

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☒ Yes ☐ No

If yes, who have you spoken with?

LEEANNE TANE - PIM OFFICER SEE S37 ATTACHED.

2. Type of consent being applied for

(more than one circle can be ticked):

☒ Land Use

☐ Discharge

☒ Fast Track Land Use*

☐ Change of Consent Notice (s.221(3))

☐ Subdivision

☐ Extension of time (s.125)

☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)

☐ Other (please specify)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☒ No

4. Consultation

Have you consulted with iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have
you consulted with?

Who else have you
consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Morrie James Dwight

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

PLAN-IT RESOURCE CONSULTANTS LTD ATTN: STEPHEN BRIGGS (AGENT)

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Morrie James Dwight

**Property address/
location:**

1213B State Highway 10 (Bulls Rd)

Kerikeri

Far North District

0470

Postcode

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Morrie James Dwight

Site address/
location:

1213B State Highway 10 (Bulls Rd)

Kerikeri

Far North District

0470

Postcode

Legal description:

Lot 2 Deposited Plan 202589

Val Number:

3339719

Certificate of title:

NA131A/126

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☒ Yes ☐ No

Is there a dog on the property? ☒ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

PLEASE ADVISE 48 HOURS PRIOR TO SITE VISIT VIA EMAIL SO ACCESS CAN BE ARRANGED WHILE WE
OBSERVE COUNCIL UNDERTAKING A SAFE VISIT TO SITE.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

RELOCATABLE DWELLING RELOCATED TO SITE UNDER BUILDING CONSENT EBC-2026-99/0 WITH S37
FOR CONVERTING THE EXISTING LAWFULLY ESTABLISHED HOME ON SITE TO A MINOR DWELLING
WITH THE RELOCATED DWELLING TO BECOME THE PRIMARY DWELLING ON SITE.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☒ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☒ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☒ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

MORRIE JAMES DWIGHT

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Stephen Briggs (on behalf of owner-agent)

Signature:

(signature of bill payer)

Date 12-Feb-2026

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

STEPHEN BRIGGS - AGENT

Signature

Date 12-Feb-2026

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☒ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☒ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



**APPLICATION FOR RESOURCE CONSENT TO THE FAR NORTH
DISTRICT COUNCIL PURSUANT TO THE RESOURCE MANAGEMENT
ACT 1991**

**ASSESSMENT OF ENVIRONMENTAL EFFECTS – FOR A RELOCATED
DWELLING, CHANGING THE EXISTING DWELLING ON SITE TO A
MINOR DWELLING AND RELOCATABLE TO PRIMARY DWELLING AT:
1213B STATE HIGHWAY 10 (BULLS ROAD), FAR NORTH DISTRICT IN
A RURAL PRODUCTION ZONE (RPROZ AND SECTION 8):
AS PER PLANS AND INFORMATION ATTACHED AS REQUIRED UNDER
FAR NORTH DISTRICT COUNCIL OPERATIVE PLAN.**

FEBRUARY 2026:

13TH February 2026

Stephen Briggs

Far North District Council

Managing Director

Local Office

MB: 021 815 665

Far North District

EM: stephen@plan-itrcl.co.nz

Attention: Leeanee Tane, Trent Blakeman and The Planning Department, Far North District Council.

ASSESSMENT OF ENVIRONMENTAL EFFECTS FOR LAND USE RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991, FOR PROPOSED HOME MOVED TO SITE, CONVERTING THE EXISTING DWELLING IN THE SHED TO A MINOR DWELLING AND THE RELOCATED DWELLING BECOMING THE PRIMARY DWELLING AS PER PLANS AND INFORMATION ATTACHED WITH THE REQUIREMENTS OF THE OPERATIVE PLAN IN A RURAL PRODUCTION ZONE AT 1213B STATE HIGHWAY 10 (BULLS ROAD), KERIKERI, FAR NORTH DISTRICT.

Dear Sir/Madam

Thank you for considering the following application.

1.0: Schedule 4 of the Resource Management Act Statement: Overall Proposed Description of The Activity:

The owner being, Morrie James Dwight of the property at 1213B State Highway 10 (Bulls Rd), Far North District has applied for building consent in mid 2025 to relocate an existing home to their site, with the home on temporary stiles on site while this consent request is worked through under building consent number EBC-2026-99/0 with (existing) tanks for potable water and firefighting purposes also needed to the location as shown on the plans provided.

The owners proposed dwelling for their own use, living on the land where they have lived in the small or to be now minor dwelling lawfully established with stamped consent attached, with the relocated dwelling to be now noted as the primary dwelling and the existing dwelling constructed within the shed lawfully to be re-designated as a "minor dwelling".

The home moved to the site by the owners with the dwelling meeting the requirements of the owner, in this zone as detailed in this application.

The area surrounding Kerikeri and the growth of this area would have relocatable dwelling to populate this site with the relocated primary dwelling and existing dwelling within the lawfully establish home and shed to be the minor dwelling on site.

Requesting resource consent is granted with our assessment to follow to assure council the effects to the environment will be less than minor and that the site works with the requirements of Rural Production Zone.

Our assessment will also show that the assessment criteria required by the Operative Plan (section 8) is met and that the relocation of a home with tanks, converting the existing dwelling within the shed to a minor dwelling as shown will have a less than minor effect to the environment.

Council have assessed the building consent requirements and have provided the areas below that require a resource consent and reporting to support findings as part of this application for resource consent being required.

1.0: Schedule 4 of the Resource Management Act Statement: Overall Proposed Description of The Activity (continued):

The relocatable dwelling proposed is supported with a 2nd hand build report.

All areas of consenting requested as part of the PIM release we believe is covered in this assessment of environmental effects. We are unsure where these consent notices are from as the only item listed on the title is the easement document provided.

Council highlight the following:

The site is zoned Rural Production under the Operative District Plan and Resource Consent is required for breach of the following: Rule:

8.6.5.1.1 RESIDENTIAL INTENSITY

Residential development shall be limited to one unit per 12ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 3,000m² for its exclusive use surrounding the unit plus a minimum of 11.7ha elsewhere on the property.

Reason:

This is the 2nd residential unit on this 9,988m² site, and each residential unit is unable to have at least 3,000m² for its exclusive use surrounding the unit plus a minimum of 11.7ha elsewhere on the property.

Statement: The above statement on the Project Information Memorandum is accurate if the existing dwelling cannot meet the definition of a “minor dwelling” which, with the size of the current home within the shed measuring 13.646m long x 4.152m wide meaning the dwelling size for the current dwelling is 56.87m² with the following rule being able to identify this dwelling now as a “minor dwelling”:

8.6.5.2.3 MINOR RESIDENTIAL UNIT:

Minor residential units are a controlled activity in the zone provided that:

- (a) there is no more than one minor residential unit per site;
- (b) the site has a minimum net site area of 5,000m²;
- (c) the minor residential unit shares vehicle access with the principal dwelling;
- (d) the separation distance of the minor residential unit is no greater than 30m from the principal dwelling.
- (i) the extent of the separation between the principal dwelling and the minor residential unit;
- (ii) the degree to which design is compatible with the principal dwelling;
- (iii) the extent that services can be shared;
- (iv) the ability to mitigate any adverse effects by way of provision of landscaping and screening;
- (v) the location of the unit.

In considering an application under this provision, the Council will restrict the exercise of its control to the following matters:

Note: a definition of Minor Residential unit is contained in Chapter 3 and reads as follows:
Means a residential unit that:

1.0: Schedule 4 of the Resource Management Act Statement: Overall Proposed Description of The Activity (continued):

i (i) is not more than 65m² GFA, plus an attached garage or carport with GFA not exceeding 18m² (for the purpose of vehicle storage, general storage and laundry facilities).

The garage area shall not be used for living accommodation;

ii (ii) is subsidiary to the principal dwelling on the site; and,

iii (iii) is located and retained within the same Certificate of Title as the principal dwelling on the site.

Continued Statement: As the minor dwelling is located within the shed, we feel council can see how the shed would be used for storage for farm implements for this farm which is nearly 1ha in size. We therefore request the current home could be deemed a minor dwelling, the relocatable home be deemed a primary dwelling or as per council's s37 attached to the PIM.

We request council look to work with us to gain resource consent and if we apply the rule that relates to the minor dwelling as existing and now changing use, the relocatable will be the primary dwelling and consent can be assessed as a **Restricted Discretionary Activity** or how council see fit.

We therefore request consent is granted.

1.1: Schedule 4 of the Resource Management Act Statement: Description of the site and the activity proposed:

The site is located at: 1213B State Highway 10 (Bulls Rd), Kerikeri, Far North District 0470.

Legal Description: Lot 2, Deposited Plan 202589.

Owner: Morrie James Dwight.

Site size: 9,988m² (more or less).

Easement and title notices on title:

Title Notice: 8069824.4- Easement Notice which is unaffected by what is proposed.

Title Notice: 8069824.6- Easement Notice which is unaffected by what is proposed.

Title Notice: 8069824.9- Easement Notice which is unaffected by what is proposed.

Title Notice: D471857.2- Notice of Transit requirement which is unaffected by what is proposed.

Title Notice: D641383.3- Section 221 requirement which is unaffected by what is proposed.

Title Notice: D641383.6- Easement Notice which is unaffected by what is proposed.

Title Notice: 573901.1- Schedule for limited road access declaration requirements which is unaffected by what is proposed.

Title Notice: D3661266.5- Easement Notice which is unaffected by what is proposed.

All easement and title notices are provided with this application and as noted above none of the title notices are affected by what is proposed.

1.2: Schedule 4 of the Resource Management Act Statement: Owners and Occupiers of Site:

As given above the owner of the site are Morrie James Dwight is the owner and occupier for this site as detailed above.

1.3: Schedule 4 of the Resource Management Act Statement: A description of other activities on site:

The site will remain as a rural-residential location with the homes situated as shown on the plans provided, minor dwelling existing in the shed and new primary dwelling as per the plans provided.

1.4: Schedule 4 of the Resource Management Act Statement: Other Resource Consents for this site:

To the writer's knowledge and investigation of the property, all previous consent requirements that been applied for had all conditions followed.

Only the previous building consent for the shed with the minor dwelling within it has relevance to this request and the assessment criteria given to follow meets with the requirements of the Far North District Council's Operative and all plans in legal effect as explained.

A certificate of title less than 3 months old provided with this application, so all title requirements are met regarding this site and the certificate of title is provided for councils review with this application.

Compliance is met on all title or notices aligned to this title as seen with the attached certificate of title as previously stated.

1.5: Schedule 4 of the Resource Management Act Statement: Part 2 of Resource Management Act 1991:

Purpose

(1) The purpose of this Act is to promote the sustainable management of natural and physical resources.

(2) In this Act, sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while

(a) sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and

(b) safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and

(c) avoiding, remedying, or mitigating any adverse effects of activities on the environment.

6 Matters of national importance In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall recognise and provide for the following matters of national importance: (a) the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development:

1.5: Schedule 4 of the Resource Management Act Statement: Part 2 of Resource Management Act 1991 (continued):

- (b) the protection of outstanding natural features and landscapes from inappropriate subdivision, use, and development:
- (c) the protection of areas of significant indigenous vegetation and significant habitats of indigenous fauna:
- (d) the maintenance and enhancement of public access to and along the coastal marine area, lakes, and rivers:
- (e) the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga:
- (f) the protection of historic heritage from inappropriate subdivision, use, and development:
- (g) the protection of protected customary rights.

7 Other matters In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall have particular regard to—

- (a) kaitiakitanga: (aa) the ethic of stewardship:
 - (b) the efficient use and development of natural and physical resources:
 - (ba) the efficiency of the end use of energy:
 - (c) the maintenance and enhancement of amenity values:
 - (d) intrinsic values of ecosystems:
 - (e) [Repealed]
 - (f) maintenance and enhancement of the quality of the environment:
 - (g) any finite characteristics of natural and physical resources:
 - (h) the protection of the habitat of trout and salmon:
 - (i) the effects of climate change: (j) the benefits to be derived from the use and development of renewable energy
- 8 Treaty of Waitangi In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).

1.5.1: Statement Regarding Part 2 of the Resource Management Act:

As the proposed relocated home, (existing) tanks and effluent requirements are required for any home on this site and are deemed unavoidable for the population of a dwelling on this site, we meet all the assessment criteria for what this zone requires as listed above for the need for resource consent required, it is our professional opinion that compliance with Part 2 of the Resource Management Act can be seen with this application proposing that the owners requires the existing home converted to a minor dwelling and the primary dwelling is for the owner and his family to live in.

1.6: Schedule 4 of the Resource Management Act Statement: Statement Regarding Section 104 (1) (b) of the Resource Management Act:

104 Consideration of applications:

(1) When considering an application for a resource consent and any submissions received, the consent authority must, subject to Part 2, have regard to—

(a) any actual and potential effects on the environment of allowing the activity; and

(ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and

(b) any relevant provisions of—

(i) a national environmental standard:

(ii) other regulations:

(iii) a national policy statement:

(iv) a New Zealand coastal policy statement:

(v) a regional policy statement or proposed regional policy statement:

(vi) a plan or proposed plan; and

(c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

1.6.1: Statement Regarding Section 104 (1) (b):

With any relocatable home, (existing) tanks, effluent discharge and driveway needed, the relocatable dwelling is proposed for the owner to live in.

The minor dwelling will be for extended family will live in the minor to help with the upkeep of the land at nearly 9,988m² (more or less).

Used for the housing of the owner and his family the converted minor dwelling in the shed and the relocatable dwelling all work as detailed above meet the requirements of the assessment criteria and the site will be used for what it was intended to be used for.

It is our professional opinion the proposed relocatable dwelling, (existing) tanks, effluent discharge, converting the existing dwelling in the shed to a minor dwelling and gravel driveway needed to make this part of this site liveable does not detract from those built in the surrounding neighbourhood and therefore we believe council can give support the proposed for the relocatable home and all areas detailed being the only residential dwelling on this site.

1.7: Schedule 4 of the Resource Management Act Statement: Statement Regarding Permitted Activity Status:

As mentioned in the Proposed Activity statement above, the conversion of the existing dwelling in the shed to a minor dwelling along with the relocatable dwelling, (existing) tanks, driveway in gravel and effluent discharge needed to make this site work can be adjudicated as a **Restricted Discretionary Activity** with only the areas detailed above needing consent under the zone and for the consent notices and the use of the site to populate this site, which was what the site was originally intended for when subdivided.

The minor dwelling can also look to remain under the new National Policy Standards for Granny Flats to 70m² if council choose or allow us to align this new standard.

1.8: Schedule 4 of the Resource Management Act Statement: Statement Regarding Clause 6 and 7 of Schedule 4 of the Resource Management Act: Environmental Effects: Information required in assessment of environmental effects:

(1) An assessment of the activity's effects on the environment must include the following information:
 (a) if it is likely that the activity will result in any significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity:

Statement: We confirm that the existing dwelling within the shed now to be seen as the minor dwelling on site, the relocatable dwelling, effluent design, (existing) tanks and gravel driveway has had building consent applied for and issued (we believe) under building consent number: EBC-2026-099/0.

We request resource consent can be granted for the existing dwelling within the shed now to be seen as the minor dwelling on site, the relocatable dwelling, effluent design, (existing) tanks and gravel driveway located at 1213B State Highway 10 (Bulls Rd), Kerikeri as per the location shown on the plans provided.

(b) an assessment of the actual or potential effect on the environment of the activity:

Statement: As mentioned above in paragraph A, the existing dwelling within the shed now to be seen as the minor dwelling on site, the relocatable dwelling, effluent design, (existing) tanks and gravel driveway will be similar to those designed in this zone, the surrounding sites and does not detract from others that have been afforded consent by Council.

We therefore suggest that the environment will not be affected to any great extent, with the existing dwelling within the shed now to be seen as the minor dwelling on site, the relocatable dwelling, effluent design, tanks and gravel driveway able to be supported as per council's rules in effect and we request support from council with the assessment criteria met, which in this case this submission does meet all criteria.

(c) if the activity includes the use of hazardous installations, an assessment of any risks to the environment that are likely to arise from such use:

Statement: There are no hazardous substances or materials to be used in this case.

(d) if the activity includes the discharge of any contaminant, a description of— (i) the nature of the discharge and the sensitivity of the receiving environment to adverse effects; and

(ii) any possible alternative methods of discharge, including discharge into any other receiving environment:

Statement: There are no hazardous discharges or contaminates proposed as part of this application.

(e) a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effect:

Statement: As details given and attached, the owner have heavily considered the location for the relocatable dwelling, (existing) tanks, effluent fields and gravel driveway entry and exist to site while allowing adequate locations and separations for views and the prospering of the immediate environment.

1.8: Schedule 4 of the Resource Management Act Statement: Statement Regarding Clause 6 and 7 of Schedule 4 of the Resource Management Act: Environmental Effects: Information required in assessment of environmental effects (continued):

(f) identification of the persons affected by the activity, any consultation undertaken, and any response to the views of any person consulted:

(g) if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved:

(h) if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).

Statement: For Points F-H, There are no only affected person(s) or environment with what is proposed.

We believe therefore resource consent can be adjudicated on a non-notified basis in our professional opinion.

As our documentation would show we believe there are no adverse effects to the environment, with the where the existing minor dwelling is within the lawfully established shed and dwelling, the relocatable dwelling, (existing) tanks, effluent fields and gravel driveway needed and proposed meeting the assessment criteria needed outlined in the Far North District Council's Operative and Proposed District Plan and resource consent can be assessed accordingly.

(2) A requirement to include information in the assessment of environmental effects is subject to the provisions of any policy statement or plan.

Statement: We are happy to provide any information that Council deem necessary but believe we have provided all details so that a decision can be reached on a non-notified basis.

(3) To avoid doubt, subclause (1)(f) obliges an applicant to report as to the persons identified as being affected by the proposal, but does not—

(a) oblige the applicant to consult any person; or

(b) create any ground for expecting that the applicant will consult any person.

Statement: The owners and agents are happy to consult with anyone Council deem necessary but with similar works have had to be undertaken in the surrounding sites which we believe further outside consultation is not required.

7 Matters that must be addressed by assessment of environmental effects:

(1) An assessment of the activity's effects on the environment must address the following matters:

(a) any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects:

(b) any physical effect on the locality, including any landscape and visual effects:

(c) any effect on ecosystems, including effects on plants or animals and any physical disturbance of habitats in the vicinity:

1.8: Schedule 4 of the Resource Management Act Statement: Statement Regarding Clause 6 and 7 of Schedule 4 of the Resource Management Act: Environmental Effects (continued): Information required in assessment of environmental effects (continued):

7 Matters that must be addressed by assessment of environmental effects:

(d) any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural value, or other special value, for present or future generations:

(e) any discharge of contaminants into the environment, including any unreasonable emission of noise, and options for the treatment and disposal of contaminants:

(f) any risk to the neighbourhood, the wider community, or the environment through natural hazards or hazardous installations.

(2) The requirement to address a matter in the assessment of environmental effects is subject to the provisions of any policy statement or plan.

Statement: We believe we have answered clause 7 through clause 6 above and throughout our application.

This includes but is not limited to:

- There are no only affected parties with the existing minor dwelling within the shed having previous consent and CCC issue, the relocatable dwelling, (existing) tanks, effluent fields and gravel driveway proposed.
- Our request for consent meets all height and daylighting requirements.
- The cultural, economic and potential social effects approving this consent are limited as other sites have had approvals issued.

Our professional opinion is converting the existing dwelling within the legally established shed and dwelling to a minor dwelling within the shed, the proposed relocatable dwelling, (existing) tanks, effluent discharge and gravel driveway shown on the plans provided, meets with the criteria set in Schedule 4 of the Resource Management Act and resource consent can therefore be granted.

Further development would not be possible with the site at its capacity with what is proposed unless further consenting is entered into.

2.0: Schedule 4 of the Resource Management Act Statement: Adequacy of proposed vehicle accesses:

The vehicle accessway is shown as per the plans attached.

As a populated rural street for rural activity, State Highway 10 (Bulls Rd) has the shown driveway as existing, is the best and only location for access to and from the site.

The location of the driveway and crossing allows for viewing up and down the street so that all traffic issues are met with compliance for what is proposed.

2.1: Adequacy of the site for servicing and further development:

Any further development would be limited to that being proposed.

No future potential development is possible unless consents are applied for with councils' input.

Drainage is detailed as part of this application with designs done for effluent disposal lodged with this application.

2.1: Adequacy of the site for servicing and further development (continued):

Water will be caught and dispersed to the water tanks shown on the plans for the owners to have water supply for their home(s).

As an activity, the proposed conversion of the existing dwelling within the shed to a minor dwelling while the relocatable dwelling becomes the primary dwelling, (existing) tanks, effluent discharge and gravel driveway are designed to work within in the assessment criteria needing to be met as the requirements of the Far North District Councils Plan(s) and further development of this site would require thought, further design work and separate applications lodged with council.

2.2: An assessment of the proposed subdivision activity against the Auckland Unitary Plan, as per Schedule 4 (2) (2)(a) of the Resource Management Act:

Schedule 4 (2) (2) (a) states that an application must also include an assessment of any relevant objectives, policies, or rules in a document.

This statement is to assure council all Policies and Objectives under the Rural Production Zone requirements have been reviewed and we adhere to all Policies, Objectives and consent conditions council are likely to impose on approvals for resource consent.

2.3: Schedule 4 Resource Management Act Schedule 2 (b), (c) (d) and (e):

Plan-It Resource Consultants Ltd act as the agent for the owner, and the owner's request for land use requirements for this site in a Rural Production Zone.

As a trained resource management and environmental specialist, we researched the requirements of the Operative Plan and the Resource Management Act for this application.

We are qualified to advise and construct this report with the training we have received via The Southern Institute of Technology, Certificate in Environmental Management (Level 4) with an emphasis on The Resource Management Act and Environmental Law, I also have worked in this field for over 25 years as a consultant in regards to building, subdivision and land use consents with over 1000 applications done in all fields with council's in Auckland, Waikato, Far North, Kaipara, Hauraki, Coromandel, Rotorua, Gisborne/East Coast and in Christchurch regions.

This is to satisfy Council's request for a qualified specialist advising all parties applying for and identifying the environmental requirements to gain resource consent.

2.4: Rural Production Zone: Overview:

The Rural Production zone is the largest zone in the District and accounts for approximately 65% of all land. The Rural Production zone is a dynamic environment, influenced by changing farming and forestry practices and by a wide range of productive activities. The purpose of this zone is to provide for primary production activities including non-commercial quarrying, farming, intensive indoor primary production, plantation forestry activities, and horticulture.

The Rural Production Zone also provides for other activities that support primary production and have a functional need to be located in a rural environment, such as processing of timber, horticulture, apiculture and dairy products.

2.4: Rural Production Zone: Overview (continued):

There is also a need to accommodate recreational and tourism activities that may occur in the rural environment, subject to them being complementary to the function, character and amenity values of the surrounding environment.

This zone includes land subject to the Coastal Environment Overlay, which has provisions to protect the natural character of the coastal environment.

Rural land is an important resource as it underpins the social, economic and cultural well-being of the Far North District. The historic fragmentation of rural land has undermined the integrity of the rural environment and its ability to function for its intended purpose.

It is important to protect this finite resource from inappropriate land use and subdivision to ensure it can be used for its primary purpose. In particular, primary production activities should be able to operate without experiencing reverse sensitivity effects based on complaints about noise, dust, heavy traffic and light spill (which may be temporary or seasonal in nature) that should be anticipated and tolerated in a rural environment.

This is particularly relevant for rural land adjacent to the District's larger urban areas, which are subject to growth pressures and are expanding outside of urban zoned areas.

Forcing primary production activities to locate further away from urban areas adds to the cost of transporting primary products, can result in primary production activities needing to move on to less suitable soils or topography, and may require people to travel further to work.

It is important to differentiate the Rural Production zone from the Rural Lifestyle zone and the Rural Residential zone.

The Rural Lifestyle and Rural Residential zones seek to concentrate rural lifestyle or rural residential living in appropriate places in the District, to help avoid further fragmentation of productive land and reverse sensitivity effects on the District's primary sector.

Conversely, rural lifestyle development is not provided for in the Rural Production Zone unless an environmental benefit is obtained through the protection of indigenous biodiversity in perpetuity (as provided for in the Subdivision chapter).

Industrial and commercial activities, including retail, are not anticipated in the Rural Production zone as these are best located in urban zones with appropriate infrastructure or in the Settlement zone.

This also ensures that industrial and commercial activities are separated from potentially incompatible primary production activities.

2.5: Rural Production Zone: Objectives and Policies:

Objectives	
RPROZ-O1	The Rural Production zone is managed to ensure its availability for primary production activities and its long-term protection for current and future generations.
RPROZ-O2	The Rural Production zone is used for primary production activities, ancillary activities that support primary production and other compatible activities that have a functional need to be in a rural environment.
RPROZ-O3	Land use and subdivision in the Rural Production zone: <ul style="list-style-type: none"> (1) protects highly productive land from sterilisation and enables it to be used for more productive forms of primary production; (2) protects primary production activities from reverse sensitivity effects that may constrain their effective and efficient operation; (3) does not compromise the use of land for farming activities, particularly on highly productive land; (4) does not exacerbate any natural hazards; and (5) is able to be serviced by on-site infrastructure.
RPROZ-O4	The rural character and amenity associated with a rural working environment is maintained.

Council has a responsibility under the RMA and the Northland Regional Policy Statement to manage the rural land resource to provide for the economic, social and cultural well-being of people and communities, protect highly versatile soils, and avoid reverse sensitivity effects on primary production activities.

The Rural Production zone also contains many of our areas of indigenous biodiversity, historical and cultural values and high value landscapes and features.

The protection of these resources must be managed in conjunction with the ability to undertake activities anticipated in this zone.

Policies

RPROZ- P1

Enable primary production activities, provided they internalise adverse effects onsite where practicable, while recognising that typical adverse effects associated with primary production should be anticipated and accepted within the Rural Production zone.

RPROZ-P2	Ensure the Rural Production zone provides for activities that require a rural location by: <ul style="list-style-type: none"> (1) enabling primary production activities as the predominant land use; (2) enabling a range of compatible activities that support primary production activities, including ancillary activities, rural produce manufacturing, rural produce retail, visitor accommodation and home businesses.
RPROZ-P3	Manage the establishment, design and location of new sensitive activities and other non-productive activities in the Rural Production Zone to avoid where possible, or otherwise mitigate, reverse sensitivity effects on primary production activities.
RPROZ-P4	Land use and subdivision activities are undertaken in a manner that maintains or enhances the rural character and amenity of the Rural Production zone, which includes: <ul style="list-style-type: none"> a. a predominance of primary production activities; b. low density development with generally low site coverage of buildings or structures; c. typical adverse effects such as odour, noise and dust associated with a rural working environment; and

	d. a diverse range of rural environments, rural character and amenity values throughout the District.
RPROZ-P5	Avoid land use that: <ul style="list-style-type: none"> a. is incompatible with the purpose, character and amenity of the Rural Production zone; b. does not have a functional need to locate in the Rural Production zone and is more appropriately located in another zone; c. would result in the loss of productive capacity of highly productive land; d. would exacerbate natural hazards; and e. cannot provide appropriate on-site infrastructure.
RPROZ-P6	Avoid subdivision that: <ul style="list-style-type: none"> a. results in the loss of highly productive land for use by farming activities; b. fragments land into parcel sizes that are no longer able to support farming activities, taking into account: <ol style="list-style-type: none"> 1. the type of farming proposed; and 2. whether smaller land parcels can support more productive forms of farming due to the presence of highly productive land. c. provides for rural lifestyle living unless there is an environmental benefit.
RPROZ-P7	Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application: <ul style="list-style-type: none"> a. whether the proposal will increase production potential in the zone; b. whether the activity relies on the productive nature of the soil; c. consistency with the scale and character of the rural environment; d. location, scale and design of buildings or structures; e. for subdivision or non-primary production activities: <ol style="list-style-type: none"> i. scale and compatibility with rural activities; ii. potential reverse sensitivity effects on primary production activities and existing infrastructure; iii. the potential for loss of highly productive land, land sterilisation or fragmentation f. at zone interfaces: <ol style="list-style-type: none"> i. any setbacks, fencing, screening or landscaping required to address potential conflicts; ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable; g. the capacity of the site to cater for on-site infrastructure associated with the proposed activity, including whether the site has access to a water source such as an irrigation network supply, dam or aquifer; h. the adequacy of roading infrastructure to service the proposed activity; i. Any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; j. Any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.

Statement: As previously stated above all works proposed are in line with the policies and objectives in this zone.

The shed and the dwelling within will remain on site, changed to a minor dwelling while the relocatable home will become the primary dwelling on site.

2.6: Rural Production Zone Rules:

The only rules that are infringed are detailed above in the proposed activity.

The issue raised at PIM stage relates to consent notices that are not listed on the title but we believe are answered with all the reporting provided.

As the site was subdivided to 9,988m² (more or less) with the listed requirements in the PIM issued as part of the building consent, in our professional opinion are unavoidable.

2.7 Site Excavations: 12.3.6.1.1 PERMITTED ACTIVITIES:

An activity is a restricted discretionary activity if:

- (a) it does not comply with any one of the following Rules 12.3.6.1.1 Excavation and/or Filling, Excluding Mining and Quarrying in the Rural Production Zone or Kauri Cliffs Zone; 12.3.6.1.2 Excavation and/or Filling, Including Obtaining Roading Material but Excluding Mining and Quarrying, in the Rural Living, Coastal Living, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones; and 12.3.6.1.3 Excavation and/or Filling in the Residential, Industrial, Horticultural Processing, Coastal Residential and Russell Township Zones for permitted activities above; but*
- (b) it complies with 12.3.6.1.4 Nature of Filling Material in All Zones; and*
- (3) it complies with Rules 12.3.6.2.1 Excavation and/or Filling in the Rural Living, Coastal Living, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones; and 12.3.6.2.2 Excavation and/or Filling in the Residential, Industrial, Horticultural Processing, Coastal Residential and Russell Township Zones and Rule 12.3.6.2.3 Excavation and/or Filling, Excluding Mining and Quarrying in the Rural Production Zone or Kauri Cliffs Zone below; and*
- (4) it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in Part 2 of the Plan – Environment Provisions; and*
- (5) it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in Part 3 of the Plan – District Wide Provisions.*

The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent.

In assessing an application for a restricted discretionary activity, the Council will restrict the exercise of its discretion to the matters specified in the relevant rule. The Council will, where te, take account of the Assessment Criteria applicable in the relevant zone and in section 12.3.7.

Statement: As detailed above, we meet the area and volume of movement for.

Sediment control is proposed to aid run off, the only earthworks would be area for the pile holes for the relocatable dwelling and the gravel driveway as shown which comply to earthworks rule Earthwork Rule 12.3.6.1.1 of the District Plan.

All earthworks would meet any EW rules as the site works was undertaken when the shed was built some years ago. The stamped BC plans for the shed are provided with this application.

3.0 Section 8 – Far North District Council Operative Plan Requirements:

8 RURAL ENVIRONMENT: CONTEXT:

The majority of the land in the Far North is, and will remain, rural, where rural production is the main activity but there are distinct differences in rural character and amenity across the various rural areas. There is also a greater sense of nature and of open space in the rural environment than in the more densely settled areas.

Much of the rural environment is also coastal. The Act places particular responsibilities on councils to preserve the natural character of the coastal environment and for this reason it is differentiated from that part of the rural environment that does not have a significant coastal character.

Because of the lower density of development in the rural area and generally larger site sizes, there is a perception that the likelihood of adverse effects occurring from activities is less than it may be in more densely settled areas, or at least that adverse effects are more easily “absorbed” within the site.

The consequence is that controls on activities in the rural environment generally enable a wide range of complementary rural activities to occur whilst avoiding, remedying, or mitigating any adverse effects on the environment. The various zone provisions supported by other controls in ***Part 3 of the Plan – District Wide Provisions*** are designed to protect the natural and physical resources of the rural environment.

However, the rural land resource is also sometimes preferred by developers as an alternative location to establish industrial and commercial activities, especially on approach roads, relatively close to existing urban settlements. This can result in cumulative effects and impact on the efficient delivery of infrastructure. Zone provisions are designed to allow for activities that do not detract from the amenity values associated with the rural environment’s attributes and character and that further contribute to the efficient use of the District’s physical resources such as infrastructure.

The character of the rural environment is constantly changing. These changes are largely in response to economic imperatives. They take the form of changes in farming and forestry practices and the type of productive activities that take place on the land, hence the zone name “Rural Production”. They also result in the expansion of rural residential living on relatively small rural lots in some areas. Conflicts between land uses can arise due to these changes. For example, where countryside living occurs, the effects of odour, spray drift and noise on residents becomes an issue. The Plan is designed to take account of the likely pressures for and consequences of change in the rural environment including settlement patterns for rural villages.

8.1 ISSUES:

- 8.1.1 The subdivision, use and development of rural land can have adverse effects on the environment.
- 8.1.2 The requirement of the Plan to be effects-based places emphasis on the need to define effects and the minimum standards to be applied to those effects.
- 8.1.3 The loss of areas of significant indigenous vegetation and significant habitats of indigenous fauna as a result of land use activities in the rural environment.

3.0 Section 8 – Far North District Council Operative Plan Requirements (continued):

- 8.1.4 The effects of activities within the rural environment and between the rural and urban environments are not always compatible. The management of the effects of the change in activities which occur within the rural environment and on the rural-urban fringe as a result of the expansion of urban areas onto rural land is an issue.
- 8.1.5 The requirement to sustainably manage rural resources has implications both for the use of land and for its subdivision.
- 8.1.6 The effects of inappropriate subdivision, use and development on outstanding natural features and landscapes.
- 8.1.7 There is a risk that adverse environmental effects can result from incompatible activities located close together, including cumulative effects in near urban areas.
- 8.1.8 Inappropriate subdivision, use and development can adversely impact on the amenity values of the rural environment
- 8.1.9 Activities and services that have a functional relationship with rural production may be more efficient and appropriate to establish within the rural environment rather than more densely settled areas.
- 8.1.10 Inappropriate use and development along approach roads to town centres and domestic airports can adversely impact on prevailing character and amenity values.
- 8.1.11 Loss of rural production land due to development pressure from non-rural activities.

8.2 ENVIRONMENTAL OUTCOMES EXPECTED

- 8.2.1 A rural environment where natural and physical resources are managed sustainably.
- 8.2.2 A rural environment in which a wide variety of activities is enabled, consistent with safeguarding the life supporting capacity of air, water, soil and ecosystems.
- 8.2.3 A dynamic rural environment which is constantly changing to meet the social and economic needs of the District's communities through the sustainable management of natural and physical resources.
- 8.2.4 The maintenance of areas of significant indigenous vegetation and significant habitats of indigenous fauna including aquatic habitats, and an increase in such areas that are formally protected.
- 8.2.5 Adverse effects arising from potentially incompatible activities are avoided, remedied or mitigated.
- 8.2.6 The maintenance of values associated with outstanding natural features and landscapes in the rural environment.
- 8.2.7 A rural environment where change is acknowledged whilst amenity values are maintained and enhanced to a level that is consistent with the productive intent of the zone.

8.3 OBJECTIVES:

- 8.3.1 To promote the sustainable management of natural and physical resources of the rural environment.

3.0: Section 8 – Far North District Council Operative Plan Requirements (continued):

8.3.2 To ensure that the life supporting capacity of soils is not compromised by inappropriate subdivision, use or development.

8.3.3 To avoid, remedy or mitigate the adverse and cumulative effects of activities on the rural environment.

8.3.4 To protect areas of significant indigenous vegetation and significant habitats of indigenous fauna.

8.3.5 To protect outstanding natural features and landscapes.

8.3.6 To avoid actual and potential conflicts between land use activities in the rural environment.

8.3.7 To promote the maintenance and enhancement of amenity values of the rural environment to a level that is consistent with the productive intent of the zone.

8.3.8 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.

8.3.9 To enable rural production activities to be undertaken in the rural environment.

8.3.10 To enable the activities compatible with the amenity values of rural areas and rural production activities to establish in the rural environment.

8.4 POLICIES:

8.4.1 That activities which will contribute to the sustainable management of the natural and physical resources of the rural environment are enabled to locate in that environment.

8.4.2 That activities be allowed to establish within the rural environment to the extent that any adverse effects of these activities are able to be avoided, remedied or mitigated and as a result the life supporting capacity of soils and ecosystems is safeguarded and rural productive activities are able to continue.

8.4.3 That any new infrastructure for development in rural areas be designed and operated in a way that safeguards the life supporting capacity of air, water, soil and ecosystems while protecting areas of significant indigenous vegetation and significant habitats of indigenous fauna, outstanding natural features and landscapes.

8.4.4 That development which will maintain or enhance the amenity value of the rural environment and outstanding natural features and outstanding landscapes be enabled to locate in the rural environment.

8.4.5 That plan provisions encourage the avoidance of adverse effects from incompatible land uses, particularly new developments adversely affecting existing land-uses (including by constraining the existing land-uses on account of sensitivity by the new use to adverse effects from the existing use – i.e. reverse sensitivity).

3.0: Section 8 – Far North District Council Operative Plan Requirements: 8.4 POLICIES:
(continued):

8.4.6 That areas of significant indigenous vegetation and significant habitats of indigenous fauna habitat be protected as an integral part of managing the use, development and protection of the natural and physical resources of the rural environment.

8.4.7 That Plan provisions encourage the efficient use and development of natural and physical resources, including consideration of demands upon infrastructure.

8.4.8 That, when considering subdivision, use and development in the rural environment, the Council will have particular regard to ensuring that its intensity, scale and type is controlled to ensure that adverse effects on habitats (including freshwater habitats), outstanding natural features and landscapes on the amenity value of the rural environment, and where appropriate on natural character of the coastal environment, are avoided, remedied or mitigated. Consideration will further be given to the functional need for the activity to be within rural environment and the potential cumulative effects of non-farming activities.

8.5 METHODS OF IMPLEMENTATION: DISTRICT PLAN METHODS:

8.5.1 Policies will be implemented through the pattern of zoning and zone rules and through the rules relating to subdivision (**Chapter 13**).

8.5.2 Integrated development is provided for in the rules to promote innovative land uses, and to enable tangata whenua to utilise ancestral land.

8.5.3 Financial contributions (refer **Chapter 14**) towards provision of car parking associated with non-residential activities and esplanade areas may be required. The amount of contribution will take account of the need for such services.

8.5.4 Protection and enhancement of indigenous flora and fauna is provided for in **Section 12.2**.

8.5.5 Protection and enhancement of outstanding natural features and landscapes is provided for in **Section 12.1**.

OTHER METHODS:

8.5.6 Non regulatory methods including education, publicity and incentives that encourage activities that are compatible with the surrounding environment.

8.5.7 Education is an important method. The Council will provide information to landowners and the public generally about sustainable management of the rural environment.

8.5.8 Liaison with the Northland Regional Council concerning education, co-ordination of work programmes, policy development and plan administration.

8.5.9 Incentives will be made available to assist landowners to protect areas of significant indigenous vegetation and habitats of indigenous fauna.

8.5.10 In conjunction with the Northland Regional Council, explore the feasibility of setting up a register of contractors who are specially trained in good environmental practices and licensed to carry out their work in accordance with approved codes of practice. Work undertaken by a licensed

3.0: Section 8 – Far North District Council Operative Plan Requirements: OTHER METHODS: (continued):

contractor that complies with the relevant Code of Practice would not require a property-specific resource consent.

8.5.11 The Council will promote the use of Low Impact Design principles to reduce site impermeability and provide education material to increase awareness.

COMMENTARY:

The objectives, policies and methods of the rural environment are intended to give effect to the purpose of the Act. They also take account of the particular nature of the rural environment of the district. Accordingly, emphasis is placed on enabling a wide range of activities to take place, limited only by the need to ensure that environmental quality is maintained.

Impermeable surfaces are inevitable as development continues to occur in the Far North District. Impermeable surfaces generate stormwater run-off that can contribute to flooding, erosion and the release of contaminants into waterways. The use of Low Impact Design principles can reduce the run-off volume and velocity, and filter contaminants. People and communities need to be considerate of the benefits of development that uses Low Impact Design principles.

3.1: 8.6: RURAL PRODUCTION ZONE: CONTEXT:

The Rural Production Zone applies over the majority of the rural part of the District other than those areas defined as Coastal, Rural Living or set aside for Recreation, Conservation or Minerals. The zone is predominantly a working productive rural zone, hence its name.

The zone contains environmental and amenity standards which will enable the continuation of the wide range of existing and future activities, compatible with normal farming and forestry activities, and with rural lifestyle and residential uses, while ensuring that the natural and physical resources of the rural area are managed sustainably. Activities that are ancillary to farming or forestry may also have a functional need to be within the rural environment, however, such rural processing and servicing activities may be less compatible in more intensively settled locations. The standards in the Rural Production Zone are also aimed at enabling farming and activities ancillary to rural production whilst maintaining and enhancing amenity values associated with the rural environment, and at minimising the likelihood and risk of incompatible land uses establishing in proximity to each other.

The provisions of the Rural Production Zone are complemented by the subdivision rules and the general rules relating to protection of environmental matters such as landscapes and indigenous flora and fauna, and having regard to amenity values.

The zone contains specific amenity standards designed to protect the special amenity values of the frontage to Kerikeri Road between SH10 and the urban edge of Kerikeri.

3.1.1: 8.6: RURAL PRODUCTION ZONE: 8.6.1: ISSUES:

These issues supplement those set out in **Section 8.1**.

- 8.6.1.1: People who are dependent on the use of land in the Rural Production Zone for their livelihood can be adversely affected by controls designed to ensure sustainable management of natural and physical resources.

3.1.1: 8.6: RURAL PRODUCTION ZONE: (continued) 8.6.1: ISSUES:

- 8.6.1.2 The sustainable management of natural and physical resources in the Rural Production Zone could be under threat in the absence of controls designed to avoid, remedy or mitigate the adverse effects of activities, including cumulative effects.
- 8.6.1.3 The use of land for rural production activities can be adversely affected by the establishment of incompatible activities.
- 8.6.1.4 Inappropriate subdivision, land use and development in the Rural Production Zone can lead to adverse cumulative effects, the degradation of amenity values, as well as increase conflict with existing activities (reverse sensitivity).
- 8.6.1.5 Some activities and services have a functional need to be located in rural environments so as to enable rural productivity and contribute to the well-being of individuals and communities.

8.6.2: ENVIRONMENTAL OUTCOMES EXPECTED:

These outcomes supplement those set out in **Section 8.2**.

- 8.6.2.1.1 A Rural Production Zone where a wide variety of activities take place in a manner that is consistent with the sustainable management of natural and physical resources and compatible with the productive intent of the zone.
- 8.6.2.1.2 A Rural Production Zone which enables the social, economic and cultural well-being of people and communities, and their health and safety, while safeguarding the life supporting capacity of the environment and avoiding, remedying or mitigating adverse effects on it.
- 8.6.2.1.3 A Rural Production Zone where the adverse cumulative effects of activities are managed and amenity values are maintained and enhanced.
- 8.6.2.1.4 A Rural Production Zone where the adverse effects of incompatible activities are avoided, remedied or mitigated.

8.6.3: OBJECTIVES:

These objectives supplement those set out in **Section 8.3**.

- 8.6.3.1 To promote the sustainable management of natural and physical resources in the Rural Production Zone.
- 8.6.3.2 To enable the efficient use and development of the Rural Production Zone in a way that enables people and communities to provide for their social, economic, and cultural well being and for their health and safety.
- 8.6.3.3 To promote the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone..
- 8.6.3.4 To promote the protection of significant natural values of the Rural Production Zone.

3.1.1: 8.6: RURAL PRODUCTION ZONE: CONTEXT: (continued): 8.6.3: OBJECTIVES:

- 8.6.3.5 To protect and enhance the special amenity values of the frontage to Kerikeri Road between its intersection with SH10 and the urban edge of Kerikeri.
- 8.6.3.6 To avoid, remedy or mitigate the actual and potential conflicts between new land use activities and existing lawfully established activities (reverse sensitivity) within the Rural Production Zone and on land use activities in neighbouring zones.
- 8.6.3.7 To avoid remedy or mitigate the adverse effects of incompatible use or development on natural and physical resources.
- 8.6.3.8 To enable the efficient establishment and operation of activities and services that have a functional need to be located in rural environments.
- 8.6.3.9 To enable rural production activities to be undertaken in the zone.

8.6.4: POLICIES

These policies supplement those set out in **Section 8.4**.

- 8.6.4.1 That the Rural Production Zone enables farming and rural production activities, as well as a wide range of activities, subject to the need to ensure that any adverse effects on the environment, including any reverse sensitivity effects, resulting from these activities are avoided, remedied or mitigated and are not to the detriment of rural productivity.
- 8.6.4.2 That standards be imposed to ensure that the off site effects of activities in the Rural Production Zone are avoided, remedied or mitigated.
- 8.6.4.3 That land management practices that avoid, remedy or mitigate adverse effects on natural and physical resources be encouraged.
- 8.6.4.4 That the type, scale and intensity of development allowed shall have regard to the maintenance and enhancement of the amenity values of the Rural Production Zone to a level that is consistent with the productive intent of the zone.
- 8.6.4.5 That the efficient use and development of physical and natural resources be taken into account in the implementation of the Plan.
- 8.6.4.6 That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.
- 8.6.4.7 That although a wide range of activities that promote rural productivity are appropriate in the Rural Production Zone, an underlying goal is to avoid the actual and potential adverse effects of conflicting land use activities.
- 8.6.4.8 That activities whose adverse effects, including reverse sensitivity effects, cannot be avoided remedied or mitigated are given separation from other activities
- 8.6.4.9 That activities be discouraged from locating where they are sensitive to the effects of or may compromise the continued operation of lawfully established existing activities in the Rural Production zone and in neighbouring zones.

3.1.1: 8.6: RURAL PRODUCTION ZONE: (continued): COMMENTARY:

The objectives and policies of the Rural Production Zone are a subset of those for the rural environment. As such they are aimed at a particular zone within the rural environment and the particular constraints and opportunities inherent in the environment of that zone. They are intended to be as flexible, permissive and enabling as possible in order to ensure that rural productivity is not stifled and that other activities can establish where their significant adverse effects are avoided remedied or mitigated on rural production or the natural and physical environment, including its people.

There is an emphasis on non-regulatory methods including education, incentives and publicity. This is because regulation has a negative connotation whereas non-regulatory methods are more positive.

The provision for integrated development clearly indicates that thinking “outside the square”, and development that is innovative but provides for the protection of the environment, is to be encouraged.

The entrance to the township of Kerikeri along Kerikeri Road from SH10 is an important part of the town’s identity for local residents and visitors alike. The road side stalls, tourist orientated enterprises, extensive landscape planting and shelter belts, add to the character of the entrance to Kerikeri, which is one of a mature landscape in which built form is well integrated with the surrounding vegetation. Specific requirements for building setbacks, landscape planting, vehicle parking and vehicle access will ensure that these special amenity values are recognized and protected.

There are roads within the District that have comparatively high levels of vehicle use. These require particular consideration in terms of the management of traffic effects.

3.2: Statement Regarding Policies and Objectives Under the Operative Plan:

As per the requirements of council’s policies and objectives detailed above, the site is proposed to be populated as it was intended to be and we therefore request resource consent is granted with rules to follow under the Operative Plan detailed.

What is proposed is consistent with the Policies and Objectives in the Rural Zone of The Operative Plan.

3.3: 8.6.5 ZONE RULES:

8.6.5.1.1: Residential Intensity: What is proposed is compliant with this rule.

8.6.5.2.1: Sunlight: What is proposed is compliant with this rule.

8.6.5.3.1: Storm Water Management: What is proposed is existing and meets with this rule even with the relocatable home added.

8.6.5.1.4: Setback from Boundaries: All setback rules are met and are compliant.

Rule 8.6.5.3.4 Setback from Boundaries: We also comply with this rule.

Rules 8.6.5.1.5 through to 8.6.5.1.7, 8.6.5.1.9 and 8.6.5.1.12 are not applicable to this application.

8.6.5.1.8: Building Height: What is proposed is compliant with this rule.

8.6.5.1.10: Building Coverage: As per the plans provided, the building coverage easily meets compliance as shown.

We therefore request consent for site coverage is granted with the site subdivided for what is intended as detailed on the plans with all rules seen as compliant.

4.0: Site Photos Current:



4.0: Site Photos Current (continued):



4.0: Site Photos Current (continued):



5.0: Character, amenity and visual values:

The proposed site will be maintained as detailed in the assessment above with the proposed associated works as requested as part of this application.

5.1: Appropriateness of the site for the proposed density:

The surrounding area has new well-developed rural homes with this part of Kerikeri largely an area that is rural in nature.

All parts of New Zealand have experienced major building growth over the past 5-10 years.

The up keep of rural land for production purposes will rely on housing to also to be created and in this case compliance with all the rules relating to the works are met positively, as this is what the site was intended for when subdivided.

The density proposed is appropriate for the zone, with provisions of the dwelling with earthworks to form the building platform and flat living area outside the dwelling while also getting access to the dwelling being able to be supported in our professional opinion.

5.3: Adequacy of proposed vehicle accesses:

As detailed on the plans there is vehicle access from the road on the approved vehicle crossing(s) with internal driveway proposed suitable to service the home, shed and all structures on site in the location shown.

The adequacy of the vehicle crossings will fit the environment with the surrounding sites achieving similar results.

5.4: Adequacy of the site for servicing and further development:

The proposed resource consent for the existing home within the shed to be seen as a minor dwelling while allowing the proposed relocated home to become the primary dwelling on site, the existing shed that houses the minor dwelling, existing tanks and effluent disposal can be granted in our opinion for the reasons given above under rules under The Rural Production Zone and all areas covered off in this assessment, with assessment criteria.

The existing home within the shed to be seen as a minor dwelling while allowing the proposed relocated home to become the primary dwelling on site, the existing shed that houses the minor dwelling, existing tanks and effluent disposal fully complies with what the site was intended for when subdivided.

Any further development would be limited to what has been proposed on site where the owners have the site for their own rural-residential purposes.

Drainage will be as per the effluent design attached and storm water catchment to tanks for the use of drinking water with the use of the proposed tanks accompanying this application.

The overall proposal will have:

1. No affected party (other than those consulted and in agreement with affected party approvals provided) with all aspects of servicing including storm water, sewerage, vehicle crossing, and related to all the locations set as part of this development on site.
2. All rules stipulated in the District Plan for the relocation home, garage, retaining walls, tanks and earthworks with all works largely unavoidable on this site.

5.6: Temporary or Long Term Effects:

There are no temporary or permanent ongoing effects to be concerned with, with the approval of resource and earthworks consent so long as conditioning is applied.

5.7: Present or Future Effects:

There are no present or future effects that will have a bearing capacity on this site.

No further development is available and once the works are complete.

5.8: Cumulative Effects That Could Arise Over Time:

There are no “cumulative effects” or long term environmental effects that will compound any issues that can be related to this consent.

5.9: Potential Effects That Have a High or Low Probability of Happening:

There are little to no adverse potential effects associated with the relocation home, garage, retaining walls, tanks and earthworks once a building consent has been applied for and granted.

The neighbouring sites are all zoned as per this site.

5.0: Summary:

We therefore request resource consent is approved for the suggested changes to the existing home within the shed to be recognised as a minor dwelling, meet the rules outlined under rule **8.6.5.2.3 MINOR RESIDENTIAL UNIT** and the relocated home to be made permanent on site and be known as the primary dwelling on site.

Building consent is approved and provided for the relocation of the home, with the earthworks, shed, dwelling within the shed creating the minor dwelling, water tanks, effluent design all existing as per the plans and all information provided as a:

Controlled - Restricted Discretionary Activity.

With all works unavoidable to carry out the works consented under building consent EBC-2026-99/0 with the overall effect to the environment in our professional opinion being:

Less Than Minor.

We therefore request consent for this application is granted and we await council’s feedback to this request.

Kind Regards



Stephen Briggs

Managing Director

Plan –It Resource Consultants Ltd

Ph: 021 815 665

Em: stephen@plan-itrcl.co.nz



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R. W. Muir
Registrar-General
of Land

Identifier **NA131A/126**
Land Registration District **North Auckland**
Date Issued 02 November 2001

Prior References

NA112A/394 NA120B/962

Estate Fee Simple
Area 9988 square metres more or less
Legal Description Lot 2 Deposited Plan 202589
Registered Owners
Morrie James Dwight

Interests

Subject to Section 59 Land Act 1948

573901.1 Gazette Notice declaring the adjoining State Highway to be a limited access road - 31.1.1979 at 10.51 am

Appurtenant hereto is a right of way, and electricity, telecommunication & water supply rights specified in Easement Certificate D336166.5 - 2.12.1998 at 1:06 pm (affects part formerly Lot 2 DP 190535)

The easements specified in Easement Certificate D336166.5 are subject to Section 243 (a) Resource Management Act 1991

D471857.2 Notice pursuant to Section 91 Transit New Zealand Act 1989 - produced 19.9.2001 at 9.00 and entered 2.11.2001 at 3.33 pm (affects part formerly CT NA120B/962)

D641383.2 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - produced 19.9.2001 at 9.00 and entered 2.11.2001 at 3.33 pm

Appurtenant hereto is a right of way and a right to convey water, and telecommunications and electricity rights specified in Easement Certificate D641383.6 - produced 19.9.2001 at 9.00 and entered 2.11.2001 at 3.33 pm

Subject to an electricity right over part marked S on DP 202589 specified in Easement Certificate D641383.6 - produced 19.9.2001 at 9.00 and entered 2.11.2001 at 3.33 pm

The easements specified in Easement Certificate D641383.6 are subject to Section 243 (a) Resource Management Act 1991

6917360.3 Mortgage to ANZ National Bank Limited - 3.7.2006 at 3:32 pm

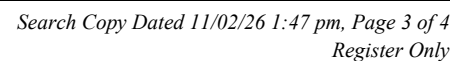
8069824.4 Surrender of the right of way, right to convey telecommunications and electricity and right to convey water over areas marked C, Q, G, R and H on DP 202589 specified in Easement Certificate D641383.6 - 12.2.2009 at 9:00 am

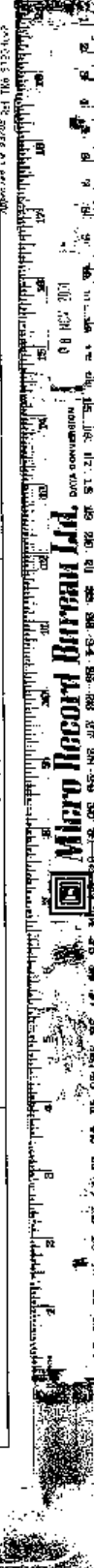
8069824.6 Resolution pursuant to Section 243(f)(ii) Resource Management Act 1991 cancelling the easement condition right of way, right to convey telecommunications and electricity and right to convey water over areas marked C, Q, G, R and H on DP 202589 described in Easement Certificate D641383.6 - 12.2.2009 at 9:00 am

Appurtenant hereto is a right of way, right to convey electricity, telecommunications and computer media and to convey water created by Easement Instrument 8069824.9 - 12.2.2009 at 9:00 am

Some of the easements created by Easement Instrument 8069824.9 are subject to Section 243 (a) Resource Management Act 1991

Record Bureau Ltd





We understand that as a qualified environmental management specialist with over 25 years' experience Stephen Briggs will do all he can to achieve my consent but ultimately Council have a final confirmation that the consent meets the district plan and resource management act, or adequate mitigation is given within the AEE.

Stephen Briggs, Plan-It Resource Consultants Ltd is officially engaged as my agent and agree to pay all fees associated with this consent including all Council, LINZ, Surveyors, Engineers and development fees once they are confirmed and agreed to by the owners or Vedu NZ Ltd of the proposed development at 1213B State Highway 10, Kerikeri, Far North District as the signing party.

Company:.....

Designation: *Owner*.....

Signature: *M. J. Dwyer*.....

Name: *MARIE DWYER*.....

Address: *1213B SH 10 KERIKERI*.....

Ph: *0275315636*.....

Em: *Bernmaedwright@gmail.com*.....

Plan-It Resource Consultants Ltd, 2 Hamlet Place, Pukekohe, Auckland 2120
Ph: 021 815 665 Em: stephen@plan-itrc.co.nz

Approved by Registrar-General of Land under No. 2002/6056

Easement instrument to surrender easement, *profit à prendre* or land covenant
Sections 90A and 90F, Land Transfer Act 1952

SE 8069824.4 Surrender

Cpy - 01/01, Pgs - 007, 11/02/09, 09:34

Land registration district

NORTH AUCKLAND



DocID: 313239981

Grantee

Surname(s) must be underlined or in CAPITALS.

Simon Krysto COLBRAN, Morrie James DWIGHT, Kirk Lee GLENTWORTH and TRACEY ANN GLENTWORTH

Grantor

Surname(s) must be underlined or in CAPITALS.

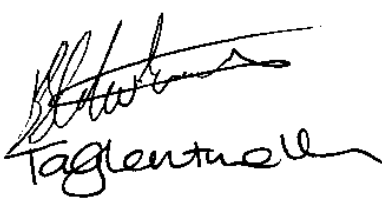

MT POKAKA TIMBER PRODUCTS LIMITED

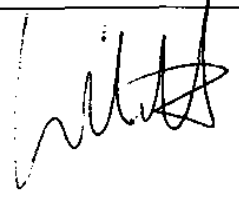
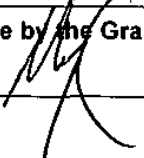
Surrender* of easement, or *profit à prendre*, or covenant

The Grantee, being the registered proprietor of the dominant tenement(s) set out in Schedule A or being the Grantee in gross, **surrenders to the Grantor** the easement(s), *profits(s) à prendre*, or covenant(s) set out in Schedule A, and the Grantor accepts the surrender of those easement(s), *profits(s) à prendre*, or covenant(s).


Dated this 30th day of January 2008

Attestation

	Signed in my presence by the Grantee Kirk Lee GLENTWORTH and Tracey Ann GLENTWORTH
	Signature of witness 
	Witness to complete in BLOCK letters (unless legibly printed) Witness name
	Occupation DENNIS JOHN McBREARTY Solicitor Address PAIHIA
Signature [common seal] of Grantee	

	Signed in my presence by the Grantor
	Signature of witness 
	Witness to complete in BLOCK letters (unless legibly printed) Witness name
	Occupation RICHARD ADRIAN AYTON Solicitor Address KERIKERI
Signature [common seal] of Grantor	

Certified correct for the purposes of the Land Transfer Act 1952.



[Solicitor for] the Grantor

*If the consent of any person is required for the surrender, the specified consent form must be used.

REF: 7004 - AUCKLAND DISTRICT LAW SOCIETY

Annexure Schedule 1Easement surrender
instrument

Dated

30th January 2009

Page

1

of

1

pages

Schedule A

(Continue in additional Annexure Schedule if required.)

Nature of easement, profit, or covenant	Unique identifier (Document number)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right of Way Electricity Telecommunications and Right to Convey Water over areas C, Q, G, R, and H on DP202589	D641383.6	331674	NA131A/125 NA131A/126 NA131A/127

All signing parties and either their witnesses or solicitors must sign or initial in this box.

KLH [Signature] [Signature] m [Signature] SC [Signature] [Signature]

Annexure Schedule

Insert type of instrument

"Mortgage", "Transfer", "Lease" etc



Easement



Dated 30th January 2009

Page 1 of 2 pages


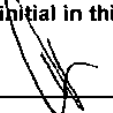

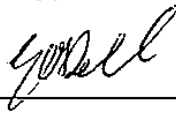
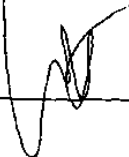
(Continue in additional Annexure Schedule, if required.)

Attestation

 S.C.	Signed in my presence by the Grantee Simon Krysto COLBRAN
	 Signature of witness
	Witness to complete in BLOCK letters (unless legibly printed)
	Witness name Graham O'Dell Occupation Builder Address 68 Wakelin Rd
Signature of Grantee	

 mjd	Signed in my presence by the Grantee Morrie James DWIGHT
	 Signature of witness
	Witness to complete in BLOCK letters (unless legibly printed)
	Witness name GARY WAYNE LARKHAM Occupation BUSINESSMAN Address P.O. Box 83 KREIKER
Signature of Grantee	

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

Annexure Schedule

2003/5038EF
Approved
Registrar-General of Land

*Easement surrender instrument **27 JAN 2009** dated

Page \ of \ pages

** Insert type of instrument.*

Continue in additional Annexure Schedule if required.

ASB Bank Limited the Mortgagee of the within described land under and by virtue of Memorandum of Mortgages No. 5962324.3 and 6958535.10 (North Auckland Registry) HEREBY CONSENTS to within Easement Surrender Instrument but without releasing or discharging the Mortgagor or any other person or persons or any other security or securities for the time being held by the Mortgagee from payment of any monies whatsoever remaining owing to it under the within obligation or any collateral instrument or otherwise.


