

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

2. Type of consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| ☐ Land Use | ☐ Discharge |
| ☐ Fast Track Land Use* | ☐ Change of Consent Notice (s.221(3)) |
| ☐ Subdivision | ☐ Extension of time (s.125) |
| ☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| ☐ Other (please specify) _____ | |

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Richard Lyon and Brooke Gibson

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

4 Totara Place, Kaikohe

Postcode 405

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Thomas Keogh

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

PO Box 191, Whangarei, 0140

Postcode 405

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Richard Lyon and Brooke Gibson

**Property address/
location:**

4 Totara Place, Kaikohe

Postcode 405

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☐ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☒ Yes ☐ No ☐ Don't know

☐ Subdividing land

☒ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Brooke Gibson

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

4 Totara Place, Kaikohe

Postcode 405

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Brooke Gibson

Signature:

(signature of bill payer)

[Redacted signature]

Date

23/10/25

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Brooke Gibson

Signature

[Redacted signature]

Date

23/10/25

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Application for land use consent

**RICHARD LYON AND BROOKE
GIBSON**

4 Totara Place, Kaikohe

Application for land use consent

RICHARD LYON AND BROOKE GIBSON

4 Totara Place, Kaikohe

Report prepared for:	Richard Lyon and Brooke Gibson
Author	Thomas Keogh, <i>Associate</i>
Reviewed by:	Brett Hood, <i>Director</i>
Consent authority:	Far North District Council
Report reference:	18656
Report status:	Final
Date:	October 2025

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Reyburn and Bryant
P.O. Box 191
Whangarei 0140
Telephone: (09) 438 3563

FORM 9

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To Far North District Council
Private Bag 752
Kaikohe, 0440

1. **Richard Lyon and Brooke Gibson** apply for land use consent from the Far North District Council to construct two residential units on the subject site.
2. The location of the proposed activity is 4 Totara Place, Kaikohe. The legal description of the site is Lot 27 DP 93396 and the title reference is NA49D/1054.
3. The applicants are the owners of the site.
4. There are no other activities to which this application relates.
5. No resource consents are needed for the proposed activity that are not being applied for as part of this application.
6. We attach an assessment of effects on the environment that:
 - (a) includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
 - (b) addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
 - (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.
7. We attach an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.
8. We attach an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including information required by clause 2(2) of Schedule 4 of that Act.

-
9. No other information is required to be included in the District or Regional Plan(s) or regulations.



Signature of applicant (or person authorised to sign on behalf of applicant)

Thomas Keogh

24 October 2025

Date

Address for service:

Reyburn and Bryant 1999 Ltd
PO Box 191, Whangarei

Telephone:

(09) 438 3563

Email:

thomas@reyburnandbryant.co.nz

Contact person:

Thomas Keogh

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1. Architectural plans
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ABBREVIATIONS

AEE	Assessment of Environmental Effects
FNDC	Far North District Council
FNPDP	Far North Proposed District Plan
GFA	Gross Floor Area
NES-CS	National Environmental Standard – Contaminated Soil
NRC	Northland Regional Council
OFNDP	Operative Far North District Plan
RMA	Resource Management Act, 1991

1. INTRODUCTION

1.1 Report basis

This report has been prepared for the Richard Lyon and Brooke Gibson (“the applicants”) in support of a resource consent application to construct two residential units on the subject site at 4 Totara Place, Kaikohe.

The application has been prepared in accordance with Section 88 and the Fourth Schedule of the Resource Management Act, 1991 (RMA). Section 88 of the RMA requires that resource consent applications be accompanied by an Assessment of Environmental Effects (AEE) in accordance with the Fourth Schedule.

The report also includes an analysis of the relevant provisions of the Operative and Proposed Far North District Plan, which is pertinent to the assessment and decision required under Section 104 of the RMA.

1.2 Proposal summary

The applicants own a 752m² title located at 4 Totara Place, Kaikohe. The site is currently vacant.

Under the Operative Far North District Plan (OFNDP), the site is zoned ‘Residential’. The Far North District Council (FNDC) GIS also suggests that the site is subject to the ‘Northland Regional Council (NRC) flood susceptible land’ overlay. However, the NRC GIS does not show any flood overlays on the site. It is therefore assumed that the overlay shown on the FNDC GIS is an error.

The proposal seeks consent to construct two residential units on the subject site. The architectural plans for the proposal are included at **Appendix 1**.

A building consent was lodged (FNDC reference EBC-2026-207/0), where it was identified that the proposal requires resource consent due to an infringement of Rule 7.6.5.1.2 of the OFNDP. This results in the proposal being a **restricted discretionary activity** under Rule 7.6.5.3 of the OFNDP.

The proposal does not require resource consent under any of the operative rules from the Far North Proposed District Plan (FNPDP). Regardless, an assessment of the proposal in the context of the FNPDP is provided in Section 4.6 of this report.

1.3 Property details

Applicant and landowner	Richard Lyon and Brooke Gibson
Location	4 Totara Place, Kaikohe
Title reference	NA49D/1054
Legal description	Lot 27 DP 93396
Area	752m ²
District Plan	FNDP
Zone	Residential
Overlays	NRC flood susceptible land ¹

Table 1: Property details.

1.4 Relevant title memorials

There are no memorials registered on NA49D/1054, a copy of which is attached at **Appendix 2**.

1.5 Resource consents sought

The proposal requires resource consent under the following rule from the OFNDP:

Chapter 7 URBAN ENVIRONMENT – Section 6 – Residential Zone

- Rule 7.6.5.3 – **restricted discretionary activity**. The proposal does not comply with Rule 7.6.5.1.2 as there is not 600m² of net site area associated with each residential unit. It complies with all other rules for permitted and controlled activities under Rules 7.6.5.1 and 7.6.5.2 and rules 7.6.5.3.1 – 7.6.5.3.8.

¹ This is considered a mapping area given that the NRC GIS does not show any flood overlays on the site.

Overall, the proposal requires consent as a **restricted discretionary activity** under the OFNDP.

1.6 Other approvals required

A building consent has been granted for the development under FNDC reference EBC-2026-207/0. This resource consent must be granted prior to any building works commencing.

1.7 Processing request

Please circulate the draft conditions for review.

2. THE SITE AND SURROUNDING ENVIRONMENT

2.1 The site

Location

The subject site is located on the eastern side of Totara Place, which is a dead-end road that extends from Taraire Street near the northern end of Kaikohe's urban area.

The site is shown in **Figure 2** below.



Figure 2. The site (Source: GRIP).

Built development and access

The site is currently vacant and has no formed vehicle crossing.

Topography and ground cover

The site is slightly elevated above Totara Place but is otherwise flat.

The site is primarily in pasture, with a couple of specimen trees located at the northern and southern end of the site (as seen in **Figure 2** above).

2.2 The surrounding environment

The immediate surrounding environment is predominantly residential in character, comprising a mix of single-storey dwellings and modest infill developments. Most properties accommodate detached homes on medium-sized lots, contributing to a low-density suburban form. However, several properties contain two or more residential units, which also form part of the established residential character of the area.

A recreational reserve is located directly opposite the site, on the western side of Totara Place, and connects with the northern end of Wihongi Street.

The primary commercial area lies to the south of the site, extending along both sides of Broadway. Additionally, an area of industrial-zoned land is situated at the southern edge of Kaikohe's urban area. To the east, Rural Living-zoned land extends along both sides of State Highway 12.

3. THE PROPOSAL

3.1 The proposed residential units

Skyline Whangarei has prepared architectural plans for the proposed residential units (**Appendix 1**). The site plan is reproduced in **Figure 3** below for ease of reference.

