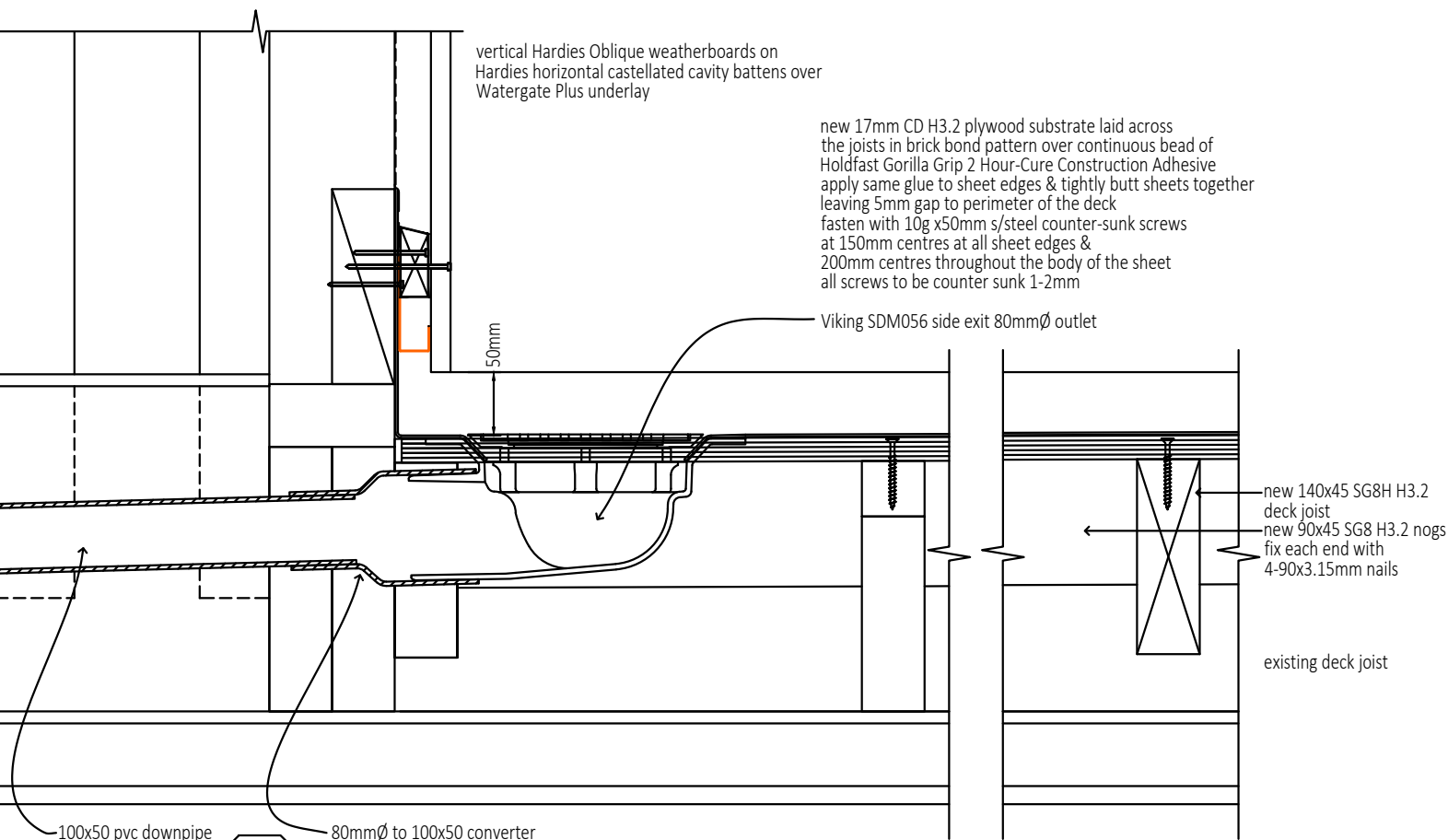


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SHEET 9



1
10/10 enclosed deck drain detail 1:5



2
10/10 deck detail 1:5

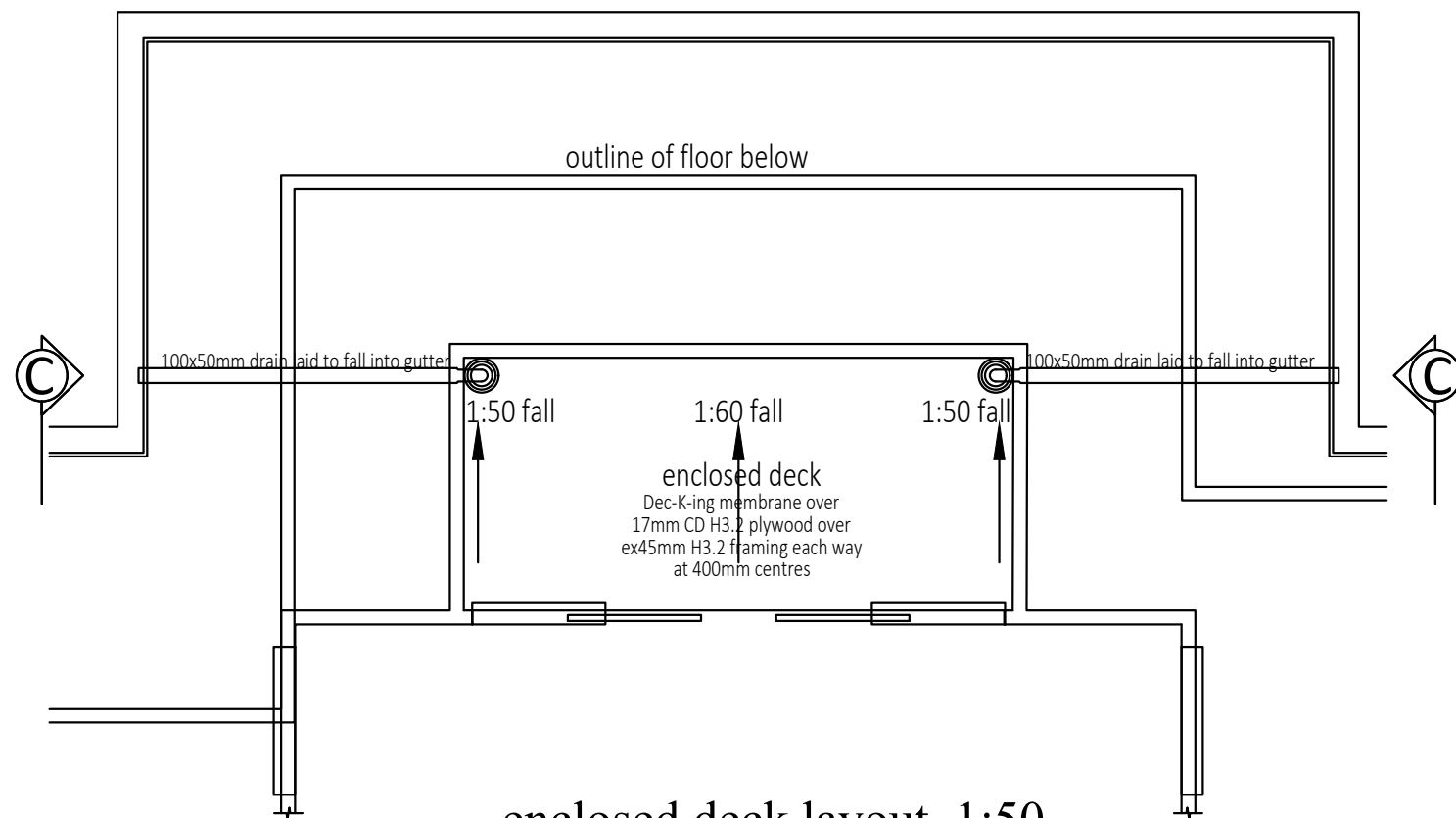
cladding details #3 1:50, 1:5, 1:2.5

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay

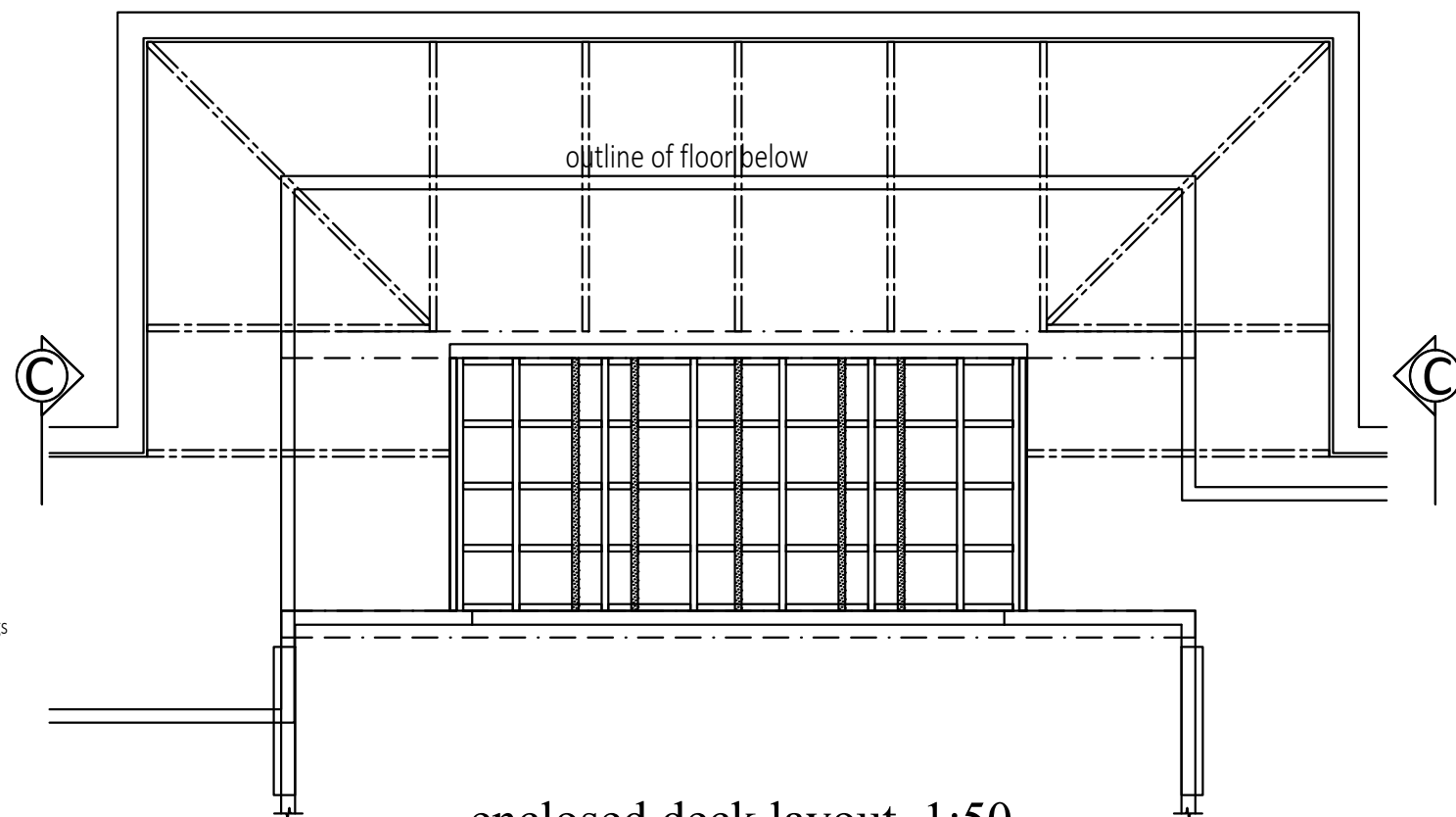


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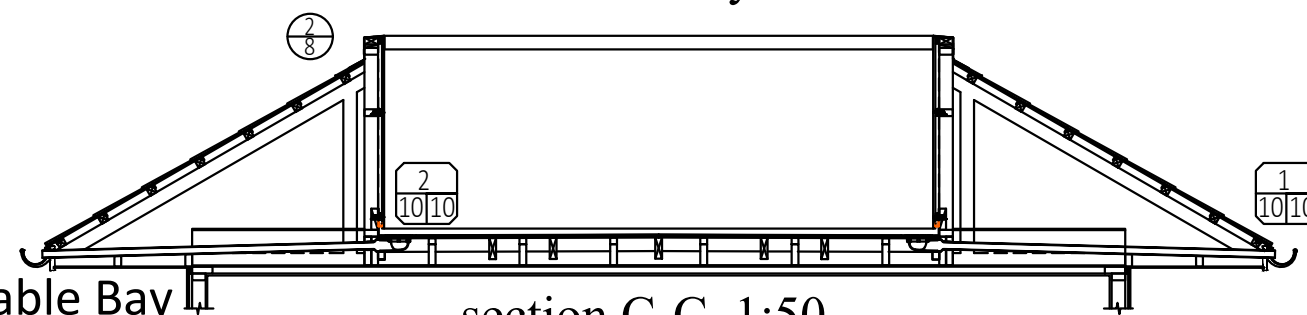
DATE 08/05/2025
SHEET 10