SIGNED by ASB BANK LIMITED by its Attorney
Jason Meihana Paranihi
in the presence of:
Witness: DEBBY HOOLEY DEBBY HOOLEY
Bank Officer AUCKLAND

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

ASB BANK LIMITED
CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY

I Jason Meihana Paranihi of Auckland, New Zealand, hereby certify:

1. THAT by a Deed dated **29 April 2008** and deposited in the Land Information New Zealand office as **No. 7813922.1** ASB Bank Limited appointed the persons holding, or from time to time acting in, the following ASB Bank offices as its attorneys on the terms and subject to the conditions set out in the said Deed:

Senior Manager Lending Services
Manager Loan Documentation
Legal Executive, Lending Services
Manager Administration
Manager Security Alterations and Settlements
Manager Filing and Security Maintenance
Manager Loan Advancing
Chief Manager Lending Services
Senior Manager Debt Assessment and Recoveries
Manager Business Credit

2. THAT I hold the appointment of Manager Security Alterations and Settlements, Lending Services, with ASB Bank Limited
3. THAT at the date of signing I have not received any notice of or information of the revocation of that appointment by the winding up of the said company or otherwise.



Jason Meihana Paranihi

SIGNED at Auckland this 27 day of January 2009

Annexure Schedule - Consent Form

Land Transfer Act 1952 section 238(2)



Insert type of instrument
"Caveat", "Mortgage" etc

Mortgage

Page **1** of **1** pages

Consent

Surname must be underlined or in CAPITALS

Capacity and Interest of Consentor

(eg. Caveator under Caveat no./Mortgagee under Mortgage no.)

ANZ NATIONAL BANK LIMITED

6917360.3

Consent

Delete Land Transfer Act 1952, if inapplicable, and insert name and date of application Act.

Delete words in [] if inconsistent with the consent.

State full details of the matter for which consent is required.

Pursuant to [section 238(2) of the Land Transfer Act 1952]

[section _____ of the _____ Act _____]


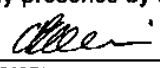
[Without prejudice to the rights and powers existing under the interest of the Consentor]

the Consentor hereby consents to:

the surrender of Easements of Right of Way, Right to Convey Electricity, Telecommunications and Water over areas C,Q,G,R and H on Deposited Plan 202589 in Easement Certificate D641383.6.

Dated this **21** day of **October** **2008**

Attestation

	Signed in my presence by the Consentor
	 Signature of Witness Witness to complete in BLOCK letters (unless legibly printed) Witness name Christopher Borain Occupation Bank Officer Address Auckland
Signature of Consentor	

An Annexure Schedule in this form may be attached to the relevant instrument, where consent is required to enable registration under the Land Transfer Act 1952, or other enactments, under which no form is prescribed.

**CERTIFICATE OF NON-REVOCATION OF POWER OF
ATTORNEY**

I, Lyn Tomkins of **Auckland, New Zealand, Team Leader, Retail
Loan Support, Lending Services Centre**, certify –

1. That by deed dated **20, July 2006** ANZ National Bank Limited of Wellington, New Zealand appointed me its attorney.
2. That I have not received notice of any event revoking the power of attorney.



Signed at **Auckland** this day of 21 October 2008



Far North
District Council

C243 8069824.6 Revoc

Cpy - 01/01, Pgs - 001, 11/02/09, 09:36



DocID: 313239983

Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

**CERTIFICATE OF LOCAL AUTHORITY
UNDER SECTION 243(e) OF THE
RESOURCE MANAGEMENT ACT, 1991**

CURRENT LEGAL DESCRIPTION:	LOT 3 DP 202589 SUBJ TO ELECTIRICTY INT TO EASES
FILE NUMBER:	RC2070425
APPLICANT:	Kirk Lee Glentworth and Tracey Ann Glentworth

**IN THE MATTER OF LAND TRANSFER PLAN
NO: 407838**

The Far North District Council hereby certifies that the following resolution was passed under delegated authority on the 17th day of December 2008:

Pursuant to Section 243(e) of the Resource Management Act 1991, the FAR NORTH DISTRICT COUNCIL hereby consents to the cancellation of the right of way, electricity, telecommunications and right to convey water easements marked C, Q, G, R and H on Deposited Plan 202589, the granting of which was a condition of the approval of Deposited Plan by the Far North District Council in its consent endorsed on the said plan.

DATED at Kerikeri this 17th day of December 2008

Murray McDonald
PRINCIPAL PLANNER

**Easement instrument to grant easement or
profit à prendre or create land covenant**
Sections 90A and 90F, Land Transfer Act 1952

2003/6180EF
Approved
Registrar-General of Land

EI 8069824.9 Easemen

Cpy - 01/01, Pgs - 005, 09/03/09, 10:01



DocID: 313239986

Land registration district

North Auckland

Grantor

Surname(s) must be underlined or in CAPITALS.

MT POKAKA TIMBER PRODUCTS LIMITED

Grantee

Surname(s) must be underlined or in CAPITALS.

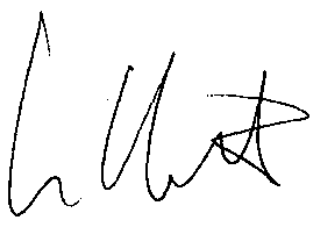
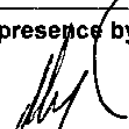
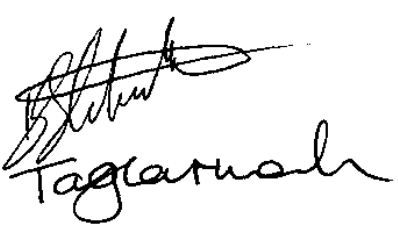
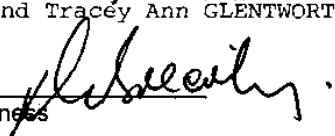
Simon Krysto COLBRAN, Morrie James DWIGHT, Kirk Lee GLENTWORTH and Tracey Ann GLENTWORTH

Grant* of easement or profit à prendre or creation or covenant

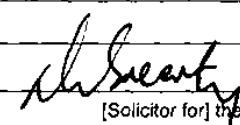
The Grantor, being the registered proprietor of the servient tenement(s) set out in Schedule A, grants to the Grantee (and, if so stated, in gross) the easement(s) or profit(s) à prendre set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

DATED this 30th day of January 2009

Attestation

 Signature [Common Seal] of Grantor	<p>Signed in my presence by the Grantor</p>  Signature of Witness Witness to complete in BLOCK letters (unless legibly printed) Witness name: Richard Adner dyk Occupation: Solicitor Address: Kuku
 Signature [Common Seal] of Grantee	<p>Signed in my presence by the Grantee Kirk Lee GLENTWORTH and Tracey Ann GLENTWORTH</p>  Signature of Witness Witness to complete in BLOCK letters (unless legibly printed) Witness name: Occupation: DENNIS JOHN McBREARTY Address: SOLICITOR PAIHIA

Certified correct for the purposes of the Land Transfer Act 1952


[Solicitor for] the Grantee

* If the consent of any person is required for the grant, the specified consent form must be used.

Annexure Schedule 1

2003/6180EF
Approved
Registrar-General of Land

Easement instrument

Dated 30th January 2009

Page 2 of 3 pages

Schedule A

Continue in additional Annexure Schedule if required.

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Right of way Right to convey electricity telecommunications and computer media Right to convey water	C, Q and R on DP 407838	427646 334674 <i>plus</i>	NA131A/125 NA131A/126 427647 NA131A/127 <i>plus</i>

Easements or profits à prendre
rights and powers (including terms,
covenants, and conditions)

Delete phrases in [] and insert memorandum number as required.

Continue in additional Annexure Schedule if required.

Unless otherwise provided below, the rights and powers provided in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Fifth Schedule of the Property Law Act 2007.

The implied rights and powers are ~~varied~~ ~~negated~~ ~~added to~~ or ~~substituted~~ by:

~~[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952]~~

~~[The provisions set out in Annexure Schedule 2]~~

Covenant provisions

Delete phrases in [] and insert memorandum number as required.

Continue in additional Annexure Schedule if required

The provisions applying to the specified covenants are those set out in:

~~[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952]~~

~~[The provisions set out in Annexure Schedule 2]~~

All signing parties and either their witnesses or solicitors must sign or initial in this box.

[Signatures and initials of parties and witnesses]

Annexure Schedule

1

2003/5038EF
Approved
Registrar-General of Land

*Easement

Dated 30 January 2009 Page 3 of 3 pages

* Insert type of instrument.

Continue in additional Annexure Schedule if required.

Attestation

Signed in my presence by the Grantee Morrie James DWIGHT

Signature of Witness

Witness to complete in BLOCK letters

Witness Name: GARY WAYNE LARKAN

Occupation: BUSINESSMAN

Address: PG. Box 83

KERIKERI

Signature of Grantee

Certified correct for the purposes of the Land Transfer Act 1952

Solicitor for the Grantee

Signed in my presence by the Grantee Simon Krysto COLBRAN

Signature of Witness

Witness to complete in BLOCK letters

Witness Name: Graham O'Dell

Occupation: Builder

Address: 68 Watelin Rd

Signature of Grantee

Certified correct for the purposes of the Land Transfer Act 1952

Solicitor for the Grantee

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

IS RL ds MJD S G O'Dell

Annexure Schedule

2003/5038EF
Approved
Registrar-General of Land

*Easement instrument

27 JAN 2009

Dated

Page 1 of 1 pages

* Insert type of instrument.

Continue in additional Annexure Schedule if required.

ASB Bank Limited the Mortgagee of the within described land under and by virtue of Memorandum of Mortgages No. 5962324.3 and 6958535.10 (North Auckland Registry) HEREBY CONSENTS to within Easement Instrument but without releasing or discharging the Mortgagor or any other person or persons or any other security or securities for the time being held by the Mortgagee from payment of any monies whatsoever remaining owing to it under the within obligation or any collateral instrument or otherwise.

SIGNED by ASB BANK LIMITED by its Attorney

Jason Melhana Paranihi

In the presence of:

Witness:

DEBBY HOOLEY

Bank Officer

AUCKLAND

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

ASB BANK LIMITED
CERTIFICATE OF NON-REVOCATION OF POWER OF ATTORNEY

I Jason Meihana Paranihi of Auckland, New Zealand, hereby certify:

- 1 THAT by a Deed dated **29 April 2008** and deposited in the Land Information New Zealand office as **No. 7813922.1** ASB Bank Limited appointed the persons holding, or from time to time acting in, the following ASB Bank offices as its attorneys on the terms and subject to the conditions set out in the said Deed:

Senior Manager Lending Services
Manager Loan Documentation
Legal Executive, Lending Services
Manager Administration
Manager Security Alterations and Settlements
Manager Filing and Security Maintenance
Manager Loan Advancing
Chief Manager Lending Services
Senior Manager Debt Assessment and Recoveries
Manager Business Credit

2. THAT I hold the appointment of Manager Security Alterations and Settlements, Lending Services, with ASB Bank Limited
3. THAT at the date of signing I have not received any notice of or information of the revocation of that appointment by the winding up of the said company or otherwise.



Jason Meihana Paranihi

SIGNED at Auckland this 27 day of January 2009

NOTICE BY TRANSIT NEW ZEALAND AUTHORISING A CROSSING PLACE TO AND FROM A LIMITED ACCESS ROAD UNDER SECTION 91 TRANSIT NEW ZEALAND ACT 1989

State Highway No: 10 Declared Section: Waitangi River to Waipapa

C91 D471857.2 Notice u

Cpy - 01/01, Pgs - 002, 26/11/10, 15:16

DESCRIPTION OF LAND ADJOINING LIMITED ACCESS ROAD:

Lot 2 DP 190535 CT 120B/962 (the "Property")



DocID: 313715074

Authorisation of Crossing Place

1. Pursuant to Section 91 of the Transit New Zealand Act 1989 Transit New Zealand authorises the crossing place marked No 19A on the plan numbered 11/34/1 ("the crossing place"), at which crossing place vehicles may proceed to and from the Limited Access Road and from and to the property. A copy of the plan is available for inspection at the office of the Regional State Highway Manager, Transit New Zealand, Auckland.
2. The crossing place shall be located on the road frontage between 12 metres and 18 metres north-west from the northern boundary of Lot 1 DP 169518.

CONDITIONS

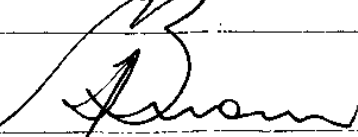
3. The owner of the land specified above shall advise the Auckland Regional State Highway Manager, without delay if any of the following occur:
 - (i) A change in the nature, scale of use of the crossing place; or
 - (ii) A change in the legal description of the property; or
 - (iii) The owner has any concerns regarding the safety to users of this crossing place or the safety of users of the State highway or the efficiency of the State highway in the vicinity of this crossing place.
4. If, as a result of a change in the nature or scale of use of the crossing place or the property:
 - (i) Transit New Zealand is satisfied that works to the crossing place are necessary to address safety or efficiency concerns relating to the crossing place or to the State highway adjacent to the crossing place ("the required works"); and
 - (ii) Transit New Zealand notifies the owner in writing of the required works ("the notice of required works"); The owner shall, at his/her cost, carry out the required works to the satisfaction of the Regional State Highway Manager, Transit New Zealand (Auckland), within the time specified in the notice of required works.

Advice Notes

- a) At the time of issue of this notice, the crossing place is used as access for vehicles associated with private use. No retail sales are to be carried out from this crossing place.
- b) If the crossing place was in existence at the time of the declaration of the State highway as a Limited Access Road, this notice does not confirm the acceptability of its safety or standard of design and construction for its current use. If the owner has any concerns in this regard, he/she should contact Transit New Zealand.
- c) Transit New Zealand has standards for the design and construction of crossing places to State highways, and requires the owner to adopt those standards when making any changes to the use, location or design of the crossing place.
- d) A separate written permission from the Regional State Highway Manager in accordance with section 51 of the Transit New Zealand Act 1989, is required before any work may be done on the State highway, other than routine maintenance which is to be done by the owner of the property. This notice **does not** constitute that written permission.
- e) The owner's attention is drawn to the powers provided in section 91 of the Transit New Zealand Act 1989, to cancel the right to use a crossing place if the parcel of land has reasonably practicable legal access to some other road or has another authorised crossing place, and to cancel or vary conditions or impose further conditions, and to vary the location of the crossing place.
- f) Conditions 3 and 4 above have been included on this crossing place notice pursuant to s91(1)(a)(I) Transit New Zealand Act 1989 to enable Transit to assess for itself whether any change in use of the crossing place, property, or occurrence of any other relevant incident raises safety or efficiency issues which require addressing.
- g) Circumstances in which Transit would expect the landowner to advise the Regional State Highway Manager of concerns regarding the safety and efficiency of use of the crossing place, or State highway in the vicinity of the crossing place pursuant to sub-paragraph 3(ii) above include the occurrence of:
 - An accident which is directly or indirectly attributable to the use of the crossing place;
 - Any other incident (such as a near-accident) into question the safety and efficiency of the crossing place or State highway in the vicinity of the crossing place.

Dated this 10 day of January 2000.

SIGNED on behalf of Transit New Zealand


Terence John Brown

Regional State Highway Manager - acting pursuant to delegated authority

LINZ COPY

3.45 21.JAN00 D 471857

PARTICULARS ENTERED IN REGISTER
LAND REGISTRY NORTH ISLAND
for REGISTRATION OF LAND

Subula

1205/42

**THE RESOURCE MANAGEMENT ACT 1991****SECTION 221: CONSENT NOTICE****REGARDING**

The subdivision of Lots 1, 2 & 5 DP 166845
Lot 1 DP 182626 & Lot 2 DP 190535, North
Auckland Registry.

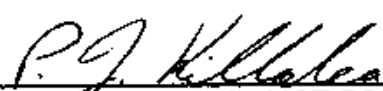
PURSUANT to Section 221 and for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by **THE FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the Schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and are to be registered on the new titles for Lots 1 - 5 DP 202589. (CTs 131A/125 - 131A/129)

SCHEDULE

Secure the conditions below by way of a Consent Notice issued under Section 221 of the Act, to be registered against the titles of the affected allotments. The costs of preparing, checking executing the Notice shall be met by the Applicants.

- i. No building can be erected on Lot 2 DP 202589 within 8 metres of the power wires easement. If any building is to be erected within the 8 metre exclusion area the overhead power wires will need to be relocated away from the proposed building site at the cost of the owner.
- ii. Any dwelling proposed for Lots 1, 2 and 3 DP 202589 will require engineer designed foundations. The details of which are to be submitted in conjunction with the building consent application.
- iii. Development of Lots 1, 2 and 3 DP 202589 is to be undertaken in accordance with engineers report prepared by Haigh Development Consultants dated 12 October 1999.

SIGNED:


By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
RESOURCE CONSENTS MANAGER

DATE at KAIKOHE this

5th day of March

2001

RC 1990897b
5720.CN

1124/374

RECEIVED 2.00 19 SEP 01 D 641383.3

2.10-200 (2.3.33)

1205/442

1124/374

1018/60-61, 64

D641383.6EC

EASEMENT CERTIFICATE

(IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein).

I/We JOHN MARK HEWITT

being the registered proprietor(s) of the land described in the Schedule hereto hereby certify that the easements specified in that Schedule, the servient tenements in relation to which are shown on a plan of survey deposited in the Land Registry Office at Auckland

on the day of

2001 under No. 202589

are the easements which it is intended shall be created by the operation of section 90A of the Land Transfer Act 1952.

SCHEDULE DEPOSITED PLAN NO. 202589

Nature of Easement (e.g., Right of Way, etc.)	Servient Tenement		Dominant Tenement Lot No.(s) or other Legal Description	Title Reference
	Lot No.(s) or other Legal Description	Colour, or Other Means of Identification, of Part Subject to Easement		
Right of Way Electricity Telecommunications and Right to Convey water	Lot 4 hereon	A, J & F	Lots 1, 2, 3 & 5 hereon	131A/128 131A/125 131A/126 131A/127 131A/129
	Lot 5 hereon	B	Lot 4 hereon	131A/129 131A/128
	Lot 4 hereon	C, Q, G, R & H	Lots 1, 2 & 3 hereon	131A/128 131A/125 131A/126 131A/127
	Lot 4 hereon	D & O	Lot 5 hereon	131A/128 131A/129
	Lot 4 hereon	I	Lots 3 & 5 hereon	131A/128 131A/127 131A/129
	Lot 4 hereon	K	Lots 1, 2, 3 & 5 hereon	131A/128 131A/125 131A/126 131A/127 131A/129
Electricity	Lot 2 hereon	S	Lots 1, 3, 4 & 5 hereon	131A/126 131A/125 131A/127 131A/128 131A/129
Electricity	Lot 4 hereon	P, O & Q	Lot 5 hereon	131A/128 131A/129
	Lot 3 hereon	L, M & N	Lots 4 & 5 hereon	131A/127 131A/128 131A/129

State whether any rights or powers set out here are in addition to or in substitution for those set out in the Seventh Schedule to the Land Transfer Act 1952.

1. Rights and powers:

- (a) In addition the implied covenants of the Ninth Schedule of the Property Law Act 1952 shall apply
- (b) See attached for Telecommunications and Electricity

RIGHTS AND POWERS

That in respect of the Telecommunications and Electricity Easements referred to in the Schedule hereto, the rights and powers applicable thereto are:

- (a) The full free uninterrupted and unrestricted right liberty and privilege for the occupier and registered proprietor for the time being of the dominant tenement from time to time and at all times to take convey and lead electrical current or any other mode of transmitting telecommunications in a free and unimpeded flow (except where the flow is halted for any reasonable period necessary for essential repairs) for the purposes of telecommunications under or across the land over which the Easement is created and to erect, lay and maintain poles and cables for such purpose.
- (b) The full free uninterrupted and unrestricted right liberty and privilege for the occupier and registered proprietor for the time being of the dominant tenement from time to time and at all times to take convey and lead electricity in a free and unimpeded flow (except where the flow is halted for any reasonable period necessary for essential repairs) under or across the land over which the Easement is created and to erect, lay and maintain poles and cables for such purpose.


TERMS CONDITIONS COVENANTS OR RESTRICTIONS IN RESPECT OF ABOVE EASEMENTS:

That in respect of the Electricity and Telecommunications Easements (hereinafter called "the Easements") referred to in the Schedule hereto the terms conditions covenants or restrictions applicable thereto are as follows:-

- (a) All cables placed within or such poles and cable erected upon the servient tenements shall be maintained and as required repaired to a good and serviceable condition by the registered proprietors for the time being of the dominant tenements.
- (b) All the costs and expenses of and incidental to the repairing and maintaining of the Easements herein specified shall be borne by the registered proprietor for the time being of the dominant tenements.
- (c) Any person wishing to carry out any work whatsoever on the Easements herein specified shall first give to the registered proprietor of the servient tenement thereof notice of such intention and of the nature and expense of the said work prior to any such work being commenced.
- (d) Any person carrying out any work whatsoever on the Easements herein specified shall take all reasonable and proper action and care to interfere as little as possible with the comfort and convenience of the occupier or occupiers for the time being of the dominant and servient tenements and shall carry out such work or cause the same to be carried out with the utmost expedition and in a prudent manner and in particular shall during the course of such work;
 - (i) Shore up or cause to be shored up in a proper safe and workmanlike manner any part of the dominant or servient tenement affected thereby.
 - (ii) Take all reasonable and proper steps to preserve the said tenements and all parts thereof and all property and goods thereon from damage.
- (e) Subject to the other terms and conditions covenants and restrictions contained in these presents any person carrying out any work as aforesaid shall have the right to enter and to bring machinery and workmen on to any part of the dominant or servient tenement as shall be necessary for the purposes of carrying out maintenance on the Easements referred to herein and shall have the right to remove all soil roading paving metalling fencing and all other things as shall be reasonably necessary to give unimpeded access to the said Easement PROVIDED HOWEVER that such soil roading paving metalling and fencing which is so removed shall be restored as nearly as possible to its original condition and that any other damage done by reason of the said maintenance is repaired and that as little disturbance as possible is caused to the surface of the land and to the enjoyment of the said tenements by the registered proprietors or occupiers.
- (f) Where the maintenance work which is required to be carried out in terms of these presents involves the total or partial replacement of any cables this work shall be deemed to be maintenance work which may be carried out in accordance with these presents.

2. Terms, conditions, covenants, or restrictions in respect of any of the above easements:

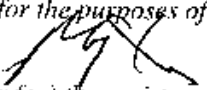
Dated this 12th day of September 2001,
Signed by the above-named
JOHN MARK HEWITT



in the presence of

Witness 
Occupation RICHARD ADRIAN AYTON
SOLICITOR
Address KERIKERI

Correct for the purposes of the Land Transfer Act 1952

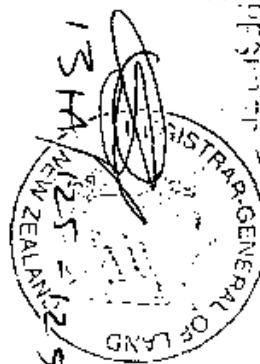

(Solicitor for) the registered proprietor:

EASEMENT CERTIFICATE

Land Transfer Act 1952

Law Firm Acting
LAW NORTH PARTNERS SOLICITORS <u>KERIKERI</u>

Auckland District Law Society
REF: 4260



PRODUCED 19.00 19 SEP 01 D 641383
ENTERED 2.14.2001 24 3.33
PATRICULARS ENTERED IN REGISTER
LAND REGISTRY NORTH
2001

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(except for "Law Firm Acting")

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 1 of 21 sheets

573901-1GN

State Highway No 10; LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 14 2 72			
NO.	Description	WAVE No. #	LAND IN NORTH AUCKLAND LAND REGISTRATION DISTRICT
	START OF LIMITED ACCESS ROAD R.S. 0 R.P.S. 45 (CENTRELINE OF BRIDGE) WAITANGI RIVER		
NIL	No existing entrance to State Highway - access point allocated	1	Crown Land - Reserved from Sale Section 58 Land Act 1948
9	Farm Gate Farm Gate Vehicle Access Vehicle Access Double Farm Gates Farm Gate Farm Gate Farm Gate Farm Gate	2 3 4 5 6 7 8 9 10	Allotment 25 Parish of Waitangi C.T. 23A/1327
NIL	No existing entrance to State Highway - access point allocated	11	Allotment 33 Parish of Waitangi No Registration - Formerly C.T. 229/268
	PUBLIC ROAD - Not Formed		

* As shown on Plan No LA 11754/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 2 of 21 sheets

State Highway No. 10		LEFT HAND SIDE (WEST)	
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at:		14.3.75	LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access - also gives access to adjoining land in same ownership	12	Allotment 38 Parish of Waitangi, Part C.T. 42B/249
1	Farm Gate - also gives access to adjoining land in same ownership	13	Allotment 37 Parish of Waitangi, Part C.T. 42B/250
Nil	No existing entrance to State Highway - practical access over adjoining land in same occupation	-	Allotment 36 Parish of Waitangi C.T. 33A/1467

* As shown on Plan No LA 10/1467 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 3 of 21 sheets

State Highway No. 10 ; LEFT HAND SIDE (WLST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - access point allocated	14	Lot 9 D.P. 59516 C.T. 14D/744 <i>62A/9P3</i>
1	Vehicle Access	15	Lot 12 C.T. 14D/747 D.P. 59516 ✓
1	Vehicle Access	16	Lot 8 D.P. 59516 C.T. 14D/744 ✓
1	Vehicle Access	17	Lot 7, D.P. 59516 C.T. 14D/743 ✓
1	Vehicle Access	18	Lot 6 D.P. 59516 C.T. 14D/615 ✓
1	Vehicle Access - also gives practical access to Crown Land	19	Lot 5 D.P. 59516 C.T. 14D/742 - subject to Right-of-Way appurtenant to Crown Land adjoining

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 4 of 21 sheets

State Highway No. 10 : LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH DUNEDIN LAND REGISTRATION DIST.
NO.	Description	MWD Ref.*	
Nil	No legal frontage to State Highway - practical access available by legal Right-of-Way over adjoining land	19	Crown Land Gazette 1959 p. 948 - subject to Right-of-Way over adjoining land
1	Vehicle Access	20	Lot 4 D.P. 59516 C.T. 14D/741 ✓
1	Vehicle Access	21	Lot 3 D.P. 59516 C.T. 14D/740 ✓
2	Farm Gate Vehicle Access	22 23	Lot 2 D.P. 59516 C.T. 14D/739 ✓
1	Farm Gate - also gives practical access to Part Section 18	24	Lot 1 D.P. 59516 C.T. 14D/738 - subject to Right-of-Way appurtenant to Part Section 18 ✓
Nil	No legal frontage to State Highway - practical access available by legal Right-of-Way over adjoining land	24	Part Section 18 Block I Kawakawa Survey District C.T. 1D/453 - subject to Right-of-Way over adjoining land ✓

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 5 of 21 sheets

State Highway No. 10; LEFT HAND SIDE (WEST)....			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access	25	Lot 1 D.P. 41114 C.T. 1315/51
2	Vehicle Access Vehicle Access	26 27	Part Lot 2 D.P. 30209 C.T. 1335/18
3	Vehicle Access Vehicle Access Vehicle Access	28 29 30	Lot 1 D.P. 30209 C.T. 742/244
1	Vehicle Access	31	Lot 2 D.P. 27345 C.T. 695/188
1	Vehicle Access	32	Lot 1 D.P. 27345 C.T. 792/117
Nil	No existing entrance to State Highway - access point allocated	33	Lot 3 D.P. 27836 C.T. 885/286
1	Vehicle Access	34	Lot 2, D.P. 81160 Lot 2 D.P. 27836 C.T. 37D/427
1	Commercial - Restaurant	35	Lot 3 D.P. 81160 C.T. 37D/428
1	Vehicle Access	36	Lot 2 D.P. 52942 C.T. 7B/1152

* As shown on Plan No LA 11/2471 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 5 of 21 sheets

State Highway No. 10.; LEFT HAND SIDE (WEST)			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access	37	Lot 1 D.P. 52942 C.T. 4D/9
1	Vehicle Access	38	Lot 2 D.P. 26697 C.T. 692/324
1	Vehicle Access - also gives access to other properties	39	Lot 3 D.P. 26697 C.T. 827/294 - subject to Right-of-Way appurtenant to Lot 2 D.P. 32350
Nil	No legal frontage to State Highway - practical access available by legal Right-of-Way over adjoining land	39	Lot 2 D.P. 32350 C.T. 829/34 - subject to Right-of-Way over Lot 3 D.P. 26697
1	Vehicle Access - also gives access to other properties	39	Lot 4 D.P. 26697 C.T. 699/14
1	Vehicle Access	40	Lot 1 D.P. 26697 C.T. 685/41
1	Vehicle Access	41	Part Lot 1 D.P. 25753 C.T. 1163/4
Nil	No existing entrance to State Highway - access point allocated	42	Lot 6 D.P. 25253 C.T. 670/31

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 7 of 21 sheets

State Highway No. <u>10</u> ; <u>LEFT HAND SIDE (WEST)</u>			
From: <u>WATANGI RIVER</u>			
To: <u>WAIKAPA</u>			
GAZETTE INFORMATION			
Access Details at: <u>28.2.78</u>			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - access point allocated	43	Lot 5 D.P. 25253 C.T. 670/30
Nil	No existing entrance to State Highway - access point allocated	44	Lot 4 D.P. 25253 Part C.T. 1574/18
Nil	No existing entrance to State Highway - access point allocated	45	Lot 3 D.P. 25253 Part C.T. 1574/18
Nil	No existing entrance to State Highway - access point allocated	46	Lot 2 D.P. 25253 Part C.T. 1574/18
Nil	No existing entrance directly to State Highway - legal access to Wiroa Road is practical	-	Part Lot 1 D.P. 25253 Part C.T. 1574/18
	WIROA ROAD - Formed		
Nil	No existing entrance to State Highway - legal access to Wiroa Road is practical	-	Part Lot 1 D.P. 22308 C.T. 681/112

As shown on Plan No. LA 17/5471 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 8 of 21 sheets

State Highway No. 10; ...LEFT HAND SIDE (WEST)...			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH
No.	Description	MWD Ref. #	AUCKLAND LAND REGISTRATION DIST.
Nil	No existing entrance to State Highway - legal access to Wiroa Road is practical	-	Lot 8 D.P. 66606 C.T. 24C/1383
Nil	No existing entrance to State Highway - practical access available over legal Right-of-Way on adjoining land	48	Lot 7 D.P. 66606 C.T. 24C/1382 - subject to Right-of-Way over Part Lot 6 D.P. 66606
1	Vehicle Access	48	Lot 6 D.P. 66606 C.T. 24C/1381 - subject to Right-of-Way appurtenant to Lots 5 & 7 D.P. 66606
Nil	No existing entrance to State Highway - practical access available over legal Right-of-Way on adjoining land	48	Lot 5 D.P. 66606 C.T. 24C/1380 - subject to Right-of-Way over Part Lot 6 D.P. 66606
	POPLAR LANE - Formed		

As shown on Plan No. LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 9 of 21 sheets

State Highway No. 10 LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
2	Vehicle Access Vehicle Access	50 51	Lot 1 D.P. 55010 C.T. 14D/1067
1	Vehicle Access - also access available by legal Right-of-Way over adjoining land	52 55	Lot 2 D.P. 28660 C.T. 731/81 - subject to Right-of-Way over Part Lot 1 D.P. 28660
3	Vehicle Access Vehicle Access Farm Gate - also gives access to adjoining land over legal right-of-way	53 54 55	Lot 1 D.P. 28660 C.T. 732/6 - subject to Right-of-Way appurtenant to Lot 1 D.P. 28660
2	Farm Gate Vehicle Access	56 57	Lot 4 D.P. 27362 C.T. 695/102
1	Vehicle Access	58	Lot 3 D.P. 27362Part C.T. 40A/492
1	Vehicle Access	59	Lot 2 D.P. 40415 C.T. 1321/20
1	No existing entrance to State Highway - access point allocated	60	Lot 1 D.P. 43452 C.T. 26C/1173

* As shown on Plan No LA 11/547 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 10 of 21 sheets

State Highway No. 10; LEFT HAND SIDE (WEST)			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access	61	Part Lot 1 D.P. 40415 C.T. 26C/1172 ✓
1	Vehicle Access	62	Lot 1 D.P. 27362 C.T. 695/360 ✓
2	Vehicle Access Vehicle Access	63 64	Lot 2 D.P. 21956 Part C.T. 644/54 ✓
Nil	No existing entrance to State Highway - legal access to Waimate North Road is practical	-	Lot 1 D.P. 21956 Part C.T. 644/54 ✓
	WAIMATE NORTH ROAD -	Formed	
2	Vehicle Access Vehicle Access	65 66	Part Lot 1 D.P. 25964 Part C.T. 677/57 ✓
	PUKETOTARA STREAM - Part	Reverbed To Be Taken for Road	S.O. 35591
	PUBLIC ROAD - Not Formed		
1	Vehicle Access	67	Lot 5 D.P. 81288 C.T. 37D/839 ✓

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 11 of 21 sheets

State Highway No. 10 : LEFT HAND SIDE (WEST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
4	Farm Gate Farm Gate Farm Gate Farm Gate	68 69 70 71	Part Lot 1 D.P. 29895 and Lot 2 D.P. 32003 (Water Easement) C.T. 16D/40 (Balance)
	PUKETOTARA ROAD -- Formed		
2	Vehicle Access Vehicle Access	72 73	Part Lots 5 and 6 D.P. 6704 and Part Lot 1 D.P. 32003 (Drainage Easement) C.T. 1022/33
	KERIKERI RIVER - Part For Road - S.O. 35591		riverbed To Be Taken
2	Vehicle Access Vehicle Access	74 75	Lot 6 D.P. 69740 C.T. 25C/986
1	Farm Gate	76	Lot 5 C.T. 25C/985 D.P. 69740
1	Vehicle Access	77	Lot 4 D.P. 69740 C.T. 25C/984

* As shown on Plan No LA 11/24/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 12 of 21 sheets

State Highway No. 10 ; LEFT HAND SIDE (WEST).....			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
Nil	No existing entrance to State Highway - access point allocated	78	Lot 3 D.P. 69740 C.T. 25C/983
2	Vehicle Access Farm Gate	79 80	Lot 2 D.P. 69740 C.T. 25C/982
3	Farm Gate Vehicle Access Vehicle Access	81 82 83	Lot 1 D.P. 69740 C.T. 25C/981
2	Farm Gate Farm Gate	84 85	Pt Lot 1 D.P. 24011 C.T. 1130/123
2	Vehicle Access Vehicle Access	86 87	Part Lot 1 D.P. 41379 C.T. 1130/122
	WHIRIWHIRITOA STREAM		
Nil	No existing entrance to State Highway - access point allocated	88	Section 14 Block X Kerikeri Survey Dis- trict C.T. 1925/21
1	Vehicle Access	89	Part Subdivision 2 Old Land Claim No. 60 C.T. 500/207 Ltd

* As shown on Plan No LA 11/24/78 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 13 of 21 sheets

State Highway No. <u>10</u> ; <u>LEFT HAND SIDE (WEST)</u>			
From: <u>WAITANGI RIVER</u>			
To: <u>WAIPAPA</u>			
GAZETTE INFORMATION			
Access Details at: <u>28.2.78</u>			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
1	LIMITED ACCESS ROAD ENDS RS. 17 R.P.3.51		
2	PUBLIC ROAD - Formed		

* As shown on Plan NO LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 14. of 21. sheets

State Highway No 10... RIGHT HAND SIDE (EAST)...			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 14.3.78			LAND IN NORTH AUCKLAND... LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
	START OF LIMITED ACCESS ROAD R.S. 0 R.P. 8.45 (CENTRELINE OF BRIDGE)		
	WAITANGI RIVER		
1	Farm Gate	90	Crown Land - Reserved from Sale Section 58, Land Act 1948
2	Vehicle Access Farm Gate	91 92	Allotment 32 Parish of Waitangi C.T. 13C/264
Nil	No existing entrance to State Highway - legal access to Bayley Road is practical	-	Part Lot 1 D.P. 9299 C.T. 1901/67
	BAYLEY ROAD (WAIKARAMU ROAD)	Formed	
4	Vehicle Access Taranaki Gate Taranaki Gate Vehicle Access - also gives access to Pt 4 D.P. 17402	93 94 96 97	Part Lot 1 D.P. 48452 Part C.T. 38A/1321
Nil	No existing entrance to State Highway - access point allocated	95	Allotment 39 Parish of Waitangi Gazette 1976 P. 1513

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 15 of 21 sheets

State Highway No. 10. RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 14.3.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
2	No independent entrance to State Highway - C.P. 97A allocated. Practical access in use via Access Point No. 97 over adjoining land at present.	97A	Part Lot 4 D.P. 17402 C.T. 394/51
Nil	No legal frontage to State Highway - practical access available over adjoining land in same ownership	-	Pukewhau Block C.T. 2D/178

* As shown on Plan No LA 11/24/1 deposited in the office of at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 16 of 21 sheets

State Highway No. 10 ; RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28 2 78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Vehicle Access	98	Lot 1 D.P. 73031 C.T. 28D/794
2	Vehicle Access Farm Gate	99 100	Lot 1 D.P. 69642 C.T. 25C/632
1	Vehicle Access	101	Lot 1 D.P. 67195 C.T. 26C/255
2	Farm Gate Vehicle Access	102 103	Part Lot 3 D.P. 66059 C.T. 22A/574
1	Vehicle Access	104	Part Old Land Claim No. 3 D.P. 25254 C.T. 31A/1067
1	Vehicle Access	105	Lot 2 D.P. 66059 C.T. 22A/573
1	Vehicle Access	106	Lot 1 D.P. 69643 C.T. 25C/633
1	Vehicle Access	107	Lot 1 D.P. 64008 C.T. 31A/1368

* As shown on Plan No LA 11/34/1... deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 17 of 21 sheets

State Highway No. 10...; RIGHT HAND SIDE (EAST)...			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28 2 72			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
2	Vehicle Access Vehicle Access	108 109	Lot 1 D.P. 79091 C.T. 36A/147 ✓
2	Vehicle Access Vehicle Access Farm Gate	110 111	Part Lot 1 D.P. 22710 C.T. 35D/1078 ✓
	KERIKERI ROAD - Formed		
Nil	No existing entrance to State Highway - legal access to Kerikeri Road is practical	-	Part Lot 2 D.P. 26953 C.T. 686/159 ✓
1	Vehicle Access	113	Lot 1 D.P. 26953 C.T. 686/158 ✓
1	Vehicle Access	114	Lot 1 D.P. 40317 C.T. 1081/201 ✓
2	Farm Gate Vehicle Access	115 116	Part Lot 6 D.P. 21070 C.T. 1085/282 ✓
2	Vehicle Access Vehicle Access	117 118	Lot 2 D.P. 44403 C.T. 1650/20 ✓
2	Vehicle Access Vehicle Access	119 120	Lot 1 D.P. 44403 C.T. 1632/56 ✓

* As shown on Plan No LA 11/34/1... deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 42 of 21 sheets

State Highway No. 10; ... RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
1	Vehicle Access	121	Part Lot 2 D.P. 21070 and Lot 1 D.P. 21841 C.T. 662/251
Nil	No existing entrance to State Highway - access point allocated	122	Lot 3 D.P. 63500 C.T. 20B/1167
1	Vehicle Access	123	Lot 2 D.P. 63500 C.T. 19D/703
	BLUE GUM LANE - Formed		
1	Farm Gate	124	Lot 12 D.P. 21956 C.T. 648/244
1	Vehicle Access	125	Lot 4 D.P. 46029 Part C.T. 1812/38
1	Vehicle Access	126	Lot 2 D.P. 60963 C.T. 16A/1162
1	Taranaki Gate	127	Lot 1 D.P. 60963 C.T. 16A/1161
	PUBLIC ROAD - Partly Formed		
	PUKETOTARA STREAM - Part Riverbed To Be Taken For Road S.O. 35291		

* As shown on Plan No LA 11/34/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 19 of 21 sheets

State Highway No. 10... RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
No.	Description	MWD Ref. #	
1	Farm Gate	128	Part Lot 1 D.P. 29895 C.T. 15D/999
	PUBLIC ROAD - Not Formed		
2	Taranaki Gate Vehicle Access	129 130	Lot 2 D.P. 84170 C.T. 40B/1162
2	Vehicle Access Taranaki Gate	131 133	Lot 1 D.P. 84170 C.T. 40B/1161
1	Vehicle Access	132	Lot 1 D.P. 48929 C.T. 1994/84
1	Vehicle Access	134	Part Lot 2 D.P. 63499, Par C.T. 33B/690
Nil	No existing entrance to State Highway - access point allocated	135	Part Lot 1 D.P. 63499, Part C.T. 33B/688

* As shown on Plan No LA 11/35/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

sheet 20 of 21 sheets

State Highway No. 10 ; RIGHT HAND SIDE (EAST)			
From: WAITANGI RIVER			
To: WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH AUCKLAND LAND REGISTRATION DIST.
NO.	Description	MWD Ref. #	
2	Vehicle Access Vehicle Access	136 137	Part Lot 2 D.P. 41113Part C.T. 33B/689
Nil	No existing entrance to State Highway -- access point allocated	138	Part Section 13 Block X Kerikeri Survey District and Part Lot 6 D.P. 6704 C.T. 1126/159
2	Vehicle Access Vehicle Access	139 140	Part Lot 6 D.P. 6704 C.T. 31C/ 1308
	PUBLIC ROAD - Not Formed		
Nil	No existing entrance to State Highway - access to public road (not formed)	-	Part Lot 6 D.P. 6704 C.T. 31C/697
	KERIKERI RIVER - Part Taken for Road		Riverbed To Be S.O. 35591
	PUBLIC ROAD - Partly Formed		
2	Farm Gate Farm Gate	141 142	Part Lot 3 D.R.O. 139 C.T. 500/201 Ltd

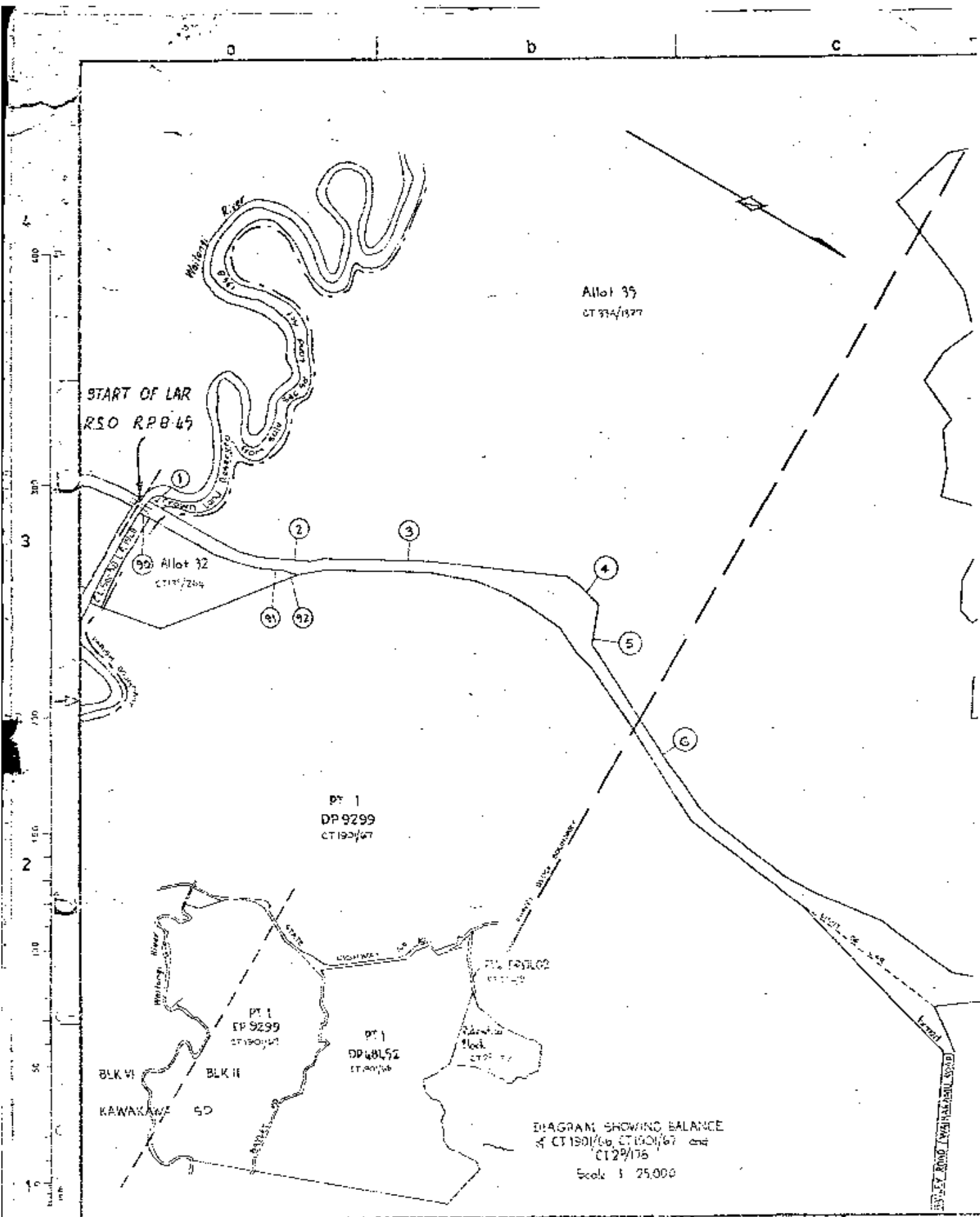
* As shown on Plan No LA 11/54/1 deposited in the office of
at Wellington.

SCHEDULE FOR LIMITED ACCESS ROAD DECLARATION

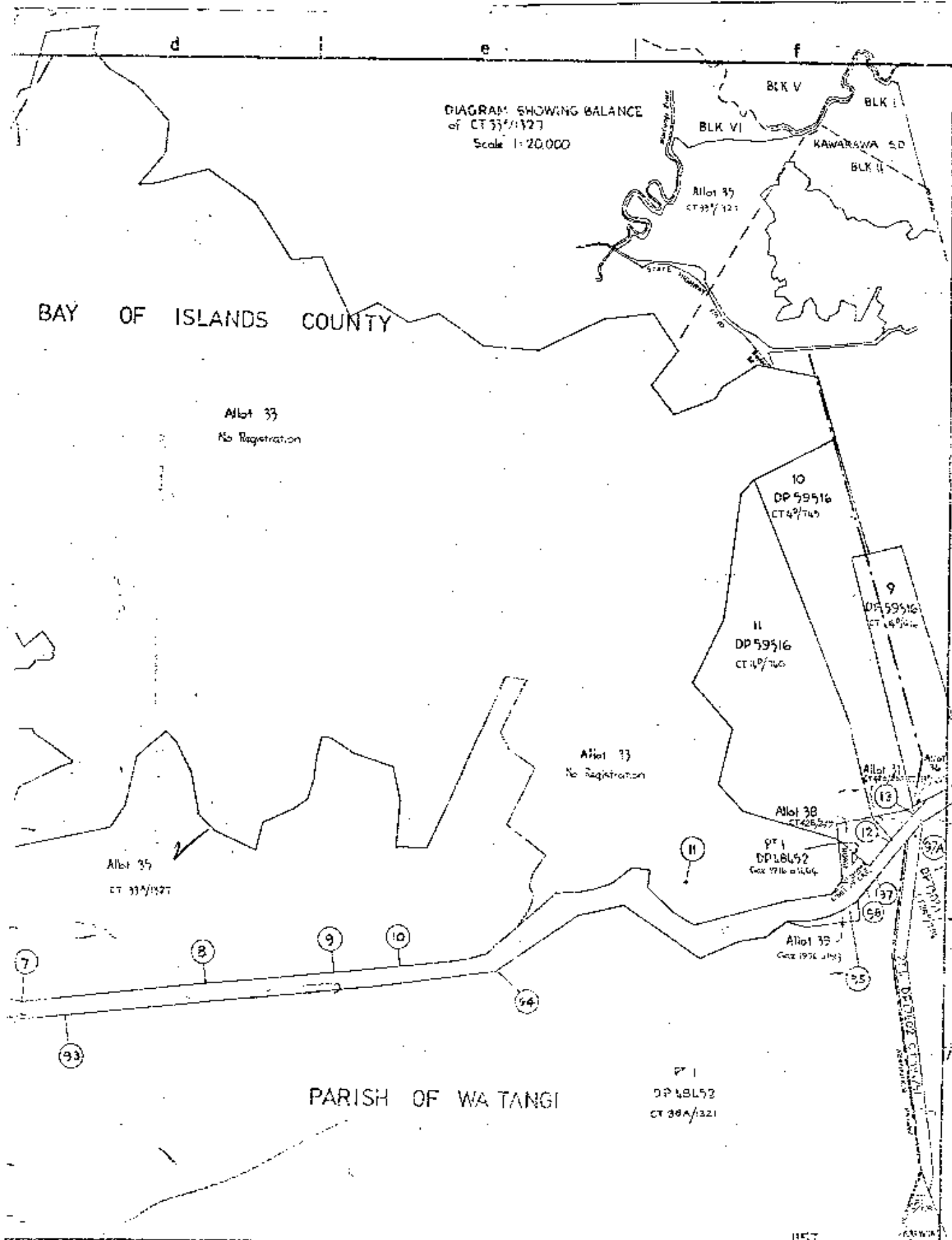
sheet 21 of 21 sheets

State Highway No. 10...; ...RIGHT HAND SIDE... (EAST)...			
From; WAITANGI RIVER			
To; WAIPAPA			
GAZETTE INFORMATION			
Access Details at: 28.2.78			LAND IN NORTH...
No.	Description	MWD Ref #	AUCKLAND LAND REGISTRATION DIST.
5	Farm Gate	143	Part Lot 2
	Vehicle Access	144	D.R.O. 139
	Vehicle Access	145	C.T. 500/204
	Vehicle Access	146	Ltd
	Vehicle Access	147	
	WHIRIWHIRITOA STREAM		
1	Vehicle Access	148	Part Old Land Claim No. 60 D.P. 22844 C.T. 615/145
1	Vehicle Access	149	Lot 2 D.P. 72637 C.T. 28C/985
	LIMITED ACCESS ROAD ENDS		
	RS. 17 R.P. 3. 51		
	WAIPAPA ROAD - Formed		

As shown on Plan No LA... 11/54/1... deposited in the office of
at Wellington.

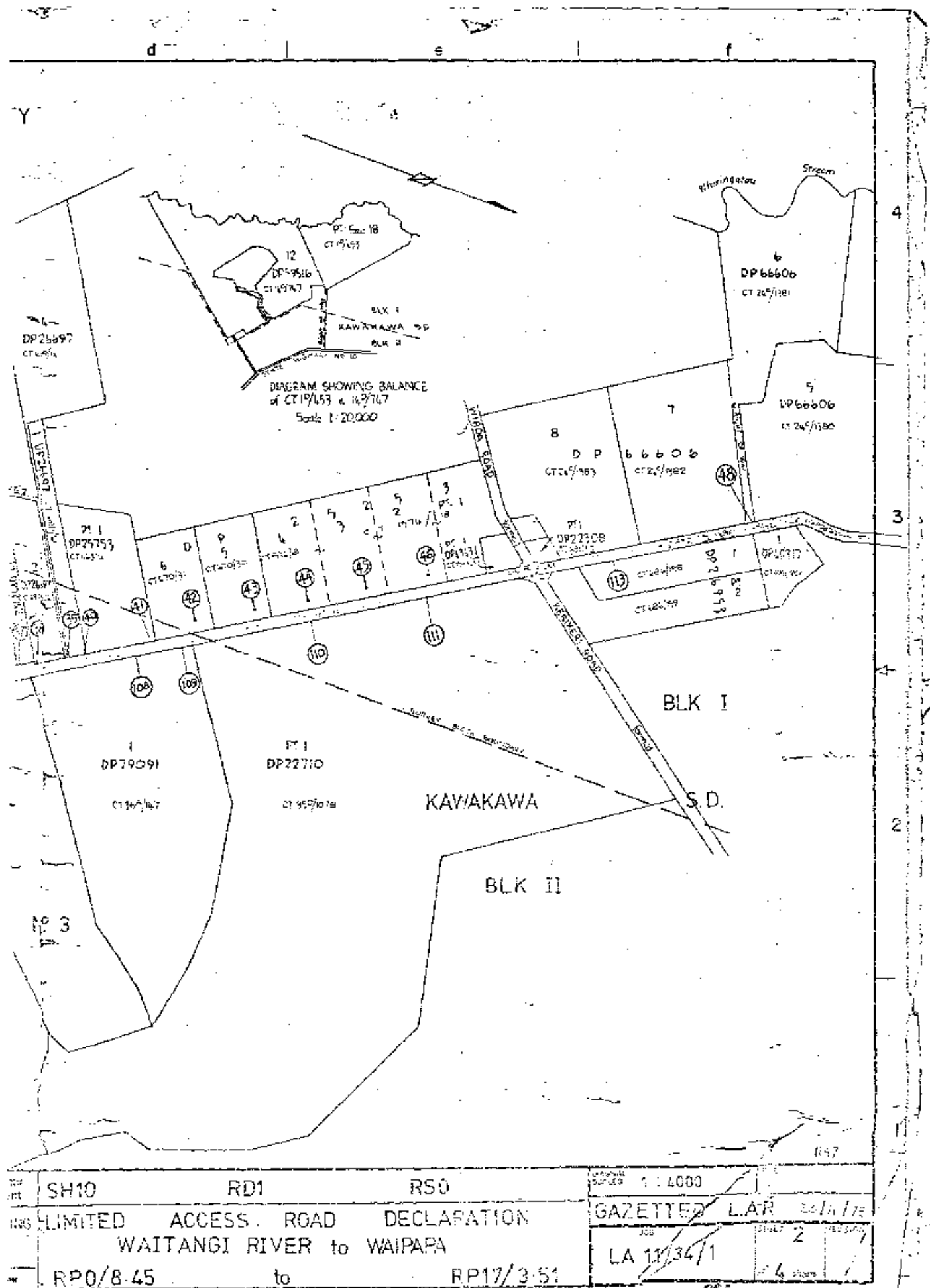


BY		CHECKED	DATE	PLANS PREPARED BY	Ministry of Works and Development CIVIL ENGINEERING AUCKLAND N.C. McLEOD, CHIEF
[Signature] [Signature]				HARRISON & ASSOCIATES ENGINEERS, ARCHITECTS, CONSULTING ENGINEERS APPROVED [Signature] 20/10/75	
AMENDMENTS		BY	APPROVED	DATE	



SH10	RD1	RS 0	1:4,000	FILE
LIMITED ACCESS ROAD DECLARATION			GAZETTED L.A.R.	
WAITANGI RIVER to WAIPAPA			33/1327	
RP0/8-45 to RP17/3-51			LA 11/34/1	
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Whole copies & drawings of expressions & of the original documents



Dec.: 01-09-2017
Dec.: 01-09-2017

Pr Soc 12
CT 10/45

12
DP 59516
21 14⁰/127


PARISH OF
WAITANGI

PART ~~OLD~~ LAND ~~CLAN~~

P# 01.C.3
DP 25254
ET 3: 1067

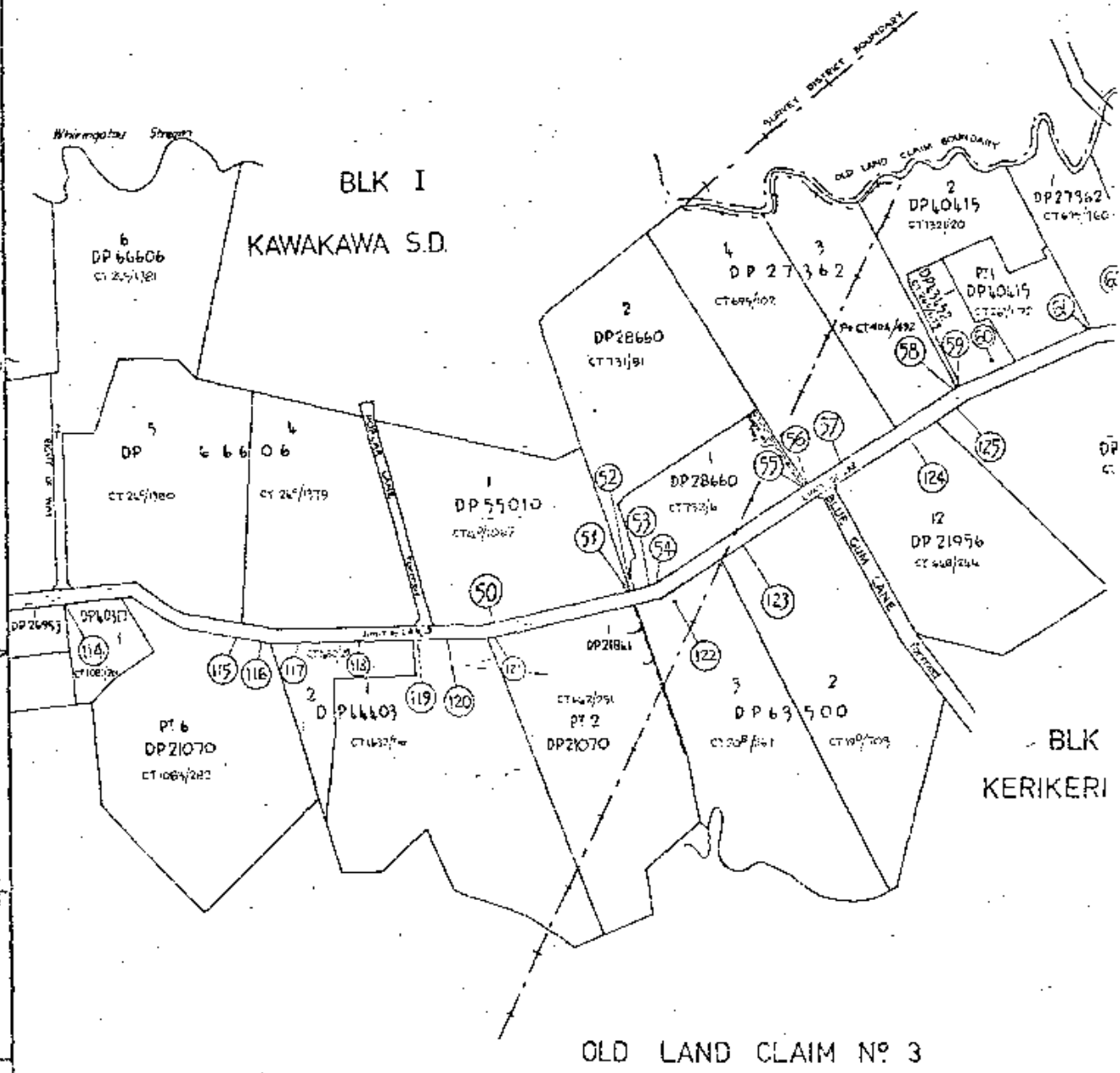
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වි. කේ. ඩි.සේ.)

