

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

## 2. Type of Consent being applied for

(more than one circle can be ticked):

- |   |   |
|---|---|
| <input type="radio"/> Land Use  | <input type="radio"/> Discharge                           |
| <input type="radio"/> Fast Track Land Use*  | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision   | <input type="radio"/> Extension of time (s.125)           |
| <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil) |   |
| <input type="radio"/> Other (please specify) _____  |   |

\* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

## 3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

## 4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant Details

**Name/s:**

Far North District Council, Infrastructure Consents

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

## 6. Address for Correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

As above

**Email:**

**Phone number:**

Work

Home

**Postal address:**

(or alternative method of service under section 352 of the act)

Postcode

*\* All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

## 7. Details of Property Owner/s and Occupier/s

*Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

NA

**Property Address/  
Location:**

Waterfront Road, Pukenui - activity is within legal road

Postcode

## 8. Application Site Details

*Location and/or property street address of the proposed activity:*

**Name/s:**

**Site Address/  
Location:**

  
  
  
 **Postcode**

**Legal Description:**

**Val Number:**

**Certificate of title:**

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request Public Notification?

☐ Yes ☐ No

## 11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- |   |   |
|---|---|
| <input type="radio"/> Subdividing land                    | <input type="radio"/> Disturbing, removing or sampling soil       |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

## 13. Assessment of Environmental Effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☐ Yes

## 13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No



## 14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

Far North District Council

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Louise Wilson on behalf of FNDC

**Signature:**

(signature of bill payer)

**Date** 22-Jul-2025

**MANDATORY**

## 15. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 15. Important information continued...

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name:** (please write in full)

**Signature:**

**Date**

*A signature is not required if the application is made by electronic means*

### Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

## Pukenui Coastal Walkway

Application for Landuse Consent  
July 2025



## Report Information and Quality Control

Prepared for:	Far North District Council
Author:	<p>Louise Wilson, Senior Infrastructure Planner, Infrastructure Consenting, FNDC</p> <p><i>Lew</i></p> <p>Date: 22 July 2025</p>
Reviewer:	<p>Losaline Finekifolau, Team Leader Infrastructure Consenting, FNDC</p> <p><i>LF</i></p> <p>Date: 22 July 2025</p>
Document Name:	Pukenui Coastal Walkway – Application for Landuse Consent, July 2025

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## 1 Applicant and Property Details

<b>Applicant:</b>	Far North District Council Infrastructure Consenting Attn: Louise Wilson
<b>Address for Service:</b>	Far North District Council Memorial Avenue Private Bag 752 Kaikohe 0440
<b>Owner of Site:</b> <b>Occupiers of Site:</b>	Far North District Council NA – Road Reserve

## 2 Information Requirements

This application has been prepared in accordance with the requirements of Schedule 4 of the Resource Management Act 1991 (the Act) having particular regard to the relevant matters in the following documents.

- New Zealand Coastal Policy Statement 2010 (NZCPS)
- National Policy Statement for Freshwater Management 2020 (NPSFM 2020).
- Resource Management (National Environmental Standards for Freshwater) Regulations 2020.
- Regional Policy Statement for Northland 2016 (RPS).
- Proposed Regional Plan for Northland – February 2024 (PRPN).
- Operative Far North District Plan 2009 (FNDP)
- Proposed Far North District Plan – March 2025 (PDP)

The Assessment of Environmental Effects refers to the following technical reports:

- Appendix 3 - Archaeological Report by Northern Archaeological Research Ltd
- Appendix 4 – Ecological Assessment by ecoLogical Solutions

### 3 Background

Far North District Council proposes to construct a coastal walkway near Pukenui at the southern end of the Houhora Harbour, Northland. The site location and approximate walkway route are shown in Figures 3.1 and 3.2 below.

South of Pukenui township, the proposed route follows an unformed legal road (Waterfront Road), continues along the true left bank of Ariawa Stream and Raio Creek to rejoin State Highway 1 north of the Houhora tennis courts.

Far North District Council (FNDC) is applying for resource consent from FNDC for the following activities that do not comply with the Operative Far North District Plan (FNDP) rules.

- Formation of a walkway and associated boardwalk structures in breach of rule 12.7.6.1.1 *Setback from Lakes, Rivers and the Coastal Marine Area.*

FNDC is also applying for resource consent from Northland Regional Council (NRC) for structures in or near the coastal marine area (CMA), and minor vegetation clearance and earthworks within 10m of riparian and wetland areas.



Fig. 3.1 – Location of Pukenui walkway site





*Fig. 3.2 Indicative location of walkway*

## **4 The Site and Surrounding Environment**

### **4.1 Subject Site**

#### **4.1.1 District Plan Zoning and Overlays**

The proposed walkway follows both formed and unformed parts of a legal road known as Waterfront Road (Figure 4.1). Legal road is not a “site” as defined in the Operative Far North District Plan (FNDP Chapter 3 - Definitions).

##### ***Formed Road***

Formed Road is designated (FNDP Appendix 5 – Designations). Consequently, activities consistent with the purpose of the designation do not need to be assessed for compliance with District Plan landuse rules. Activities do need to comply with Proposed Regional Plan (PRP) rules.

##### ***Unformed Road***

Unformed roads are not designated. Unformed legal road takes the same zoning as the adjoining land. Waterfront Road is adjacent to land zoned Coastal Residential. Consequently, the site has been assessed with reference to the Coastal Residential zone rules of the FNDP and PRP.

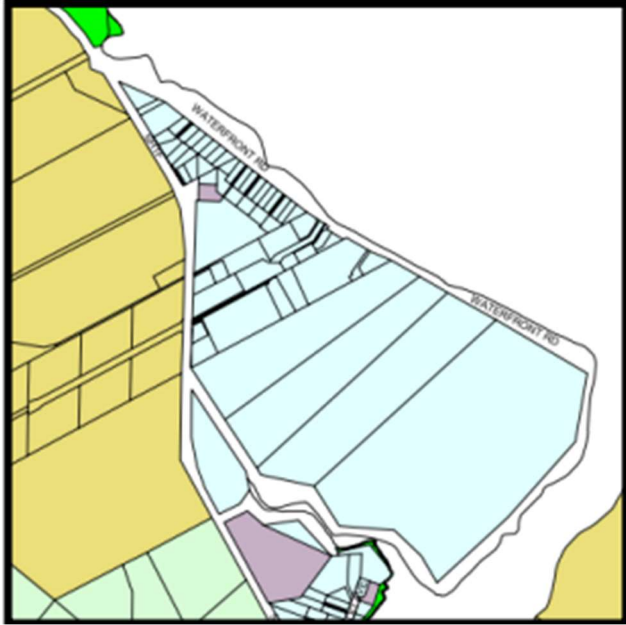


Figure. 4.1 Operative Far North District Plan map showing legal road.

The land to the south and west of the proposed walkway is zoned General Residential in the Proposed Far North District Plan (PDP) (yellow area in Figure 4.2). The land to the north is adjacent to the coastal marine area (CMA) and to the east is adjacent to riparian margin. There are several relevant overlays:

- Coastal Environment (blue vertical stripe)
- High Natural Character (green hash)
- Coastal flood hazard zone (teal and blue)



Figure 4.2 Proposed Far North District Plan map showing General Residential zone (yellow) and relevant overlays.

There are multiple registered archaeological sites (see Figure 4.4). See also archaeological assessment in Appendix 3.



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#### 4.1.2 Regional Policy Statement and Regional Plan Overlays

The proposed walkway is within the mapped RPS Coastal Environment and is subject to the Regional Policy and Regional Plan overlays.

##### **Wetlands**

There are no PRP mapped wetlands within the proposed walkway area (see Figure 4.5) However, the ecological assessment by EcoLogical identified a dune lake (see Appendix 4– Ecological Assessment).

##### **Natural Hazards**

The site is subject to several hazards including tsunami, coastal flood hazard and river flood hazard (see Figure 4.6).

##### **Character and Biodiversity**

There is an area of high natural character at the northeastern end of Waterfront Road. Several bird habitat and ecological areas are adjacent but not within the proposed walkway site. There is a vehicles on beaches overlay adjacent to the Ariawa and Raio stream confluence (See Figure 4.7 and Appendix 4 – Ecological Assessment).

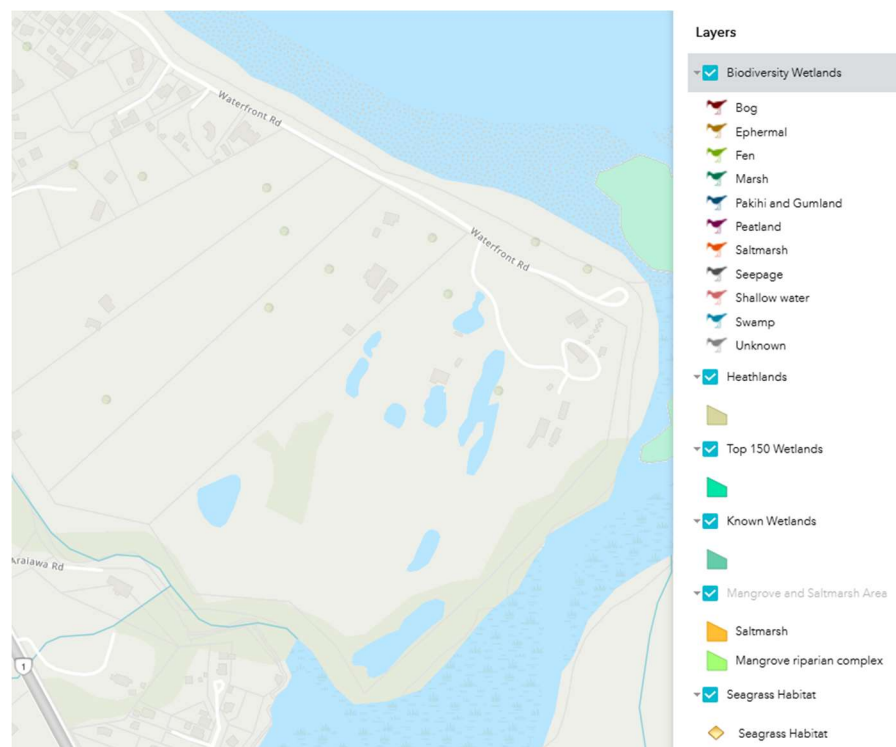


Figure 4.5 Regional Plan wetlands map (Biodiversity Wetlands accessed 05.06.2025)



Figure 4.6 Regional Plan natural hazard maps ([Natural Hazards](#) accessed 05.06.2025)

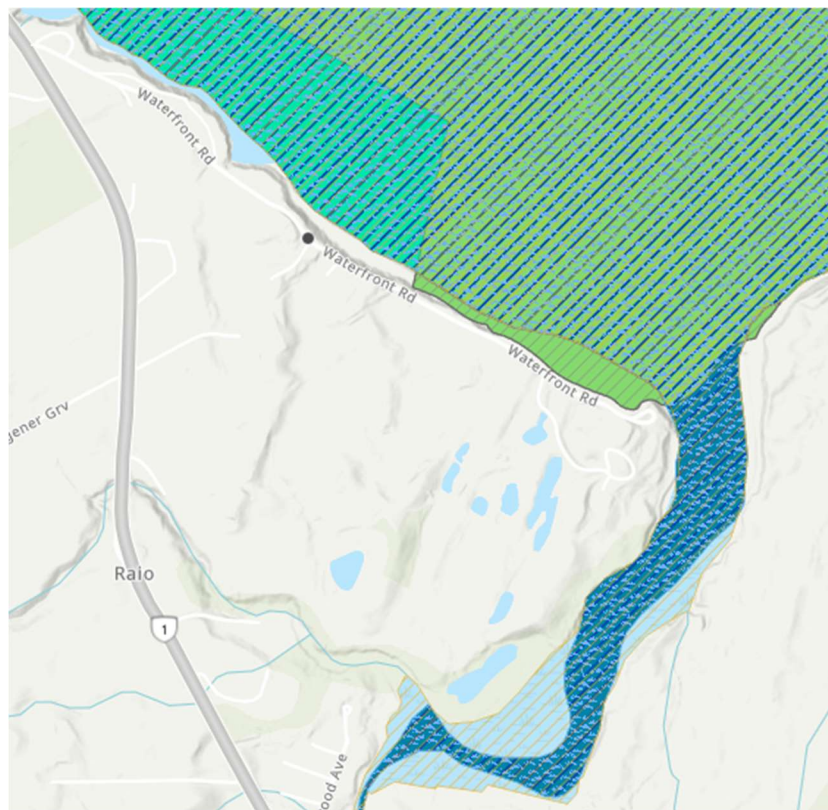


Figure 4.7 Regional plan overlays – high natural character (green), vehicles on beaches (tan stripe)

#### *4.1.3 Site Summary*

The proposed walkway passes through areas that have high natural character, ecological and archaeological value. Parts of the site are subject to coastal and river flooding hazards. These values have influenced the design of the proposal (section 5 of this report). The assessment of environmental effects in (section 7 of this report) states how effects on these values will be managed.

#### *4.2 Surrounding Environment*

The subject site is within the rural settlement of Pukenui. Statistics New Zealand describes Pukenui as a rural settlement covering 20.70 km<sup>2</sup> with an estimated population of 840 as of June 2024. Pukenui had a population of 834 in the 2023 New Zealand census, an increase of 129 people (18.3%) since the 2018 census, and an increase of 219 people (35.6%) since the 2013 census. There are areas of rural lifestyle development to the west and east of the proposed walkway. The landuse beyond the settlement is typically pastoral farming with small areas of horticulture.

State Highway 1 runs through the Pukenui settlement. Consequently, Waka Kotahi NZTA is an interested party. Visitors to Cape Reinga and 90-mile beach, boat ramps and coastal accommodation providers pass through Pukenui. Consequently, there are seasonal increases in population during summer and holidays.

Community facilities within walking distance of the proposed walkway include a playground, public toilets, wharf, and Araiawa Hall.

## 5 The Proposal

### 5.1 Proposed Plans

The proposed walkway and associated earthworks, vegetation clearance, bridges and boardwalks will be constructed in general accordance with the following plans:

- FNDC, Pukenui Coastal Walkway, Section 2 Waterfront Road, Concept Design drawings sheet 1-13, provided by Hoskin Civil, dated 26 May 2025 (Appendix 1).
- Pukenui Coastal Walkway Stage 2 Concept Design of Structure, drawing sheet number 24/009-00 to 24/009-07 provided by Frame Group, dated July 2024 (Appendix 2).

The proposed ecological mitigation measures are described in the report by ecoLogical Solutions, titled *Proposed Pukenui Walkway Wetland Assessment*, dated November 2022 (Appendix 4).

The proposed archaeological mitigation measures are described in the report by Northern Archaeological Research Ltd, titled *Pukenu Coastal Walkway Section 2 Archaeological Review and Feedback*, dated 2 October 2024 (Appendix 3).

### 5.2 Bridge and Boardwalk Location and Design

Four bridges are proposed to facilitate safe walking along the **designated** section of Waterfront Road. Proposed bridge #1 is approximately 150m from the walkway carpark. The bridge is required to span a deep open drain (see Figure 5.1). The drain is an artificial watercourse.



Figure. 5.1 Detail from Hoskin Civil Concept design sheet 2 of 13



The proposed timber bridge will be constructed in general accordance with the elevation drawing provided by Frame Group (see Figure 5.2).

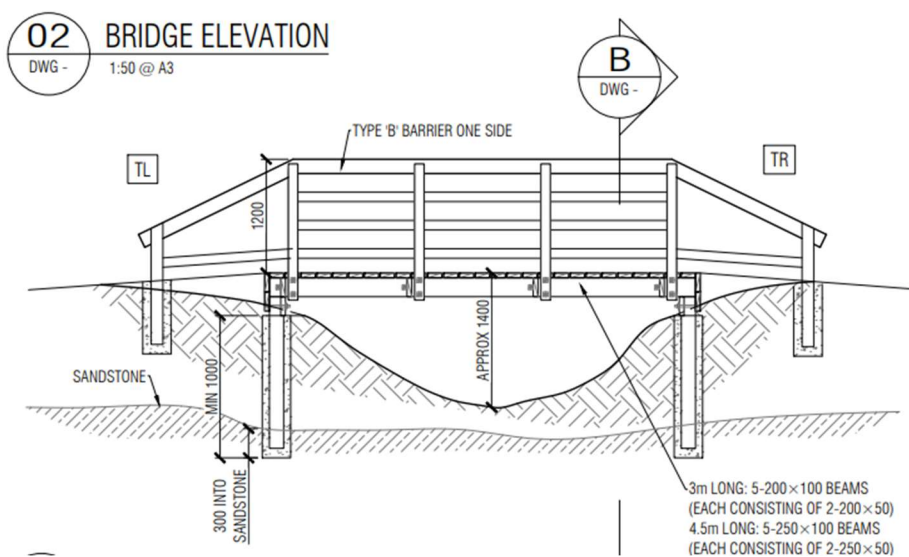


Figure 5.2 Bridge design for bridge 1 and 2 from Frame Group drawing 24/009-05

Proposed bridge #2 is located approximately 300m from the walkway carpark (see Figure 5.3). The design of bridge #2 is similar to bridge #1 (see Figure 5.2).



Figure 5.3 Detail from Hoskin Civil Concept design drawing sheet 3 of 13

Proposed bridge #3 is located opposite 38 Waterfront Road. The span and southern abutment of the bridge #3 appear to be within the Coastal Riparian and Foredune Management Area (CRFMA).

Due to the designation, consent is not required from FNDC but is required from NRC.





Figure 5.4 Detail from Hoskin Civil Concept design drawing sheet 3 of 13

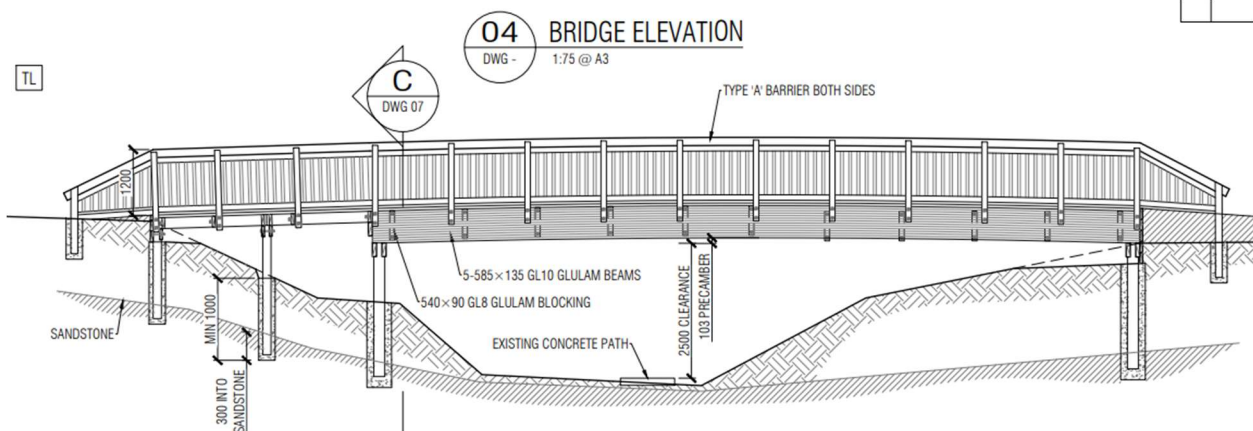


Figure 5.5 Bridge #3 elevation

Proposed bridge #4 is required to span an open drain (see Figure 5.6). The design will be similar to bridge #1 and 2 (see Figure 5.2).



Figure 5.6 Bridge #4 location detail from Frame Group drawing 24/009-01

Boardwalk #1 is located approximately 100m southeast of the vehicle turning circle at the end of Waterfront Road (Figure 5.7). The boardwalk is outside of the legal road area and appears to be within the CMA. An elevation drawing is provided in Figure 5.8.

This boardwalk is not within FNDC jurisdiction. Consent is required from NRC.



Figure 5.7 – Boardwalk #1 location from Hoskin Civil drawing sheet 6 of 13



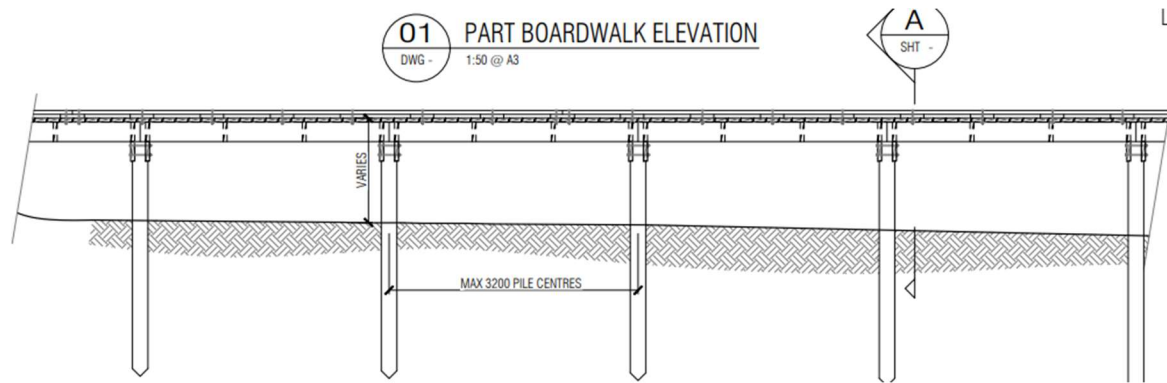


Figure 5.8 Boardwalk elevation from Frame Group drawing sheet 24/009 – 04

Boardwalk #2 is to protect a kauri plantation from damage (see Figure 5.9). Most of the boardwalk is within the legal road. There is a small area adjacent to 118 Waterfront Road that is outside the legal road. An adjacent property owner has planted kauri trees and these are being managed by NRC. Hoskin Civil liaised with NRC regarding the Kauri trees. NRCs Kauri Protection Officer advised that in accordance with the Biosecurity Act 1993 the kauri trees should be protected.