enclosed deck layout 1:50

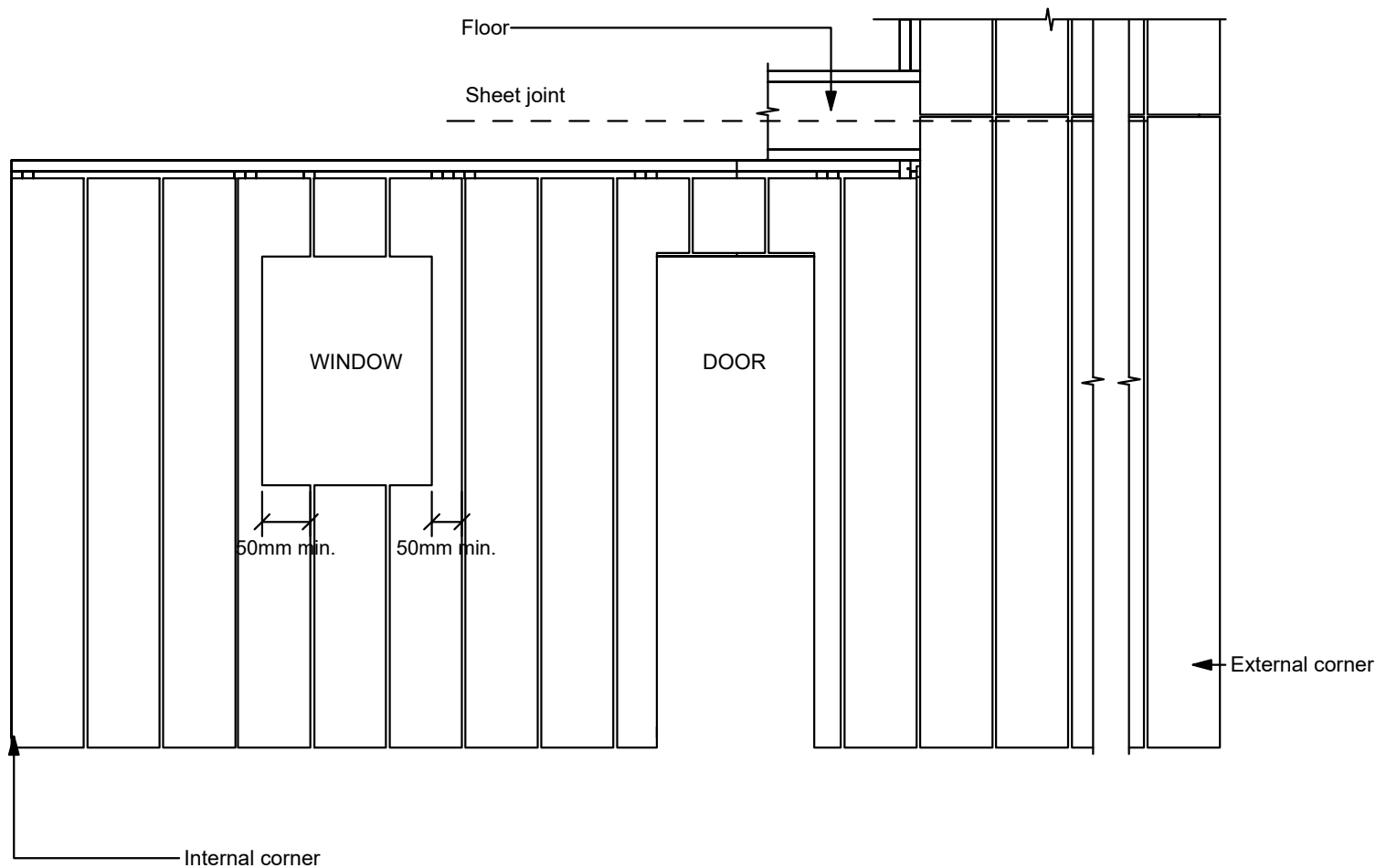


enclosed deck layout 1:50



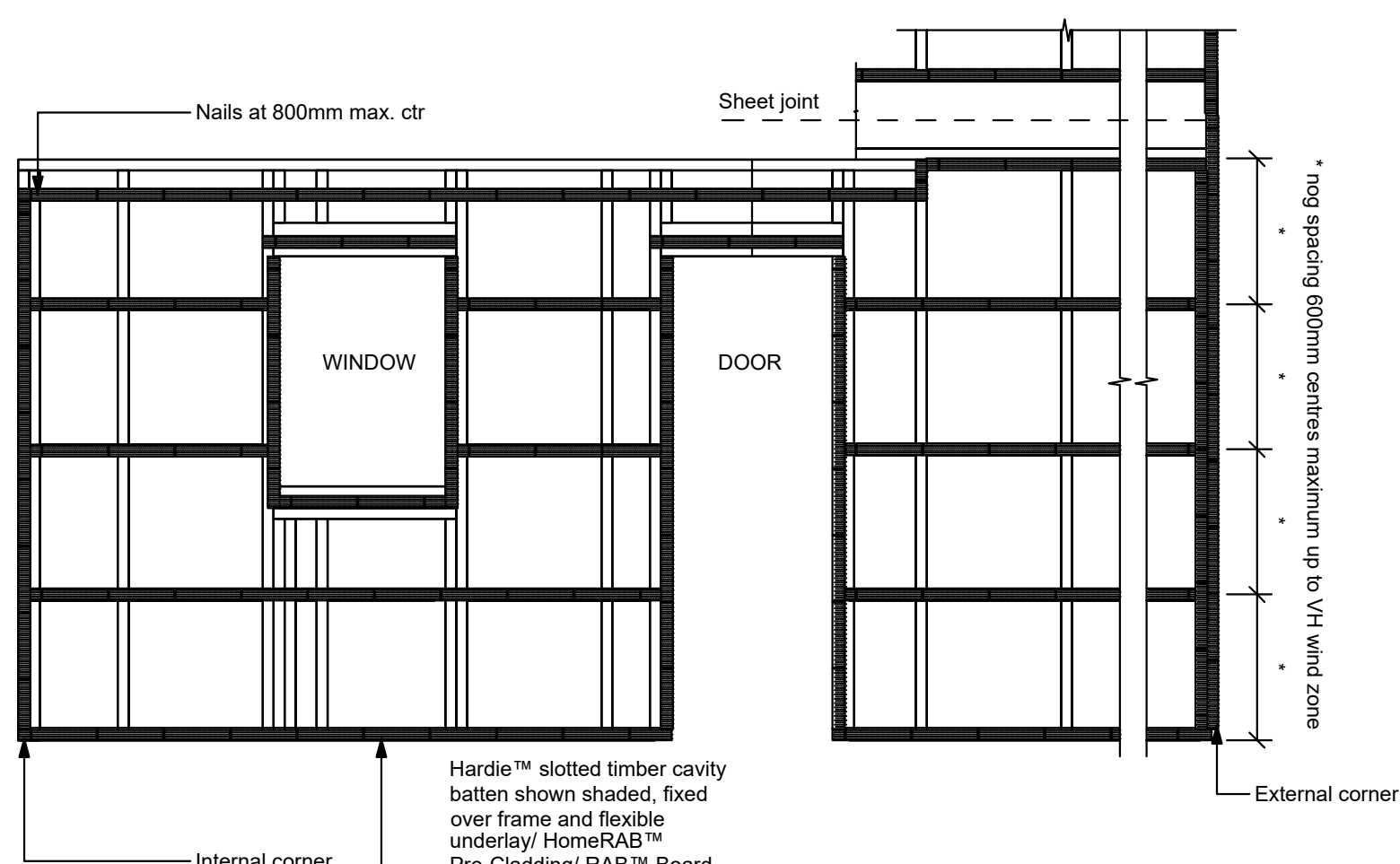
section C-C 1:50

cross referencing key
sheet number where 1 - detail number
detail sourced from 6 - 3 - sheet with detail on



-Maximum stud spacing 600mm centres

Oblique boards layout



framing setout

cladding details

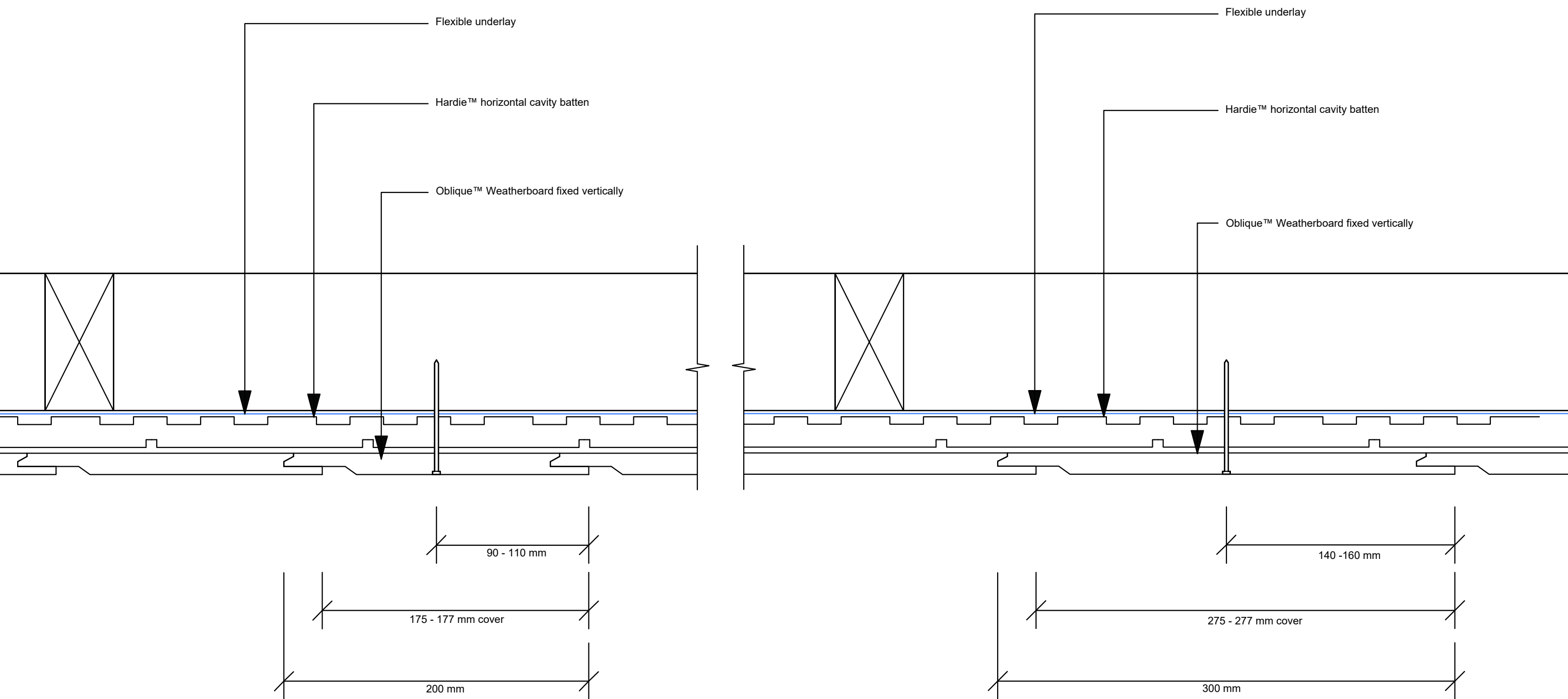
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



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SHEET 11



Oblique narrow board 1:2.5

Oblique wide board 1:2.5

cladding details 1:2.5

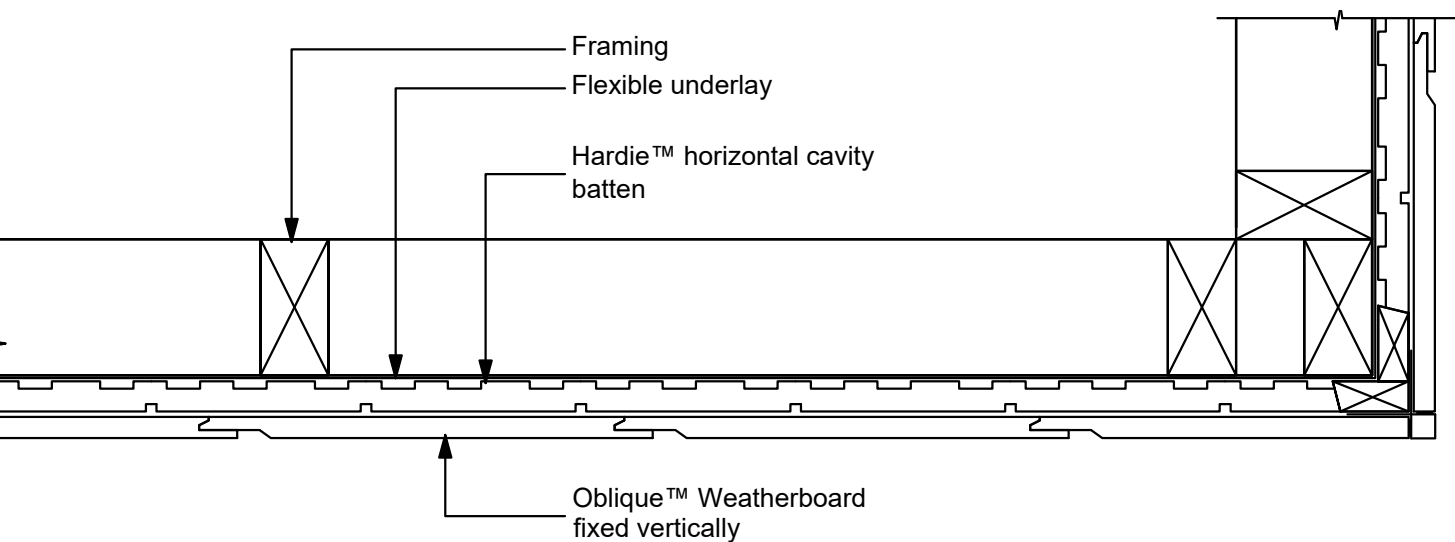
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



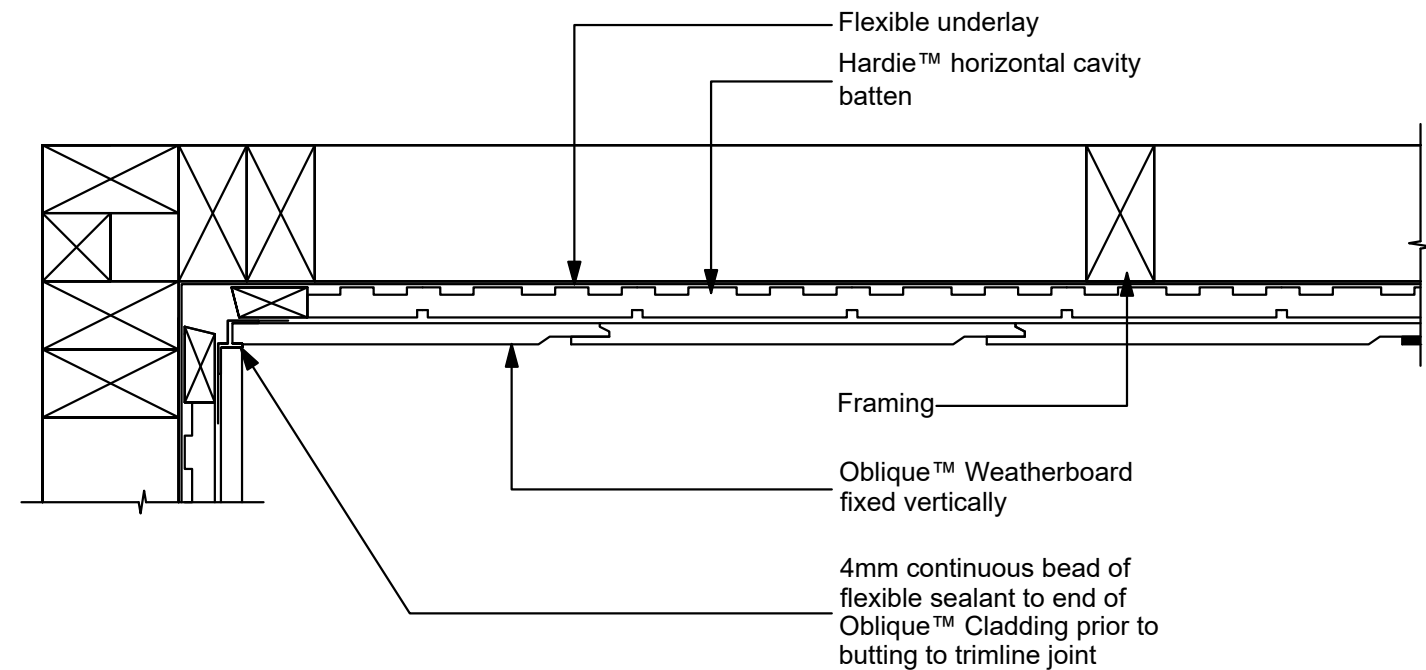
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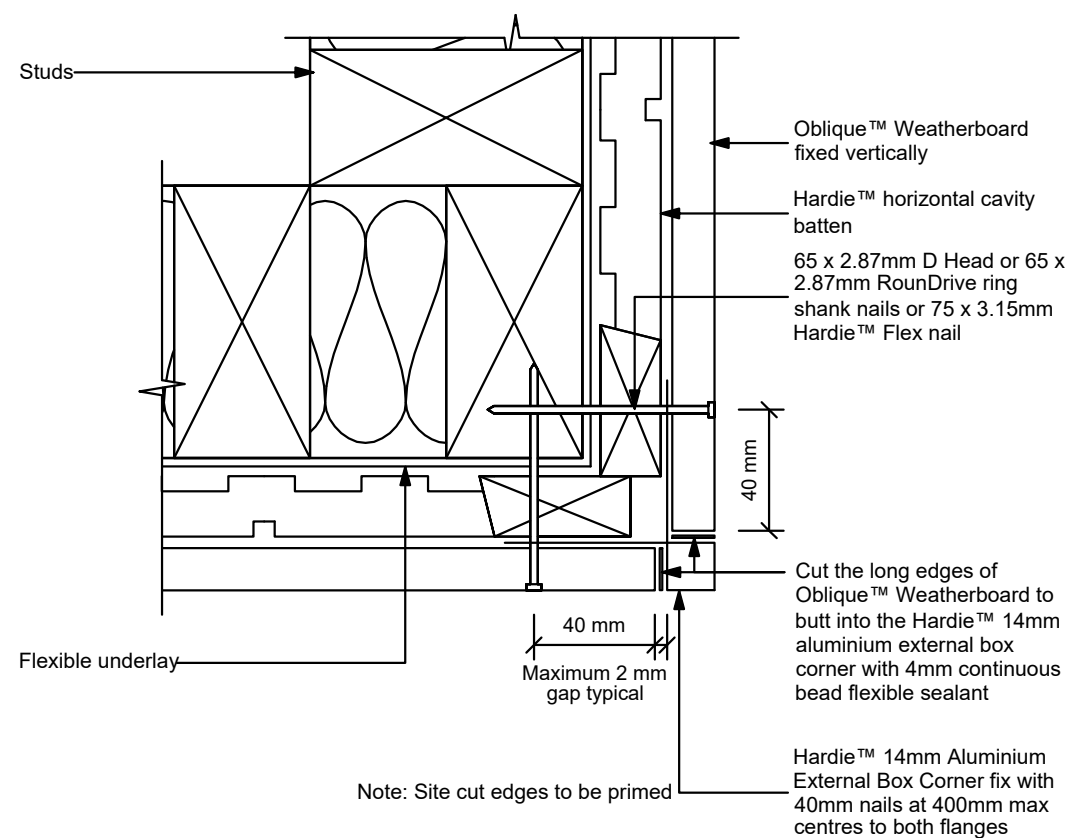
SHEET 12