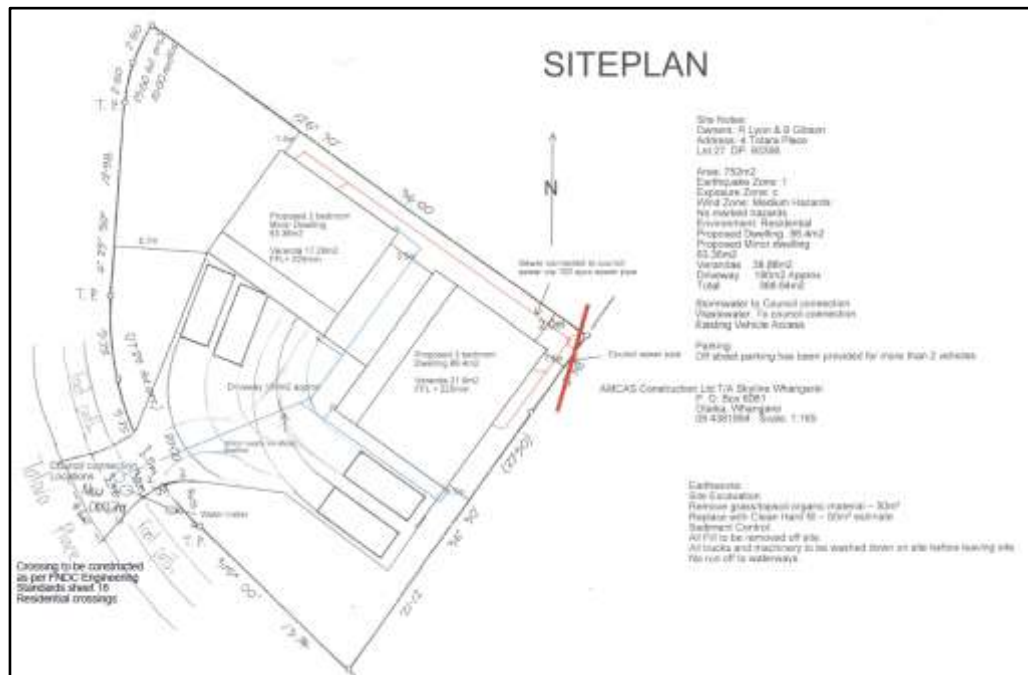


Figure 3: Proposed site plan (Source: Skyline Whangarei).

Proposed 3-bedroom residential unit

It is proposed to construct a 3-bedroom residential unit in the eastern portion of the site. This dwelling has a Gross Floor Area (GFA) of 86.4m².

In addition to the 3 bedrooms, this residential unit will include a bathroom and an open-plan kitchen and living room area.

Externally, the facades will be constructed using championboard wall cladding and the roof will be skyrib iron. There will also be a 12m x 1.8m deck along the western side of the dwelling.

Proposed 2-bedroom residential unit

It is proposed to construct a 2-bedroom residential unit in the north-western portion of the site. This dwelling has a GFA of 63.36m².

In addition to the 2 bedrooms, this residential unit will include a bathroom and an open-plan kitchen and living room area.

Externally, the facades will be constructed using championboard wall cladding and the roof will be skyrib. There will also be a 9.6m x 1.8m deck along the southern side of the dwelling.

3.2 Access and parking arrangements

It is proposed to construct a single vehicle crossing to facilitate access to the proposed residential units. The crossing will be constructed in accordance with the FNDC Engineering Standards.

The vehicle crossing will lead to a concrete driveway area, which will accommodate 2 parking spaces and associated manoeuvring areas for each residential unit.

The access and parking arrangements are shown on the site plan, which is reproduced in **Figure 3** above.

3.3 Servicing arrangements

Each residential unit will be provided with a connection to the reticulated water, stormwater (located within Totara Place) and wastewater (extending through the eastern corner of the site) networks. The preliminary arrangements are shown on the site plan and have been approved through the building consent process.

Each residential unit will also be provided with an electricity and fibre connection.

4. PLANNING AND EFFECTS ASSESSMENT

4.1 Assessment context

The matters to which FNDC has restricted its discretion under Rule 7.6.5.3 (listed under Rule 7.6.5.3.1) are addressed in section 4.5 of this report.

This assessment must be undertaken in the context of the existing environment and permitted baseline and should be informed by the relevant objectives and policies of the OFNDP. These matters are addressed in sections 4.2 – 4.4 of this report respectively.

While consent is not required under the FNPDP, an assessment of the relevant provisions is provided in Section 4.6, with a weighting assessment between the OFNDP and FNPDP provided in Section 4.7 of this report.

An assessment in the context of Part 2 of the RMA is provided in Section 4.8, and in the context of the National Environmental Standard for Contaminated Soils (NES-CS) in Section 4.9 of this report for completeness.

4.2 Existing environment

Section 104(1)(a) of the RMA requires a consideration of any actual and potential effects associated with the proposed activity on the receiving environment.

In this instance, the existing environment includes the pattern of development associated with the surrounding environment. This is described in Section 2.2 of this report.

4.3 Permitted baseline

Section 104(2) of the RMA allows a consent authority to disregard an adverse effect of an activity on the environment if a plan permits an activity with that effect. This is referred to as the permitted baseline.

The OFNDP permits the construction of residential units at a density of 1 per 600m² of net site area for sewered sites in the Residential Zone where

compliance is achieved with the relevant bulk and location provisions. These include a maximum height of 8m, a sunlight recession plane of 2m + 45° along all boundaries, a 50% maximum building + impermeable coverage, a 1.2m setback from non-road boundaries, a 2m wide strip along road boundaries of which 50% must be landscaped, and a maximum 45% building coverage.

A proposal must also comply with the relevant requirements from Chapters 15 – ‘Transportation’ and 12 ‘Natural and physical resources’ in order to be permitted.

In this instance, it is only the density requirement that the proposal does not comply with. All other aspects fall within the permitted baseline. The following assessment has been prepared on that basis.

4.4 Objectives and policies of the Operative Far North District Plan

Introduction

The objectives and policies that are relevant to this application are located in the Residential Zone chapter. They are identified and assessed in the context of the proposal below.

Assessment

Objective 7.6.3.1 To achieve the development of new residential areas at similar densities to those prevailing at present.

The proposed development is consistent with the prevailing residential density in the surrounding area. Several nearby properties already accommodate two or more residential units, and the proposed two-unit development with a total building coverage of 149.76m² on a 752m² site aligns with this established pattern, maintains the low-density suburban character of the area, and represents an efficient use of residentially zoned land.

Policy 7.6.4.4 That the Residential Zone provide for a range of housing types and forms of accommodation.

By introducing both a 2-bedroom and a 3-bedroom residential unit, the proposal contributes to a broader range of housing types within the Residential Zone, supporting housing diversity and catering to varying household needs.

Policy 7.6.4.6 That activities with net effects that exceed those of a typical single residential unit, be required to avoid, remedy or mitigate those effects with respect to the ecological and amenity values and general peaceful enjoyment of adjacent residential activities.

The proposal will not generate effects beyond those typical of residential use, with no ecological impacts and no adverse effects on the amenity or peaceful enjoyment of neighbouring properties, as it complies with key development standards and generally reflects the scale and form of surrounding dwellings.

Policy 7.6.4.7 That residential activities have sufficient land associated with each household unit to provide for outdoor space, planting, parking and manoeuvring.

Each unit is supported by sufficient land area to provide for outdoor living, landscaping, and compliant parking/manoeuvring, ensuring that the functional and amenity needs of future residents are met in accordance with the zone's expectations.

Policy 7.6.4.9 That sites have adequate access to sunlight and daylight.

The single-storey design and compliance with height and boundary controls ensure that the proposal maintains adequate access to sunlight and daylight for both the proposed units and adjacent properties.

Policy 7.6.4.10 That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on a site.

The layout and orientation of the buildings ensure a reasonable level of privacy for occupants, consistent with the expectations of residential development in the area.

Conclusion

The proposal is consistent with the relevant objectives and policies from the OFNDP.

4.5 Relevant restricted discretionary matters

Introduction

Pursuant to s104C(1) of the RMA, the following assesses the proposal against the matters to which the FNDC has restricted its discretion under Rule 7.6.5.3 (listed under Rule 7.6.5.3.1) of the OFNDP.

Assessment

(a) the character and appearance of building(s) and the extent to which they will be compatible with the principal activity on the site and with other buildings in the surrounding area;

The proposed residential units are modest in scale, single-storey, and utilise materials and finishes that are consistent with the surrounding residential context. Their design and form are compatible with the existing built environment, which includes properties with more than one dwelling, ensuring the development integrates well with the character of the area.

(b) the siting of the building(s), decks and outdoor areas relative to adjacent properties in order to avoid visual domination and loss of privacy and sunlight to those properties;

The buildings, decks, and outdoor areas are appropriately sited to avoid visual dominance and maintain privacy and sunlight access for neighbouring properties. The single-storey height, compliance with boundary setbacks, and orientation of outdoor spaces ensure that the development respects the amenity of adjacent sites.

(c) the size, location and design of open space and the extent to which trees and garden plantings are utilised for mitigating adverse effects;

The site layout provides for functional and well-proportioned open space around each unit, with sufficient room for outdoor living and planting. There is sufficient space provided to accommodate garden areas that will support visual amenity and help to soften the built form.