**The boardwalk is closer than 26m from the CMA and requires consent from FNDC.**



Figure 5.9 Location of boardwalk #2 from Hoskin Civil drawing sheet 7 of 13

Proposed boardwalk #3 is in legal road adjacent to the junction of Ariawa and Raio Stream (Figure 5.10). There is a dune lake to the east of this boardwalk and estuarine margin and flood hazard area to the west.

**The structure is less than 26m from a dune lake and river and needs consent from FNDC.**



Figure 5.11 Boardwalk # 3 from Frame Group drawing sheet 24/009-01. Note dune lake and estuarine margin

### 5.3 Vegetation Clearance and Earthworks

Vegetation clearance - It is proposed to keep vegetation clearance to a minimum to preserve the landscape and ecology along the walkway (see Appendix 4). However, there are some areas where vegetation must be cleared to remove trip hazards and create a safe walking surface. The area to be cleared is approximately 100m long and 2.2m wide (220m total).



Figure 5.12 Vegetation clearance detail from Hoskin Civil Concept design drawing 5 of 13

Earthworks – It is proposed to keep earthworks to a minimum to preserve archaeological sites and reduce erosion and sedimentation risks (see Appendix 3). The walkway along Waterfront Road will use trail markers every 100m instead of a formed path.

The pathway along the true left bank of the Ariawa Stream back to the SH1 will be formed. This will involve 200mm undercut and 150mm compacted fill (see Figure 5.13).

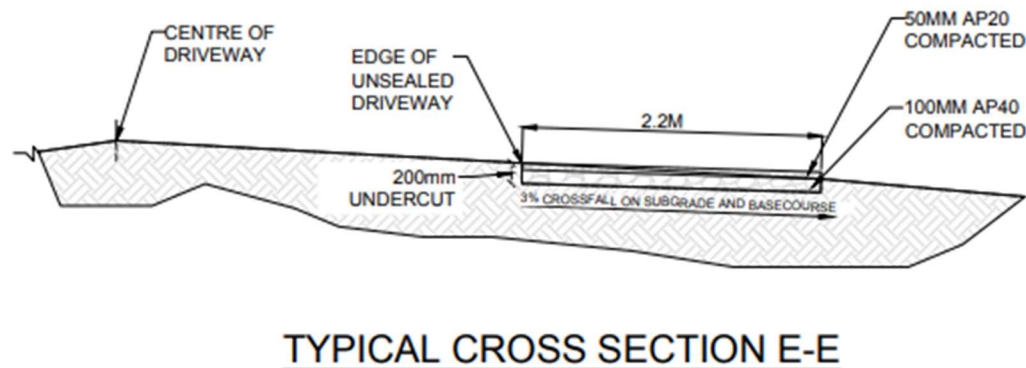


Figure 5.13 Earthworks to form walkway from Hoskin Civil Concept design drawing 13 of 13

**The formed walkway is an impermeable surface less than 26m from CMA and waterbodies. This requires consent from FNDC.**

## 5.2 Duration of Consent

Pursuant to s.123 RMA the applicant seeks the maximum 35-year consent duration. This consent term is sought because the anticipated lifespan of the boardwalk is 50 years.

## 5.3 Any Other Activities that are Part of the Proposal

The proposed walkway may include some minor activities not covered by the RMA. For example safety signage, landscape planting for neighbours, interpretation material and entry/exit gates (See Appendix 1 and 2).

FNDC has applied to Heritage NZ for an archaeological authority.



## 6 Reasons for Application

### 6.1 Operative Far North District Plan (FNDP)

#### 6.1.1 Permitted Activities that are part of the Proposal

##### *Vegetation Clearance - Permitted*

The vegetation clearance is a permitted activity under the FNDP because rule 12.2.6.1.1 (d) provides the following exemption “*the maintenance of existing roads, and private accessways and walkways including for the purposes of visibility and road safety*”. The definition of road includes unformed road.

##### *Earthworks - Permitted*

Track formation is not exempt from the definition of excavation and filling in the FNDP. However, rule 12.3.6.1.3 (a) sets permitted activity limits on a “per site” basis. The unformed road is not a “site” as defined in Chapter 3 of the FNDP.

##### *Registered Archaeological Sites - Permitted*

An archaeological authority has been granted by Heritage NZ (see Appendix 6). Subject to compliance with conditions of this authority, walkway formation adjacent to these sites will be a permitted activity.

#### 6.1.2 Activities that require landuse consent

##### *Setback from Lakes Rivers and the Coastal Marine Area - Discretionary*

The proposed boardwalks and formed walkway will be within 26m of Ariawa Stream, Raio Stream and the dune lake. Consequently, the structures cannot comply with rule 12.7.6.1.1 *Setback from Lakes, Rivers and the Coastal Marine Area*.

#### **12.7.6.1.1 SETBACK FROM LAKES, RIVERS AND THE COASTAL MARINE AREA**

For the purposes of this rule, lakes include the Manuwai and Waingaro Reservoirs.

Any building and any impermeable surface must be set back from the boundary of any lake (where a lake bed has an area of 8ha or more), river (where the average width of the riverbed is 3m or more) or the boundary of the coastal marine area, except that this rule does not apply to man-made private water bodies other than the Manuwai and Waingaro Reservoirs.

The setback shall be:

- (a) a minimum of 30m in the Rural Production, Waimate North, Rural Living, Minerals, Recreational Activities, Conservation, General Coastal, South Kerikeri Inlet and Coastal Living Zones;
- (b) a minimum of 26m in the Residential, Coastal Residential and Russell Township Zones;
- (c) a minimum of 20m in the Commercial and Industrial Zones.

Provided that these setbacks do not apply:

- (i) to activities in a Maritime Exemption Area; or

## 6.2 Proposed Far North District Plan (PDP)

FNDC has notified a proposed district plan. Most of the rules do not yet have legal effect. However, some provisions relating to earthworks, biodiversity and heritage have immediate legal effect. An assessment of the proposed activity against the relevant PDP provisions is provided below.

Rule	Activity Status	Legal Effect
GRZ-R12 - Community Facility	The proposed walkway meets the definition of a community facility.  Discretionary	Not yet operative
NATC-R1- New buildings or structures, and extensions or alterations to existing buildings or structures	The proposed structures are within a riparian margin and cannot comply with PER-2.  Discretionary	Not yet operative
EW-R10 - Earthworks for the construction, or upgrade of walkways, cycle tracks and leisure activity	The proposed activity complies with the permitted activity standards  Permitted	Operative
IB-R1 Indigenous vegetation pruning, trimming and clearance and any associated land disturbance for specified activities within and outside a Significant Natural Area	The proposed activity is for the operation, repair and maintenance of a walking track as per IB-R1.13.v.  Permitted	Operative
HH-R4 New buildings or structures, extensions or alterations to existing buildings or structures	The proposed activities are not within 20m of a scheduled heritage resource.  Permitted	Operative

## 6.3 Overall Activity Status

Resource consent is sought as a **discretionary** activity pursuant to FNDP provision 12.7.6.3.

## 7 Assessment of Environmental Effects

This assessment of environmental effects (AEE) provides the information required by Schedule 4 of the Act and is commensurate with the scale of the proposed activity. The proposed walkway is a discretionary activity.

Section 87A(4) of the RMA describes discretionary activities as follows.

- (4) If an activity is described in this Act, regulations (including any national environmental standard), a plan, or a proposed plan as a discretionary activity, a resource consent is required for the activity and—
  - (a) the consent authority may decline the consent or grant the consent with or without conditions; and
  - (b) if granted, the activity must comply with the requirements, conditions, and permissions, if any, specified in the Act, regulations, plan, or proposed plan.

Chapter 4.2 of the FNDP describes a discretionary activity as follows:

The Council has discretion to grant or decline the application pursuant to any matter described in s104 of the Act. A consent may be subject to conditions. Assessment criteria are stated in the Plan.

This assessment refers to the criteria in FNDP Chapter 12.7.7 Assessment Criteria (see below).

- (a) the extent to which the activity may adversely affect cultural and spiritual values;
- (b) the extent to which the activity may adversely affect wetlands;
- (c) the extent to which the activity may exacerbate or be adversely affected by natural hazards;
- (d) the potential effects of the activity on the natural character and amenity values of lakes, rivers, wetlands and their margins or the coastal environment;
- (e) the history of the site and the extent to which it has been modified by human intervention;
- (f) the potential effects on the biodiversity and life supporting capacity of the water body or coastal marine area or riparian margins;
- (g) the potential and cumulative effects on water quality and quantity, and in particular, whether the activity is within a water catchment that serves a public water supply;
- (h) the extent to which any proposed measures will mitigate adverse effects on water quality or on vegetation on riparian margins;
- (i) whether there are better alternatives for effluent disposal;
- (j) the extent to which the activity has a functional need to establish adjacent to a water body;
- (k) whether there is a need to restrict public access or the type of public access in situations where adverse safety or operational considerations could result if an esplanade reserve or strip were to vest.

### 7.1 Positive Effects

The proposed walkway will positively contribute to the following sustainable management outcomes:

- Economic development by creating a visitor attraction (see RMA s.5(2) *sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety*).



- Health and Safety by providing safe public access for active recreation (see RMA s.6(d) *the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers*).
- Social and cultural well-being by providing safe access for kaitiakitanga and education about coastal and riparian areas (see RMA s.6(e) *the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga*).
- Environmental enhancement through landscape planting and providing fit for purpose access as an alternative to inappropriate vehicle access (see RMA s.7(c) *maintenance and enhancement of amenity values*).
- Developing the land as a walkway enables appropriate management of natural hazard risks and is a reasonable use for unformed legal road in a riparian area (see s.6(h) *the management of significant risks from natural hazards*.)

## 7.2 Potential Adverse Effects

The potential adverse effects of the proposed walkway formation and structures have been assessed with reference to:

- the relevant sections of Schedule 4, Part 2, s.104 and s.105 of the RMA.
- the assessment criteria contained in FNDC provision 12.7.7.
- the archaeological and ecological advice in Appendix 3 and 4 of this report.
- the Ngā Tai e Rua o Te Aupōuri Environmental Management Plan (2018) and the recommendations of Te Rūnanga Nui o Te Aupōuri (Appendix 5).

The outcome of this assessment is presented below.

### 7.2.1 Cultural and Spiritual Values

The proposed walkway and associated structures are within an area that contains multiple registered archaeological sites. It is not proposed to deliberately damage or destroy any archaeological sites. However, there is a risk that heritage sites or artefacts could be disturbed. As a precaution, FNDC applied for and was granted an archaeological authority under the Pouhere Taonga Act 2014 (see Appendix 6).

FNDC engaged with Te Rūnanga Nui o Te Aupōuri about the proposed walkway and structures and potential impacts on archaeological sites and the application to Heritage NZ (See Appendix 3 and 5). Te Rūnanga Nui o Te Aupōuri have stated support for the proposal. They noted the area is significant to Te Aupōuri and within their area of interest.

Te Aupōuri recommended that:

- Historical accounts & narrative promoted by this proposal are to be aligned with Te Aupōuri.
- Clear recognition of Te Aupōuri as Manawhenua in this specific area.
- The naming and description of this proposed track or any supporting signage/ stories are set by Te Aupōuri where appropriate.

- The management of existing archaeological sites or any new artifacts/archaeological sites found will follow Te Aūpouri tikanga processes alongside archaeological recommendations.
- Any ongoing track maintenance will uphold Te Aūpouri kaitiaki values with options for Te Aūpouri to fulfill any contracts in this respect.

FNDC proposed the following consent conditions to manage adverse effects on cultural and spiritual values:

- The earthworks will be supervised by an archaeologist.
- The consent holder shall give Te Rūnanga Nui o Te Aupōuri 10 working days notice of work commencing to enable a cultural monitor to be present. The consent holder shall cover the actual and reasonable costs of one representative of Te Rūnanga Nui o Te Aupōuri being present during earthworks adjacent to archaeological sites.

Subject to compliance with proposed consent conditions the adverse effects on cultural and spiritual values will be less than minor.

#### 7.2.2 Effect on Wetlands and Water Quality

The proposal includes impermeable surfaces (track) within 26m of a dune lake (see Figure 7.1).



*Figure 7.1: Vegetation surrounding the unnamed dune lake near Ariawa Stream, Houhora.*

FNDC sought advice from ecoLogical consultants regarding the potential impact of the walkway on the dune lake (see Appendix 4). The ecologists report concluded that:

- The wetland area near Ariawa Stream has been damaged by previous (illegal) track formation and use and does not currently support natural vegetation.

- The vegetation surrounding the unnamed dune lake comprises predominantly indigenous species and includes a moderately diverse assemblage of plant species typical of unmodified wetlands.
- The extent of the vegetation clearance and earthworks required to form the track would be relatively minor and could be mitigated by additional planting along the route.
- Pest and weed control should be carried out along the route.

FNDC propose the following consent conditions to manage adverse effects on wetlands and water quality:

- Within 6 months of consent being granted the consent holder shall provide a planting and weed management plan for the approval of FNDC's duly appointed monitoring officer. The plan shall specify areas to be planted and the means of managing weeds until planted areas are established.
- The planting and weed management plan described above shall be implemented in the first planting season (May-October) following the approval of the planting and weed management plan.

Subject to compliance with the proposed consent conditions, the adverse effects of the proposed impermeable surface on the dune lake, riparian areas and water quality will be less than minor.

### 7.2.3 Natural Hazards

The proposed walkway is within an area of mapped flood risk.

Section 3 of the RMA provides the following definition of natural hazard:

***“natural hazard means any atmospheric or earth or water related occurrence (including earthquake, tsunami, erosion, volcanic and geothermal activity, landslide, subsidence, sedimentation, wind, drought, fire, or flooding) the action of which adversely affects or may adversely affect human life, property, or other aspects of the environment”***

The proposed walkway is unlikely to adversely affect human life, property or the environment for the following reasons:

- Developing the unformed road as a walkway enables access to the riparian area for education and appropriate management of natural hazard risks. This is consistent with FNDC provision 12.4.2.3 which states the following environmental outcome “Increased public awareness of the risks of natural hazards and the role of natural features in natural hazard mitigation.”
- The proposed impermeable surface (track) and boardwalks have been appropriately designed for a riparian site. They have a low profile which follows the contours of the landscape. The track and boardwalks are unlikely to exacerbate flooding hazards by impeding or redirecting flow.

FNDC propose the following consent conditions to manage adverse effects of natural hazards:

- The proposed walkway and associated earthworks, vegetation clearance, bridges and boardwalks will be constructed in general accordance with the following plans:
  - FNDC, Pukenui Coastal Walkway, Section 2 Waterfront Road, Concept Design drawings sheet 1-13, provided by Hoskin Civil, dated 26 May 2025.
  - Pukenui Coastal Walkway Stage 2 Concept Design of Structure, drawing sheet number 24/009-00 to 24/009-07 provided by Frame Group, dated July 2024.

#### 7.2.4 Natural Character and Amenity

The proposed activity is not within a mapped area of outstanding natural character or amenity overlay. The walkway follows unformed legal road that has already been modified by informal pedestrian access.

Section 3 of the RMA provides the following definition of amenity values:

***“amenity values means those natural or physical qualities and characteristics of an area that contribute to people’s appreciation of its pleasantness, aesthetic coherence, and cultural and recreational attributes”.***

The proposed walkway will contribute positively to peoples appreciation of Ariawa Stream and the dune lake. It will also enable access for cultural and recreational purposes.

Subject to compliance with the consent conditions proposed in section 7.2.1 – 7.2.3 of this report, the adverse effects of the proposed activity on natural character and amenity will be less than minor.

#### 7.2.5 Biodiversity

The proposed walkway traverses a riparian area and is adjacent to a dune lake (wetland). There are no reserves, conservation areas or significant natural area (SNA) overlays.

Section 3 of the RMA provides the following definition of biological diversity:

***biological diversity means the variability among living organisms, and the ecological complexes of which they are a part, including diversity within species, between species, and of ecosystems***

There are potential positive effects if the walkway is used to access riparian areas for replanting and restoration.

The area is already being used informally as a walkway. This has caused erosion in some areas. Providing an appropriately constructed walkway will encourage pedestrians to stay on a path and avoid adversely affecting sensitive habitat areas.

FNDC sought advice from ecoLogic Consultants Ltd (see Appendix 4). Subject to compliance with the consent conditions offered in section 7.2.2 of this report, the adverse effects of the proposed activity on biological diversity will be no more than minor.

#### 7.2.6 Transport and Public Safety

The proposed walkway is located within unformed legal road as defined by s.315 of the Local Government Act 1974. The proposed walkway is consistent with the transport and access purpose for which this land was vested.

The unformed road is currently being used informally for recreational access to Ariawa Stream and the CMA. There are areas where the existing informal access is a risk to the health and safety of people and the environment. The proposed walkway and associated structures will make the walkway safer for pedestrians and protect habitat areas from erosion. FNDC will be responsible for maintaining the walkway to protect public safety.

The construction and maintenance of walkways contributes to inclusive access, active transport, tourism and economic development. This is consistent with the Regional Land Transport Plan 2021-27 (see section 8 of this report).

FNDC propose the following consent conditions to manage adverse effects on transport and public safety:

- The consent holder shall ensure the walkway and associated structures are regularly inspected and maintained to ensure public safety.

#### 7.3 Adverse Effects Assessment Summary

The proposed boardwalk passes through areas that have high natural character, ecological and archaeological value. Parts of the site are subject to coastal and river flooding hazards. The potential adverse effects of the proposed walkway and associated structures has been assessed with reference to the requirements of Schedule 4 and the relevant assessment criteria in FNDC chapter 12.7.7.

The proposed walkway will have positive effects on community well-being and recreational access.

FNDC sought expert archaeological and ecological advice (Appendix 3 and 4) and advice from Te Rūnanga Nui o Te Aupōuri (Appendix 5). This advice has influenced proposed consent conditions.

Subject to compliance with proposed consent conditions, the adverse effects of the proposed activity on the wider environment will be no more than minor.

## 8 Statutory Assessment

### 8.1 Section 104(1)(a) of the Act

Section 104(1)(a) requires that when considering an application for a resource consent, the consent authority must, subject to Part 2, have regard to ‘any actual and potential effects on the environment of allowing the activity’. An assessment of the adverse effects of the proposal is set out in Section 7 above, where it was considered the adverse effects on the environment were no more than minor.

### 8.2 Section 104(1)(b) of the Act

Section 104(1)(b) of the Act requires that when considering an application for a resource consent, the council must, subject to Part 2, have regard to:

any relevant provisions of—

- (i) a national environmental standard:
- (ii) other regulations:
- (iii) a national policy statement:
- (iv) a New Zealand coastal policy statement:
- (v) a regional policy statement or proposed regional policy statement:
- (vi) a plan or proposed plan; and

The relevant documents to be assessed are tabled below.

Requirement	Document
National Policy Statement	New Zealand Coastal Policy Statement 2010 (NZCPS)
Regional Policy Statement	Regional Policy Statement for Northland 2016 (RPS)
Plan or Proposed Plan	Operative Far North District Plan 2009 (FNDP)
Plan or Proposed Plan	Proposed Far North District Plan March 2025 (PDP)

The proposed walkway and associated structures are a Discretionary activity. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects the activity has been provided below.

### 8.2.1 New Zealand Coastal Policy Statement

The proposed walkway traverses an area within the mapped RPS coastal overlay. It is therefore appropriate to consider the objectives and policies of the New Zealand Coastal Policy Statement 2010 (NZCPS).

The NZCPS took effect on 3 December 2010 and provides national direction for the management of the coastal environment. The purpose of the NZCPS is set out in section 56 of the Act, which states:

*The purpose of a New Zealand coastal policy statement is to state objectives and policies in order to achieve the purpose of this Act in relation to the coastal environment of New Zealand.*

The PRPN and RPS give regional and local effect to the NZCPS. Consequently, an in-depth analysis of the NZCPS has not been carried out. However, an assessment of the proposed activity against the relevant policies is provided below to demonstrate alignment. Objectives 3, 4, and 5, and Policies 2, 6, 11, 13, 14, 17, 18, and 19 are particularly relevant.