DIETARY SUPPLEMENT
07207791 & 07207792
Date: 1-22-2000

				BY	CHECKED BY	DATE	PLAN REVIEWED BY HIGHWAY & TRANSPORT DEPARTMENT INSPECTOR GENERAL (CIVIL ENGINEERING)	 Ministry of Works and Development
				DRAWING NO. <u>10/100</u> <i>W. E. R. - R. J. R.</i>	<i>W. E. R. - R. J. R.</i>	<u>15.10.78</u>		
AMENDMENTS				BY	DATE	COMMENTS		

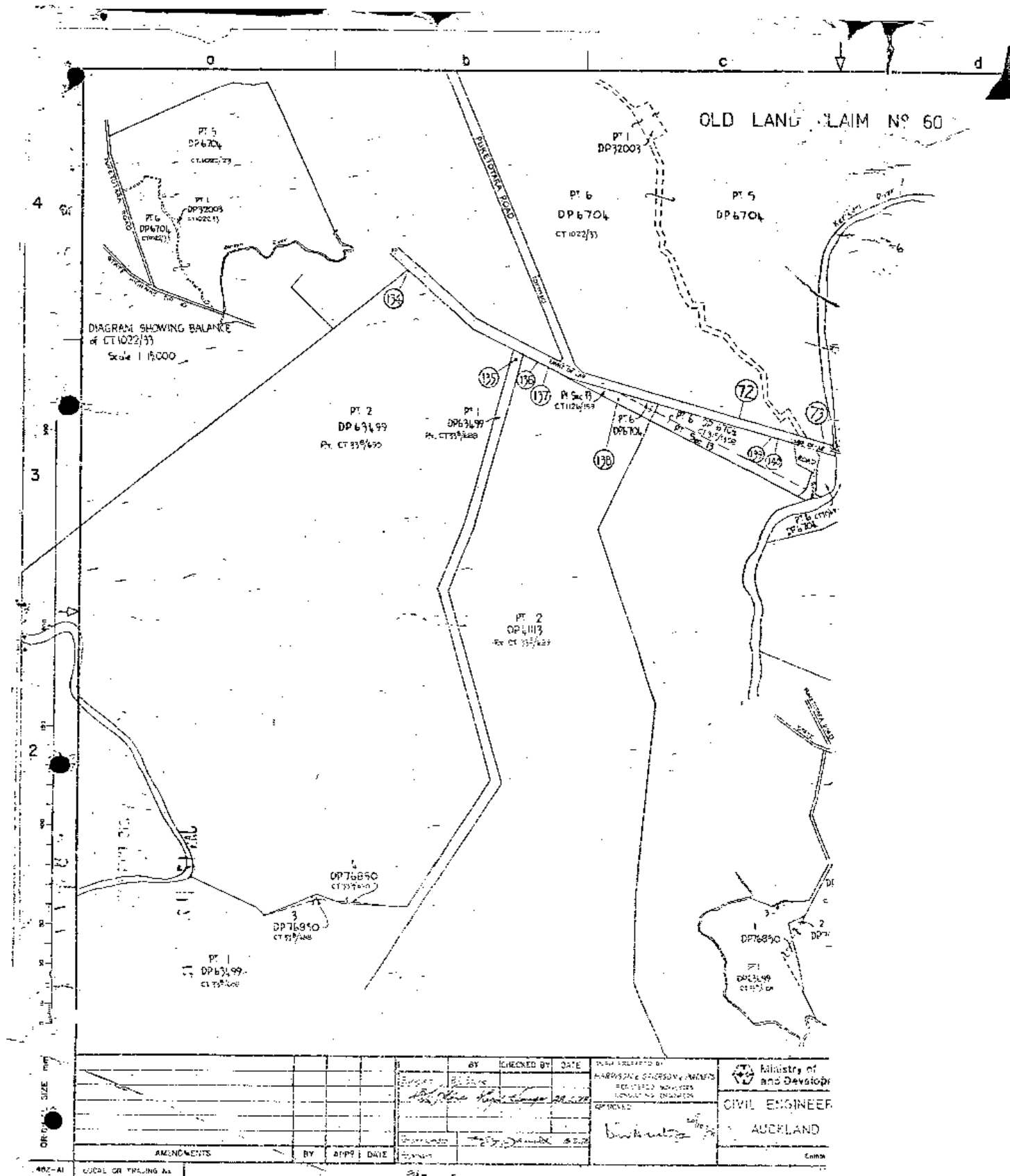
P# 482-21	LEGAL OP TRADING NO
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BAY OF ISLANDS COUNTY



OLD LAND CLAIM NO 3

AMENDMENTS				BY	APPRO	DATE	DRAWN BY CHECKED BY DATE		PREPARED BY HARRISON & SPERSON PARTNERS REGISTERED SURVEYORS CIVIL ENGINEERS AUCKLAND	Ministry of and Development CIVIL ENGINEER AUCKLAND
							APPROVED [Signature]			



25C/981 319/1067 370/428
 25C/982 319/1368 370/839
 25C/983 334/1467 389/1321
 25C/984 335/688 409/492
 25C/985 338/689 408/1161
 25C/986 338/690 408/1162
 26C/255 31C/697 42B/249
 26C/1172 31C/1308 42B/250
 26C/1173 350/1078 339/1327
 28C/985 369/147
 280/794 370/427

SCHEMATIC

229/268	681/112	792/117	1574/18	140/614	169/1161
394/251	685/41	827/294	1632/56	140/615	169/1162
500/201	686/159	829/34	1650/20	140/738	160/40
500/204	686/158	885/286	1812/38	140/739	190/703
500/207	692/324	1081/201	1901/67	140/740	208/1167
615/145	695/102	1085/282	1925/21	140/741	229/573
622/251	695/180	1022/33	1994/84	140/742	229/574
644/54	695/360	1126/159	10/435	140/743	24C/1380
648/244	699/14	1130/122	20/178	140/744	24C/1381
677/57	731/81	1163/4	40/9	140/747	24C/1382
670/30	732/6	1315/51	78/1152	140/1067	25C/63
670/31	742/244	1321/20	13C/264	150/999	25C/63
		1335/18			25C/63

SE

DOCTINELLE TWO

25920
1248207

NOTICE DECLARING STATE HIGHWAY
LIMITED ACCESS ROAD

IN THE MATTER of the Public Works Act 1928
and its Amendment Act 1963 AND NZ Gazette
Notice 1978 No. 102 page 3210



14/3/1978

2893
1734
1735
2097

570901	+
DIS:	
14/3/1978	

Approved by the District Land Registrar, South Auckland No. 351560
Approved by the District Land Registrar, North Auckland, No. 4380/81
Approved by the Registrar-General of Land, Wellington, No. 436748.1/81

EASEMENT CERTIFICATE

(IMPORTANT: Registration of this certificate does not of itself create any of the easements specified herein).

I/We JOHN MARK HEWITT of Kerikeri, Farmer

EC D336166.5 Easeme

Cpy - 01/01, Pgs - 006.27/09/06, 10:02



DocID: 312132804

being the registered proprietor(s) of the land described in the Schedule hereto hereby certify that the easements specified in that Schedule, the servient tenements in relation to which are shown on a plan of survey deposited in the Land Registry Office at Auckland
on the day of 1998 under No. 190535
are the easements which it is intended shall be created by the operation of section 90A of the Land Transfer Act 1952.

SCHEDULE DEPOSITED PLAN NO. 190535

Nature of Easement (e.g., Right of Way, etc.)	Servient Tenement		Dominant Tenement Lot No.(s) or other Legal Description	Title Reference
	Lot No.(s) or other Legal Description	Colour, or Other Means of Identification, of Part Subject to Easement		
Right of Way Electricity Telecommunications and Water Supply	LOT 1 hereon	B, C and D	LOT 2 hereon	120B/961 120B/962

State whether any rights or powers set out here are in addition to or in substitution for those set out in the Seventh Schedule to the Land Transfer Act 1952.

1. Rights and powers: See attached

RIGHTS AND POWERS

That in respect of the Telecommunications and Electricity Easements referred to in the Schedule hereto, the rights and powers applicable thereto are:

- (a) The full free uninterrupted and unrestricted right liberty and privilege for the occupier and registered proprietor for the time being of the dominant tenement from time to time and at all times to take convey and lead electrical current or any other mode of transmitting telecommunications in a free and unimpeded flow (except where the flow is halted for any reasonable period necessary for essential repairs) for the purposes of telecommunications under or across the land over which the Easement is created and to erect, lay and maintain poles and cables for such purpose.
 - (b) The full free uninterrupted and unrestricted right liberty and privilege for the occupier and registered proprietor for the time being of the dominant tenement from time to time and at all times to take convey and lead electricity in a free and unimpeded flow (except where the flow is halted for any reasonable period necessary for essential repairs) under or across the land over which the Easement is created and to erect, lay and maintain poles and cables for such purpose.
-

A handwritten signature in black ink, appearing to be 'J. Smith' or similar, located in the bottom right corner of the page.

TERMS CONDITIONS COVENANTS OR RESTRICTIONS IN RESPECT OF ABOVE EASEMENTS:

That in respect of the Electricity and Telecommunications Easements (hereinafter called "the Easements") referred to in the Schedule hereto the terms conditions covenants or restrictions applicable thereto are as follows:-

- (a) All cables placed within or such poles and cable erected upon the servient tenements shall be maintained and as required repaired to a good and serviceable condition by the registered proprietors for the time being of the dominant tenements.
- (b) All the costs and expenses of and incidental to the repairing and maintaining of the Easements herein specified shall be borne by the registered proprietor for the time being of the dominant tenements.
- (c) Any person wishing to carry out any work whatsoever on the Easements herein specified shall first give to the registered proprietor of the servient tenement thereof notice of such intention and of the nature and expense of the said work prior to any such work being commenced.
- (d) Any person carrying out any work whatsoever on the Easements herein specified shall take all reasonable and proper action and care to interfere as little as possible with the comfort and convenience of the occupier or occupiers for the time being of the dominant and servient tenements and shall carry out such work or cause the same to be carried out with the utmost expedition and in a prudent manner and in particular shall during the course of such work:
 - (i) Shore up or cause to be shored up in a proper safe and workmanlike manner any part of the dominant or servient tenement affected thereby.
 - (ii) Take all reasonable and proper steps to preserve the said tenements and all parts thereof and all property and goods thereon from damage.
- (e) Subject to the other terms and conditions covenants and restrictions contained in these presents any person carrying out any work as aforesaid shall have the right to enter and to bring machinery and workmen on to any part of the dominant or servient tenement as shall be necessary for the purposes of carrying out maintenance on the Easements referred to herein and shall have the right to remove all soil roading paving metalling fencing and all other things as shall be reasonably necessary to give unimpeded access to the said Easement PROVIDED HOWEVER that such soil roading paving metalling and fencing which is so removed shall be restored as nearly as possible to its original condition and that any other damage done by reason of the said maintenance is repaired and that as little disturbance as possible is caused to the surface of the land and to the enjoyment of the said tenements by the registered proprietors or occupiers.
- (f) Where the maintenance work which is required to be carried out in terms of these presents involves the total or partial replacement of any cables this work shall be deemed to be maintenance work which may be carried out in accordance with these presents.

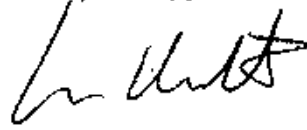


2. Terms, conditions, covenants, or restrictions in respect of any of the above easements:

See attached

Dated this 3rd day of November, 19 98

Signed by the above-named
JOHN MARK HEWITT



in the presence of

Witness



Occupation RICHARD ADRIAN AYTON
SOLICITOR
KERIKERI
Address

EASEMENT CERTIFICATE

(IMPORTANT): Registration of this certificate does not of itself create any of the easements specified herein.

Correct for the purposes of the
Land Transfer Act

Solicitor for the registered proprietor

1.06 02 DEC 98 D 336166
PARTICULARS ENTERED IN REGISTER
LAND REGISTRY NORTH AUCKLAND
ASST LAND REGISTRAR
1228/96-2

LINZ COPY

5 DEC 20 38

LAW NORTH PARTNERS
SOLICITORS
KERIKERI

15 August 2025

Morrie James Dwight
1213 State Highway 10
RD 3
Kerikeri 0293

Dear Sir / Madam,

Building consent number: EBC-2026-99/0
Property ID: 3339719
Address: 1213B State Highway 10, Kerikeri 0470
Description: Foundations for Relocatable Dwelling, Connecting to Existing OSD

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **Rural Production** under the Operative District Plan and Resource Consent is required for breach of the following:

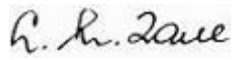
Rule:	8.6.5.1.1 RESIDENTIAL INTENSITY Residential development shall be limited to one unit per 12ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 3,000m ² for its exclusive use surrounding the unit plus a minimum of 11.7ha elsewhere on the property.
Reason:	This is the 2nd residential unit on this 9988m ² site, and each residential unit is unable to have at least 3,000m ² for its exclusive use surrounding the unit plus a minimum of 11.7ha elsewhere on the property.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully

A handwritten signature in black ink, appearing to read 'L. Tane'.

Leeanne Tane
PIM Officer
Delivery and Operations

Emailed to: katie.versteeg@vedunz.com; bevanmaedwight@gmail.com

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM

Section 37, Building Act 2004

Building Consent Number: EBC-2026-99/0

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**

The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

• **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman
Manager - Building Services –
Delivery and Operations
Far North District Council (Building Consent Authority)
15 August 2025

Position:

On behalf of:

Date:

House Relocation Report



House to be relocated:

Homes 2 Go

Advancedesign Architecture**Advanced Architectural solutions for life**

Ph/Fax: (09) 4389709

Postal Address: PO Box 3284, Onerahi 0142

Email: info@advancedesign.co.nz

23 June 2022

Subject: House for relocation

The following is a brief description of materials and their status following a visual, non-invasive inspection of the building. Currently located at original build site in central Whangarei. Home was occupied at time of inspection.

Early 1960's weatherboard house with corrugate zincalume roof. This is a tradesman built house, in a reasonably well maintained condition.

**Bearers:** 90 x 90mm RS pine.**Joists:** 150 x 50mm RS Pine @ 450 crs**Subfloor:** Overall, sturdy, generally appears to be well built, dry and intact.**Underfloor insulation:** Expol type 75mm thick present under building. Appears to have been professionally fitted around obstacles.

Structure is in good condition, very minor repairs to subfloor at perimeter will be required:

Floor in chimney area to be made good and joists will need to be replaced with H1 equivalents.

Rear and front entry porch surrounding members will need to be checked for integrity after concrete steps are demolished



Subfloor: 90x90 bearers on 100x100 piles, diagonally braced with a brick masonry subfloor cladding



Floor: Diagonal bracing. Tongue and groove flooring was checked in several locations and appears to be in quite good condition, suitable for polishing.



Roof: Temporary patching will be required over chimney location. Roof appears to be original and has been painted several times. Majority of fasteners in place.



Roof: Standard profile corrugate appears to be relatively original and still in reasonable order. We note that following re-siting careful attention will need to be made to ensuring that joints and ridging are well seated, re-sealed with a flexible sealant and fastened with type 4 fixings.



Ceiling: Close couple roof framing with no underlay. Two layers visible ceiling batts, with heat transfer/ventilation ducting noted. Electrician will need to check existant wiring.



Ceiling: Rafters, collar ties ridgeboards and purlins all appear to be dry and in good order. No underlay noted. Vertical struts fitted below underpurlins down to wall supports. Will need to be flitch jointed or bearerplated upon re-siting if transport cut.

Majority of weatherboards appear to be in good order with corner soakers.



Exterior: Absolutely classic kiwi bevelback 105mm cover timber weatherboard home. Note wide planted facings and good drip edge width to sills.



Exterior cladding: Timber 140mm bevelback weatherboards in good condition generally. Predictably some bottom boards may need replacement. Joint flashings and corner scribes well fitted. Recommend full exterior re paint following siting & repairs.



Exterior cladding: Fitted to close tolerances, paint in functional order and looks to have been regularly maintained.



Exterior cladding: Facings well fitted with scribes, joinery has external sills.



Joinery: Solid timber with externally scribed facings, single glazed with timber jambs. No visible rot, but interior jambs need minor maintenance, sanding, priming and repainting. Exterior trims, casements and sills have been overpainted quite thickly from the outside, after re-siting careful refurbishment would yield excellent results with any “sticky” windows.



Soffits and gutters: 600mm wide well painted FCB soffits in mostly good condition
UPVC guttering mid service life, needs minor re-aligning in some locations.



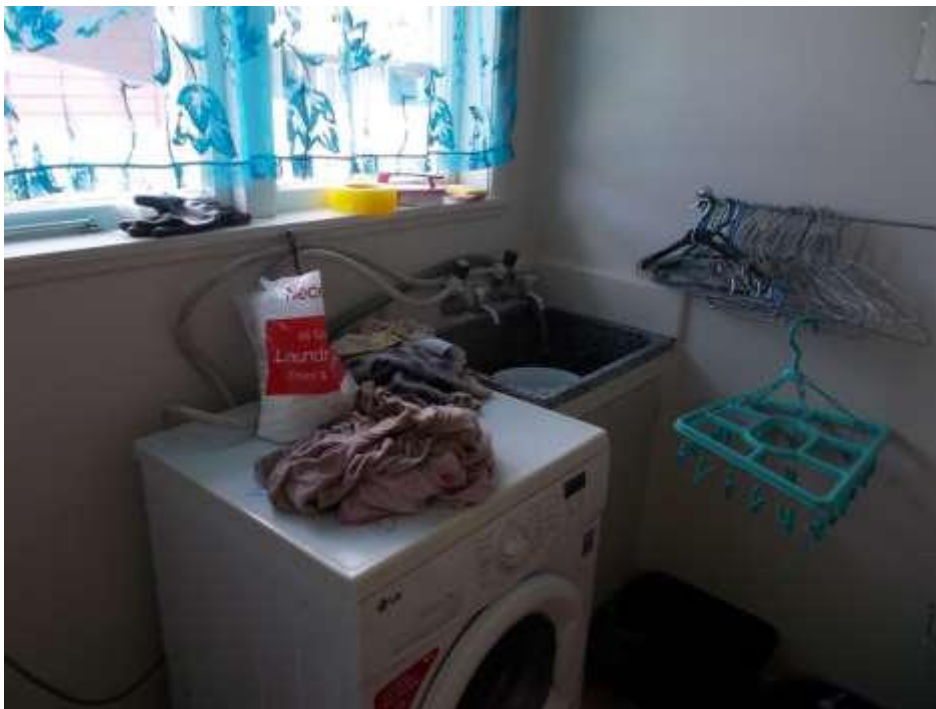
Interior, Bathroom: Space has small extract fan. Older type cabinets and fittings. Overall the main bathroom could be refurbished. Fittings are mostly dated but all appear to be functional.



Main shower: Over bath, older Dux type mixer, seals appear to be in good order.



WC. Surface sider entry, vinyl floor, Ceramic bowl, Good condition, older dux cistern..



Laundry. Vinyl floor, Older style built in Stainless tub with dual taps, Good condition, storage closet as well.



Hall storage: Good sized, Gib ceiling, fixtures appear ok.



Hall storage: 3 sets of built in cupboards (1 ex HWC)
Ceiling access hatch above..



Bdr 1: Clean, 12mm pinex tile ceiling, fixtures appear ok.



Bdr1 Wardrobes: Built in good condition with window for ventilation.



Bdr 2: off passage to lounge, small wardrobe..



Interior linings: 10mm Gib, mostly in good condition, 12mm Pinex ceiling tiles. Hollow core interior doors, most hardware and handles in good condition



Bdr 3 Sunroom: Entry off lounge. Classic curtain pelmets to joinery, no wardrobe, good venting to exterior.



Bdr3: DVS Venting system to all bedrooms, standard scotia finished to ceiling junction



Heat Pumps: Panasonic CU series inverters (2)



Hot water: Rinnai infinity A26 series on demand caliphont. This unit appears to be quite new.



Kitchen: Smallish but functional. Dishwasher space, Standard oven, kitchen cabinets, inset SS sink and laminex bench tops in good condition.



Kitchen Cabinets: Solid timber cabinetry all appears to be in good order.



Lounge: Good sized lounge with bay aspect and side windows.



Lounge: Inbuilt fire and chimney space. We note that around 2m² of floor will need to be reinstated where the hearth is.

General Summary:

The building is a typical domestic dwelling of its era. It appears to have been well built and is very solid. Subfloor has been well put together and the house appears to be sufficiently structurally sound and suitable for transportation and re-siting. The flooring is tongue and groove and could be easily sanded and exposed. The carpets are tidy and in reasonable condition and may clean up well. Notes made in report about various element repairs required. We recommend house and roof have a full exterior repaint post relocation to help guarantee cladding is sealed.

The majority of soffits appear to have been replaced and painted. Care should be taken with any remaining old soffit as it may contain asbestos. This is sealed and inert while sitting but if removed or sanded will release dust. We recommend appropriate removal and replacement if possible, this is not a requirement as it is currently sealed and painted..

Limitations:

This report has been solely prepared for the benefit of the building purchaser and Homes 2 Go. This is a visual report of building elements that can be readily inspected only and does not imply status, condition or assessment of any enclosed elements or components. This also does not endorse the suitability of any electrical wiring or plumbing components and we state that these systems will need to be inspected, installed and re-instated by licensed trade professionals.

Yours Sincerely



Lee Wilkinson LBP 116851
Managing Director

Advancedesign Architecture

Advanced Architectural solutions for life

Ph: (09) 4389 709

Office: Parua Bay, Whangarei 0174,

Postal Address: P.O.Box 3284, Onerahi 0142

Email: info@advancedesign.co.nz



FPS.CO.NZ
FUTURE-PROOF BUILDING

Donaldson's Surveyors Limited

90 Kerikeri Road - PO Box 211
Kerikeri 0245 - Northland - New Zealand

P 09 407 9182
F 09 407 7366
E info@donaldsons.net.nz
W www.donaldsons.net.nz



CERTIFICATION OF BUILDING SETOUT

Issued by: R J Donaldson
Licensed Cadastral Surveyor

Job Ref: 8478

To: Bevan Dwight
At: Lot 2 DP 202589, 1213B State Highway 10, Kerikeri
(Site Address)

Donaldsons Surveyors Ltd has been engaged by Bevan Dwight.

to provide the service of setting out a building on Lot 2 DP 202589.

The building was set out as per the attached site plan.

The site visit was carried out on 23rd May 2024, and we issue this certification in the knowledge that it will be relied upon by Far North District Council for the purpose of building consent inspection works.

A handwritten signature in blue ink, appearing to read "Bob Donaldson", written over a dotted line.

Bob Donaldson
(Surveyor)

Licensed Cadastral Surveyor No 500687
(Professional Qualification)

Dated : 23rd May 2024

CSNZ & NZIS
(Member)

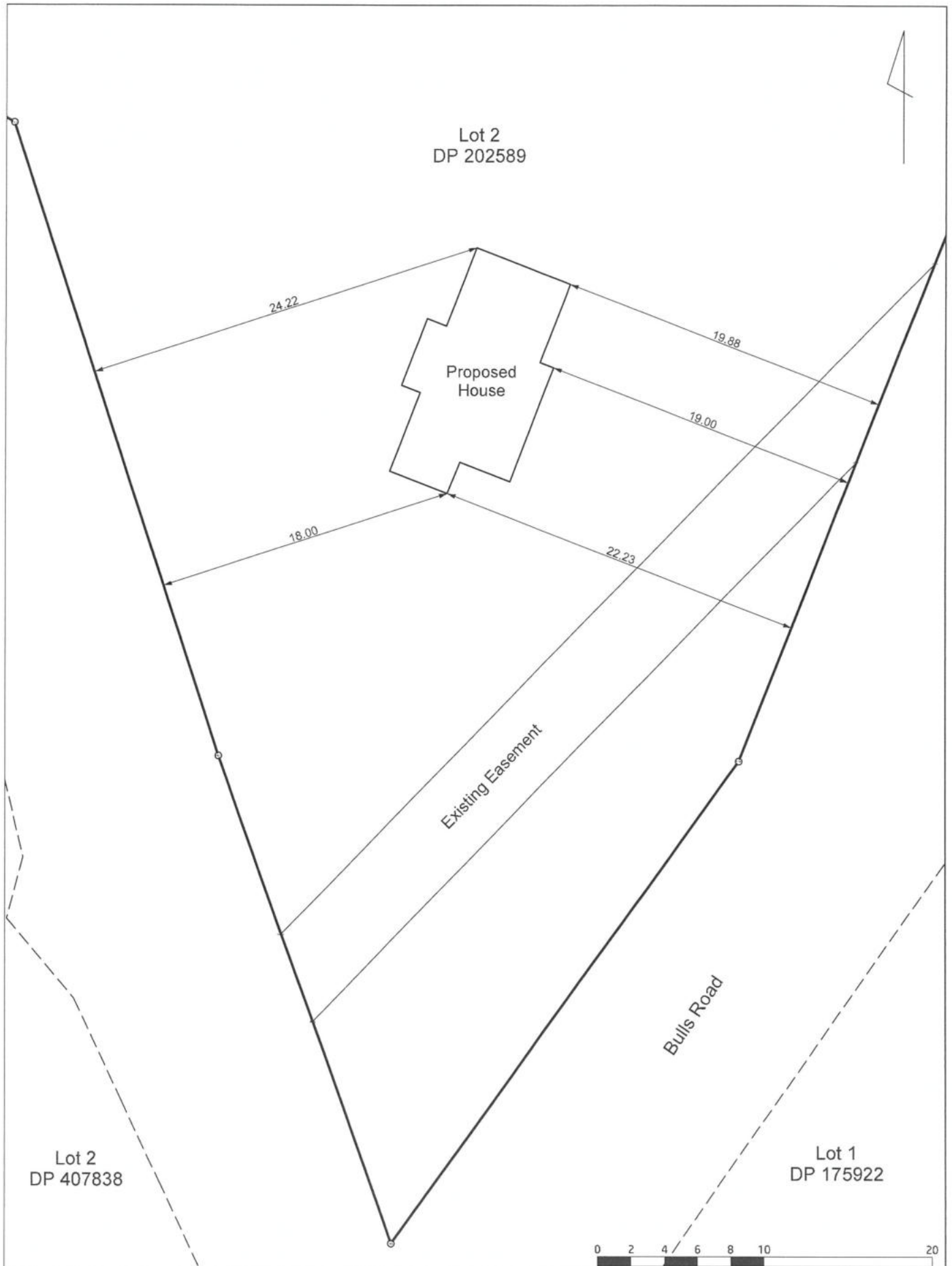
On behalf of: Donaldson's Surveyors Ltd

Address: 90 Kerikeri Road, Kerikeri



CSNZ THE CONSULTING
SURVEYORS
OF NEW ZEALAND
A DIVISION OF THE NEW ZEALAND INSTITUTE OF SURVEYORS

NZIS Registered Professional Surveyor.
Member of the Consulting Surveyors of New Zealand.



Geotechnical Investigation Report
Proposed Dwelling
1213B Bulls Road, Kerikeri
For
Bevan Dwight

Haigh Workman reference 25 055

April 2025



Revision History

Revision N ^o	Issued By	Description	Date
A	Philippe Szyncel	First Issue	April 2025

Prepared By



Philippe Szyncel

Senior Geotechnical Engineer

MEngNZ

Reviewed By



Wayne Thorburn

Senior Geotechnical Engineer

CPEng, CMEngNZ

TABLE OF CONTENTS

Revision History	i
Executive Summary	3
1 Introduction	4
1.1 Project Brief and Scope	4
1.2 Proposed Development	4
1.3 Site Description	4
2 Desktop Study	5
2.1 Published Geology	5
3 Ground Investigations	6
3.1 Geomorphology	6
3.2 Existing Geodata	7
3.3 Subsurface Investigations	7
3.4 Ground Conditions	7
4 Geotechnical Assessment	9
4.1 Existing Cut Batter	9
5 Foundation Recommendations	9
5.1 General	9
5.2 Shrink Swell Soil Characteristics	9
5.3 Seismic Site Subsoil Category	9
5.4 Piled Foundations	9
6 Construction	10
6.1 Earthworks	10
6.2 Stormwater Disposal	10
6.3 Geotechnical Review	10
6.4 Construction Observations	10

7	Limitations	11
	Appendix A – Drawings.....	12
	Appendix B – Site Investigation Data	13
	Appendix C – PS4 Advisory Note	14

TABLES

Table 1: Summary of Borehole Results	8
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FIGURES

Figure 1: Site Location	5
Figure 2 – GNS New Zealand Geology Web Map Extract (1:250,000)	6

Executive Summary

Haigh Workman Ltd (Haigh Workman) has been commissioned by Bevan Dwight (the Client) to undertake a geotechnical investigation for the proposed dwelling at 1213B Bulls Road, Kerikeri. We understand that the proposed structure will comprise a single storey relocatable building with a suspended timber floor supported on concrete encased timber pole foundations.

Investigations consisted of a site walkover and six hand auger boreholes to assess ground conditions. Buried topsoil was encountered at a depth of 0.5 m below ground level at BH06 and is outside of the proposed building platform area. All other test locations encountered natural Waipapa Group soil. The natural ground conditions were generally consistent between all test locations, comprising very stiff fine grained Waipapa Group soils. Groundwater was not recorded during the fieldwork period.

The cut batter above the location of the development is approximately 45 degrees which can lead to issues of frittering and sloughing. Due to the proximity of the footprint of the dwelling (0.7 m away at its closest) we recommend the batter to be re-worked to ensure its suitability. We recommend a maximum gradient of 21 degrees (1V:2.5H) or terraced to achieve the same overall angle.

Foundation conditions fall outside the definition of 'good ground' as contained in NZS3604:2011 due to the presence of expansive soils at the site. However, foundations can be designed in accordance with NZS3604:2011, provided the embedment depth for all piles is at least 1.0 m into stiff natural to mitigate the effects of shrink-swell behaviour. An ultimate bearing capacity of 300 kPa can be adopted for limit state design and a seismic subsoil Class C (Shallow site soils) in accordance with NZS1170.5.

We consider the following specific items will need to be addressed prior to and at the time of construction to ensure the foundation soils are consistent with the assumptions made in this geotechnical report:

1. Geotechnical drawing review to ensure foundation design is in accordance with the recommendations in this report.
2. Observe foundation excavations for dwelling and other consented structures prior to foundations being poured.

1 Introduction

1.1 Project Brief and Scope

Haigh Workman Ltd (Haigh Workman) have been commissioned by Bevan Dwight (the Client) to undertake a geotechnical investigation for the proposed dwelling at 1213B Bulls Road, Kerikeri. This report presents the information gathered during the site investigation, interpretation of data obtained and site-specific geotechnical recommendations relevant to the site.

The scope of this report encompasses the geotechnical suitability in the context of the proposed development as defined in the Short Form Agreement dated 6 March 2025. This appraisal has been designed to assess the subsoil conditions for foundation design and identify geotechnical constraints for the proposed development.

This report provides the following:

- A summary of the published geology with reference to the geotechnical investigations undertaken;
- Analysis of the data obtained from site investigations, providing a geotechnical ground model;
- Foundation recommendations;
- Identification of any additional geotechnical risks and/or hazards.

1.2 Proposed Development

Concept plans by Relocate It were provided at the time of investigation and the proposed development consisting of a relocatable dwelling supported on piled foundations. The building has been temporarily placed onsite at its preferred location. Should the location of the development be amended, further testing will be required to confirm ground conditions and the recommendations provided in this report. Refer to Appendix A for site plan drawings.

1.3 Site Description

The property is legally described as Lot 2 DP 202589, and comprises an irregular shaped lot with area of approximately 9,988 m². The site includes multiple sheds and gravel accessway and parking area already formed. The proposed building platform has been prepared consisting of cutting and filling. The cut batter is approximately 45 degrees (1V:1H) steep and the fill batter is approximately 29 degrees (1V:1.8H). The crest of the fill is located approximately 14.5 m from the leading-edge of the house and therefore located well away to not require any further consideration. The natural ground slope above the excavation for the proposed dwelling is approximately 12 degrees.



Figure 1: Site Location

2 Desktop Study

2.1 Published Geology

The published GNS geology map* indicates geology for the area as Waipapa Group and described as *'massive to thin bedded, lithic volcanoclastic metasandstone and argillite, with tectonically enclosed basalt, chert and siliceous argillite'* as shown in Figure 2.

* Institute of Geological & Nuclear Sciences, Map 3, 1:250,000 Scale, 2001: 'Auckland'.

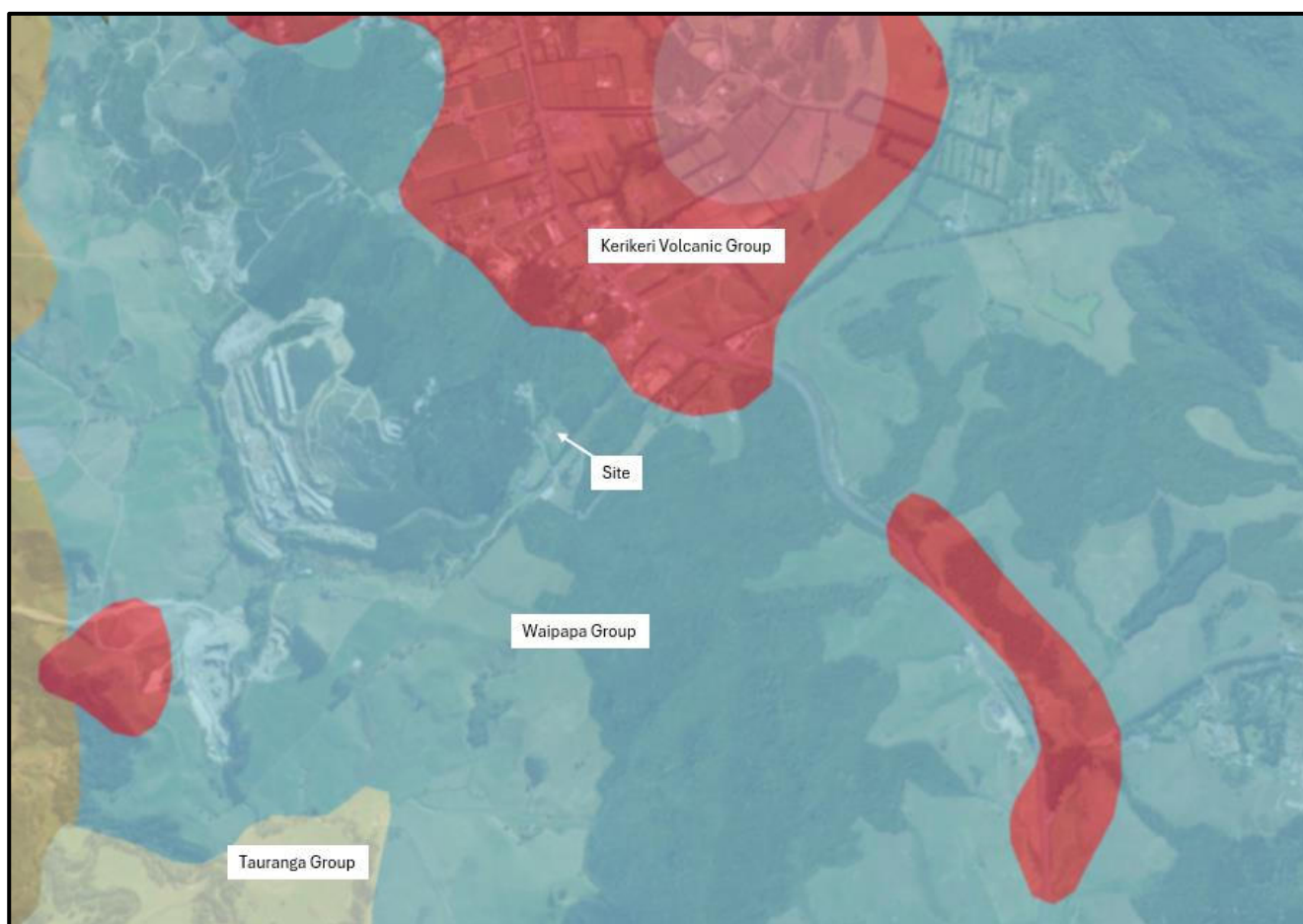


Figure 2 – GNS New Zealand Geology Web Map Extract (1:250,000)

The natural soils from the ground surface and below the fill encountered throughout the investigation were consistent with the prescribed geology.

Further reference to the published New Zealand Land Inventory maps (Whangaroa – Kaikohe), indicates the site is underlain by 'interbedded sandstone and mudstone (greywacke and argillite): blue-grey quartz feldspar greywacke sandstone, thinly to thickly interbedded with dark grey argillite mudstone, with minor chert, quartzite and volcanic (spilite) beds, closely fractured and quartz veined, and locally very siliceous; hard to very hard. Weathered to soft, brown, sandy clay with harder cores to depths of 30 m.

3 Ground Investigations

3.1 Geomorphology

A review of the LINZ digital elevation model (2018-2020) was undertaken in QGIS where no geomorphological features were observed at the location of the proposed development and the immediate surrounding area. Larger gully features were identified on the adjacent lots, but have no impact on this development.

3.2 Existing Geodata

No geotechnical data relevant to the site and surroundings is available upon review of the NZGD geotechnical database.

3.3 Subsurface Investigations

Haigh Workman visited the property and undertook geotechnical investigations on 14/03/2025. The investigations comprised a site walkover and the drilling of six hand auger boreholes (BH01 to BH06) to depths of up to 2.1 metres below ground level (mbgl) located around the general area of the proposed development and BH06 dedicated for wastewater design purposes. The boreholes terminated shallow due to the encounter of hard Waipapa Group soils leading to a difficulty in augering where selective boreholes were extended through Scala Penetrometer testing to a maximum depth of 2.1 mbgl. Scala Penetrometer tests were undertaken at the base of the auger holes and terminated shallow on inferred completely weathered Waipapa Group Material.

Hand held vane shear strength tests were undertaken at regular intervals during the advancement of the hand augers. Investigations were logged in accordance with The New Zealand Geotechnical Society, "Guidelines for the Field Classification and Description of Soil and Rock for Engineering Purposes" (2005). Investigation locations are shown on the drawings in Appendix A and investigation hand auger logs are included in Appendix B.

3.4 Ground Conditions

Based on the results of the geotechnical investigation conducted by Haigh Workman and review of published geological maps, it is considered that the subsoils comprise fine grained residual Waipapa Group soils. Fill was encountered within BH06, located outside of the building platform area.

For the purposes of this report, subsoil conditions on the site have been interpolated between the boreholes and some variation between borehole positions are likely. Table 1 summarises the materials encountered, with depth to base of each unit provided. A ground model is provided in Appendix A depicting the soil conditions.

Table 1: Summary of Borehole Results

Borehole Number	Fill	Waipapa Group	Soil Moisture Groundwater Observations
BH01	NE	>1.0 m	Dry to moist. No groundwater encountered.
BH02	NE	>2.1 m	
BH03	NE	>0.7 m	
BH04	NE	>0.3 m	
BH05	NE	>0.2 m	
BH06	0.5 m	1.0 m	

**Depths are metres below ground level (mbgl). NE = Not Encountered.*

3.4.1 **Non-certified Fill**

Fill material was solely encountered within BH06 to a depth of 0.5 mbgl dedicated for wastewater design and located well away from the proposed dwelling. The fill consisted of low plastic constituents of clay and silt. Buried topsoil was observed underlaying the fill.

3.4.2 **Waipapa Group**

The natural ground conditions were generally consistent between all test locations, comprising fine grained Waipapa Group soils. The soils comprised of very stiff clay and silt with vane shear strengths exceeding 100 kPa. Recorded vane shear strength tests are shown on the appended borehole logs.

3.4.3 **Groundwater**

Groundwater was not encountered during our site investigations. No evidence of groundwater seepage or static groundwater level was observed during the drilling of the hand auger boreholes. Soil moisture observations were recorded with soils noted as being dry to moist.

Groundwater levels can and do fluctuate and higher groundwater levels may be encountered following periods of prolonged or heavy rainfall.

4 Geotechnical Assessment

4.1 Existing Cut Batter

The cut batter above the location of the development is approximately 45 degrees which can lead to issues of frittering and sloughing. Due to the proximity of the footprint of the dwelling (0.7 m away at its closest) we recommend the batter to be re-worked to ensure its suitability where we recommend a maximum gradient of 21 degrees (1V:2.5H) or terraced to achieve the same overall angle.

5 Foundation Recommendations

5.1 General

Concept plans were provided and it is understood the development to consist of a relocatable dwelling with a suspended timber floor supported on piles.

5.2 Shrink Swell Soil Characteristics

In lieu of site-specific laboratory test data, the natural soils of the Waipapa Group are considered as being reactive under seasonal variations of water content. Based on experience and testing of similar soil types, we recommend the site to be classified as highly reactive (Class H) in accordance with B1/AS1. Deeper foundations will be required to mitigate any effects from seasonal shrinking and swelling of the soils.

5.3 Seismic Site Subsoil Category

The site conditions have been assessed to be consistent with seismic subsoil Class C (Shallow site soils) in accordance with NZS1170.5.

5.4 Piled Foundations

Foundation conditions fall outside the definition of 'good ground' as contained in NZS3604:2011 due to the presence of expansive soils at the site. However, foundations can be designed in accordance with NZS3604:2011, provided the embedment depth for all piles is at least 1.0 m into stiff natural to mitigate the effects of shrink-swell behaviour. An ultimate bearing capacity of 300 kPa can be adopted for limit state design.

A geotechnical drawing review will be required to confirm the foundation recommendations have been followed. Foundations conditions will be subject to site verification and approval by Chartered Professional Engineer (geotechnical) during construction.

The foundations may be designed as follows:

- Minimum embedment depth of 1.0 m (into stiff natural soils) for all piles;
- An ultimate bearing capacity of 300 kPa;
- Geotechnical strength reduction factor – 0.5;
- Soil expansivity class – Site Class H (highly reactive soils);

- Seismic class – Site Class C (shallow soil site).

Bearing capacity values included in this report are for vertical loads only and do not take into account horizontal shear or moment.

6 Construction

6.1 Earthworks

Minor earthworks are expected as the building platform is already formed. Due to the steepness of the cut batter and its proximity to the proposed dwelling, we recommend the batter to be re-worked to achieve a maximum gradient of (1V:2.5H)

6.2 Stormwater Disposal

All stormwater is to be diverted away from the proposed building platform and any steep slopes to avoid over saturation of the subsoils and to maintain stability across the site. All stormwater overflow drainages should be channelled away from the development platform and discharged in a controlled and dispersive manner, in accordance with the Building Code Clause E1.

6.3 Geotechnical Review

We recommend that the consent drawings are submitted for review to either ourselves, or another professional geotechnical engineer who is familiar with the contents of this report, once they are ready for submission to Council for approval. We recommend this review is carried out in order to check the compatibility of the design with the recommendations given within this report.

6.4 Construction Observations

Specific engineering inspections of retaining walls, building platform preparation and/or foundation construction with certification by a Producer Statement, PS4, are often required by Council and outlined in the Building Consent. These observations are generally required to ensure that the foundation soils exposed at the time of construction are consistent with the assumptions made in this geotechnical report.

We consider the following specific items will need to be addressed prior to and at the time of construction to ensure the foundation soils are consistent with the assumptions made in this geotechnical report:

1. Geotechnical drawing review to ensure foundation design is in accordance with the recommendations in this report.
2. Observe foundation excavations for dwelling and other consented structures prior to foundations being poured.

Provision should be allowed for modifying the foundation solution at this time should unforeseen ground conditions be encountered.

7 *Limitations*

This report has been prepared for the use of Bevan Dwight with respect to the particular brief outlined to us. This report is to be used by our Client and their Consultants and may be relied upon when considering geotechnical advice. Furthermore, this report may be utilised in the preparation of building and/or resource consent applications with local authorities. The information and opinions contained within this report shall not be used in other context for any other purpose without prior review and agreement by Haigh Workman Ltd.

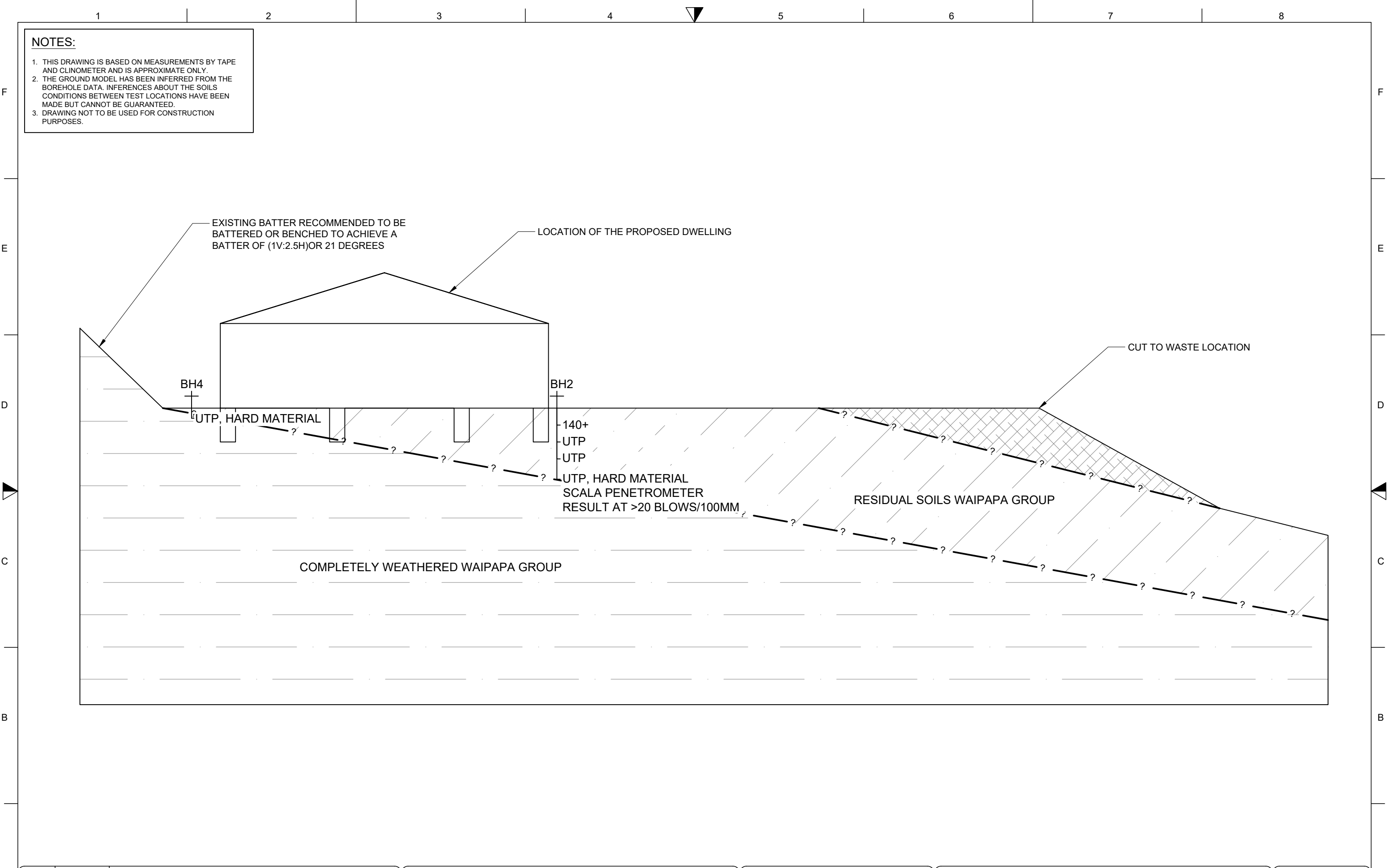
The recommendations given in this report are based on site data from discrete locations. Inferences about the subsoil conditions away from the test locations have been made but cannot be guaranteed. We have inferred an appropriate geotechnical model that can be applied for our analyses. However, variations in ground conditions from those described in this report could exist across the site. Should conditions encountered differ to those outlined in this report we ask that we be given the opportunity to review the continued applicability of our recommendations.

Appendix A – Drawings

Drawing No.	Title
G01	Site Investigation Plan
G02	Cross-Section A-A'



			DWG <div>SITE INVESTIGATION PLAN</div> <div>Scale 1:500 @A3</div> <div>Date MARCH 2025</div> <div>Drawn PS</div> <div>Checked WT</div> <div>Approved WT</div> <div>File</div> <div>T:\CLIENTS\BEVAN DWIGHT\25 055 1213B BULLS ROAD, KERIKERI\ENGINEERING\DRAWINGS\25 055 DWGS.DWG</div>						Project GEOTECHNICAL INVESTIGATION 1213B Bulls Road, Kerikeri			DWG No. G01		
Issue						Date								
A						02/04/2025			FIRST ISSUE					
									Client					
									BEVAN DWIGHT					
									Project No.					
									25 055					
									RC no.					
									N/A					
									Sheet No.					
									1 of 2					



Issue		Date		Revision		DWG GEOLOGICAL CROSS SECTION A-A'				Project GEOTECHNICAL INVESTIGATION				DWG No.	
A		25/03/2025		FIRST ISSUE						1213B Bulls Road, Kerikeri				G02	
										Client BEVAN DWIGHT				Sheet No.	
						Scale 1:100 @A3				Date MARCH 2025				2 of 2	
						Drawn PS		Checked WT		Approved WT		Project No. 25 055 RC no. N/A			
						File				DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING, SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THERE OF REMAIN THE PROPERTY OF HAIGH WORKMAN LTD. ©2020					

Appendix B – Site Investigation Data

Hand auger borehole log

PO Box 89, 0245
6 Fairway Drive
Kerikeri, 0230
New Zealand



Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

Borehole Log - BH01

Hole Location: Refer to Site Plan

JOB No. 25 055

CLIENT: Bevan Dwight
Date Started: 14/03/2025
Date Completed: 14/03/2025

SITE: 1213B Bulls Road, Kerikeri
DRILLING METHOD: Hand Auger
HOLE DIAMETER (mm): 50mm

LOGGED BY: PS
CHECKED BY: WT

Soil Description Based on NZGS Logging Guidelines 2005	Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)
0.0m: silty CLAY, light brown with occasional orange streaks, medium plastic moist [Waipapa Group]	0.0	Waipapa Group		Groundwater Not Encountered			0 5 10 15 20
0.4m: clayey SILT, light brown and light grey with orangemottles, low plastic, moist, presence of silt clasts [Waipapa Group]	0.5					231	
End of bore - 1.0 m (hard material encountered)	1.0					231	
	1.5						
	2.0						
	2.5						
	3.0						
	3.5						
	4.0						
	4.5						

LEGEND



Note: UTP = Unable to penetrate. T.S. = Topsoil.

Hand Held Shear Vane S/N: 440

Scala penetrometer testing undertaken to a depth of 1.8 m bgl

Corrected shear vane reading
Remoulded shear vane reading
Scala Penetrometer

PO Box 89, 0245
6 Fairway Drive
Kerikeri, 0230
New Zealand



Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

Borehole Log - BH02

Hole Location: Refer to Site Plan

JOB No. 25 055

CLIENT: Bevan Dwight
Date Started: 14/03/2025
Date Completed: 14/03/2025

SITE: 1213B Bulls Road, Kerikeri
DRILLING METHOD: Hand Auger
HOLE DIAMETER (mm): 50mm

LOGGED BY: PS
CHECKED BY: WT

Soil Description Based on NZGS Logging Guidelines 2005	Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)
0.0m: silty CLAY, light brown, medium plastic, moist [Waipapa Group]	0.0						0 5 10 15 20
0.4m: clayey SILT, light brown with light grey streaks and occasional red mottles low plastic, moist [Waipapa Group]	0.5					231	
	1.0					231	
	1.5					231	
	2.0					231	
End of bore - 2.1 m (hard material encountered)	2.5						
	3.0						
	3.5						
	4.0						
	4.5						



LEGEND



TOPSOIL



CLAY



SILT



SAND



GRAVEL



FILL

Corrected shear vane reading
Remoulded shear vane reading
Scala Penetrometer

Note: UTP = Unable to penetrate. T.S. = Topsoil.

Hand Held Shear Vane S/N: 440







Scala penetrometer testing undertaken to a depth of 2.1 m (>20blows/100mm)

Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

JOB No. 25 055

LOGGED BY: PS
CHECKED BY: WT

LEGEND

	TOPSOIL		CLAY		SILT		SAND		GRAVEL		FILL
---	----------------	---	-------------	---	-------------	---	-------------	---	---------------	---	-------------

Note: UTP = Unable to penetrate. T.S. = Topsoil.
 Hand Held Shear Vane S/N: 440
 Scala penetrometer testing undertaken to a depth of 2.1 m bgl

Corrected shear vane reading

Remoulded shear vane reading

Scala Penetrometer

PO Box 89, 0245
6 Fairway Drive
Kerikeri, 0230
New Zealand



Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

Borehole Log - BH04

Hole Location: Refer to Site Plan

JOB No. 25 055

CLIENT: Bevan Dwight
Date Started: 14/03/2025
Date Completed: 14/03/2025

SITE: 1213B Bulls Road, Kerikeri
DRILLING METHOD: Hand Auger
HOLE DIAMETER (mm): 50mm

LOGGED BY: PS
CHECKED BY: WT

Soil Description Based on NZGS Logging Guidelines 2005	Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)
0.0m: clayey SILT, light grey, low plastic, dry [Waipapa Group]	0.0	Waipapa Group		Groundwater Not Encountered		<div><div></div></div> 231	<div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></d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LEGEND



TOPSOIL



CLAY



SILT



SAND



GRAVEL



FILL

Corrected shear vane reading
Remoulded shear vane reading
Scala Penetrometer

Note: UTP = Unable to penetrate. T.S. = Topsoil.
Hand Held Shear Vane S/N: 440
Scala penetrometer testing not undertaken.

PO Box 89, 0245
6 Fairway Drive
Kerikeri, 0230
New Zealand



Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

Borehole Log - BH05

Hole Location: Refer to Site Plan

JOB No. 25 055

CLIENT: Bevan Dwight
Date Started: 14/03/2025
Date Completed: 14/03/2025

SITE: 1213B Bulls Road, Kerikeri
DRILLING METHOD: Hand Auger
HOLE DIAMETER (mm): 50mm

LOGGED BY: PS
CHECKED BY: WT

Soil Description Based on NZGS Logging Guidelines 2005		Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)
0.0m: clayey SILT, light grey, low plastic, dry [Waipapa Group]		0.0	Waipapa Group		Groundwater Not Encountered			
End of bore - 0.2 m (hard material encountered)		0.5						
		1.0						
		1.5						
		2.0						
		2.5						
		3.0						
		3.5						
		4.0						
		4.5						

LEGEND



TOPSOIL



CLAY



SILT



SAND



GRAVEL



FILL

Corrected shear vane reading
Remoulded shear vane reading
Scala Penetrometer

Note: UTP = Unable to penetrate. T.S. = Topsoil.

Hand Held Shear Vane S/N: 440

Scala penetrometer testing undertaken to a depth of 0.3m (>20blows/100mm)

PO Box 89, 0245
6 Fairway Drive
Kerikeri, 0230
New Zealand



Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

Borehole Log - BH06,WW

Hole Location: Refer to Site Plan

JOB No. 25 055

CLIENT: Bevan Dwight
Date Started: 14/03/2025
Date Completed: 14/03/2025
SITE: 1213B Bulls Road, Kerikeri
DRILLING METHOD: Hand Auger
HOLE DIAMETER (mm): 50mm
LOGGED BY: PS
CHECKED BY: WT

Soil Description Based on NZGS Logging Guidelines 2005	Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)
0.0m: TOPSOIL, dark brown, moist	0.0						0 5 10 15 20
0.25m: clayey SILT, light grey with light brown streaks and occasional dark brown and orange mottles, low plastic, moist [Fill]		Fill					
0.5m: TOPSOIL, dark brown, moist, presence of rootlets	0.5	T.S.					
0.7m: silty CLAY, light brown with white bands and orange mottles, medium plastic, moist [Waipapa Group]		W.G.					
End of bore - 1.0 m (hard material encountered)	1.0						
	1.5						
	2.0						
	2.5						
	3.0						
	3.5						
	4.0						
	4.5						

LEGEND



Note: UTP = Unable to penetrate. T.S. = Topsoil.

Scala penetrometer testing not undertaken.

Corrected shear vane reading	
Remoulded shear vane reading	
Scala Penetrometer	

Appendix C – PS4 Advisory Note

IMPORTANT ADVISORY NOTE

PRODUCER STATEMENT – CONSTRUCTION REVIEW (PS4)

The Building Consent Authority (BCA) frequently requires Producer Statements–Construction Review (PS4) to be submitted to the BCA in order for a Code of Compliance Certificate (CCC) to be issued. A PS4 is usually required for each specialist area. The requirement for a consultant to issue a PS4 related to their area of work will appear as a condition in the Building Consent documents.

It is the consent holder's responsibility to notify Haigh Workman Limited for geotechnical construction monitoring and testing required for subsequent issue of a PS4. An initial inspection of stripped or excavated ground must take place before any fill or blinding concrete is placed. Retrospective site monitoring of completed or partially completed geotechnical work is not possible and a PS4 will not be issued without all the required observations.

In order to secure our construction monitoring services and avoid delays on site, Haigh Workman Limited require at least 24 hours' notice prior to the time the site visit is required. Construction monitoring is limited to items that have been recommended, designed and detailed by Haigh Workman Limited. We are unable to inspect non-consented or unauthorised work. Haigh Workman Limited do not carry out construction monitoring or issue PS4's for work that has been recommended, designed or detailed by other consultants without prior approval from Haigh Workman Limited. Haigh Workman Limited will not issue a PS4 where construction monitoring and/or testing have been carried out by any other consultant. The PS4 must be sought from the consultant who carried out those inspections.

The full Building Consent, with stamped plans with consent numbers (or a legible copy of the same) including all amendments, shall be made available to us during inspections. We will not commence construction monitoring until the documentation is available or provided to us prior to our site visit.

Unless stated otherwise in our terms of engagement, the fees associated with construction monitoring and the issue of PS4's are separate from any work carried out prior to commencement of construction. We are able to provide a fee estimate for this work if required. We cannot provide a fixed quote because the quantum of work required frequently depends on the construction program and the performance of others. These things are not known to us in advance of construction. Our normal terms of trade require payment of fees monthly during the inspection period and full settlement prior to release of any PS4.

House Relocation Report



House to be relocated:

Homes 2 Go

Advancedesign Architecture**Advanced Architectural solutions for life**

Ph/Fax: (09) 4389709

Postal Address: PO Box 3284, Onerahi 0142

Email: info@advancedesign.co.nz

23 June 2022

Subject: House for relocation

The following is a brief description of materials and their status following a visual, non-invasive inspection of the building. Currently located at original build site in central Whangarei. Home was occupied at time of inspection.

Early 1960's weatherboard house with corrugate zincalume roof. This is a tradesman built house, in a reasonably well maintained condition.

**Bearers:** 90 x 90mm RS pine.**Joists:** 150 x 50mm RS Pine @ 450 crs**Subfloor:** Overall, sturdy, generally appears to be well built, dry and intact.**Underfloor insulation:** Expol type 75mm thick present under building. Appears to have been professionally fitted around obstacles.

Structure is in good condition, very minor repairs to subfloor at perimeter will be required:

Floor in chimney area to be made good and joists will need to be replaced with H1 equivalents.

Rear and front entry porch surrounding members will need to be checked for integrity after concrete steps are demolished



Subfloor: 90x90 bearers on 100x100 piles, diagonally braced with a brick masonry subfloor cladding



Floor: Diagonal bracing. Tongue and groove flooring was checked in several locations and appears to be in quite good condition, suitable for polishing.



Roof: Temporary patching will be required over chimney location. Roof appears to be original and has been painted several times. Majority of fasteners in place.



Roof: Standard profile corrugate appears to be relatively original and still in reasonable order. We note that following re-siting careful attention will need to be made to ensuring that joints and ridging are well seated, re-sealed with a flexible sealant and fastened with type 4 fixings.



Ceiling: Close couple roof framing with no underlay. Two layers visible ceiling batts, with heat transfer/ventilation ducting noted. Electrician will need to check existant wiring.



Ceiling: Rafters, collar ties ridgeboards and purlins all appear to be dry and in good order. No underlay noted. Vertical struts fitted below underpurlins down to wall supports. Will need to be flitch jointed or bearerplated upon re-siting if transport cut.

Majority of weatherboards appear to be in good order with corner soakers.



Exterior: Absolutely classic kiwi bevelback 105mm cover timber weatherboard home. Note wide planted facings and good drip edge width to sills.



Exterior cladding: Timber 140mm bevelback weatherboards in good condition generally. Predictably some bottom boards may need replacement. Joint flashings and corner scribes well fitted. Recommend full exterior re paint following siting & repairs.



Exterior cladding: Fitted to close tolerances, paint in functional order and looks to have been regularly maintained.



Exterior cladding: Facings well fitted with scribes, joinery has external sills.



Joinery: Solid timber with externally scribed facings, single glazed with timber jambs. No visible rot, but interior jambs need minor maintenance, sanding, priming and repainting. Exterior trims, casements and sills have been overpainted quite thickly from the outside, after re-siting careful refurbishment would yield excellent results with any “sticky” windows.



Soffits and gutters: 600mm wide well painted FCB soffits in mostly good condition
UPVC guttering mid service life, needs minor re-aligning in some locations.



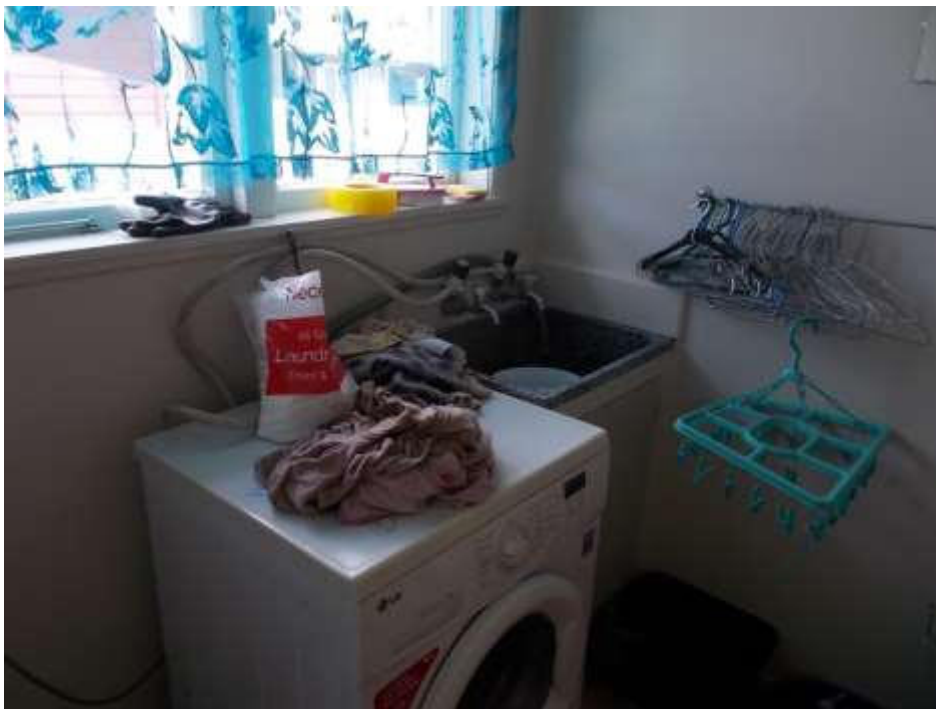
Interior, Bathroom: Space has small extract fan. Older type cabinets and fittings. Overall the main bathroom could be refurbished. Fittings are mostly dated but all appear to be functional.