(d) the ability of the immediate environment to cope with the effects of increased vehicular and pedestrian traffic;

The scale of the development is modest and consistent with the residential use of the area. The addition of one extra dwelling is not expected to generate traffic volumes beyond what the local road network can comfortably accommodate.

(e) the location and design of vehicular and pedestrian access, on site vehicle manoeuvring and parking areas and the ability of those to mitigate the adverse effects of additional traffic;

The proposal includes a single vehicle crossing and a concrete driveway that provides compliant on-site parking and manoeuvring for both units. The design meets FNDC Engineering Standards and ensures safe and efficient access without adverse effects on the surrounding transport network.

(f) location in respect of the roading network – sites on local roads are not generally considered appropriate for activities which generate high levels of pedestrian and vehicular activity;

Totara Place is a local road serving a low-density residential area. The proposed development will not generate high levels of pedestrian or vehicular activity and is therefore appropriate in this location, with no conflict anticipated with the function of the roading network.

(g) noise generation and the extent to which reduction measures are used;

The proposal involves standard residential activities and is not expected to generate noise beyond what is typical for the zone. No specific mitigation measures are required, and the development will comply with relevant noise standards.

- (h) any servicing requirements and/or constraints of the site – whether the site has adequate water supply and provision for disposal of waste products and stormwater;

The site is fully serviced, with confirmed connections to reticulated water, wastewater, and stormwater networks. These services have been approved through the building consent process, confirming the site's capacity to accommodate the proposed development.

- (i) whether the development is designed in a way that avoids, remedies or mitigates any adverse effects of stormwater discharge from the site into reticulated stormwater systems and/or natural water bodies;

Stormwater from the development will be managed via connection to the existing reticulated network within Totara Place. The design avoids adverse effects on the network or natural water bodies, and no additional mitigation is required.

- (j) the ability to provide adequate opportunity for landscaping and buildings and for all outdoor activities associated with the residential unit(s) permitted on the site;

The site layout allows for adequate landscaping and outdoor living areas for each unit. These spaces are functional, suitably private, and consistent with residential expectations, supporting both amenity and usability for future occupants.

- (k) the degree to which mitigation measures are proposed for loss of open space and vegetation;

While the development introduces additional built form, it remains well within site coverage limits. The retention of open space around each unit along with opportunities for planting, ensures that any loss of vegetation or open space is appropriately mitigated.

- (l) any adverse effects on the life supporting capacity of soils;

N/A.

(m) the suitability of sites for building and access;

The site is flat, accessible, and has no known geotechnical or topographical constraints. It is well suited for residential development, with safe and efficient access provided via Totara Place.

(n) visual effects of site layout on the natural character of the coastal environment;

N/A.

(o) the effect on indigenous vegetation and habitats of indigenous fauna.

N/A.

Conclusion

In the context of the matters to which Council has restricted its discretion under Rule 7.6.5.3 (listed under Rule 7.6.5.3.1) of the OFNDP, any adverse effects associated with the proposal will be less than minor relative to the existing environment and permitted baseline.

4.6 Far North Proposed District Plan

Context

FNDC is progressing the FNPDP through the relevant statutory process. The hearings are yet to be completed, and it remains subject to commissioner recommendations, the Council's decision, and appeals.

Most of the rules in the FNPDP are not operative and none of the rules that have immediate legal effect are relevant to the proposal. Regardless, the relevant rules under which the proposal would require consent are identified and a brief assessment in the context of the relevant objectives and policies is provided below.

Relevant rules

The subject site is located in the General Residential Zone (GRZ) under the FNPDP. It is not subject to any overlays.

The proposal would require resource consent under the following rule from the GRZ chapter:

- GRZ-R3 'Residential activity (standalone residential units) – **discretionary activity**. Two residential units are proposed.

Overall, the proposal would be a discretionary activity under the FNPDP.

Objectives and policies assessment

The relevant objectives and policies are located in the GRZ chapter. They are not repeated in full here for brevity, but include GRZ-O1, O2, O4, O5, P1, and P8.

The outcomes sought by these provisions generally align with those sought by the relevant provisions from the OFNDP (maintain the existing low-density suburban character while enabling a variety of housing types to meet diverse community needs, ensure that residential development supports amenity, privacy, access to sunlight, and functional outdoor space, while avoiding adverse effects on neighbours, infrastructure, and the natural environment).

Given the general consistency between the operative and proposed provisions, the proposal aligns with the relevant objectives and policies from the FNPDP for the same reasons outlined in Section 4.4 of this report.

Conclusion

The proposal is consistent with the objectives and policies from the FNPDP.

4.7 Weighting assessment – operative and proposed district plans

While the FNPDP is now relatively well advanced, it remains subject to the completion of hearings, commissioner recommendations, Council decisions, and appeals. Therefore, there remains scope for the associated rules to change, and limited weight should be applied to the associated provisions when considering the proposal under Section 104(1) of the RMA.

Notwithstanding the above, given that the outcome is generally the same under the relevant provisions from the OFNDP and FNPDP, the weighting

between the operative and proposed district plans is of little relevance to this application.

4.8 Part 2 assessment – Resource Management Act, 1991

An assessment of Part 2 matters is not required unless there are issues of invalidity, incomplete coverage, or uncertainty in the planning provisions.² None of these scenarios are applicable with regards to the OFNDP provisions. While an assessment under Part 2 is therefore not required, the following is provided for completeness.

1. The proposal promotes the sustainable management of land by enabling the efficient use of a residentially zoned site in a manner that aligns with the existing character and density of the surrounding area.
2. The proposal enables people and the community to provide for their social well-being and housing needs through the provision of two modest residential units, contributing to housing choice and availability in Kaikohe.
3. The proposal maintains and enhances amenity values by respecting the scale, form, and appearance of surrounding dwellings, and by providing adequate outdoor space, privacy, and space for landscaping.
4. There are no known risks from natural hazards on the site, and the proposal does not increase the likelihood or severity of such hazards.
5. The proposal avoids adverse effects on the natural environment.
6. Infrastructure and servicing are appropriately addressed, with confirmed connections to reticulated water, wastewater, and stormwater systems.

Overall, the proposal is consistent with the purpose of the RMA under Section 5 and does not conflict with the principles set out in Sections 6, 7, or 8.

² R J Davidson Family Trust v Marlborough District Council [2017] NZHC 52

4.9 National Environmental Standards for Contaminated Soils

The subject site has not accommodated a HAIL activity to the best of the applicant's knowledge. A review of aerial photography and the NRC 'Selected Land-use Register' does not reveal any record of HAIL activities being undertaken. The site is therefore not a piece of land described in subclause 5(7) or (8), and the NES-CS regulations are not relevant to this application.

5. NOTIFICATION

Public notification

The steps under s95A of the RMA are addressed as follows:

- Step 1: There is no requirement for mandatory public notification as the applicant has not requested it, notification is not required under s95C, and the proposal does not include any exchange of recreation reserve land.
- Step 2: Public notification is not precluded by any provisions in the OFNDP, while the proposal is not a controlled activity and is not a boundary activity.
- Step 3: Pursuant to s95D, any adverse effects on the environment in the context of the matters to which Council has restricted its discretion will be less than minor as outlined in Section 4.5 of this report.
- Step 4: There are no special circumstances in relation to the proposed activity.

Limited notification

The steps under s95B are addressed below in the context of s95E–G of the RMA.

- Step 1: There are no affected protected customary rights groups or customary marine title groups, and the proposal is not adjacent to land that is subject to a statutory acknowledgement.
- Step 2: There are no rules in the OFNDP that preclude limited notification, while the application is not a controlled activity.
- Step 3: Pursuant to s95E of the RMA, Section 4.5 of this report confirms that no parties are adversely affected by the proposal. Specifically, the proposed residential units are appropriately scaled and sited to maintain privacy, sunlight access, and residential amenity, and the development is consistent with the established character and density of the surrounding area.

Notification conclusion

Having regard to the above, the application can proceed on a non-notified basis.

6. CONCLUSION

The proposal is to construct two residential units on the subject site. The proposal requires resource consent as a **restricted discretionary activity** under the OFNDP.

Section 4.5 of this report considers the adverse effects of the proposal in the context of the matters to which FNDC has restricted its discretion, concluding that they will be no more than minor relative to the existing environment and permitted baseline. Appropriate regard has therefore been given to s104(1)(a) of the RMA.