#### **Tangata Whenua and Heritage**

*Objective 3 To take account of the principles of the Treaty of Waitangi, recognise the role of tangata whenua as kaitiaki and provide for tangata whenua involvement in management of the coastal environment.*

*Policy 2 The Treaty of Waitangi, tangata whenua and Māori heritage.*

*Policy 17 Historic heritage identification and protection Protect historic heritage in the coastal environment from inappropriate subdivision, use, and development.*

FNDC engaged with Te Rūnanga Nui o Te Aupōuri and Heritage NZ regarding the proposed walkway. Refer to section 7 of this report for proposed consent conditions that will give effect to these policies.

#### **Recreation and Walking Access**

*Objective 4 To maintain and enhance the public open space qualities and recreation opportunities of the coastal environment.*

*Policy 18 Public open space - Recognise the need for public open space within and adjacent to the coastal marine area, for public use and appreciation including active and passive recreation, and provide for such public open space.*

*Policy 19 Walking access - Recognise the public expectation of and need for walking access to and along the coast that is practical, free of charge and safe for pedestrian use. Maintain and enhance public walking access to, along and adjacent to the coastal marine area,*

The proposed coastal walkway gives effect to these policies by enhancing safe access and enjoyment of Houhora Harbour.



## **Coastal Hazards and Climate Change**

*Objective 5 To ensure that coastal hazard risks taking account of climate change, are managed*

The proposed activity will not increase coastal hazard risks (see section 7.2.3 of this report).

## **Biodiversity and Natural Character**

*Policy 11 Indigenous biological diversity (biodiversity) - To protect indigenous biological diversity in the coastal environment.*

*Policy 13 Preservation of natural character - To preserve the natural character of the coastal environment and to protect it from inappropriate subdivision, use, and development*

*Policy 14 Restoration of natural character - Promote restoration or rehabilitation of the natural character of the coastal environment.*

The proposed walkway will enable access to coastal and riparian areas for restoration. Risks to biodiversity and natural character values were assessed in section 7 of this report and found to be no more than minor.

Overall, the proposed activity is consistent with the NZCPS.

### **8.2.2 Regional Policy Statement for Northland 2016**

The purpose of a regional policy statement is set out in Section 59 of the Act, which states:

*“The purpose of a regional policy statement is to achieve the purpose of the Act by providing an overview of the resource management issues of the region and policies and methods to achieve integrated management of the natural and physical resources of the whole region”.*

The RPS was made operative in 2016. The FNDP was written in 2009. Consequently, the relevant RPS provisions may not have been carried through to the FNDP. An assessment of the proposed activity against the RPS is therefore provided below.

## **Tangata Whenua and Heritage**

*Objective 3.12 Tangata whenua role in decision-making - Tangata whenua kaitiaki role is recognised and provided for in decision-making over natural and physical resources*

FNDC engaged with Te Rūnanga Nui o Te Aupōuri. Recommendations from this engagement have been incorporated into the proposed consent conditions in section 7 of this report.



## **Recreation and Walking Access**

*Objective 3.5 Enabling economic wellbeing - Northland's natural and physical resources are sustainably managed in a way that is attractive for business and investment that will improve the economic wellbeing of Northland and its communities*

The proposed walkway will be an attraction for visitors and a recreational asset for residents. Walking and cycling tracks are economic enablers (refer to - <https://www.nrc.govt.nz/resource-library-summary/transport-publications/regional-land-transport-plan-for-northland-2021-2027-2023-review/>).

## **Coastal Hazards and Climate Change**

*Objective 3.13 Natural hazard risk - The risks and impacts of natural hazard events (including the influence of climate change) on people, communities, property, natural systems, infrastructure and our regional economy are minimized*

The proposed walkway and associated structures will not increase the risks or impacts of climate change. Improved access to coastal and riparian areas contributes to public awareness of the environment and hazards. The proposed walkway is an appropriate use of unformed legal road. The unformed road is a buffer between the hazard area and coastal residential development.

## **Biodiversity and Natural Character**

*Objective 3.4 Indigenous ecosystems and biodiversity*  
*Policy 4.4 Maintaining and enhancing indigenous ecosystems and species*  
*Objective 3.14 Natural character, outstanding natural features, outstanding natural landscapes and historic heritage*

An assessment of the potential adverse effects of the proposed walkway on biodiversity was carried out by ecoLogic Consultants Ltd (Appendix 4). The ecosystem values of the subject site have historically been degraded by pest plants and vehicles. Subject to compliance with proposed consent conditions, the proposed walkway will improve the biodiversity value of the area. Natural character will not be adversely affected. Public enjoyment of the walkway will increase awareness of the biodiversity and natural character values of the area.

The proposed activity is consistent with the RPS.

### 8.2.3 Operative Far North District Plan 2009

The purpose of a district plan is set out in s.72 of the Act which states,

*“The purpose of the preparation, implementation, and administration of district plans is to assist territorial authorities to carry out their functions in order to achieve the purpose of this Act.”*

An assessment of the proposed activity against the relevant objectives and policies of the FNDP is set out below.

#### Coastal Residential Zone

##### 10.8.3 OBJECTIVES

*10.8.3.2 To protect the coastline from inappropriate subdivision, use and development.*

*10.8.3.3 To enable the development of coastal settlements where urban amenity and coastal environmental values are compatible.*

##### 10.8.4 POLICIES

*10.8.4.2 Non-residential activities within the Coastal Residential Zone shall be designed, built, and located so that any effects that are more than minor on the existing character of the residential environment or the scale and intensity of residential activities, are avoided, remedied or mitigated.*

#### Lakes, Rivers, Wetlands and the Coastline

##### 12.7.3 OBJECTIVES

*12.7.3.2 To protect the natural, cultural, heritage and landscape values and to promote the protection of the amenity and spiritual values associated with the margins of lakes, rivers and indigenous wetlands and the coastal environment, from the adverse effects of land use activities, through proactive restoration/rehabilitation/revegetation.*

*12.7.3.3 To secure public access (including access by Maori to places of special value such as waahi tapu, tauranga waka, mahinga kai, mahinga mataitai, mahinga waimoana and taonga raranga) to and along the coastal marine area, lakes and rivers...*

##### 12.7.4 POLICIES

*12.7.4.6 That public access to and along lakes, rivers and the coastline be provided as a consequence of development or as a result of Council (see Method 10.5.19) or public initiatives except where it is necessary to restrict access or to place limits on the type of access...,*

*12.7.4.9 That riparian areas in Council ownership be managed so as to protect and enhance the water quality of surface waters.*

*12.7.4.15 To encourage the integrated protection and enhancement of riparian and coastal margins through:*

*(a) planting and/or regeneration of indigenous vegetation;*

*(b) pest and weed control;*

*(c) control (including, where appropriate, exclusion) of vehicles, pets and stock*

The proposed walkway is an appropriate use of unformed coastal road. The adverse effects of the proposed activity will be no more than minor and are compatible with the character and amenity of the adjacent coastal residential zone.

With reference to FNDC methods of implementation 12.7.5.2, 12.7.5.3 and 12.7.5.5, it is clear the District Plan intends FNDC to expend resources on improving physical access to and restoring riparian and coastal areas.

The proposed walkway gives effect to the policies and objectives of the FNDC.

#### **8.2.4 Proposed Far North District Plan 2025**

Far North District Council has notified the Proposed Far North District Plan (PDP). Pursuant to s.86B(1) most provisions of the PDP do not yet have legal effect. The exception being provisions relating to s.86B(3) matters. These matters include biodiversity, earthworks, heritage and water quality. As these matters are relevant to the proposed activity an assessment against the proposed objectives and policies is provided below.

##### **General Residential Zone**

*GRZ-O3 - Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone.*

*GRZ-O5 - Land use and subdivision in the General Residential zone provides communities with functional and high amenity living environments.*

*GRZ-P4 - Enable non-residential activities that: do not detract from the vitality and viability of the Mixed Use zone; support the social and economic well-being of the community; are of a residential scale; and are consistent with the scale, character and amenity of the General Residential zone.*

##### **Natural Character Area**

*NATC-O1 - The natural character of wetland, lake and river margins are managed to ensure their long-term preservation and protection for future generations.*

*NATC-O2 - Land use and subdivision is consistent with and does not compromise the characteristics and qualities of the natural character of wetland, lake and river margins.*

*NATC-P1 - Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the natural character of wetland, lake and river margins.*

*NATC-P4 - Provide for buildings or structures, and extensions to existing buildings or structures on wetland, lake and river margins ...*

*NATC-P6 - Manage land use and subdivision to preserve and protect the natural character of wetland, lake and river margins, and address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application...*

The proposed walkway will contribute to the well-being of the community by providing opportunities for active recreation. The walkway will be a recreational asset that improves the character and amenity of the general residential zone.

Section 7.1 of this report stated the positive effects of the proposed walkway. The walkway will positively contribute to public access and residential character and amenity. Natural hazard risks and risks to heritage, cultural and ecological values can be managed and will be no more than minor.

The proposed activity is consistent with the objectives and policies of the PDP.

#### **8.2.5 Section 104(1)(b) Summary**

FNDC considered the relevant provisions of the NZCPS, RPS, FNDP and PDP. The proposed activity gives effect to policies relating public access, recreation, amenity and well-being. The proposed activity is consistent with policies relating to natural hazards, biodiversity and water quality.

#### **8.3 Section 104(1)(c) of the Act**

Section 104(1)(c) of the Act states that consideration must be given to “any other matters that the consent authority considers relevant and reasonably necessary to determine the application.”

FNDC has considered the Ngā Tai e Rua o Te Aupōuri Environmental Management Plan (2018). Policies WM11.1, WM11.2, WM11.6, T6.3, T7.3.

## 9 Notification Assessment – Sections 95A to 95G of the RMA

### 9.1 Public Notification Assessment

In accordance with Section 95A, public notification is not required for the following reasons:

- The applicant has not requested notification.
- There is no mandatory requirement to notify.
- There are no special circumstances requiring notification.
- The adverse effects on the wider environment will be no more than minor (see AEE in section 7).

### 9.2 Limited Notification

In accordance with Section 95B, limited notification is not required for the following reasons:

- The proposed activity will not adversely affect any land or persons that are the subject of statutory acknowledgement.
- The adverse effects of the proposed activity will be less than minor and there are no affected persons.
- No special circumstances exist.

### 9.3 Tangata Whenua

FNDC engaged with Te Aūpouri about the proposed walkway, potential impacts on archaeological sites and the application to Heritage NZ (See Appendix 3 and 5).

Te Rūnanga Nui o Te Aupōuri have stated support for the proposal. They noted the area is significant to Te Aupōuri and within their area of interest. Te Aupōuri recommended that:

- Historical accounts & narrative promoted by this proposal are to be aligned with Te Aūpouri.
- Clear recognition of Te Aūpouri as Manawhenua in this specific area.
- The naming and description of this proposed track or any supporting signage/ stories are set by Te Aūpouri where appropriate.
- The management of existing archaeological sites or any new artifacts/archaeological sites found will follow Te Aūpouri tikanga processes alongside archaeological recommendations.
- Any ongoing track maintenance will uphold Te Aūpouri kaitiaki values with options for Te Aūpouri to fulfill any contracts in this respect.

### 9.4 Written Approvals

No written approvals have been provided with the application.

### 9.5 Notification Assessment Summary

Based on the assessment of effects, it is concluded that the application does not need to be notified.



## 10 Part 2 – Purpose of the Act

The High Court decision in *Davidson Family Trust and Marlborough District Council* confirmed the Environment Court decision and the Court of Appeal decision held that there is a requirement to have regard to Part 2 when determining Resource Consent applications. However, this may be achieved by relying on planning documents that have passed the King Salmon test or by direct referral to Part 2 by the decision maker. The *King Salmon* test applies to resource consent applications, where the planning documents are invalid, have incomplete coverage or uncertainty of meaning. Where the coverage by National, Regional and District Policies and Plans fails this test the decision maker should refer to Part 2 for assistance in determining the application.

This application has considered the relevant statutory documents (see section 8 of this report) and determined that:

- Coverage of Part 2 within the policy documents is both complete, certain and clear.
- The proposed activity is consistent with the relevant National, Regional and District Policies.

Consequently, the proposed activity is consistent with Part 2.

## 11 Conclusion

FNDC is applying for resource consent from FNDC for impermeable surfaces and structures associated with forming a coastal walkway on legal road at Pukenui. The proposed activity breaches FNDC rule 12.7.6.1.1 Setback from Lakes, Rivers and the Coastal Marine Area.

Consent is sought for a term of 35 years (see sections 5 and 6 of this report).

FNDC commissioned ecological advice from ecoLogical Solutions Ltd and archaeological advice from Northern Archaeological Research Ltd (see Appendix 3 and 4). FNDC also engaged with Te Rūnanga Nui o Te Aupōuri (Appendix 5).

This expert advice was used to assess the potential adverse effects of the proposal. It was determined that, subject to compliance with proposed conditions of consent, the adverse effects of the activity on the environment will be no more than minor (see section 7 of this report).

The proposed activity was assessed against the objectives and policies of the NZCPS, RPS, FNDC and PDP. The activity was found to be consistent with objectives and policies particularly policies regarding enabling public access (see section 8 of this report).

The proposed activity satisfies the requirements of s.104.

**FNDC respectfully requests that FNDC grant resource consent on a non-notified basis.**

## Appendix 1 Hoskin Civil Site Plans

## Appendix 2 Frame Group Construction Details

## Appendix 3 Archaeological Assessment

## Appendix 4 Ecological Assessment



## Appendix 5 Consultation Emails

## Appendix 6 Archaeological Authority





### DRAWING INDEX:

S1 - S11. LOCATION

S12 - S13. TYPICAL SECTION A-A, B-B, C-C, D-D, E-E, CARPARK DETAIL

S14 - S24. FRAME GROUP - CONCEPT DESIGN OF STRUCTURES

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## **FAR NORTH DISTRICT COUNCIL PUKENUI COASTAL WALKWAY SECTION 2 WATERFRONT ROAD**

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DATE: 26 MAY 2025



- NOTES:
- PATH SHALL BE SET BACK A MINIMUM 1.2m FROM EDGE OF ROAD UNLESS PHYSICAL CONSTRAINTS DICTATE OTHERWISE.
  - PATH TO BE 2.2m WIDE.
  - PATH TO HAVE 3% CROSSFALL.
  - PATH TO HAVE A MINIMUM CLEAR WIDTH OF 1.5m BETWEEN OR AROUND OBSTRUCTIONS SUCH AS POWER POLES, LIGHTING COLUMNS ETC. MOVE OBSTRUCTIONS WHERE FEASIBLE.
  - PATH IS TO BE FINISHED WITH COMPACTED AP20.
  - 1.1m HIGH FALL HEIGHT BARRIERS TO BE INSTALLED AS PER BUILDING CODE WHERE REQUIRED.
  - POSTS FOR TRAIL MARKERS TO INCLUDE QR CODES TO TELL STORY AND RECOGNISE INTERESTING HISTORIC AND CULTURAL FEATURES ALONG THE ROUTE.

CLIENT:



**Far North  
District Council**  
*Te Kaunihera o Tai Tokerau ki te Raki*

PROJECT:  
PUKENUI COASTAL WALKWAY  
SECTION 2  
WATERFRONT ROAD

PROJECT No:

DWG:  
LOCATION

DATE: 26 MAY 2025	SCALE: NTS @ A3
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DRAWN: LW	CHECKED: JO	APPROVED:
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SHEET No: 1 OF 13	DWG No:
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- KEY:
- PATH FOLLOWS TRAIL MARKERS
  - TRAIL MARKER
  - BRIDGE
  - ROAD SECTION
  - 2.2m WIDE PATH COMPACTED AP20
  - 2.2m WIDE TIMBER BOARDWALK
  - SIGN TO ALERT DRIVERS OF SHARED ROAD SECTION
  - HEDGE PLANTING

- NOTES:
- PATH SHALL BE SET BACK A MINIMUM 1.2m FROM EDGE OF ROAD UNLESS PHYSICAL CONSTRAINTS DICTATE OTHERWISE.
  - PATH TO BE 2.2m WIDE.
  - PATH TO HAVE 3% CROSSFALL.
  - PATH TO HAVE A MINIMUM CLEAR WIDTH OF 1.5m BETWEEN OR AROUND OBSTRUCTIONS SUCH AS POWER POLES, LIGHTING COLUMNS ETC. MOVE OBSTRUCTIONS WHERE FEASIBLE.
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  - POSTS FOR TRAIL MARKERS TO INCLUDE QR CODES TO TELL STORY AND RECOGNISE INTERESTING HISTORIC AND CULTURAL FEATURES ALONG THE ROUTE.

CLIENT:

 **Far North District Council**  
*Te Kaunihera o Tai Tokerau ki te Raki*

PROJECT:  
PUKENUI COASTAL WALKWAY  
SECTION 2  
WATERFRONT ROAD

PROJECT No:

DWG:  
CONCEPT DESIGN

DATE:  
26 MAY 2025

SCALE:  
NTS @ A3

DRAWN:  
LW

CHECKED:  
JO

APPROVED:

SHEET No:  
2 OF 13

DWG No:

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WATERFRONT ROAD

PROJECT No:

DWG:  
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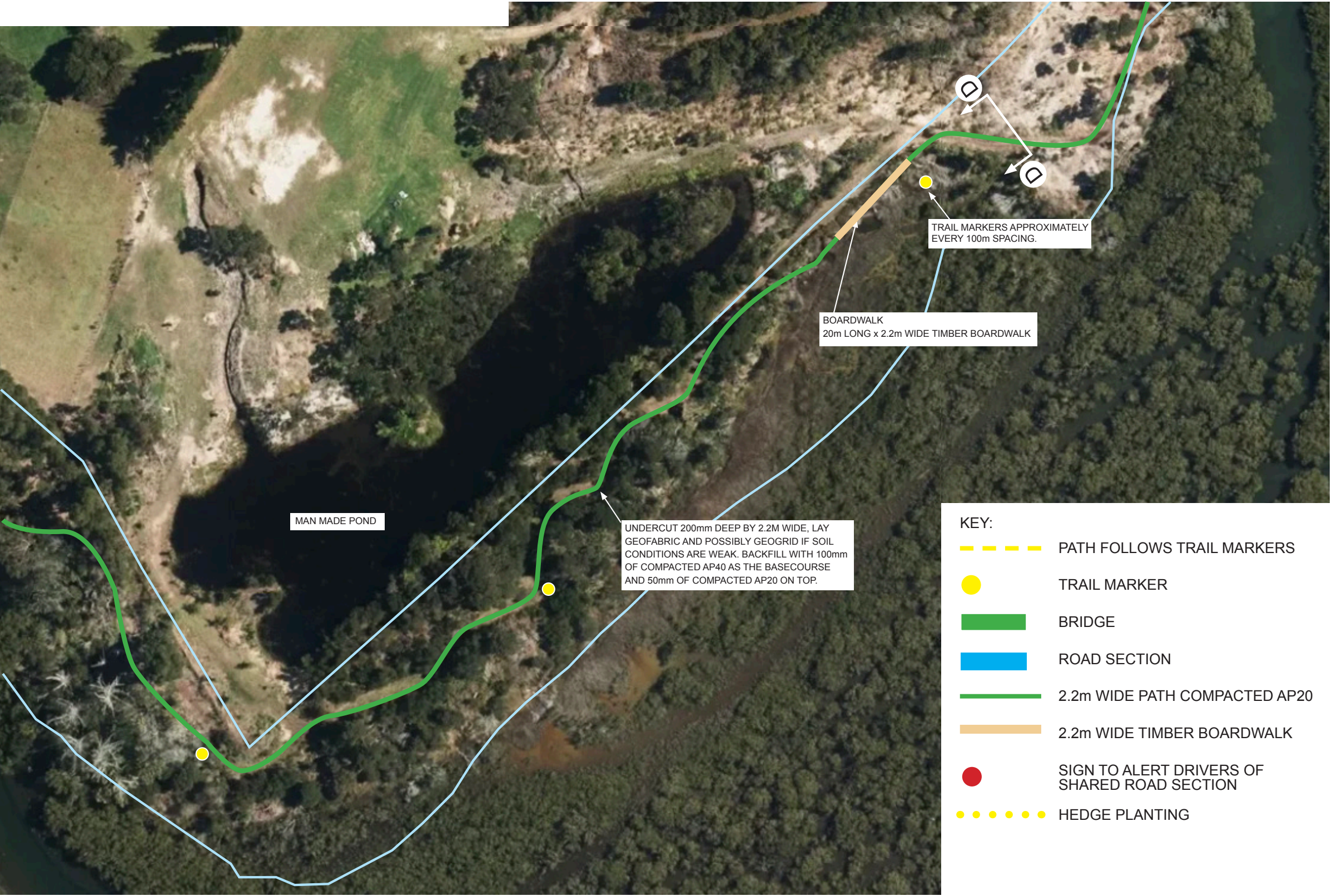
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DATE: 26 MAY 2025	SCALE: NTS
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DRAWN: LW	CHECKED: JO	APPROVED:
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SHEET No: 10 OF 13	DWG No:
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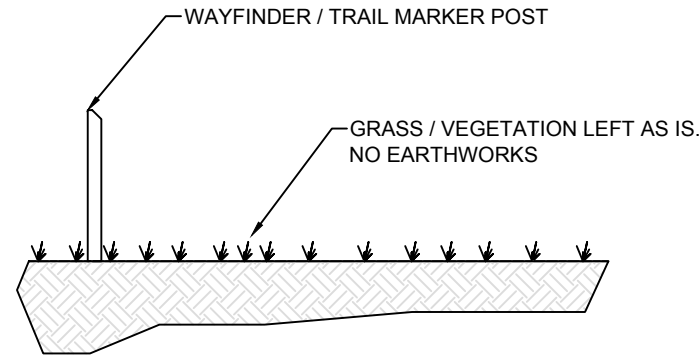
SHEET No: 11 OF 13	DWG No:
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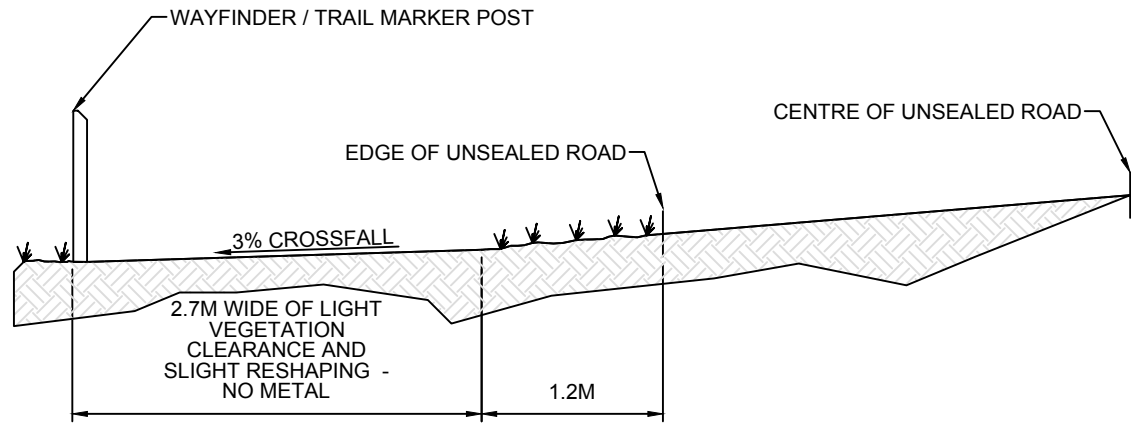
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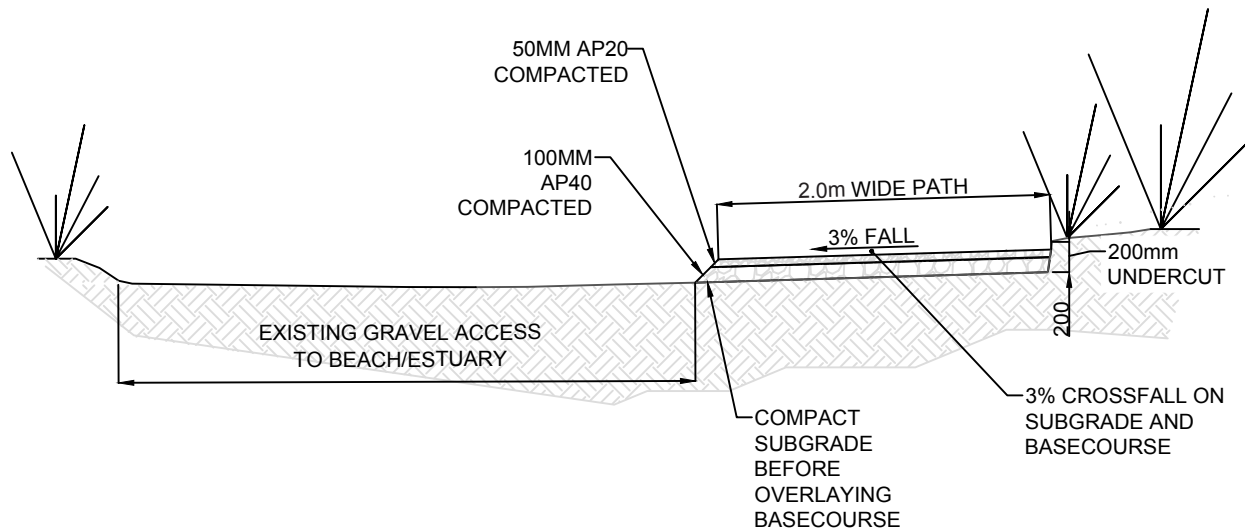
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TYPICAL CROSS SECTION A-A



TYPICAL CROSS SECTION B-B



TYPICAL CROSS SECTION C-C

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# Pukenui Coastal Walkway Stage 2

## Concept Design of Structures

Prepared for Far North District Council



July 2024



Level 1, 24 York Street,  
Parnell, Auckland 1052

PO Box 105105  
Auckland City 1143



(09) 638 7221



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[frame.co.nz](https://frame.co.nz)

Job Details

Far North District Council  
Pukenui Coastal Walkway Stage 2: Concept Design of Structures  
Frame Group Job Number: 24/009

Drawings Index

Drawing Number	Drawing Title	Latest Revision
24/009-00	Overall plan	A
24/009-01	Detailed plan I	
24/009-02	Detailed plan II	
24/009-03	Detailed plan III	A
24/009-04	Boardwalk – Part elevation and section	
24/009-05	3.0 and 4.5m long Bridge – Plan, elevation and section	
24/009-06	18m long Bridge – Plan and elevation	
24/009-07	18m long Bridge – Section	

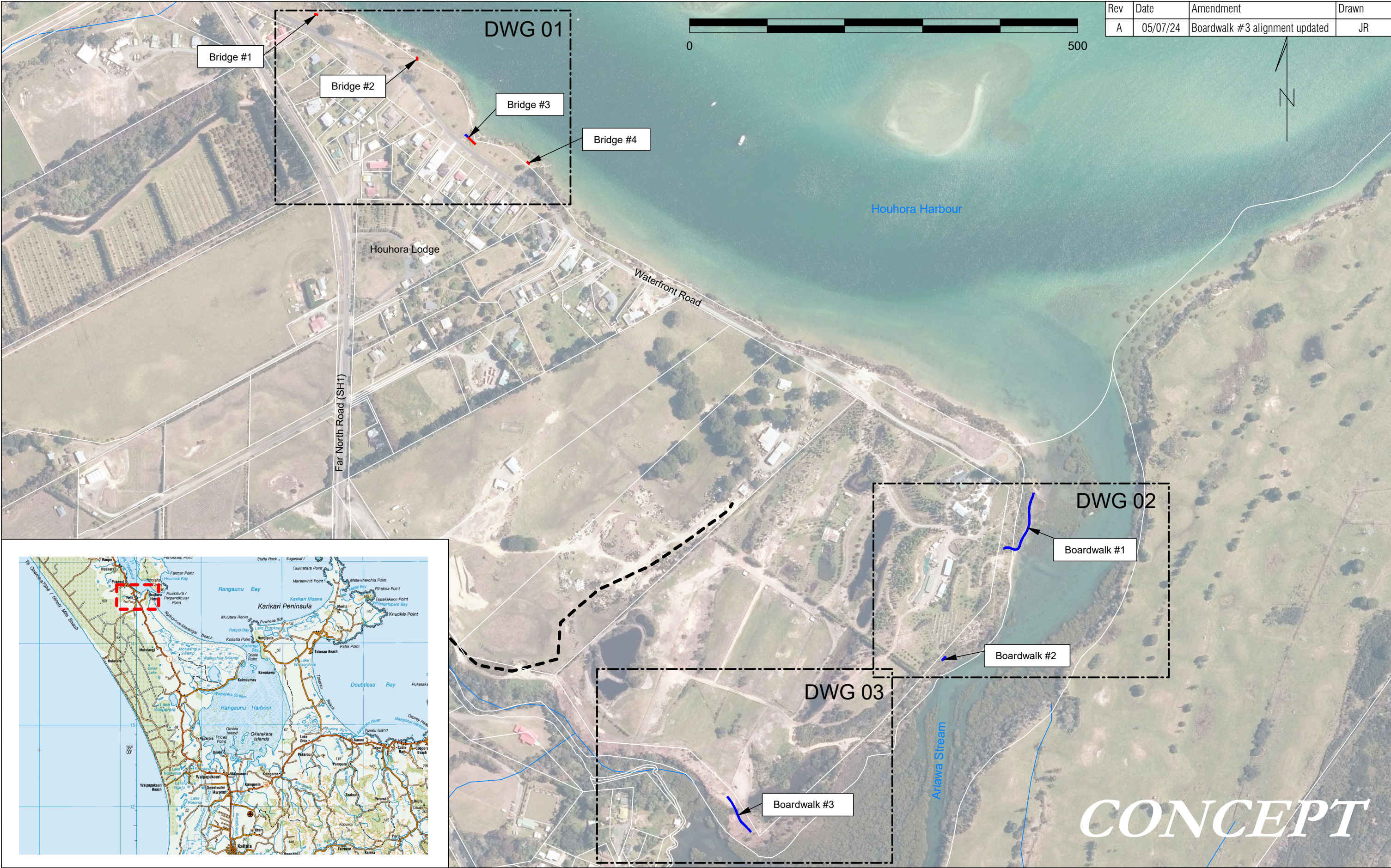
Drawing Version Control

Drawing Package Version	Date	Revision Details / Status	Initials and Signature			
			Prepared by	Checked by	Reviewed by	Approved by
1. Draft / For Consultation	14/06/2024	-	JR	MT	BS	DK
1. Draft / For Consultation	05/07/2024	-	JR	-	-	MT
2. For Consent						
3. For tender						
4. Consented / For Construction						
5. As Built						

Key

Initials	Name	Title
JR	Jenna Richards	Senior Draughtsperson / Technician
MT	Michael Teixeira	Senior Engineer / Project Manager
BS	Brian Seston	Senior Engineer / Project Manager
DK	Drew Kenny	General Manager, Senior Designer / Project Manager





Rev	Date	Amendment	Drawn
A	05/07/24	Boardwalk #3 alignment updated	JR



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PROJECT

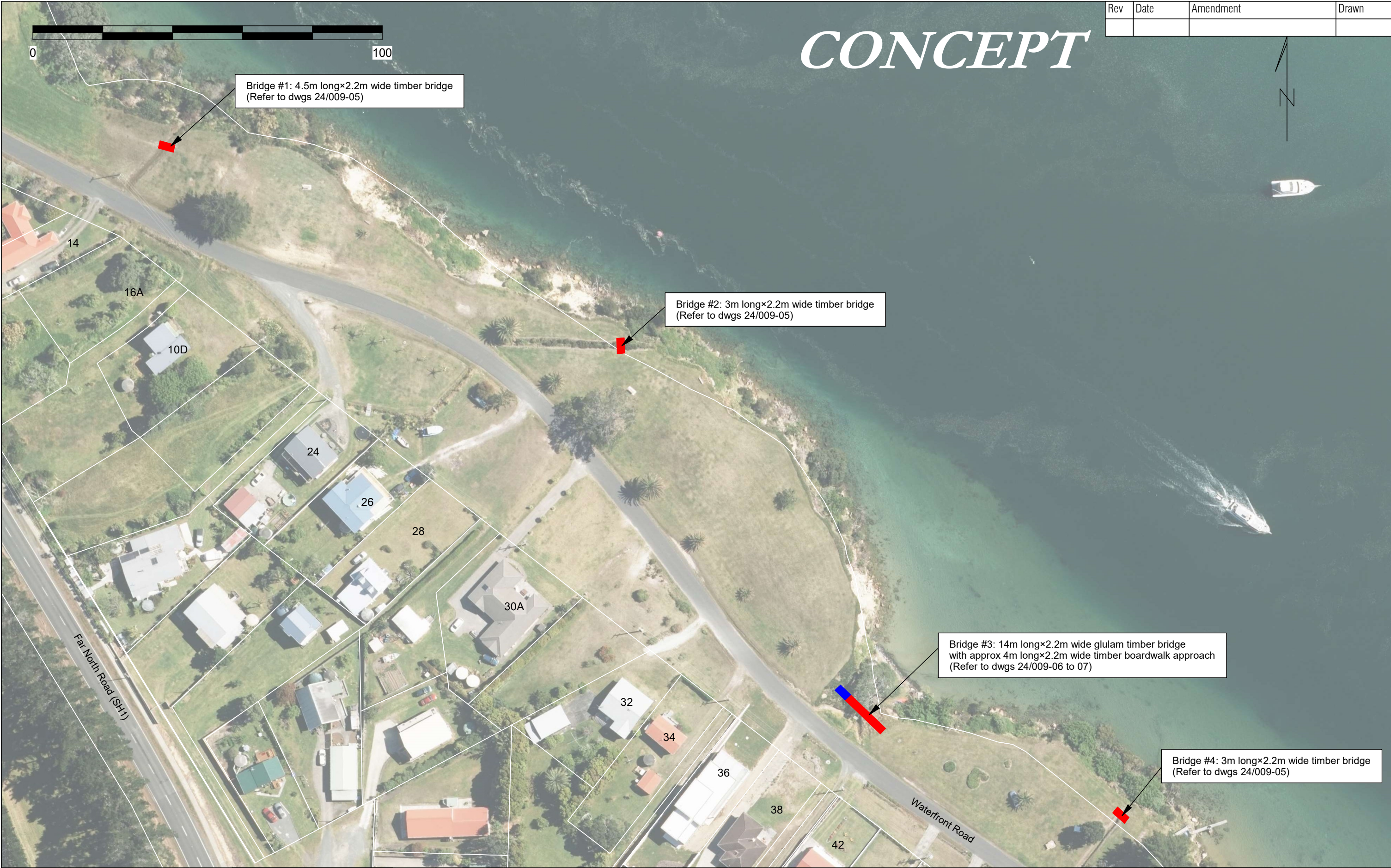
PUKENUI COASTAL WALKWAY STAGE 2:  
CONCEPT DESIGN OF STRUCTURES

TITLE


OVERALL PLAN

SCALE Plan Scale 1:4500 @ A3			Date: JUNE 2024	
DRAWN JR	DESIGNED MT	APPROVED	FGL JOB 24/009	
DRAWING PACKAGE VERSION 1. DRAFT / FOR DISCUSSION			DRAWING 24/009-00	REV A






Rev	Date	Amendment	Drawn



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GROUP**

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**Far North  
District Council**

*Te Kaunihera o Tai Tokerau ki te Raki*

PROJECT

PUKENUI COASTAL WALKWAY STAGE 2:  
CONCEPT DESIGN OF STRUCTURES

TITLE

DETAILED PLAN I

SCALE  
Plan Scale 1:1000 @ A3

DRAWN  
JR

DESIGNED  
MT

APPROVED

DRAWING PACKAGE VERSION  
1. DRAFT / FOR DISCUSSION

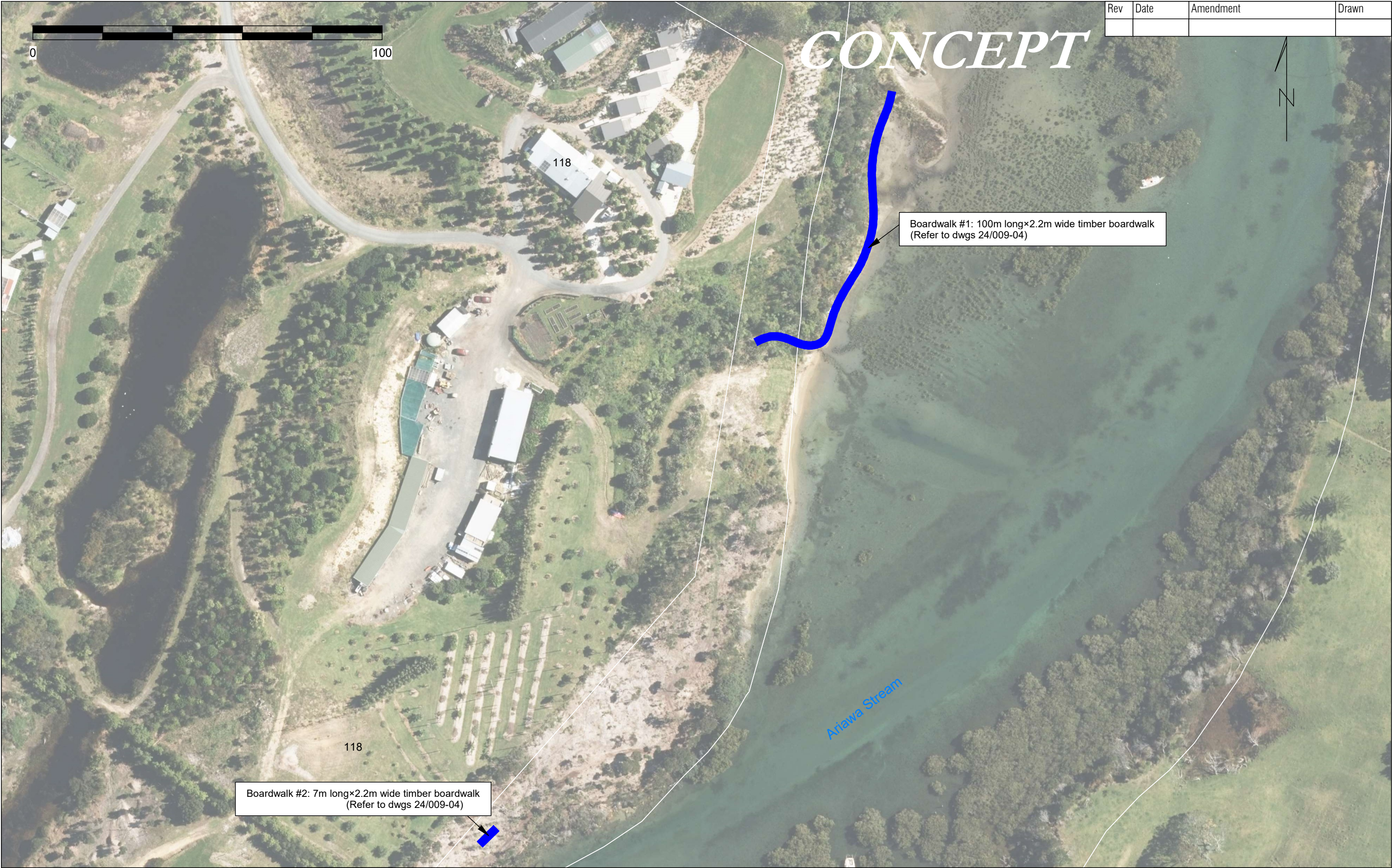
Date:  
JUNE 2024

FGL JOB  
24/009



DRAWING  
24/009-01

REV







Rev	Date	Amendment	Drawn

 <b>FRAME GROUP</b> Ph: (09) 638-7221    www.frame.co.nz	PREPARED FOR  <b>Far North District Council</b> <i>Te Kaunihera o Tai Tokerau ki te Raki</i>	PROJECT <b>PUKENUI COASTAL WALKWAY STAGE 2: CONCEPT DESIGN OF STRUCTURES</b>	TITLE <b>DETAILED PLAN II</b>	SCALE Plan Scale 1:1000 @ A3	Date: <b>JUNE 2024</b>		
				DRAWN JR	DESIGNED MT	APPROVED	FGL JOB <b>24/009</b>
				DRAWING PACKAGE VERSION <b>1. DRAFT / FOR DISCUSSION</b>		DRAWING <b>24/009-02</b>	REV





Rev	Date	Amendment	Drawn
A	05/07/24	Boardwalk #3 alignment update	JR

 Ph: (09) 638-7221    www.frame.co.nz	 Te Kaunihera o Tai Tokerau ki te Raki	PROJECT  PUKENUI COASTAL WALKWAY STAGE 2: CONCEPT DESIGN OF STRUCTURES	TITLE  DETAILED PLAN I	SCALE Plan Scale 1:1000 @ A3		Date: JUNE 2024	
				DRAWN JR	DESIGNED MT	APPROVED	FGL JOB 24/009
				DRAWING PACKAGE VERSION 1. DRAFT / FOR DISCUSSION		DRAWING 24/009-01	REV A