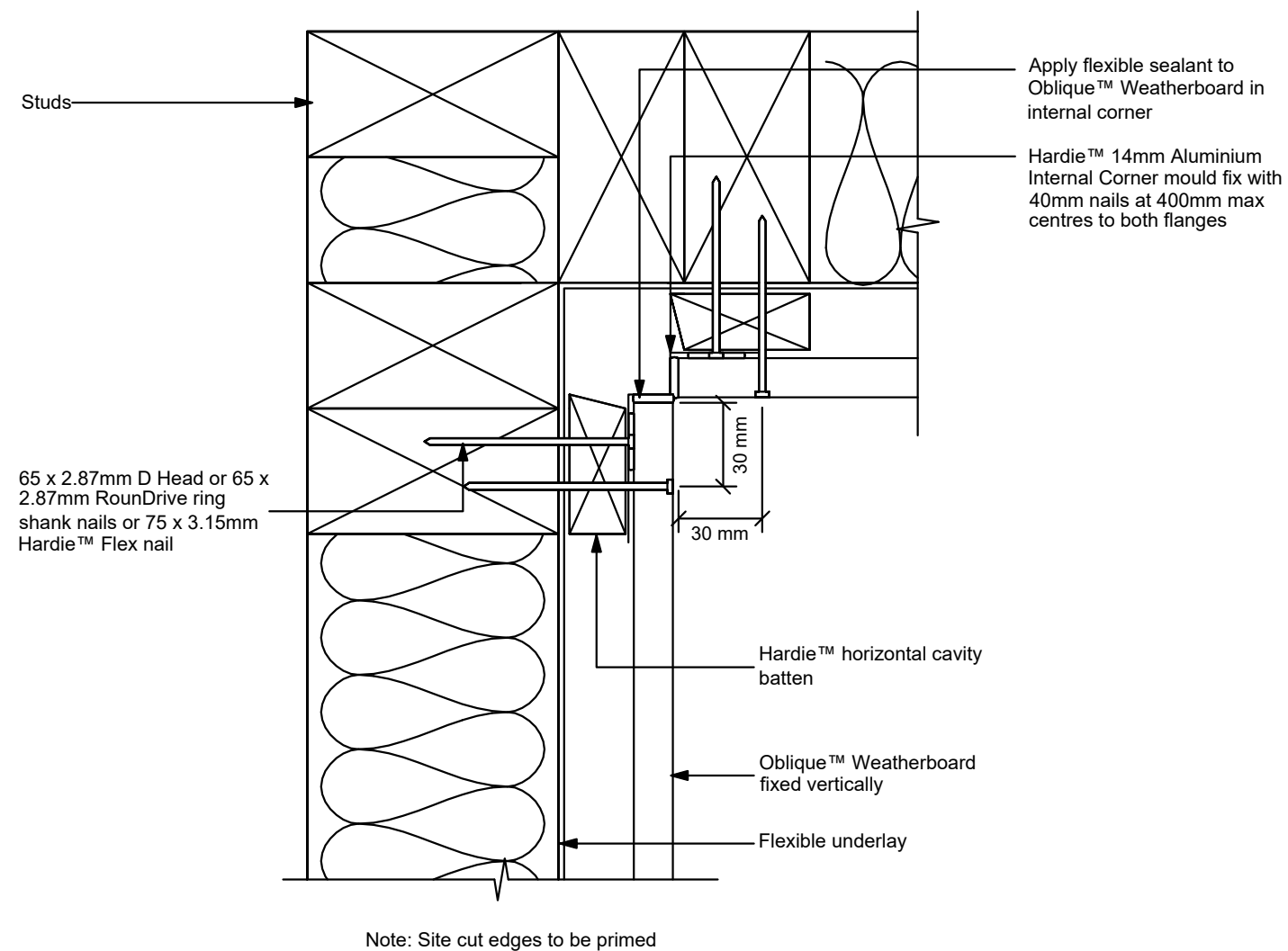
wall plan external corner 1:5



wall plan internal corner 1:5



5 external corner detail 1:2.5



6 internal corner detail 1:2.5

cladding details 1:5

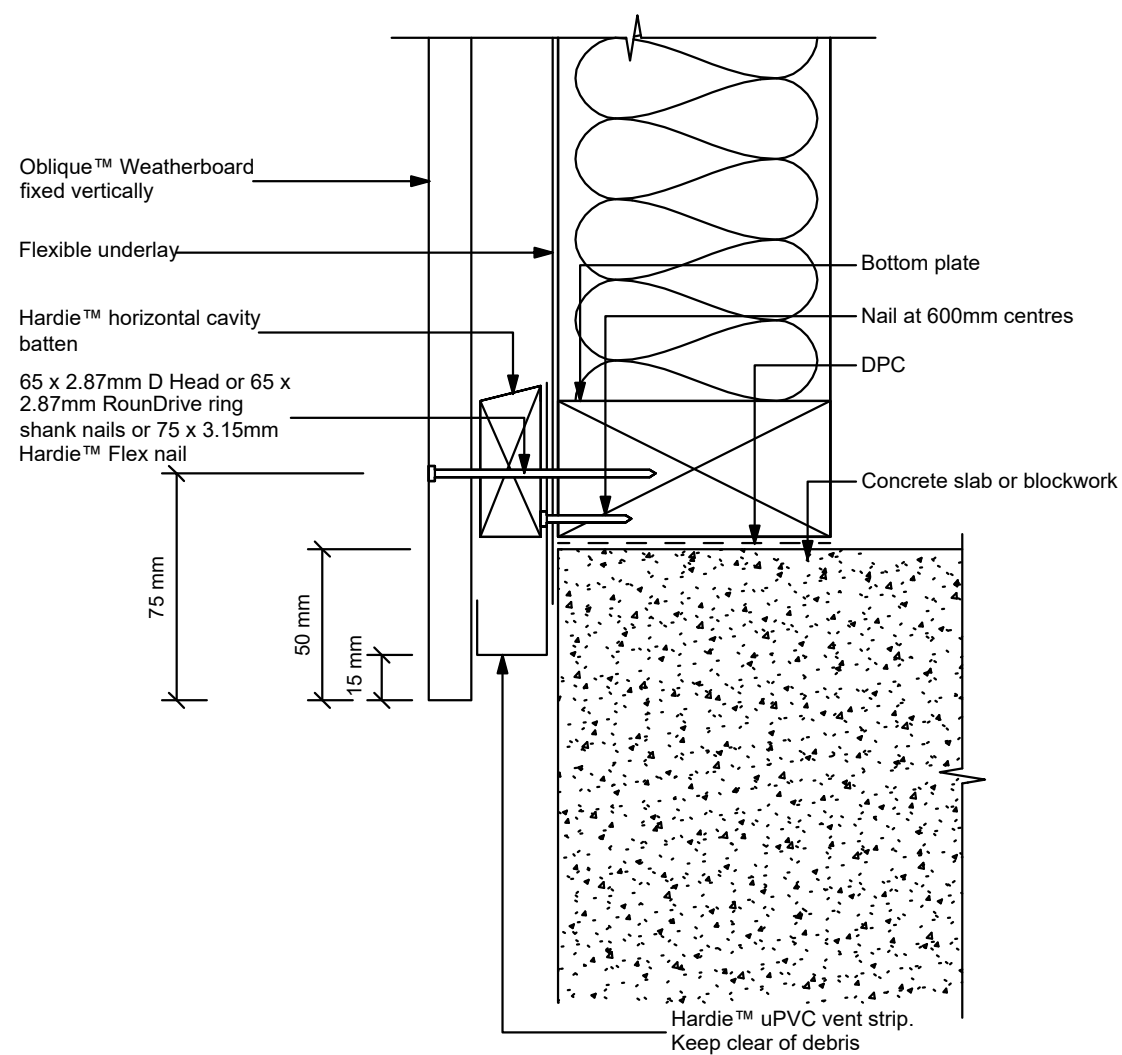
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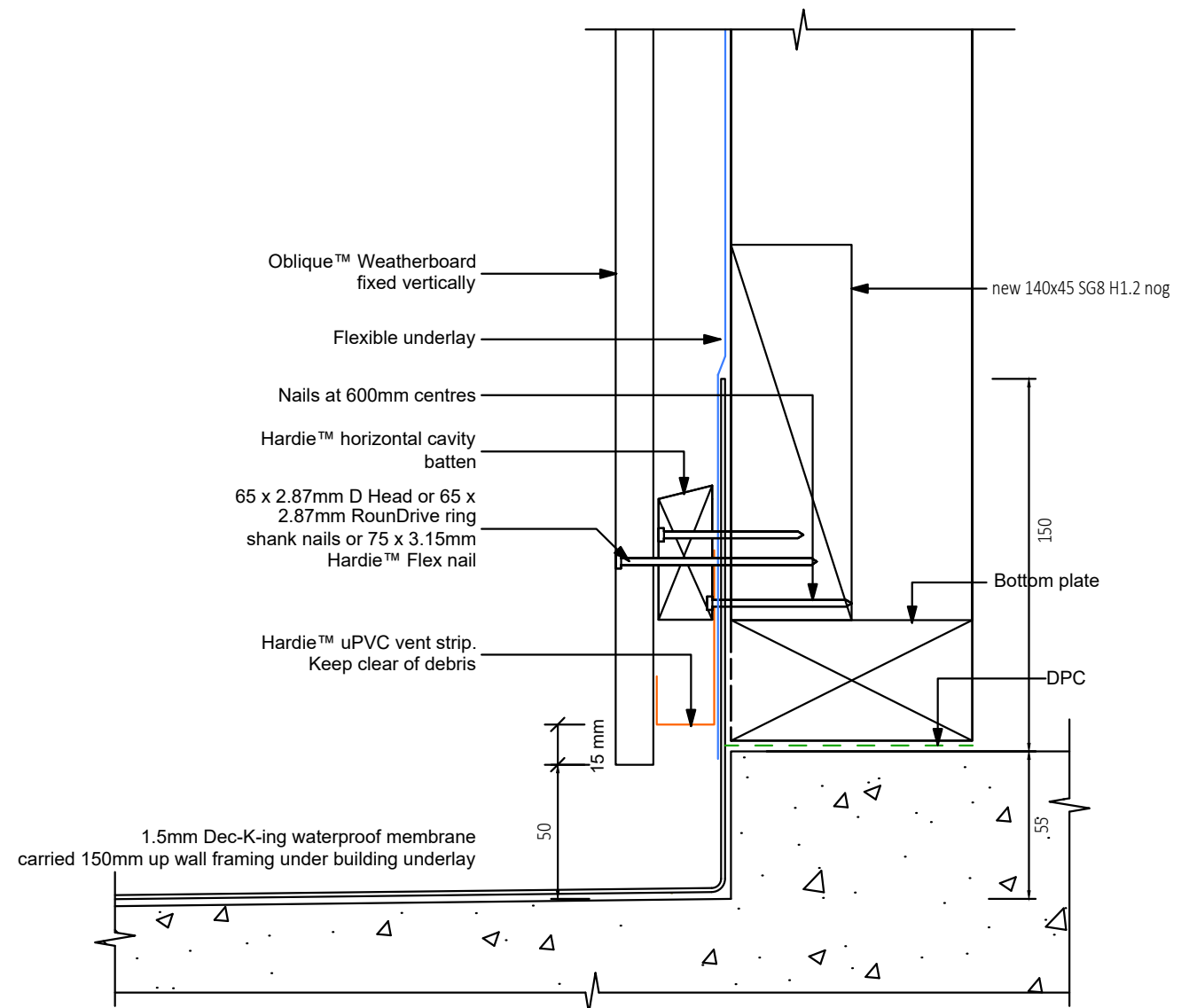
DATE 08/05/2025

13



Note: Site cut edges to be primed

⑦ cladding bottom edge - masonry wall 1:2.5



⑧ cladding bottom edge - patio 1:2.5

cladding details #7 1:2.5

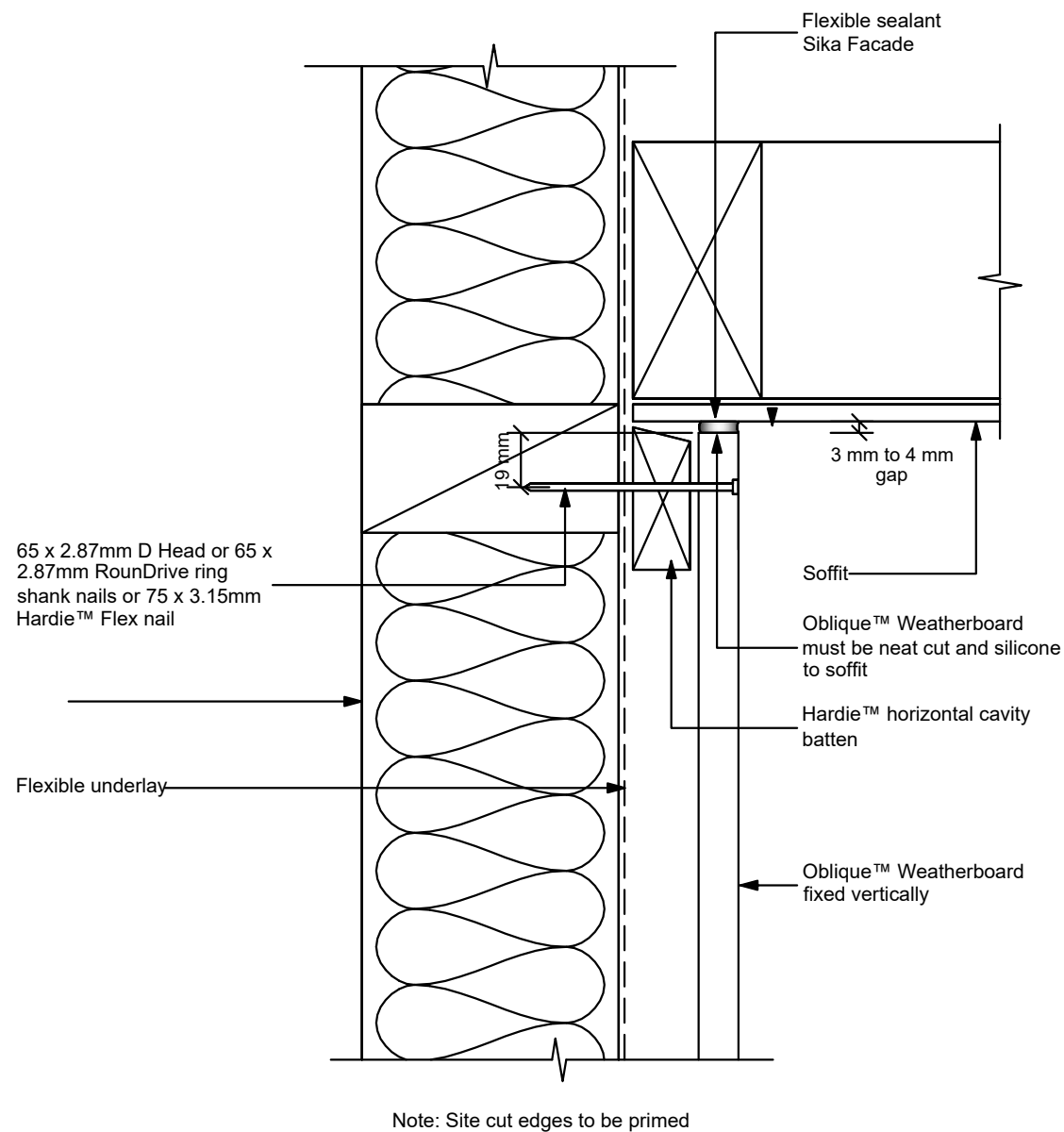
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SHEET 14