Section 4.4 of this report confirms that the proposal aligns with the relevant objectives and policies from the OFNDP, while Section 4.6 confirms that the proposal aligns with the relevant objectives and policies from the FNPDP (under which the proposal does not currently require consent). As per Section 4.7 of this report, a weighting assessment between the operative and proposed district plan provisions is of little relevance given the outcomes sought and conclusion of the assessments is generally the same. Accordingly, appropriate regard has been given to s104(1)(b)(i) of the RMA.

Section 4.9 of this report confirms that the NES is not relevant to this application. Appropriate regard has therefore been given to s104(1)(b)(i) of the RMA.

While recourse to Part 2 is not required, Section 4.8 of this report confirms that the proposal does not compromise the purpose or principles of the RMA.

Having regard to all of the relevant matters in s104(1) and s104C of the RMA, the proposal can be approved subject to appropriate conditions of consent.

APPENDIX 1

ARCHITECTURAL PLANS

Owners: R Lyon & B Gibson
Address: 4 Totara Place
Lot:27 DP: 93396

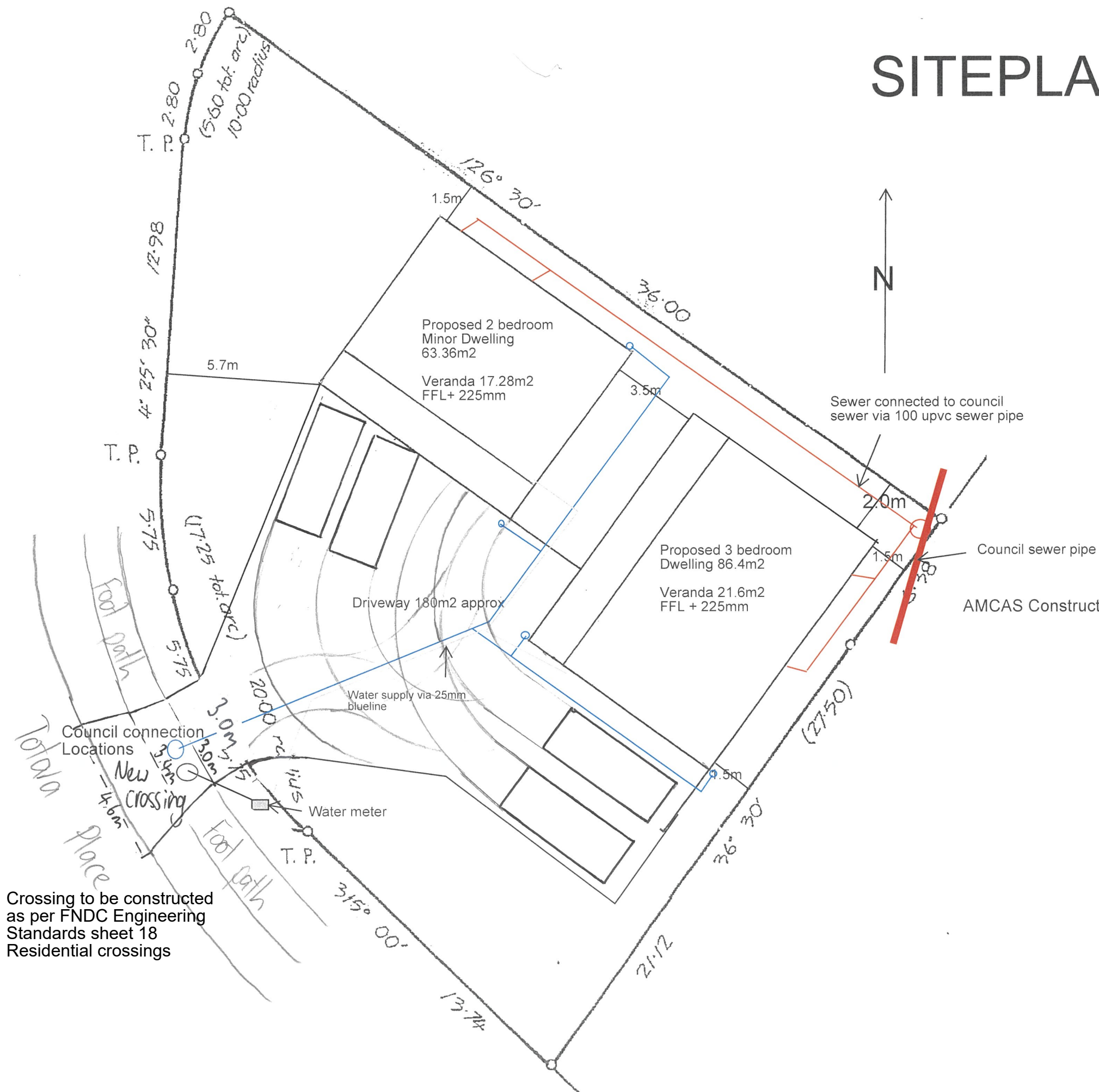
Driveway	130m ² / App
Total	368.64m ²

Existing Vehicle Access

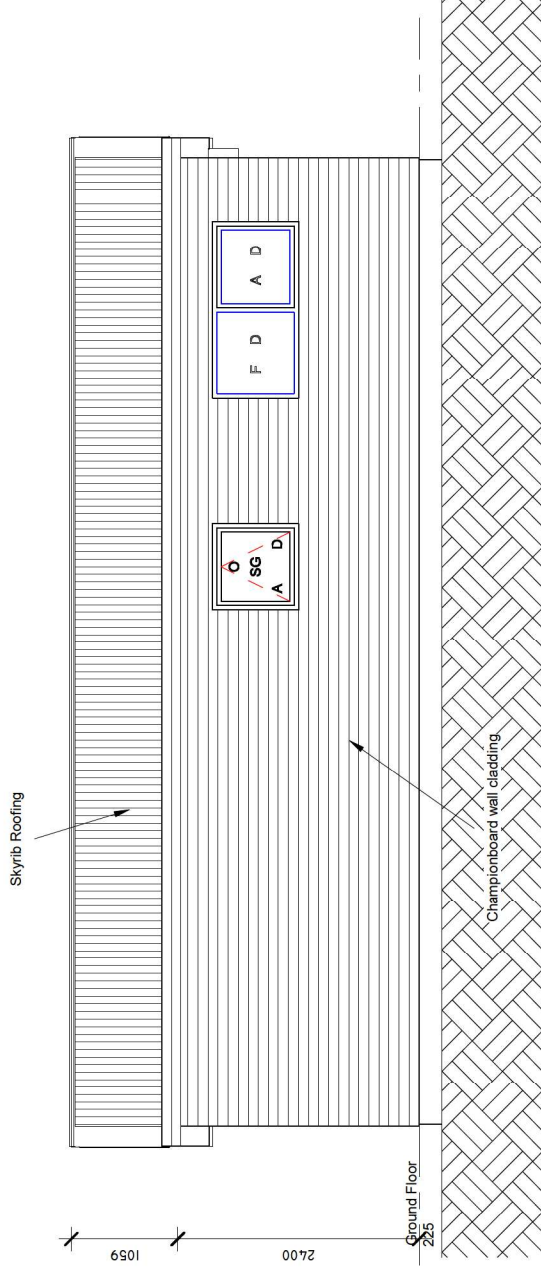
Off street parking has been provided for more than 2 vehicles

09 4381994 Scale: 1:165

No run off to waterways.