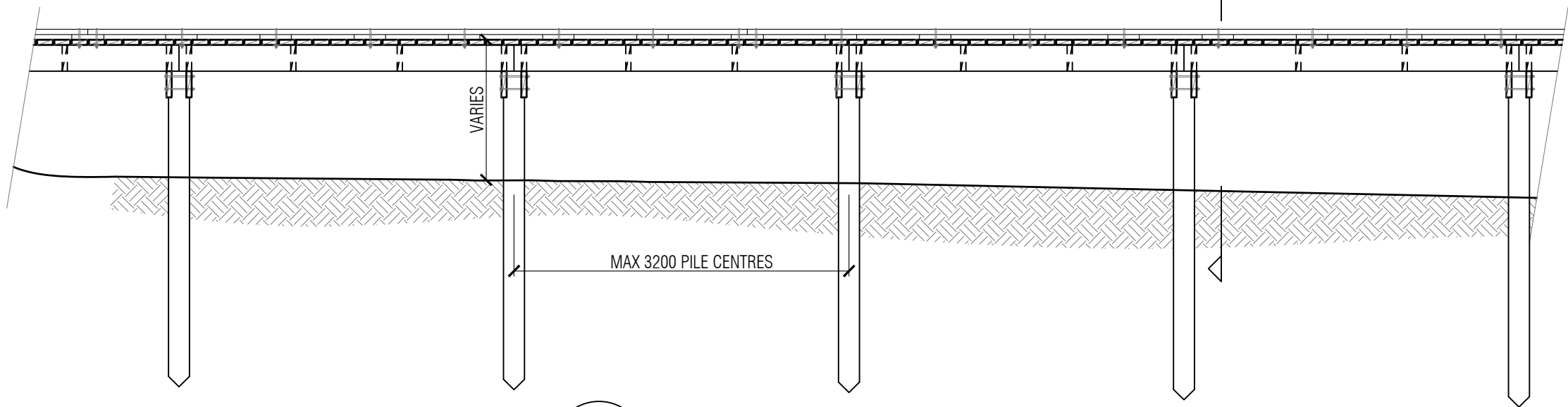
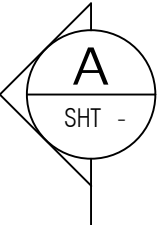
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Rev	Date	Amendment	Drawn

01

PART BOARDWALK ELEVATION

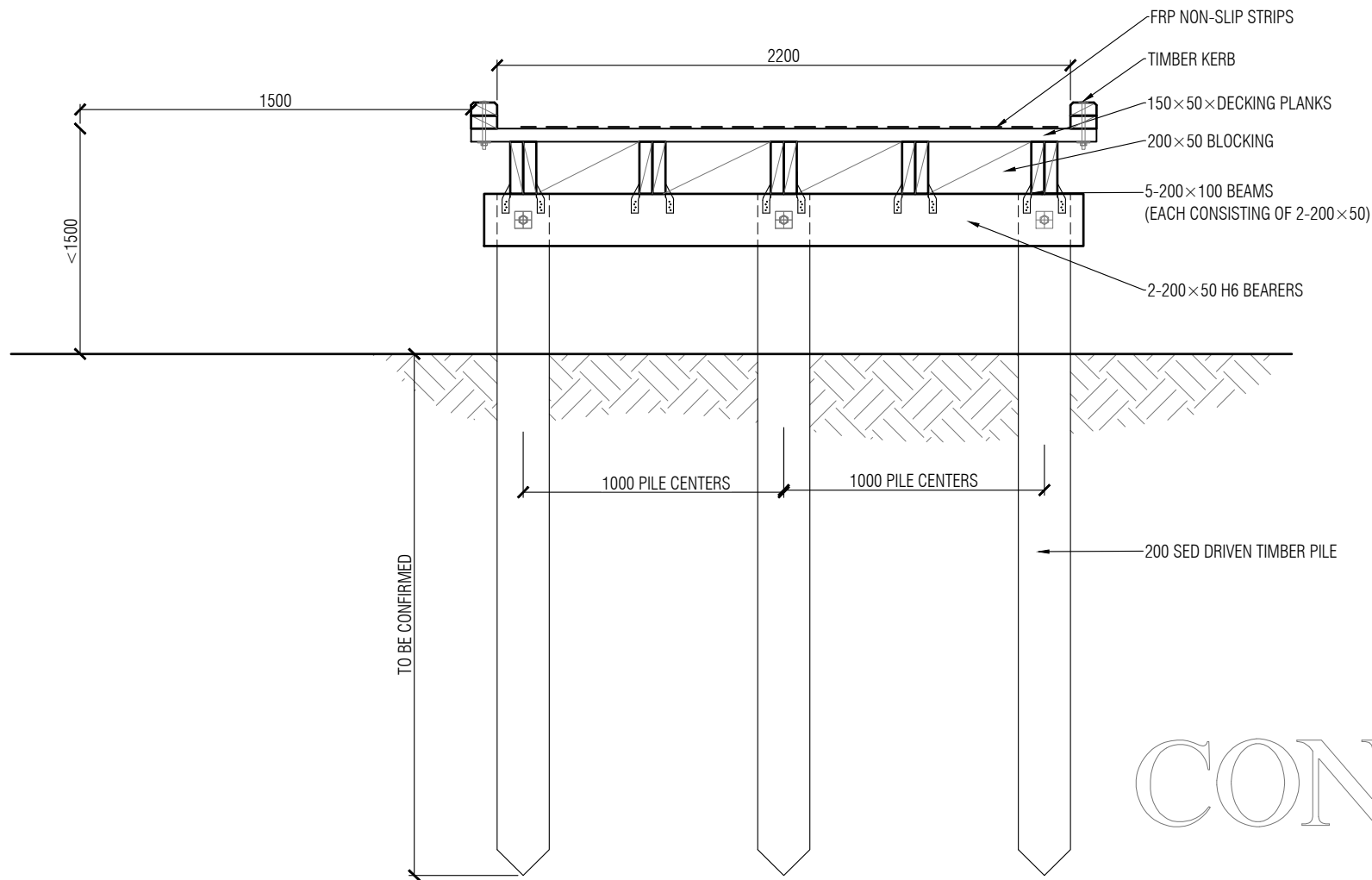
DWG - 1:50 @ A3



A

BOARDWALK SECTION

DWG - 1:25 @ A3



CONCEPT

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH SNZ HB 8630:2004 "TRACKS AND OUTDOOR VISITOR STRUCTURES"

DESIGN DETAILS	
SITE USER GROUP	SST
BARRIER DESIGN LOAD	0.75kN/m
DECK DESIGN LOAD	3.6kPa
EFFECTIVE FALL HEIGHT	<1.5m
FALL SURFACE	FAVOURABLE



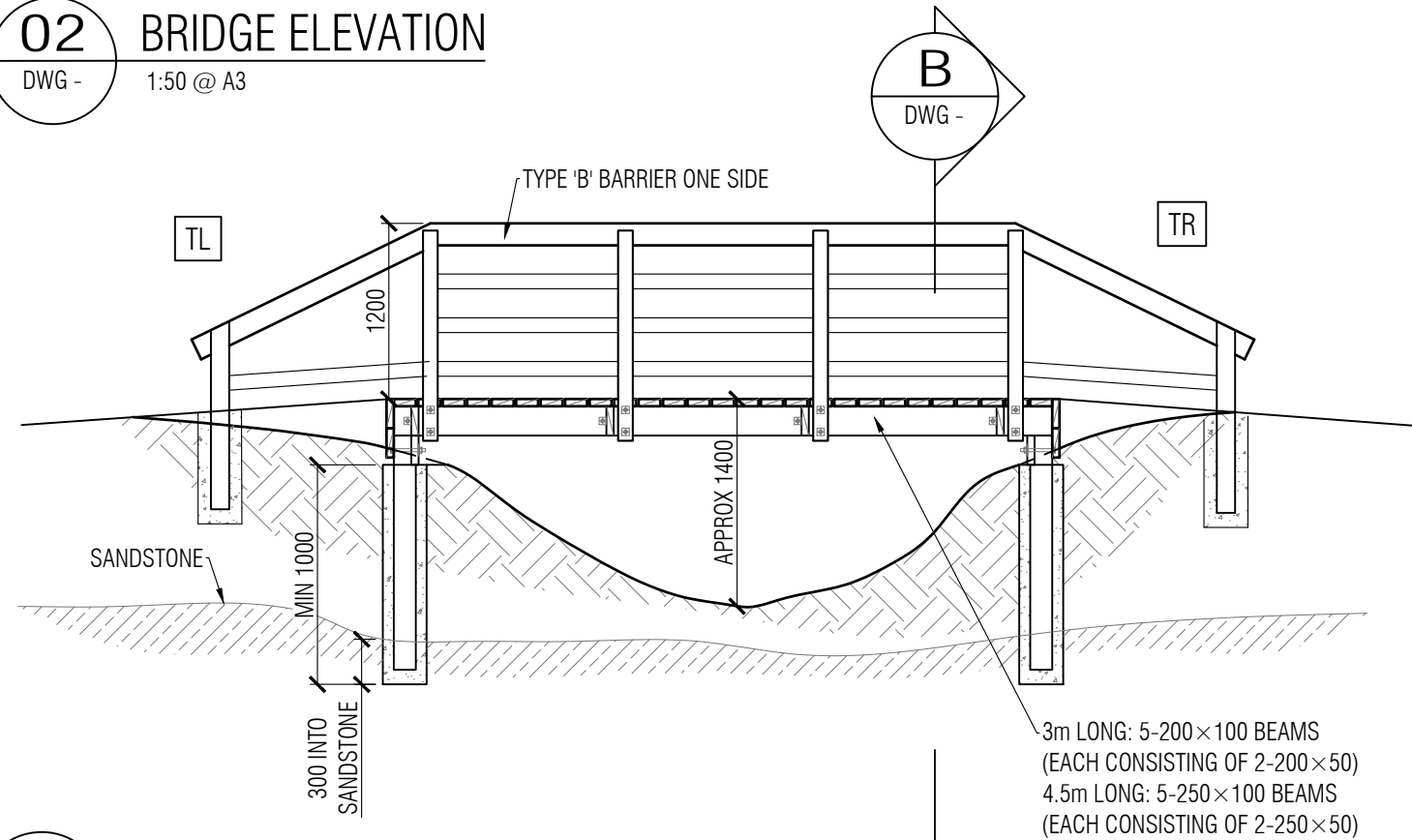
Rev	Date	Amendment	Drawn

02

## BRIDGE ELEVATION

DWG -

1:50 @ A3

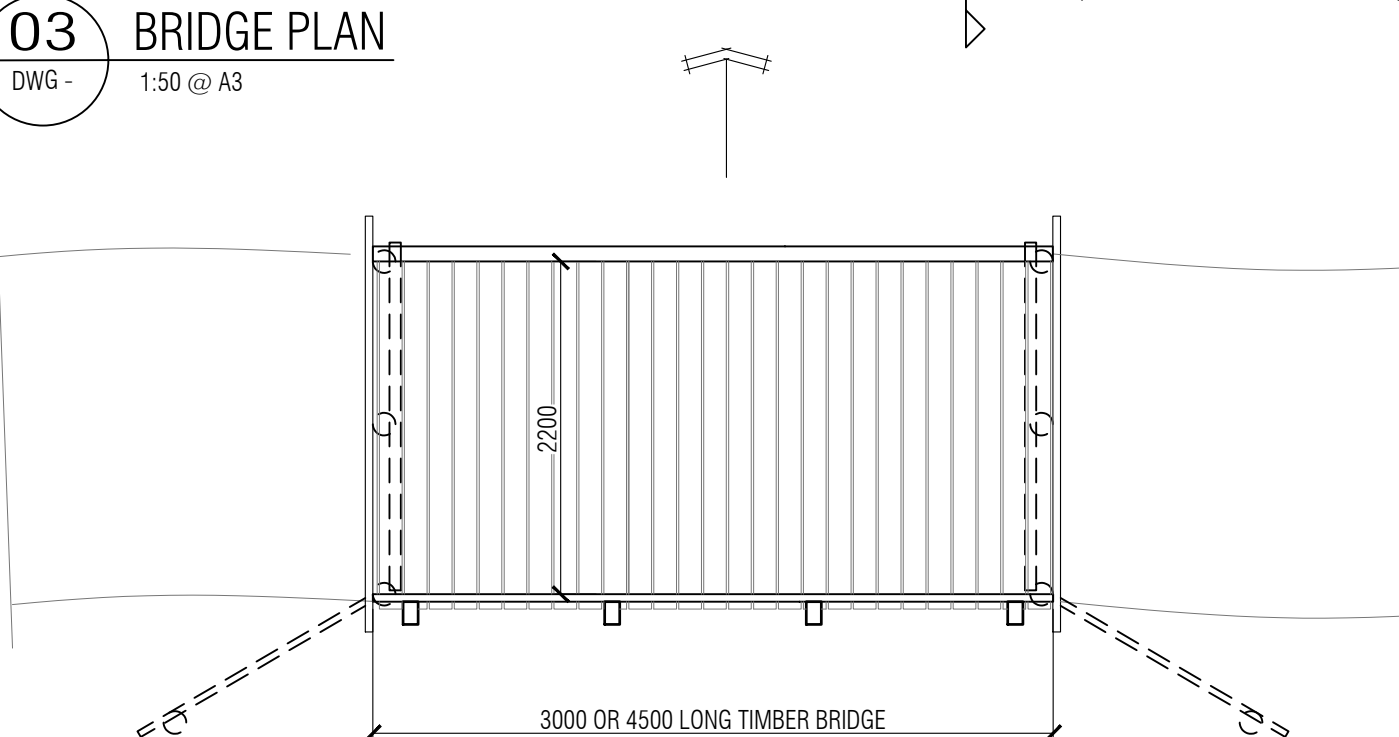


03

## BRIDGE PLAN

DWG -

1:50 @ A3

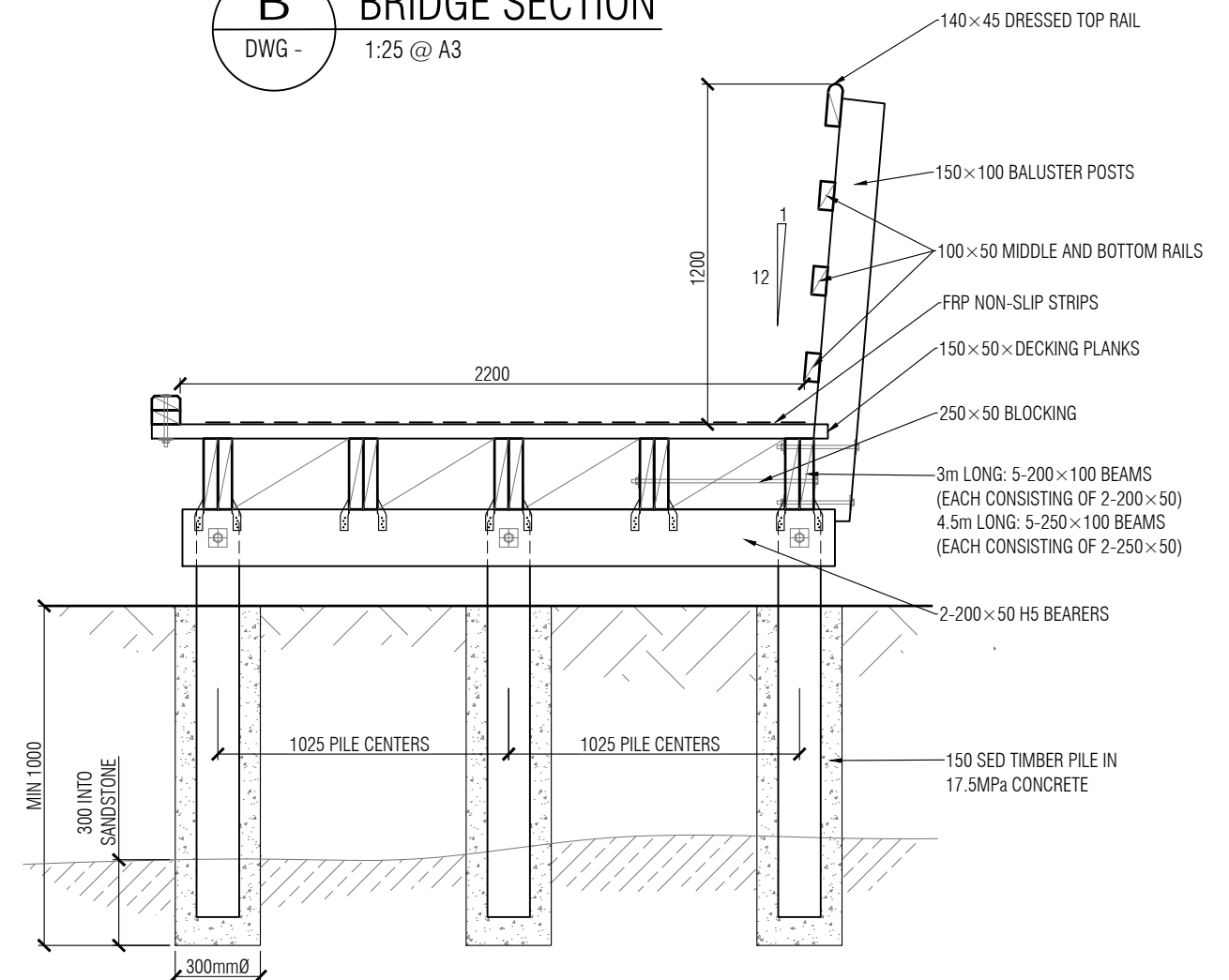


B

## BRIDGE SECTION

DWG -

1:25 @ A3



THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH SNZ HB 8630:2004  
"TRACKS AND OUTDOOR VISITOR STRUCTURES"

## DESIGN DETAILS

SITE USER GROUP	SST
BARRIER DESIGN LOAD	0.75kN/m
DECK DESIGN LOAD	3.6kPa
EFFECTIVE FALL HEIGHT	<1.5m
FALL SURFACE	FAVOURABLE

CONCEPT



Ph: (09) 638-7221 www.frame.co.nz

PREPARED FOR



Te Kauhīhera o Tai Tokerau ki te Raki

PROJECT

PUKENUI COASTAL WALKWAY STAGE 2:  
CONCEPT DESIGN OF STRUCTURES

TITLE

3.0m AND 4.5m LONG x 2.2m WIDE BRIDGE  
PLAN, ELEVATION AND SECTION

SCALE

AS SHOWN

DATE

JUNE 2024

DRAWN

JR

DESIGNED

MT

APPROVED

DK

FGL JOB

24/009

DRAWING PACKAGE VERSION

1. DRAFT / FOR DISCUSSION

DRAWING No.