⊕ cladding soffit detail 1:2.5

cladding details 1:2.5

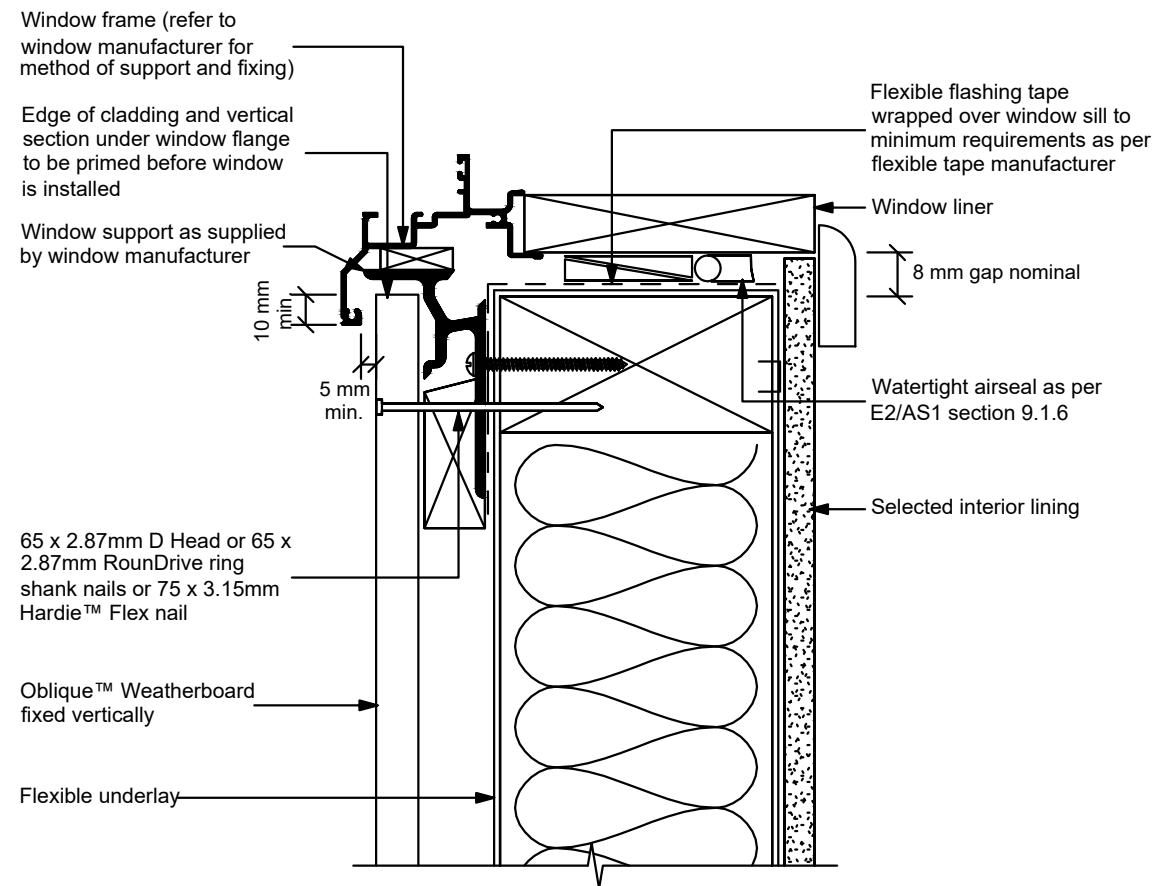
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15

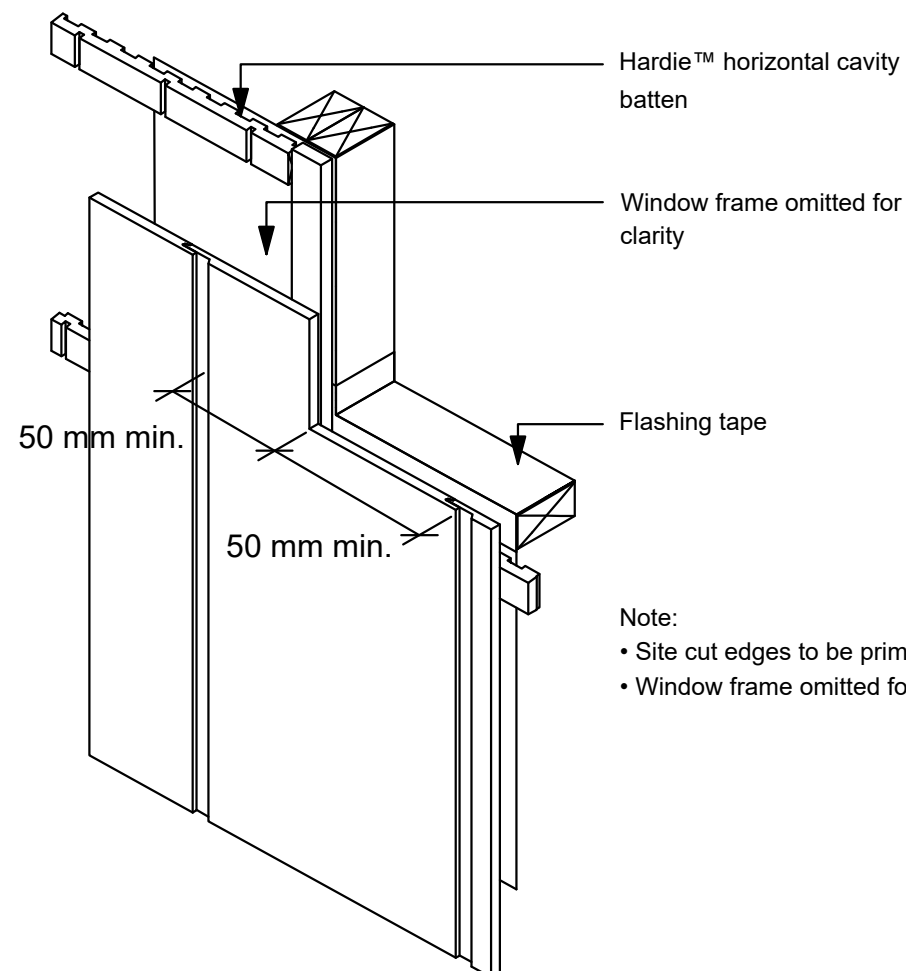


General notes for materials selection

1. Flashing materials must be selected based on environmental exposure, refer to NZS 3604 and Table 20 of the NZBC E2/AS1
2. Flexible underlay must comply with acceptable solution E2/AS1
3. Flashing tape must have proven compatibility with the selected flexible underlay and other materials with which it comes into contact

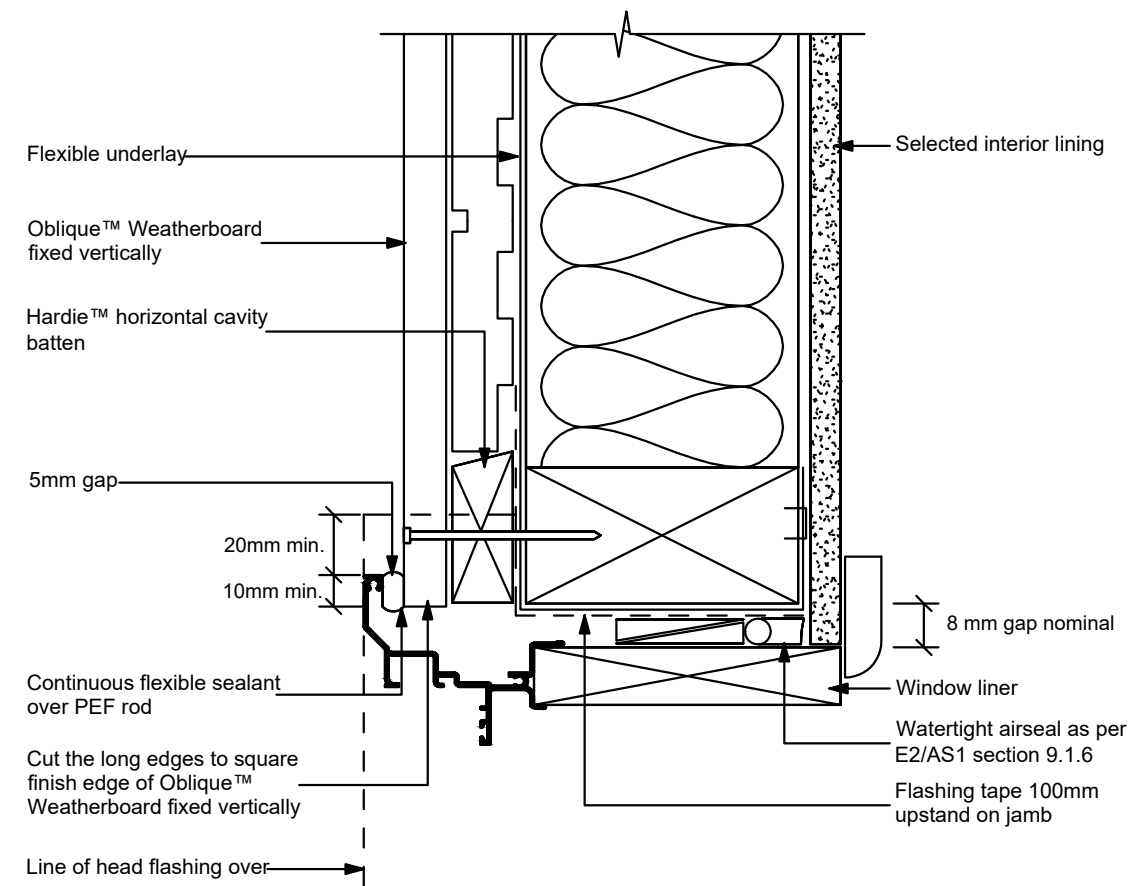
Refer to the manufacturer or supplier for technical information for these materials

11/16 window sill detail 1:2.5



Note:

- Site cut edges to be primed
- Window frame omitted for clarity



12/16 window jamb detail 1:2.5

cladding details 1:2.5

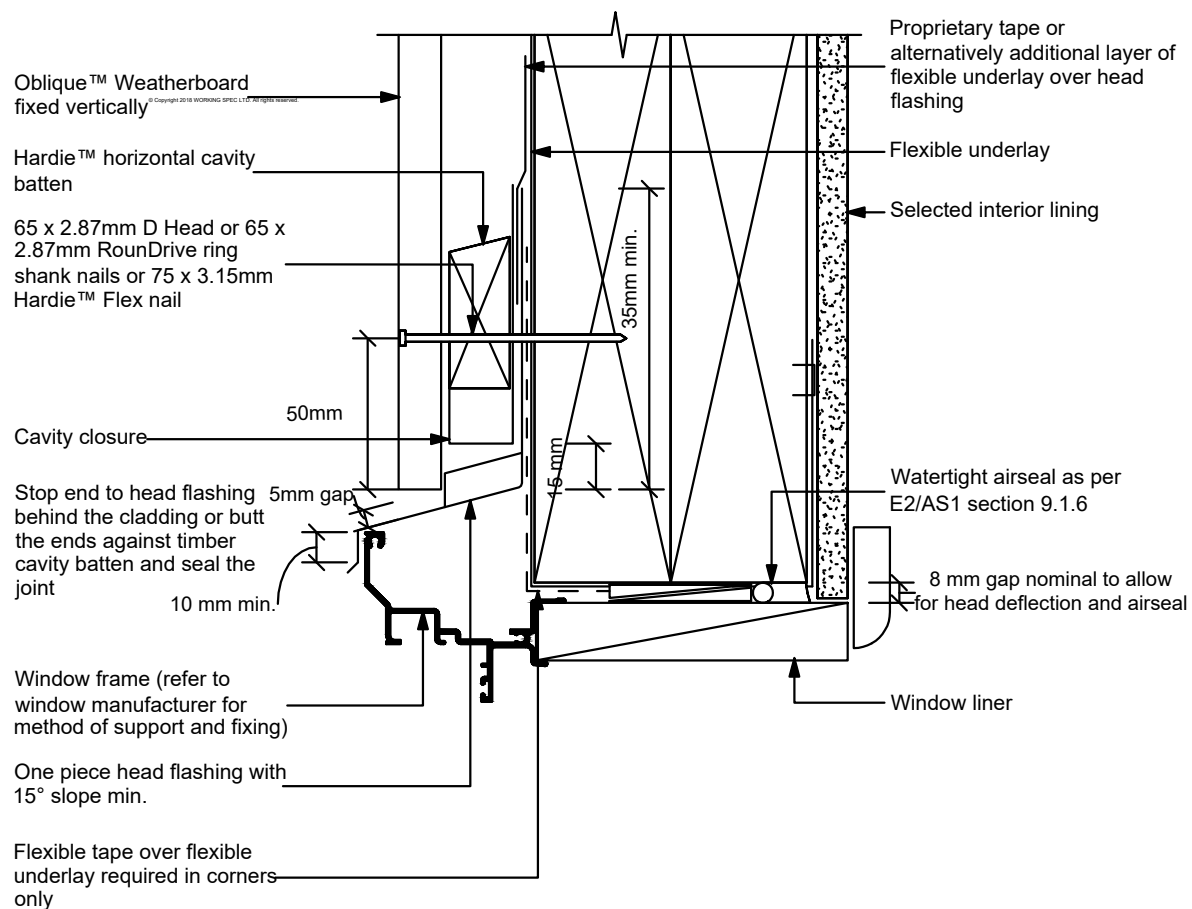
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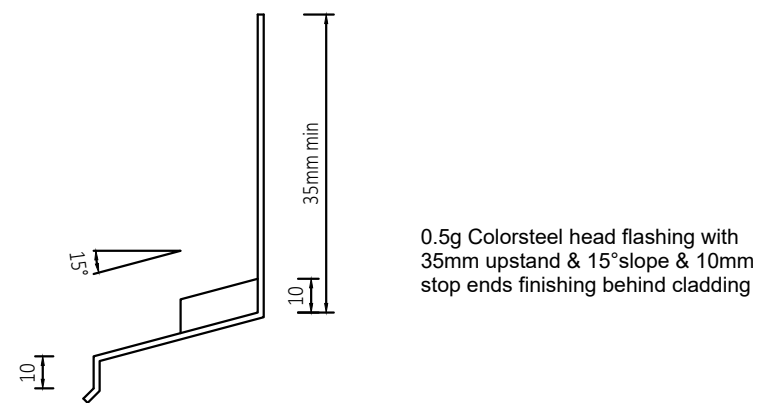
DATE 08/05/2025

16



Note:
 1. Site cut edges to be primed
 2. Sealant must be installed between head flashing and window flange in VH and above wind zones. Refer to Figure 71 of E2/AS1