Crossing to be constructed
as per FNDc Engineering
Standards sheet 18
Residential crossings



East Elevation

1 : 50

Risk Matrix

Risk Factor	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH (1)	score	Subtotals for each risk factor
Wind Zone (per NZS3604)	0		0	0	1		2		0
Number of storeys	0	0	1		2		4		0
Roof/wall intersection design	0		1	1	3		5		1
Eaves width	0		1		2	2	5		2
Envelope complexity	0	0	1		3		6		0
Deck design	0	0	2		4		6		0
Total risk score for									3

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements

NOTES

LEGEND: WINDOW PANELS

- SP - Sliding Panel
- F - Fixed Panel
- A - Awning Panel
- O - Obscure Glazing
- SG - Safety Glass
- D - Double Glazing
- S - Single Glazing
- LF - Louvre Fixed Panel

SHEET

Number

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Sheet Name: Elevations

Project: Proposed 9.6 x 6.6 house with veranda

For: Richard Lyon and Brooke Gibson

At: 4 Totara Place, Kaitiaki

Drawn by: SP

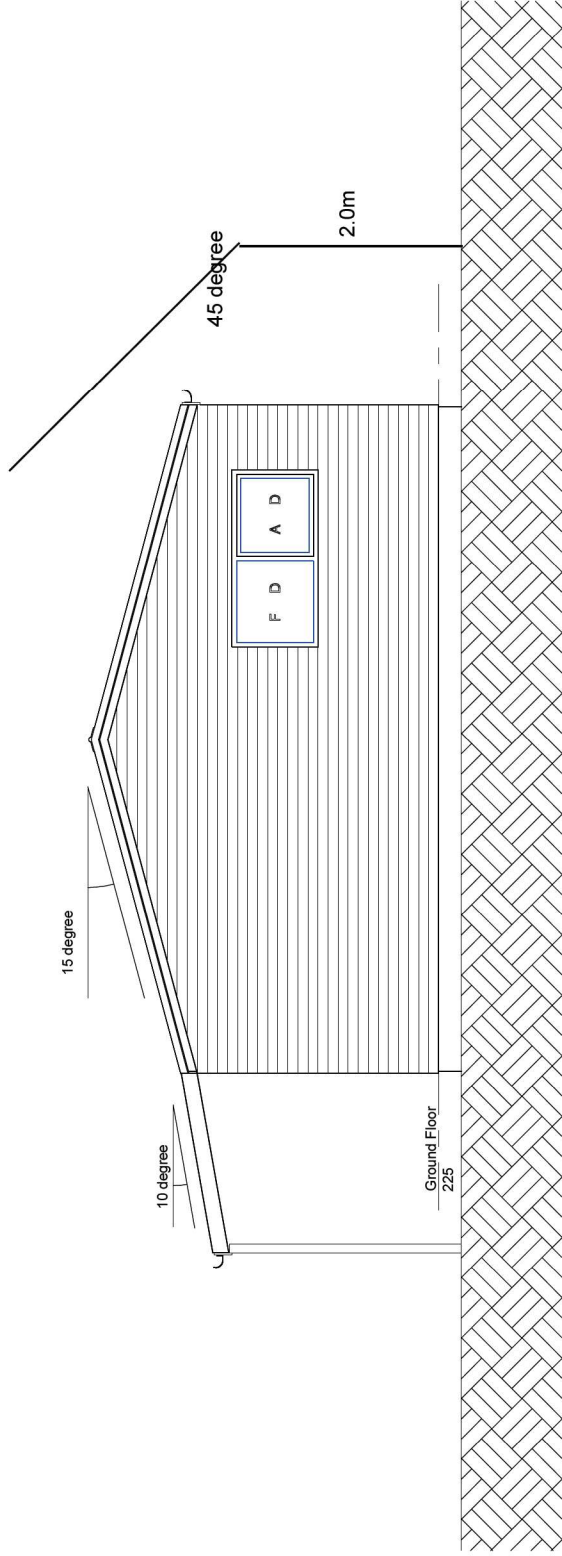
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Date: 27/08/2025 8:59:46 am

Distributor: Whangarei

Salesperson:

Revision:



1 South Elevation

1 : 50

Risk Matrix

Risk Factor	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH (1)	score	Subtotals for each risk factor
Wind Zone (per NZS3604)	0	0	0	0	1	2	2	0	
Number of storeys	0	0	1	1	2	4	4	0	
Roof/wall intersection design	0	1	1	1	3	5	5	1	
Eaves width	0	1	1	2	2	5	5	2	
Envelope complexity	0	0	1	3	3	6	6	0	
Deck design	0	0	2	4	4	6	6	0	
NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements									
Total risk score for									
3									

NOTES

LEGEND: WINDOW PANELS

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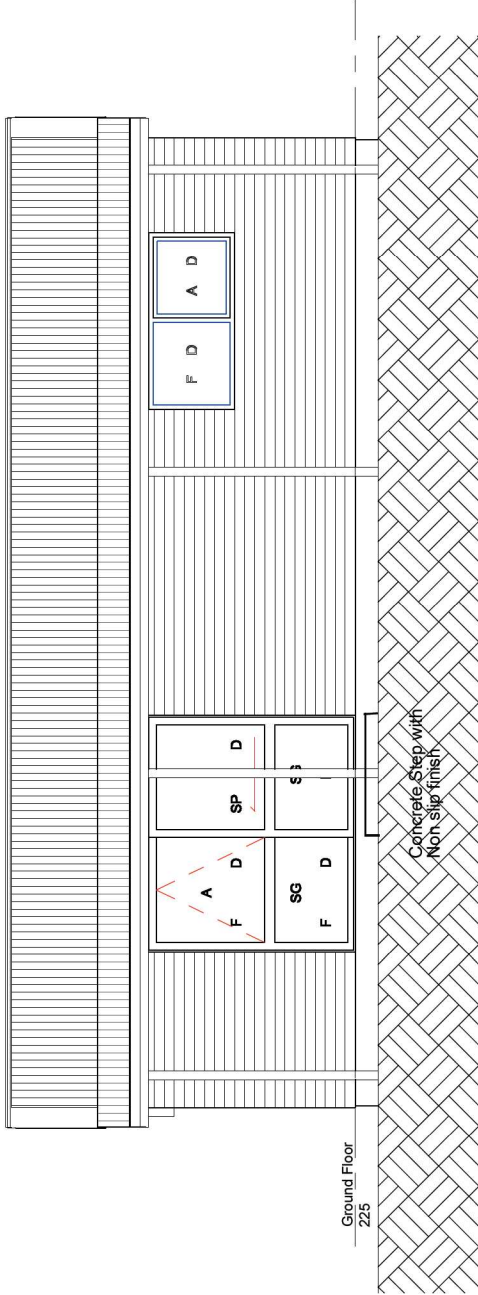
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Scale: As indicated
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At: 4 Totara Place, Kaitiaki

Sheet Name: Elevations

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West Elevation

1 : 50

Risk Matrix

Risk Factor	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH ⁽¹⁾	score	Subtotals for each risk factor
Wind Zone (per NZS3604)	0		0	0	1		2		0
Number of storeys	0	0	1		2		4		0
Roof/wall intersection design	0		1	1	3		5		1
Eaves width	0	0	1		2		5		
Envelope complexity	0	0	1		3		6		0
Deck design	0	0	2		4		6		0
NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements									1
Total risk score for									

NOTES

LEGEND: WINDOW PANELS

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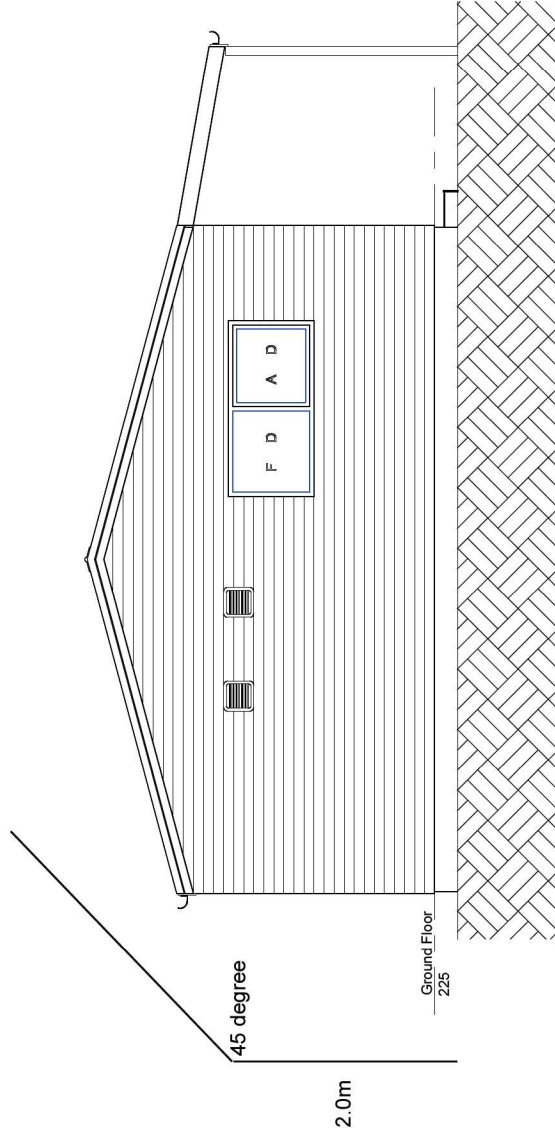
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Sheet Name: Elevations