24/009-05

REV

DO NOT SCALE

Rev	Date	Amendment	Drawn

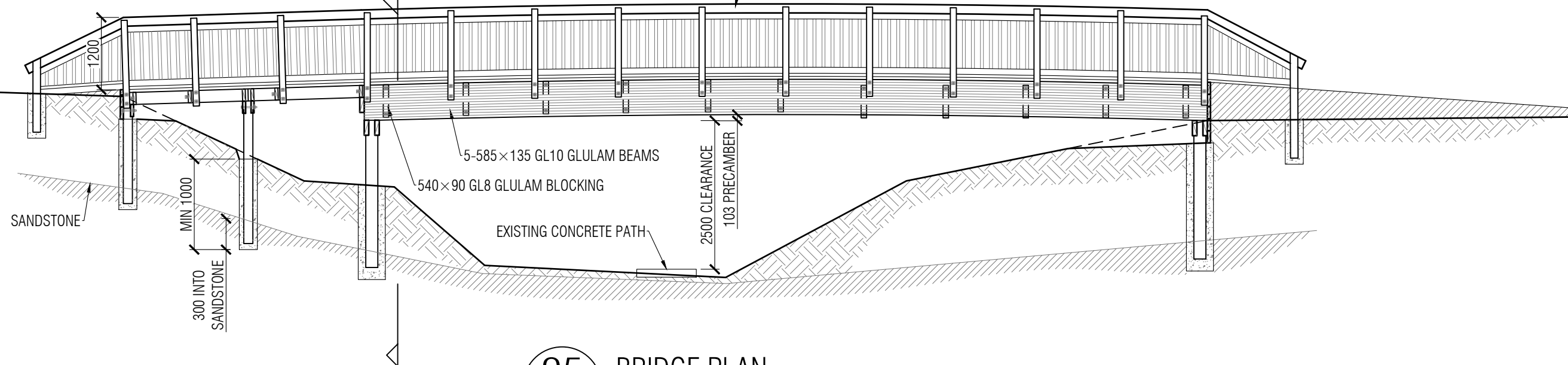
**04** BRIDGE ELEVATION  
DWG - 1:75 @ A3

TL

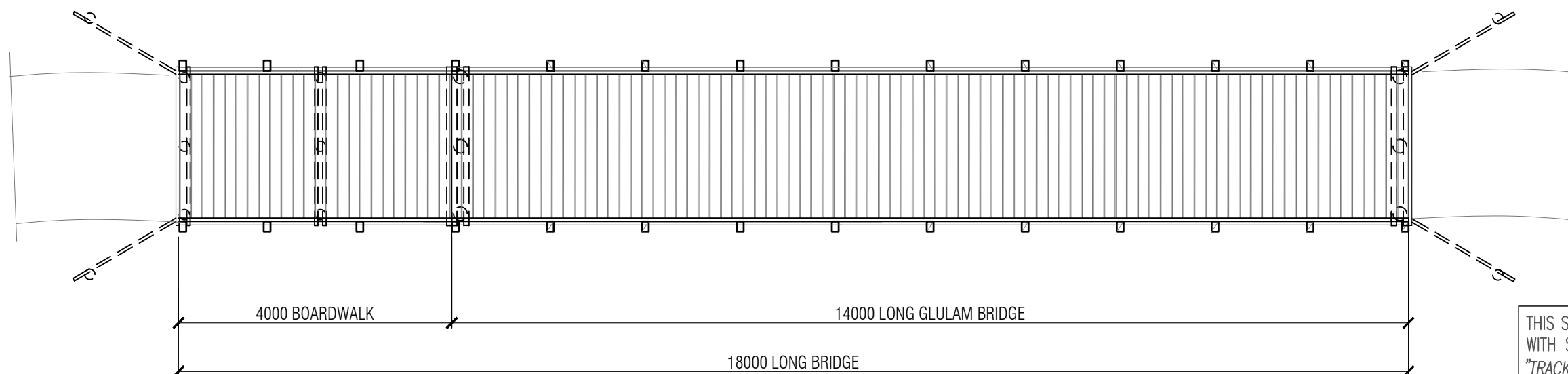
TR

**C**  
DWG 07

TYPE 'A' BARRIER BOTH SIDES



**05** BRIDGE PLAN  
DWG - 1:75 @ A3



CONCEPT

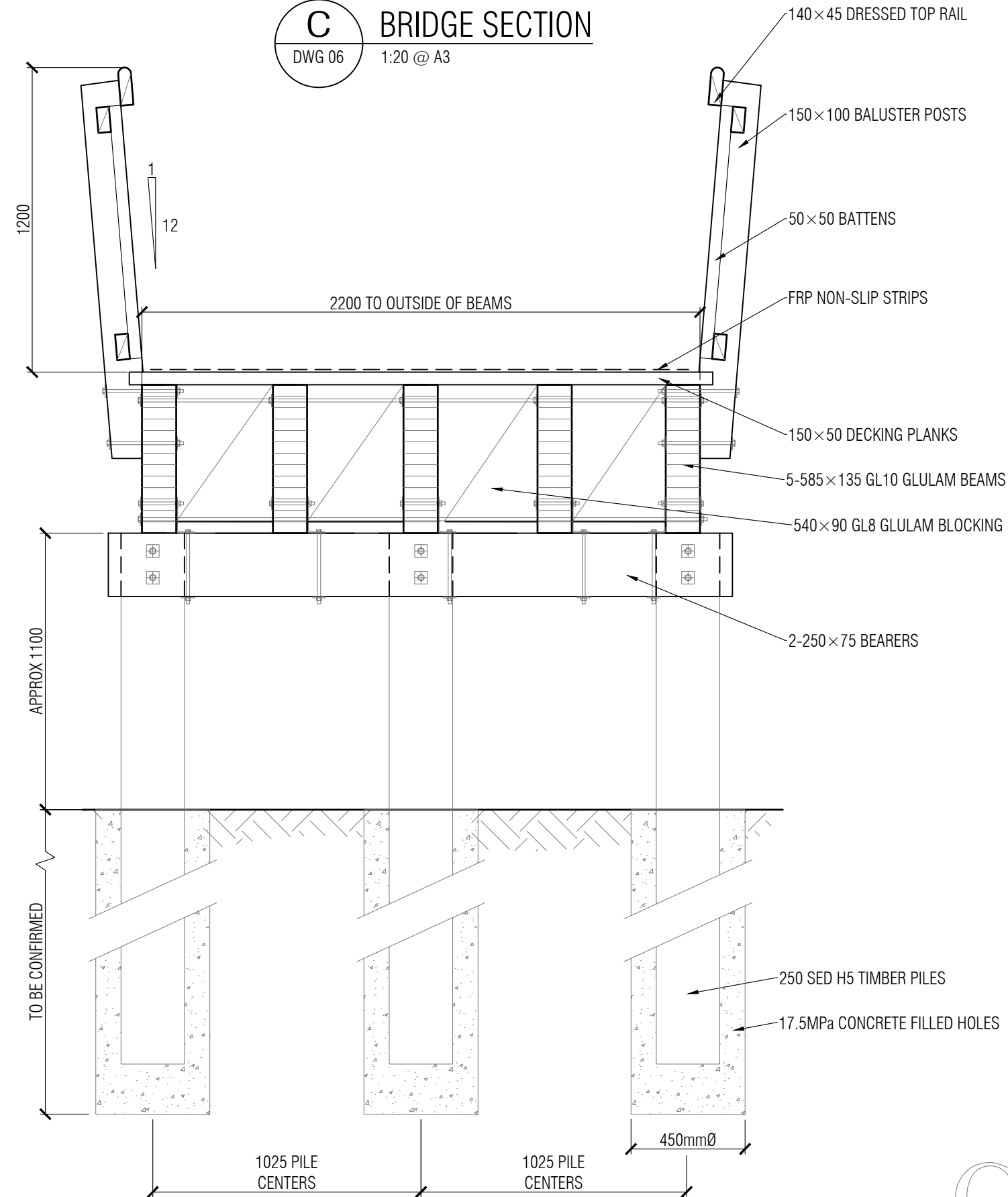
THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH SNZ HB 8630:2004 "TRACKS AND OUTDOOR VISITOR STRUCTURES"

DESIGN DETAILS	
SITE USER GROUP	SST
BARRIER DESIGN LOAD	0.75kN/m
DECK DESIGN LOAD	4.0kPa
EFFECTIVE FALL HEIGHT	2.5 m
FALL SURFACE	UNFAVOURABLE

DO NOT SCALE

Rev	Date	Amendment	Drawn

**C** BRIDGE SECTION  
DWG 06 1:20 @ A3



CONCEPT

# NORTHERN ARCHAEOLOGICAL RESEARCH LTD

## Archaeological Consultants

---

2<sup>nd</sup> October 2024

Jared Olsen  
Hoskin Civil  
PO Box 4415, Kamo.  
**WHANGAREI 0141**

Dear Jared,

### **RE: PUKENUI COASTAL WALKWAY–SECTION 2-ARCHAEOLOGICAL REVIEW AND FEEDBACK.**

Thank you for the plan and outline of Section 2 of the Pukenui Coastal Walkway (Figure 1). We have reviewed the proposal against the Archaeological Survey and Assessment undertaken by NAR Ltd in March 2023 (Johnson 2023) and have the following comments.

That section of the proposal from the junction of SH1 and Waterfront Rd to the beginning of the blue line, shown as a yellow dash line, contains a single archaeological site, N03/163. The site was originally recorded in 1979 as a shell midden eroding from the edge of a sandstone cliff. There has been considerable surface disturbance at this location from the use of the area as an informal turning circle over the years and no site of this nature is now evident in this area. We understand that the walkway in this area will not involve earthworks but will simply exist as a route guided by the occasional fixed trail marker post. Four small footbridges will be established in this section. There were no further archaeological remains identified within this area.

The section of blue line toward the centre of Waterfront Rd extends over archaeological site, N03/139, a shell midden. Part of the site, including a section of the road edge has fallen away on to the track below the cliff during Cyclone Gabrielle though significant *in-situ* elements of the site remain between the cliff edge and the edge of the road. As a consequence of the existence of the site and the cyclone damage, we understand that the walkway will not be formed on the edge of the road and pedestrians will be directed to walk on the road with traffic-pedestrian warning signs at each end. This will avoid any impacts on the site from the development of the walkway.

From the end of the blue line section to the informal boat ramp at the end of Waterfront Road the 2.2m wide path, over a distance of approximately 250m, will be formed by removing 10-15cm of topsoil for compacted AP20 metal. Three archaeological sites, N03/138, N03/351 and N03/115, all shell middens in very poor condition, occur along this section of the route and may be impacted by the proposed surface walkway earthworks.

From the informal boat ramp, along the edge of the Raio-Ariawa Creek to the Jacobsen property the walkway will consist of a formed timber boardwalk. This boardwalk will extend through the area of archaeological site, N03/224 (also recorded as N03/140). The formation of a boat ramp and access at this location by Jacobsen is currently subject to an investigation of an





**FIGURE 1. THE OVERALL PLAN OF THE PROPOSAL AND THE LOCATION OF THE ARCHAEOLOGICAL SITES (N03/163, 139, 138, 351, 115, 224/140) IN RELATION TO THE PROPOSAL (Base Plan Courtesy of Hoskin Civil 26<sup>th</sup> September 2024).**

offence under the Heritage New Zealand Act 2014, by Heritage New Zealand Pouhere Taonga which may provide further information on the nature and layout of the site. However, from the work undertaken on the route of the walkway by ourselves in March last year (Johnson 2023), what appeared to be the only surviving intact section of the site occurs on the route of the boardwalk. The Walkway also appears to extend through the modified section of the site.

From the end of the boardwalk on the edge of the Jacobsen boat-ramp, along the edge of the Raio-Ariawa Creek back to SH1, over the remaining section of the boardwalk, are three further archaeological sites, N03/133, N03/134 and N03/154. All the sites were scatters of shell midden, of which for, the initial two, Bruce described in 2003 as “bulldozed and destroyed, with no in-situ remains” (Bruce SRF). N03/154 also appears to have sustained some degree of modification from the installation of a power pylon. Notwithstanding, it is likely that unrecorded minor subsurface archaeological remains may occur in the vicinity at all three locations. Due to the close vegetation cover along the edge of the Raio Creek, none of these sites can now be seen and their exact location cannot be determined (the existing NZAA site record forms for these sites are attached). These sites may or may not be affected by the proposed walkway.



**FIGURE 1. THE RECORDED LOCATION OF SITES N03/133-4, N03/140 and N03/154 (Courtesy of NZAA Database *Archsite*, October 2024)**

With the exception of the *in-situ* shell midden, N03/138, part of which has been recently destroyed by Cyclone Gabrielle in January 2023, all the remaining sites were surface shell midden scatters in very poor condition, comprising marginal archaeological sites at best. However, the possibility remains that there may be some minor subsurface archaeological remains associated with the midden exposures. While the earthworks proposed in the formation of the walkway are comparatively minor and there is the ability to modify the proposal to avoid the known visible archaeological sites directly (particularly at N03/224), we would advise FNDC, or their agents, to apply for authority to modify archaeological remains along the route to cover for potential subsurface evidence associated with archaeological sites N03/115,

N03/133, N03/134, N03/138-9, N03/140, N03/154, N03/163, N03/224 (also recorded as N03/140) and N03/351. We would advise Heritage New Zealand Pouhere Taonga to grant such authority subject to the 2.2m wide and 1-15cm deep earthworks associated with sections of the walkway being monitored by the archaeologist. This will allow the development of the walkway for the benefit of the general public and retrieve any archaeological and historical information exposed by the comparatively minimal earthworks.

Should you have any questions or require any further information, please do not hesitate to contact me.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Leigh Johnson', with a stylized, flowing script.

Leigh Johnson  
*Partner/Director*

***Reference:***

Johnson, L and Callaghan, E. 2023. Archaeological Survey and Assessment of the Proposed FNDC Houhora Walkway (Section 2-Waterfront Road & Section 3-Hohoura Heads Road), Houhora, Far North *Unpublished Report*. Auckland: Northern Archaeological Research Ltd.





## Site Record Form

**NZAA SITE NUMBER:** N03/133

**SITE TYPE:** Midden/Oven

**SITE NAME(s):**

**DATE RECORDED:**

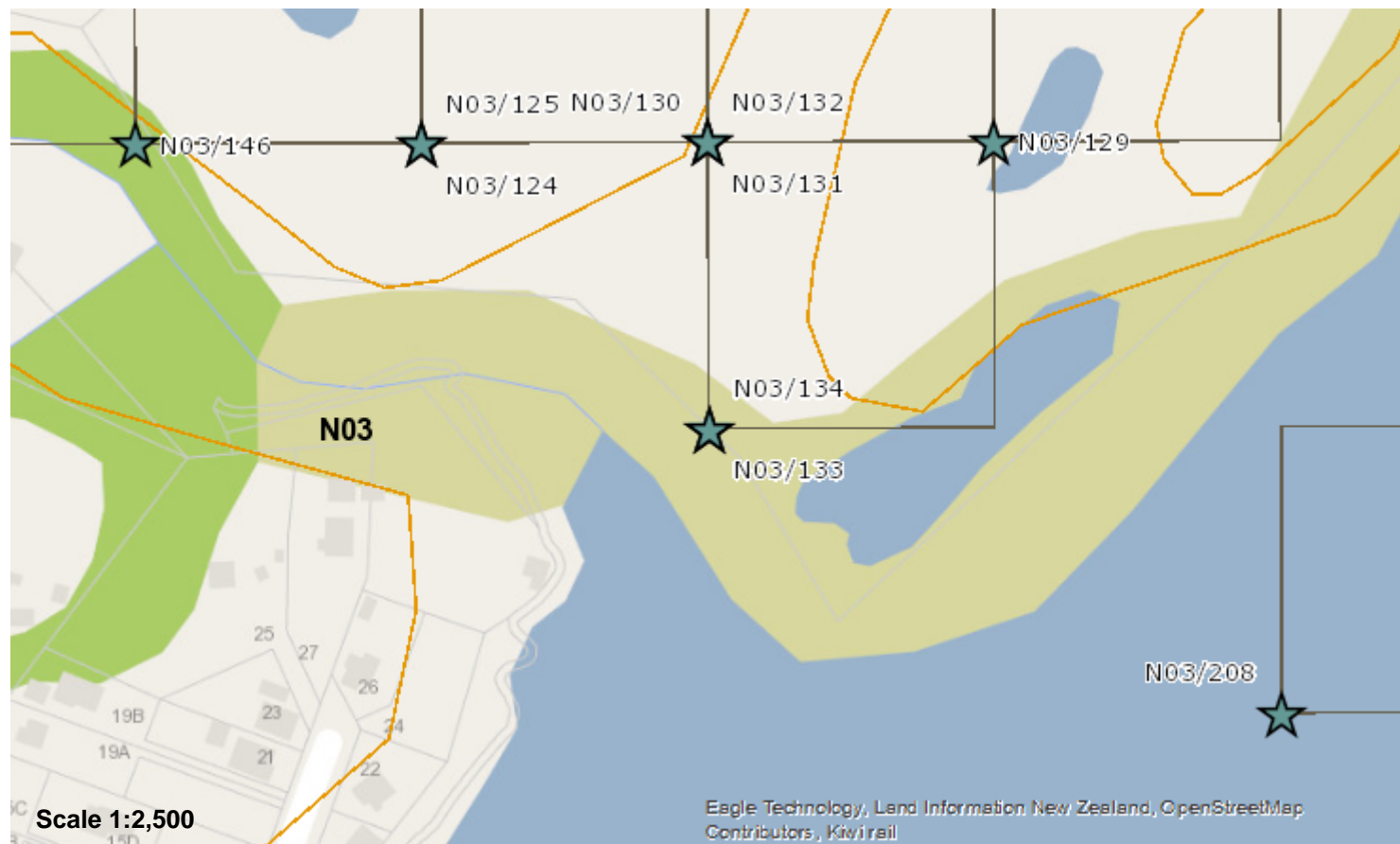
**SITE COORDINATES (NZTM) Easting:** 1612170

**Northing:** 6145756

**Source:** CINZAS

**IMPERIAL SITE NUMBER:** N6/108

**METRIC SITE NUMBER:** N03/133



**Finding aids to the location of the site**

**Brief description**

MIDDEN

**Recorded features**

Midden

**Other sites associated with this site**



SITE RECORD HISTORY	NZAA SITE NUMBER: N03/133
<div>Site description</div> <div>Condition of the site</div> <div>Destroyed by earthworks. See SRF N03/118</div> <div>Statement of condition</div> <div>Current land use:</div> <div>Threats:</div>	

## SITE RECORD INVENTORY

NZAA SITE NUMBER: N03/133

Supporting documentation held in ArchSite

NEW ZEALAND ARCHAEOLOGICAL ASSOCIATION <b>SITE RECORD FORM (NZMS1)</b>		NZAA NZMS 1 SITE NUMBER N6/108 DATE VISITED 14/1/1979 SITE TYPE Midden SITE NAME: MAORI OTHER													
NZMS 1 map number N6 NZMS 1 map name Houhora NZMS 1 map edition 3rd, 1971		<div style="float: right; text-align: center;"> </div>													
Grid Reference Easting <span style="border: 1px solid black; padding: 0 5px;">0</span> <span style="border: 1px solid black; padding: 0 5px;">6</span> <span style="border: 1px solid black; padding: 0 5px;">3</span> <span style="border: 1px solid black; padding: 0 5px;">2</span> <span style="border: 1px solid black; padding: 0 5px;">1</span> <span style="border: 1px solid black; padding: 0 5px;">0</span>		Northing <span style="border: 1px solid black; padding: 0 5px;">9</span> <span style="border: 1px solid black; padding: 0 5px;">0</span> <span style="border: 1px solid black; padding: 0 5px;">3</span> <span style="border: 1px solid black; padding: 0 5px;">2</span> <span style="border: 1px solid black; padding: 0 5px;">3</span> <span style="border: 1px solid black; padding: 0 5px;">0</span>													
1. Aids to relocation of site ( <i>attach a sketch map</i> ) See site location map No. 1.															
2. State of site and possible future damage Poor. Midden eroding and scattered on ground surface. Land has been cleared, burnt off and bulldozed or crushed at some time.															
3. Description of site ( <i>Supply full details, history, local environment, references, sketches, etc. If extra sheets are attached, include a summary here</i> )  Crescent shaped shell midden measuring 10x1 metre. Predominant species cockle ( <u>Chione stutchburyi</u> ) although pipi ( <u>Paphies australis</u> ) also present. Obsidian flake was found in the vicinity of the site. <div style="text-align: center; margin: 10px 0;"> </div> Obsidian Flake (Actual size)															
4. Owner Address V. & R. Otto, R.D. 4, Pukenui.		Tenant/Manager Address													
5. Nature of information ( <i>hearsay, brief or extended visit, etc.</i> ) Measured and recorded by two site surveyors. Photographs ( <i>reference numbers, and where they are held</i> ) Not photographed. Aerial photographs ( <i>reference numbers, and clarity of site</i> ) 1046/10 North Cape to Awanui 14/8/1944. Not visible.															
6. Reported by Address J.C. Nugent, 1/15 Cromwell st., Mt. Eden, Auckland 3.		Filekeeper Date <div style="text-align: right;">           14/1/79       </div>													
7. Key words Midden, cockle and pipi. Obsidian flake.															
8. New Zealand Register of Archaeological Sites ( <i>for office use</i> ) NZHPT Site Field Code															
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 20px; text-align: center;">A</td><td style="width: 20px; text-align: center;">A</td></tr> <tr><td style="width: 20px; text-align: center;">r</td><td style="width: 20px; text-align: center;">r</td></tr> <tr><td style="width: 20px; text-align: center;">A</td><td style="width: 20px; text-align: center;">E</td></tr> </table> Type of site Local environment today Land classification		A	A	r	r	A	E	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 20px; text-align: center;">B</td><td style="width: 20px; text-align: center;">B</td></tr> <tr><td style="width: 20px; text-align: center;">A</td><td style="width: 20px; text-align: center;">A</td></tr> <tr><td style="width: 20px; text-align: center;">D</td><td style="width: 20px; text-align: center;">R</td></tr> </table> Present condition and future danger of destruction Security code Local body		B	B	A	A	D	R
A	A														
r	r														
A	E														
B	B														
A	A														
D	R														

N03/133  
(N6/108)

NEW ZEALAND ARCHAEOLOGICAL ASSOCIATION		METRIC SITE RECORD NUMBER: SEE BELOW	
SITE RECORD FORM (METRIC)		DATE VISITED: 12/11/2003	
METRIC MAP NUMBER : N03 (Houhora)		SITE TYPE : Midden	
METRIC MAP EDITION : 260 (1999)		SITE NAME: MAORI- OTHER	
GRID REFERENCE :			
1. Additional Information:			
<p>The following archaeological sites were originally recorded on the property of G. Jacobsen, Waterfront Road Houhora. As a result of recent earthworks on the property the sites have been bulldozed and destroyed. No in situ remains are to be found although widespread shell scatter is evident throughout the property.</p> <p>N6/93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 117, 118, 119, 122</p>			
4. Owner : G Jacobsen		Tenant/Manager:	
Address: Auckland		Address:	
5. Nature of information : Brief Visit			
6. Reported by: Ivan Bruce		File keeper: <i>[Signature]</i>	
Address: 2 Dean Street		Date: <i>22/4/06</i>	
Arch Hill			
Auckland			
7. NZHPT (for office use)		Present condition and future	
Type of Site		Local Body	
Local environment today			
Land Classification			