13 window head detail 1:2.5



head flashing detail 1:2.5

cladding details 1:2.5

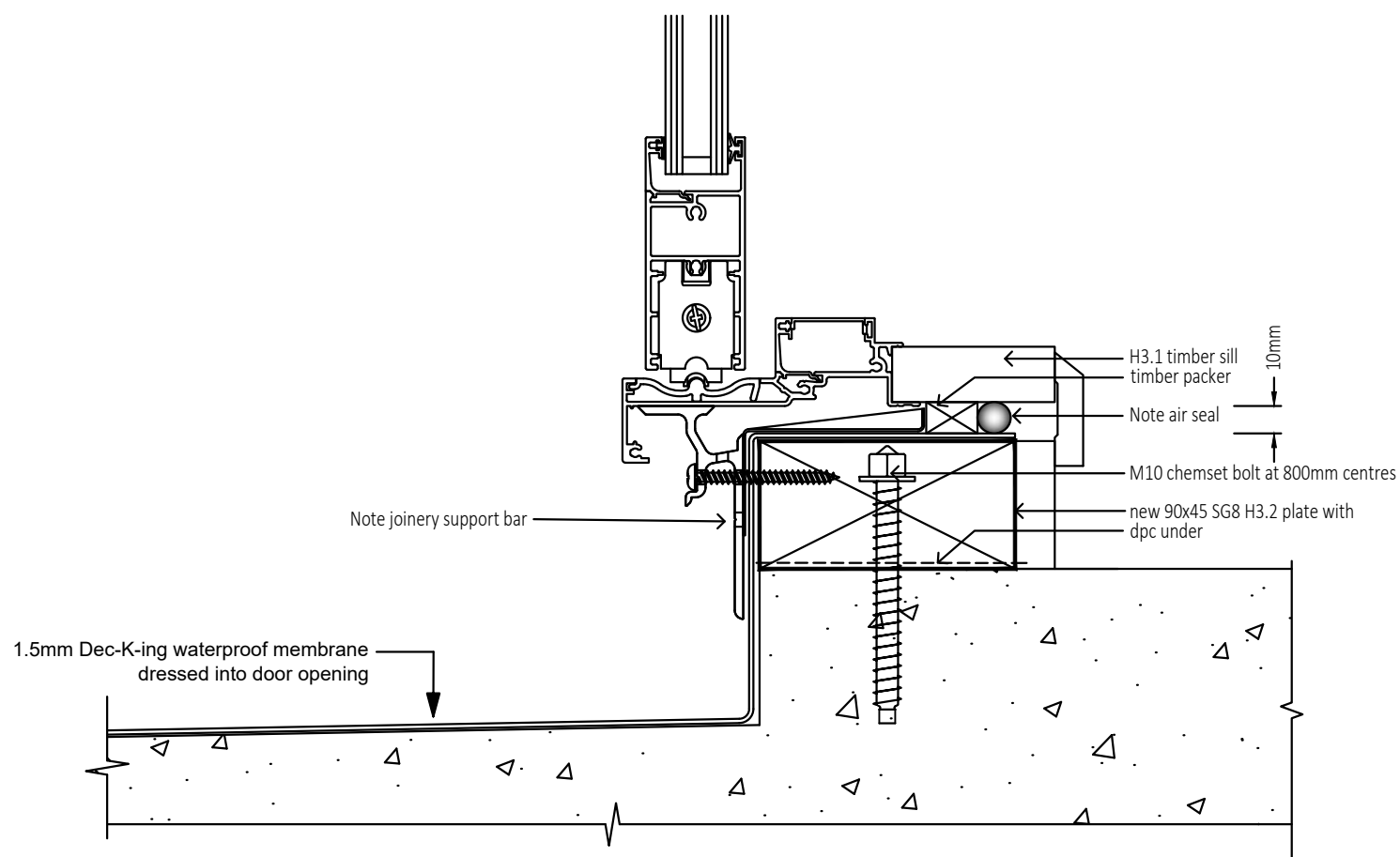
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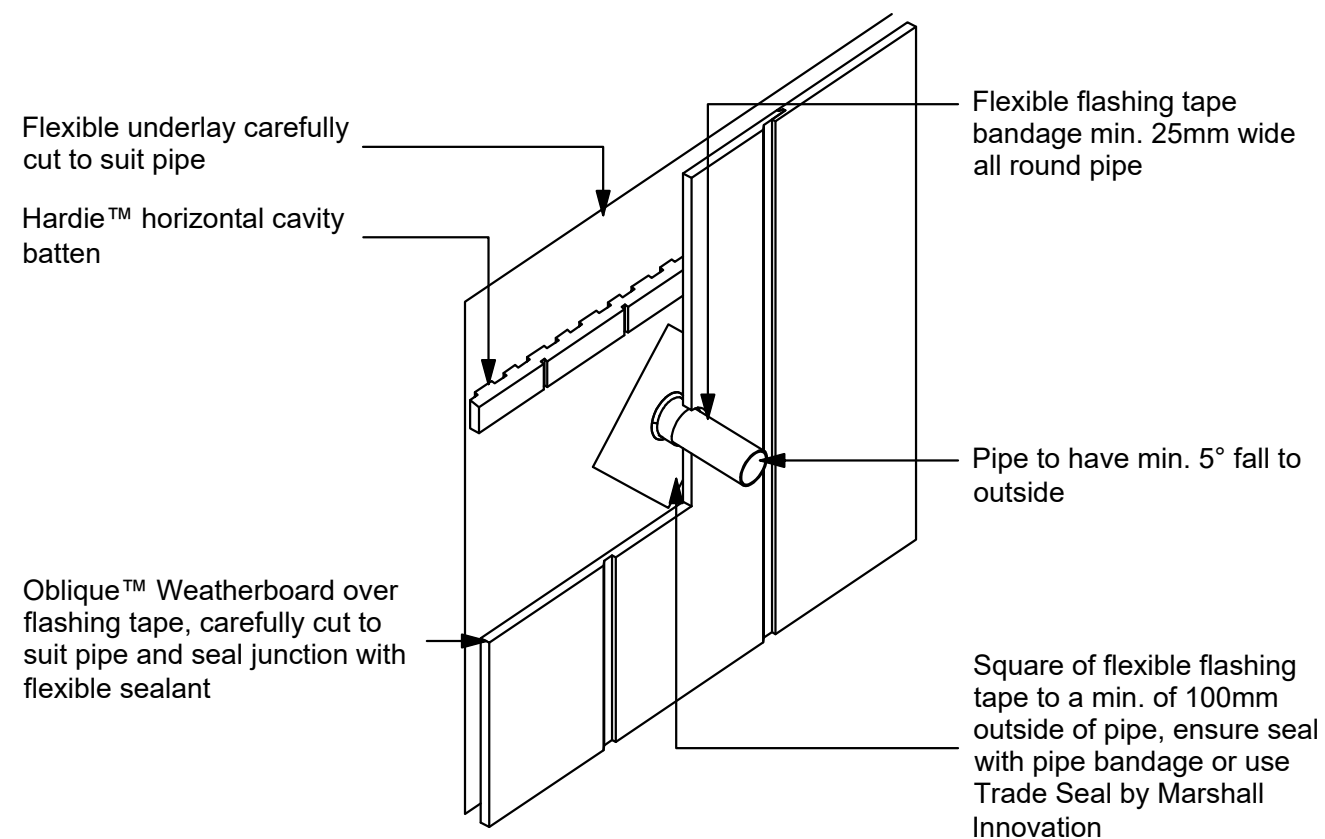


Refer to the manufacturer or supplier for technical information for these materials

General notes for materials selection

1. Flexible underlay must comply with acceptable solution E2/AS1
2. Flashing tape must have proven compatibility with the selected flexible underlay and other materials with which it comes into contact

14/18 patio/joinery sill detail 1:2.5



Note: Site cut edges to be primed

15/18 solar expansion pipe detail
typical detail for other pipes

cladding details 1:2.5

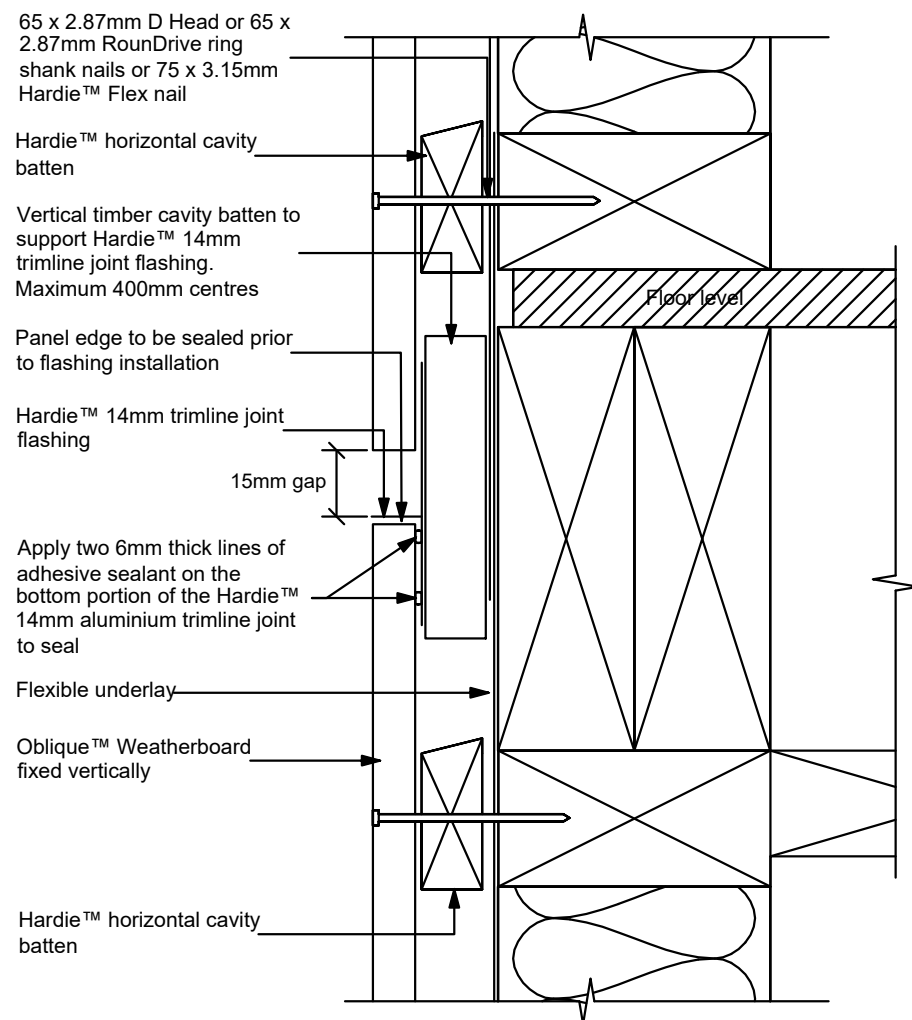
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



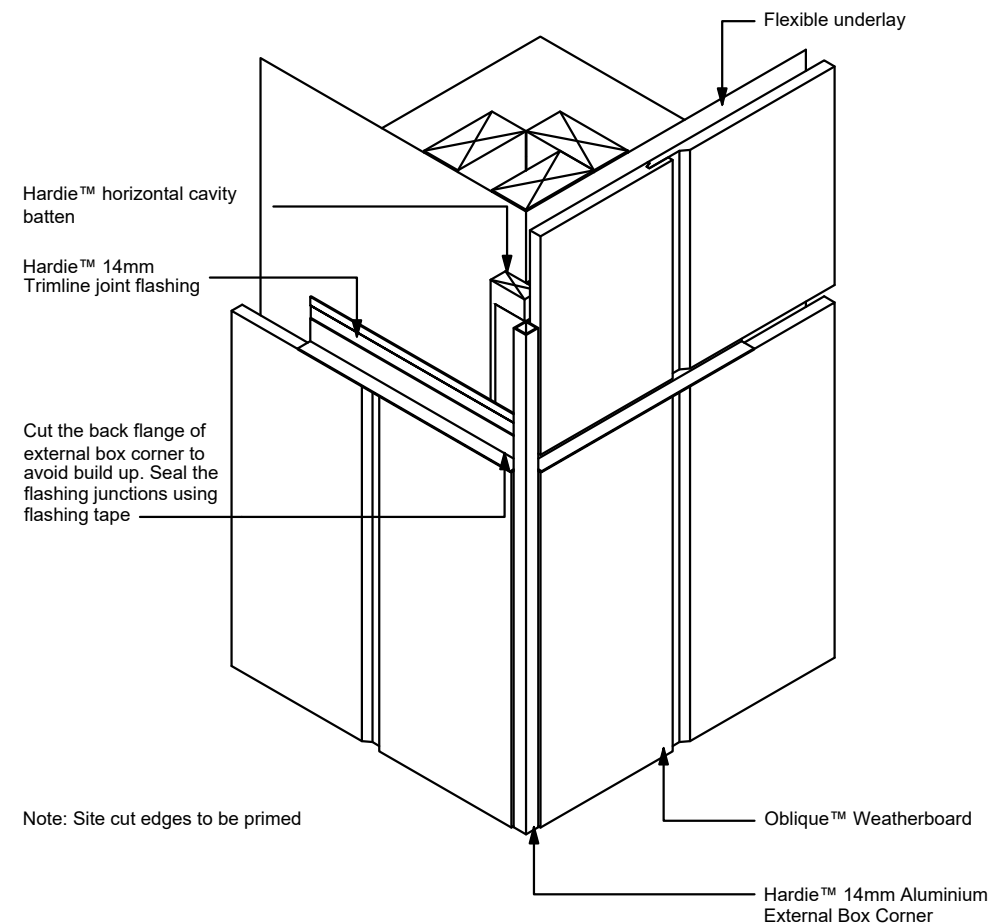
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- The flashing to be placed in the centre of the floor joists. Do not fix cavity battens or cladding into floor joists
- Hardie™ 14mm aluminium trimline joint, take care to ensure continuous seal is formed between panel and the trimline joint
- Trimline horizontal jointer 'L' shaped flashing will be required over the butt joint of the Hardie™ 14mm aluminium trimline joint
- Site cut edges to be primed



Note: Site cut edges to be primed

16/19 inter-storey cladding detail - Trimline joint flashing detail 1:2.5

17/19 3-D Trimline joint flashing detail n.t.s.

cladding details 1:2.5

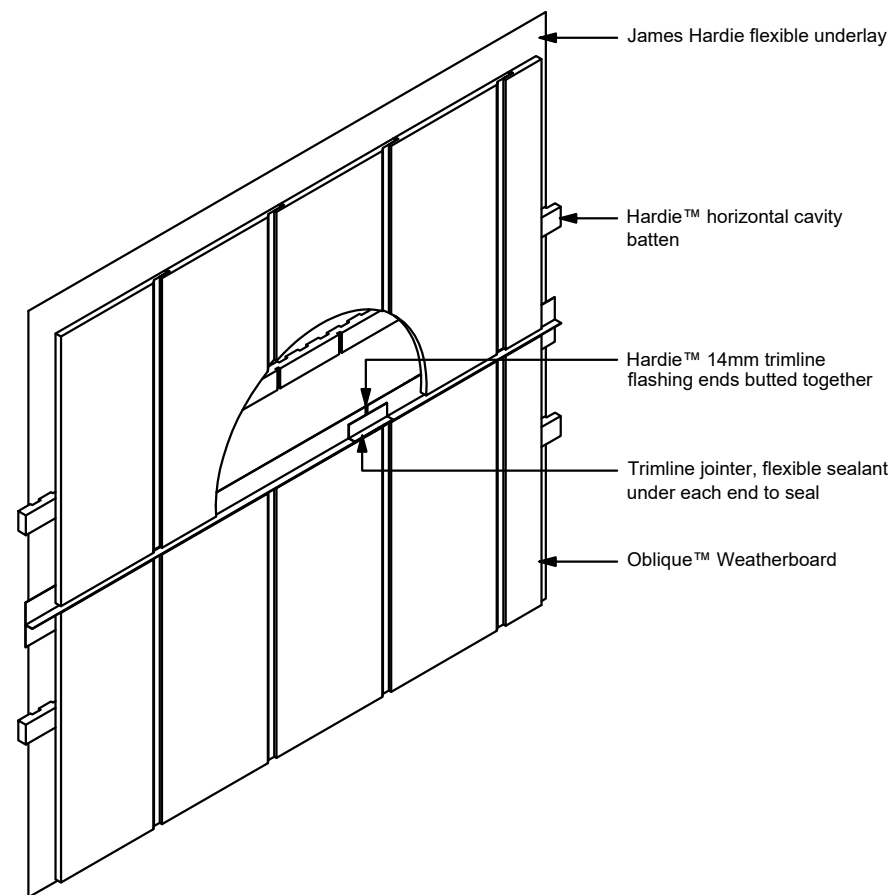
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



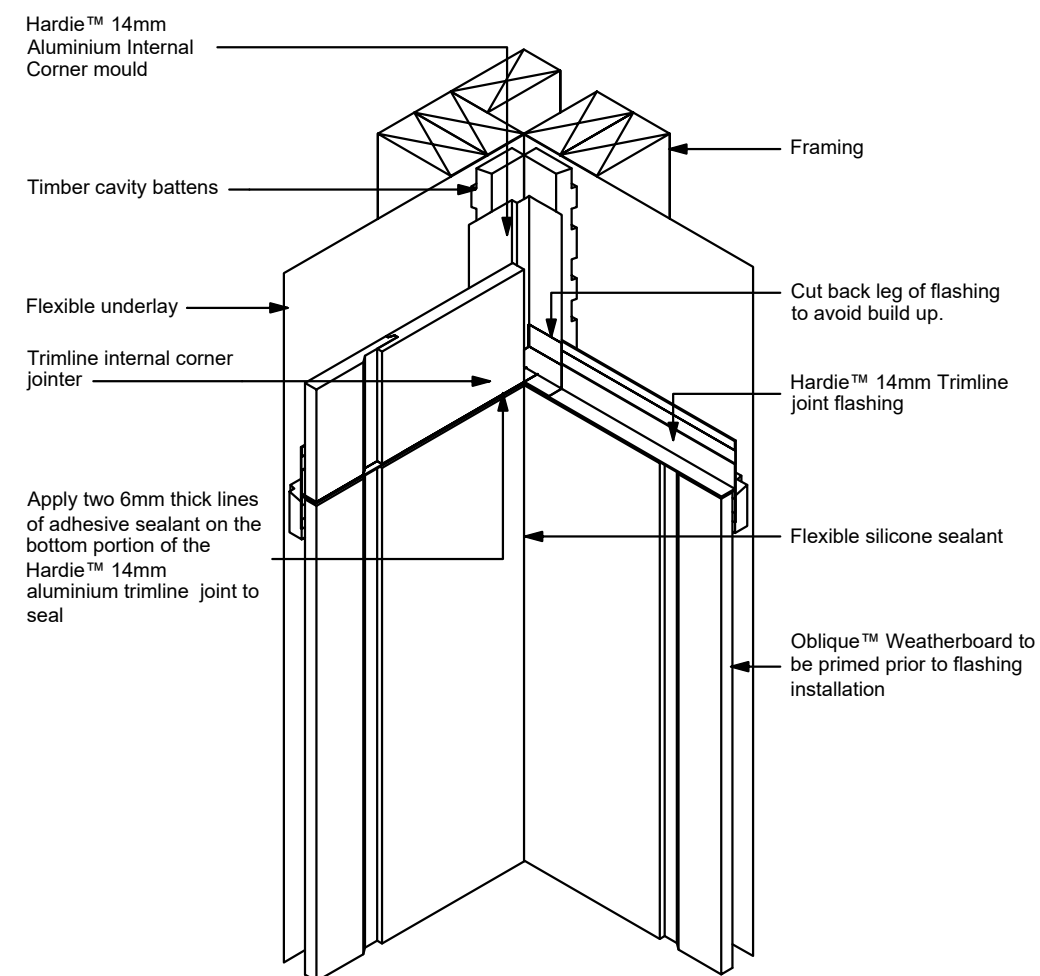
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SHEET 19



3D-Trimline joint flashing detail - join n.t.s.