Project: Proposed 9.6 x 6.6 house with veranda
For: Richard Lyon and Brooke Gibson
At: 4 Totara Place, Kaitake

Drawn by: SP
Scale: As indicated
Date: 27/08/2025 8:59:46 am

Distributor: Whangarei
Salesperson:
Revision:



1 North Elevation
1 : 50

Risk Matrix

Risk Factor	LOW	MEDIUM	HIGH	VERY HIGH (1)	Subtotals for each risk factor
Wind Zone (per NZS3604)	0	0	0	2	0
Number of storeys	0	0	1	2	0
Roof/wall intersection design	0	1	1	3	1
Eaves width	0	1	2	5	2
Envelope complexity	0	0	3	6	0
Deck design	0	0	4	6	0
Total risk score for					3

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements

NOTES

LEGEND: WINDOW PANELS

- SP - Sliding Panel
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Sheet Name: Elevations

Project: Proposed 9.6 x 6.6 house with veranda
For: Richard Lyon and Brooke Gibson
At: 4 Totara Place, Kaitiaki

Drawn by: SP
Scale: As indicated
Date: 27/08/2025 8:59:47 am

Distributor: Whangarei
Salesperson:
Revision:

NOTES

Application Description Air Changes Per Hour

Bathrooms -	11 - 15
Toilets -	6 - 10
Laundries -	6 - 10
(with ducted drier)	
Laundries -	10 - 30
(without ducted drier)	

- x - ARCH = m³/hr
Select Fan With Similar Performance.

Mechanical extract fans (including associated ducting) must have a flow rate not less than 25 L/s for showers and baths, and 50 L/s for cooktops.

Wet Areas

Shower - Acrylic moulded shower tray with wall upstands. Acrylic impervious wall linings.

Kitchen / Bathroom - Vinyl sheet material with sealed joints or selected tiles.

Kitchen / Bathroom walls - Gb Aqualine sheet material with enamel paint finish or selected tiles.

Ardex WPM on wet areas walls.

Compliant smoke alarms must be interconnected, and meet standards like BS EN 14604, AS3786, or C/AS1 and C/AS2 and NZS4514:2012

SD

Structural gable truss:

No lintel required for gable end openings as it's under a structural gable truss.

LEGEND: DOORS & WINDOWS

SGD	Sectional Garage Door
TGD	Tilt Garage Door
RGD	Roller Garage Door
SD	Sliding Door
OSD	Outward Sliding Door
AW	Aluminium Window
FW	Fixed Window
PA	PA Door

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MANGERE BRIDGE

Sheet Name: Floor Plan

Project: Proposed 9.6 x 6.6 house with veranda

For: Richard Lyon and Brooke Gibson

At: 4 Totara Place, Kaitiaki

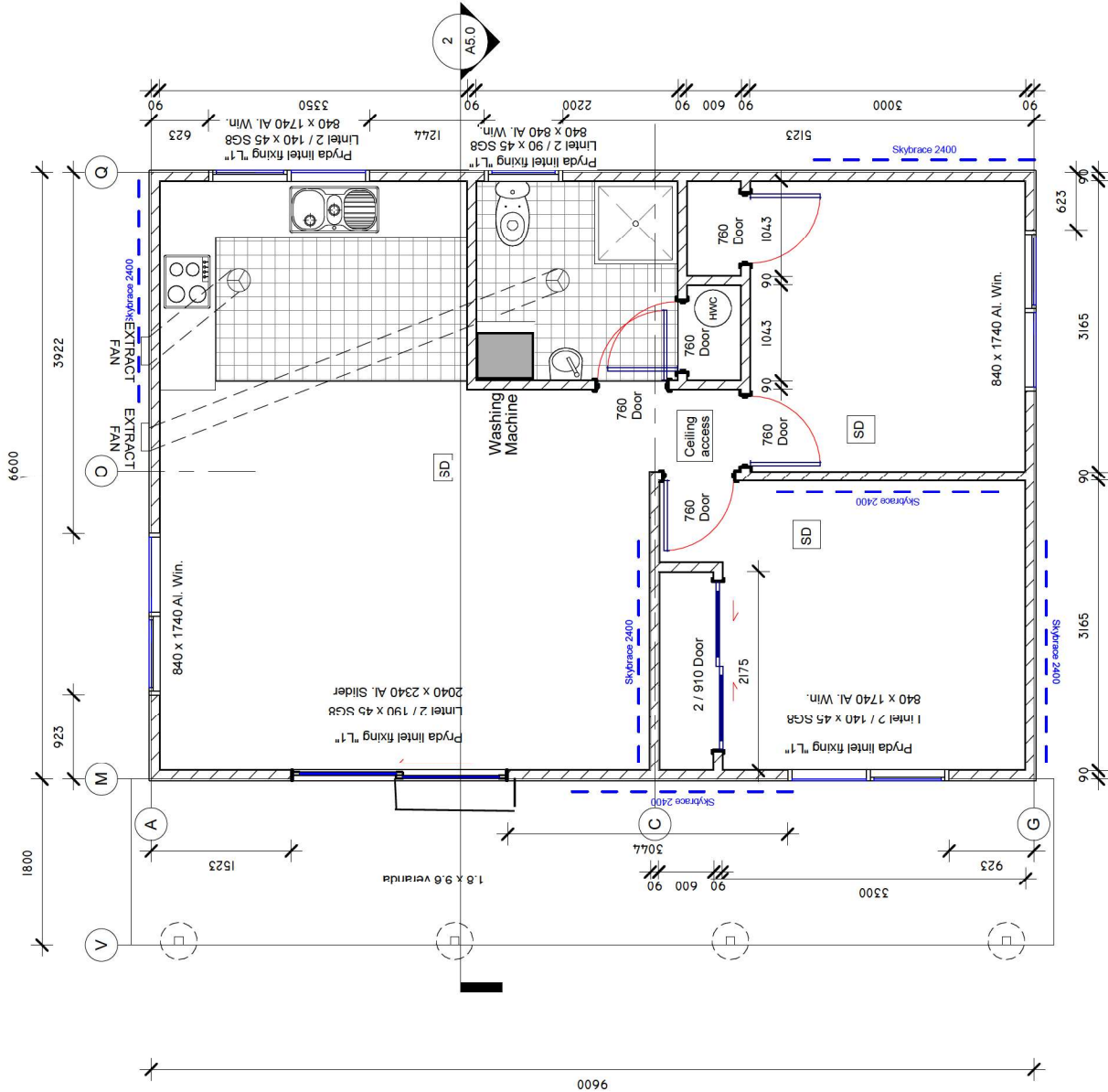
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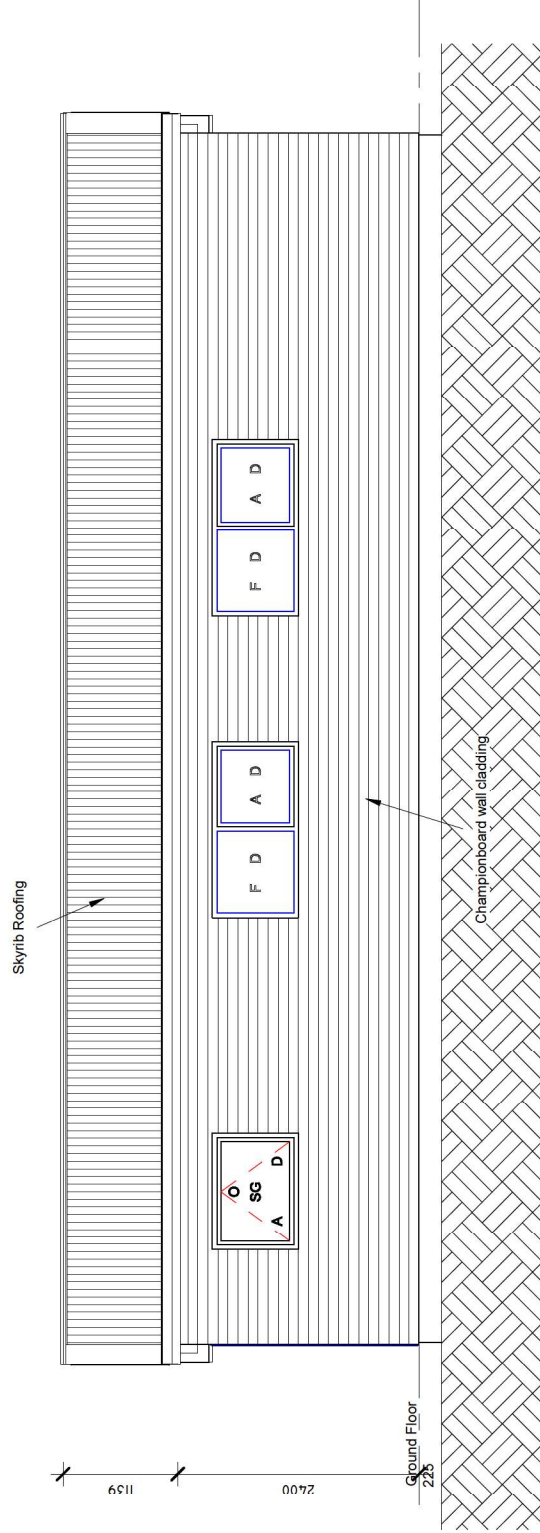
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Date: 27/08/2025 8:59:47 am