Main shower: Over bath, older Dux type mixer, seals appear to be in good order.



WC. Surface sider entry, vinyl floor, Ceramic bowl, Good condition, older dux cistern..



Laundry. Vinyl floor, Older style built in Stainless tub with dual taps, Good condition, storage closet as well.



Hall storage: Good sized, Gib ceiling, fixtures appear ok.



Hall storage: 3 sets of built in cupboards (1 ex HWC)
Ceiling access hatch above..



Bdr 1: Clean, 12mm pinex tile ceiling, fixtures appear ok.



Bdr1 Wardrobes: Built in good condition with window for ventilation.



Bdr 2: off passage to lounge, small wardrobe..



Interior linings: 10mm Gib, mostly in good condition, 12mm Pinex ceiling tiles. Hollow core interior doors, most hardware and handles in good condition



Bdr 3 Sunroom: Entry off lounge. Classic curtain pelmets to joinery, no wardrobe, good venting to exterior.



Bdr3: DVS Venting system to all bedrooms, standard scotia finished to ceiling junction



Heat Pumps: Panasonic CU series inverters (2)



Hot water: Rinnai infinity A26 series on demand caliphont. This unit appears to be quite new.



Kitchen: Smallish but functional. Dishwasher space, Standard oven, kitchen cabinets, inset SS sink and laminex bench tops in good condition.



Kitchen Cabinets: Solid timber cabinetry all appears to be in good order.



Lounge: Good sized lounge with bay aspect and side windows.



Lounge: Inbuilt fire and chimney space. We note that around 2m² of floor will need to be reinstated where the hearth is.

General Summary:

The building is a typical domestic dwelling of its era. It appears to have been well built and is very solid. Subfloor has been well put together and the house appears to be sufficiently structurally sound and suitable for transportation and re-siting. The flooring is tongue and groove and could be easily sanded and exposed. The carpets are tidy and in reasonable condition and may clean up well. Notes made in report about various element repairs required. We recommend house and roof have a full exterior repaint post relocation to help guarantee cladding is sealed.

The majority of soffits appear to have been replaced and painted. Care should be taken with any remaining old soffit as it may contain asbestos. This is sealed and inert while sitting but if removed or sanded will release dust. We recommend appropriate removal and replacement if possible, this is not a requirement as it is currently sealed and painted..

Limitations:

This report has been solely prepared for the benefit of the building purchaser and Homes 2 Go. This is a visual report of building elements that can be readily inspected only and does not imply status, condition or assessment of any enclosed elements or components. This also does not endorse the suitability of any electrical wiring or plumbing components and we state that these systems will need to be inspected, installed and re-instated by licensed trade professionals.

Yours Sincerely



Lee Wilkinson **LBP 116851**
Managing Director
Advancedesign Architecture
Advanced Architectural solutions for life
Ph: (09) 4389 709
Office: Parua Bay, Whangarei 0174,
Postal Address: P.O.Box 3284, Onerahi 0142
Email: info@advancedesign.co.nz



25 055

12th May 2025

Bevan Dwight
1213B Bulls Road,
Kerikeri

Dear Bevan

1213B Bulls Road, Kerikeri
ONSITE WASTEWATER DESIGN REPORT

Haigh Workman Limited has been engaged to design an on-site wastewater system to service an existing heritage barn and a relocated 3-bedroom dwelling at the above-mentioned address. This design has been carried out in general accordance with AS/NZS1547:2012.

SITE DESCRIPTION

The site is legally described as **Lot 2 DP 202589**, located at 1213B Bulls Road, Kerikeri. The site covers an area of 9,988m² and is accessed from a common right of way. The site is gently to moderately sloping towards the west. A stream runs through the property near the western boundary. The property is rural, mainly consisting of grass fields with vegetation throughout. The site contains a heritage barn with 1- bedroom and bathroom, there is a 3- bedroom relocated dwelling and associative driveway and parking area. The site has an existing Aerated Secondary wastewater treatment system installed to the west of the existing barn, with disposal to dripper lines located on a raised mound of fill material to the west of the driveway accessing the barn. The water supply for the property is sourced from roof water, which is collected in a large tank located to the south of the heritage barn. A second tank is to be located to the south of the existing tank to collect roof water from the new dwelling.

SITE INVESTIGATIONS

A representative of Haigh Workman visited the site on the 1st of April 2025 to investigate features and ground conditions. New Zealand land inventory maps (Whangaroa - Kaikohe) indicate the site is underlain by 'soils of the rolling and hilly land; well to moderately well drained Maua light brown clay loam (MRuH) and Rangiora clay, clay loam and silty clay loam (RAH).

One borehole was drilled to a depth of 1.0m adjacent to the existing wastewater field. The topsoil, consisting of brown silty clay, depth was 250mm thick. A layer of light grey clayey silt fill material 250mm thick. This was overlying another topsoil layer 200mm thick. Material beneath at a depth of 700mm consisted of light brown silty clay. No evidence of groundwater was observed at the soil investigation location.

Based on our site investigations the natural soils were categorised as AS/NZS1547:2012 Category 4 Loams.

EXISTING TREATMENT SYSTEM & DISPOSAL FIELD

The existing treatment system was inspected and appeared in a well-maintained condition. Similarly, our inspection of the effluent disposal field revealed no concerns such as saturation or breakout. Six surface dripper lines were observed running parallel along a raised mound with 0.5m – 0.7m spacing between dripper lines with an area of 150m². Refer sample photographs below.



Figure 1 – Treatment plant



Figure 2 – Dripper tubes on bund

WASTEWATER GENERATION

Water supply will be from rainwater tank. Design wastewater flows can be calculated using the guidelines in Table H3 of AS/NZS1547:2012.

Upon reviewing the property file under BC-2007-229 and TP58 report for existing system installed in March 2007, a heritage barn was constructed with 1-bedroom and plans showing the relocated dwelling is a 3-bedroom residence. Based on this information, we have adopted an occupancy standard of 7 persons for the property. Table H3 indicates daily wastewater flows of 180 litres/person/day for households connected to a rainwater tank supply with standard fixtures. The average daily loading rate is therefore $7 \times 180 = 1260$ litres/day.

TREATMENT SYSTEM

Existing Installed Treatment System is confirmed as comprising an Oasis Clearwater Series 2000 AWTS. Certification from Oasis Clearwater Environmental Systems (OCES) included in the property file specifies it as a 2,200L primary and 1,100L secondary tank. The certification from the OCES has a rated design capacity for a 10-person site or 2000 litres/day. Assuming the plant is kept in functioning good order and regularly maintained, then it can be expected to consistently treat a daily flow of 1,260 litres/day.

DISPOSAL SYSTEM

In accordance with AS/NZS1547:2012, a design irrigation rate (DIR) of 3.5 mm/day for category 4 soils has been adopted for design with up to 250mm of topsoil beneath the proposed disposal field. The required land application area is therefore $1260/3.5 = 360$ m². A minimum 30 % reserve area (108 m²) is also available on-site, per the appended site plan.

The existing disposal field area is 150m², this will be increase by 210m² to create a total disposal area of 360m², drip lines are to be laid across the entire disposal field area with line-spacing of 0.5m in the location shown on the attached site plan. Due to the slope of the existing bund being greater than 10 degrees but less than 25 degrees it is recommended that dripper lines be buried a minimum 100mm deep within the topsoil.

The disposal field is to be situated between the existing wastewater disposal field and the existing driveway to the heritage barn. The new area of dripper lines will be installed to form one field area with the existing dripper lines. Due to the age of the existing drippers the pipes shall be replaced and not to be reused.

One flush valve is required per lateral for maintenance flushing of the field. Dripline Non-Leakage valves (DNL) are to be installed at the start of laterals to prevent effluent flowing to the lowest drip line. Refer standard layout attached. We further recommend 1.6L/hr. emitters spaced at 0.5m to ensure even distribution.

The proposed disposal field is situated well outside the nearest mapped flood extents up to and including the 1% AEP flooding zone (i.e. 100-year). The existing stream is well below the disposal field with land outside the disposal field sloping down to the stream, an elevation difference of approximately 8m from the disposal field to the stream edge.

The property owner is responsible for confirming the fence line shown on the plan is the legal property boundary. We recommend the disposal area be planted with evapo-transpiration species to encourage the uptake of water; a suitable plant list is appended.

A stormwater interception drain is required to be installed along the edge of the metalled driveway adjacent to the proposed disposal field area to divert any surface water away from the disposal field.

DESIGN SUMMARY

ITEM	DESCRIPTION
Design Occupancy	7 persons
Water fixtures	Standard water fixtures
Wastewater generation	1260 L/d
Treatment system	Oasis Clearwater Series 2000 AWTS
Location of effluent disposal	As per drawings
Effluent disposal system	Subsurface buried dripper lines
Maximum length of dripper line lateral	90 m
Irrigation pump	Davey 42A/B or equivalent as specified by the plant manufacturer
Soil type	AS/NZS1547 category 4
Application rate	3.5 mm/day
Land application area	360 m ²
Reserve area (30%)	108 m ²
Total area required	468 m ²
Slope of land application area	0-15°

DISCLAIMER

This report has been prepared for the sole use of our Client, Bevan Dwight, with respect to the particular brief outlined to us. It may not be used or relied on (in whole or part) by anyone else, or for any other purpose or in any other contexts, without our prior written agreement. This report may not be read or reproduced except in its entirety.

Prepared by:



Matt Payton

Civil Engineer

NZDE (Civil)

Reviewed by:



Tom Adcock

Senior Engineer

BEng Civil, MEngNZ

Approved by:



John Papesch

Director / Senior Civil Engineer

BE (Civil), CPEng, CMEngNZ

APPENDICES:

- A – Drawings - Disposal Area Layout
- B – Onsite Wastewater Disposal Investigation (FNDC Engineering Standards 2023)
- C – Summary of Regulatory Requirements
- D – Soil Type and Drainage Northland Regional Council Maps
- E – Suitable plants for Evapo-transpiration Systems
- F – Operation and Maintenance Guidelines
- G – Borehole Logs
- H – Producer Statement – Design (PS1)

Appendix A: Drawings

Drawing No.	Title
W01	Wastewater Plan
W02	Typical Disposal Area Layout

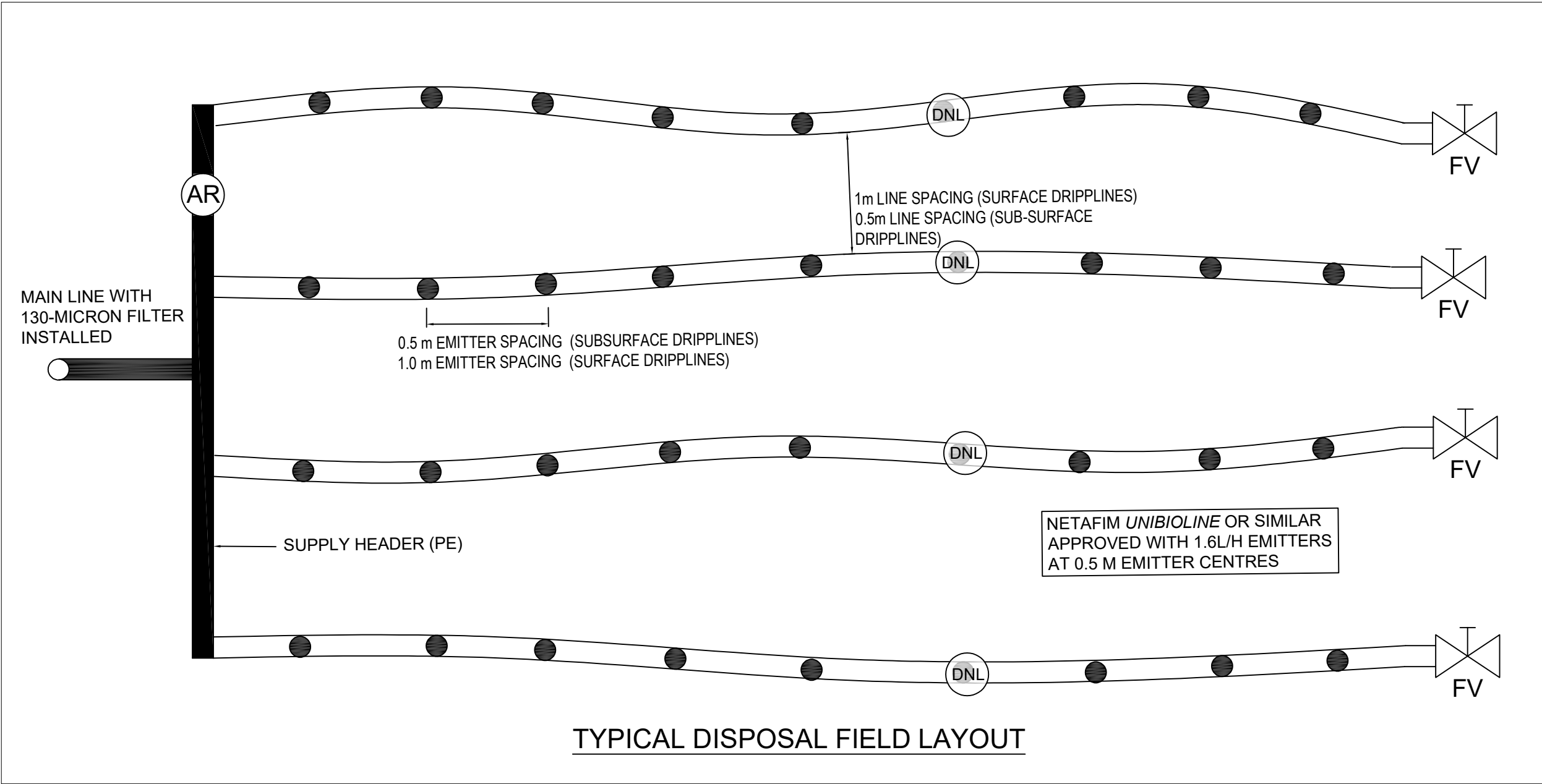
NOTES:

1. DRAWING INTERPRETED FROM THE CONCEPT PLANS PROVIDED.

2. LOCATIONS HAVE NOT BEEN SURVEYED AND ARE INDICATIVE ONLY.



Issue	Date	Revision	DWG			Project		DWG No.	
A	29/04/2025	FIRST ISSUE	WASTEWATER PLAN			WASTEWATER SYSTEM DESIGN		W01	
						1213B Bulls Road, Kerikeri			
						Client		BEVAN DWIGHT	
						Project No.		25 055	
						RC no.		N/A	
								Sheet No.	
								1 of 2	



TYPICAL DISPOSAL FIELD LAYOUT

LEGEND:

AIR / VACUUM RELEASE VALVE

FLUSHING VALVE

DNL NON-LEAKAGE VALVE

- NOTES:**
- WHERE REQUIRED IF THE DRIPLINE HAS A GENTLE LONGITUDINAL FALL, DRIPLINE NON-LEAKAGE VALVES(DNL) SHALL BE FITTED ALONG EACH LATERAL AT SPACINGS NOT GREATER THAN 8m.
 - SUBSURFACE BURIED DRIPPERLINES ARE TO HAVE LINE AND EMITTER SPACING AS PER THE DETAILING ABOVE AND BURIED WITHIN A MINIMUM OF 100mm OF TOPSOIL.

Issue		Date		Revision		DWG TYPICAL DISPOSAL AREA LAYOUT				Project WASTEWATER SYSTEM DESIGN				DWG No.	
A		29/04/2025		FIRST ISSUE						1213B Bulls Road, Kerikeri				W02	
										6 Fairway Drive Kerikeri, BOI				Client	
										T: 09 407 8327 E: info@haighworkman.co.nz				BEVAN DWIGHT	
						Scale 1:100 @A3		Date APRIL 2025		DIMENSIONS MUST NOT BE SCALE MEASURED FROM THESE DRAWINGS. THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS INCLUDING, SITE LEVELS, HEIGHTS AND ANGLES ON SITE PRIOR TO COMMENCING ANY WORK. THE COPYRIGHT TO THESE DRAWINGS AND ALL PARTS THERE OF REMAIN THE PROPERTY OF HAIGH WORKMAN LTD. ©2020				Sheet No.	
						Drawn MP		Checked TA		Approved JP		Project No. 25 055		RC no. N/A	
						File		T:\CLIENTS\BEVAN DWIGHT\25 055 1213B BULLS ROAD, KERIKERI\ENGINEERING\DRAWINGS\25 055 DWGS - COPY.DWG						2 of 2	

Appendix B: Onsite Wastewater Disposal Investigation (FNDC Engineering Standards 2023)

This form is to be read in conjunction with AS/NZS 1547:2012 (or any amendments as applicable), and, in particular with Part 4: Means of Compliance

Part A – Contact Details

1 - Applicant

Name: Bevan Dwight

Property Address: 1213B Bulls Road, Kerikeri

Lot/DP Number: Lot 2 DP 202589

2 – Consultant / Site Evaluator

Site Evaluator Name: Matt Payton

Company Name: Haigh Workman Ltd

Postal Address: PO Box 89, Kerikeri

Business Phone: 09 407 8327

Mobile: _____

Email: info@haighworkman.co.nz

SQEP Registered¹: ☐ Yes ☒ No If no, details of suitably registered SQEP who will countersign the report are to be supplied below.

Name of SQEP: John Papesch

Company Name: Haigh Workman Ltd

Postal Address: PO Box 89, Kerikeri

Business Phone: 09 407 8327

Mobile: _____

¹ It is a requirement that the Evaluator be SQEP registered to carry out on-site effluent investigations/designs. If not, then evaluation/design will need to be counter-signed by a suitably registered SQEP

Email: johnp@haighworkman.co.nz

Part B - Site and Soil Evaluation

1: Desk Study

Requirements (✓ appropriate box) Please complete **all** options. (If more than one option applies to land under consideration, please clarify with supporting information)

<input type="checkbox"/>	FNDC REQUIREMENT	APPLIES TO LOT(S)	COMMENTS
1	Hazard maps/GIS Hazard layer - stability		
<input checked="" type="checkbox"/>	Low instability risk		<i>Gently / Moderately sloping</i>
<input type="checkbox"/>	Medium instability risk		
<input type="checkbox"/>	High instability risk		
2	GIS Hazard layer - effluent on slope stability		
<input checked="" type="checkbox"/>	Low disposal potential		<i>Gently / Moderately sloping</i>
<input type="checkbox"/>	Moderate disposal potential		
<input type="checkbox"/>	High disposal potential		
3	GIS Hazard Layer - effluent suitability		
<input type="checkbox"/>	Medium unsuitability		
<input type="checkbox"/>	High unsuitability		
4	GIS Hazard Layer - Flood susceptibility		
<input type="checkbox"/>	Is flood susceptible		
<input type="checkbox"/>	Is partially flood susceptible		
<input checked="" type="checkbox"/>	Is not flood susceptible		<i>No NRC mapped Flood risk on the site.</i>
5	GIS land resources layer - Streams		
Are there streams on or adjacent to land under investigation?		<input type="checkbox"/> Yes	
		<input checked="" type="checkbox"/> No	

6	GIS land resources layer – aquifers at risk		
Is land situated over or adjacent to aquifer?	<input type="checkbox"/>	Yes	
	<input checked="" type="checkbox"/>	No	
7	Annual Rainfall (HIRDS)		<i>1500 mm</i>

Note: It is to be noted that all information obtained from FNDC GIS/Hazard Maps is to be taken as a guide only.

Note: All information obtained from the above sites is to be confirmed by a specific site investigation as localised conditions could vary substantially. However, should the above data checks indicate the potential for a hazard/non-complying activity etc., this must be further investigated to confirm/deny the indicated situation.

2: On-Site Evaluation

a. Determination of Soil Category (refer table 4.1.1 AS/NZS 1547:2012) (✓ appropriate box)

Soil Category	Structure	Applies to lot(s)	Comments
1 Gravels & Sands	<input type="checkbox"/> Structureless (massive)		
2 Sandy loams	<input type="checkbox"/> Weakly Structured		
	<input type="checkbox"/> Massive		
3 Loams	<input type="checkbox"/> High/Moderate structured		
	<input type="checkbox"/> Weakly structured or Massive		
4 Clay loams	<input checked="" type="checkbox"/> High/moderate structured		In accordance with Appendix C & based on site observations
	<input type="checkbox"/> Weakly structured		
	<input type="checkbox"/> Massive		
5 Light clays	<input type="checkbox"/> Strongly structured		
	<input type="checkbox"/> Moderately structured		
	<input type="checkbox"/> Weakly structured or massive		
6 Medium to heavy clays	<input type="checkbox"/> Strongly structured		
	<input type="checkbox"/> Moderately structured		
	<input type="checkbox"/> Weakly structured or massive		

Note: Refer 4.1 A4 – Soil Assessment AS/NZS 1547:2012 for assessment criteria.

Note: Details of the method used to determine soil type etc. are to be clearly stated, along with positions of boreholes/test pits etc. clearly marked on a site plan. Bore logs are to be provided. Photos should be included.

Note: The site plan should also clearly show the intended area for effluent disposal, along with any site features such as drains, water bores, overland flows etc., along with separation distance achieved.

On-Site Evaluation Continued

b. Site Characteristics for Proposed Disposal Area: (if there is a marked difference between sites, please fill in a separate form for each site and clearly note which site the assessment applies to) (ü appropriate box)

<input type="checkbox"/>	DETAILS	APPLIES TO SITE(S)	
1	Flooding potential to proposed field and reserve field (refer note 1 below)		
<input checked="" type="checkbox"/>	Fields will not flood, or	<i>Fields have been located outside of any mapped flood extent and outside of any depressions where previous ponding has been observed.</i>	
	Fields will flood in		
	20% AEP event		
	5% AEP event		
	1% AEP event		
2	Surface water separation to proposed field and reserve field (refer note 2 below)		
<input checked="" type="checkbox"/>	Main/reserve disposal field comply with NRC rules		
	Main/reserve disposal field do not comply with NRC rules		
3	Surface water separation to proposed field and reserve field (refer note 2 below)		
<input checked="" type="checkbox"/>	Main/reserve disposal field comply with NRC rules	<i>As above</i>	
	Main/reserve disposal field do not comply with NRC rules		
4	Winter ground water separation to proposed field and reserve field (refer note 3 below)		
<input checked="" type="checkbox"/>	Main and reserve disposal field comply with NRC rules	<i>Estimated winter >2.0m, summer >3.0m</i>	
	Main and reserve disposal field do NOT comply with NRC rules		
5	Slope of ground of proposed field and reserve field (refer note 4)		
Description	<i>Gently to moderately sloping, average slopes between 0 and 15 degrees</i>		
6	Shape of ground of proposed field and reserve field (Refer note 5 below)		
	Waxing divergent	Linear divergent	Waning divergent
<input checked="" type="checkbox"/>	Waxing planar	Linear planar	Waning planar
	Waxing convergent	Linear convergent	Waning convergent
Comments	<i>Gentle longitudinal fall. Dripper laterals to be fitted with DNL valves at 8m intervals if required</i>		

<input type="checkbox"/>	DETAILS	APPLIES TO SITE(S)	
7	Intended water supply source		
<input type="checkbox"/>	Public supply		
<input checked="" type="checkbox"/>	Rainwater		
<input type="checkbox"/>	Bore		
8	Proposed method of disposal and recommended Daily Loading rate (DLR) (refer note 6 below)		
Description			
Subsurface buried dripper lines. DIR 3.5 mm/day			
Peak loading factored in (refer note 6 below)		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Comments	Standard residential dwelling		
9	Site exposure (refer note 7 below)	Description	Applies to Site(s)
Site(s) aspect		West-facing site	
Pre-dominant wind direction		South-west	
Presence of shelter belts		Entire site boundaries – Setback from shelter belt limiting shading in winter.	
Presence of topographical features or structures		Topography is planar with existing cut off drains dispersing water around heritage barn	
10	Proximity of water bores (include adjacent to properties) (refer note 9 below)		
Nil - NRC GIS was consulted			
11	Visible evidence of slips / instability (refer note 8 below)		
Nil			
12	Total suitable area available for type of effluent disposal proposed (including reserve area)		
360 m ² for disposal area and 108 m ² (30%) for reserve area.			
13	Setback areas proposed (if any) (refer note 10 below)		
Exclusion areas and setback distances are provided in Table 9 of the Regional Plan and presented herein			

Notes

1. *If the FNDC hazard maps/GIS indicate a flooding susceptibility on the site being evaluated, an on -site evaluation is to be carried out to determine the effects from 20%, 5% and 1% AEP storm events. This evaluation is to include all calculations to substantiate conclusions drawn. If necessary, include a detailed contour plan and photos.*
2. *NRC Water & Soil plan defines surface water as 'All water, flowing or not, above the ground. It includes water in continually or intermittently flowing rivers, artificial watercourses, lakes and wetlands, and water impounded by structures such as dams or weirs but does not include water while in pipes, tanks, cisterns, nor water within the Coastal Marine Area'. By this definition, separation (complying with NRC rules) is to be maintained by both the proposed disposal and reserve areas from any overland flowpaths and/or swale drains etc. or R/C will be required from NRC. Surface water is to be clearly marked on each site plan, showing the extent of a 1% AEP storm event, and detailing separation distances to main/reserve disposal areas.*
3. *Positions of test borehole/s to be shown and bore logs to be provided. Separation (complying with NRC rules) is to be maintained by both the proposed disposal and reserve areas from winter ground water level or R/C will be required from NRC. If the investigation is done outside of the winter period, allowance is to be made in determining the likely winter level.*
4. *Slopes of ground are to be compared with those recommended maximums for type of system proposed (refer Appendix 4.2B AS/NZS 1547:2012). Designs exceeding those maximums will require specific design to justify the proposal and may also need Resource Consent from NRC.*
5. *Shape of ground is important as it will determine whether there is potential for concentrated overland flows from the upper slopes and also if effluent might be concentrated at base of slope if leeching occurs. Refer Figure 4.1B2 AS/NZS 1547:2012.*
6. *The proposed system (for residential developments) should be sized to accommodate an average 3 bedroom house with 5 people. Sites in holiday areas need to take peak loading into effect in determining daily volumes. The design must state what DLR was used to determine area necessary (including reserve area). If ground conditions are marginal for type of disposal proposed, then a soil permeability test utilising the constant head method is to be carried out across the proposed disposal area. Refer Appendix 4.1F AS/NZS 1547:2012.*
7. *The site aspect is important as a north-facing site that is not sheltered from wind and sun by shelterbelts or other topographical features or structures will perform far better than a south-facing site on the lee of a hill that is shaded from wind and sun etc.*
8. *If any effluent disposal area (including any reserve area) proposed has or is adjacent to areas that show signs of instability, then a full report from a CPEng (Geotech) will be required to justify the viability of the area for effluent disposal.*
9. *If there are any water bores on the subject property or adjacent properties then a site plan will be required showing bore positions in relation to any proposed effluent field(s).*
10. *If setback areas are proposed to mitigate effects, the extent and position/s need to be shown on a site plan.*

Appendix C: Summary of Regulatory Requirements

Proposed Regional Plan

C.6.1.3 Other on-site treated domestic wastewater discharge – permitted activity

The discharge of domestic type wastewater into or onto land from an on-site system and the associated discharge of odour into air from the on-site system are permitted activities, provided:

Criterion	Comment
1) The on-site system is designed and constructed in accordance with the Australian/New Zealand Standard. On-site Domestic Wastewater Management (AS/NZS 1547:2012), and	We have designed in general accordance with this standard.
2) The volume of wastewater discharged does not exceed two cubic metres per day, and	Complies
3) The discharge is not via a spray irrigation system or deep soakage system, and	Complies (drip irrigation proposed)
4) The slope of the disposal area is not greater than 25 degrees, and	Complies
5) For wastewater that has received secondary treatment or tertiary treatment, it is discharged via: <ul style="list-style-type: none"> a) a trench or bed system in soil categories 3 to 5 that is designed in accordance with Appendix L of Australian/New Zealand Standard On-Site Domestic Wastewater Management (AS/NZS 1547:2012); or b) an irrigation line system that is dose loaded and covered by a minimum of 50 millimetres of topsoil, mulch, or bark, and 	Complies. The irrigation system will be dose limited. The dripper lines will be subsurface laid.
6) for the discharge of wastewater <u>onto the surface of slopes greater than 10 degrees:</u> <ul style="list-style-type: none"> a) the wastewater, excluding greywater, has received at least secondary treatment, and b) the irrigation lines are firmly attached to the disposal area, and c) where there is an up-slope catchment that generates stormwater runoff, a diversion system is installed and maintained to divert surface water runoff from the up-slope catchment away from the disposal area, and d) a minimum 10 metre buffer area down-slope of the lowest irrigation line is included as part of the disposal area, and e) the disposal area is located within existing established vegetation that has at least 80 percent canopy cover, or f) the irrigation lines are covered by a minimum of 100 millimetres of topsoil, mulch, or bark, and 	Majority of disposal area has slopes not greater than 10 degrees and wastewater will be subject to secondary treatment. A small section of the disposal field will be greater than 10 degree slopes so all dripper lines to be subsurface buried within at least 100mm of topsoil.
7) the disposal area and reserve disposal area are situated outside the relevant exclusion areas and setbacks in Table 9: Exclusion areas and setback distances for on-site domestic wastewater systems, and	Surface water setbacks are complied with.
8) for septic tank treatment systems, a filter that retains solids greater than 3.5 millimetres in size is fitted on the outlet, and	NA

9) the following reserve disposal areas are available at all times: a) one hundred percent of the existing effluent disposal area where the wastewater has received primary treatment or is only comprised of greywater, or b) thirty percent of the existing effluent disposal area where the wastewater has received secondary treatment or tertiary treatment.	30% Reserve area provided
10) the on-site system is maintained so that it operates effectively at all times and maintenance is undertaken in accordance with the manufacturer's specifications, and	Proposed per Maintenance recommendations
11) the discharge does not contaminate any groundwater water supply or surface water, and	Will comply given provided design parameters
12) there is no surface runoff or ponding of wastewater, and	Will comply given provided design parameters
13) there is no offensive or objectionable odour beyond the property boundary.	Will comply given provided design parameters

Table 9: Exclusion areas and setback distances for on-site domestic wastewater systems

Feature	Primary treated domestic type wastewater	Secondary and tertiary treated domestic type wastewater	Greywater
Exclusion areas			
Floodplain	5% annual exceedance probability	5% annual exceedance probability	5% annual exceedance probability
Horizontal setback distances			
Identified stormwater flow path (including a formed road with kerb and channel, and water-table drain) that is down-slope of the disposal area	5 metres	5 metres	5 metres
River, lake, stream, pond, dam or natural wetland	20 metres	15 metres	15 metres
Coastal marine area	20 metres	15 metres	15 metres
Existing water supply bore	20 metres	20 metres	20 metres
Property boundary	1.5 metres	1.5 metres	1.5 metres
Vertical setback distances			
Winter groundwater table	1.2 metres	0.6 metres	0.6 metres

Far North District Plan

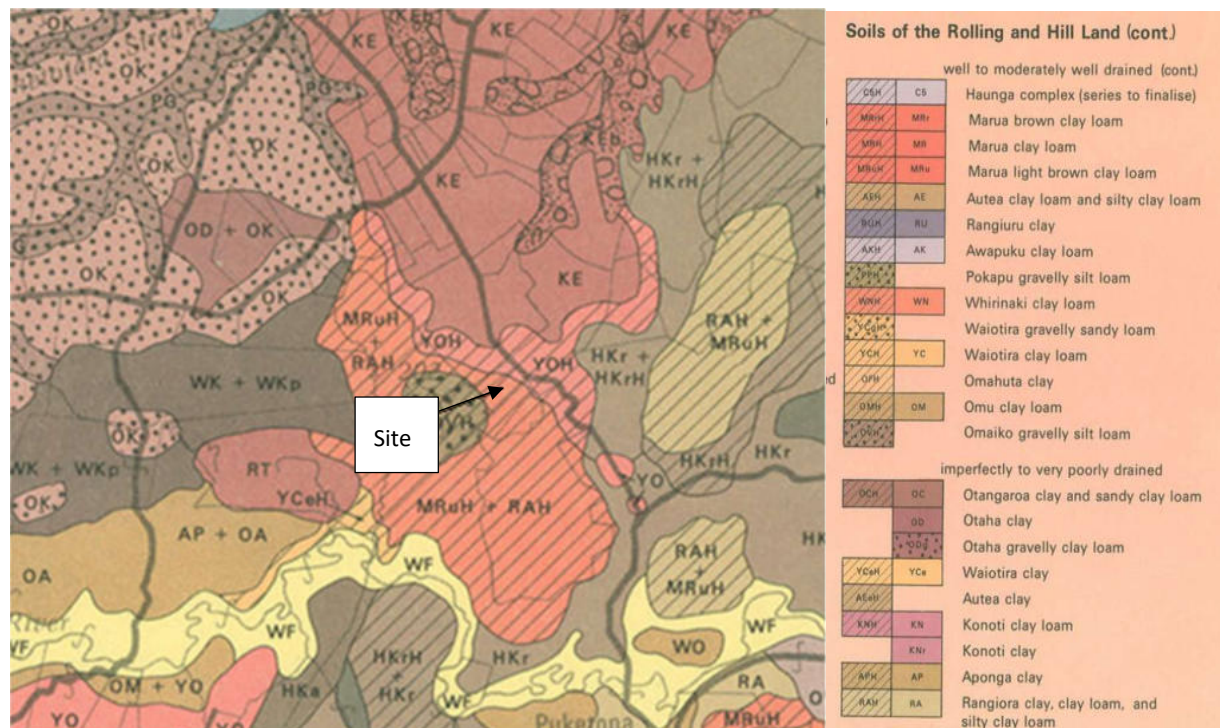
12.7.6.1.4 Land Use Activities Involving Discharges of Human Sewage Effluent

Land use activities which produce human sewage effluent (including grey water) are permitted provided that:

Criterion	Comment
The effluent discharges to a lawfully established reticulated sewerage system; or	
The effluent is treated and disposed of on-site such that each site has its own treatment and disposal system no part of which shall be located closer than 30m from the boundary of any river, lake, wetland or the boundary of the coastal marine area.	Complies

Note: The discharge may also require consent under the Regional Water and Soil Plan.

Appendix D: Soil Type and Drainage Northland Regional Council Maps



SUITABLE PLANTS FOR EVAPO-TRANSPIRATION SYSTEMS

Native Shrubs and Trees

Coprosma	<i>Coprosma propinqua</i>
Hebe	<i>Hebe</i>
Manuka	<i>Leptospermum Scoparium</i>
Weeping Mapou	<i>Myrsine Divaricata</i>
Flax (fast)	<i>Phormium Tenax</i>
Pokaka (slow)	<i>Elaeocarpus Hookerianus</i>
Cabbage Tree (fast)	<i>Cordyline Australias</i>
Rangiora (fast)	<i>Brachyglottis Repanda</i>
Lacebark (fast)	<i>Hoheria Populnea</i>
Ribbonwood (fast)	<i>Plagianthus Regius</i>
Poataniwha	<i>Melicope Simplex</i>
Heketara	<i>Olearia Rani</i>
Poataniweta	<i>Carpodetus Serratus</i>
Kohuhu (fast)	<i>Pittosporum Tenufolium</i>

Grasses

Jointed Twig Sedge	<i>Baumea Articulata</i>
Longwood Tussock	<i>Carex Comans</i>
Pukio	<i>Carex Secta</i>
Toetoe (use native species- not invasive Pampas Grass)	<i>Cortaderia Fulvida</i>
Umbrella Sedge	<i>Cyperus Ustulatus</i>
Oioi	<i>Leptocarpus Similis</i>
Hooksedge	<i>Uncinia Uncinata</i>

Introduced Species

Canna Lilies, Taro, Aralia,
Fuschia, Philodendrons,
and Begonias



CARING FOR NORTHLAND AND ITS ENVIRONMENT

WHANGAREI: 36 Water Street, Private Bag 9021, Whangarei; Phone 09 438 4639, Fax 09 438 0012.

OPUA: Unit 10, Industrial Marine Park, Opuia; Phone 09 402 7516, Fax 09 402 7510.

DARGAVILLE: 61B Victoria Street, Dargaville; Phone 09 439 3300, Fax 09 439 3301.

KAITIAI: 192 Commerce Street, Kaitia; Phone 09 408 6600, Fax 09 408 6601.

Freephone: 0800 002 004 Environmental Hotline: 0800 504 639 Website: www.nrc.govt.nz



ON-SITE WASTEWATER SYSTEMS

Maintenance Guidelines For Homeowners



PROTECTING YOUR HEALTH, YOUR ENVIRONMENT, YOUR INVESTMENT

PRODUCED BY: SWANS-SIG

The Small Wastewater And Natural Systems Special Interest Group of Water New Zealand

Contact Details:

SWANS-SIG
Water NZ PO Box
1316
WELLINGTON 6140

Telephone:

64-4-472 8925

Fax:

64-4-472 8926

Web-site: www.waternz.org.nz/swans.html

WHY MAINTENANCE OF YOUR ON-SITE WASTEWATER SYSTEM IS IMPORTANT

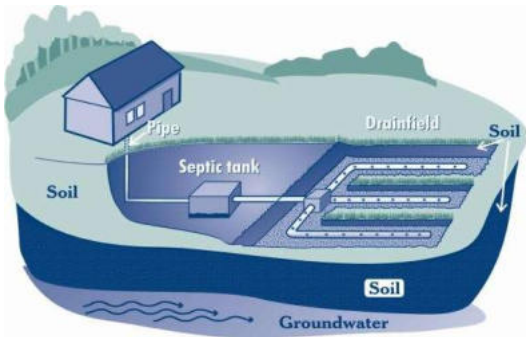
Whether you have a new “high-tech” treatment unit and drip irrigation system or an older “low-tech” septic tank and soakage trench system, regular attention to system inspection and maintenance is important. Effective regular maintenance of the wastewater servicing system on your property is essential for:

- (a) protecting family health by ensuring a high level of sanitary performance;
- (b) maintaining environmental values both within and beyond your property
- (c) protecting the investment in your wastewater system; and
- (d) enhancing amenity values in your neighbourhood through contributing to a high level of environmental performance for local on-site wastewater systems.

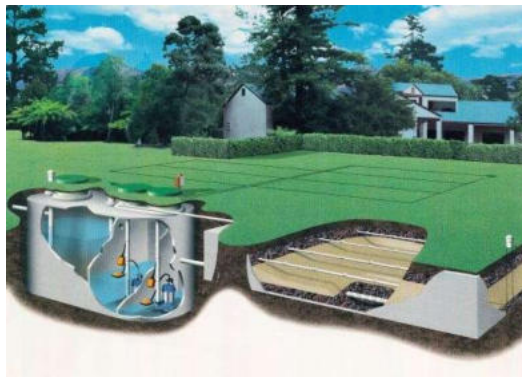
WHAT TYPE OF SYSTEM IS INSTALLED ON YOUR PROPERTY?

You are likely to have one of four types of system on your property:

- ☐ an old unknown system about which you have no information;
- ☐ an older style septic tank and soakage trench or soak hole system;
- ☐ a new modern septic tank and land application system (such as dosed trenches, or shallow planted evapo-transpiration beds, or a mound, or a low pressure dosed irrigation area);
- ☐ a new advanced treatment unit (such as an aerobic treatment plant, sand filter, or packed bed reactor) plus drip irrigation land application system.



Older style septic tank and soakage trench system



Modern septic tank, sand filter and drip irrigation field

Before you can attend to the maintenance requirements for your system you will have to establish the system type and capacity. This will require a detailed site inspection and/or a check of building records held by council. You may be able to do some of this yourself, but if a site investigation is needed, it is best to engage a drainage contractor or on-site wastewater servicing professional to investigate as follows:

- (a) For an older unknown system
 - Carry out a field inspection to locate and identify the treatment unit and soakage field area.
 - Excavate or probe as appropriate to identify system components, their size and condition.
 - Prepare a loading certificate based on an assessment of system capacity and its performance potential.

- Identify a suitable reserve area for extending the system if need be.
-

(b) For an older style septic tank and soakage trench or soak hole system

- If necessary, carry out a field inspection to locate the septic tank and soakage field area.
 - Check the maintenance record for the tank, and/or pumpout and inspect tank condition.
 - Evaluate the capacity and current performance of the soakage system.
 - Prepare a loading certificate based on an assessment of system capacity and its performance potential.
 - Identify a suitable reserve area for extending the system if need be.
-

(c) For a new modern septic tank and land application system

- Check council building consent records.
 - Check designer/installer reports and as-built records.
 - Obtain the designer's loading certificate (see box below).
 - Check availability of operation and maintenance instructions as provided by the designer.
 - Confirm the availability of a suitable reserve area for extending the system if need be.
-

(d) For a new advanced treatment unit and land application system

- Check council building consent records.
- Check designer/installer reports and as-built records.
- Obtain the designer's loading certificate.
- Check availability of operation and maintenance instructions as provided by the designer.
- Check if a maintenance contract is in place, and if not investigate options for and commission such a contract.

☐ Ensure the maintenance contract is renewed



Checking scum and sludge levels in a septic tank



Servicing an advanced wastewater treatment unit

Whatever system is installed on your property, it is important that you understand the capabilities of the system. These are best identified and summarised in the preparation of a loading certificate. The loading certificate will enable you to understand the limitations or constraints of your system; however, the most important thing is to know your system type so that the right sort and frequency of maintenance can be carried out. This can simply be done through an inspection by a wastewater servicing specialist who will prepare the loading certificate.

LOADING CERTIFICATE

This should set out the following information:

- (a) System type (obtained from the as-built details provided by the designer/installer);
- (b) System capacity (number of persons and daily flow volume);
- (c) Summary of design criteria;
- (d) The location of and use of the 'reserve area';

It is also essential that if you have an advanced treatment and land application system subject to a maintenance contract, this contract is renewed annually.

DO YOU HAVE A SET OF USER GUIDELINES?

Your Regional, City or District Council is likely to have available a set of user guidelines for owner/occupiers of dwellings serviced by on-site wastewater systems. Such guidelines may be based on the provisions of the joint Australia New Zealand Standard AS/NZS 1547:2012 "On-site Domestic Wastewater Management", and will typically set out 'dos' and 'don'ts' related to household activities which generate wastewater flows (see box below).

USER ADVICE for a PROPERTY OWNER/OCCUPIER (from AS/NZS 1547:2012)

For the on-site system to work well, there are some good habits to encourage and some bad habits to avoid:

(a) To reduce sludge building up in the tank:

- (i) Scrape all dishes to remove fats, grease, and so on before washing
- (ii) Keep all possible solids out of the system
- (iii) Don't use a food waste disposal unit unless the wastewater system has been specifically designed to carry the extra load, and
- (iv) Don't put sanitary napkins and other hygiene products into the system;

(b) To keep the bacteria working in the tank and to maintain soil condition in the land application area:

- (i) Use biodegradable soaps
- (ii) Use a low-phosphorus detergent (less than 1 gram per wash – very good; “no phosphorus” labelled product – best)
- (iii) Use a low-sodium detergent in erosive or clayey soil areas (less than 20 grams per wash – OK; less than 10 grams per wash – best)
- (iv) Use detergents in the recommended quantities
- (v) Don't use powerful bleaches, whiteners, nappy soakers, spot removers and disinfectants
- (vi) Don't put chemicals or paint down the drain, and
- (vii) Check potential for effects from antibiotic and other medication use.

(c) Conservation of water will reduce the volume of effluent requiring disposal to the land application area, make it last longer and improve its performance. Conservation measures include:

- (i) Installation of water conservation fittings
- (ii) Taking showers instead of baths
- (iii) Washing clothes only when there is a full load, and
- (iv) Using the dishwasher only when there is a full load;

(d) Avoid overloading the system by spacing out water use as evenly as possible. For example:

- (i) Do not do all the washing on one day, and
- (ii) Do not run the washing machine and dishwasher at the same time.

MAINTENANCE INSPECTION REQUIREMENTS

Once you know the details and operating capacity of your on-site wastewater system then you can check out the maintenance inspection and servicing requirements from the table below. Note that your system will include a distribution device to convey the treated effluent to each element of your land application system so as to provide uniform use of the soil in further treating the wastewater flow.

Treatment System Type	Inspection and Maintenance Requirements
Older style septic tank	<ul style="list-style-type: none"> Pumpout at 3-year intervals Alternatively, check scum and sludge levels and pumpout on demand (around half full of scum and sludge)
Modern septic tank with effluent outlet filter	<ul style="list-style-type: none"> Check scum and sludge levels (2-yearly) and pumpout on demand (around 6 to 8 years) Check and hose down effluent outlet filter during pumpout
Aerobic treatment unit (aerated system)	<ul style="list-style-type: none"> Periodic effluent quality "sniff and look" inspection (6-months) Check power consumption (3-months) Carryout equipment service check at 6-months (as specified in the supplier/installer maintenance contract)
Septic tank/sand filter system	<ul style="list-style-type: none"> Periodic effluent quality "sniff and look" inspection (6-months) Confirm sand is draining satisfactorily and not clogging (12-months) Replace upper sand layer if draining slowly (as required) Carryout equipment service check at 6-months (as specified in the supplier/installer maintenance contract)
Packed bed reactor unit	<ul style="list-style-type: none"> Periodic effluent quality "sniff and look" inspection (6-months) Carryout equipment service check at 6-months (as specified in the supplier/installer maintenance contract)

Distribution System	Inspection and Maintenance Requirements
Gravity distribution box	<ul style="list-style-type: none"> Check distribution evenly balanced to all outlets (12-months) Remove any accumulated solids in base of box (12-months)
Flood load gravity dosing system	<ul style="list-style-type: none"> Check distribution is evenly balanced to all outlets (12-months) Remove any accumulated solids in base of dose chamber (12-months)
Siphon dosing system	<ul style="list-style-type: none"> Check siphon operation (ensure system not dribbling following 'shut-off') (6-months) Remove any accumulated solids in base of siphon chamber (6-

	months)
Pump chamber and manifold distribution to dosing lines	<ul style="list-style-type: none"> • Check pump start and stop level controllers (clean off grease and solids) (6-months) • Check pump power use (6-months) • Carryout equipment service check at 6-months (as specified in the supplier/installer maintenance contract)
Pump chamber and automatic sequencing valve distribution to dosing lines	<ul style="list-style-type: none"> • Check pump start and stop level controllers (clean off grease and solids) (6-months) • Check pump power use (6-months) • Check sequencing valve operation (6-months) • Carryout equipment service check at 6-months (as specified in the supplier/installer maintenance contract)

Land Application System Type	Inspection and Maintenance Requirements
Soakage trenches (or beds)	<ul style="list-style-type: none"> • Inspect soakage field area for signs of wetness, surface seepage and/or excess grass growth (6-months) • Check level of standing effluent in trenches using vent pipes for liquid depth observation (6-months) • Add extra trenches in reserve area if overload (wetness or flooded system) becomes apparent
ETS (evapo-transpiration seepage) beds (or trenches)	<ul style="list-style-type: none"> • Inspect space between ETS beds/trenches for signs of wetness, surface seepage and/or excess grass growth (12-months) • Trim grass and/or ET plantings to avoid rank overgrowth • Check level of standing effluent in beds/trenches using vent pipes for liquid depth observation (12-months) • Add extra beds/trenches in reserve area if overload (wetness or flooded system) becomes apparent
Mounds (for septic tank effluent)	<ul style="list-style-type: none"> • Inspect edges (toe) of mound for signs of wetness, surface seepage and/or excess grass growth (6-months) • Install and plant a 1 metre wide by 400mm deep topsoil layer around mound perimeter if toe seepage becomes apparent • Install extra mound in reserve area if toe seepage not managed by supplementary soil and ET plantings.
LPED (low pressure effluent distribution) irrigation field	<ul style="list-style-type: none"> • Inspect soakage field area for signs of wetness, surface seepage and/or excess grass growth (6-months) • Trim grass and/or ET plantings to avoid rank overgrowth • Check level of standing effluent in LPED trenches using vent pipes (6-months) • Add extra LPED trenches in reserve area if overload (wetness or flooded system) becomes apparent
Drip irrigation field	<ul style="list-style-type: none"> • Inspect irrigation field area for signs of wetness, surface seepage and/or excess grass growth (6-months) • Trim grass and/or ET plantings to avoid rank overgrowth • Check air release valves are operating effectively (6-months) • Operate irrigation line flush valves (6-months) • Add extra drip lines in reserve area if overload (wetness or flooded system) becomes apparent • Carryout service check at 6-months (as specified in the

	supplier/installer maintenance contract)
<p>NOTE: Where your wastewater system is subject to a resource consent from your Regional Council, you should note and follow the maintenance conditions imposed by the consent.</p>	

DIY MAINTENANCE TASKS

As homeowner (or occupier) there are several inspection and maintenance tasks which you can carry out yourself. However, you must remember at all times that you are dealing with unsanitary waste material which may potentially be infectious, and hence in handling equipment and effluent samples you must take adequate precautions to prevent contamination of yourself and your equipment.

The following simple tasks involve a commonsense approach to on-site wastewater system homeowner/occupier DIY inspection and maintenance requirements (see tables above).

- ☐ Check septic tank scum and sludge levels (organise pumpout if required).
- ☐ Check drainage lines for evidence of 'backup' (slow draining).
- ☐ If backup due to outlet filter blockage, lift and hose down filter into septic tank.
- ☐ Check distribution box for even distribution of flow to trenches.
- ☐ Inspect land application system (trenches, beds, mounds, LPED and drip irrigation fields) for signs of wetness, seepage, excess grass growth.
- ☐ Carry out "sniff and look" assessment of advanced treatment plant effluent quality (if a glass container full of effluent does not appear cloudy, and smells only slightly musty and not offensive, effluent quality is good).
- ☐ Check treatment unit and pumping system power consumption (if increases over time, need system check by servicing personnel).
- ☐ Check operation of irrigation line flush valves.
- ☐ If need be, call in drainage contractor, servicing specialist or maintenance contract service provider to undertake servicing and/or remedial works.



Healthy worm activity in septic tank scum layer



Septic tank pumpout



Backup to gully trap from clogged tank



Lifting and hosing down effluent outlet filter



Distribution box



Automatic sequencing valve

SERVICING AGENT MAINTENANCE TASKS

If you as owner/occupier wish to have no role in maintaining your system, this is fine, but you will need to engage a drainage contractor, servicing specialist or maintenance contract service provider to undertake servicing and/or remedial works.

Even if you do carry out DIY maintenance tasks as outlined above engaging servicing personnel will be essential to carrying out mechanical and electrical servicing as well as specialist servicing tasks such as effluent quality sampling and testing. In addition, servicing specialists are best fitted to undertake tasks such as:

- ☐ Checking scum and sludge levels in tanks.
- ☐ Lifting and hosing down effluent outlet filters.
- ☐ Checking distribution effectiveness from distribution boxes and automatic sequencing valves.
- ☐ Checking power consumption and adjusting treatment plant controls and pumping cycles to achieve better efficiency.
- ☐ Checking distribution effectiveness and flushing drip irrigation lines.
- ☐ Undertaking remedial works and system extensions.

MAINTENANCE CERTIFICATE

Where a specialist servicing check is undertaken, including servicing under a maintenance contract, you should be provided with a maintenance certificate (see box below). This certificate should be filed away and provided as required to your District or Regional Council as proof of maintenance. This requirement may be a consent condition.

A maintenance certificate shall include (from AS/NZS 1547:2012)

- (a) Certification by a qualified and experienced person that the on-site system is operating and performing effectively;
- (b) A note of any specific operation and maintenance attention which is due;
- (c) Identification of any operation and maintenance problems, their likely cause and recommended remedial action;
- (d) Any evidence of system capacity being exceeded or likely to be exceeded (for example, by extra residents, or by holiday period occupiers);

CONTACT DETAILS FOR ADVICE AND SERVICE

To find a wastewater servicing specialist, contact your local council, septic tank pumpout contractor, treatment plant supplier or plumbing/drainlaying company. Enter contact details/phone numbers in the boxes below of those persons whom you may need to call on at some stage to gain advice on issues related to operation, inspection and maintenance of your on-site wastewater system

System Designer

Council On-site Wastewater Officer

Maintenance Contract Servicing Agent

Local Drainage Contractor

Acknowledgements – Illustrations:

- Marlborough District Council
- US EPA Educational Materials
- Reflection Treatment Systems Ltd
- Ministry for the Environment
- Super-Treat NZ Ltd
- On-Site NewZ
- North Dakota State University
- InspectAPedia
- Southeast Septic, USA
- Dola Transport, USA

Appendix G: Borehole Logs

PO Box 89, 0245
6 Fairway Drive
Kerikeri, 0230
New Zealand



Phone 09 407 8327
Fax 09 407 8378
www.haighworkman.co.nz
info@haighworkman.co.nz

Borehole Log - BH06,WW

Hole Location: Refer to Site Plan

JOB No. 25 055

CLIENT: Bevan Dwight
Date Started: 14/03/2025
Date Completed: 14/03/2025
SITE: 1213B Bulls Road, Kerikeri
DRILLING METHOD: Hand Auger
HOLE DIAMETER (mm): 50mm
LOGGED BY: PS
CHECKED BY: WT

Soil Description Based on NZGS Logging Guidelines 2005	Depth (m)	Geology	Graphic Log	Water Level	Sensitivity	Vane Shear and Remoulded Vane Shear Strengths (kPa)	Scala Penetrometer (blows/100mm)
0.0m: TOPSOIL, dark brown, moist	0.0						0 5 10 15 20
0.25m: clayey SILT, light grey with light brown streaks and occasional dark brown and orange mottles, low plastic, moist [Fill]		Fill					
0.5m: TOPSOIL, dark brown, moist, presence of rootlets	0.5	T.S.					
0.7m: silty CLAY, light brown with white bands and orange mottles, medium plastic, moist [Waipapa Group]		W.G.					
End of bore - 1.0 m (hard material encountered)	1.0						
	1.5						
	2.0						
	2.5						
	3.0						
	3.5						
	4.0						
	4.5						

LEGEND



Note: UTP = Unable to penetrate. T.S. = Topsoil.

Scala penetrometer testing not undertaken.

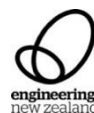
Corrected shear vane reading	
Remoulded shear vane reading	
Scala Penetrometer	

Appendix H: Producer Statement PS1

PRODUCER STATEMENT – PS1 DESIGN



association of
consulting and
engineering



Building Code Clause(s):	G13	Job number: 25 055
ISSUED BY: <i>(Engineering Design Firm)</i>	Haigh Workman Limited	
TO: <i>(Client)</i>	Bevan Dwight	
TO BE SUPPLIED TO: <i>(Building Consent Authority)</i>	Far North District Council	
IN RESPECT OF: <i>(Description of building work)</i>	Onsite Wastewater System	
AT: <i>(Address)</i>	1213B Bulls Road, Kerikeri 0293	
LEGAL DESCRIPTION	Lot 2 DP 202589	

We have been engaged by Bevan Dwight to provide:

the design of an on-site wastewater disposal system

in respect of the requirements of the Clause(s) of the Building Code specified above for all of the proposed building work.

The design carried out by Haigh Workman Limited has been prepared in accordance with:

- ✓ compliance documents issued by the Ministry of Business, Innovation & Employment (Verification method /acceptable solution): AS/NZS 1547:2012

The proposed building work covered by this producer statement is described in the drawings specified in the attached Schedule, together with the specification, and other documents set out in the attached Schedule.

On behalf of Haigh Workman Limited, and subject to:

- all proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that:

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached Schedule, will comply with the relevant provisions of the Building Code specified above; and that
- the persons who have undertaken the design have the necessary competence to do so.

I recommend the CM1 level of construction monitoring.

I, John Papesch, am:

- CPEng number 224301
- and hold the following qualifications: B.E., CMEngNZ, IntPE(NZ)

Haigh Workman Limited holds a current policy of Professional Indemnity Insurance no less than \$200,000.

Job Number: 25 055

Job Address: 1213B Bulls Road, Kerikeri 0293

Compilation Date and Time: 07 May 2025 at 12:06 pm

PS1 - DESIGN – JANUARY 2024 (REV 01)

PAGE 1 OF 4

✓

Haigh Workman Limited is a member of ACE New Zealand.

SIGNED BY:

John Papesch

(Signature):



Date: 12/5/2025

ON BEHALF OF:

Haigh Workman Limited

Note: This statement has been prepared solely for Far North District Council and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to Haigh Workman Limited only. As a condition of reliance on this statement, Far North District Council accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to Far North District Council in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000.

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

SCHEDULE TO PS1

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

- Onsite Wastewater Design Report (Haigh Workman), May 2025, Ref. 25 055

GUIDANCE ON USE OF PRODUCER STATEMENTS

Information on the use of Producer Statements and Construction Monitoring Guidelines can be found on either the [ACE New Zealand](#) or [Engineering New Zealand](#) websites.

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects (NZIA), Institution of Professional Engineers New Zealand (now Engineering New Zealand), Association of Consulting and Engineering New Zealand (ACE NZ) in consultation with the Building Officials Institute of New Zealand (BOINZ). The original suite of producer statements has been revised at the date of this form to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with part of the reasonable grounds necessary for the issue of a Building Consent or a Code Compliance Certificate, without necessarily having to duplicate review of design or construction monitoring undertaken by others.

PS1 DESIGN: Intended for use by a suitably qualified independent engineering design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 DESIGN REVIEW: Intended for use by a suitably qualified independent engineering design review professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 CONSTRUCTION: Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 20112

PS4 CONSTRUCTION REVIEW: Intended for use by a suitably qualified independent engineering construction monitoring professional who either undertakes or supervises construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACE New Zealand and Engineering New Zealand to interpret the Producer Statement.

Competence of Engineering Professional

This statement is made by an engineering firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its personnel.

The person signing the Producer Statement on behalf of the engineering firm will have a professional qualification and proven current competence through registration on a national competence-based register such as a Chartered Professional Engineer (CPEng).

Membership of a professional body, such as Engineering New Zealand provides additional assurance of the designer's standing within the profession. If the engineering firm is a member of ACE New Zealand, this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent engineering professional".

Professional Indemnity Insurance

As part of membership requirements, ACE New Zealand requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard practice for the relationship between the BCA and the engineering firm.

Professional Services during Construction Phase

There are several levels of service that an engineering firm may provide during the construction phase of a project (CM1-CM5 for engineers3).

The BCA is encouraged to require that the service to be provided by the engineering firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

BCAs should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued. No design professional should be expected to provide a producer statement unless such a requirement forms part of Haigh Workman Limited's engagement.