3D-Trimline joint flashing detail - internal corner n.t.s.

cladding details n.t.s.

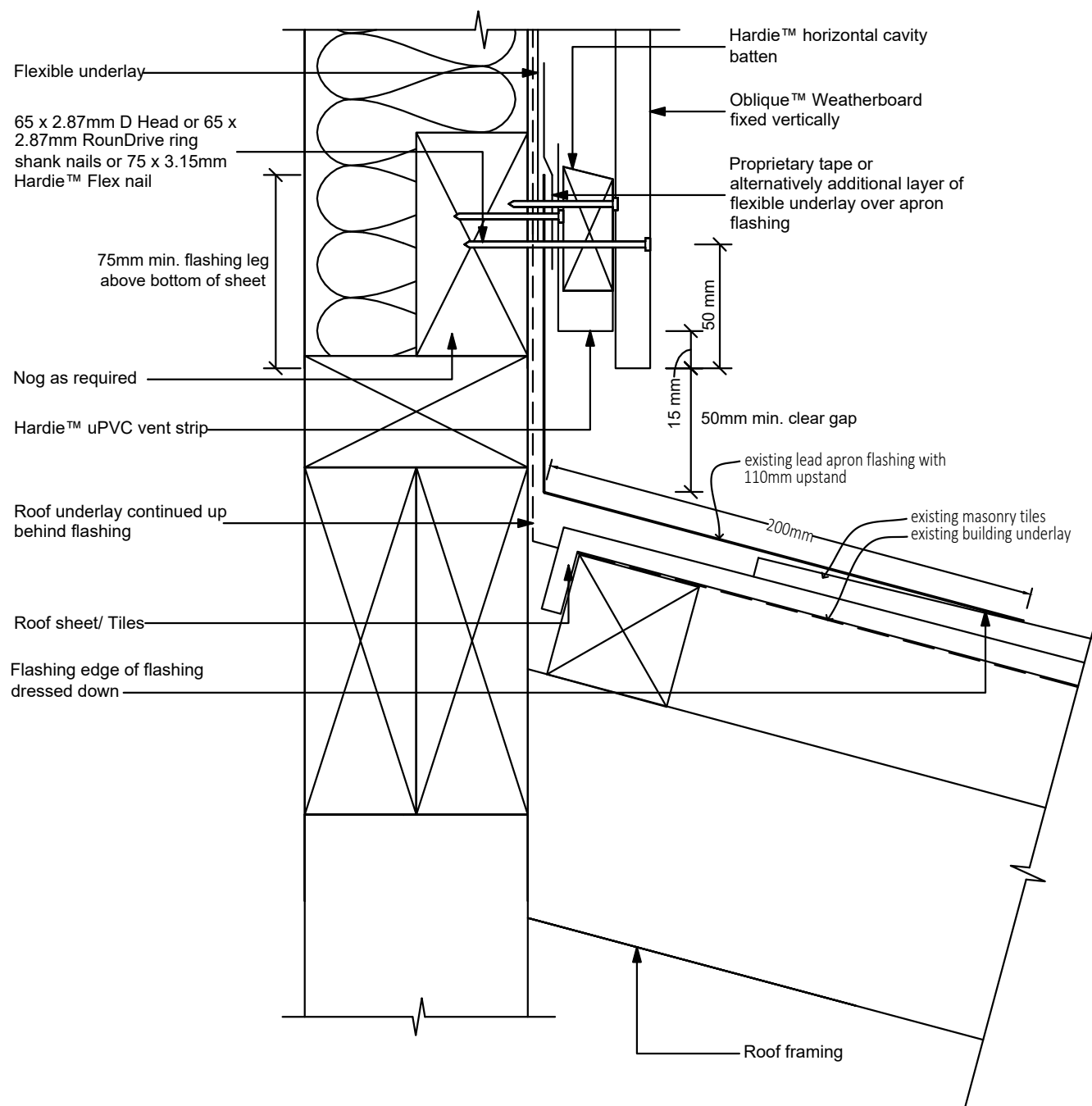
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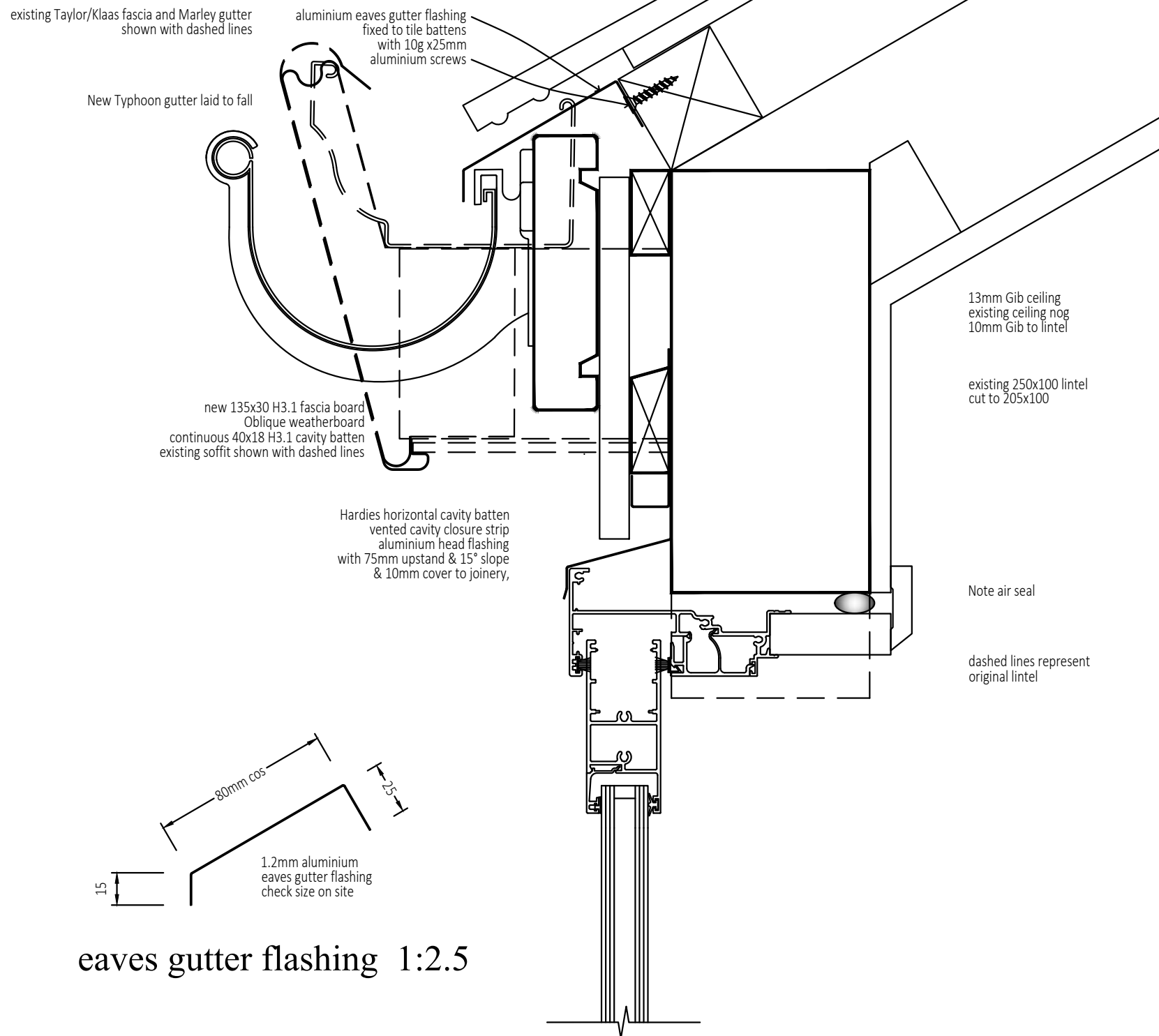
DATE 08/05/2025

20



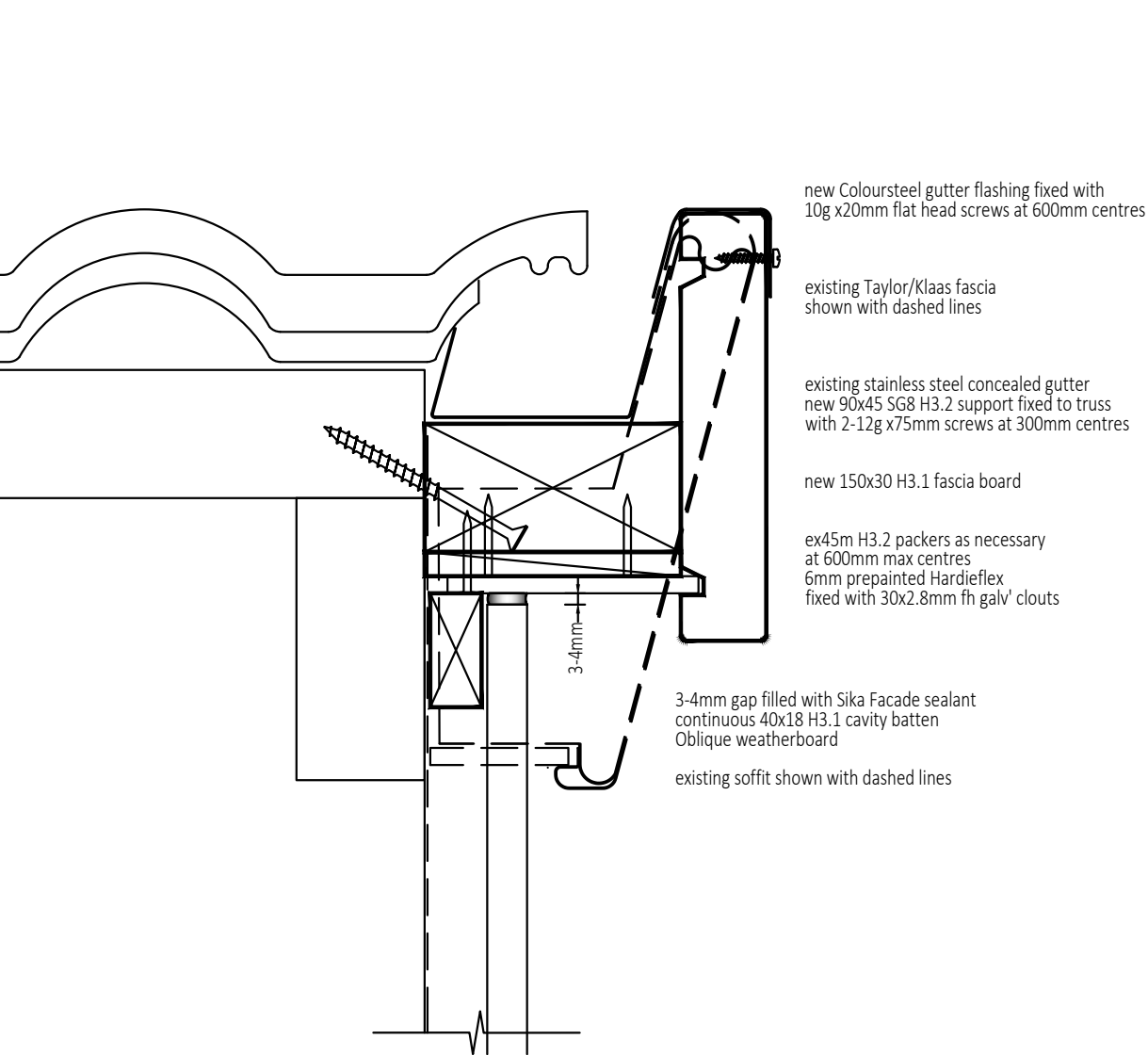
- Notes:
- When 50 year durability for flashing is required refer to Table 20 NZBC E2/AS1 document
 - Site cut edges to be primed