Ground Floor

1 1 : 50





1 South Elevation
1 : 50

Risk Matrix

Risk Factor	LOW	MEDIUM	HIGH	VERY HIGH (1)	Subtotals for each risk factor
Wind Zone (per NZS3604)	0	0	0	2	0
Number of storeys	0	0	2	4	0
Roof/wall intersection design	0	1	3	5	1
Eaves width	0	1	2	5	2
Envelope complexity	0	0	3	6	0
Deck design	0	2	4	6	0
Total risk score for					3

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements

NOTES

LEGEND: WINDOW PANELS

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- LF - Louvre Fixed Panel

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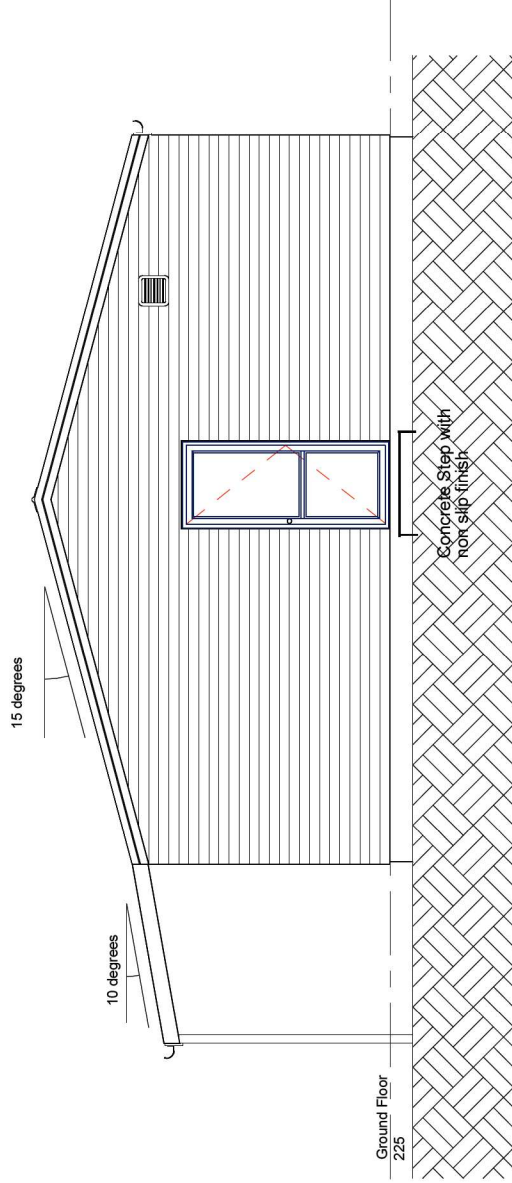
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For: Richard Lyon and Brooke Gibson
At: 4 Totara Place, Kaitiaki

Drawn by: SP
Scale: As indicated
Date: 26/08/2025 8:29:22 am

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Revision:

Sheet Name: Elevations

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West Elevation

1

1 : 50

Risk Matrix

Risk Factor	LOW		score		MEDIUM		score		HIGH		score		VERY HIGH ⁽¹⁾		score		Subtotals for each risk factor
Wind Zone (per NZS3604)		0		0		0		0		1		2		2		0	
Number of storeys		0		0		1		2		2		4				0	
Roof/wall intersection design		0		1		1		1		3		5				1	
Eaves width		0		1		1		2		2		2		5		2	
Envelope complexity		0		0		1		3		3		6				0	
Deck design		0		0		2		4		4		6				0	

NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements

NOTES

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Revision:

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Project: Proposed 12.0 x 7.2 house with veranda

For: Richard Lyon and Brooke Gibson

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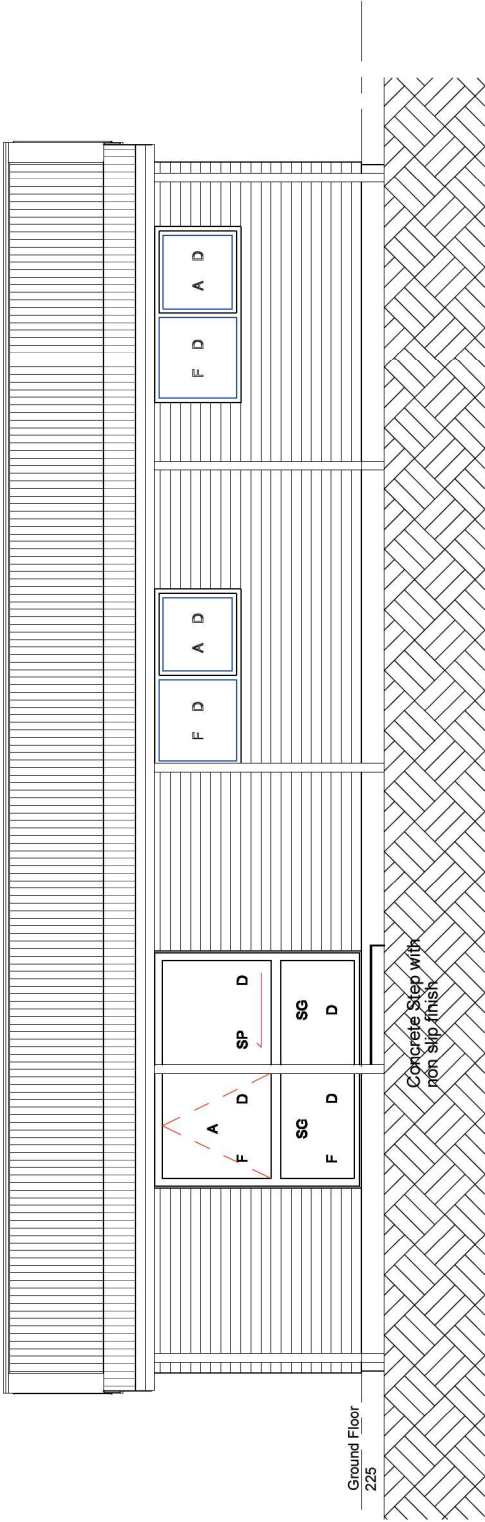
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Number

A2.1



North Elevation

1 : 50

Risk Matrix

Risk Factor	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH ⁽¹⁾	score	Subtotals for each risk factor
Wind Zone (per NZS3604)	0	0	0	0	1	0	2		0
Number of storeys	0	0	1	1	2	0	4		0
Roof/wall intersection design	0	0	1	1	3	1	5		1
Eaves width	0	0	1	1	2	0	5		0
Envelope complexity	0	0	1	1	3	0	6		0
Deck design	0	0	2	2	4	0	6		0
NOTE: (1) For buildings in Extra High wind zones, refer to Tables 1 and 3 for rigid underlay and drained cavity requirements									1
Total risk score for									