Refer Also:

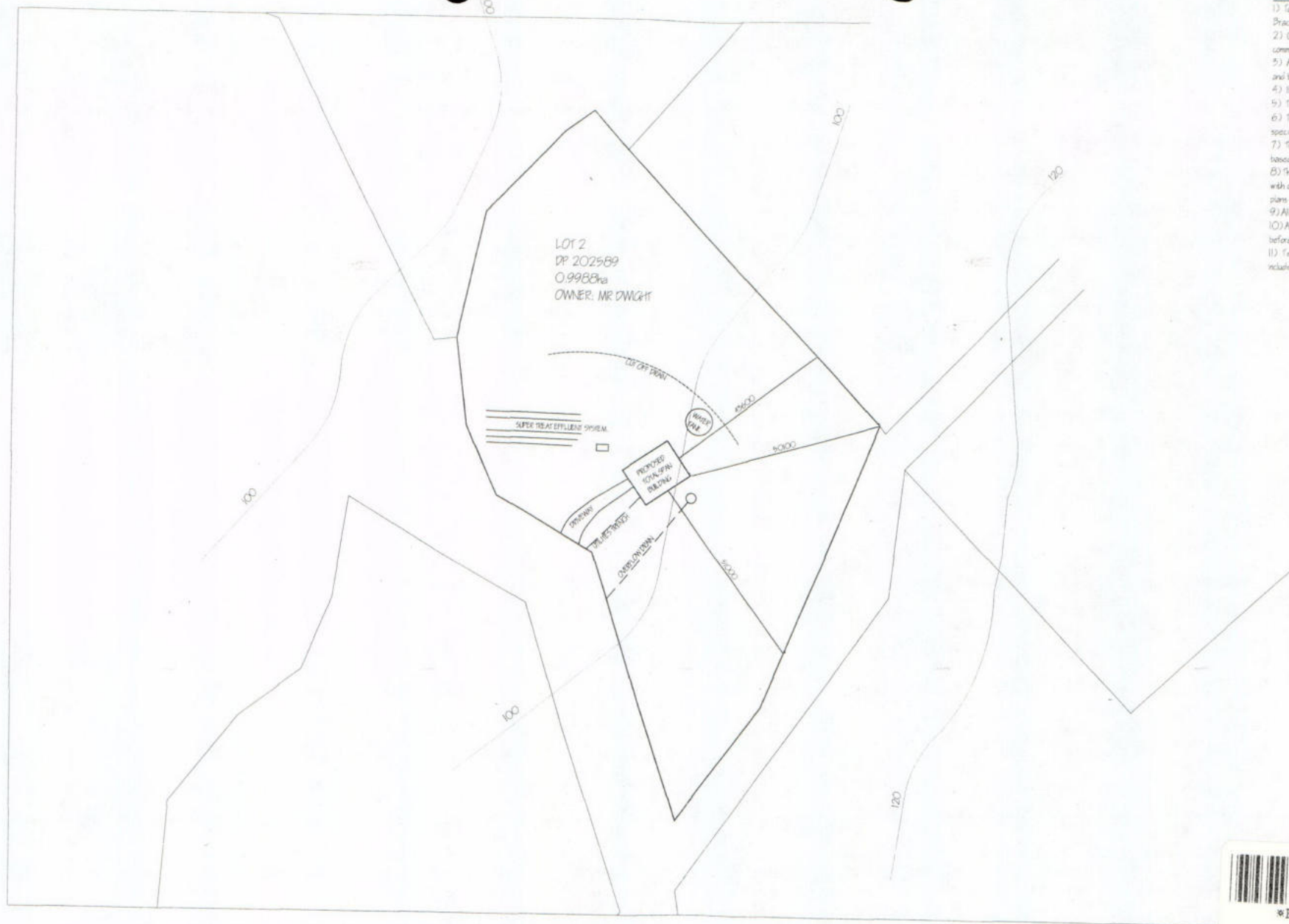
- 1 Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- 2 NZIA Standard Conditions of Contract SCC 2011
- 3 Guideline on the Briefing & Engagement for Consulting Engineering Services (ACE New Zealand/Engineering New Zealand 2004)
- 4 PN01 Guidelines on Producer Statements

www.acenz.org.nz

www.engineeringnz.org

NOTES

- 1) To be read in conjunction with Total Span Practice & Construction Details and Specifications.
- 2) Check all dimensions and grades before work commences.
- 3) All work to comply with NZS 3604:1999 and the New Zealand Building code.
- 4) If in doubt, ask!
- 5) These notes apply to all sheets.
- 6) These plans are to be read in conjunction with specifications.
- 7) The formation level of the foundations is to be based on a safe bearing capacity of 100 kPa.
- 8) These plans are drawn in strict accordance with owners instructions, any variation to these plans requires verification.
- 9) All cladding to comply with NZS 4225 part 3.
- 10) All joinery and flashings are to be in place before cladding is installed.
- 11) Timber to be H3.1 or greater in wet areas, including window sills.



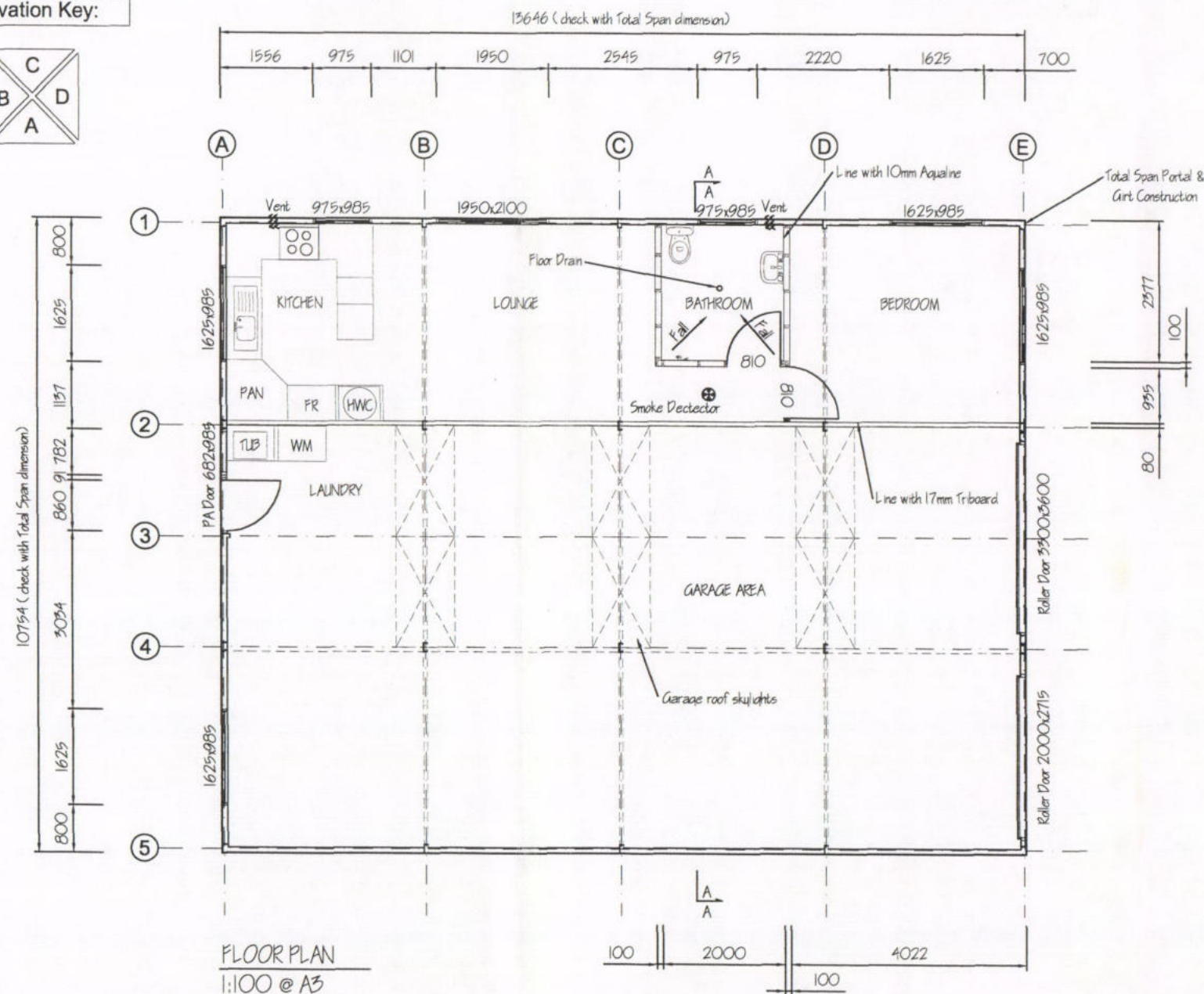
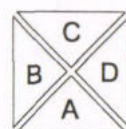
BCPLA

NOTES

- 1) To be read in conjunction with Total Span Bracing & Construction Details and Specifications.
- 2) Check all dimensions and grades before work commences
- 3) All work to comply with NZS 3604 1999 and the New Zealand Building code
- 4) If in doubt ask!
- 5) These notes apply to all sheets
- 6) These plans are to be read in conjunction with specifications
- 7) The formation level of the foundations is to be based on a safe bearing capacity of 100 KPa
- 8) These plans are drawn in strict accordance with owners instructions, any variation to these plans requires verification.
- 9) All glazing to comply with NZS4223 part 3
- 10) All joinery and flashings are to be in place before cladding is installed
- 11) Timber to be H3.1 or greater in wet areas, including window sills.

**Far North District
Council
Received**

Elevation Key:



Duffill Watts ARCHITECTURE

Client

Total Span

Project

Heritage Barn
Mr Dwight

Sheet Title

Floor Plan

Job No.

102507/03

Sheet No.

A10

Revision

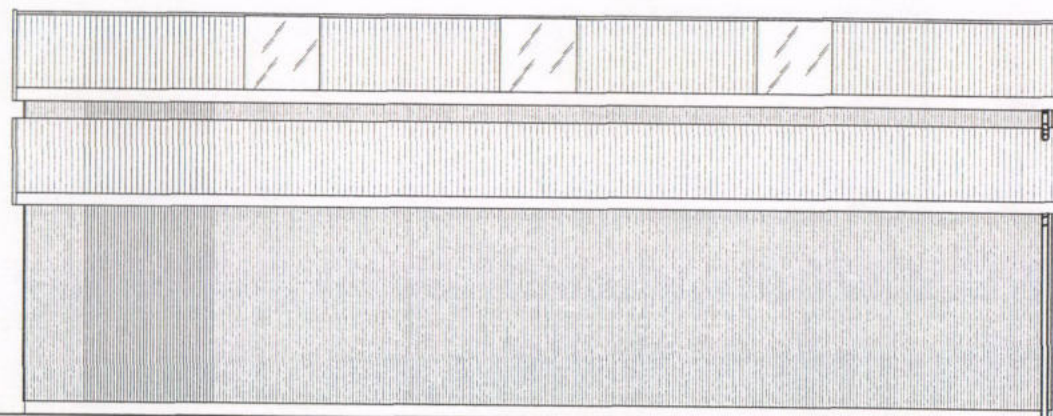
A

Duffill Watts Architecture
Kerikeri Office
21 Hobson Avenue
P.O. Box 480
Kerikeri

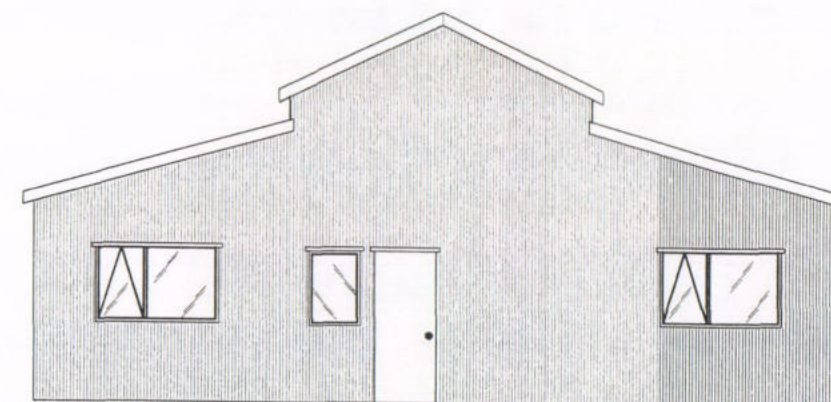
Tel: 09 407 9332
Fax: 09 407 7812
E-mail: dww.kerikeri@duffillwatts.com
Web: www.duffillwatts.com

Designed	BvV	Date	07/06
Drawn	J.C.	Date	07/06
Checked	B	Date	8/06
Approved			
Scale	1:100		
Ref	102507-01 A10.dwg		

- NOTES**
- 1) To be read in conjunction with Total Span Bracing & Construction Details and Specifications.
 - 2) Check all dimensions and grades before work commences
 - 3) All work to comply with NZS 3604:1999 and the New Zealand Building code
 - 4) If in doubt ask!
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 - 6) These plans are to be read in conjunction with specifications
 - 7) The formation level of the foundations is to be based on a safe bearing capacity of 100 KPa
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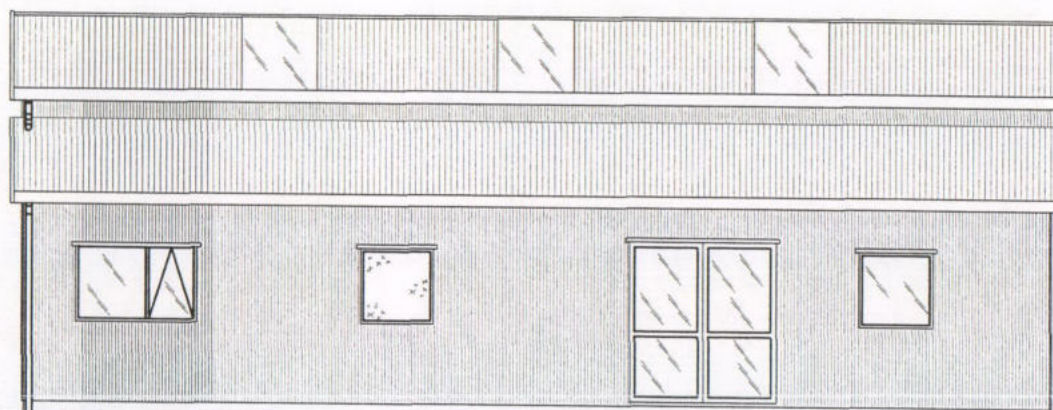


ELEVATION - A
1:100 @ A3

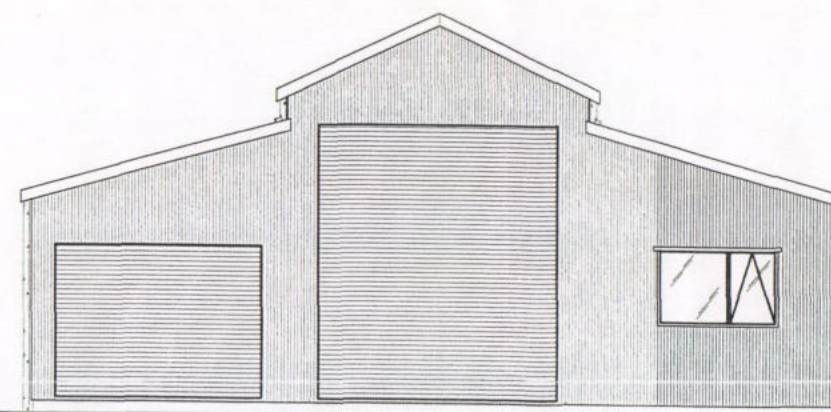


ELEVATION - B
1:100 @ A3

**Far North District
Council
Received**



ELEVATION - C
1:100 @ A3

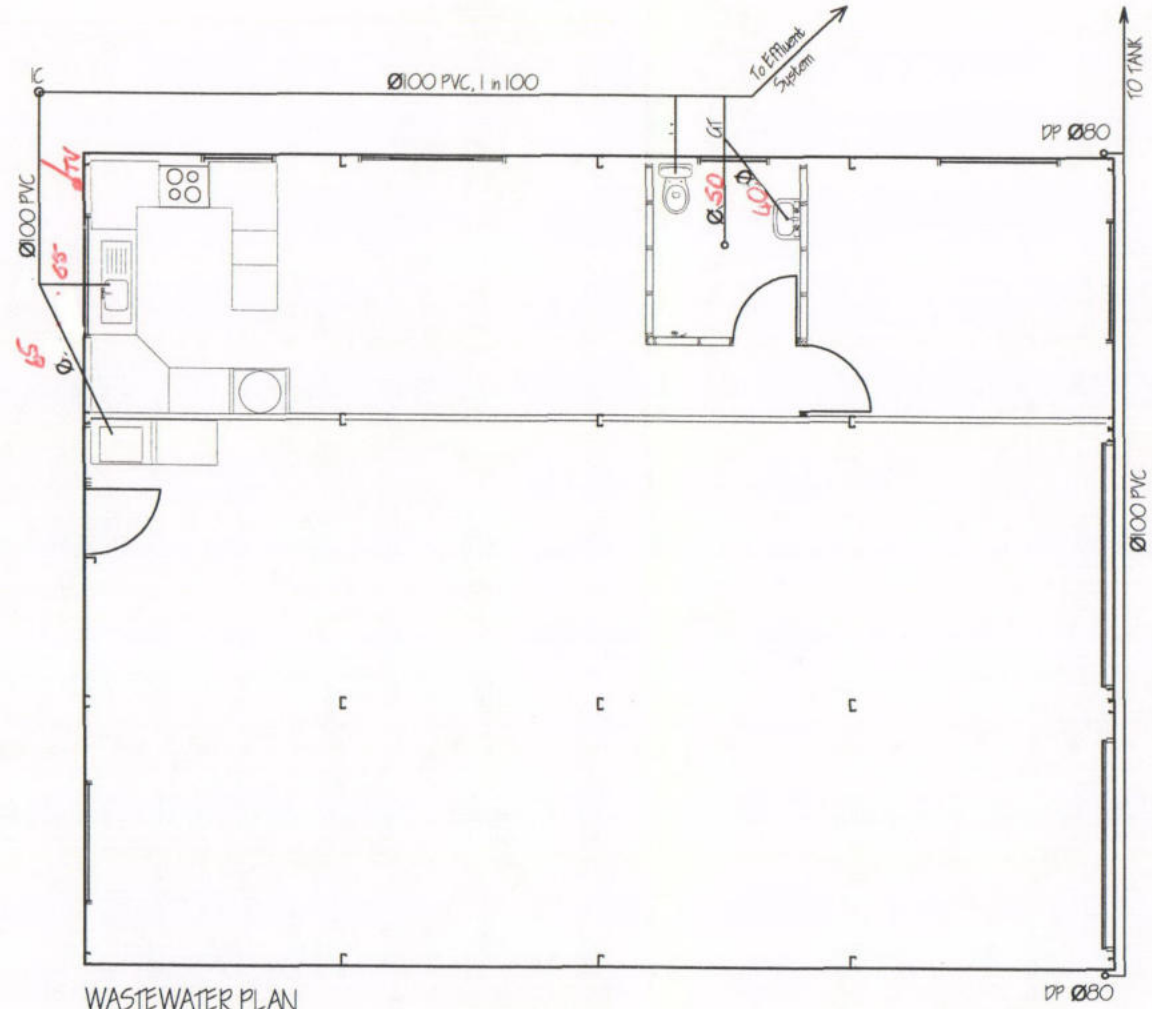
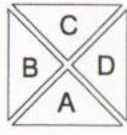


ELEVATION - D
1:100 @ A3



- NOTES**
- 1) To be read in conjunction with Total Span Bracing & Construction Details and Specifications.
 - 2) Check all dimensions and grades before work commences.
 - 3) All work to comply with NZS 3604:1999 and the New Zealand Building code.
 - 4) If in doubt ask!
 - 5) These notes apply to all sheets.
 - 6) These plans are to be read in conjunction with specifications.
 - 7) The formation level of the foundations is to be based on a safe bearing capacity of 100 KPa.
 - 8) These plans are drawn in strict accordance with owners instructions, any variation to these plans requires verification.
 - 9) All glazing to comply with NZS4223 part 3.
 - 10) All joinery and flashings are to be in place before cladding is installed.
 - 11) Timber to be H3.1 or greater in wet areas, including window sills.

Far North District
Council
Received

Elevation Key:



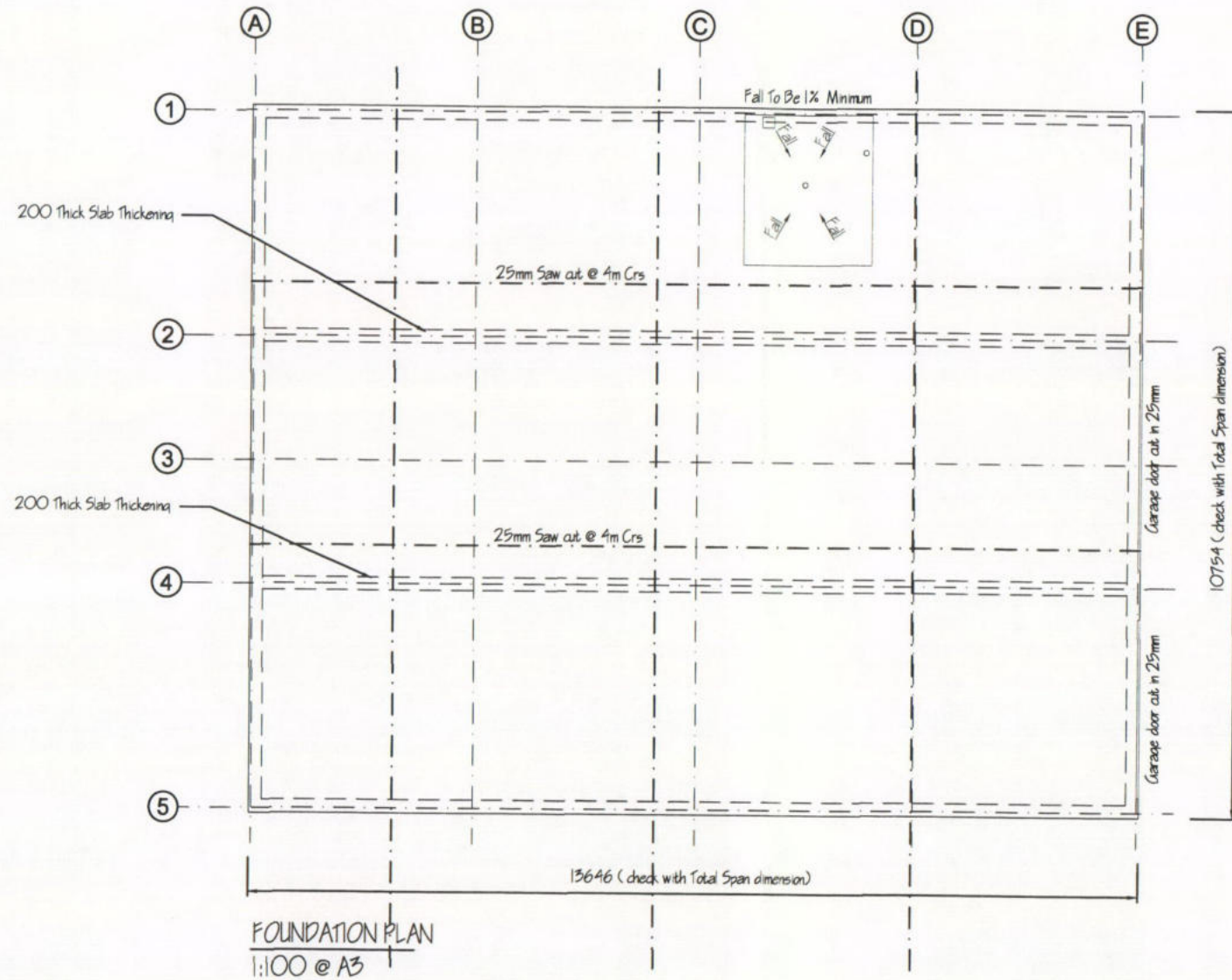
WASTEWATER PLAN
1:100 @ A3

Client	Project	Sheet Title	Job No.	Sheet No.	Revision	Designed	By/V	Date
Total Span	Heritage Barn Mr Dwight	WasteWater Plan	102507/03	A12	A	Drawn	J C	07/06
						Checked		
			Duffill Watts Architecture Kenken Office 21 Hobson Avenue P O Box 480 Kenken	Tel: 09 407 9332 Fax: 09 407 7812 E-mail: dwi.kenken@duffillwatts.com Web: www.duffillwatts.com	Approved			
					Scale	1:100		
					Ref	102507-01 A10.dwg		

NOTES

- 1) To be read in conjunction with Total Span Bracing & Construction Details and Specifications.
- 2) Check all dimensions and grades before work commences
- 3) All work to comply with NZS 3604 1999 and the New Zealand Building code
- 4) If in doubt ask!
- 5) These notes apply to all sheets
- 6) These plans are to be read in conjunction with specifications
- 7) The formation level of the foundations is to be based on a safe bearing capacity of 100 KPa
- 8) These plans are drawn in strict accordance with owners instructions, any variation to these plans requires verification.
- 9) All glazing to comply with NZS4223 part 3
- 10) All joinery and flashings are to be in place before cladding is installed
- 11) Timber to be H3.1 or greater in wet areas, including window sills.
- 12) Concrete to total span specifications.
 - Minimum 20MPa strength
 - 30mm Top cover for M665 Mesh
 - 25 micron DPC
 - 25mm Sand blinding
 - Minimum 100mm compacted hardfill

Far North District
Council
Received



Duffill Watts ARCHITECTURE

Client

Total Span

Project

Heritage Barn
Mr Dwight

Sheet Title

Foundation Plan

Job No.

102507/03

Sheet No.

A13

Revision

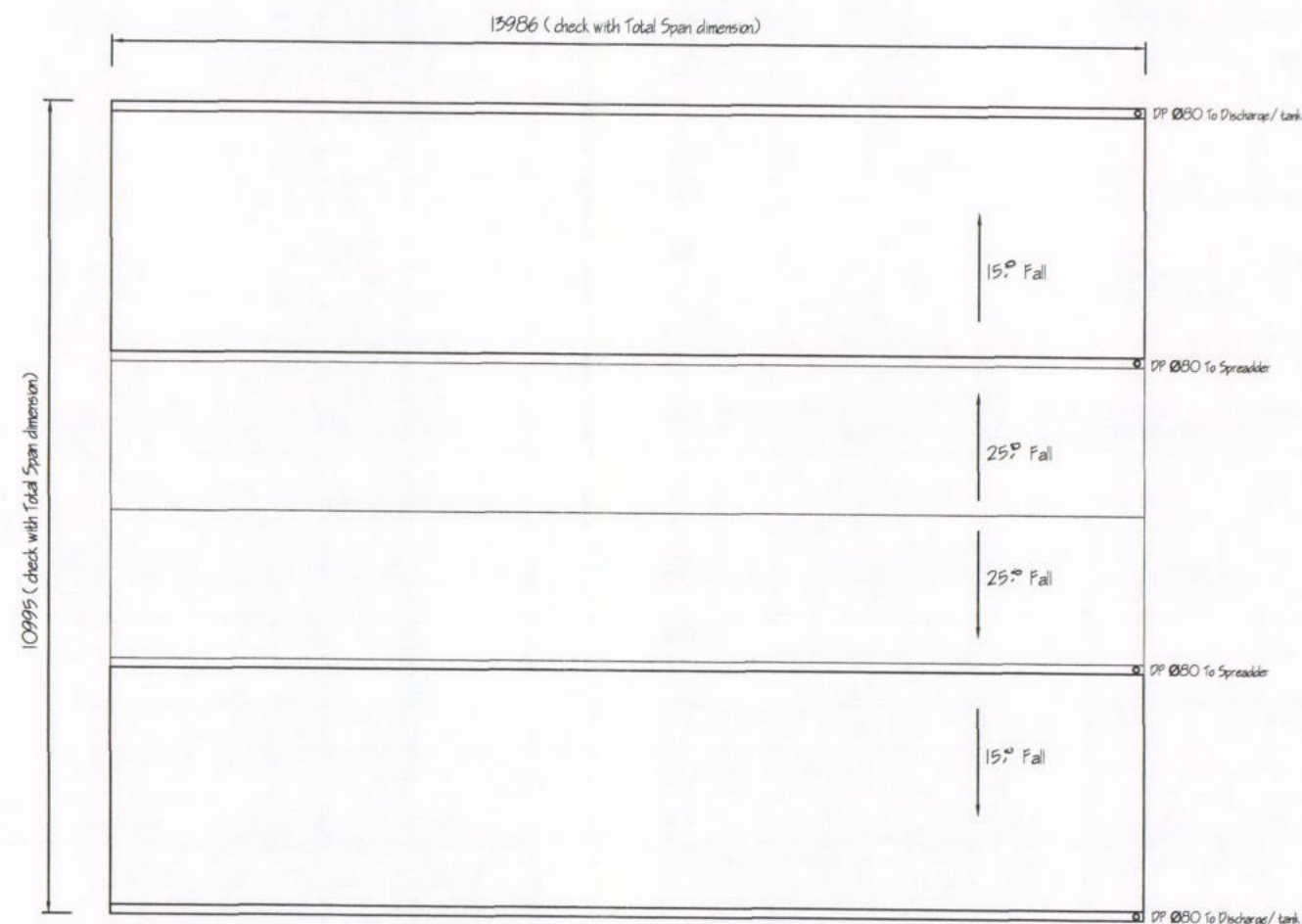
B

Duffill Watts Architecture
Kerikeri Office
21 Hobson Avenue
P O Box 480
Kerikeri

Tel: 09 407 9332
Fax: 09 407 7812
E-mail: dwk.kerikeri@duffillwatts.com
Web: www.duffillwatts.com

Designed	ByV	Date	07/06
Drawn	J.C.	Date	07/06
Checked			
Approved			
Scale	1:100		
Ref	102507-01 A10.dwg		

Far North District
Council
Received



ROOF PLAN
1:100 @ A3



Duffill Watts ARCHITECTURE

Client

Total Span

Project

Heritage Barn
Mr Dwight

Sheet Title

Roof Plan

Job No.

102507/03

Sheet No.

A14

Revision

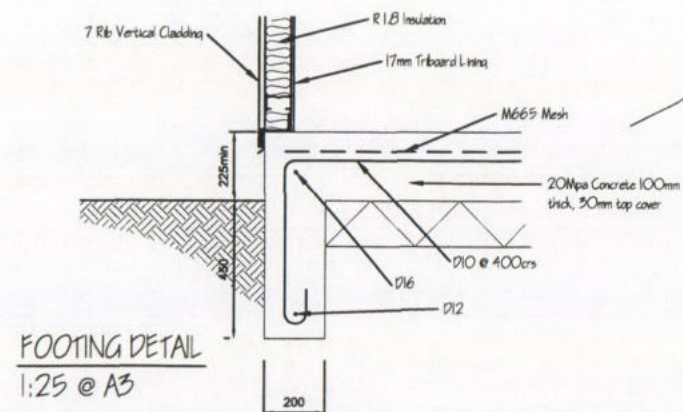
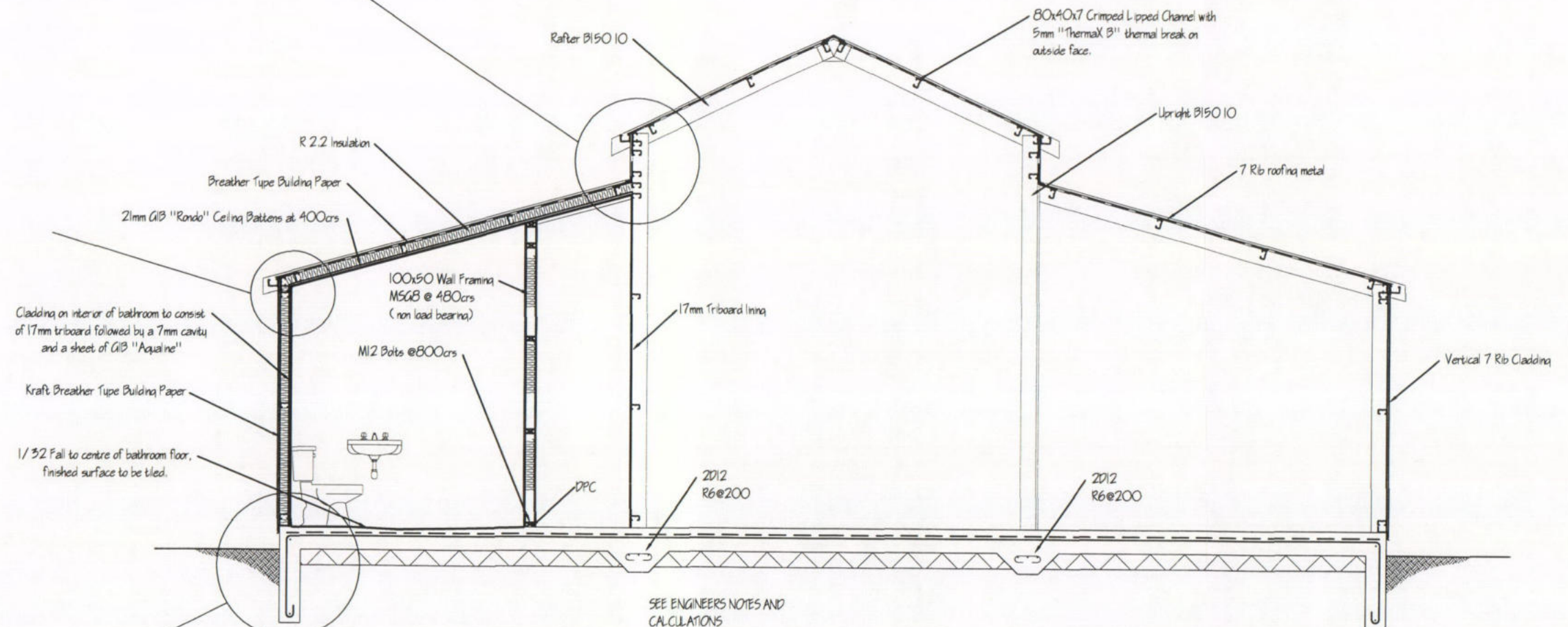
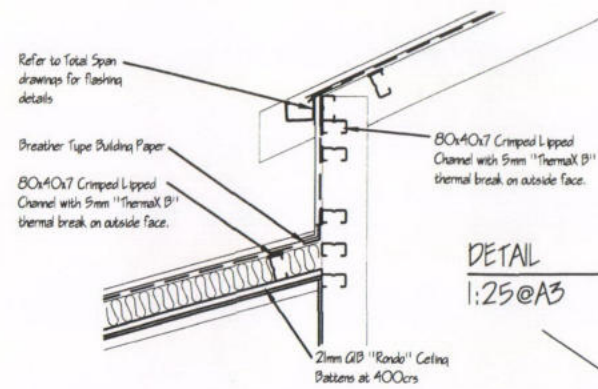
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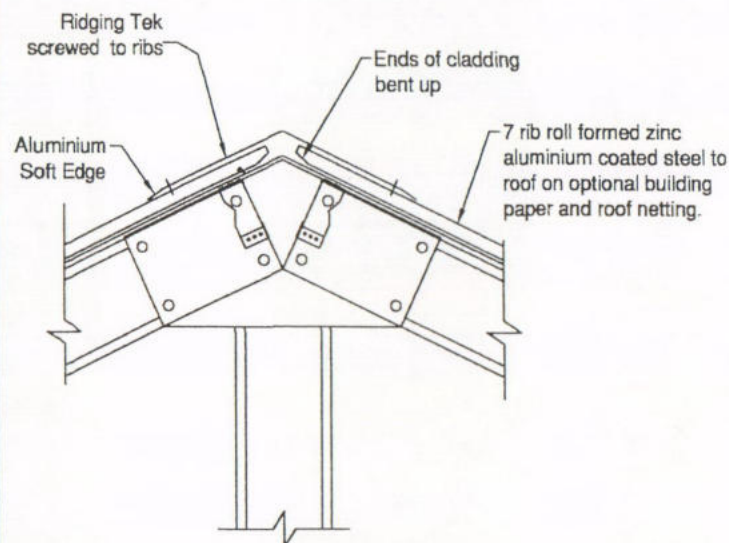
Duffill Watts Architecture
Kenikeri Office
21 Hobson Avenue
P O Box 480
Kenikeri

Tel: 09 407 9332
Fax: 09 407 7812
E-mail: dwl.kenikeri@duffillwatts.com
Web: www.duffillwatts.com

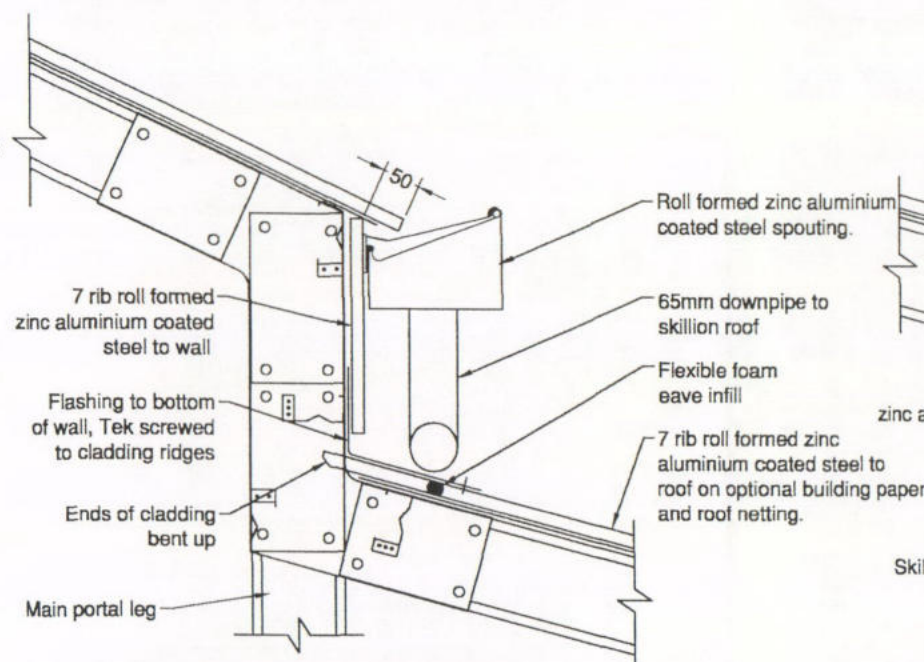
Designed	BvV	Date	07/06
Drawn	J C	Date	07/06
Checked	RS	Date	3/06
Approved			
Scale	1:100		
Ref	102507-01 A10.dwg		

Far North District
Council
Received

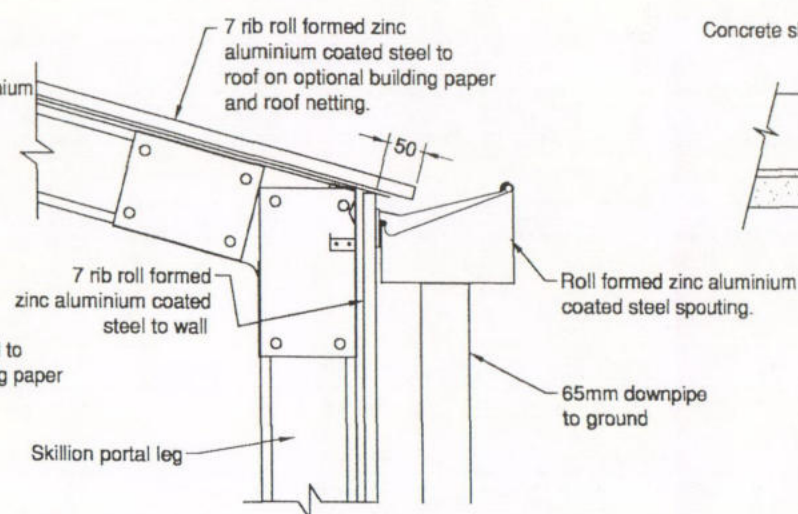




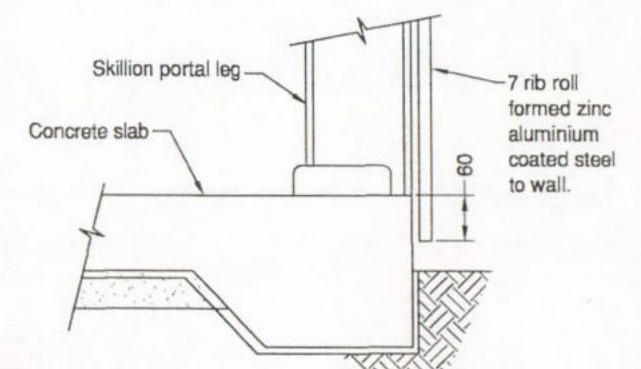
RIDGE FLASHING DETAIL



UPPER ROOF EAVE DETAIL & APRON FLASHING AT SKILLION ROOF

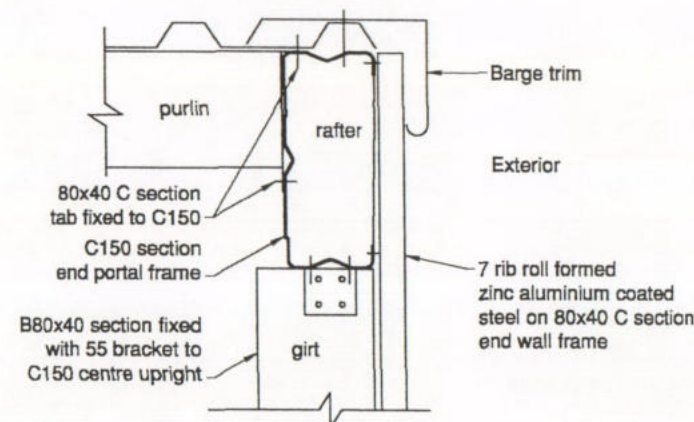


SKILLION ROOF EAVE DETAIL

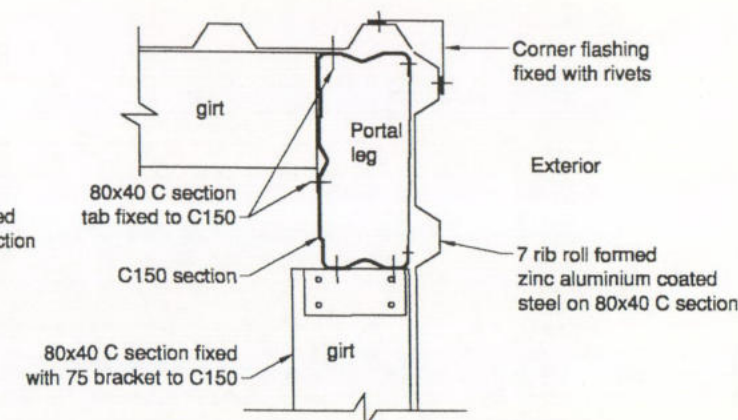


WALL BASE DETAIL

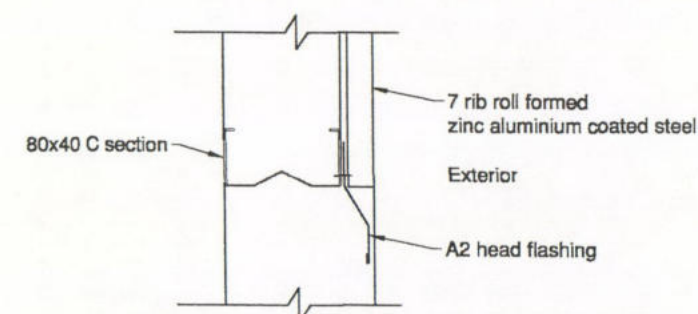
**Far North District
Council
Received**



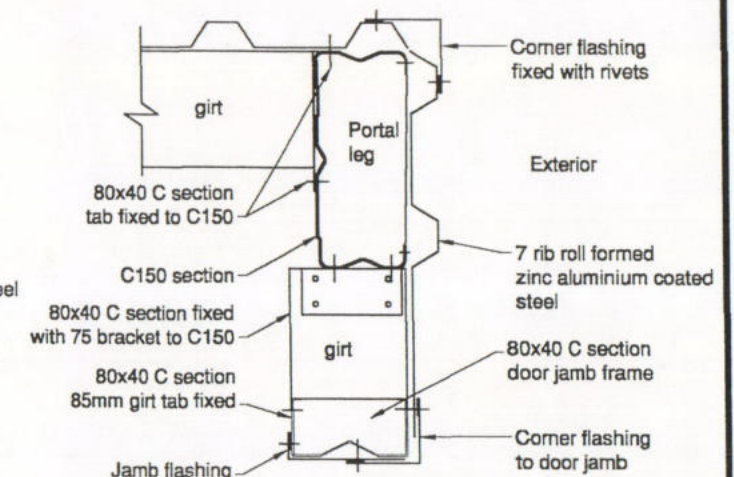
BARGE FLASHING DETAIL



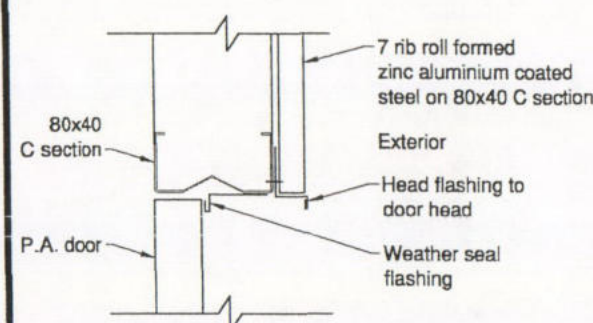
EXTERNAL CORNER FLASHING DETAIL



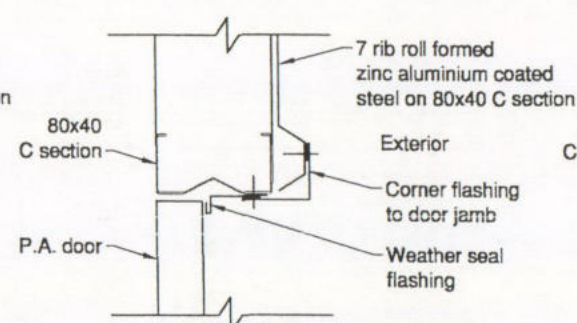
ROLLER DOOR HEAD DETAIL



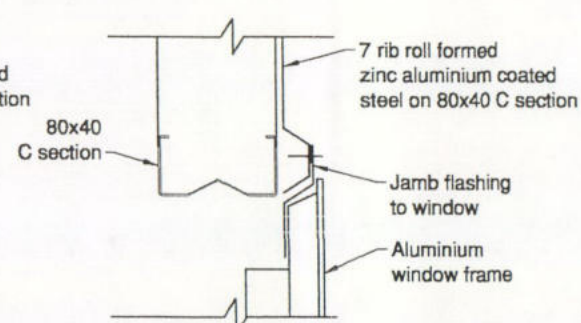
ROLLER DOOR JAMB DETAIL



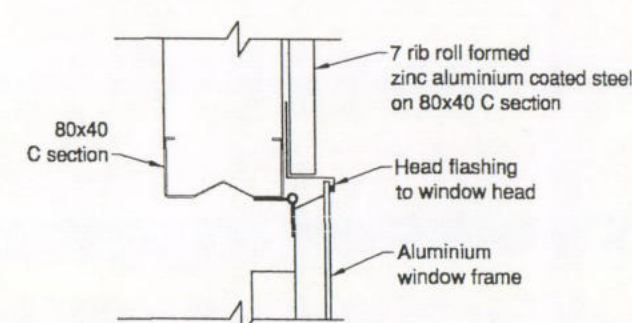
P.A. DOOR HEAD DETAIL



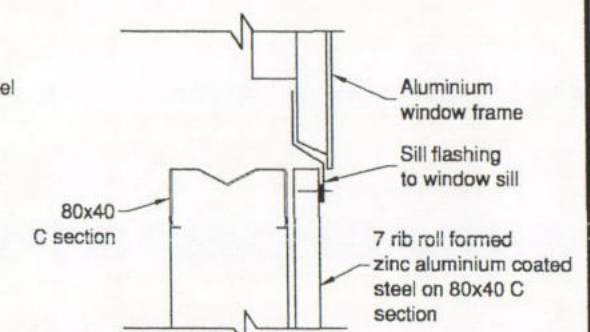
P.A. DOOR JAMB DETAIL



WINDOW JAMB DETAIL



WINDOW HEAD DETAIL



WINDOW SILL DETAIL

FREDERICK R SMITH
Chartered Consulting Engineer
504 Blenheim Road
Christchurch, NZ
Phone +64 03 348 1521

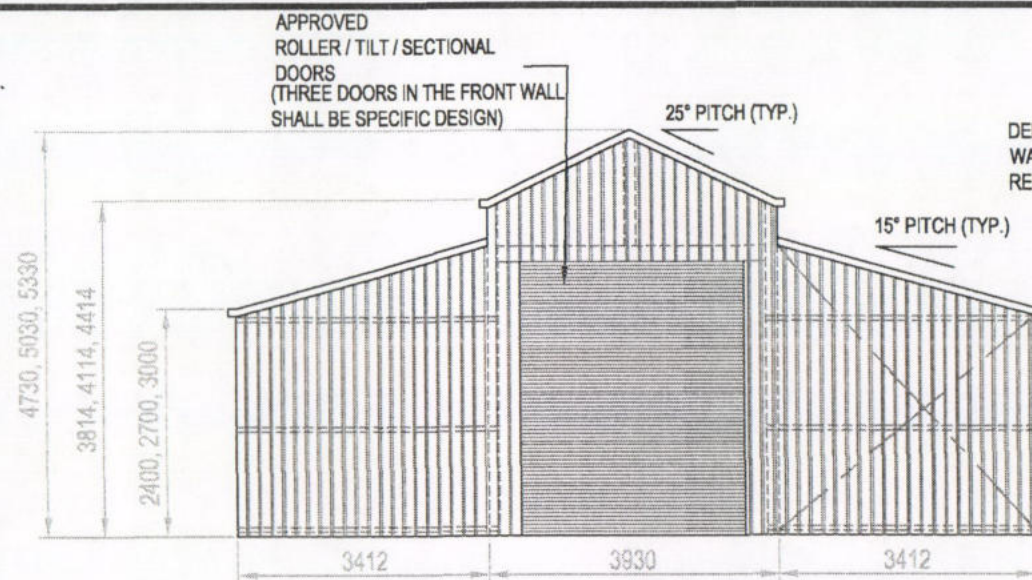
TOTALSPAN BUILDINGS
A Division of VERSATILE BUILDINGS LTD
112 Waterloo Road, Hornby
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

HERITAGE BARN
STEEL FRAMED
BUILDINGS

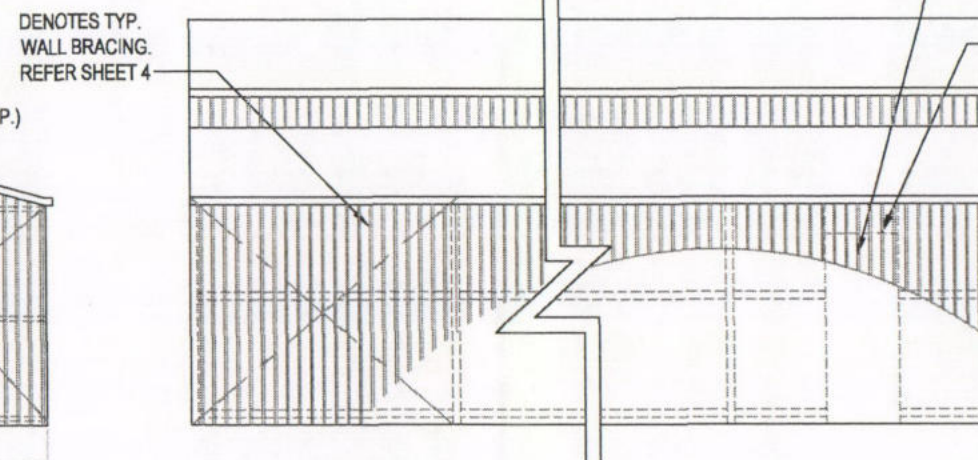
FLASHING DETAILS

JOB No.	
DRAWING No.	HB FLASHING
REVISION SUFFIX	
A	

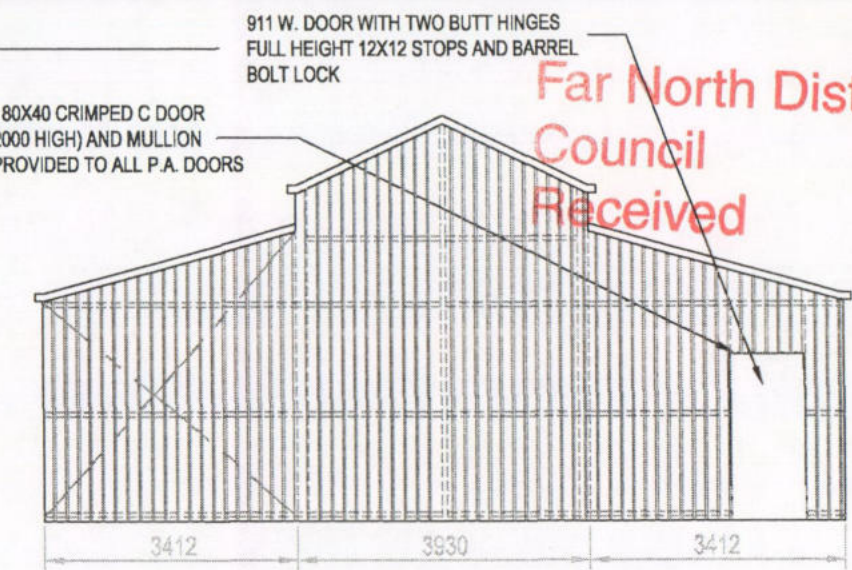
Revised - A: Apr 08



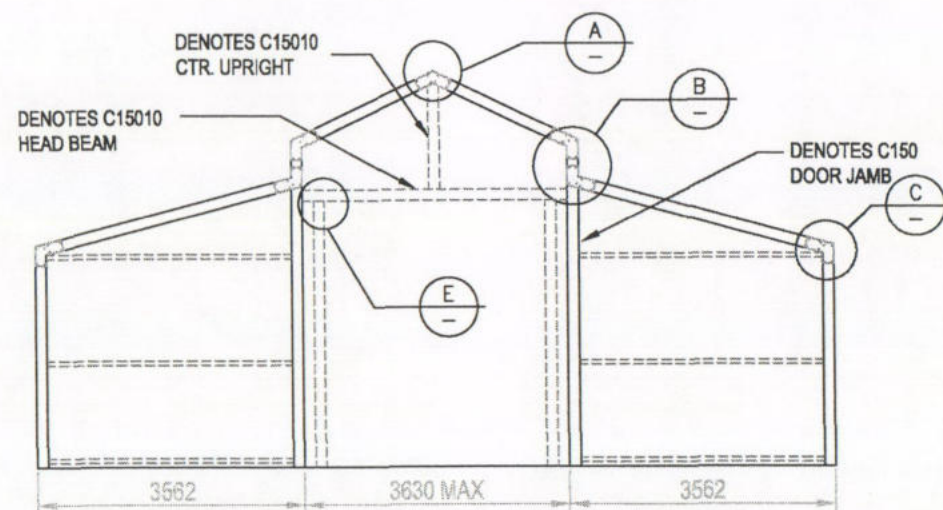
FRONT WALL ELEVATION - 1:100



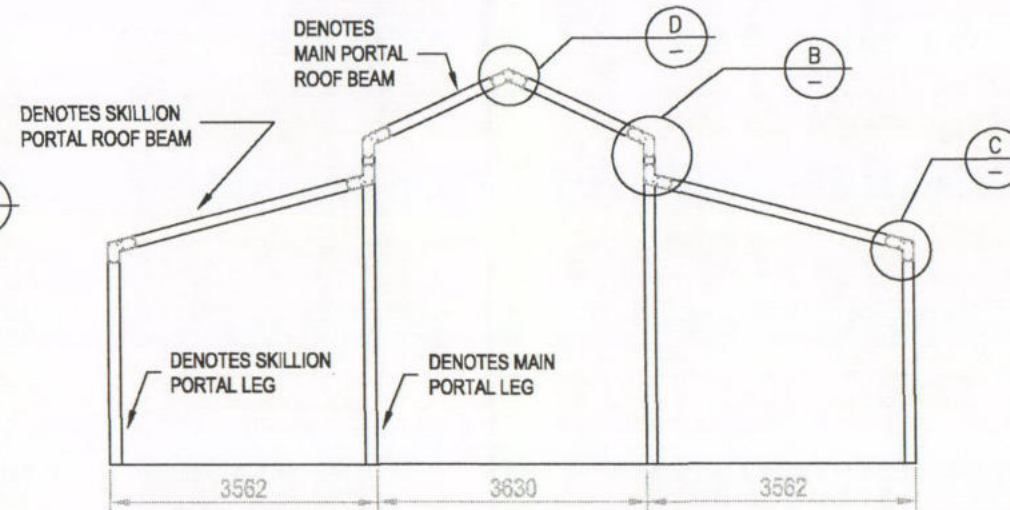
TYPICAL SIDE WALL ELEVATION - 1:100



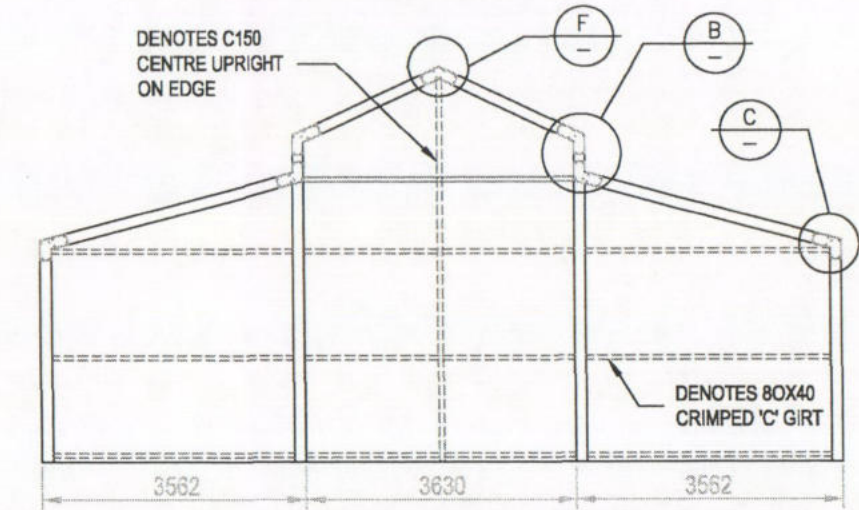
END WALL ELEVATION - 1:100



FRONT FRAME ELEVATION - 1:100



INTERNAL FRAME ELEVATION - 1:100



END FRAME ELEVATION - 1:100

FRONT PORTAL FRAME SIZES

- LEG & ROOF BEAM - SEE END PORTAL SIZES
7-14m L
 - DOOR JAMB, HEAD BEAM & CENTRE UPRIGHT USE:
- | | |
|---------|---------|
| 2.4mH : | *C15010 |
| 2.7mH : | *C15010 |
| 3.0mH : | *C15010 |
- *DENOTES FULL LENGTH BOXING

GIRT LAYOUT

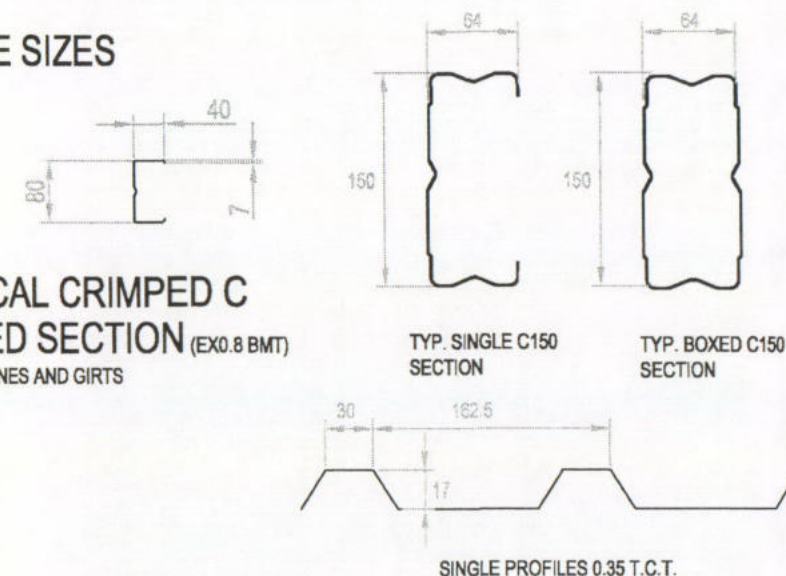
- GIRT LAYOUT ON END WALLS SIMILAR TO SIDE WALLS
 - ALL GIRTS 80x40 CRIMPED C'S
 - NUMBER OF GIRTS INCLUDES EAVE GIRT / PURLINE
- a) SKILLION PORTAL BAY/SIDE WALL BAY
- | | |
|---------|--------------------------|
| 2.4mH : | 3 GIRTS |
| 2.7mH : | 3 GIRTS |
| 3.0mH : | 3 GIRTS CENTRE ONE BOXED |
- b) MAIN ENDPORTAL BAY:
- | | |
|---------|---------|
| 2.4mH : | 4 GIRTS |
| 2.7mH : | 4 GIRTS |
| 3.0mH : | 4 GIRTS |

INTERNAL PORTAL FRAME SIZES

- LEG & ROOF BEAM USE:
7-14m L
- a) SKILLION PORTAL
- | | |
|---------|---------|
| 2.4mH : | C15012 |
| 2.7mH : | C15015 |
| 3.0mH : | *C15010 |
- b) MAIN PORTAL
- | | |
|---------|---------|
| 2.4mH : | C15012 |
| 2.7mH : | C15015 |
| 3.0mH : | *C15010 |
- *DENOTES FULL LENGTH BOXING

TYPICAL CRIMPED C
LIPPED SECTION (EX0.8 BMT)

ALL PURLINES AND GIRTS
SINGLE



END PORTAL FRAME SIZES

- LEG & ROOF BEAM USE:
7-14m L
- a) SKILLION PORTAL
- | | |
|---------|---------|
| 2.4mH : | C15012 |
| 2.7mH : | C15015 |
| 3.0mH : | *C15010 |
- b) MAIN PORTAL
- | | |
|---------|---------|
| 2.4mH : | *C15010 |
| 2.7mH : | *C15010 |
| 3.0mH : | *C15010 |
- CENTRE UPRIGHT USE:
- | | |
|---------|---------|
| 2.4mH : | *C15010 |
| 2.7mH : | *C15010 |
| 3.0mH : | *C15010 |

- *DENOTES FULL LENGTH BOXING

A - Revision June 06

FREDERICK R SMITH
Chartered Consulting Engineer
504 Blenheim Road
Christchurch, NZ
Phone +64 03 348 1521

I certify that buildings erected in accordance
with these drawings will comply with the New
Zealand Building Code.