19/21 apron flashing detail (typical) 1:2.5

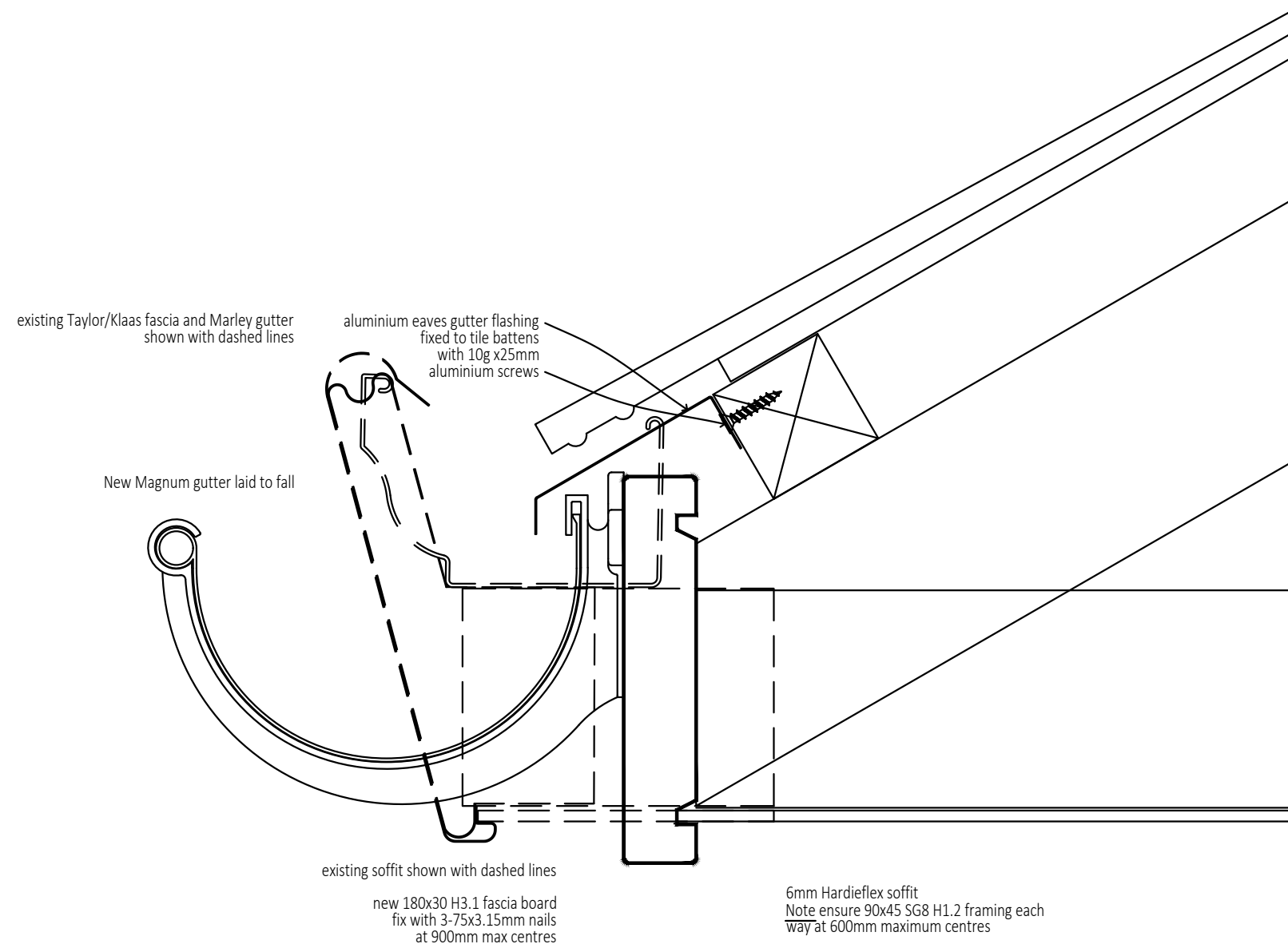


eaves gutter flashing 1:2.5

20/21 top floor fascia eave detail 1:2.5



21/22 barge eave detail 1:2.5



22/22 mid-floor fascia eave detail 1:2.5

cladding details 1:2.5

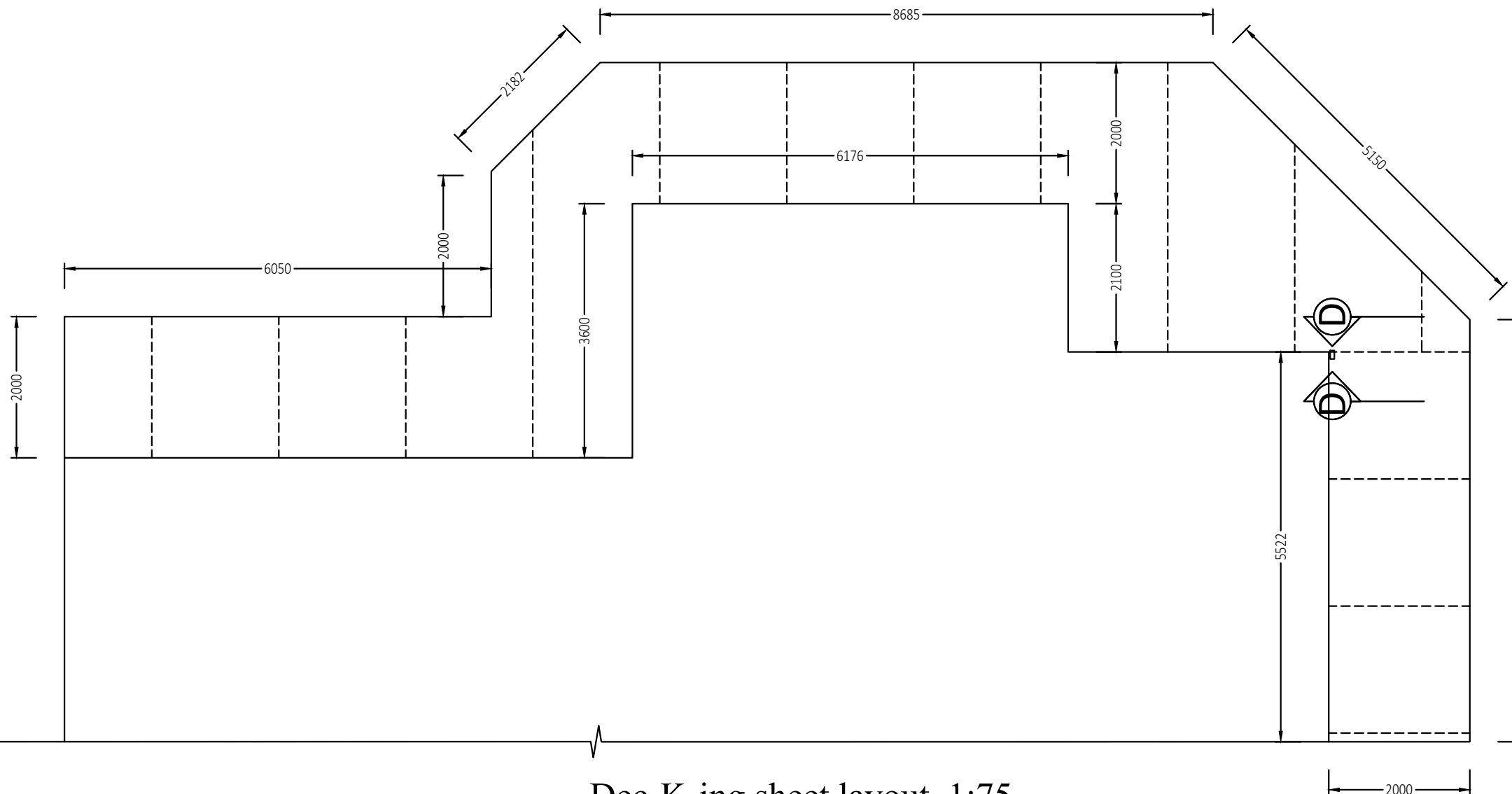
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SHEET 22



Dec-K-ing sheet layout 1:75

Notes:

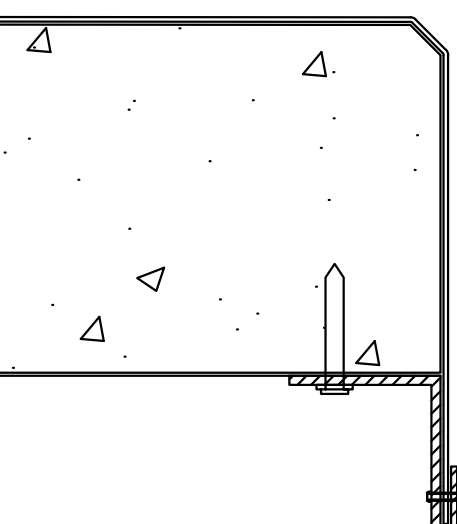
Area of membrane deck= 62.175m²

Registered licensed contractor is to complete Viking Substrate checklist before cutting 25mm wide recesses for overlap joins prior to applying Dec-K-ing Floor Patch Viking SDF660 followed with 2x coats Viking VPS100 Surface Sealer

**I STATE ON REASONABLE GROUNDS THAT
THESE DRAWINGS ARE IN ACCORDANCE WITH
OUR CALCULATIONS WHERE APPLICABLE**

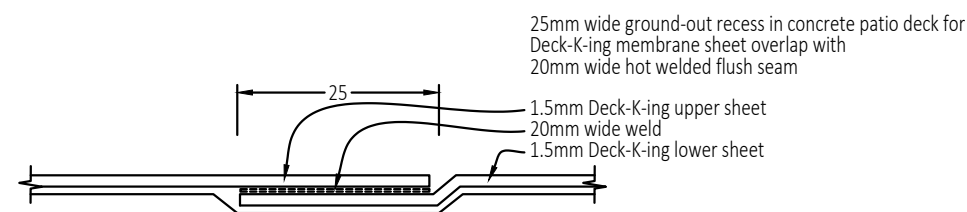
TEO PILAPIL CPEng:

30 Apr 2025



ground off any sharp edges to existing concrete before applying surface sealer

aluminium angle 50 x 50 x 1.6mm fixed to underside of concrete patio with Ramset Nylon anchors or similar at 450mm centres
20x3mm aluminium fixing bar fixed with aluminium pop rivets at 300mm centres

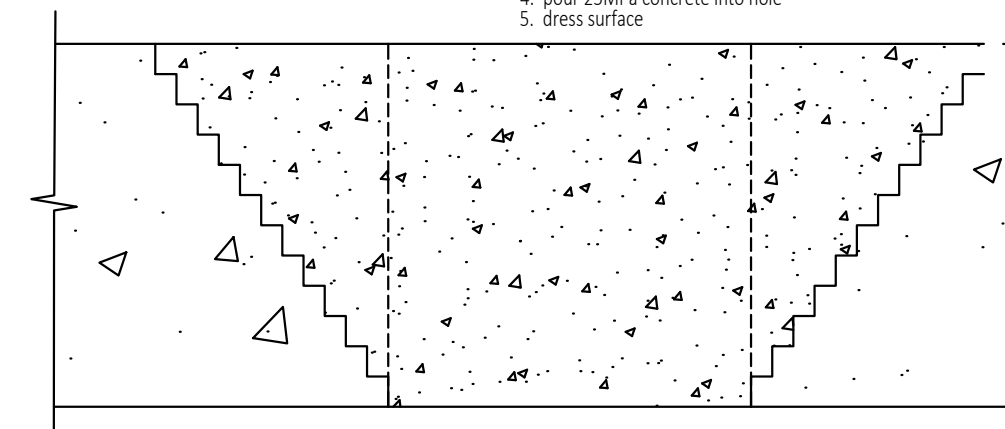


Dec-K-ing sheet overlap detail 1:1

Notes:

edges of original hole shown with dashed lines

1. enlarge hole as shown
2. coat edges of concrete with epoxy
3. shutter bottom of hole
4. pour 25MPa concrete into hole
5. dress surface



section D-D patio deck repair 1:2.5

23

Dec-K-ing patio edge detail

Dec-K-ing details 1:2.5

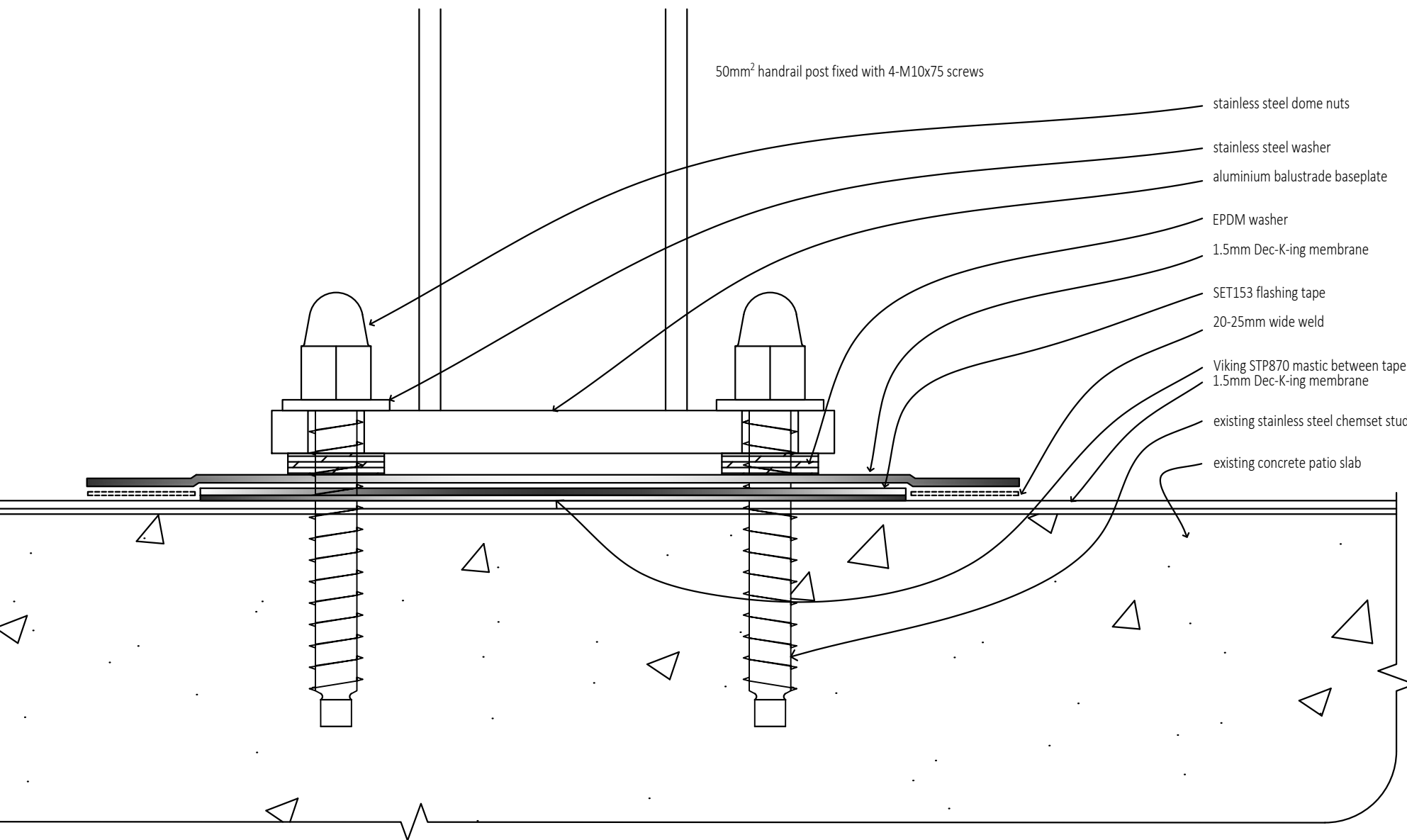
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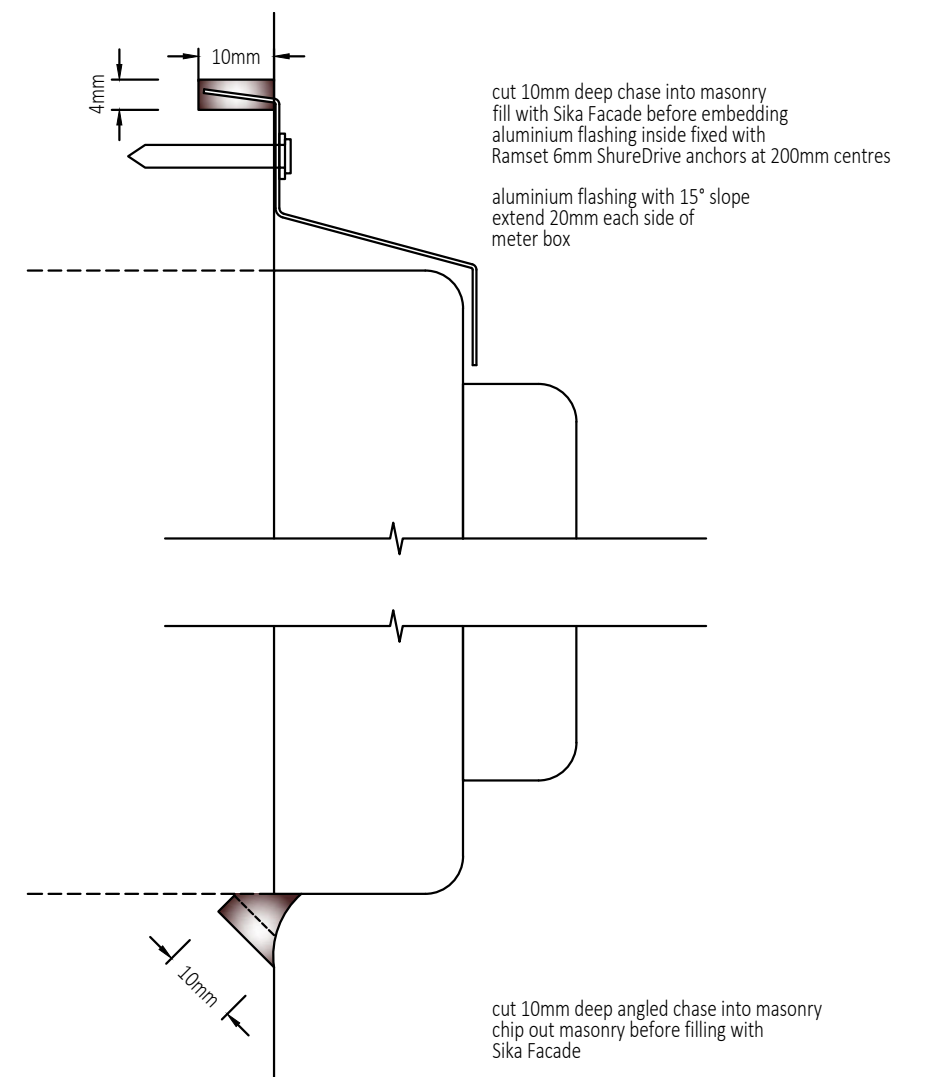
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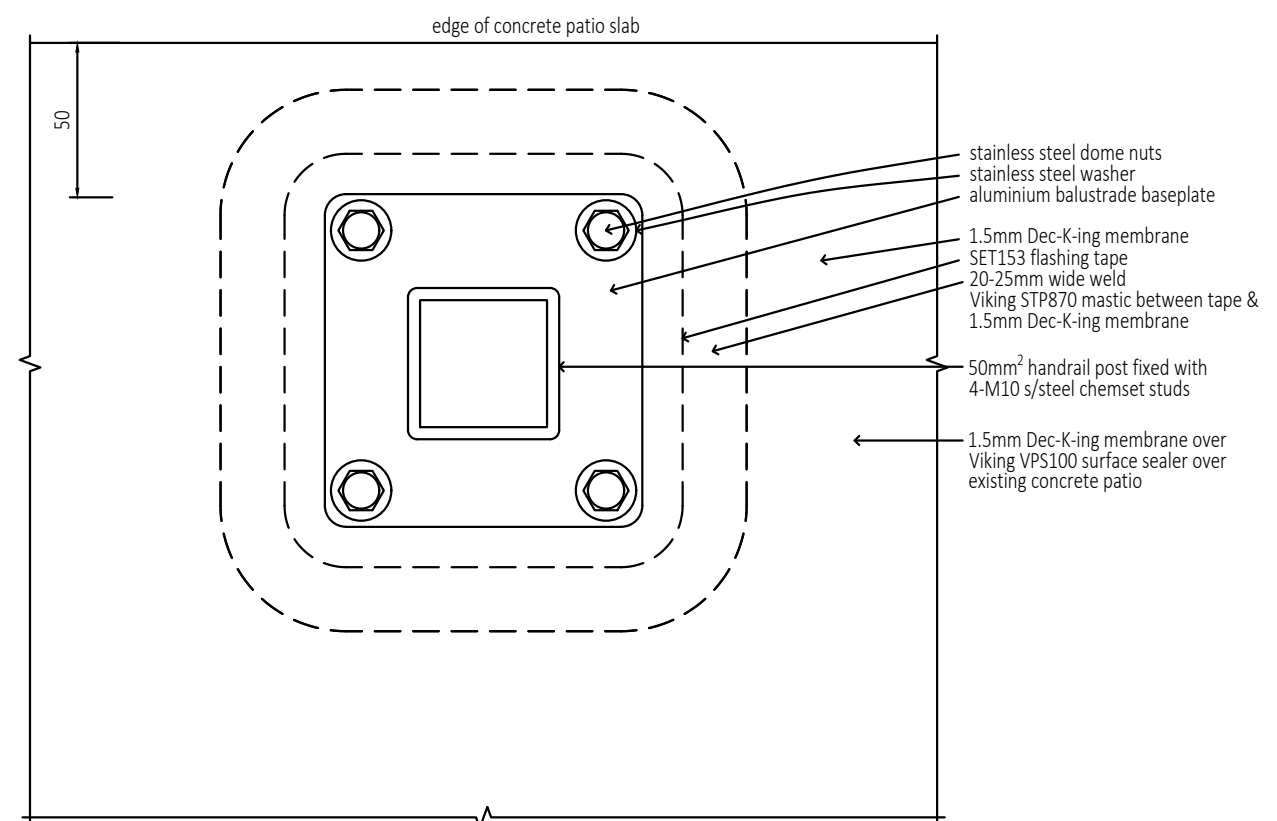
SHEET 23