## Site Record Form

**NZAA SITE NUMBER:** N03/134

**SITE TYPE:** Midden/Oven

**SITE NAME(s):**

**DATE RECORDED:**

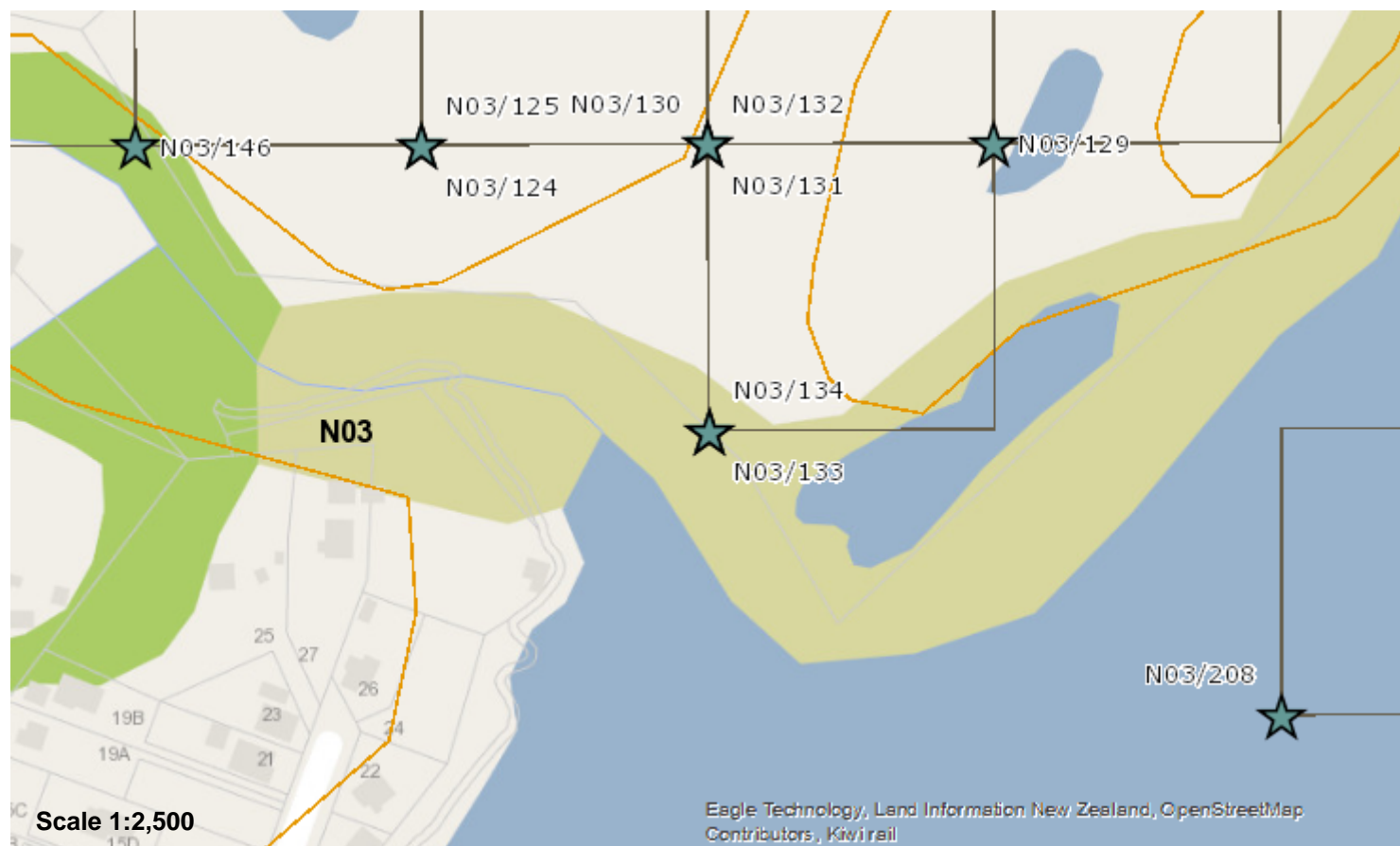
**SITE COORDINATES (NZTM) Easting:** 1612170

**Northing:** 6145756

**Source:** CINZAS

**IMPERIAL SITE NUMBER:** N6/109

**METRIC SITE NUMBER:** N03/134



**Finding aids to the location of the site**

**Brief description**

MIDDEN

**Recorded features**

Midden

**Other sites associated with this site**

SITE RECORD HISTORY	NZAA SITE NUMBER: N03/134
<div>Site description</div> <div>Condition of the site</div> <div>Destroyed by earthworks. See SRF N03/118</div> <div>Statement of condition</div> <div>Current land use:</div> <div>Threats:</div>	

## SITE RECORD INVENTORY

NZAA SITE NUMBER: N03/134

Supporting documentation held in ArchSite

NEW ZEALAND ARCHAEOLOGICAL ASSOCIATION <b>SITE RECORD FORM (NZMS1)</b>		NZAA NZMS 1 SITE NUMBER <b>N6/109</b>	
NZMS 1 map number <b>N6</b>		DATE VISITED <b>14/1/1979</b>	
NZMS 1 map name <b>Houhora</b>		SITE TYPE <b>Midden</b>	
NZMS 1 map edition <b>3rd, 1971</b>		SITE NAME: MAORI OTHER	
Grid Reference		Easting	Northing
		<b>0 6 3 3 8 0</b>	<b>9 0 3 12 0 0</b>
1. Aids to relocation of site (attach a sketch map)			
See site location map No. 1. Site is in old overgrown road.			
2. State of site and possible future damage			
Poor. Shell fragmented and scattered on ground surface. Land has been cleared at some time, probably burnt off and bulldozed or crushed.			
3. Description of site (Supply full details, history, local environment, references, sketches, etc. If extra sheets are attached, include a summary here)			
Sparse shell midden covering area 1 metre square. Cockles ( <u>Chione stutchburyi</u> ) predominant. Visible in old road cutting. A second patch visible 10 metres up road to the northeast contains cockle, tuatua ( <u>Paphies subtriangulatum</u> ) and pipi ( <u>Paphies australe</u> ).			
4. Owner Address		Tenant/Manager Address	
V. & R. Otto, R.D. 4, Pukenui.			
5. Nature of information (hearsay, brief or extended visit, etc.)			
Recorded and measured by two site surveyors.			
Photographs (reference numbers, and where they are held)			
Not photographed.			
Aerial photographs (reference numbers, and clarity of site)			
1046/10 North Cape to Awanui 14/8/1944. Not visible.			
6. Reported by Address		Filekeeper Date	
J.C. Nugent, 1/15 Cromwell St., Mt. Eden, Auckland 3.		A. J. Jones 20/4/79.	
7. Key words			
Midden, cockle, pipi and tuatua.			
8. New Zealand Register of Archaeological Sites (for office use)			
NZHPT Site Field Code			
Type of site		Present condition and future danger of destruction	
Local environment today		Security code	
Land classification		Local body	



N03/134  
(N6/09)

NEW ZEALAND ARCHAEOLOGICAL ASSOCIATION		METRIC SITE RECORD NUMBER: SEE BELOW	
SITE RECORD FORM (METRIC)		DATE VISITED: 12/11/2003	
METRIC MAP NUMBER : N03 (Houhora)		SITE TYPE : Midden	
METRIC MAP EDITION : 260 (1999)		SITE NAME: MAORI- OTHER	
GRID REFERENCE :			
1. Additional Information:			
<p>The following archaeological sites were originally recorded on the property of G. Jacobsen, Waterfront Road Houhora. As a result of recent earthworks on the property the sites have been bulldozed and destroyed. No in situ remains are to be found although widespread shell scatter is evident throughout the property.</p> <p>N6/93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 117, 118, 119, 122</p>			
4. Owner : G Jacobsen		Tenant/Manager:	
Address: Auckland		Address:	
5. Nature of information : Brief Visit			
6. Reported by: Ivan Bruce		File keeper:	
Address: 2 Dean Street		Date:	
Arch Hill			
Auckland			
7. NZHPT (for office use)		Present condition and future	
Type of Site		Local Body	
Local environment today			
Land Classification			



## Site Record Form

**NZAA SITE NUMBER:** N03/154

**SITE TYPE:** Midden/Oven

**SITE NAME(s):**
**DATE RECORDED:**
**SITE COORDINATES (NZTM) Easting:** 1611870

**Northing:** 6145855

**Source:** CINZAS

**IMPERIAL SITE NUMBER:** N6/131

**METRIC SITE NUMBER:** N03/154

**Finding aids to the location of the site**
**Brief description**

MIDDEN

**Recorded features**

Midden

**Other sites associated with this site**

SITE RECORD HISTORY	NZAA SITE NUMBER: N03/154
<div>Site description</div> <div>Condition of the site</div> <div>Statement of condition</div> <div>Current land use:</div> <div>Threats:</div>	



## SITE RECORD INVENTORY

NZAA SITE NUMBER: N03/154

Supporting documentation held in ArchSite

NEW ZEALAND ARCHAEOLOGICAL ASSOCIATION <b>SITE RECORD FORM (NZMS1)</b> NZMS 1 map number <b>N6</b> NZMS 1 map name <b>Houhora</b> NZMS 1 map edition <b>3rd, 1971</b>		NZAA NZMS 1 SITE NUMBER <b>N6/131</b> DATE VISITED <b>15/1/1979</b> SITE TYPE <b>Midden</b> SITE NAME: MAORI OTHER													
Grid Reference                      Easting <b>0 6 2 8 4 0</b> Northing <b>9 0 3 2 1 8 0</b>															
1. Aids to relocation of site ( <i>attach a sketch map</i> ) <b>On southeast corner of Bradleys property, underneath concrete pylon.</b>															
2. State of site and possible future damage <b>Midden in poor condition, scattered on ground surface.</b>															
3. Description of site ( <i>Supply full details, history, local environment, references, sketches, etc. If extra sheets are attached, include a summary here</i> )  <b>Sparse cockle (<u>Chione stutchburyi</u>) midden showing in three patches.</b> <b>Covers area 3x7 metres approximately.</b>															
4. Owner <b>T.G. Bradley,</b> Tenant/Manager Address <b>R.D. 4,</b> Address <b>Pukenui.</b>															
5. Nature of information ( <i>hearsay, brief or extended visit, etc.</i> ) <b>Examined and measured by two site surveyors.</b> Photographs ( <i>reference numbers, and where they are held</i> ) <b>Not photographed.</b> Aerial photographs ( <i>reference numbers, and clarity of site</i> ) <b>1046/10 North Cape to Awanui 14/8/1944. Not visible.</b>															
6. Reported by <b>J.C. Nugent,</b> Filekeeper Address <b>1/15 Cromwell St,</b> Date <b>Mt. Eden,</b> <b>Auckland 3.</b>															
7. Key words  <b>Midden, cockle.</b>															
8. New Zealand Register of Archaeological Sites ( <i>for office use</i> ) NZHPT Site Field Code															
<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr><td>A</td><td>A</td></tr> <tr><td>-</td><td>-</td></tr> <tr><td>A</td><td>C</td></tr> </table> Type of site Local environment today Land classification		A	A	-	-	A	C	<table border="1" style="display: inline-table; border-collapse: collapse;"> <tr><td>B</td><td>B</td></tr> <tr><td>A</td><td>A</td></tr> <tr><td>D</td><td>R</td></tr> </table> Present condition and future danger of destruction Security code Local body		B	B	A	A	D	R
A	A														
-	-														
A	C														
B	B														
A	A														
D	R														

# ecoLogical Solutions

Environmental Consultants



November 2022

## Proposed Pukenui Walkway Wetland Assessment

Submitted to: Far North District Council – District Facilities



water



fauna



flora



land

## Quality Assurance

This report has been prepared and reviewed by the following:

**Prepared by:** Dr Gary Bramley  
Ecologist



**Reviewed by:** Rebecca Bodley  
Ecologist



**Status:** Draft v1

**Issued:** 14 November 2022

ecoLogical solutions

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## Appendices

Appendix A – Plant List

## 1.0 Introduction

### 1.1 Background

Far North District Council proposes to construct a coastal walkway near Pukenui at the southern end of the Houhora Harbour, Northland. South of Pukenui township, the proposed route follows an unformed legal road from the end of Waterfront Road, along the true left bank of Ariawa Stream and Raio Creek to rejoin State Highway 1 north of the Houhora Tennis Courts. This section of the route is shown in Figure 1.

Further south the proposed route leaves State Highway 1 again and adjoins Houhora Heads Road passing through a recreation reserve administered by the Far North District Council and known locally as 'Pukenui Domain' to return to the coast at Houhora Heads. The National Environmental Standards for Freshwater ('NES-FW') would apply to any wetlands within or near (within 100m) the project footprint.

### 1.2 Ecological Context

The proposed walkway is located within the Aupouri Ecological District and Northern Northland Ecological Region (McEwen 1987, Brook 1996). Conning and Holland (2003) mapped and briefly described most of the areas of indigenous natural vegetation within the ecological district and also provided an analysis of the main vegetation types as well as information on threatened species and other taxa of scientific interest present. Aupouri Ecological District is a unique habitat, consisting of one long peninsula (Aupōuri) and a second smaller one (Karikari) dotted with dune lakes and wetlands, kanuka (*Kunzea* spp.)/mānuka (*Leptospermum scoparium* agg.) shrublands, semi-wild coastal dune fringes; and three shallow harbours (Pārengarenga, Houhora and Rangaunu) which are internationally important for their wildlife values (particularly migratory wading birds). Indications are that prior to human arrival, vegetation within the Aupouri Ecological District comprised forest including broadleaf species such as pōhutukawa (*Metrosideros excelsa*), pūriri (*Vitex lucens*), karaka (*Corynocarpus laevigatus*), taraire (*Beilschmiedia tarairi*) and kohekohe (*Dysoxylum spectabile*) and podocarps including tōtara (*Podocarpus totara*). Very little indigenous forest remains in the Aupouri Ecological District and what remains is restricted to a small number (<20) of remnants of pōhutukawa and broadleaf forest mostly less than one hectare in size (Conning and Holland 2003). Planting of marram (*Ammophila arenaria*) to stabilise mobile sands, particularly on the west coast, began in 1922, and large-scale development for exotic forestry, preceded by the planting of marram and lupin, began in the 1960s. In 1991 approximately 25% of the vegetation by area on the Aupouri Peninsula comprised exotic forest (Conning and Holland 2003). Exotic weeds are a feature of most of the remaining natural areas in the Aupouri Ecological District (Conning and Holland 2003).

Including the three harbours mentioned above, which cover 18,168ha, the Aupouri Ecological District covers 119,422ha. The district is located north and east of Kaitāia, and extends from the Ahipara settlement to Scotts Point and Karatia in the north. Aupouri Ecological District adjoins the Ahipara Ecological District to the south-west, Maungataniwha Ecological District to the south, and Te Pahi Ecological District to the north (Conning and Holland 2003, Brook 1996). Geologically the district comprises consolidated and mobile dune sands with swampy depressions and discontinuous chains of dune lakes, however only a fraction of the original dunes remains in natural vegetation (Conning and Holland 2003).

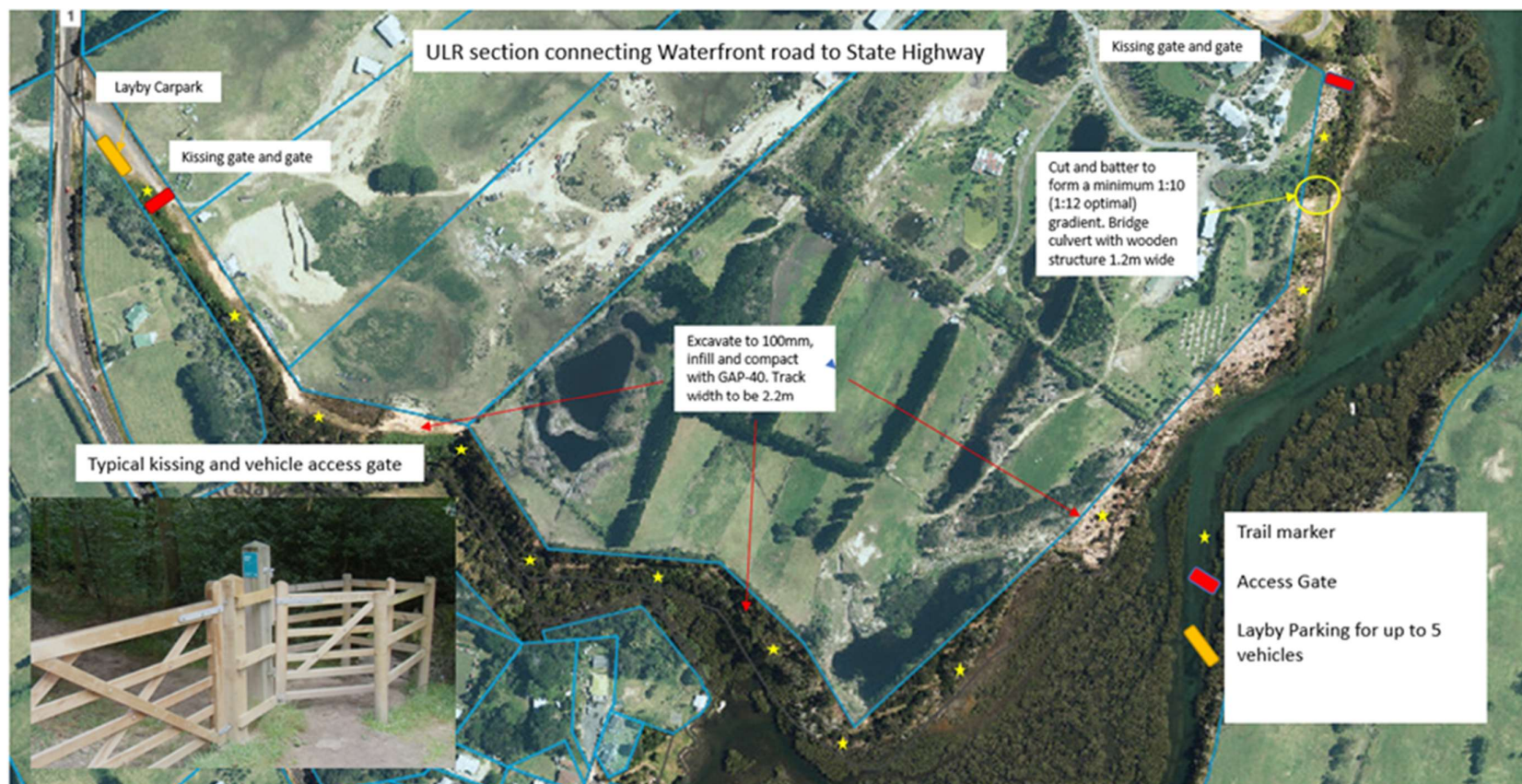


Figure 1: Waterfront Road to State Highway 1 section of the proposed Pukenui Coastal Walkway.



The Aupōuri Peninsula is thought to provide habitat for 3–4% of the total (national) New Zealand dabchick (*weweia*, *Poliocephalus rufopectus*) and Australasian bittern (*Botaurus poiciloptilus*) populations (Conning and Holland 2003). Pārengarenga, Houhora and Rangaunu Harbours are very important for indigenous resident species as well as for local and northern hemisphere migratory species which use the harbours as feeding areas. The Australasian little grebe (*Tachybaptus novaehollandiae novaehollandiae*), which colonised New Zealand in the 1970s, frequents dune lakes and wetlands in this Ecological District. Of the natural areas identified in the Aupouri Ecological District, 44% are estuarine and harbours, 28.8% are shrubland, 17.6% are dunelands, 9% are wetlands, 0.46% are forest and 0.002% are islands. This represents approximately 34% of the area of the Ecological District (Conning and Holland 2003).

Given the very substantial loss of wetland habitat throughout New Zealand, and the rarity of dunefields and their associated vegetation, the preservation of any indigenous vegetation within any remaining areas is a priority for protecting indigenous biodiversity (Department of Conservation and Ministry for the Environment 2007, MfE 2020). Since 1978 nearly all of the temporary pan wetlands within the natural sand dunes of Aupōuri have disappeared and large wetlands such as Kaimaumau continue to be reduced in size and integrity (Conning and Holland 2003). Fragmented shrublands provide an opportunity for forest regeneration in the Aupouri Ecological District because so little original forest remains.

Having evaluated the sites comprising indigenous vegetation in the Aupouri Ecological District, Conning and Holland (2003) grouped the sites according to two levels of ecological significance, with Level 1 sites being of the highest ecological value and Level 2 sites supporting populations of indigenous flora and fauna, but of generally lower ecological value than Level 1 sites. At the time of the Protected Natural Area Programme Surveys described by Conning and Holland (1994 – 1996), there were no Level 1 or 2 sites identified in the vicinity of Ariawa Stream, but the proposed route adjoining Houhora Heads Road passes through Site NO3/034 (Houhora Heads Road Wetland) which was identified as a Level 1 site by Conning and Holland (2003). Wetlands provide habitat for a large number of threatened and at risk native plants, birds and lizards.