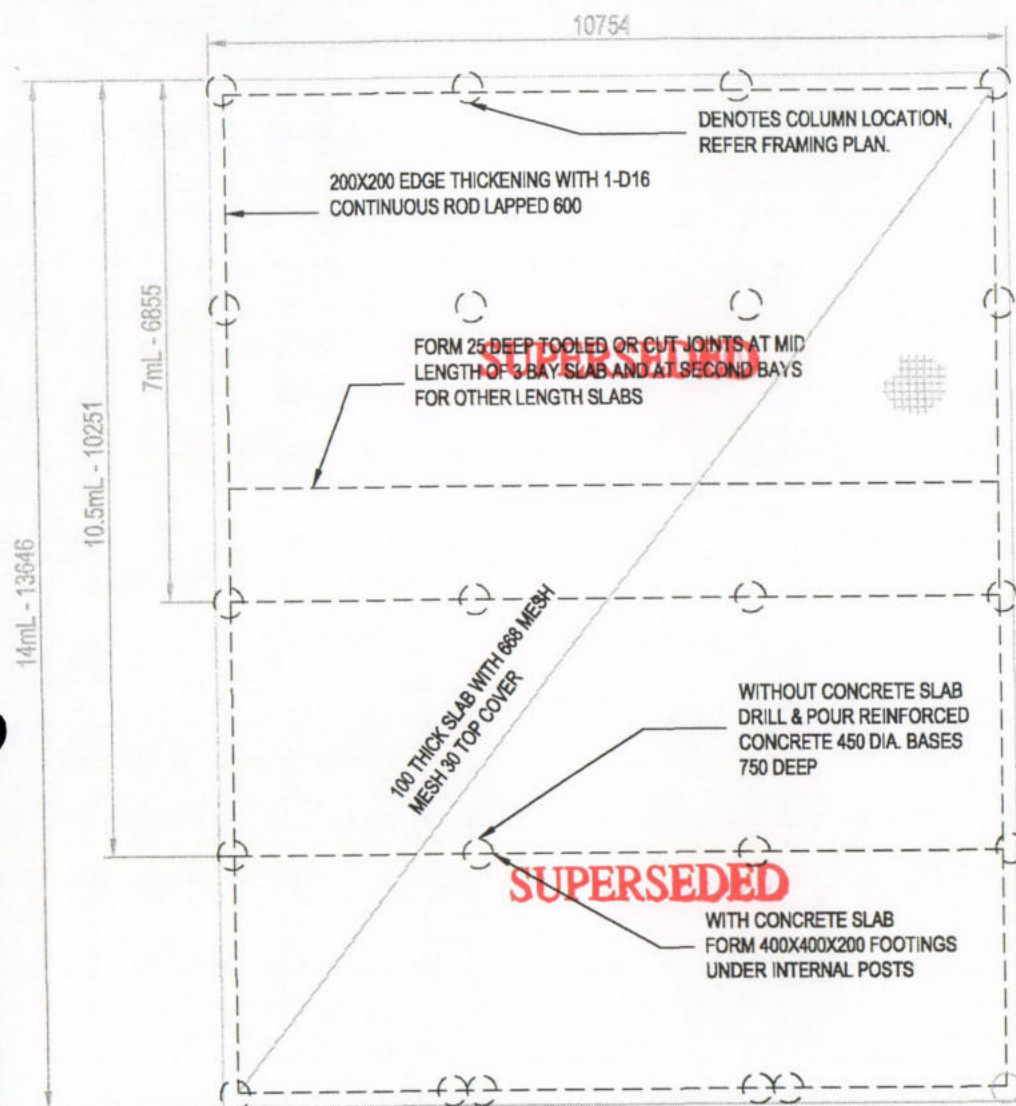
F R Smith
BE (civil) MIPENZ MACENZ MIEAust
CPEng RPEQ (6225)

TOTALSPAN BUILDINGS
A Division of VERSATILE BUILDINGS LTD
112 Waterloo Road, Hombly
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

STEEL FRAMED BUILDINGS
REGION A6-A7 (HIGH)
REGIONAL WIND SPEED
V=45 m/s T.C.2

HERITAGE BARN
7 to 14m long x 2.4 to 3 mH
(NOMINAL DIMENSION)

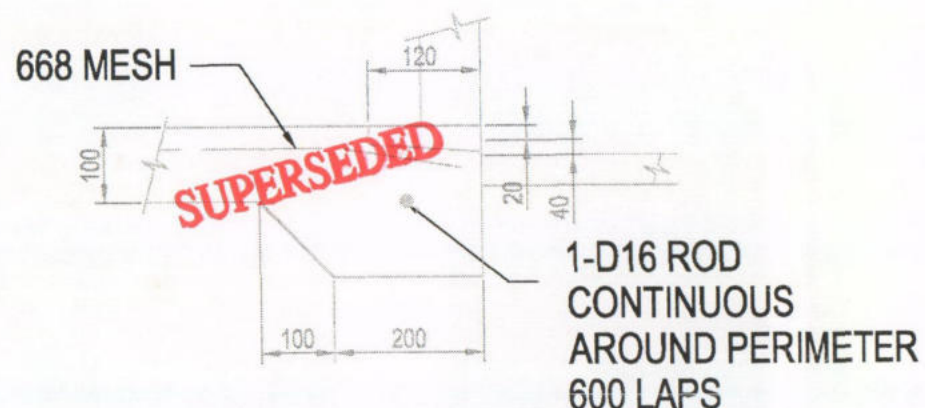
JOB No.
00045NZ
DRAWING No.
HB/S45/1
REVISION SUFFIX
A



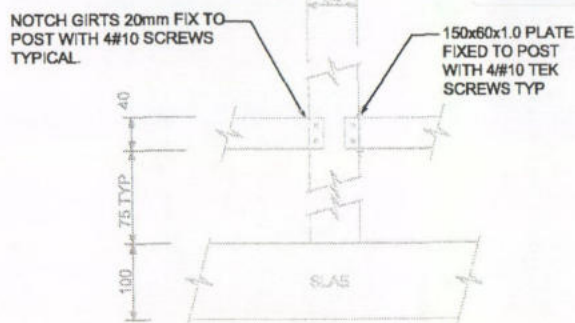
CONCRETE SLAB PLANS
1:100

PURLIN SCHEDULE

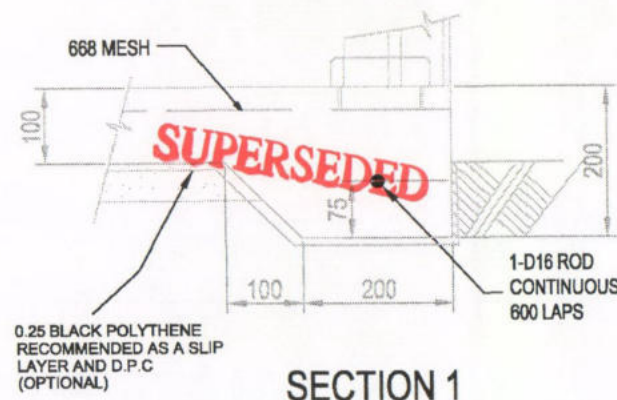
1. ALL PURLINS 80X40 CIMPED C'S UNO
2. NUMBER OF PURLINS INCLUDES EAVE GIRT/PURLIN
3. MAIN ROOF - 3 PURLINS
SKILLION ROOF - 4 PURLINS
4. ALL PURLINS TO BE EVENLY SPACED FROM EDGES OR EAVES TO APPROX. 80mm FROM RIDGE



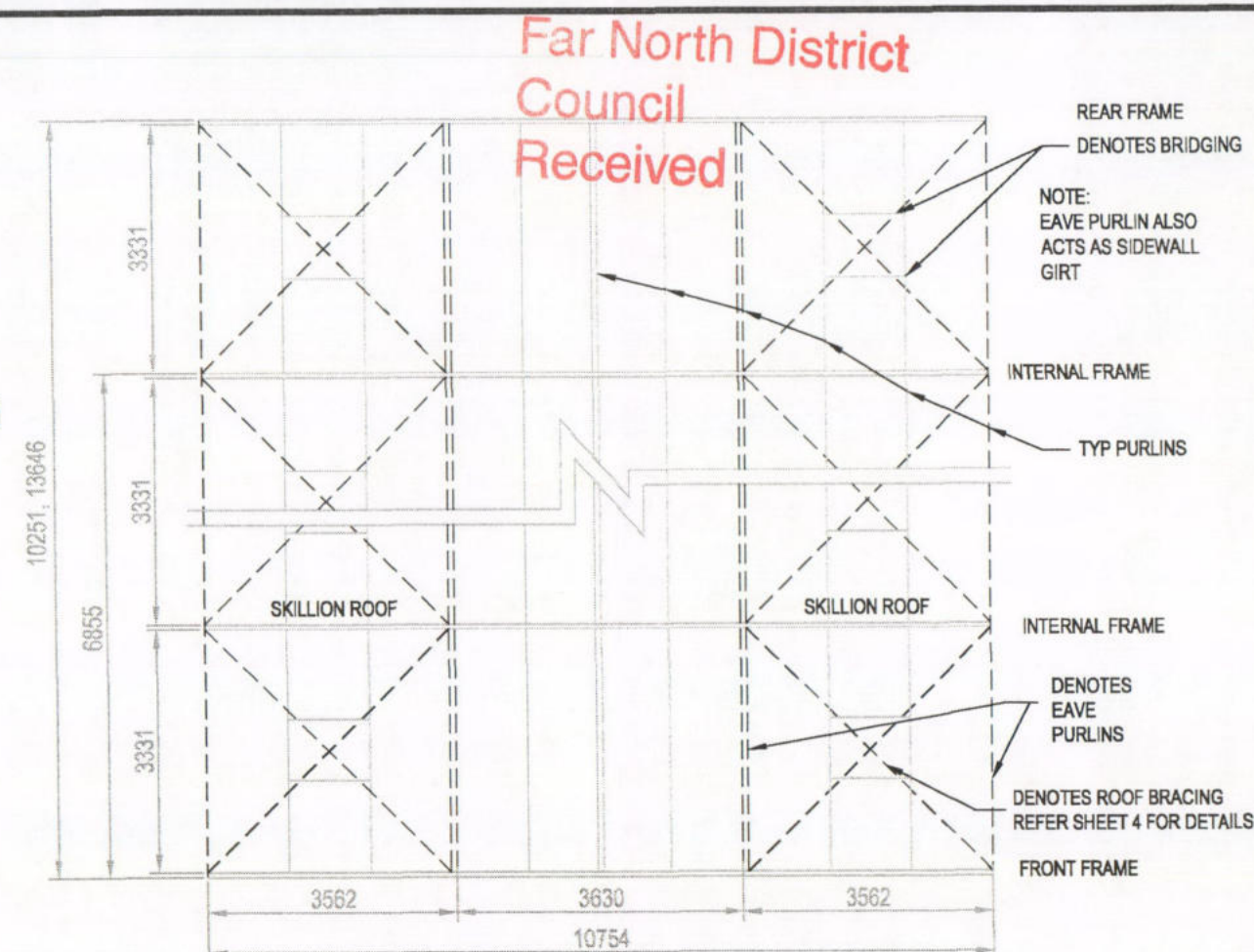
DOOR ENTRY SLAB
DETAIL (TYP.) 1:10



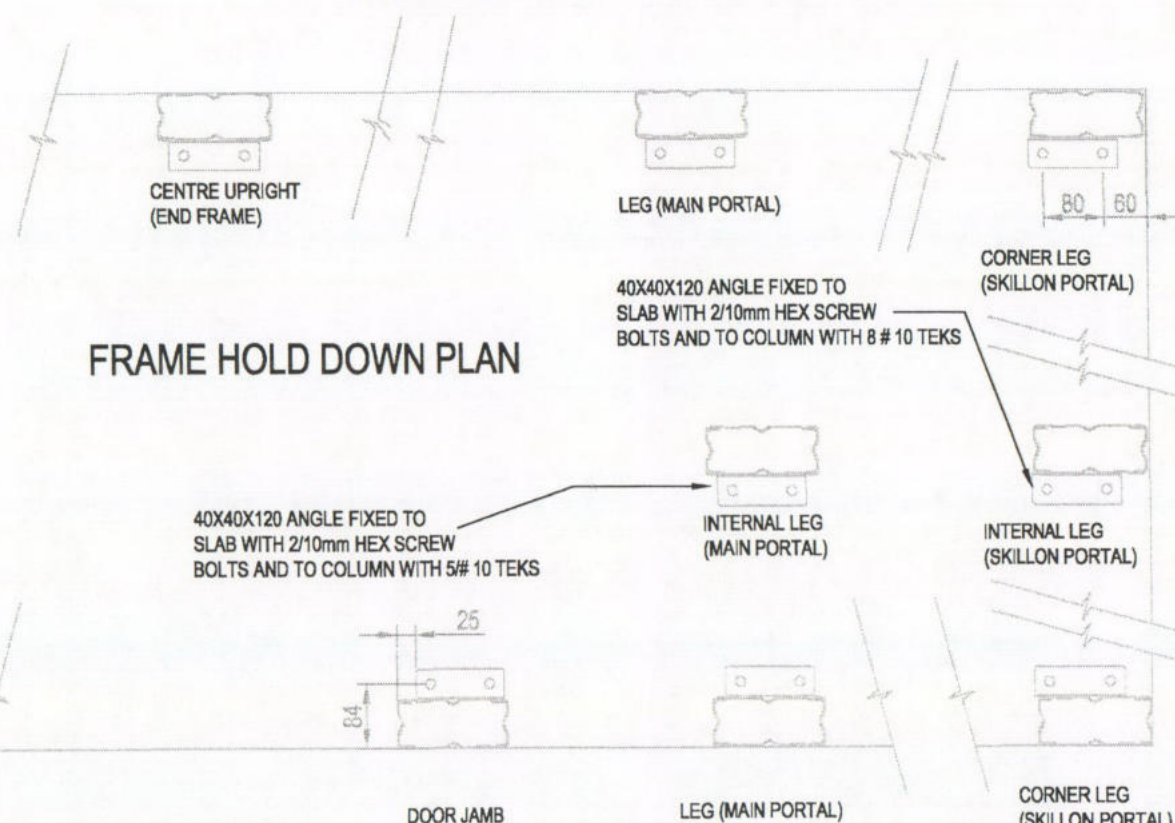
TYP. GIRT TO COLUMN DETAIL 1:10



SECTION 1



FRAMING PLAN 7 TO 14m LONG



FRAME HOLD DOWN PLAN

FREDERICK R SMITH
Chartered Consulting Engineer
504 Blenheim Road
Christchurch, NZ
Phone +64 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (civil) MIPENZ MACENZ MIEAust
CPEng RPEQ (6225)

TOTALSPAN BUILDINGS
A Division of VERSATILE BUILDINGS LTD
112 Waterloo Road, Hornby
P.O. Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

STEEL FRAMED BUILDINGS
REGION A6-A7 (HIGH)
REGIONAL WIND SPEED
V=45 m/s T.C.2

HERITAGE BARN
7 to 14m long x 2.4 to 3 mH
(NOMINAL DIMENSIONS)

JOB No.
00045NZ
DRAWING No.
HB/S45/2
REVISION SUFFIX

GENERAL

- 1- All work shall conform to the New Zealand Building Code.
- 2- Check diagonals to ensure building is square.

LOADINGS

- 1- Buildings are designed to AS/NZS 1170 for NZS 3604 HIGH and VERY HIGH. Design Wind Speeds to limit state levels of 45 and 50m/s, T.C.2 roof live load of 0.25kPa, and basic Roof Snow loads of 0.86kPa.

- 2- The roofing is not designed for point loads of 1 Kn.

FOUNDATIONS

- 1- Support ground to have a safe bearing capacity of at least 75 kPa. In weaker ground building loads to be taken to subsoil which has a bearing capacity of at least 75 kPa.

CONCRETE

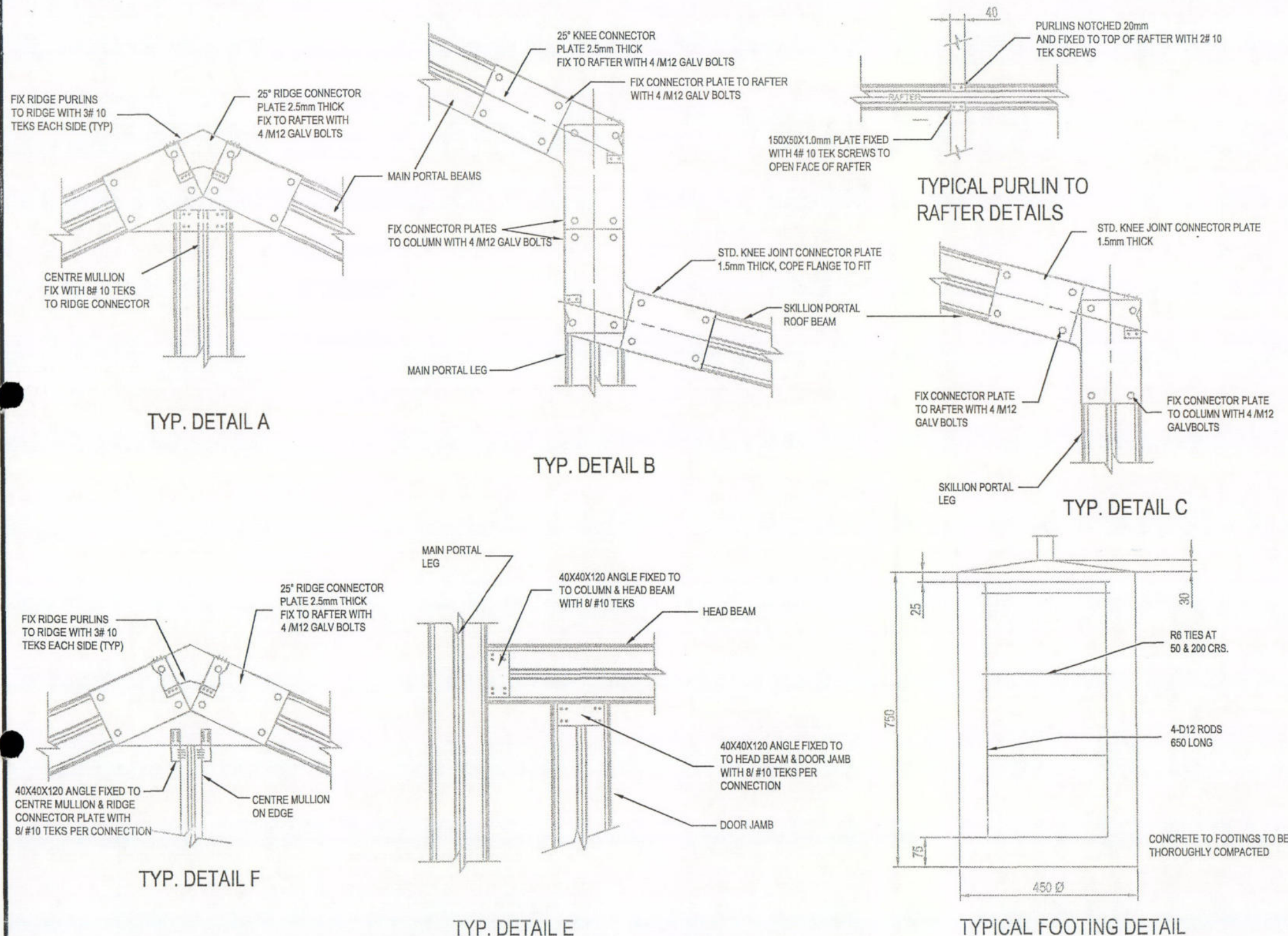
- 1- Remove vegetation and loose material from the site of the building, backfill with compacted hardfill, if required, and lay a blinding of sand to the underside of the concrete slab. Ensure the surface of the slab will be at least 100mm above the highest level of cleared ground around the slab.
- 2- Concrete shall have a maximum aggregate size of 20mm, slump of 80mm maximum and a 20 MPa compression strength at 28 days.
- 3- The concrete floor slab shall be 100mm thick with a 200 x 200 mm. edge thickening and a D16 rod continuous around the perimeter of the slab with 600 laps and 75 bottom cover.
- 4- Concrete slab to be reinforced with 668 mesh placed 30mm maximum below the slab surface with 225mm laps.
- 5- Provide a 0.25mm black polythene dampproof and slip layer under the slab taped with 100mm laps (optional but recommended).
- 6- Fix roof frames to concrete with M10 galvanised screwbolts screwed into holes drilled in the slab.

STEELWORK

- 1- All structural framing members shall be G550-1.0mm BMT, G500-1.2mm BMT, G450-1.5mm, 1.9mm BMT grade steel galvanised to Z200 (G550 for 80 x 40 boxed and single channels). Cleats to be G450, Z200.
- 2- Purlins and girts shall be 80 x 40 x 0.75 B.M.T. lipped, crimped channel located at centres shown on the drawings.
- 3- Boxed members to be flange fixed with #10 Tek screws at 600 centres.
- 4- Screws to be #10 x 16 Tek screws Class 3 zinc plated, fixed at a minimum edge distance of 6mm and to a 12mm minimum pitch.
- 5- Girts to be connected with 2 #10 Tek screws each side of girt.
- 6- Steelwork shall conform to:
NZS 4203 Loadings Code
NZ/AS 4600 Cold Formed Steel Structures Code
NZ/AS 1397:1993
AS 1562:1962 Design and Installation of Metal Roofing
AS 1111/1112 Hex Commercial Bolts and Screws

CLADDING

- 1- AS 3566 Self Drilling Screws for Building
Roof and wall sheeting shall be 0.35 B.M.T., G550 grade steel zincaluminated to AZ150 and rolled to profile as detailed.
- 2- Roof sheets shall be fixed to ridge and eaves purlins with a Tek screw at every rib, as shown, tek screw to alternative ribs at intermediate fixings, all complete with neoprene washers tightened firmly but not to form depressions in the roof cladding. Ensure all roof fixings are waterproof.
- 3- Wall sheeting shall be fixed to the eave purlins and to the rafters of the end wall frames with a Tek screw at third points of each pan and to third points of alternate pans at other girts and fixings.
- 4- Ridges, gables and all penetrations to be flashed with similar sheet steel.
- 5- Guttering to be fixed with Tek screws and joint sealed with silicone. Fit downpipes to guttering to discharge to an approved stormwater drainage system, provided by the Owner.
- 6- Frame for personnel door and windows with 80 x 40 x 0.75 unlippped channels. Flange connect members with 2 screws to each flange. Fix jambs to floor with 40x40x1.2 angle cleat having 1/M10 screwbolt to concrete and 2 Tek screws to jamb.



FREDERICK R SMITH
Chartered Consulting Engineer
504 Blenheim Road
Christchurch, NZ
Phone +64 03 348 1521

I certify that buildings erected in accordance with these drawings will comply with the New Zealand Building Code.

F R Smith
BE (civil) MIPENZ MACENZ MIEAust
CPEng RPEQ (6225)

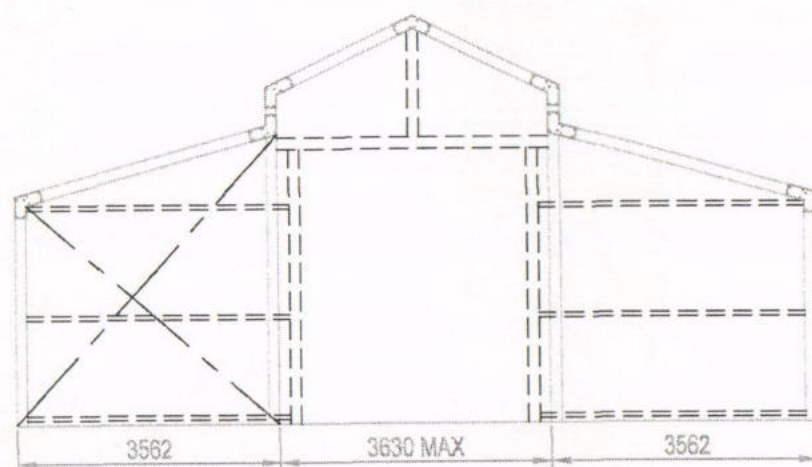
TOTALSPAN BUILDINGS
A Division of VERSATILE BUILDINGS LTD
112 Waterloo Road, Hornby
P.O.Box 11-013, Christchurch
PH: (09) 261 2306 FAX: (09) 262 1535

STEEL FRAMED BUILDINGS
REGION A6-A7 (HIGH)
REGIONAL WIND SPEED
V=45 m/s T.C.2

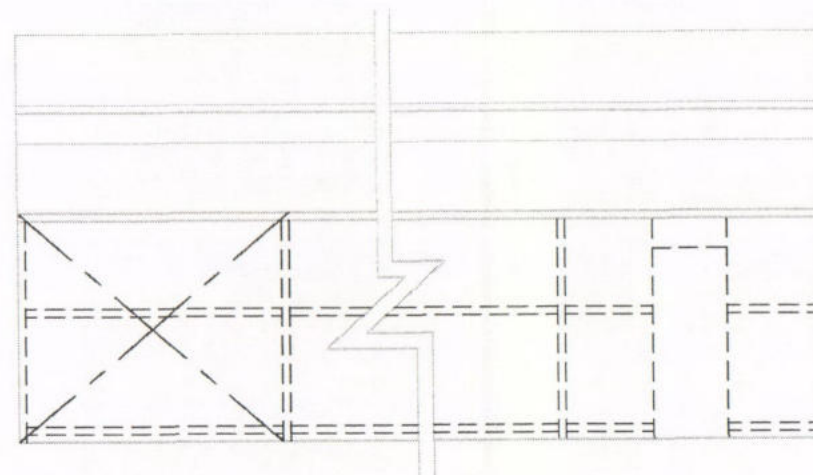
HERITAGE BARN
7 to 14m long x 2.4 to 3 mH
(NOMINAL DIMENSIONS)

JOB No.
00045NZ
DRAWING No.
HB/S45/3
REVISION SUFFIX

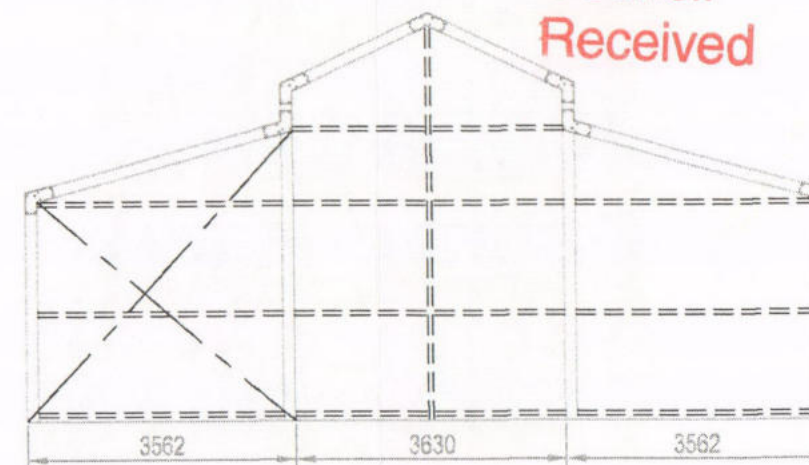
Far North District
Council
Received



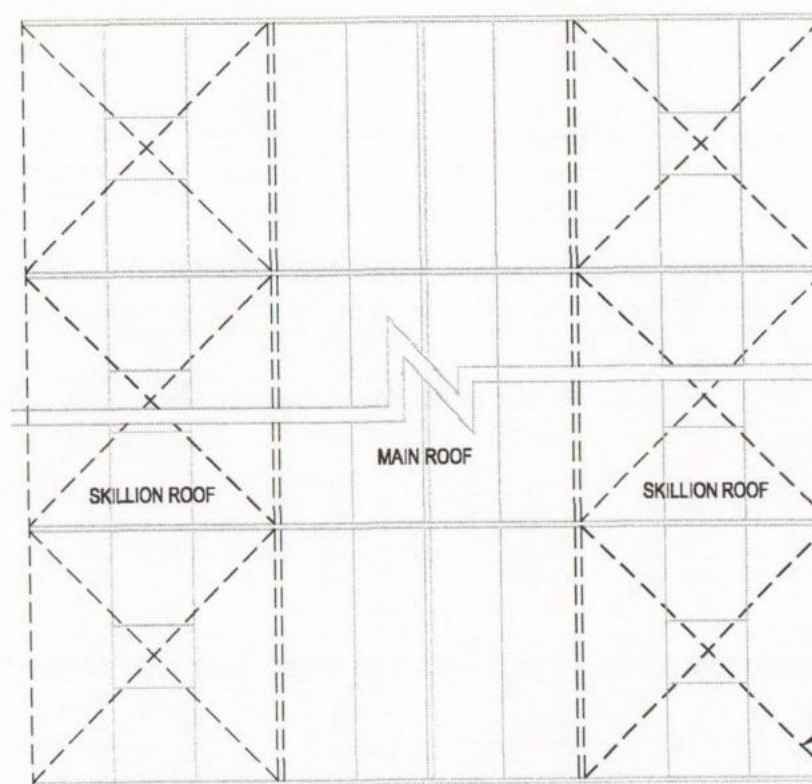
FRONT FRAME BRACING



SIDE BAY BRACING



END FRAME BRACING



ROOF BRACING PLAN

REAR FRAME

INTERNAL FRAME

INTERNAL FRAME

DENOTES ROOF BRACING

FRONT FRAME

BRACING

1. WALL BRACING 27X0.6 G550 STRAP FIXED WITH - 4 #10 TEKS EACH END
2. ROOF BRACING 27X0.6 G550 Z275 STRAP FIXED WITH - 4 #10 TEKS EACH END

A REVISION - MAR 06

FREDERICK R SMITH
Chartered Consulting Engineer
504 Blenheim Road
Christchurch, NZ
Phone +64 03 348 1521

I certify that buildings erected in accordance
with these drawings will comply with the New
Zealand Building Code.

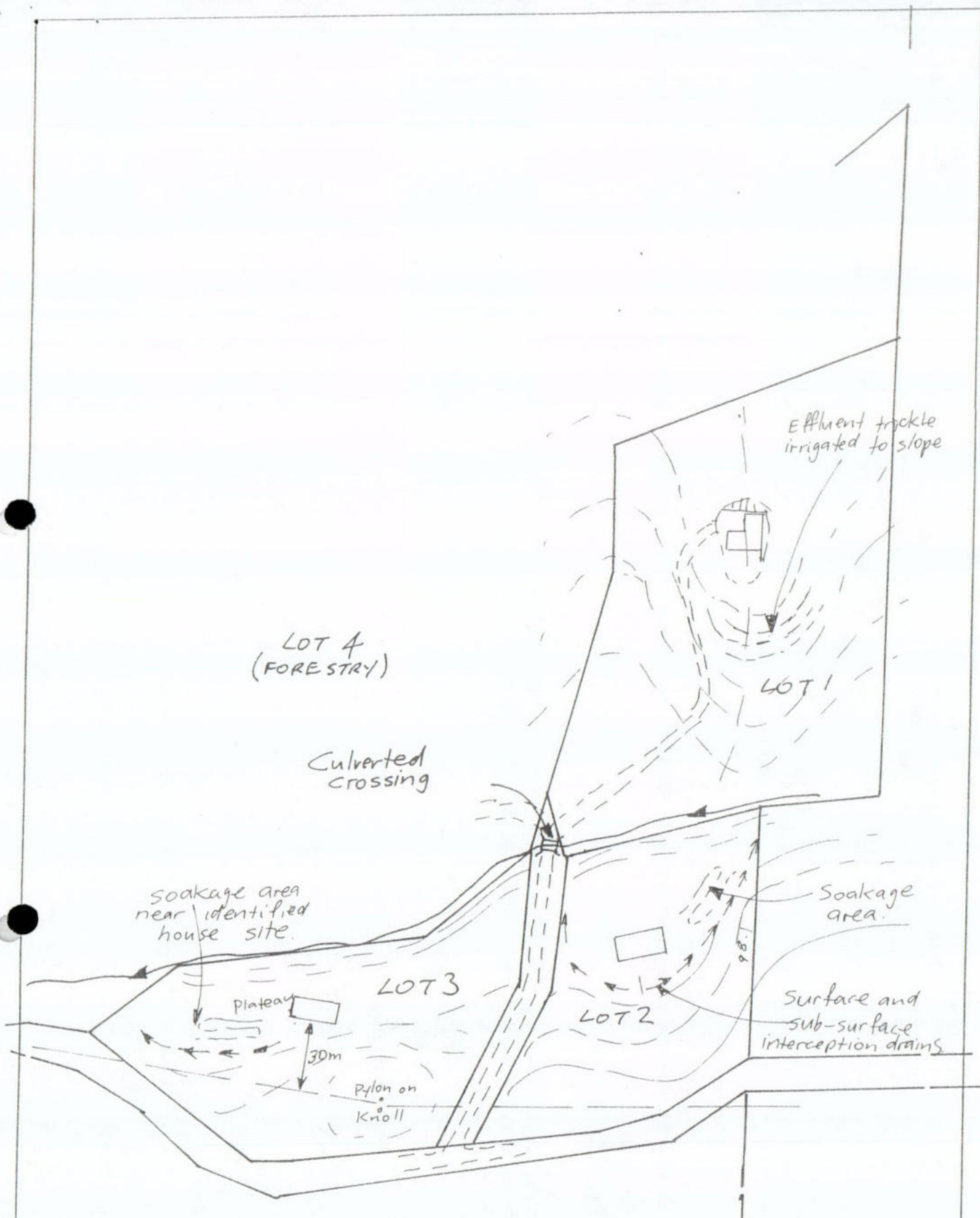
F R Smith
BE (civil) MIPENZ
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STEEL FRAMED BUILDINGS
REGION A6 - A7 (HIGH)
REGIONAL WIND SPEED
V=45 m/s T.C.2

HERITAGE BARN
7 to 14m long x 2.4 to 3 mH
(NOMINAL DIMENSIONS)

JOB No.
00045NZ
DRAWING No.
HB/S45/4
REVISION SUFFIX
A



HAIGH DEVELOPMENT CONSULTANTS
 National Bank Building
 PO Box 89
 KERIKERI
 Ph/Fax (09) 4078327

SUITABILITY FOR SUBDIVISION
 MT. POKAKA - KERIKERI
 M. HEWITT, SHIO BULLS GORGE.

Date: 12/10/99	Sheet: 1
Scale: 1:2000	Job: 99125
	40 Haigh

THESE PLANS AND SPECIFICATIONS MUST BE KEPT 'ON SITE' DURING CONSTRUCTION. ALL BOUNDARY PEGS MUST BE LOCATED AND FLAGGED BEFORE WORK IS COMMENCED.

Far North District Council
Received

- NOTES
- 1) To be read in conjunction with Total Span Bracing & Construction Details and Specifications.
 - 2) Check all dimensions and grades before work commences
 - 3) All work to comply with NZS 3604:1999 and the New Zealand Building code
 - 4) If in doubt ask!
 - 5) These notes apply to all sheets
 - 6) These plans are to be read in conjunction with specifications
 - 7) The formation level of the foundations is to be based on a safe bearing capacity of 100 KPa
 - 8) These plans are drawn in strict accordance with owners instructions, any variation to these plans requires verification.
 - 9) All glazing to comply with NZS4223 part 3
 - 10) All joinery and flashings are to be in place before cladding is installed
 - 11) Timber to be H3.1 or greater in wet areas, including window sills.

APPROVED PIM/BC 2007/229
Date 31/10/06
Signed [Signature]
FAR NORTH DISTRICT COUNCIL

Far North District Council NOTIFIABLE INSPECTIONS	
Site Inspection	✓
Footing / Foundation	✓
Slab	✓
Bond Beam	✓
Sub-floor	✓
Framing	✓
Exposed Rafter Strapping	✓
Pre-line	✗
Sheet Bracing	✓
Other (specify) FLASHINGS.	✓
Final Inspection	✓

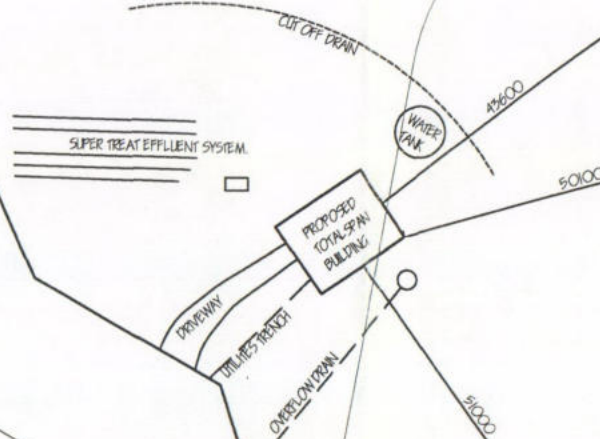
Far North District Council NOTIFIABLE INSPECTIONS Plumbing & Drainage	
Pre-pour under slab P & D	✓
Pre-Line Plumbing in walls	✗
Sewer & Stormwater drainage prior to back-filling trench	✓
Septic Tank effluent disposal	✓
Trench	✓
Other	✓

Allowance is to be made to be able to extend the septic tank effluent system if proved necessary.

INSPECTION REQUIRED OF ALL WATER SUPPLY & SOIL/WASTE DISPOSAL PIPES, PRIOR TO COVERAGE WITH CONCRETE.

All stormwater from roof, driveways & watertank overflow to be disposed of to N.Z.B.C. EI

LOT 2
DP 202589
0.9988ha
OWNER: MR DWIGHT



Survey Sheet

Customer Copy

Job No. SE010206

Customer

Name: Morrie Dwight(Staff)

ICP:

Job Location

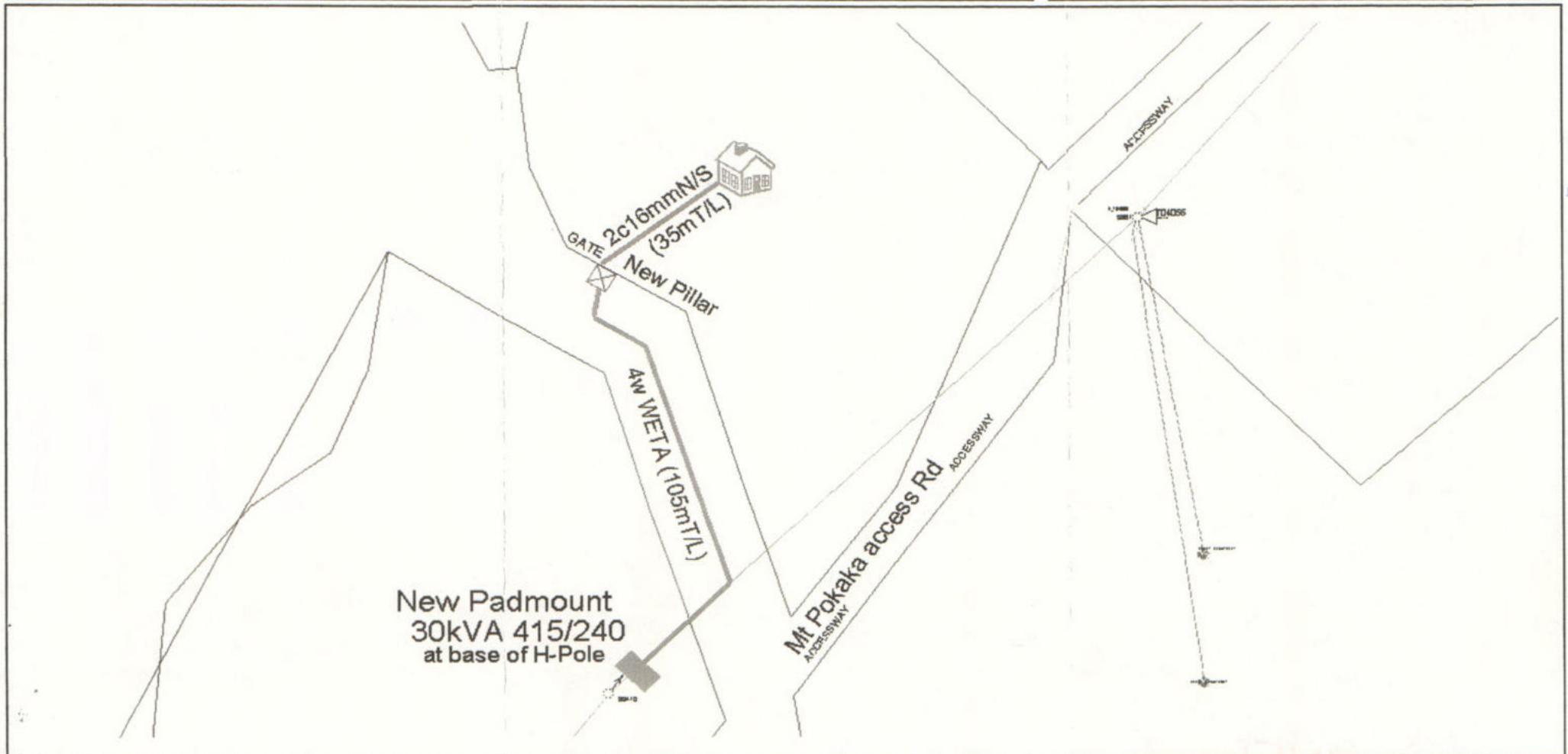
Address: Mt Pokaka access Rd
Kerkeri

Rapid:

Lot: 2

DP: 202589

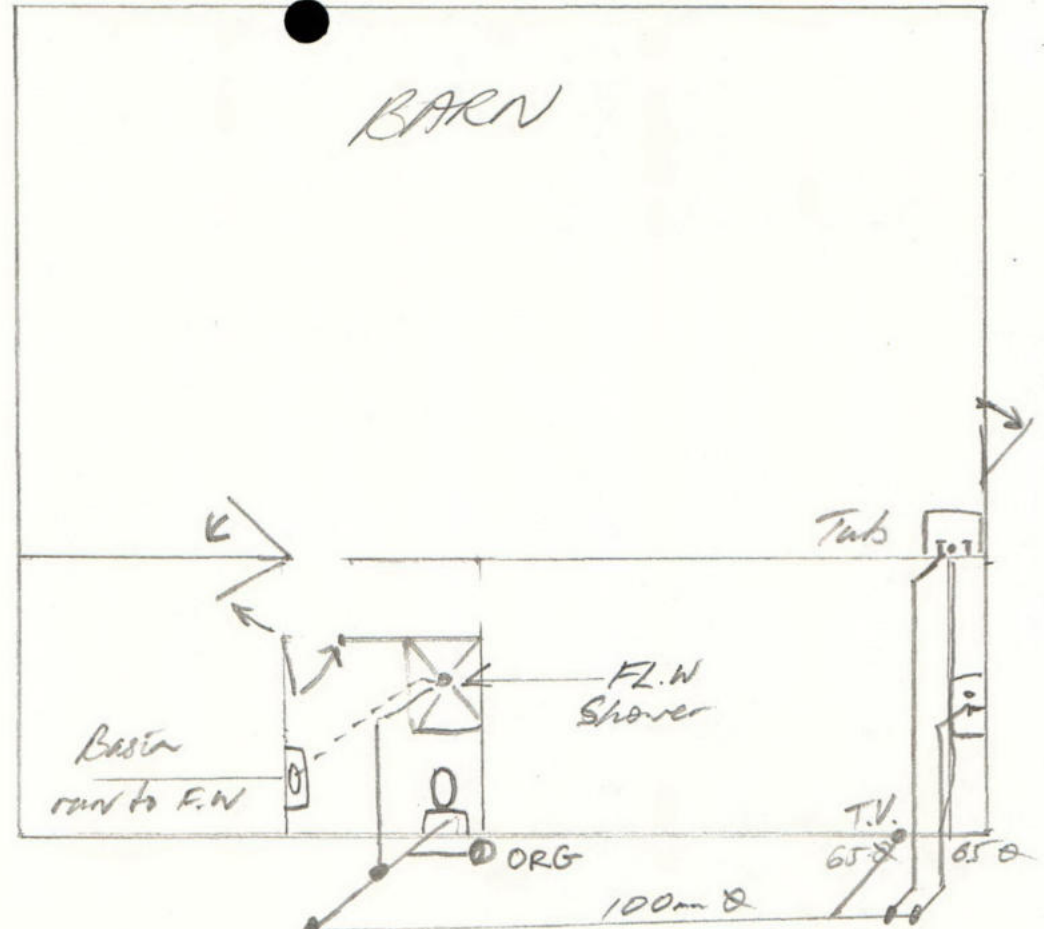
Trench Length	105m / 35m	Cable length.	
Protective Cover:	Cover Slab	Transformer No.	New
Trench Prepared By:	Customer	Pole / Ped No.	Pole 33410
Trench depth:	1.0m		
Surveyed By: AMB		Date:	13/09/2006



Scale 1:100

12 metres to Septic

10 metres



2007-2009

100mm Ø drain to
treatment plant

Drainage
As built done by
Stewart Treedy
R.D. No 13785

20 / May / 2007

as Built Form Dwyght FVOC 2007-229

1213 SHW 10
RD 3 Ken'keni

Boundary line

Water way 50 mt. +
Boundary 65 mt. +

7.5
 $\langle m_{\text{eff}} \rangle$

6 x 35 int runs of Ram Drip Line
@ 1 int apart = 210 linear int of Drip Line

F/V O

Raised Band
for Irrigation

→ Boundary 75 m +

○ Airbreak —

Oasis
Series Z000
CWTS

Drive

19 mts

House

"Drawn by"
David Bell-Booth
Clearwater Services
1 Amokura Drive
Keniken
09 407 7569



**Far North
District Council**

10 September 2012

Morrie James Dwight
1213 State Highway 10
RD 3
Kerikeri 0293



Private Bag 752, Memorial Ave
Kaitake 0440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaunihera o Tai Tokerau Ki Te Raki

*The top place where talent
wants to live, work and invest*

Dear Sir,

Building consent number: BC-2007-229/1
Property ID: 3339719
Address: 1213B State Highway 10, Kerikeri 0470
Description: New Heritage Barn Steel Frame

Refusal of Code Compliance Certificate (CCC)

In terms of the Building Act 2004, the Council has refused the issue of a Code Compliance Certificate for this building project.

Section 95(a) of The Building Act 2004 states that the Council must notify the owner of the decision with reasons as to why it refuses to issue code compliance certificate.

Reasons for refusal:

- The customer has confirmed refusal of their Code Compliance Certificate on 7 September 2012.
- Development contribution Fees have not been paid for this project therefore under Section 94(4) of the Building Act 2004, the Council refuses to issue a code of compliance at this time.

Note: If you wish to apply for a Code Compliance Certificate in the future, a new application will need to be submitted with the appropriate fee. This will be subject to all reasons for refusal being addressed.

If you wish to seek a determination on this decision, you may as the owner apply to the Chief Executive of the Department of Building and Housing. Further information is available on their website www.dbh.govt.nz.

Yours sincerely

Malcolm Stevenson
Building Officer
Environmental Management





5 September 2012

Te Kaunihera o Tai Tokerau Ki Te Raki

*The top place where talented
people go to live, work and invest*

Morrie James Dwight
1213 State Highway 10,
RD 3,
Kerikeri 0293

Dear Sir,

Building consent number: BC-2007-229/1
Property ID: 3339719
Address: 1213B State Highway 10, Kerikeri 0470
Description: New Heritage Barn Steel Frame

Older Code Compliance Certificate (CCC) Review – Inspection Required

The Council records confirm that it has been more than two years since your building consent was granted. The two year period expired on 12-Oct-2008 and/or the approved extension of time expired on 12-Oct-2008.

Following the final inspection of your project by the Building Officer, Section 92(1) of The Building Act 2004 provides that it is the responsibility of the owner to make application for a Code of Compliance when the work is complete.

On receipt of that application, Section 93 of The Building Act 2004 states that the Council must make a decision whether to issue a Code Compliance Certificate (CCC) to which a building consent relates.

To address this you may:-

- Contact the Council within 10 working days to arrange a suitable time for an inspection so that the Council can ascertain the status of your building consent. Please note that this inspection will incur a charge. **When booking your inspection, please contact Council by email ccc@fndc.govt.nz or phone 0800 920029 or (09) 401 5200 and ask to book an 'OVERDUE CCC INSPECTION'.**

OR

- Inform the Council in writing that the project is not complete and / or not proceeding.

Please remember to quote your contact details and building consent number, referenced at the top of this letter.

If no response is received within 10 working days from the date of this letter, Council will formally refuse the issue of a Code Compliance Certificate and update records accordingly.

Note: If you wish to apply for a Code Compliance Certificate in the future, a new application will need to be submitted with the appropriate fee. This will be subject to all reasons for refusal being addressed.

Fees and Charges

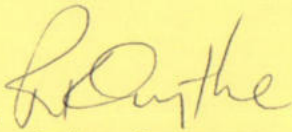
Please note: If you wish to proceed with your Code Compliance Certificate, the following fees and charges may apply and an invoice will be issued with your Code Compliance Certificate. (Refer to attached Fees and Charges schedule for current rates).

- *CCC Application Fee*
- *Initial Building Officer Review*
- *Initial Inspection Review*
- *Administration Processing*
- *Re-inspections (if applicable)*

The attached Fees and Charges Schedule is a **guide only**. Council is unable to quote on this particular service as every application is different and specific to the design proposed. There may be additional fees or charges for services provided and these will need to be paid in accordance with Council Standard Terms and Conditions.

If you have any further queries regarding this matter, please contact Council on 0800 920 029 quoting the above building consent number.

Yours sincerely

RP 

Rodney Spooner
Building Officer
Environmental Management



BUILDING CONSENT NUMBER: BC-2007-229
SECTION 51, BUILDING ACT 2004

DETAILS OF APPLICANT / OWNER

Name: Morrie James Dwight
Mailing Address: C/O Totalspan Far North Ltd
1235 State Highway 10
R D 3
Kerikeri 0470
Contact Person: Tony Bratley
Telephone : 09 407 7875
027 285 1629

SITE LOCATION

Address Lot 2, State Highway 10, Kerikeri 0470
Legal Description LOT 2 DP 202589 SUBJ TO ELECTRICITY INT TO EASES

PROJECT DESCRIPTION

Consent Type: New Building
Estimated Value \$100000
(including GST):
Floor Area: 154 m2

PROPOSED WORK

New Heritage Barn Steel Frame

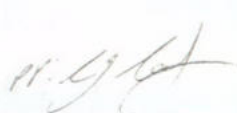
INTENDED LIFE

50 years.

The building consent is a consent under the Building Act 2004, to undertake building work in accordance with the attached plans and specifications, to comply with the provisions of the Building Code. It does affect any duty or responsibility under any other act, or permit any breach of any other Act.

This building consent is issued subject to endorsements shown on the approved plans and may be subject to any conditions as attached.

SIGNED FOR AND ON BEHALF OF COUNCIL


Name: Barry Chappell
Position: BUILDING OFFICER

Date: 12 October 2006



STANDARD CONDITIONS
BUILDING CONSENT NUMBER:BC-2007-229
SECTION 51, BUILDING ACT 2004

This Building Consent is issued subject to the conditions specified below and contained in the Building Consent headed "Special Conditions" applicable to Building Consent Application No.

1. The building consent is a consent under the Building Act 2004 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.
2. The applicant is fully responsible for any damage done to any systems such as telecom cables, power lines, water mains, sewer and stormwater pipes, footpaths, roads or any other utility or service.
3. No deviation or alteration from the original approved plans and specifications is permissible without a further consent being obtained from Council.

It is also an offence to convert the building to any other use than that stated in this consent.

These and other offences are contained in Section 80 of the Building Act 2004, in association with all relevant penalties.

4. This consent expires and becomes void if:
 - a) *The work it authorises is not commenced within six (6) months after the date of issue of the consent or within such additional time as Council, in its absolute discretion, may allow.*
 - b) *Reasonable progress on the building work has not been made within twelve (12) months after work has commenced or within such additional time as Council in its absolute discretion, may allow.*

Written applications for extensions of time must be submitted to Council.

Council may further cancel building consent as specified in Sections 40 – 52 of the Building Act 2004.

5. Inspections of the building work are to be carried out at the stages of construction as endorsed on the approved plans with the notice time being given as specified in those endorsements.
6. This Building Consent is issued in accordance with Project Information Memorandum No:



**PROJECT INFORMATION MEMORANDUM NO. BC-2007-229
SECTION 31, BUILDING ACT 2004**

DETAILS OF APPLICANTS

Name	Morrie James Dwight
Address	C/O Totalspan Far North 1235 State Highway 10 R D 3 Kerikeri 0470
Contact Person	Tony Bratley
Telephone	09 407 7875 027 285 1629

SITE LOCATION

Address	Lot 2, State Highway 10, Kerikeri 0470
Legal Description	LOT 2 DP 202589 SUBJ TO ELECTRICITY INT TO EASES

PROJECT DESCRIPTION

Consent Type:	New Building
Estimated Value (including GST):	\$62000
Floor Area:	154 m2

PROPOSED WORK

New Heritage Barn Steel Frame

INTENDED LIFE

50 years.

This Project Information Memorandum is : (Cross where applicable)

- ☒ Confirmation that the proposed work may be undertaken, subject to the provisions of the Building Act 2004, and requirements of the building consent
 - ☐ Not yet applied
 - ☒ No. 2007-229 attached
- ☐ Notification that the proposed work may not be undertaken because a necessary Authorisation has been refused
- ☒ Type of Activity – Permitted
- ☐ See attached conditions

FOR COUNCIL USE

Date Received: 08/08/06 PIM Application Fee \$196.00 Receipt No: 782315

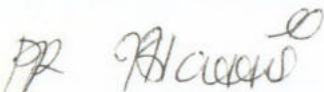
PROJECT INFORMATION MEMORANDUM NO. BC-2007-229
SECTION 31, BUILDING ACT 2004

THIS PROJECT INFORMATION MEMORANDUM INCLUDES

(Cross each applicable box, attach relevant documents and send a copy to any relevant network utility operators and organisations having the power to classify land and buildings)

- ☒ Information identifying special features of the land concerned
Transitional District Plan - Rural 1C
Revised Proposed District Plan - Rural Production
- ☐ Details of authorisations which have been granted
- ☐ Details of authorisations which have been refused
- ☐ Notification of any authorisation which must be obtained before the proposed building work may be undertaken
- ☒ Information about the land or buildings concerned notified to Council by any statutory Organisation having the power to classify land and buildings
Topography – Gentle, Moderate
Wind Zone – High
Engineering Required – Fill On-site, Foundations
- ☐ Details of relevant utility systems

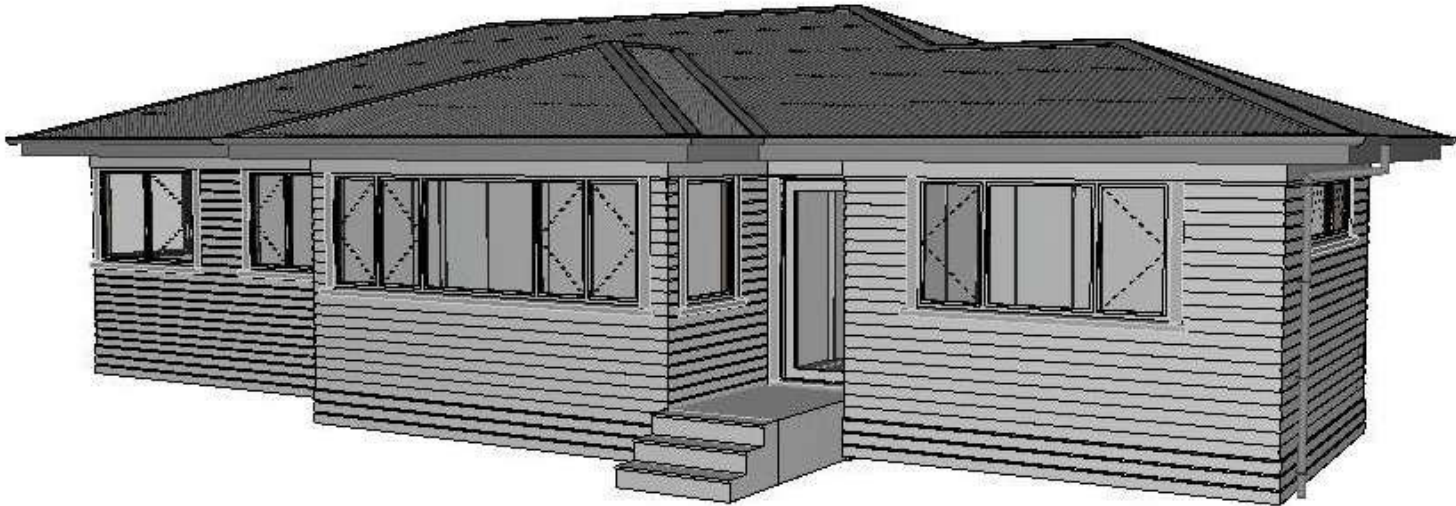
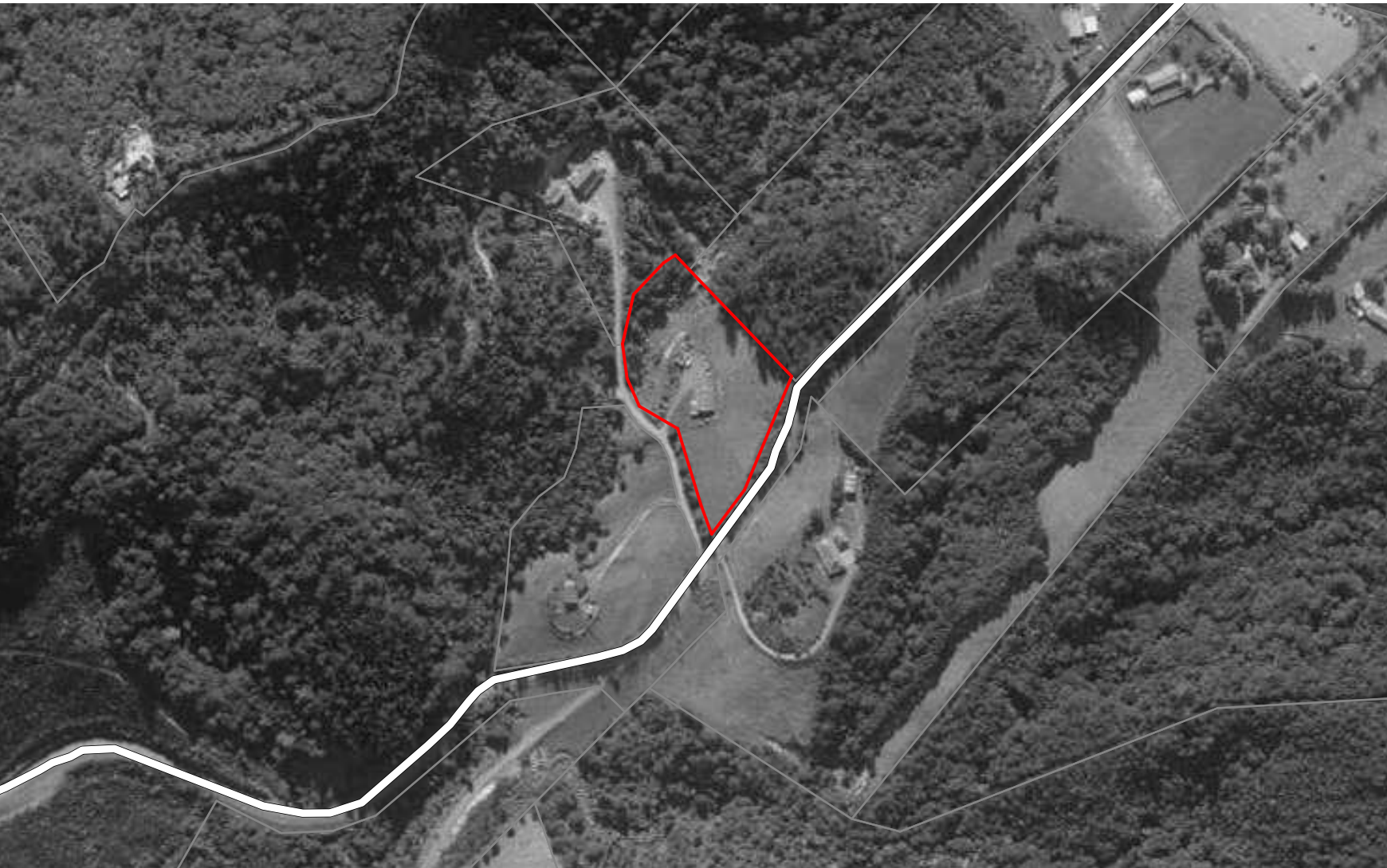
SIGNED FOR AND ON BEHALF OF COUNCIL



Name: Nicky Maihi

Position: PIM PROCESSING OFFICER Date: 11 September 2006

Sheet Index	
Sheet No:	Sheet Name:
BC(1)00	COVER SHEET
BC(1)01	SITE PLAN
BC(1)02	SITE PLAN
BC(1)03	SITE PLAN
BC(1)04	FLOOR PLAN
BC(1)05	FOUNDATION PLAN
BC(1)06	PLUMBING PLAN
BC(1)07	ROOF PLAN
BC(1)08	BRACING PLAN
BC(1)09	BRACING SPEC
BC(2)00	ELEVATIONS
BC(2)01	ELEVATIONS
BC(3)00	SECTIONS
BC(4)00	DETAILS
BC(4)01	DETAILS
BC(4)02	DETAILS
BC(4)03	DETAILS
BC(4)04	DETAILS
BC(4)05	DETAILS
BC(4)06	DETAILS
BC(4)07	DETAILS
BC(4)08	DETAILS
BC(4)09	DETAILS



STATUS:

BUILDING CONSENT

PROJECT NAME + ADDRESS:

BULLS

1213B State Highway 10, Kerikeri

Northland, 0293

DATE:

22/08/2025

PROJECT NUMBER:

2410



RELOCATE IT

www.relocateit.co.nz
T: 02102867410
E: office@relocateit.co.nz

SHEET NUMBER

REVISION

BC(1)00

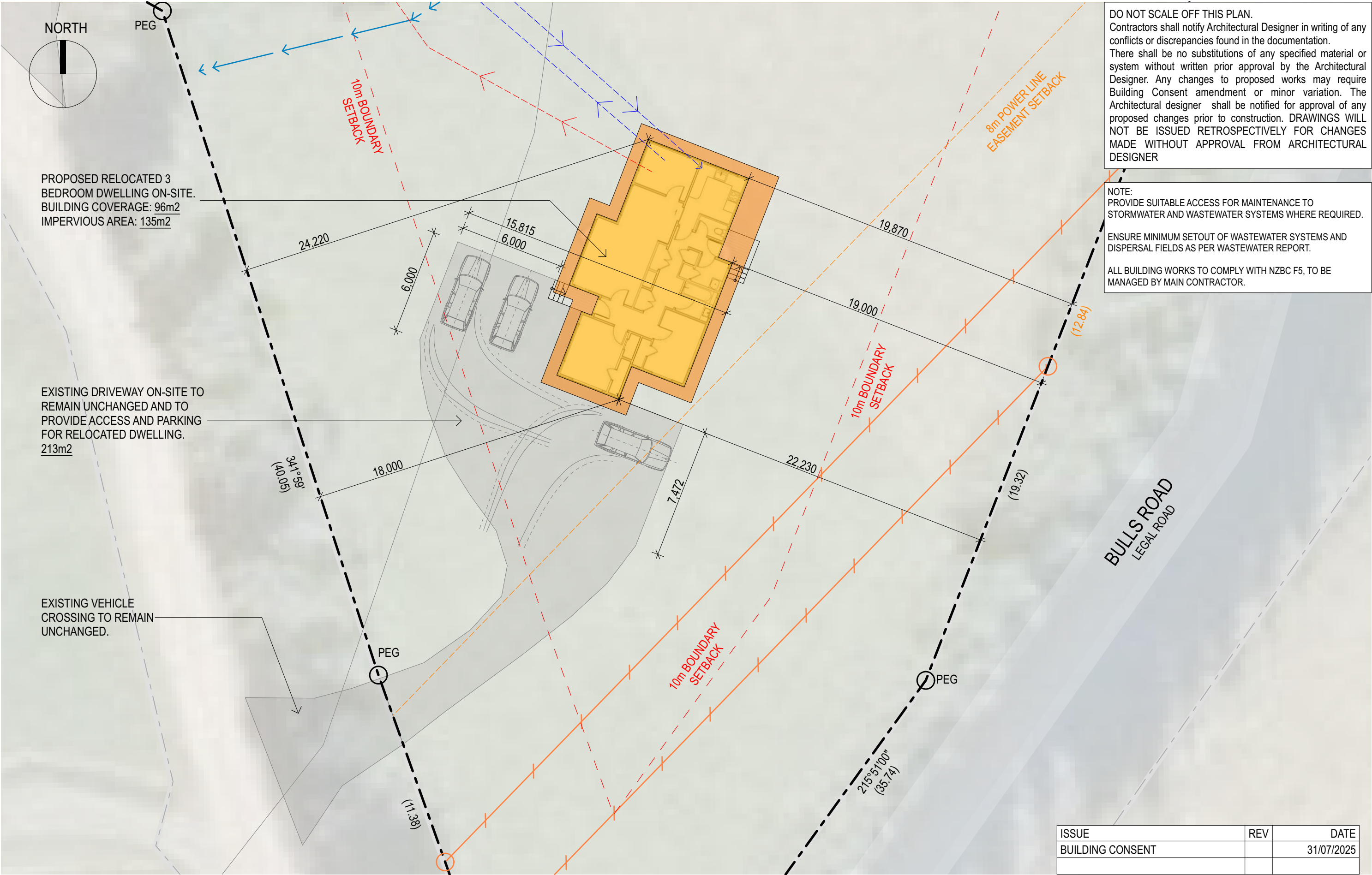


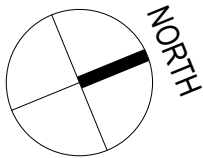
DO NOT SCALE OFF THIS PLAN.
Contractors shall notify Architectural Designer in writing of any conflicts or discrepancies found in the documentation.
There shall be no substitutions of any specified material or system without written prior approval by the Architectural Designer. Any changes to proposed works may require Building Consent amendment or minor variation. The Architectural designer shall be notified for approval of any proposed changes prior to construction. DRAWINGS WILL NOT BE ISSUED RETROSPECTIVELY FOR CHANGES MADE WITHOUT APPROVAL FROM ARCHITECTURAL DESIGNER

SITE INFORMATION	
Site Address:	1213B State Highway 10, Kerikeri
Legal Description:	Lot 2 DP 202589
CT No:	NA131A/126
Gross Site Area:	9,988m2
Net Site Area:	9,988m2
Planning Zone:	Rural Production Zone
Wind Zone:	High as per SED
Earthquake Zone:	Zone 1
Exposure Zone:	Zone C
Climate Zone:	Zone 1
Soil Classification:	As per Geotech report
Existing building coverage:	Existing shed on-site = 207m2 total (2%)
Proposed building coverage:	Existing shed on-site = 207m2 + Proposed Relocated dwelling = 96m2 = 303m2 total (3%)
Existing impermeable:	Existing shed on-site = 207m2 + Existing metal driveway = 637m2 = 844m2 total (9%)
Proposed impermeable:	Existing shed on-site = 207m2 + Existing driveways = 637m2 + Proposed Relocated dwelling = 135m2 = 979m2 total (10%)

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025







FLOOR STATUS

Existing Carpet overlay.