NOTES

LEGEND: WINDOW PANELS

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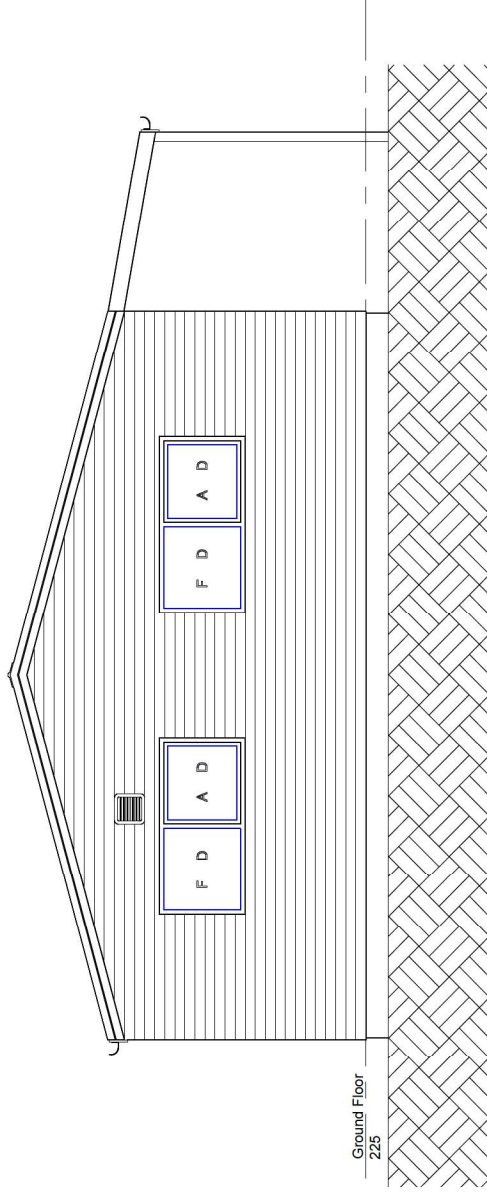
Drawn by: SP
Scale: As indicated
Date: 26/08/2025 8:29:22 am

Distributor: Whangarei
Salesperson:
Revision:

Sheet Name: Elevations

At: 4 Totara Place, Kaitiaki

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East Elevation

1 : 50

Risk Matrix

Risk Factor	LOW	score	MEDIUM	score	HIGH	score	VERY HIGH ⁽¹⁾	score	Subtotals for each risk factor
Wind Zone (per NZS3604)	0		0	0	1		2		0
Number of storeys	0	0	1		2		4		0
Roof/wall intersection design	0		1	1	3		5		1
Eaves width	0		1		2	2	5		2
Envelope complexity	0	0	1		3		6		0
Deck design	0	0	2		4		6		0
Total risk score for									3

NOTE: (1) For *buildings* in Extra High *wind* zones, refer to Tables 1 and 3 for rigid *underlay* and *drained cavity* requirements

NOTES

LEGEND: WINDOW PANELS

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- S - Single Glazing
- LF - Louvre Fixed Panel

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Number

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MANGERE BRIDGE

Project: Proposed 12.0 x 7.2 house with veranda
For: Richard Lyon and Brooke Gibson

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Scale: As indicated

Distributor: Whangarei
Salesperson:
Revision:

Date: 26/08/2025 8:29:23 am

Sheet Name: Elevations

At: 4 Totara Place, Kaitiaki

At: 4 Totara Place, Kaitiaki

At: 4 Totara Place, Kaitiaki

At: 4 Totara Place, Kaitiaki

NOTES

Application Description Air Changes Per Hour

Bathrooms -	11 - 15
Toilets -	6 - 10
Laundries -	6 - 10
(with ducted drier)	
Laundries -	10 - 30
(without ducted drier)	

- x - ARCH = m³/hr

Select Fan With Similar Performance.
Mechanical extract fans (including associated ducting) must have a flow rate not less than 25 L/s for showers and baths, and 50 L/s for cooktops.

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Kitchen / Bathroom - Vinyl sheet material with sealed joints or selected tiles.

Kitchen / Bathroom walls - Clb Aqualine sheet material with enamel paint finish or selected tiles.

Ardex WPM on wet areas walls.

Compliant smoke alarms must be interconnected, and meet standards like BS EN 14604, AS3786, or C/AS1 and C/AS2 and NZS4514:202

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Structural gable truss:

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LEGEND: DOORS & WINDOWS

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TGD	Tilt Garage Door
RGD	Roller Garage Door
SD	Sliding Door
OSD	Outward Sliding Door
AW	Aluminium Window
FW	Fixed Window
PA	PA Door

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Sheet Name: Floor Plan

Project: Proposed 12.0 x 7.2 house with veranda

For: Richard Lyon and Brooke Gibson

At: 4 Totara Place, Kaitake

Drawn by: SP

Scale: As indicated

Date: 26/08/2025 8:29:23 am

Distributor: Whangarei

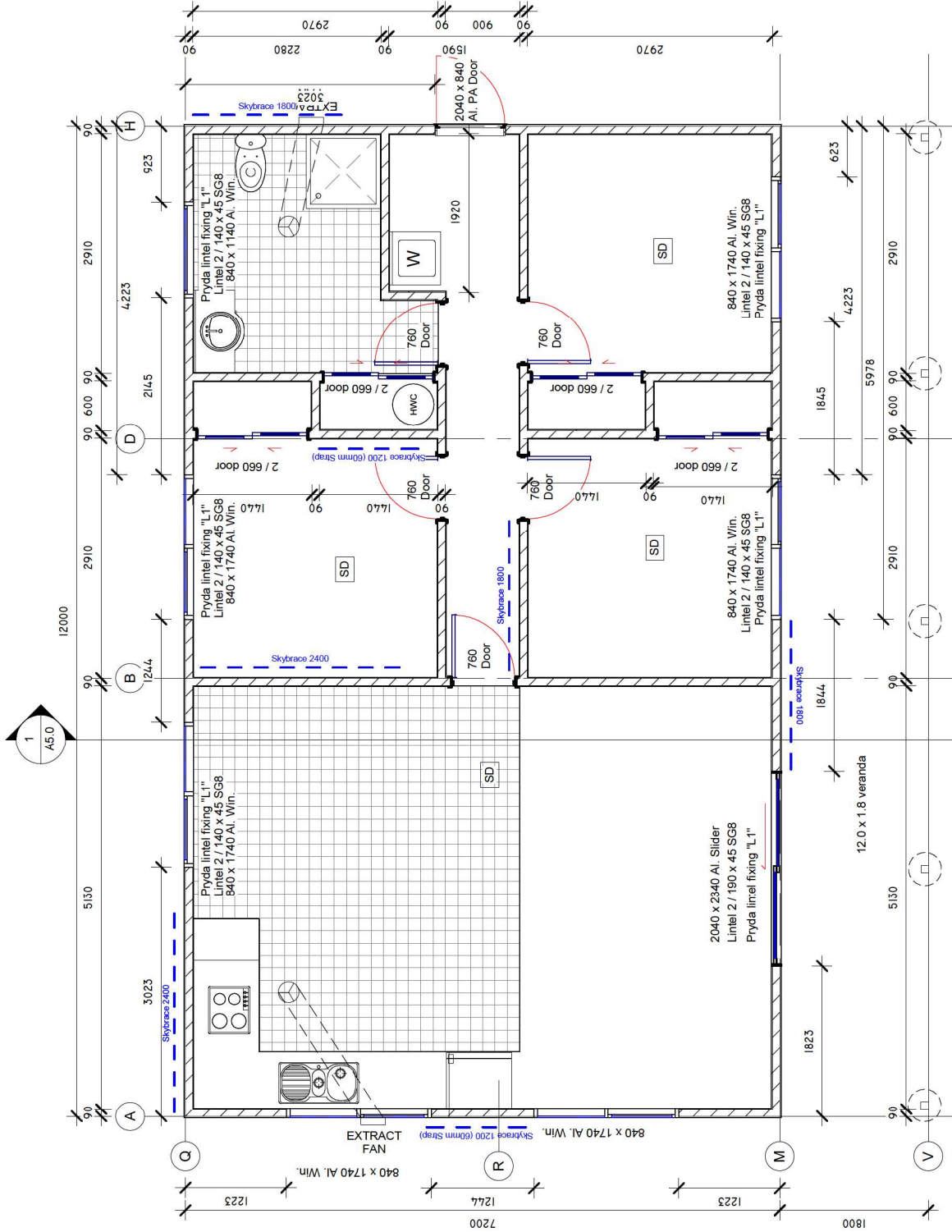
Salesperson:

Revision:

Ground Floor

1 : 50

1



APPENDIX 2

RECORD OF TITLE



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **NA49D/1054**
Land Registration District **North Auckland**
Date Issued 12 June 1981

Prior References
NA35C/433

Estate Fee Simple
Area 752 square metres more or less
Legal Description Lot 27 Deposited Plan 93396
Registered Owners
Brooke Amy Gibson and Richard William Lyon

Interests

CENTIMETRES

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51

DATE OF PRODUCTION