24/24 handrail post section 1:1

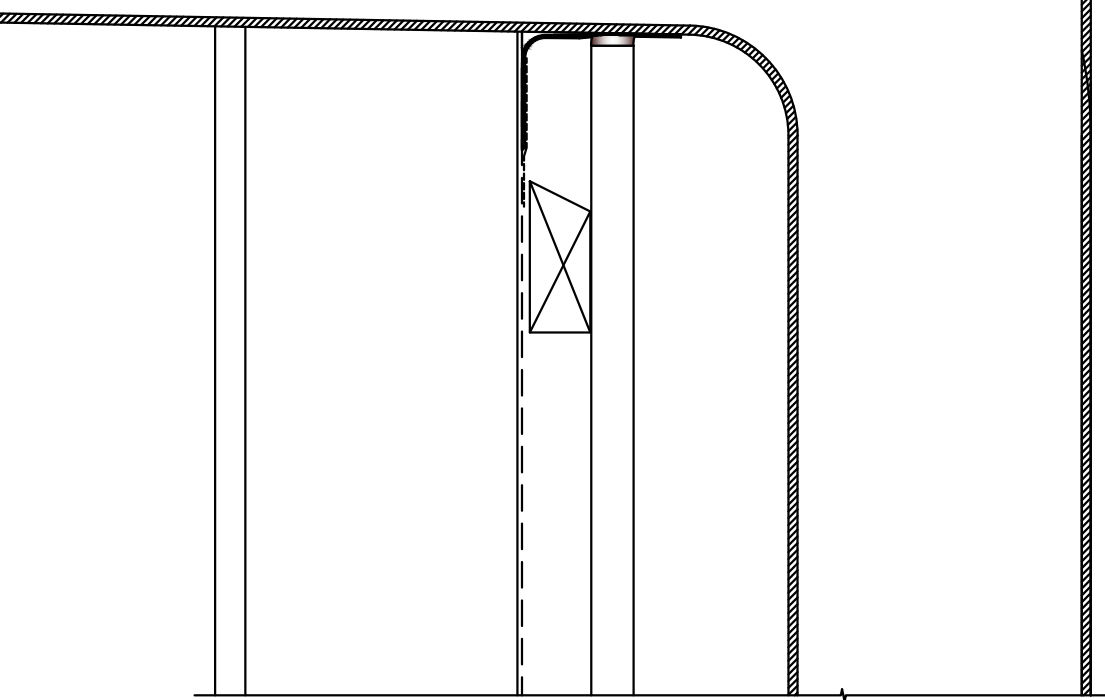
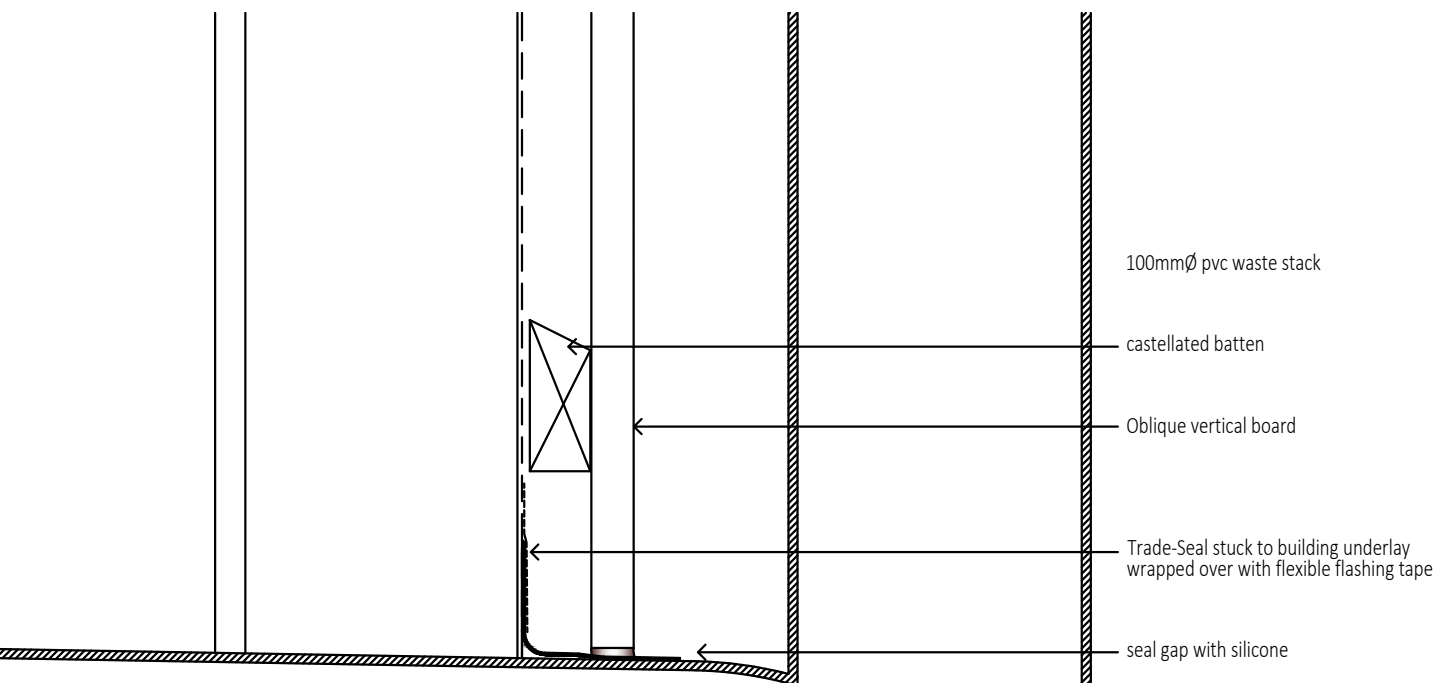


25/24 meter box sealing 1:1



handrail post plan view 1:2.5

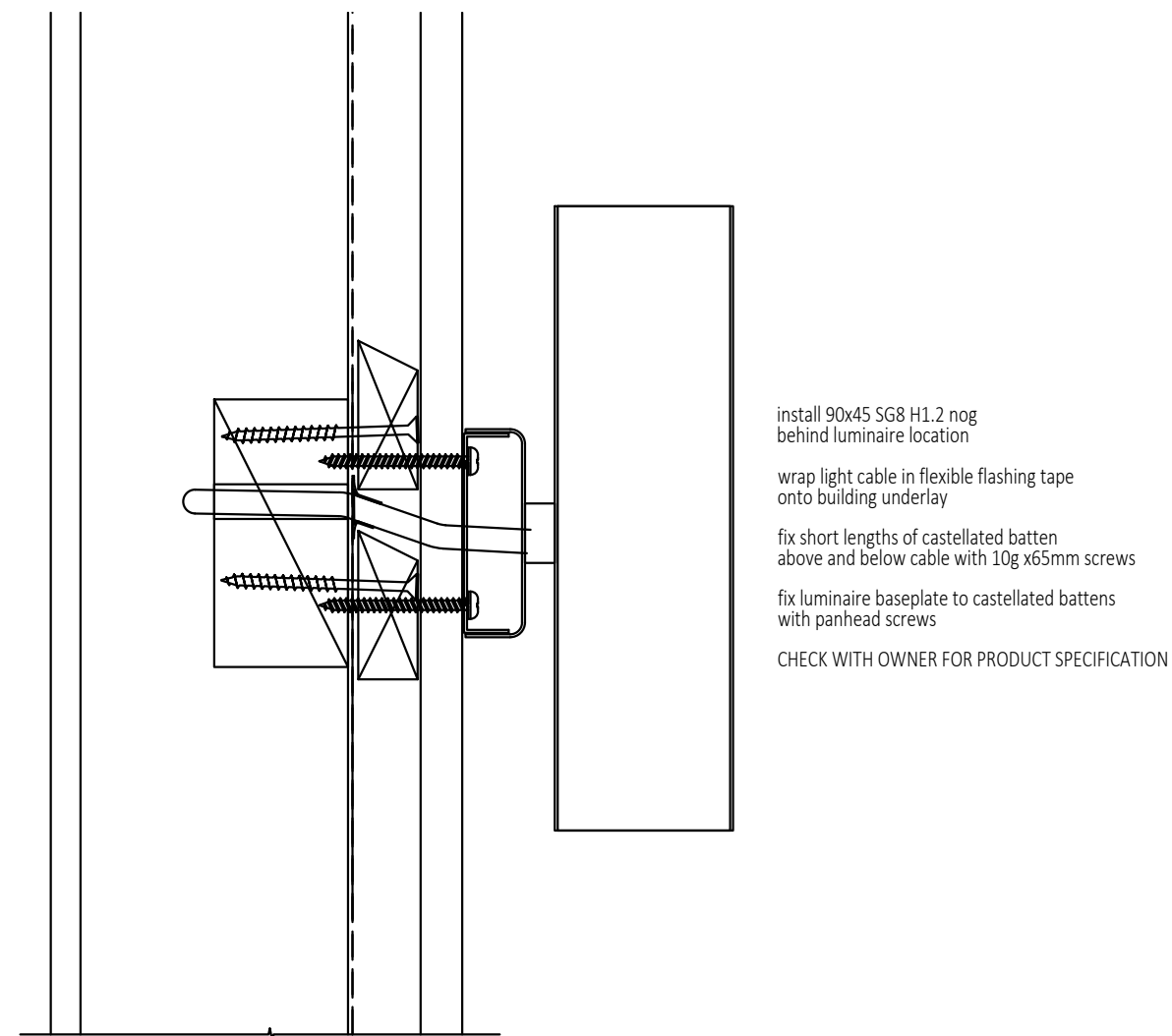
handrail post details 1:2.5
Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



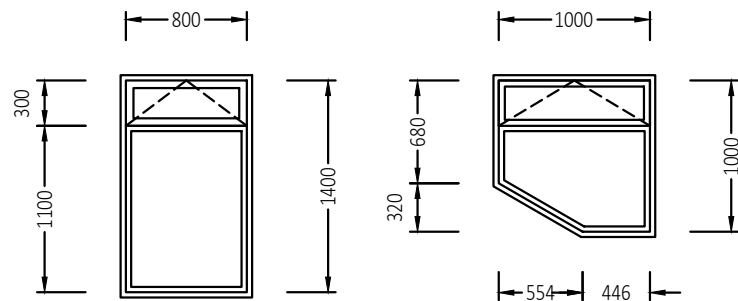
26/25 wastewater pipe detail 1:2.5

Notes:

use Trade-Seal self adhesive collars for all pipe penetrations
see Trade-Seal documents included with Specs- Products.pdf

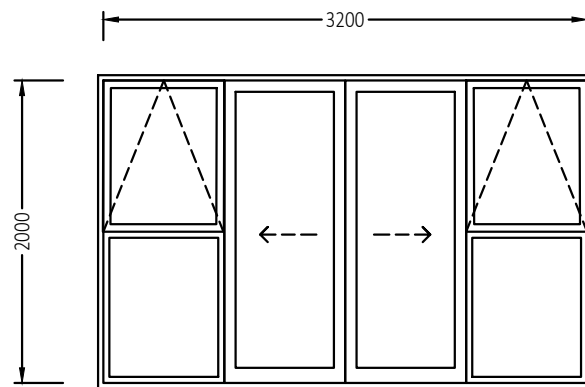


27/25 exterior wall light detail 1:2.5

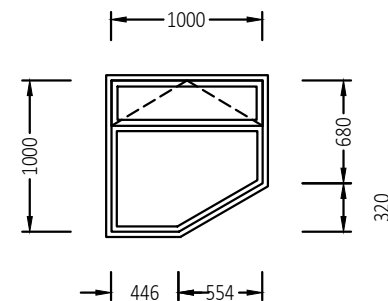


EX W#1

EX W#2



EJ#6



EX W#3

Notes:

new windows are to be single glazed
jambs are to be H3.1 treated

site measure all joinery before manufacture

all glazing is to be in accordance with NZBC F2/AS1 &
NZS 4223.3:2016 & amendments
all aluminium exterior joinery dimensions
are joinery trim sizes

windows, doors & flashings are to be installed
as per NZBC E2/AS1 exterior joinery

joinery schedule 1:50

Proposed amendment for AC & JM Hay Family Trust, 20 Bay View Road, Cable Bay



NOTES: ALL CONSTRUCTION SHALL BE TO NZS 3604:2011 AND AMENDMENTS AND OTHER RELATED DOCUMENTS THAT APPLY TO THE WORK SHOWN. ALL DIMENSIONS AND DETAIL IN THIS DRAWING SHALL BE CHECKED BY THE CONTRACTOR AND ANY DISCREPANCIES OR AMBIGUITIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF CADPLANZ. TEL. 09-407 9816. FAX. 09 407 9817. MOB. 0274 505 471. DO NOT SCALE DIMENSIONS!. DO NOT GUESS....ASK!

DATE 08/05/2025

SHEET 26

16 May 2025

Andrew Charles Hay
AC & JM Hay Family Trust
Level 1 - Suite 831
6 Johnsonville Road
Johnsonville
Wellington 6037

Dear Sir / Madam,

Building consent number: EBC-1997-1334/0/A
Property ID: 3307932
Address: 20 Bay View Road, Coopers Beach 0420
Description: Exterior alteration to existing dwelling

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **Residential** under the Operative District Plan and Resource Consent is required for breach of the following:

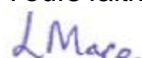
Rule:	7.6.5.1.2 RESIDENTIAL INTENSITY
Reason:	Plans demonstrate a 2 nd residential unit proposed within this existing dwelling and this site area is 1012m ² , therefore each residential unit cannot achieve the required 600m ² for its exclusive use.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully



Lysigna Mare
PIM Officer

Delivery and Operations

Emailed to: info@cadplanz.co.nz

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM
Section 37, Building Act 2004

Building Consent Number: EBC-1997-1334/0/A

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**


The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

- **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman
Manager - Building Services –
Delivery and Operations
Far North District Council (Building Consent Authority)
16 May 2025

Position:

On behalf of:

Date:



Figure 1 - Bay View Road to site



Figure 2 – Southwest corner of site



Figure 3 - Vehicle crossing looking south



Figure 4 - North along Bay View Road



Figure 5 - South up Bay View Road



Figure 6 - View along access area looking north / north east



Figure 7 - Outside view of studio



Figure 8 - Back down toward Bay View Road from access



Figure 9 - Outdoor area of studio



Figure 10 - Looking south along eastern boundary



Figure 11 - Neighbour to south / south west



Figure 12 - View from studio to north / north east



Figure 13 - View of studio and garage



Figure 14 - Immediate neighbour to north



Figure 15 - Looking east from studio