Existing Lino overlay.

Refer to Keynote for floor type/construction.

NOTES: ENSURE DEFECTS NOTED IN BUILDING REPORT ARE CHECKED BY MAIN CONTRACTOR AND REQUIRED REMEDIAL WORKS TO BE COMPLETED ON A LIKE FOR LIKE/REMEDIAL BASIS.

ALL DIMENSIONS TO BE VERIFIED WITH EXISTING BUILDING.

In-case Hazardous materials are detected on-site (including asbestos) it is to be properly disposed off and dealt with as per F1/AS1 and health and safety (asbestos) regulations 2016.

DO NOT SCALE OFF THIS PLAN.

Contractors shall notify Architectural Designer in writing of any conflicts or discrepancies found in the documentation. There shall be no substitutions of any specified material or system without written prior approval by the Architectural Designer. Any changes to proposed works may require Building Consent amendment or minor variation. The Architectural designer shall be notified for approval of any proposed changes prior to construction. DRAWINGS WILL NOT BE ISSUED RETROSPECTIVELY FOR CHANGES MADE WITHOUT APPROVAL FROM ARCHITECTURAL DESIGNER

- KEYNOTES**
- FLOORS**
- F01 TIMBER FLOOR - CARPET
Existing carpet floor overlay over existing timber floor structure. Replace like for like if damaged.
- F02 TIMBER FLOOR - LINO
Existing lino floor covering to remain unchanged over existing timber floor structure. Ensure floor finish installed is compliant with Watersplash impervious finish required as per E3/AS1.
- F03 NEW TIMBER DECK UNDER 1m
New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent). Ensure to be built/completed prior to CCC.

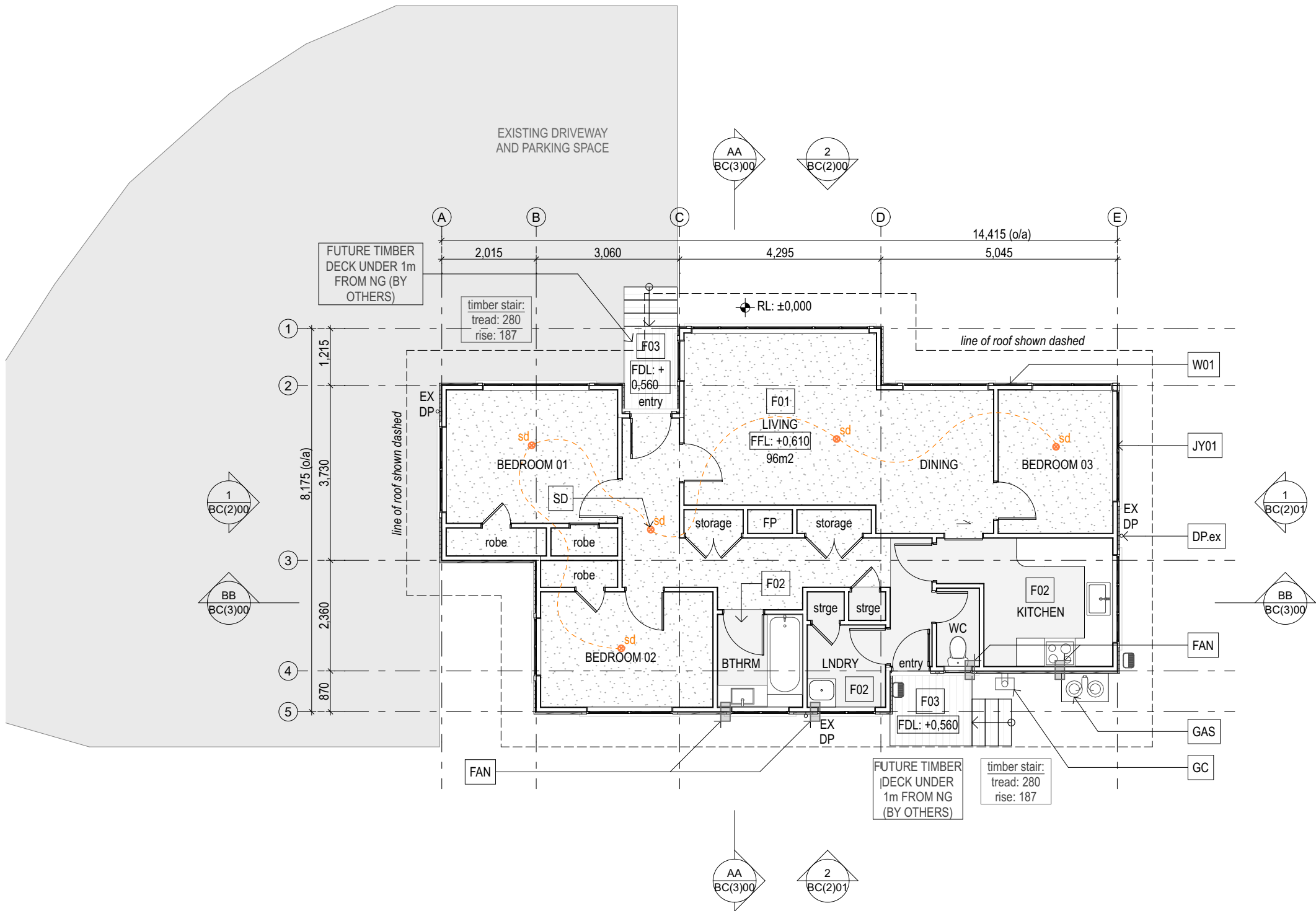
- WALLS**
- W01 EXISTING WEATHERBOARDS
Existing timber weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.

- EXTERIOR JOINERY**
- JY01 EXISTING JOINERY
Existing timber joinery. Replace any finishing lines or units that are effected from move.

- SERVICES - ELECTRICAL**
- FAN EXTRACT FAN
Existing or new wall-mounted extract fan ducted to exterior. Ensure meets G4/AS1 requirements. Min. extraction rate to be 25L/s in bathroom areas and 50L/s in kitchen (cooking areas)
- SD SMOKE DETECTOR
New interconnected smoke detectors to be installed and be located in all bedrooms, living spaces, hallways and landings within a building. All interconnected smoke detectors to be within 10m of each other in any direction. Ensure smoke alarms are installed in compliance with NZS4514:2021, C/AS1 and F7/AS1.

- SERVICES - RAINWATER DISPOSAL**
- DP.ex DOWNPIPE - EXISTING
Existing downpipes to remain.

- SERVICES - PLUMBING**
- GAS GAS BOTTLE
New gas bottle. To be located on new concrete plinth. To comply with G11. Selected Gas califont to suit and ensure required seismic restraints (off the shelf system to come with gas bottle) is installed.
- GC GAS CALLIFONT
New Rinnai A26 LPG external gas califont. Installed as per manufacturers specifications.



ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025



ENSURE PILE AT JOIN BELOW EVERY FLOOR BEARER TAKING DWELLING LOAD.

READ IN CONJUNCTION WITH GEOTECHNICAL ENGINEERING.

GEOTECHNICAL & STRUCTURAL ENGINEER'S
HAIGH WORKMAN LTD
INFO@HAIGHWORKMAN.CO.NZ
09 407 8327

FLOOR FRAMING NOTE:

If existing floor joists land on existing bearer and this is not supported by piles below, then contractor to run new joists alongside existing to span to closest floor bearers taking load / supported by piles. Fixings in compliance with NZS3604:2011 and B1/AS1.

Joints in bearers shall be made only over supports but shall not occur where the bearer is fixed directly to an anchor pile or a braced pile.

IF CHANGES TO SUBFLOOR, CONTACT ARCHITECT TO WORK THROUGH COMPLIANT SOLUTION.
REFER TO STRUCTURAL ENGINEERING DOCUMENTS FOR SUBFLOOR & WALL BRACING DESIGN & CALCS.

FRAMING/FOUNDATION PLAN NOTES:

Min 450mm of crawl space to underside of new and existing floor joists. Subfloor ventilation as per NZS3604:2011, 6.14.

All new fixings within 600mm of ground to be 304 stainless steel.

Please refer to subfloor bracing calcs attached.

Subfloor ventilation as per NZS3604:2011 6.14.2

FIXING & DURABILITY NOTES NOTES:

Use Stainless Steel fixings for subfloor if:
- Seaspray zone (500m from Coast)

- Exposed subfloor (including baseboards)

Fixings in contact w/ CCA treated timber

- Within 600mm of ground to be 304 stainless steel.

otherwise galv. steel fixings.

DO NOT SCALE OFF THIS PLAN.

Contractors shall notify Architectural Designer in writing of any conflicts or discrepancies found in the documentation. There shall be no substitutions of any specified material or system without written prior approval by the Architectural Designer. Any changes to proposed works may require Building Consent amendment or minor variation. The Architectural designer shall be notified for approval of any proposed changes prior to construction. DRAWINGS WILL NOT BE ISSUED RETROSPECTIVELY FOR CHANGES MADE WITHOUT APPROVAL FROM ARCHITECTURAL DESIGNER

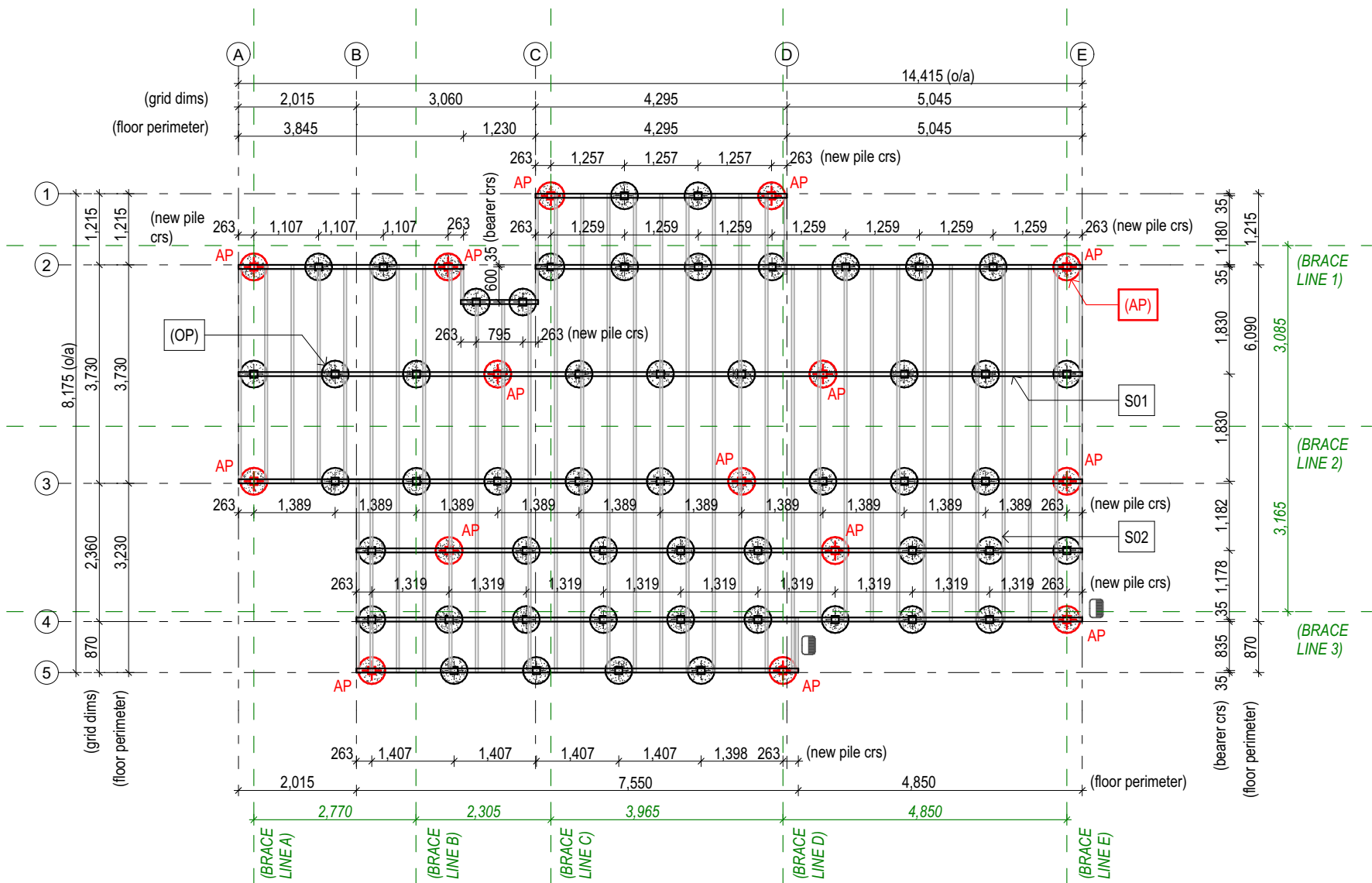
KEYNOTES

FOUNDATIONS

- (AP) ANCHOR PILE
New 125x125sq H5 timber anchor piles embedded into 450øx1200mm min. deep concrete footings (1200mm min embedment depth into stiff natural ground level) into finished ground. Ensure no more than 600mm max. height from cleared ground. Read in conjunction with geotech engineer investigations and report & Structural engineering design. Concrete strength to be 25MPa min. Lumberlok 12kN fixing as per structural engineering.
- (OP) 125 SQ. ORDINARY TIMBER PILES
New 125x125sq H5 timber anchor piles embedded into 450øx1200mm min. deep concrete footings (1200mm min embedment depth into stiff natural ground level) as per Geotech report. Read in conjunction with geotech engineer investigations and report & Structural engineering design. 2x wiredogs, 1 per side & 2/100x3.75 skew nails up into bearer. Concrete strength to be 25MPa.

STRUCTURE

- S01 FLOOR BEARER EXISTING
Existing 100x70 timber bearer, 200mm max cantilever. COS. to remain unchanged.
- S02 FLOOR JOIST EXISTING
Existing 140x45 timber joists @ 450crs to remain unchanged.



ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025

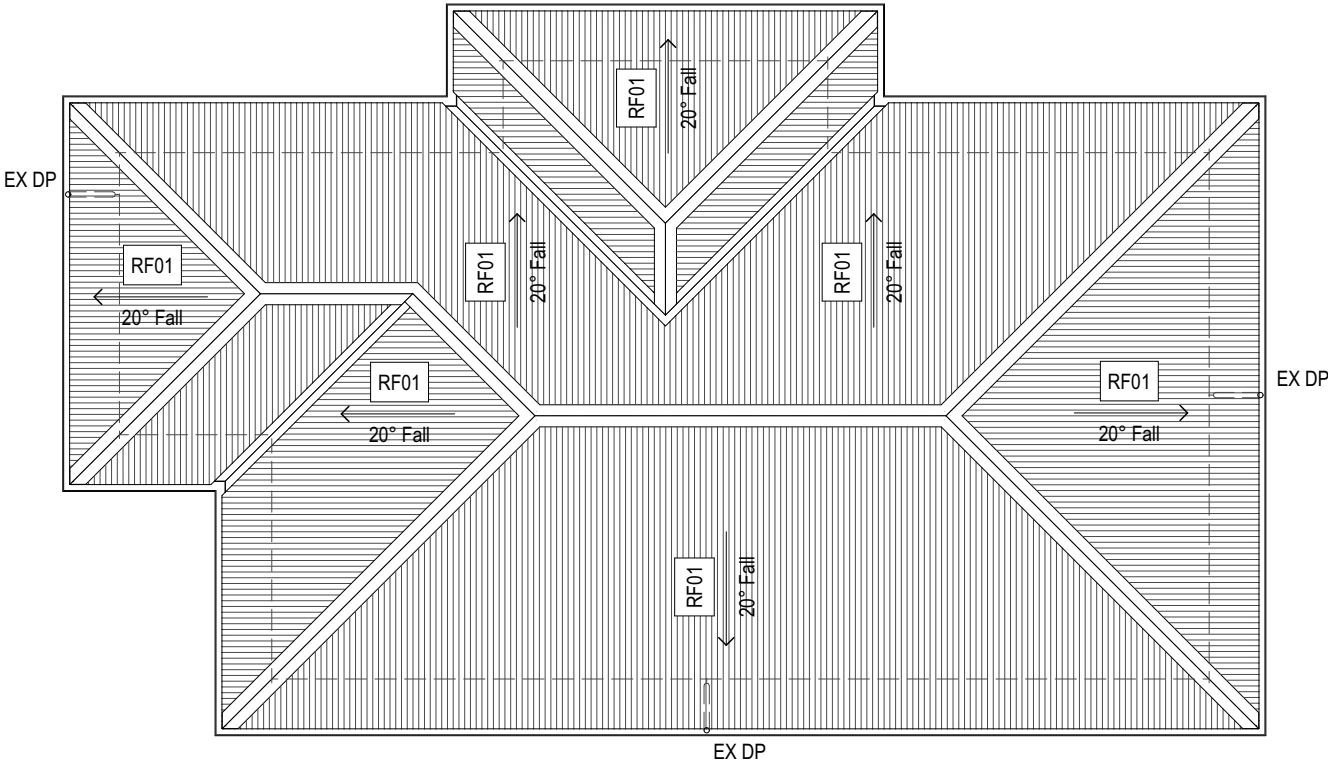


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KEYNOTES

ROOFS

RF01 EXISTING ROOF
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.



ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025



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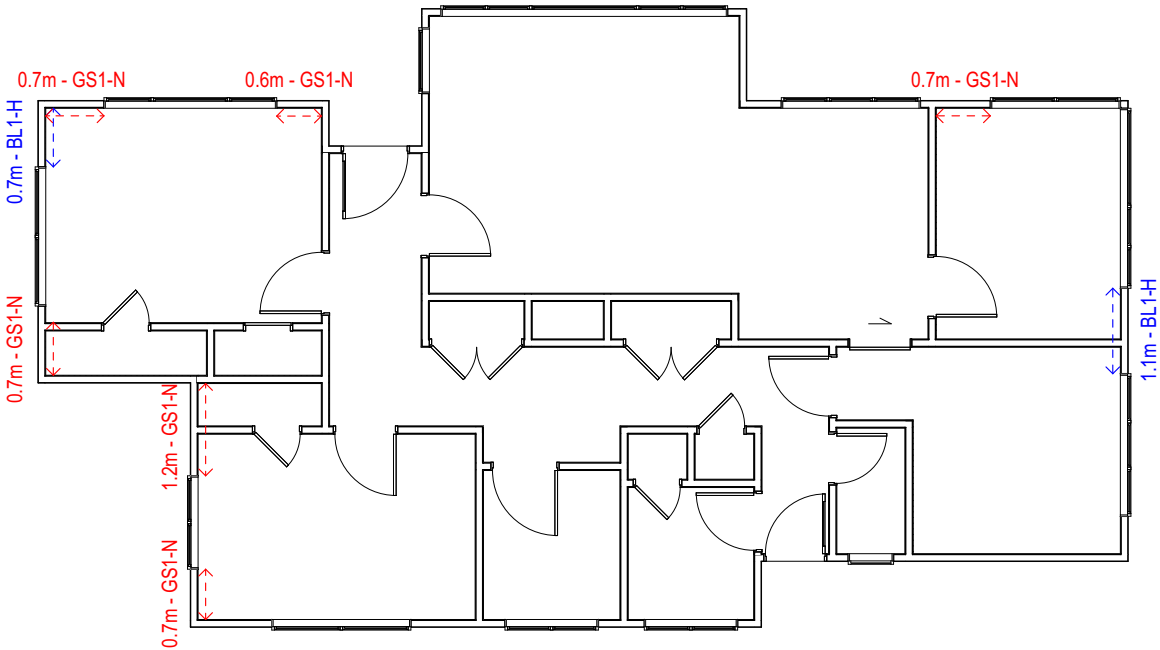
WALL STATUS

- Existing timber framed wall
- (m) - BL1-H

New GIB braced lining over existing framing to replace existing plasterboard sheets. Refer to SED bracing calcs and GIB fixing details in Arch set.
- (m) - GS1-N

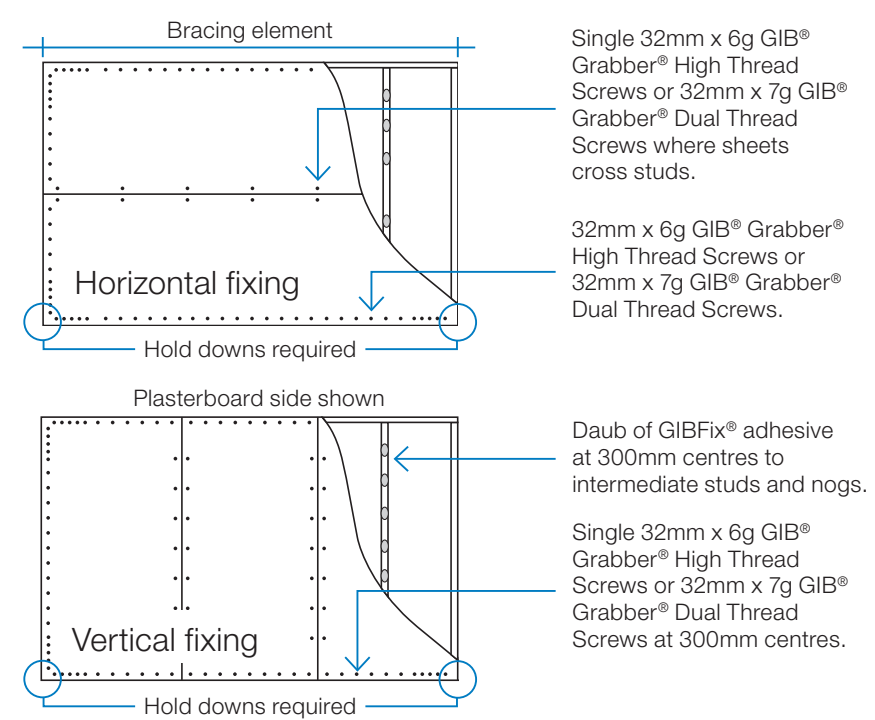
New GIB braced lining over existing framing to replace existing plasterboard sheets. Refer to SED bracing calcs and GIB fixing details in Arch set.

Refer to ENG bracing calcs and GIB BL1-H, GS1-N, fixing and fitting details for info. All bracing units to be 2.4m high min and retrofit existing sheets of GIB / plaster board.

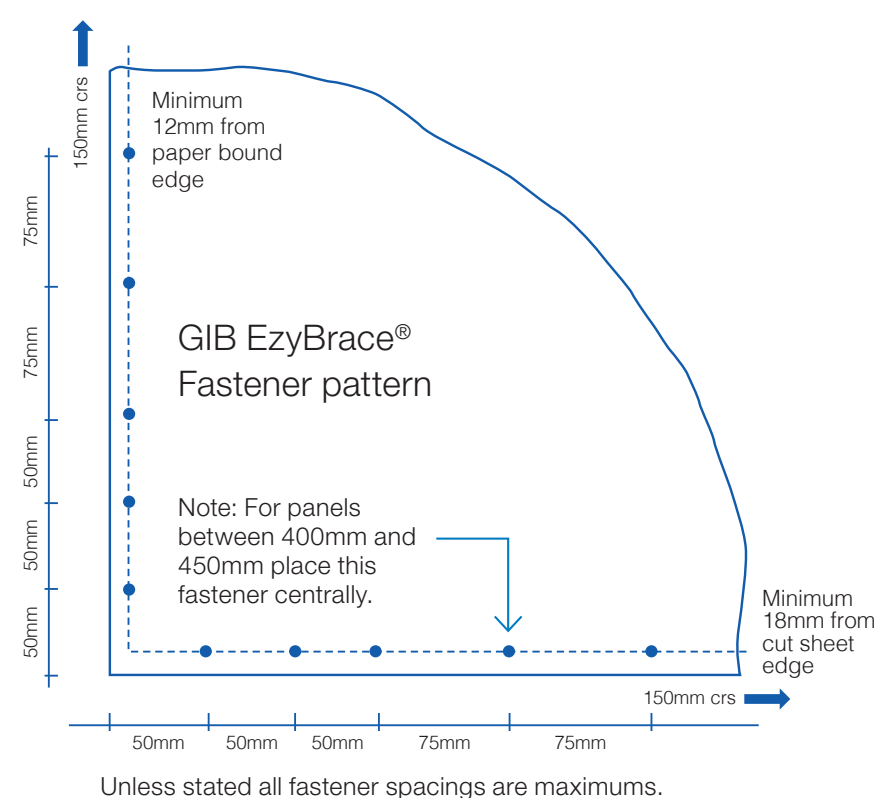


ISSUE	REV	DATE
RFIs 01		19/08/2025

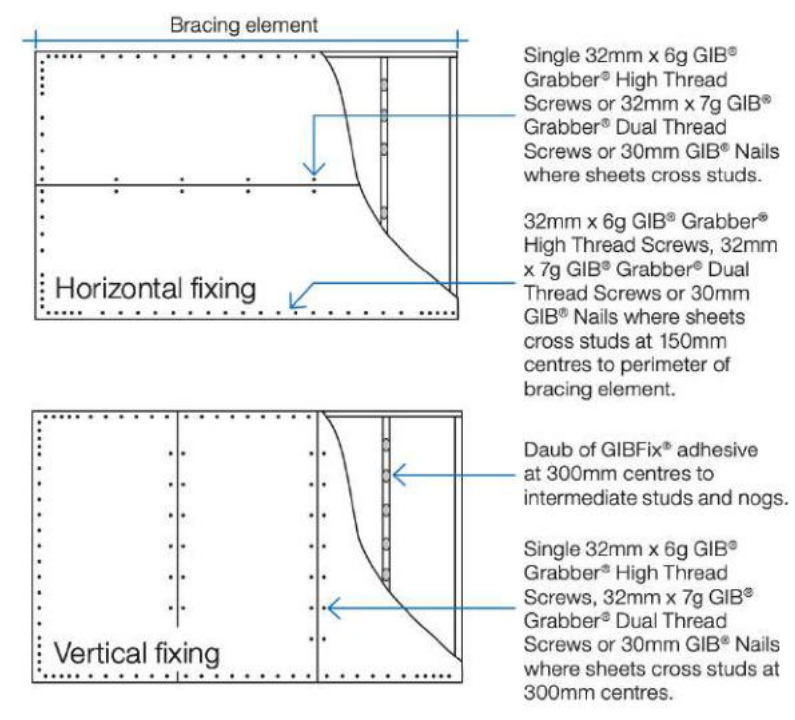




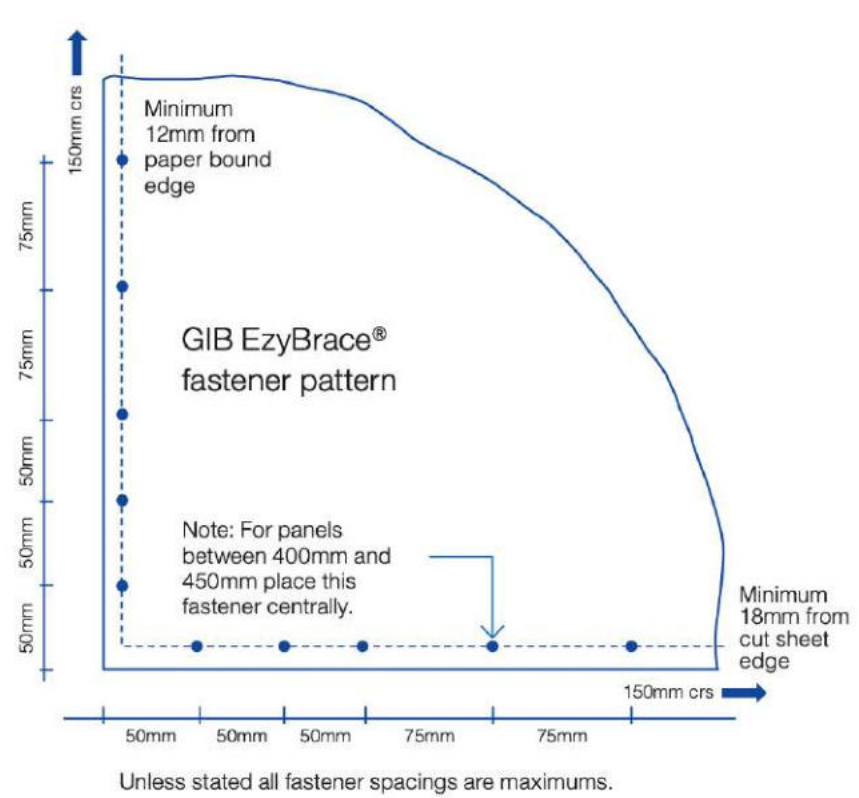
GIB BRACING BL1-H FIG EXTRACTS



GIB BRACING BL1-H FIG EXTRACTS



GIB BRACING GS1-N FIG EXTRACTS



GIB BRACING GS1-N FIG EXTRACTS

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KEYNOTES

FLOORS

- F03 NEW TIMBER DECK UNDER 1m
New Timber deck, to be under 1m from NG to FDL & by others (not apart of this consent).
Ensure to be built/completed prior to CCC.

WALLS

- W01 EXISTING WEATHERBOARDS
Existing timber weatherboards to remain on existing timber framed walls. Allow to make good as required on a like for like basis.

ROOFS

- RF01 EXISTING ROOF
Existing metal roofing to remain over existing timber roof structure. Refer to building report condition of structure and materials. Replace sheets of roofing if effected by move on a like by like basis.

EXTERIOR JOINERY

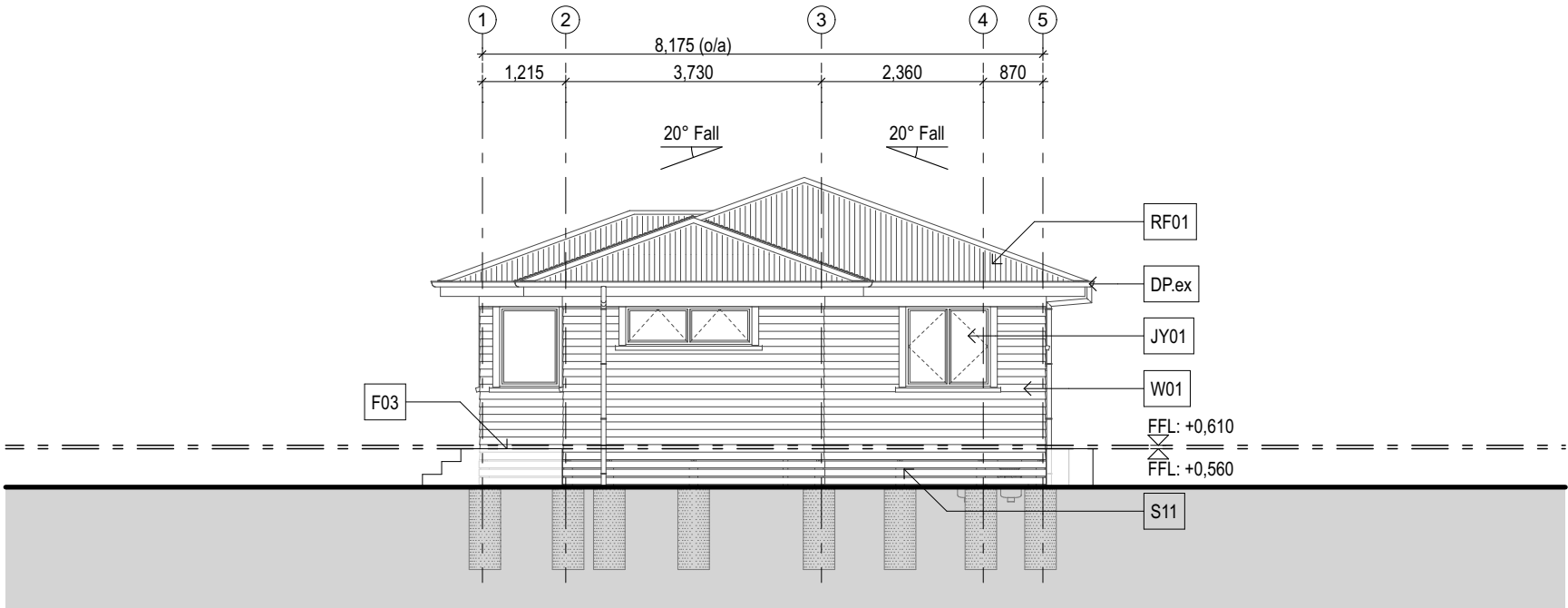
- JY01 EXISTING JOINERY
Existing timber joinery. Replace any finishing lines or units that are effected from move.

SERVICES - RAINWATER DISPOSAL

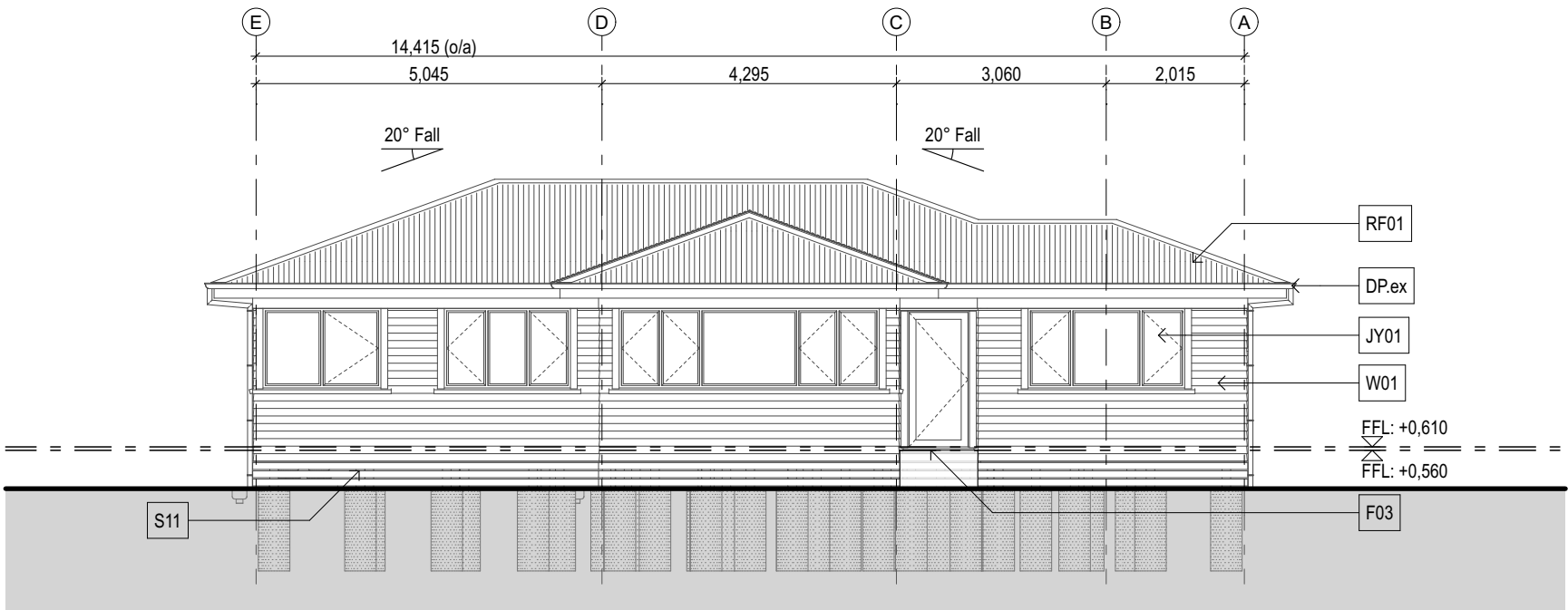
- DP.ex DOWNPIPE - EXISTING
Existing downpipes to remain.

STRUCTURE

- S11 SUBFLOOR BOARDS
New Timber 100x20 subfloor boards w/ min 20mm ventilation gaps between boards to comply as per NZS3604:2011 sec 6:14.
Ensure sufficient subfloor access.



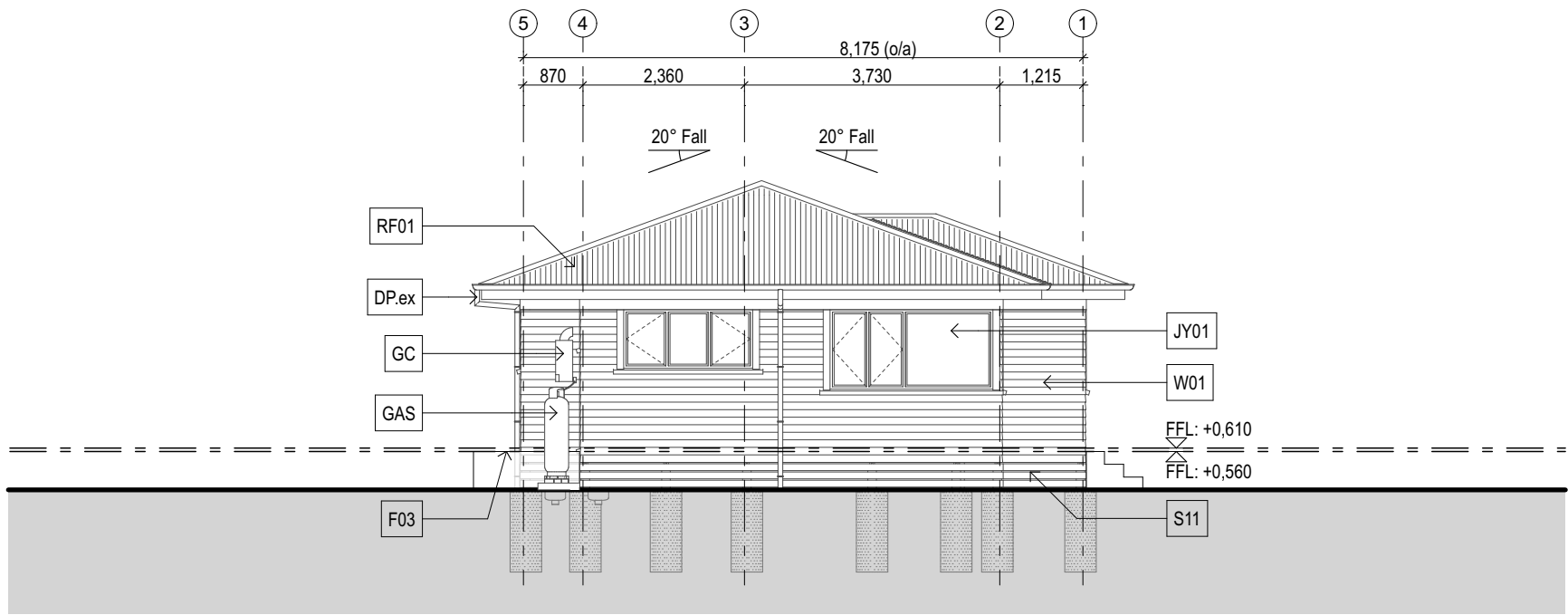
1
- SOUTH ELEVATION



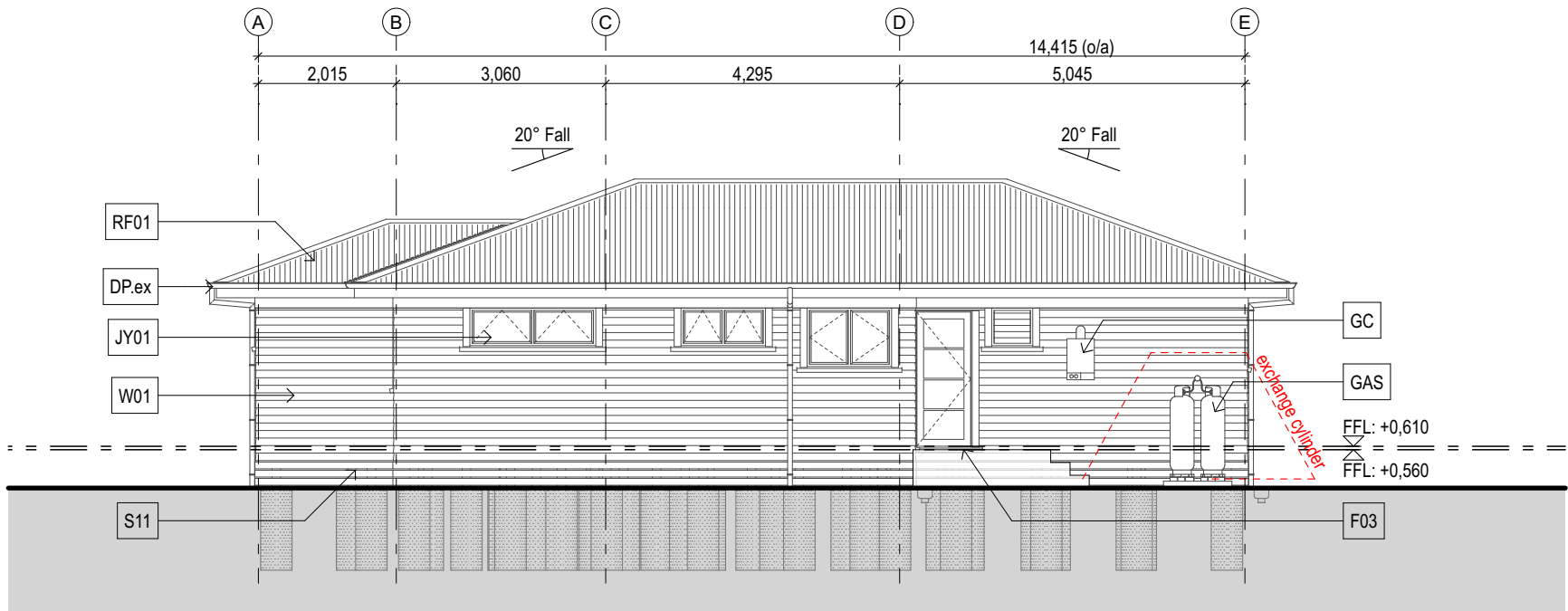
2
- WEST ELEVATION

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025





1
- NORTH ELEVATION



2
- EAST ELEVATION

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KEYNOTES

FLOORS

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WALLS

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EXTERIOR JOINERY

JY01 EXISTING JOINERY
Existing timber joinery. Replace any finishing lines or units that are effected from move.

SERVICES - RAINWATER DISPOSAL

DP.ex DOWNPIPE - EXISTING
Existing downpipes to remain.

SERVICES - PLUMBING

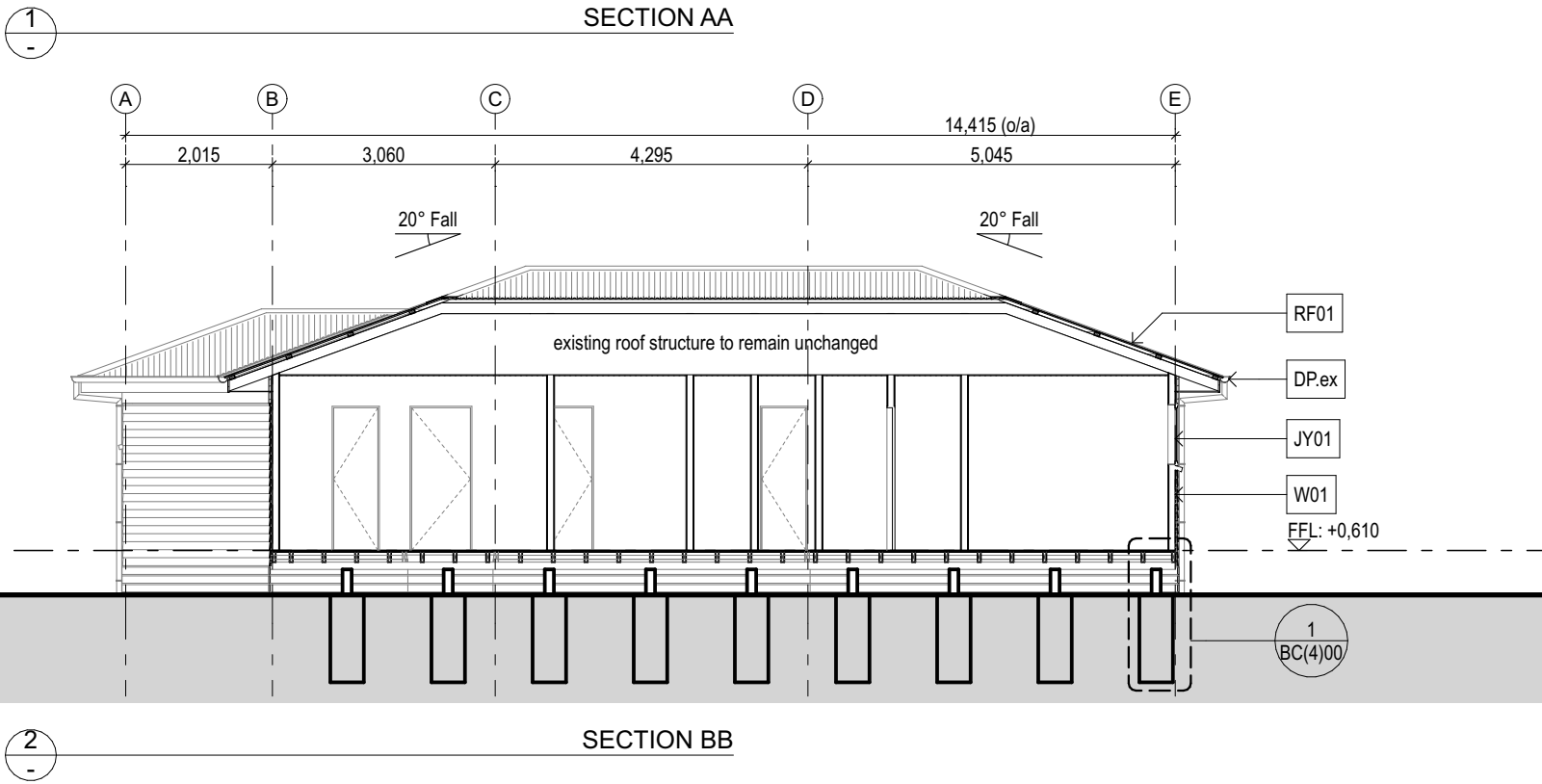
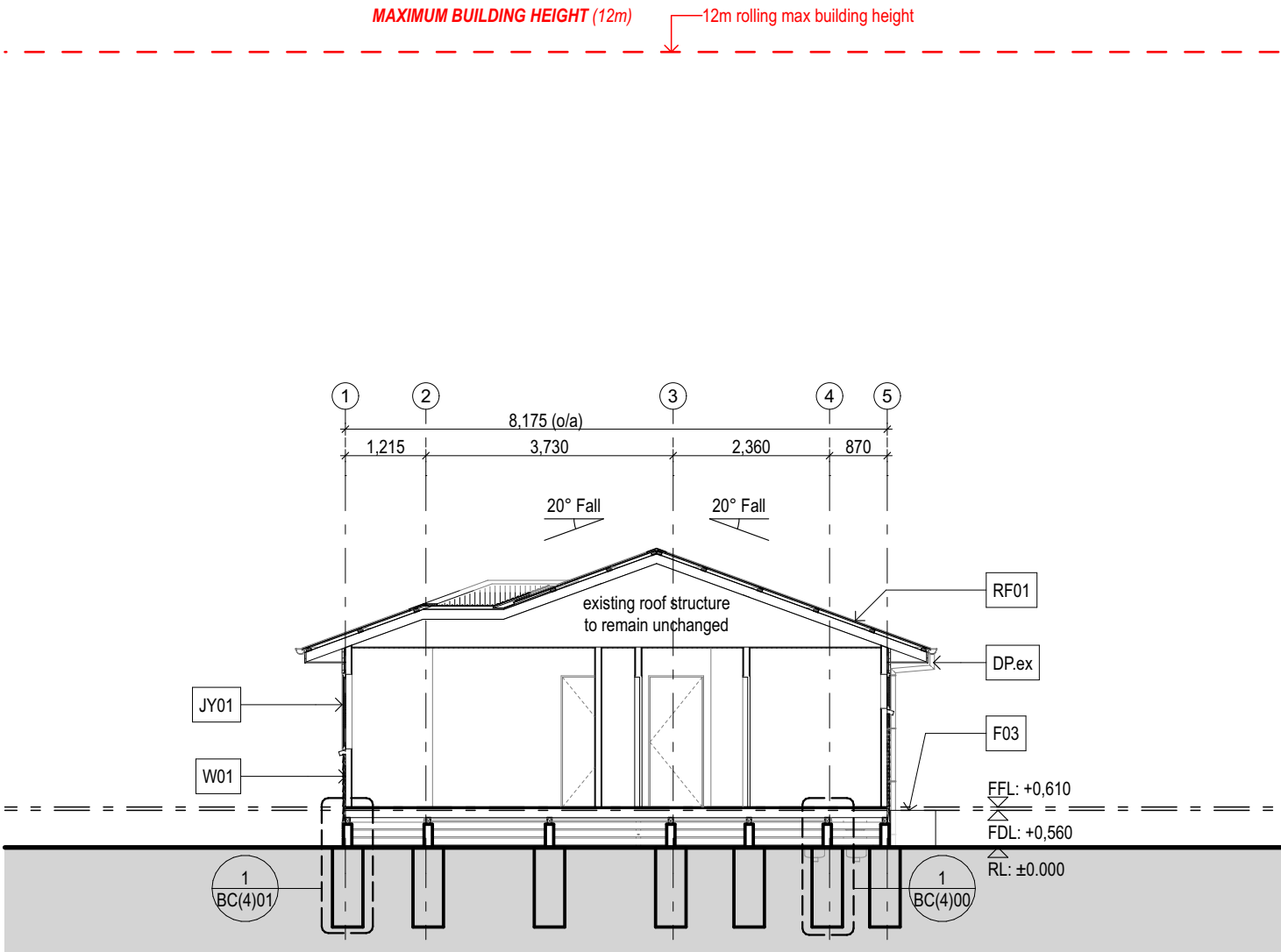
GAS GAS BOTTLE
New gas bottle. To be located on new concrete plinth. To comply with G11. Selected Gas califont to suit and ensure required seismic restraints (off the shelf system to come with gas bottle) is installed.
GC GAS CALLIFONT
New Rinnai A26 LPG external gas califont. Installed as per manufacturers specifications.

STRUCTURE

S11 SUBFLOOR BOARDS
New Timber 100x20 subfloor boards w/ min 20mm ventilation gaps between boards to comply as per NZS3604:2011 sec 6:14. Ensure sufficient subfloor access.

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025





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KEYNOTES

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Existing downpipes to remain.

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025



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WWW.RELOCATEIT.CO.NZ
T: 02102867410
E: OFFICE@RELOCATEIT.CO.NZ

Existing flooring to remain unchanged

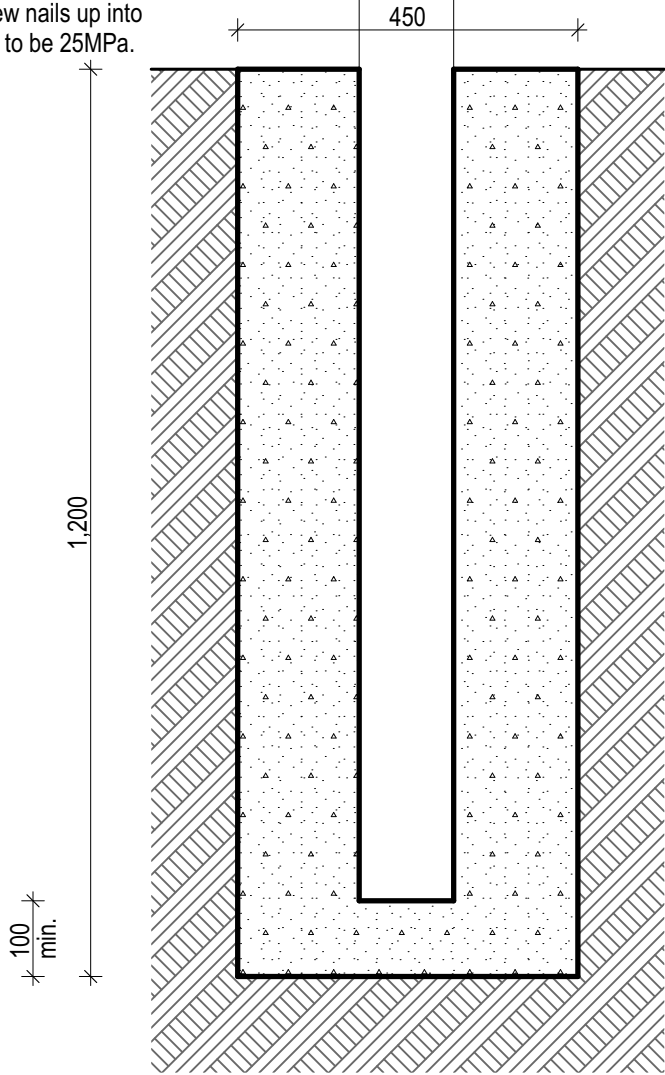
Existing floor framing to remain unchanged

2/Wiredogs and 2/100x3.75 skew nails up into bearer for fixing

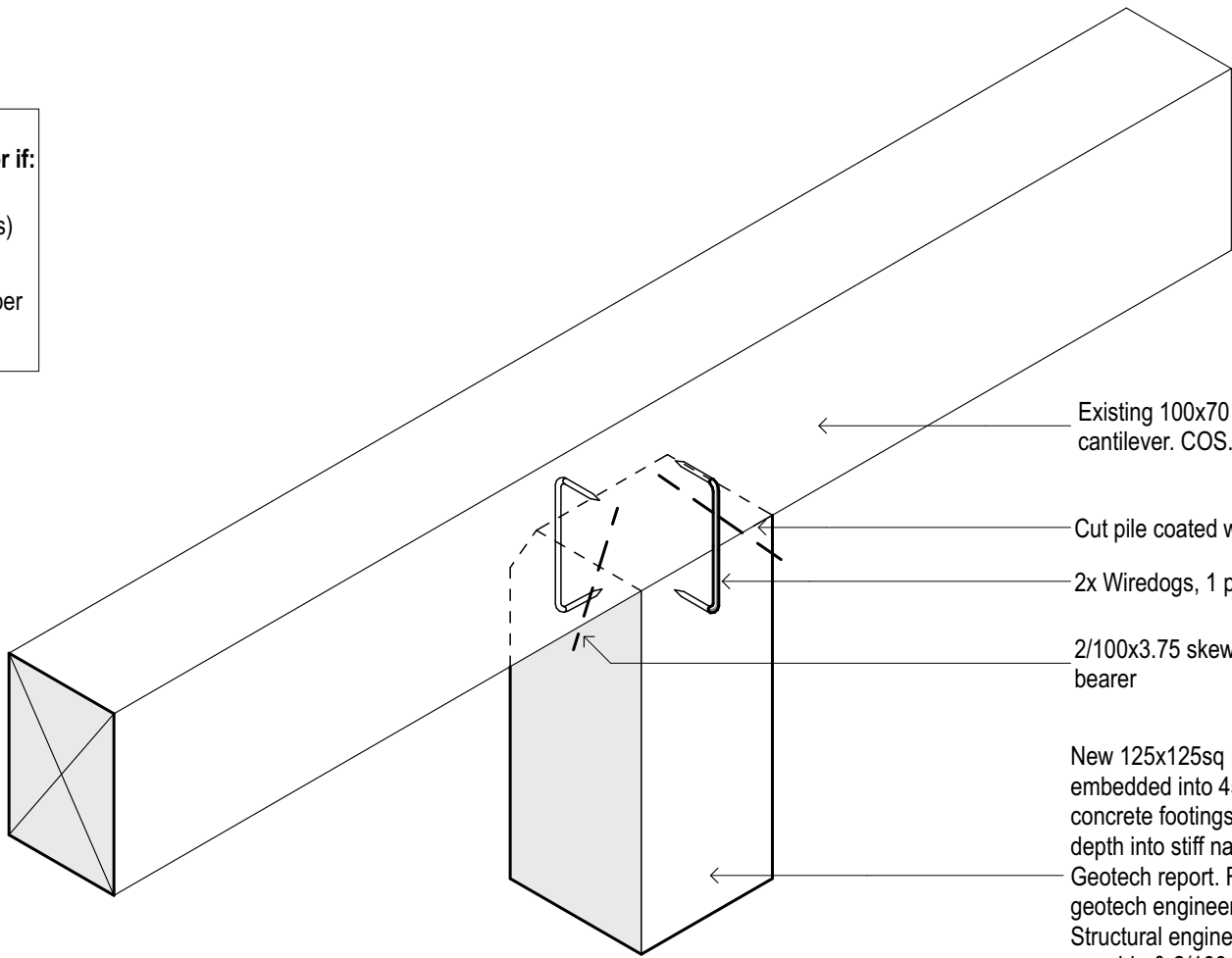
New 125x125sq H5 timber anchor piles embedded into 450øx1200mm min. deep concrete footings (1200mm min embedment depth into stiff natural ground level) as per Geotech report. Read in conjunction with geotech engineer investigations and report & Structural engineering design. 2x wiredogs, 1 per side & 2/100x3.75 skew nails up into bearer. Concrete strength to be 25MPa.