The Houhora Heads Road Wetland site identified by Conning and Holland (2003) comprised approximately 9ha including 3ha of wetland with 6ha of shrubland surrounding the wetland area. The wetland comprised an inundated dune hollow on consolidated foredunes which have developed since the last interglacial period. Vegetation was dominated by mānuka shrubland with the Northland endemic leafless vine taihoa (*Cassytha paniculata*) present as a common epiphyte. Other species present were kumarahou (*Pomaderris kumeraho*), bracken (*Pteridium esculentum*), mingimingi and the rushes *Schoenus brevifolius* and *Lepidosperma laterale*. Common weed species included both Sydney golden wattle (*Acacia longifolia*) and brush wattle (*Paraserianthes lophantha*), prickly hakea (*Hakea sericea*) and pampas (*Cortaderia selloana*) (Conning and Millar 2003, NZ Environmental 2012).

The Houhora Heads Wetland forms part of a 15.48ha recreational reserve managed by the Far North District Council and known locally as Pukenui Domain. In c. 2009, large drains were illegally established within the wetland and approximately 1.9ha of indigenous vegetation within the reserve was cleared for the purpose of establishing a rugby field. The extent of these works is shown in Figure 2. This drainage and vegetation clearance resulted in preparation and implementation of a management plan, the goal of which was to restore the natural hydrology and vegetation of the site<sup>1</sup>. The actions implemented to

<sup>1</sup> As set out in condition 2 of FNDC land use consents (Ref LUC2110188) and conditions 2 and 3 of Northland Regional Council consents (Ref CON20102760601).

achieve these objectives included installation of weirs in the drains to impede drainage, mulching and planting of the cleared area and weed and mammalian pest control (NZ Environmental 2012).



**Figure 2: Location and extent of vegetation clearance and earthworks at the Houhora Heads Road site (from Google Earth, photograph dated August 2009).**

### 1.3 Scope and Objectives

Ecological Solutions Limited was retained in August 2022 to investigate the Waterfront Road to State Highway 1 and Houhora Heads Road sections of the proposed route with respect to the presence or absence of natural wetlands as defined by the National Policy Statement for Freshwater Management (2020) ('NPS-FM').

## 2 Methods

### 2.1 Introduction

This assessment is based on a walk-through survey of the two sections of the route undertaken on 7 October 2022 by Dr Gary Bramley. Prior to undertaking the survey, an initial desktop study was carried out using aerial photography (Google Earth and Retrolens) to assist in determining potential locations of wetlands within which to carry out wetland determination surveys as required. Additional information from S-Maps (Manaaki Whenua - Landcare Research Limited) was used to assist in determining soil properties within the site.

## 2.2 Wetland identification

Potential wetland habitats were assessed in accordance with the Ministry for the Environment Wetland Delineation Protocols (MfE 2020) including the Vegetation Tool (Clarkson 2014), Hydric Soil Tool (Fraser et al. 2018) and Hydrology Tool (MfE 2021). The vegetation survey involved undertaking one (2m x 2m) plot within representative vegetation at the potential wetlands encountered. This data was then used to apply the rapid, dominance and prevalence tests to confirm wetland status (Clarkson 2014). The hydrology tool (MfE 2021) was applied to assist in determining wetland presence. Data was gathered from site observations and aerial photography to determine the presence of hydrology indicators. One primary hydrology indicator or two secondary indicators are required to confirm wetland hydrology (MfE 2021). Refer to Appendix A for wetland definitions and terminology. A list of plant species encountered is provided in Appendix B.

## 3 Results

### 3.1 Waterfront Road to State Highway 1 Section

Vegetation along the Waterfront Road to State Highway 1 section of the proposed route includes kānuka (*Kunzea linearis*) shrubland and regenerating coastal forest, areas of rank exotic grassland, mown areas, grazed areas and areas which have been planted with native tree species. A number of mature pōhutukawa occur along the route. The plantings include a good diversity of native species, can be irrigated and some have been mulched. The plantings vary in age, but are typically less than 2m tall. The proposed route bypasses a small dune lake as shown in Figure 3. Vegetation surrounding this dune lake was limited to a narrow strip of natural vegetation surrounded by maintained lawn and native plantings as shown in Figure 4. Weed species such as Sydney golden wattle, exotic pasture grasses, woolly nightshade (*Solanum mauritianum*) and gorse (*Ulex europaeus*) were occasionally encountered along this section of the route, particularly nearest State Highway 1, where livestock grazing is ongoing for approximately 300m of the route from the layby carpark.

The proposed route is located on the southern (coastal) side of the dune lake nearest the coastal fringe of mangrove (*Avicennia marina* subsp. *australasica*) forest and oioi (*Apodasmia similis*) rushland which adjoins Ariawa Stream. An existing track occurs at this location as shown in Figure 5. An example of the planted vegetation found along the proposed route is shown in Figure 6.

Although the area between the dune lake and the wetland is not currently vegetated, on the basis of soil and hydrology indicators, this area should be regarded as part of the dune lake wetland. The extent of the dune lake and associated wetland is shown in Figure 7.





**Figure 3: Unnamed dune lake near Ariawa Stream, Houhora.**



**Figure 4: Vegetation surrounding the unnamed dune lake near Ariawa Stream, Houhora.**





**Figure 5: Existing track around the unnamed dune lake (left of photograph).**



**Figure 6: Planted vegetation on the Waterfront Road to State Highway 1 section of the proposed walkway.**





Figure 7: Extent of the unnamed dune lake and associated wetland area, Houhora.



### 3.2 Houhora Road Section

Vegetation along the Houhora Road section of the proposed route was mānuka shrubland with common taihoa and kumerahou and occasional swamp blueberry (*Dianella haemática*) and kauri sedge (*Schoenus tendo*) and common pampas, Sydney golden wattle and prickly hakea. Within the disturbed area the vegetation was up to approximately 1m tall, whilst in undisturbed areas the vegetation was taller (up to 4m) with an understorey dominated by tanglefern (*Gleichenia microphylla*) and kauri sedge. Examples of that vegetation are shown in Figures 8 and 9.

Dune slacks (vegetated, damp, nutrient enriched hollows within sand banks) of the type found at Houhora Heads Road are a naturally uncommon ecosystem<sup>2</sup> which are regarded as 'endangered' (Holdaway et al. 2012).



Figure 8: Regenerating mānuka shrubland at Houhora Heads Road.

<sup>2</sup> Naturally uncommon ecosystems are those which originally having a total extent less than 0.5% (i.e. < 134 000 ha) of New Zealand's total area (268 680 km<sup>2</sup>) (Williams et al. 2007).



**Figure 9: Mānuka shrubland with an understorey of tanglefern and kauri sedge at Houhora Heads Road.**

The vegetation within the plot surveyed within this area comprised mostly facultative hydrophytic plants, but based on the soil and hydrology indicators, and a prevalence index of  $< 3$ , that area should also be regarded as a wetland. The approximate extent of the wetland at Houhora Heads Road is shown in Figure 10.





Figure 10: Extent of wetland at Houhora Heads Road.



## 4 Conclusion

The wetland assessment presented in this report has been carried out in accordance with the NPS-FM guidelines that were current at the time of preparation. Ecological Solutions understands aspects of the guidelines are currently being reviewed by the Ministry for the Environment. Both the Waterfront Road to State Highway One and the Houhora Heads Road section of the walkway include areas of natural inland wetland in accordance with the NPS-FM.

The wetland area near Ariawa Stream has been damaged by previous track formation and use and does not currently support natural vegetation. The vegetation surrounding the unnamed dune lake comprises predominantly indigenous species and includes a moderately diverse assemblage of plant species typical of unmodified wetlands. The wetland area at Houhora Heads Road has been damaged by previous drainage and vegetation clearance, which has been partially rehabilitated. The vegetation is predominantly indigenous, but exotic weeds are common.

Even wetlands which have been damaged or are dominated by exotic vegetation, are defined as natural wetlands under the NPS-FM and are therefore fully protected. On that basis the hydrological integrity of those wetlands must be maintained.

Key considerations for natural inland wetlands (unless the wetland has another status under any of the NES-F regulations in Part 3 (Regulations 38–55), are:

- Earthworks within a natural wetland is a prohibited activity if it results, or is likely to result, in the complete or partial drainage of all or part of a natural wetland (Regulation 53(1)(a)).
- The taking, use, damming, diversion, or discharge of water within a natural wetland is a prohibited activity if it results, or is likely to result, in the complete or partial drainage of all or part of a natural wetland (Regulation 53(2)(a)).
- Earthworks outside, but within a 10m setback from, a natural wetland is a non-complying activity if it results, or is likely to result, in the complete or partial drainage of all or of a natural wetland. If earthworks or land disturbances result in, or are likely to result in, the complete or partial drainage of an NPS-FM natural wetland, then this setback is extended to 100m (Regulation 54(a),(b)).
- The taking, use, damming, diversion, or discharge of water outside, but within a 100m setback from, a natural wetland is a non-complying activity if it results, or is likely to result, in the complete or partial drainage of all or part of a natural wetland (Regulation 54(c)).
- Vegetation clearance and earthworks within, or within a 10m setback from, a natural wetland is a non-complying activity (Regulation 54(a)).
- The taking, use, damming, diversion, or discharge of water within, or within a 100m setback from, a natural wetland is a non-complying activity (Regulation 54 (c)).

Construction of the walkway as proposed would involve earthworks within wetlands, and within 10m of the wetlands, at both locations. Those earthworks are not expected to result in the complete or partial drainage of all or part of the wetlands and there is no proposal to dam, divert or discharge water as part of this proposal. The earthworks and vegetation clearance as proposed would be a non-complying activity in accordance with Regulation 54(a) of the NES-FW.

It may be possible to relocate the route so as to avoid these wetland areas. This would mean locating the walkway north of the dune lake (outside the unformed paper road, but

within the existing reserve area) and either further east (nearer Houhora Heads Road) or west (nearer the adjoining farmland) at the Houhora Heads wetland.

Construction of the proposed walkway between Waterfront Road and State Highway 1 will require minimal indigenous vegetation clearance (within approximately 100m nearest Waterfront Road). That indigenous vegetation is of moderate quality and coastal vegetation is relatively rare, meaning it is of high ecological value. The extent of the clearance would be relatively minor and would be more than addressed by the additional planting which has occurred and is contributing to establishing connected coastal vegetation along the route. In the event that the walkway is constructed along Houhora Heads Road, more extensive indigenous vegetation clearance would be required. The presence and use of the route would facilitate invasion by exotic weed species and expansion of those already present. Accessways also provide routes for invasive mammals such as stoats (*Mustela erminea*) to access habitats along the route. These effects would be permanent. In order to mitigate the pervasive effects of weeds and pests we recommend undertaking weed and pest control throughout the route, including the Houhora Heads Road Wetland area. This would improve the ecological quality and integrity of the Houhora Heads Road site and mitigate the vegetation removal required.

## 5 Summary

Far North District Council proposes to construct a coastal walkway at the southern end of the Houhora Harbour, Northland. The proposed route passes near an unnamed dune lake located on the true left bank of Ariawa Stream and as proposed also traverses a wetland within Pukenui Domain. The Pukenui Domain site was identified by Conning and Holland (2003) as a Level 1 site as part of the Protected Natural Areas Programme and includes wetland and indigenous shrubland vegetation.

Vegetation along the Waterfront Road to State Highway 1 section of the proposed route included kānuka (*Kunzea linearis*) shrubland and regenerating coastal forest, areas of rank exotic grassland, mown areas, grazed areas and areas which have been planted with native tree species.

Vegetation along the Houhora Road section of the proposed route was mānuka shrubland with common taihoa and kumerahou and occasional swamp blueberry and kauri sedge and common pampas, Sydney golden wattle and prickly hakea. Within the disturbed area the vegetation was up to approximately 1m tall, whilst in undisturbed areas the vegetation was taller (up to 4m) with an understorey dominated by tanglefern and kauri sedge.

Construction of the walkway as proposed would involve earthworks within wetlands, and within 10m of the wetlands, at both locations. Those earthworks are not expected to result in the complete or partial drainage of all or part of the wetlands and there is no proposal to dam, divert or discharge water as part of this proposal. The earthworks and vegetation clearance as proposed would be a non-complying activity in accordance with Regulation 54(a) of the NES-FW.

It may be possible to relocate the route so as to avoid these wetland areas. This would mean locating the walkway north of the dune lake (outside the unformed paper road, but within the existing reserve area) and either further east (nearer Houhora Heads Road) or west (nearer the adjoining farmland) at the Houhora Heads wetland.

Construction of the proposed walkway will require indigenous vegetation clearance between on part of the route between Waterfront Road and State Highway 1 (within approximately 100m nearest Waterfront Road) and within Pukenui Domain. In order to mitigate the pervasive effects of weeds and pests we recommend undertaking weed and pest control

throughout the route, including the Houhora Heads Road Wetland area. This would improve the ecological quality and integrity of the Houhora Heads Road site and mitigate the vegetation removal required.



## 6 References

- Brook, F.J. 1996: Classification of the ecological districts of Northland. Unpublished report prepared for Northland Conservancy, Department of Conservation, Whangarei.
- Clarkson, BR. 2014. A Vegetation Tool for Wetland Delineation in New Zealand. Landcare Research Contract Report LC1793. December 2013.
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## **APPENDIX A**

### **Wetland Terminology**

## APPENDIX B

### Plant Species List







**Archaeological Authority 2025-584**  
**Heritage New Zealand Pouhere Taonga Act 2014**  
**Section 45 Approval**

<b>APPROVAL DATE</b>	27 June 2025
<b>AUTHORITY HOLDER</b>	Far North District Council

This approval may not be exercised during the appeal period of 15 working days, or until any appeal that has been lodged is resolved.

**APPROVAL**

Pursuant to section 45 of the Act, Leigh Johnson is approved by Heritage New Zealand Pouhere Taonga to carry out any archaeological work required as a condition of authority 2025-584, and to compile and submit a report on the work done. Leigh Johnson will hold responsibility for the current archaeological practice in respect of the archaeological authority for which this approval is given.

Signed for and on behalf of Heritage New Zealand Pouhere Taonga,

A handwritten signature in blue ink, appearing to read 'Claire Craig'.

**Claire Craig**

**Deputy Chief Executive Policy, Strategy and Operations Manahautu Tuarua: Rautaki**

**Heritage New Zealand Pouhere Taonga**

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If you have any queries, please contact us through the AAP in the first instance. Otherwise, you can contact:

**James Robinson**

Senior Archaeologist Tuakana Poutairangahia

Phone (09) 407 0473

Email [ArchaeologistNA@heritage.org.nz](mailto:ArchaeologistNA@heritage.org.nz)





## Archaeological Authority 2025-584

### Heritage New Zealand Pouhere Taonga Act 2014

Heritage New Zealand Pouhere Taonga has granted an archaeological authority subject to conditions. Read your conditions carefully. Complying with the conditions of your archaeological authority is a legal requirement.

DETERMINATION DATE	27 June 2025
EXPIRY DATE	27 June 2030
AUTHORITY HOLDER	Far North District Council
ARCHAEOLOGICAL SITES	N02/115, N02/138, N02/139, N02/163, N02/224 also recorded as 140, N02/351, N03/133, N03/134, N03/140, N03/154, N03/695, and possible subsurface sites, to be determined
LOCATION	Road Reserve, Waterfront Road, Whangarei 36 Water Street, Whangarei

This authority may not be exercised during the appeal period of 15 working days, or until any appeal that has been lodged is resolved.

This decision does not ascribe mana whenua status.

## DETERMINATION

Heritage New Zealand Pouhere Taonga grants an authority pursuant to section 48 of the Heritage New Zealand Pouhere Taonga Act 2014 in respect of the archaeological site(s) described above, within the area specified as Road Reserve, "Hydro" to Far North District Council for the proposal to undertake earthworks to establish a walkway at Road Reserve, Waterfront Road, Whangarei; 36 Water Street, Whangarei, subject to the following conditions:

## CONDITIONS OF AUTHORITY

1. Prior to the start of any on-site archaeological work, the authority holder must ensure that Heritage New Zealand Pouhere Taonga is advised of the date when work will begin.
2. The authority holder must ensure that Heritage New Zealand Pouhere Taonga is advised of the completion of the on-site archaeological work, within two working days of completion.

3. The authority holder must ensure that all contractors working on the project are briefed on site by the s45 approved person (who may appoint a person to carry out the briefing on their behalf) prior to any works commencing. The briefing must include the possibility of encountering archaeological evidence, how to identify possible archaeological sites, the archaeological work required by the conditions of this authority, and contractors' responsibilities with regard to discovering archaeological evidence (including stopping works and parties to notify).

4. A site instruction must be prepared with archaeological advice, or commissioned, by the authority holder. The site instruction shall specify procedures to ensure that any archaeological evidence encountered on site is treated in accordance with the conditions of this authority.

The site instruction shall include, but is not limited to, the following:

- a) areas where the s45 approved person (who may appoint a person to carry out this activity on their behalf) must be present for earthworks,
- b) on-site briefing by the s45 approved person (who may appoint a person to carry out the briefing on their behalf) for contractors about the archaeological work required and how to identify possible archaeological sites during works. The site instruction must state who will be carrying out the briefings,
- c) the responsibilities of contractors with regard to notification of the discovery of archaeological evidence, and
- d) emergency contact details for the s45 approved person, Heritage New Zealand Pouhere Taonga, and iwi.

The site instruction must be submitted to Heritage New Zealand Pouhere Taonga for approval prior to the commencement of any works. No works shall commence until Heritage New Zealand Pouhere Taonga has given its written approval of the site instruction.

5. Te Aupōuri shall be informed two working days before the start of the archaeological work.

6. Any earthworks that may affect any archaeological sites must be monitored by the s45 approved person who may appoint a person to carry out the monitoring on their behalf.

7. Any archaeological evidence encountered during the exercise of this authority must be investigated, recorded and analysed in accordance with current archaeological practice.

8. In addition to any tikanga agreed, the following shall apply for Te Aupōuri:

- a) Enable access in order to undertake tikanga consistent with any requirements of site safety.
- b) Notify if any kōiwi (human remains) are encountered. All work should cease within 5 metres of the discovery. Heritage New Zealand Pouhere Taonga and New Zealand Police must also be advised immediately in accordance with Guidelines for Kōiwi Tangata/Human Remains (AGS8 2010) and no further work in the area may take place until future actions have been agreed by all parties.
- c) Notify if any possible taonga are identified to enable appropriate tikanga to be undertaken, so long as all statutory requirements under the Heritage New Zealand Pouhere Taonga Act 2014 and the Protected Objects Act 1975 are met.

d) Provide a copy of any reports completed as a result of the archaeological work associated with this authority and give an opportunity to discuss them with the s45 approved person if required.

9. Te Aupōuri shall be informed two working days after the finish of the archaeological work.

10. Within 20 working days of the completion of the on-site archaeological work associated with this authority, NZAA Site Records must be updated in ArchSite based on current archaeological practice.

11. Within 20 working days of the completion of the on-site archaeological work associated with this authority, the authority holder shall ensure that an interim report completed to the satisfaction of Heritage New Zealand Pouhere Taonga and following the Archaeological Report Guideline (AGS12 2023) is submitted to Heritage New Zealand Pouhere Taonga for inclusion in the Heritage New Zealand Pouhere Taonga Archaeological Reports Digital Library.

12. Within 6 months of the completion of the on-site archaeological work, the authority holder shall ensure that a final report, completed to the satisfaction of Heritage New Zealand Pouhere Taonga and following the Archaeological Report Guideline (AGS12 2023), is submitted to Heritage New Zealand Pouhere Taonga for inclusion in the Heritage New Zealand Pouhere Taonga Archaeological Reports Digital Library.

Digital copies of the final report must also be sent to: the NZAA Central Filekeeper, Kaitia Museum, Northland Regional Council and Te Aupōuri

Signed for and on behalf of Heritage New Zealand Pouhere Taonga,



**Claire Craig**

**Deputy Chief Executive Policy, Strategy and Operations Manahautu Tuarua: Rautaki**

**Heritage New Zealand Pouhere Taonga**

[Click here to read our Advice Notes](#)

Thank you for your application for an archaeological authority which has been granted and is attached.

In considering this application, Heritage New Zealand Pouhere Taonga notes that you wish to construct a 2.7km walkway on road reserve at Pukenui, Houhora Harbour, Far North. While this activity will not affect the known extent of archaeological midden sites N03/115, N03/133, N03/134, N03/138, N03/139, N03/140, N03/154, N03/163, N03/224, N03/351 and N03/695, there is potential to encounter as yet unrecorded subsurface archaeology relating to these recorded sites or as yet unrecorded archaeological sites within the area of earthworks. The site is of significance to Te Aupōuri, and we appreciate the consultation you have undertaken.



If you have any queries, please contact us through the AAP in the first instance. Otherwise, you can contact:

**James Robinson**

Senior Archaeologist Tuakana Poutairangahia

Phone (09) 407 0473

Email [ArchaeologistNA@heritage.org.nz](mailto:ArchaeologistNA@heritage.org.nz)