Existing 100x70 timber bearer, 200mm max cantilever. COS. to remain unchanged.

Cut pile coated with Metalex



Fixing durability requirements
Use Stainless Steel fixings for subfloor if:
- Seaspray zone (500m from coast)
- Exposed subfloor (including baseboards)
- Fixing within 600mm from ground
- Fixings in contact with CCA treated timber
otherwise use galv. steel fixings



Existing 100x70 timber bearer, 200mm max cantilever. COS. to remain unchanged.

Cut pile coated with Metalex

2x Wiredogs, 1 per side

2/100x3.75 skew nails up into bearer

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1

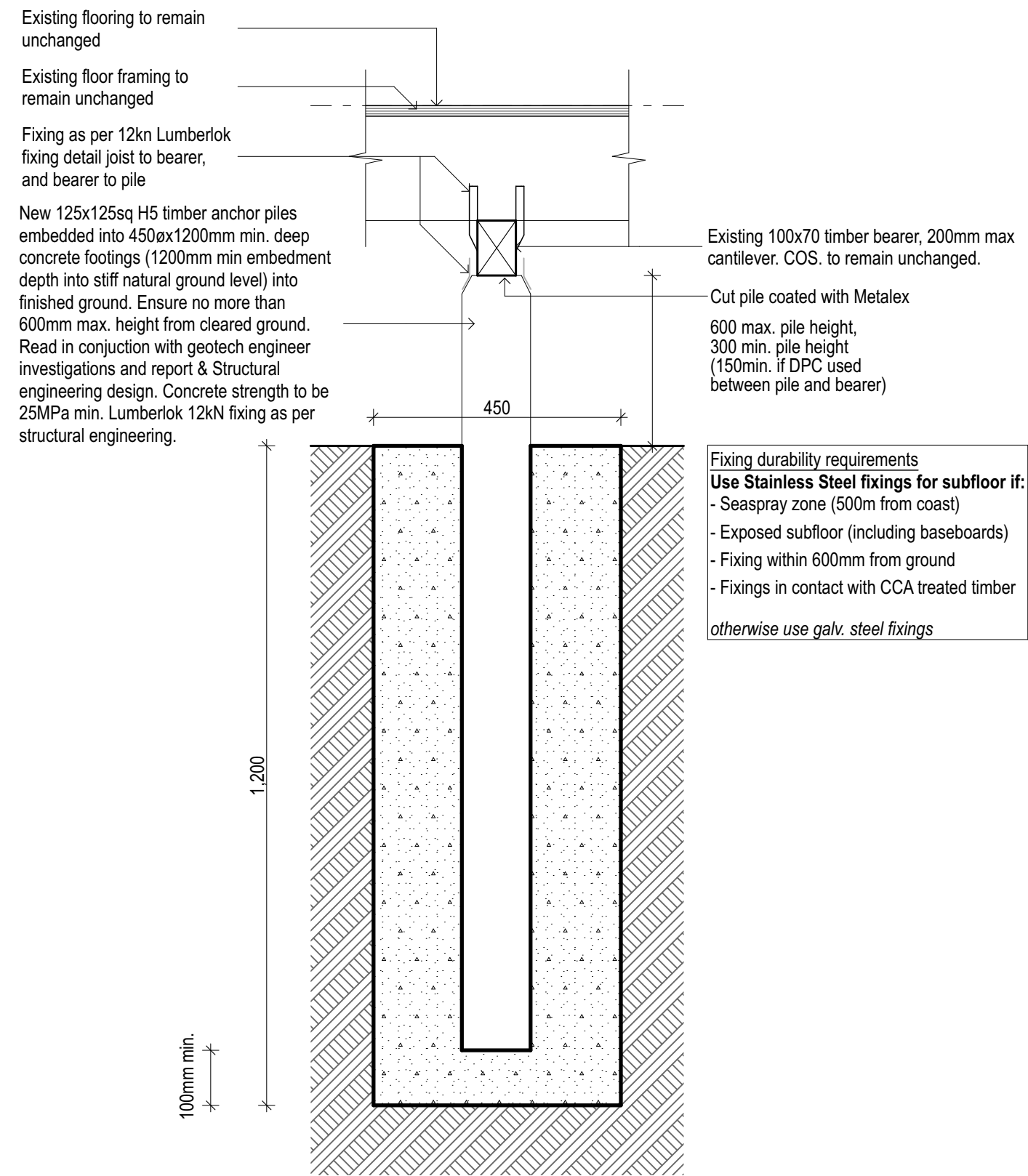
ORDINARY PILE DETAIL (2D)

2

ORDINARY PILE DETAIL (3D)

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025



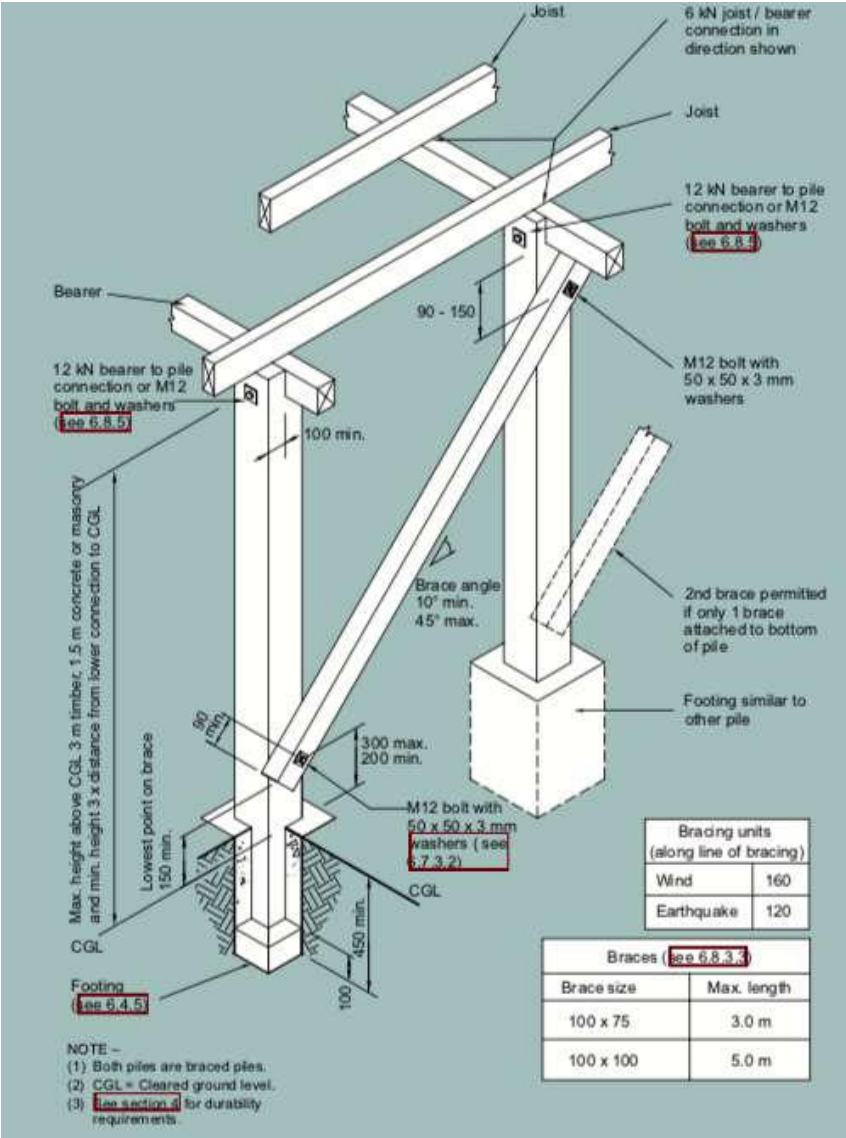


Fixing durability requirements
Use Stainless Steel fixings for subfloor if:
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 - Exposed subfloor (including baseboards)
 - Fixing within 600mm from ground
 - Fixings in contact with CCA treated timber
otherwise use galv. steel fixings

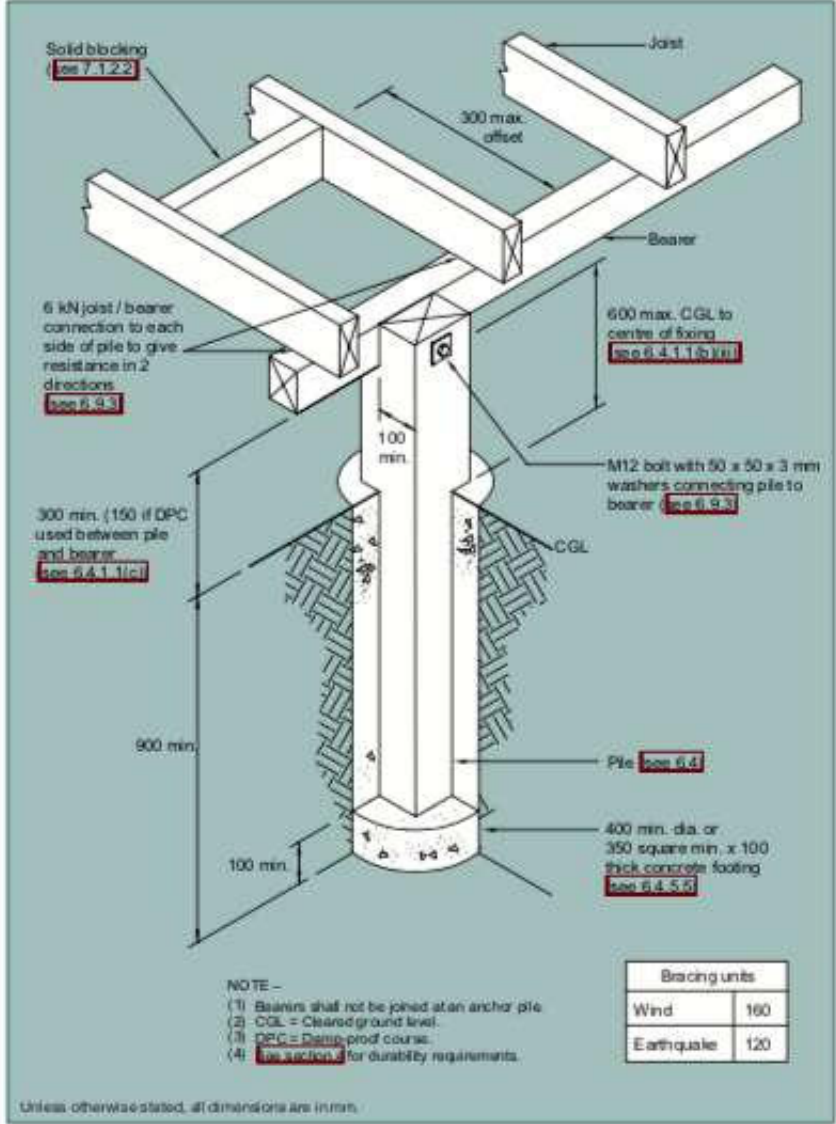
1
- ANCHOR PILE DETAIL

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025

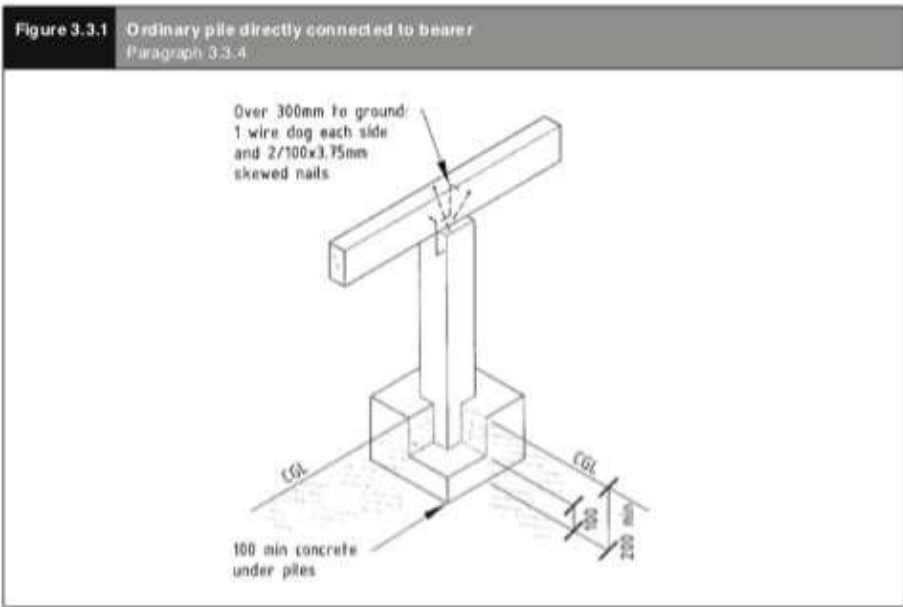




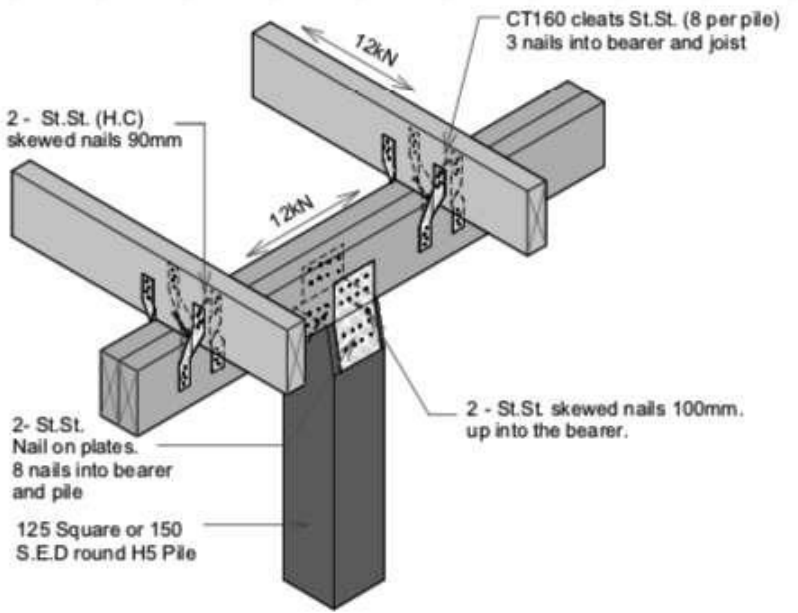
1 BRACED PILE_PILE TO PILE CONNECTION 3604



2 ANCHOR PILE_PILE TO BEARER ONLY 3604



3 STANDARD PILE DETAIL



4 12KN PILE CONNECTION

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025



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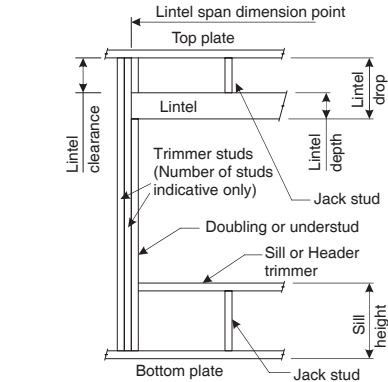
01/2017

LINTEL FIXING SCHEDULE

ALTERNATIVE TO TABLE 8.14 & FIGURE 8.12

NZS 3604:2011

All fixings are designed for vertical loads only. Dead loads include the roof weight and standard ceiling weight of 0.20kPa. Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist horizontal loads. These fixings assume the correct choice of rafter/truss to top plate connections have been made. All fixings assume bottom plate thickness of 45mm maximum. Note: TYLOK options on timber species. Wall framing arrangements under girder trusses are not covered in this schedule. All timber selections are as per NZS 3604:2011.



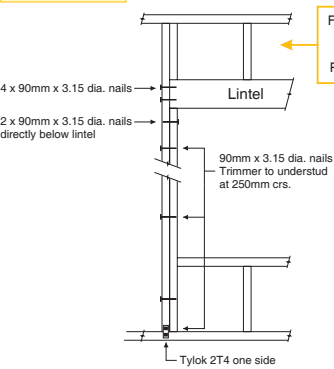
Roof Tributary Area	Light Roof Wind Zone				Heavy Roof Wind Zone			
	L, M, H		VH, EH		L, M, H		VH, EH	
	L	M	VH	EH	L	M	VH	EH
8.6m ²	G	G	H	H	G	G	H	H
11.6m ²	G	H	H	H	G	G	H	H
12.1m ²	G	H	H	H	G	H	H	H
15.3m ²	H	H	-	-	G	H	H	H
19.1m ²	H	-	-	-	G	H	-	-
20.9m ²	H	-	-	-	H	H	-	-
21.8m ²	H	-	-	-	H	-	-	-
34.3m ²	-	-	-	-	H	-	-	-

- NOTES:
- Roof Tributary Area = approx. 1/2 x (Total roof area on girder and rafter trusses supported by lintel)
 - Assumed girder truss is at mid-span or middle third span of lintel
 - Use similar fixings for both ends of lintel
 - All other cases require specific engineering design

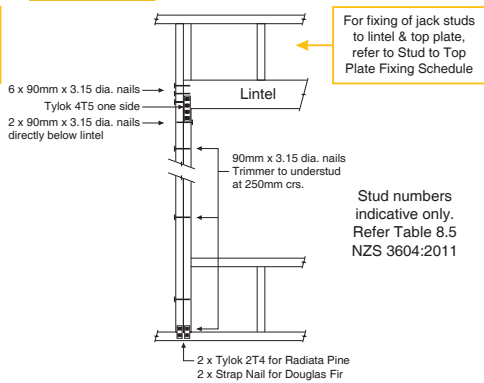
Lintel Span (m)	Loaded Dimension (m) (See Fig. 1.3 NZS 3604:2011)	Light Roof Wind Zone				Heavy Roof Wind Zone			
		L	M	H	VH	L	M	H	VH
1.0	2.0	E	E	F	F	E	E	E	F
	3.0	E	E	F	F	E	E	F	F
	4.0	E	F	F	G	E	E	F	F
	5.0	E	F	F	G	E	E	F	F
	6.0	E	F	F	G	E	E	F	F
1.2	2.0	E	E	F	F	E	E	F	F
	3.0	E	E	F	F	E	E	F	F
	4.0	E	F	F	G	E	E	F	F
	5.0	E	F	F	G	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
1.5	2.0	E	E	F	F	E	E	F	F
	3.0	E	F	F	G	E	E	F	F
	4.0	E	F	F	G	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
2.0	2.0	E	F	F	G	E	E	F	F
	3.0	E	F	F	G	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
2.4	2.0	E	F	F	G	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
3.0	2.0	E	F	F	G	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
3.6	2.0	F	F	G	H	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
4.2	2.0	F	F	G	H	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
4.5	2.0	F	F	G	H	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
4.8	2.0	F	F	G	H	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
5.1	2.0	F	F	G	H	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F
5.4	2.0	F	F	G	H	E	E	F	F
	3.0	F	F	G	H	E	E	F	F
	4.0	F	F	G	H	E	E	F	F
	5.0	F	F	G	H	E	E	F	F
	6.0	F	F	G	H	E	E	F	F

LINTEL FIXING OPTIONS

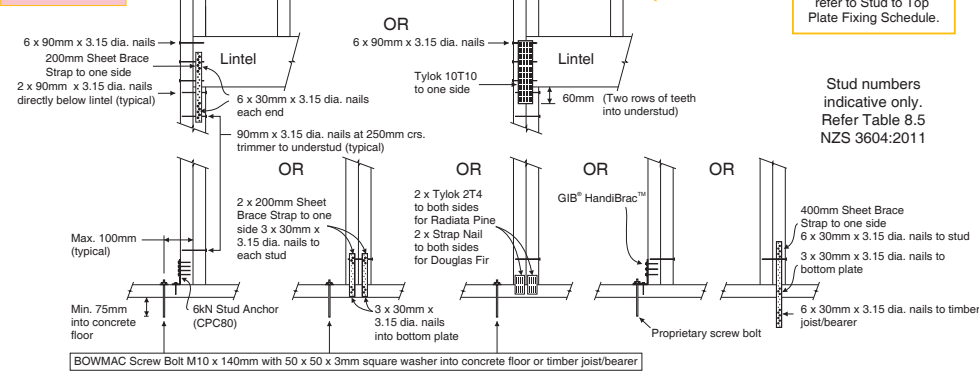
TYPE E 1.4kN



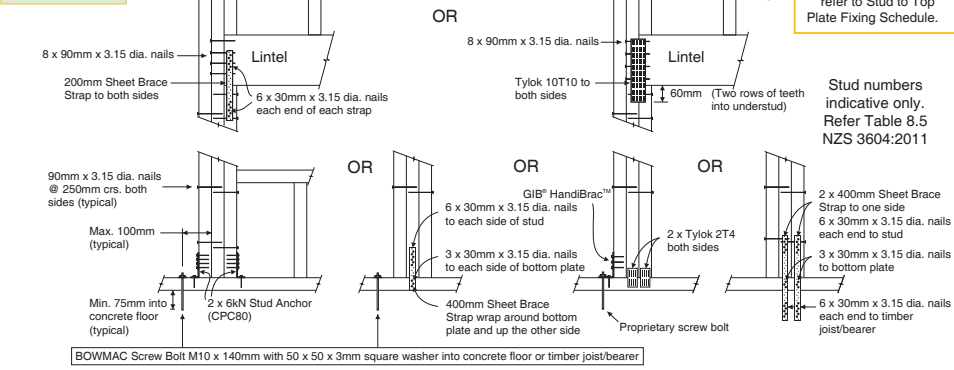
TYPE F 4.0kN



TYPE G 7.5kN



TYPE H 13.5kN



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MiTek New Zealand Limited

AUCKLAND
PO Box 58-014, Botany 2163
Phone: 09-274 7109
Fax: 09-274 7100

CHRISTCHURCH
PO Box 8387, Riccarton 8440
Phone: 03-348 8891
Fax: 03-348 0314

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1213B State Highway 10, Kerikeri

NTS @ A3

DETAILS

22/08/2025

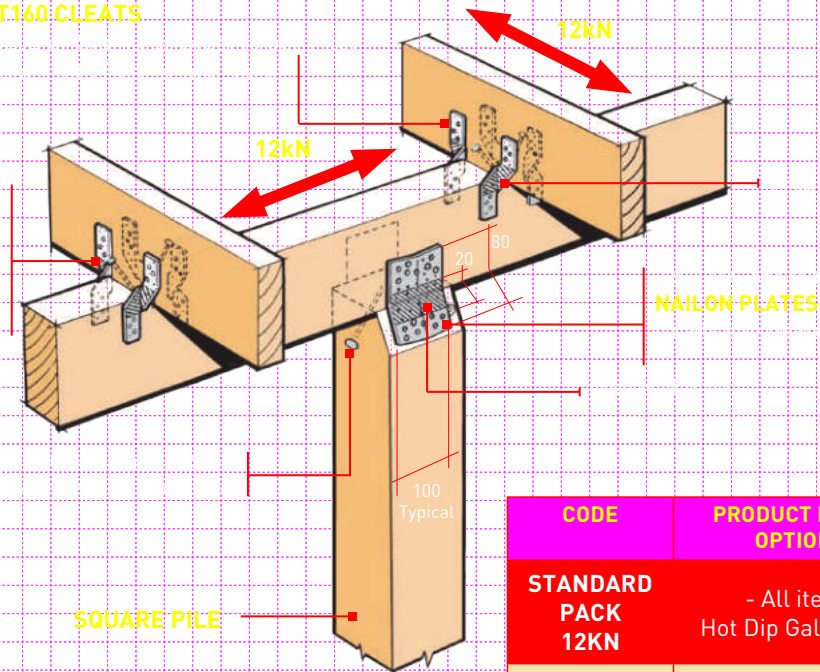
BC
Ref: 2410

BC(4)03
REV:

FOR BRACED PILES OR ANCHOR PILES



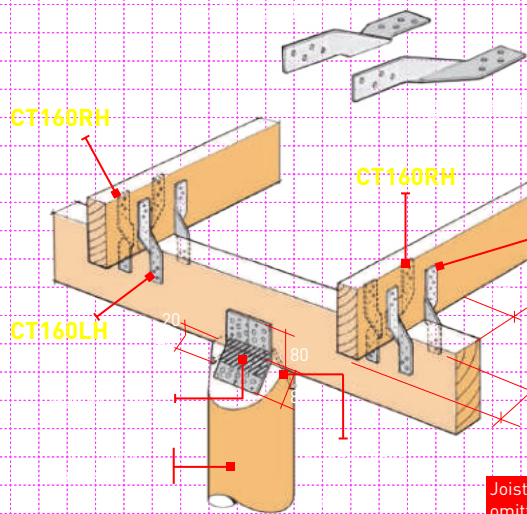
CT160 CLEATS



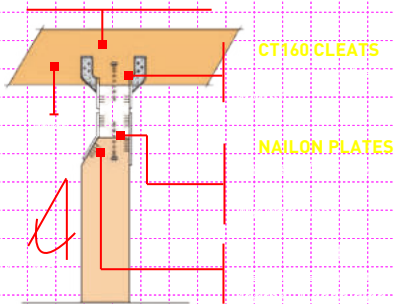
Anchor / Brace Pile Shown

CODE	PRODUCT FINISH OPTIONS
STANDARD PACK 12KN	- All items Hot Dip Galvanised
HIGH CORROSION PACK 12KNH	- All items Stainless Steel

AVAILABLE FROM LEADING BUILDERS SUPPLY MERCHANTS THROUGHOUT NEW ZEALAND

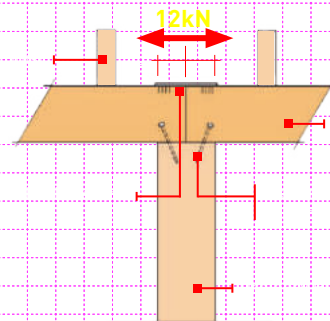


Joist Skew nails
omitted for clarity

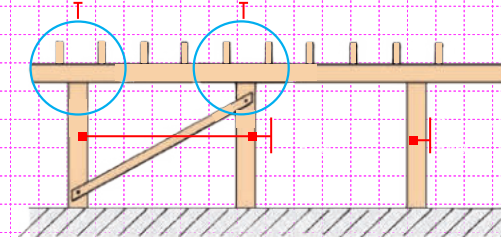
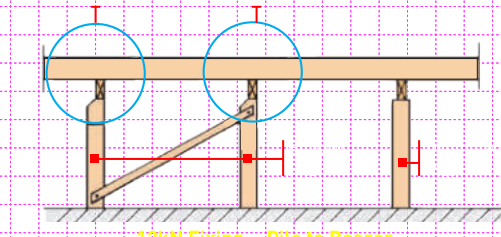


SQUARE PILE

NAILON PLATE



12kN BEARER SPLICE



12kN Fixing - Joist to Bearer

MiTek

CORROSION HAZARD USE TABLE

Standard Pack (12KN) - Zones B & C - All fixings ABOVE 600mm from ground level	- All items Hot Dip Galvanised
High corrosion pack (12KNH) - Zone D - All fixings BELOW 600mm from ground level	- All items Stainless Steel (304)

12kN Joint Fixing Schedule

- PILE TO BEARER**
- Nailon Plate (2 per joint) 1mm x 100mm (Typical) x 160mm long
 - 8 Nails per Plate into Pile
 - 8 Nails per Plate into Bearer
 - 2 Skew Nails 90mm (1 per face)
- JOIST TO BEARER**
- CT160 Cleats (4 per Joist) 160mm long
 - 3 Nails per Cleat into Joist
 - 3 Nails per Cleat into Bearer
 - 2 Skew Nails 90mm (1 per side)
- NAILS**
- 80 x 45mm x 3.55 dia. Spiral Nails
 - 6 x 90mm x 4 dia. St. Steel Nails (12KNH Pack only)

12kN Pile Set Contents

- Each set represents 1 x 12kN Pile Fixing (4 per carton)
- 2 x Nailon Plates 160mm long
 - 8 x CT160 Cleats
 - 80 x 45mm x 3.55 dia. Spiral Nails
 - 90mm x 4 dia. St. Steel Angular Groove 6 - 12KNH Pack

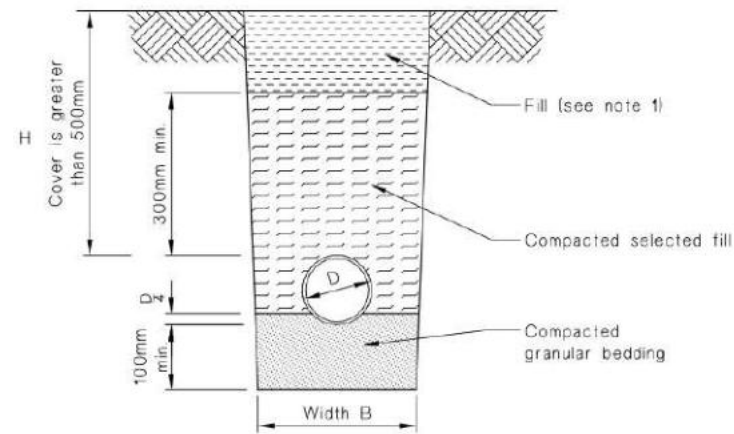
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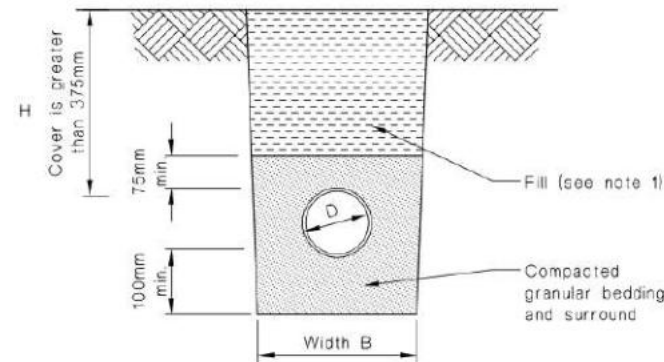
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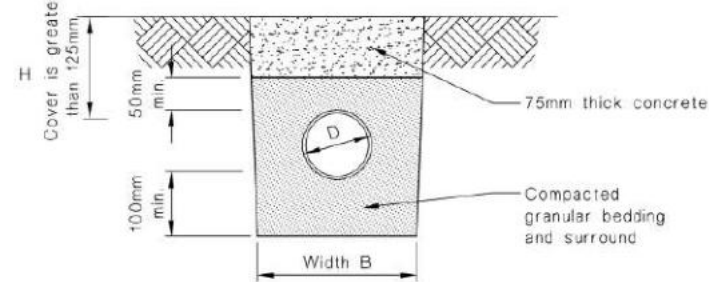
Figure 7: Bedding and backfilling
Paragraphs 5.2.1, 5.3.1 and 5.4.1



(a) Bedding type 'B' of NZS 7643
Cover greater than 500mm



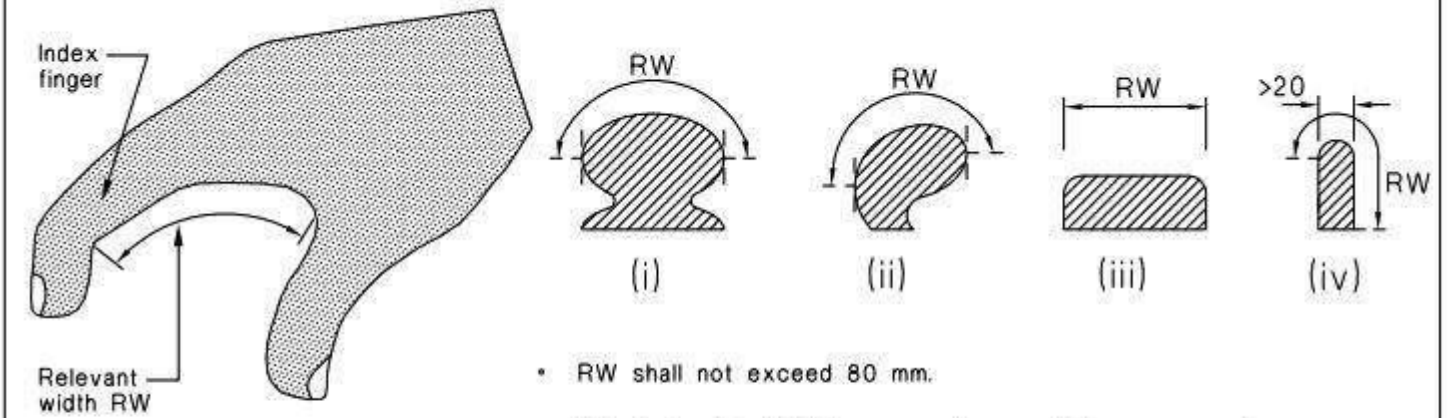
(b) Bedding type 'D' of NZS 7643
Cover greater than 375mm



(c) Cover between 125mm and 375mm

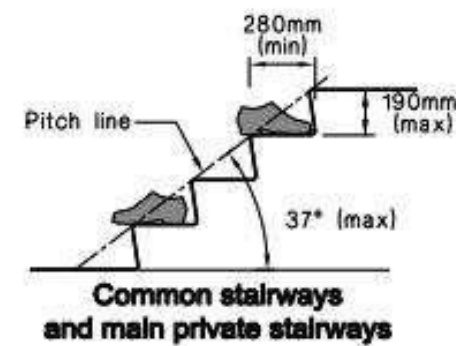
NOTE:
1. Fill shall be:
- Ordinary fill where drains are located below gardens and open country.
- Compacted selected fill where the drains are located below residential driveways and similar areas subject to light traffic.

Figure 26: Handrail Profiles and Clearances
Paragraphs 6.0.8 and 6.0.9

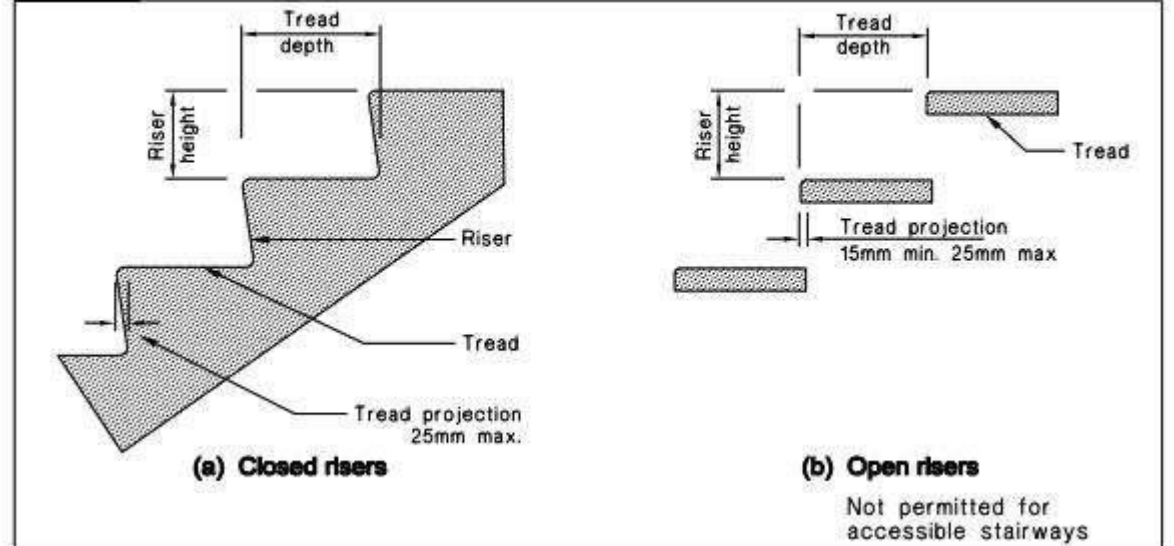


- RW shall not exceed 80 mm.
- RW (relevant width) is measured around the upper surface perimeter of the handrail section between the vertical tangents on either side.
- Variations in shape are acceptable provided the effective grip is not reduced. For example, the side faces shown as vertical in details (iii) and (iv) are still acceptable even if slightly curved or sloped up to 5° from vertical.
- See fig. 26 (b) for wall clearances.

Figure 12: Measurement of Rise and Tread Depth
Paragraphs 4.1.2 and 4.1.6



Common stairways
and main private stairways



(a) Closed risers

(b) Open risers

Not permitted for
accessible stairways

TYPICAL DETAILS

ISSUE	REV	DATE
BUILDING CONSENT		31/07/2025



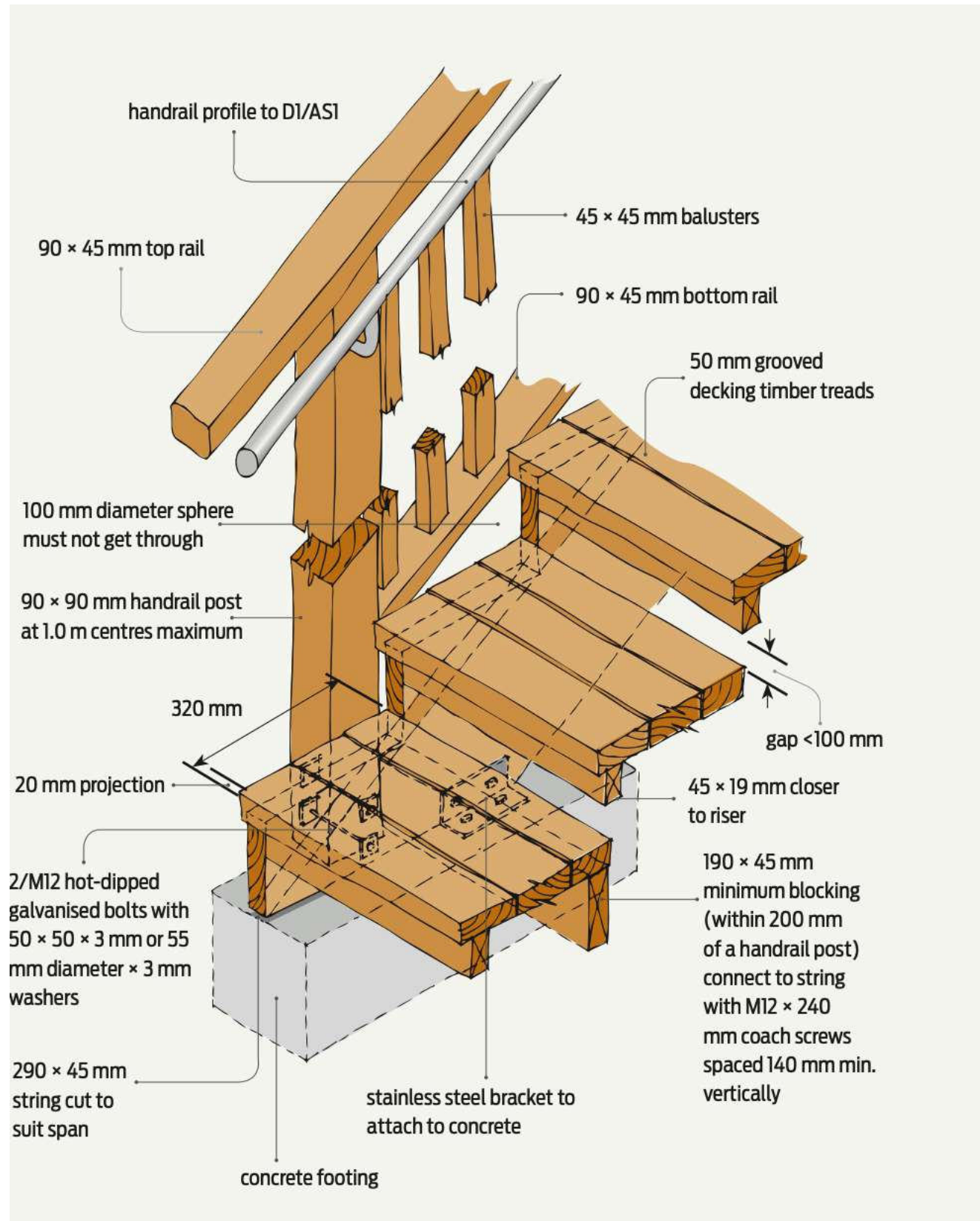


Figure 4 Stair construction.

Table 1

BRANZ MAXIMUM SPAN FOR SG8 (H3.2) STRING SIZES.

STRING SIZE	MAXIMUM SPAN
290 x 45 mm	4.0 m
240 x 45 mm	3.3 m
190 x 45 mm	2.6 m
140 x 45 mm	1.9 m

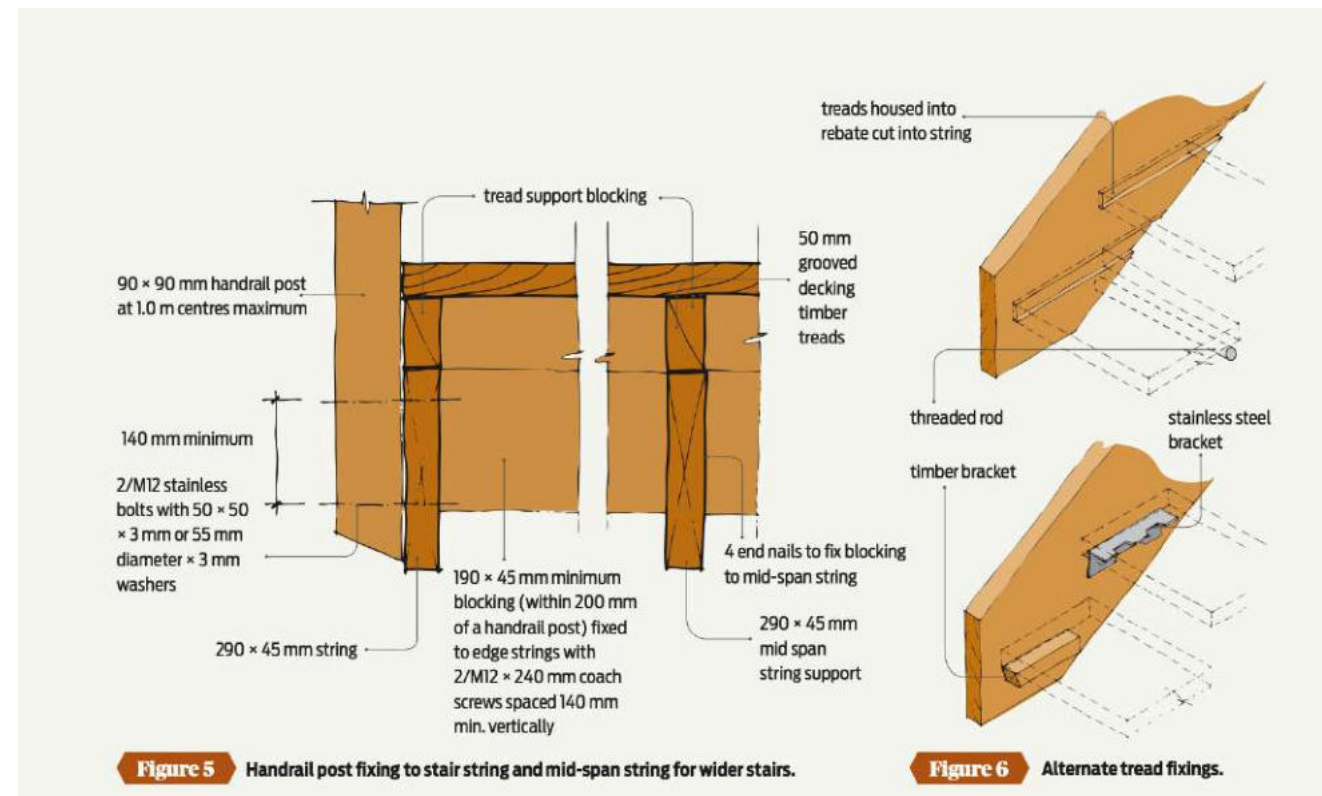


Figure 5 Handrail post fixing to stair string and mid-span string for wider stairs.

Figure 6 Alternate tread fixings.

TYPICAL DETAILS

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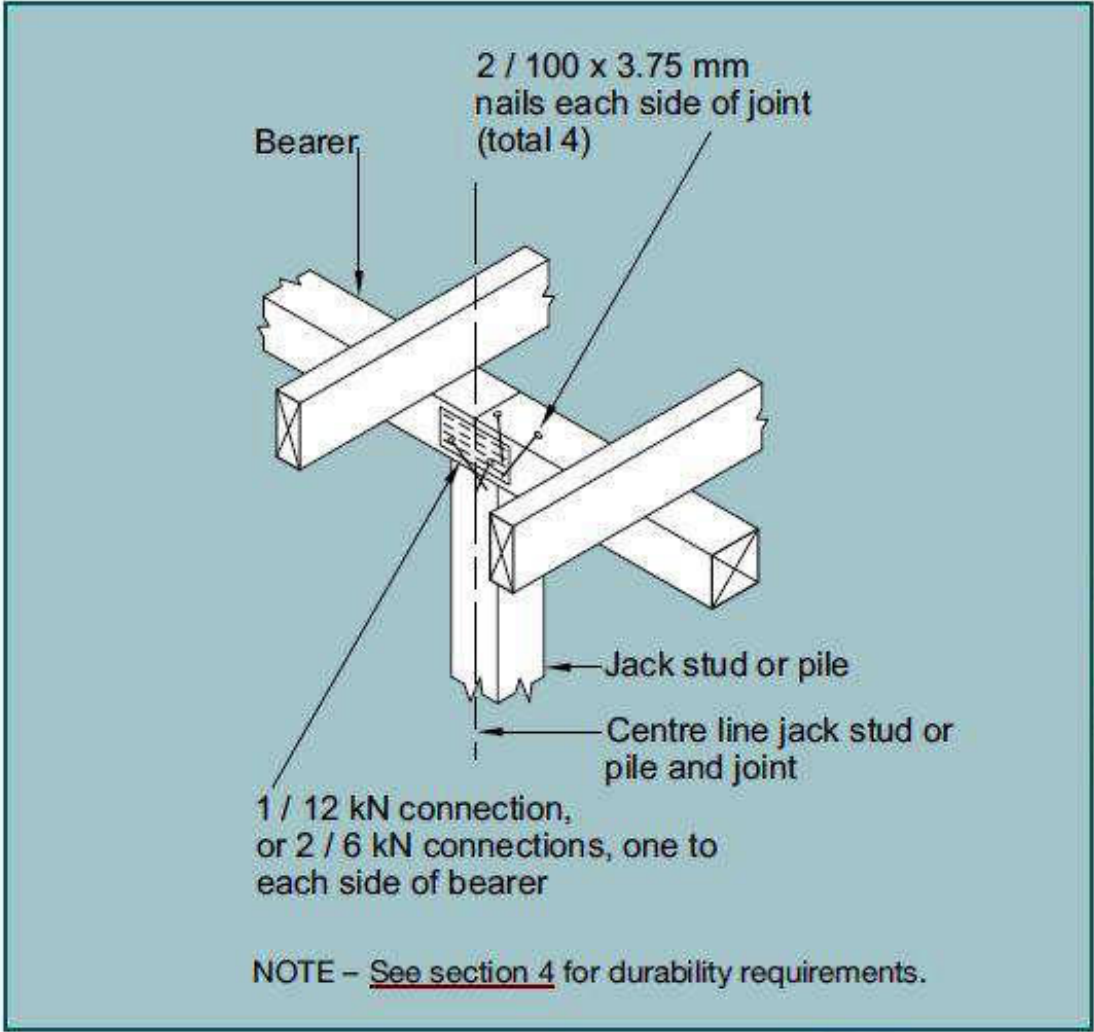


Figure 6.19 – Joints in bearers (see 6.12.7.1 and 6.12.7.2)

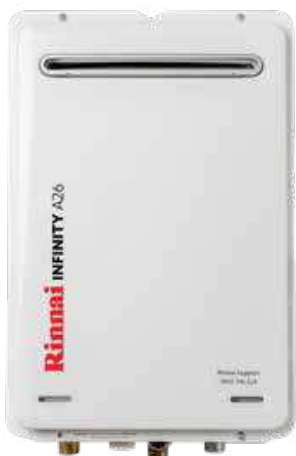
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Rinnai INFINITY A-Series



Description
Designed and made in Japan, the Rinnai INFINITY A-Series are gas continuous flow hot water heaters with inbuilt frost protection. They have electronic ignition and require electricity to operate. They are factory preset to deliver water at 55 °C. The internal unit (A28i) is a room sealed appliance.

Scope of use
Suitable for RESIDENTIAL applications only. The external units are designed to be externally mounted on an outside wall. The internal A28i unit is designed for internal installations only and can be installed in an enclosure if the requirements of AS/NZS 5601.1 are satisfied. They are designed to be located as close as practicable to the most frequently used hot water outlets to reduce the delay for hot water delivery.

Not suitable as a spa or swimming pool heater, or for hydronic applications. The **external** units are also not suitable as a gas boost for solar installations as the temperature cannot be set high enough.

Hard or acidic water will need to be treated to use this product.

	A16 external	A20 external	A24 external	A26 external	A28i ¹ internal
REU number	A1620WG-ZK	A2024WG-ZK	A2426WG-ZK	A2626WG-ZK	VCM2837FF-ZK
Code Natural Gas	INFA16N	INFA20N	INFA24N	INFA26N	INFA28FFN
Code LPG	INFA16L	INFA20L	INFA24L	INFA26L	INFA28FFL
Thermal efficiency on high	80.5%	80.5%	81%	80.5%	83.5%
Hot water capacity ²	1.5-20 L/min	1.5-24 L/min	1.5-26 L/min	1.5-26 L/min	1.4-37 L/min
Hot water capacity at a 25° rise	16 L/min 960 L/h	20 L/min 1200 L/h	24 L/min 1440 L/h	26 L/min 1560 L/h	28 L/min 1680 L/h
Input	16.3-124 MJ/h	19.9-156 MJ/h	16.3-184 MJ/h	16.3-199 MJ/h	11-210 MJ/h
Output	27.8 kW	34.9 kW	42 kW	44.5 kW	48.8 kW
Weight	13 kg	14 kg	15 kg	15 kg	21 kg
Nominal operating pressure	120-1000 kPa	160-1000 kPa	200-1000 kPa	200-1000 kPa	200-1000 kPa
Connection - hot	R ½ (15 mm)	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)
Connection - cold	R ½ (15 mm)	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)
Connection - gas	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)	R ¾ (20 mm)
Ingress protection rating	IPX4	IPX4	IPX4	IPX4	IPX2
Noise level (1 m) away	54 dB(A)	55 dB(A)	54 dB(A)	55 dB(A)	54 dB(A)
Power consumption					
• normal	47 W	58 W	56 W	66 W	66 W
• standby	2 W	2 W	2 W	2 W	2 W
• frost protection	68 W	68 W	68 W	68 W	104 W

¹ The A28i model, while part of the A-Series range, looks different to the external units—refer image on p.5. This model is suitable as a gas boost for solar installations as the temperature can be set to 75 °C—refer system layout diagram on p.47.

² The higher figures for the A16, A20, A24, and A28i are only applicable in areas where the incoming water temperatures are high, for example 20 °C. Rather than all the water going through the heat exchanger, some of the water will go through the bypass tube allowing a greater capacity of water to be delivered.

GENERAL FLUE CLEARANCES:

Dim.	A-Series, EF26	N56kWe, HD49kWe ¹ , HD250
A	Min. 300 mm	Min. 500 mm
B	Min. 300 mm	Min. 500 mm
C	Min. 1.5 m	Min. 1.5 m
D	Min. 500 mm	Min. 500 mm
E	Min. 300 mm	Min. 300 mm
F	Min. 300 mm*	Min. 300 mm ²
G	Min. 300 mm	Min. 300 mm

External models

Internal models

Below eaves, balconies, and other projections, min. 300 mm.
From a gas meter 1000 mm. From an electricity meter or fuse box, min. 500 mm.

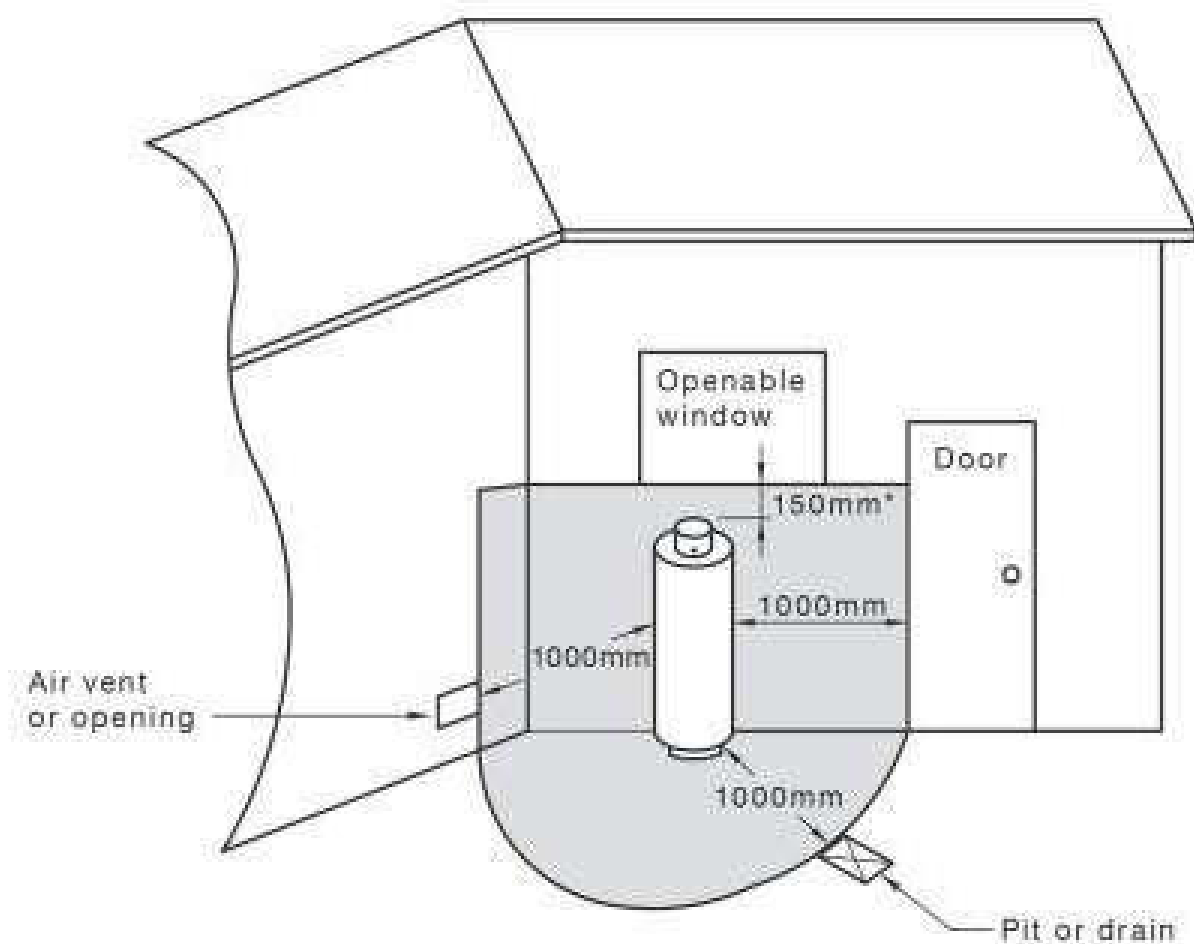
¹ If the HD49kWe is downrated to a 26 L unit (MJ rating decreases) then the clearances shift to the A-Series / EF26 column
² Rinnai recommend 1.5 m to give enough clearance for the pipe work, and to safely expel flue gases.

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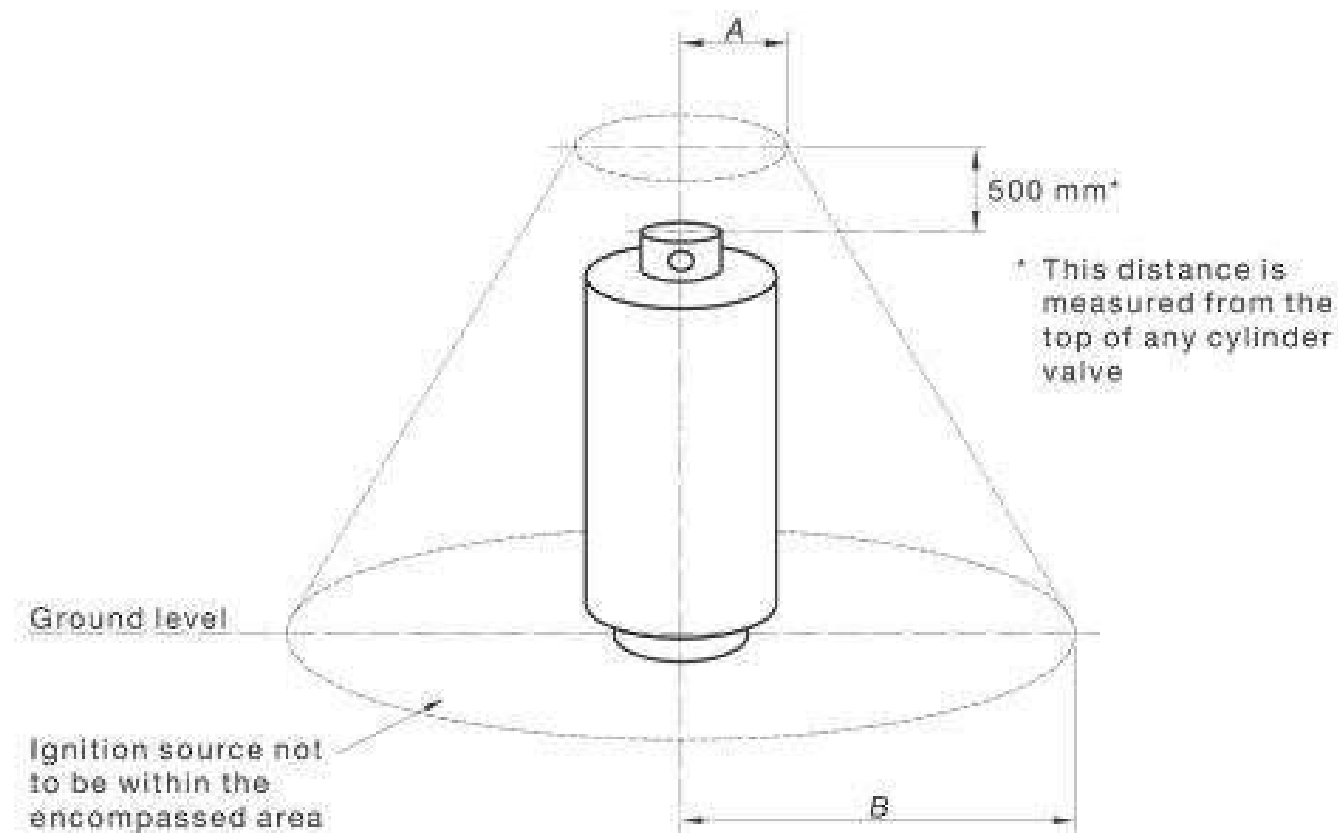
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* This distance is measured from the top of any cylinder valve

NOTE: In New Zealand, if the quantity of LP Gas totals 100 kg or more, the separation distance to openings into buildings increases to 2 m.

FIGURE 4.2 EXCHANGE CYLINDER LOCATION



Radius	Exchange cylinder mm	In-situ fill cylinder mm
A	500	1500
B	1500	3500

FIGURE J3 MINIMUM CLEARANCE TO IGNITION SOURCES

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