

Application for resource consent or fast-track resource consent

Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☒ No

2. Type of consent being applied for

(more than one circle can be ticked):

- | | |
|---|--|
| ☒ Land Use | ☐ Discharge: Total volume = <input type="text"/> m ³
<i>Note; volumes >3m³ requires NRC Consent.</i> |
| ☐ Fast Track Land Use* | ☐ Subdivision |
| ☐ Change of Consent Notice (s.221(3)) | ☐ Existing Use Certificate (s.139A) |
| ☐ Certificate of Compliance (s.139) | ☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) |
| ☐ Extension of time (s.125) | |

☐ Other (please specify)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☒ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact:
The Resource Consents Planning Technicians, planning_technicians@fndc.govt.nz

5. Applicant details

Name/s:

Stephen Scurrah

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)



Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Lynda Murphy

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Stephen and Sharron Scurrah

Property address/
location:

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

7 Juniper Lane

Pukenui

Far North

Postcode 0484

Legal description:

Lot 9, DP 143490

Val Number:

Certificate of title:

NA85B/104

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

New foundations and bearers to relocatable dwelling with new decks to 3 sides. New water tank to site.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

☐ 2009 ☐ 2023

10. Would you like to request public notification?

☐ Yes ☒ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☒ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☐ No ☒ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☐ No ☒ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025? ☐ Yes ☒ No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

☐ Flooding

☐ Active Faults

☐ Landslips

☐ Liquefaction

☐ Coastal Erosion

☐ Tsunami

☐ Coastal Inundation

Please ensure all relevant technical reports are submitted with the application.

14. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

16. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Stephen Scurrah

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

STEPHEN EDWARD SCURRAH

Signature:

(signature of bill payer)

Date 7/8/26

17. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

18. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

STEPHEN EDWARD SCURRAH

Signature

Date 9/8/26

See overleaf for a checklist of your information...

Checklist of your information

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application.
Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

paperspaces

architectural design ADNZ

rural | urban | coastal | residential

11 August, 2026

Trent Blakeman
Manager – Building Services – Delivery and Operations
Far North District Council
Private Bag 752
Kaikohe 0440

ATTENTION: RESOURCE CONSENTS

RE: APPLICATION FOR RESOURCE CONSENT UNDER THE RESOURCE MANAGEMENT ACT 1991

FOR PROPOSED FOUNDATIONS, DRAINAGE NEW DECKS FOR RELOCATABLE DWELLING AT

7 JUNIPER LANE, PUKENUI, FAR NORTH 0484

RESTRICTED DISCRETIONARY ACTIVITY

Applicant: Stephen and Sharron Scurrah

Owner: Stephen and Sharron Scurrah

Site Address: 7 Juniper Lane, Pukenui, Far North 0484

Legal Description: Lot 9, DP 143490

Site Area: 714m² plus 1/10th share in Juniper Lane Access Lot, Lot 11, DP 143490

Operative Zone: Coastal Residential

Proposed Zone: Settlement

Overlays: Coastal Environment (partially through site), Transport Hierarchy Network,
Treaty Settlement Area of Interest

Proposal: To relocate an existing dwelling with new bearers and piles. Add new decks to three sides of the dwelling. Add an additional water tank to the site.



Activity Status: RSZ (Rural Settlement Zone) - R2 – Impermeable surface coverage
PER-1 35% maximum Impermeable coverage inclusive of roof area, driveway and 1/10 share in access lot

CE (Coastal Environment) - R1 – New Buildings or structures and relocated buildings and extensions or alterations to existing buildings or structures

PER-2.1 Controlled Activity required for proposing a single residential unit

PER-2.3 Colour of materials to be provided

CE (Coastal Environment) – R2 – Earthworks or indigenous vegetation clearance

CE-S3.3 Proposed earthworks (Piles) exceed 1m max. cut height

Introduction:

This report has been prepared in support of a resource consent application by Stephen and Sharron Scurrah in respect to the relocation of an existing dwelling with new bearers and piles, adding new decks to three sides of the dwelling and adding an additional water tank to the site.

It has been prepared in accordance with the provisions of Section 88 of the Resource Management Act 1991 (RMA).

Section 88 of the Act requires that a resource consent application be accompanied by an Assessment of Environmental Effects (A.E.E.) outlining any actual or potential effects the proposed activity may have on the environment, and the ways in which any adverse effects may be mitigated. The assessment is also expected to cover various related matters listed in the Fourth Schedule to the Act, including a description of the proposal and consultation with interested or affected parties. This statement of effects provides an assessment of the actual and potential effects on the environment of the proposal.

In support of the application please find attached:

- 1.00-Assessment of Environmental Effects
- 2.00-FNDC Form 9 Resource Consent application form
- 3.00-Record of Title
- 4.00-Gazette Notice
- 5.00-Architectural Plans noted as; Site Drainage Plan, Site & Town Planning, Existing Plan, Prop. Floor Plan, Elevations A & B, Elevations C & D, prepared by Paperspaces Architectural Design Ltd dated 6 August 2026.

Description of the Site

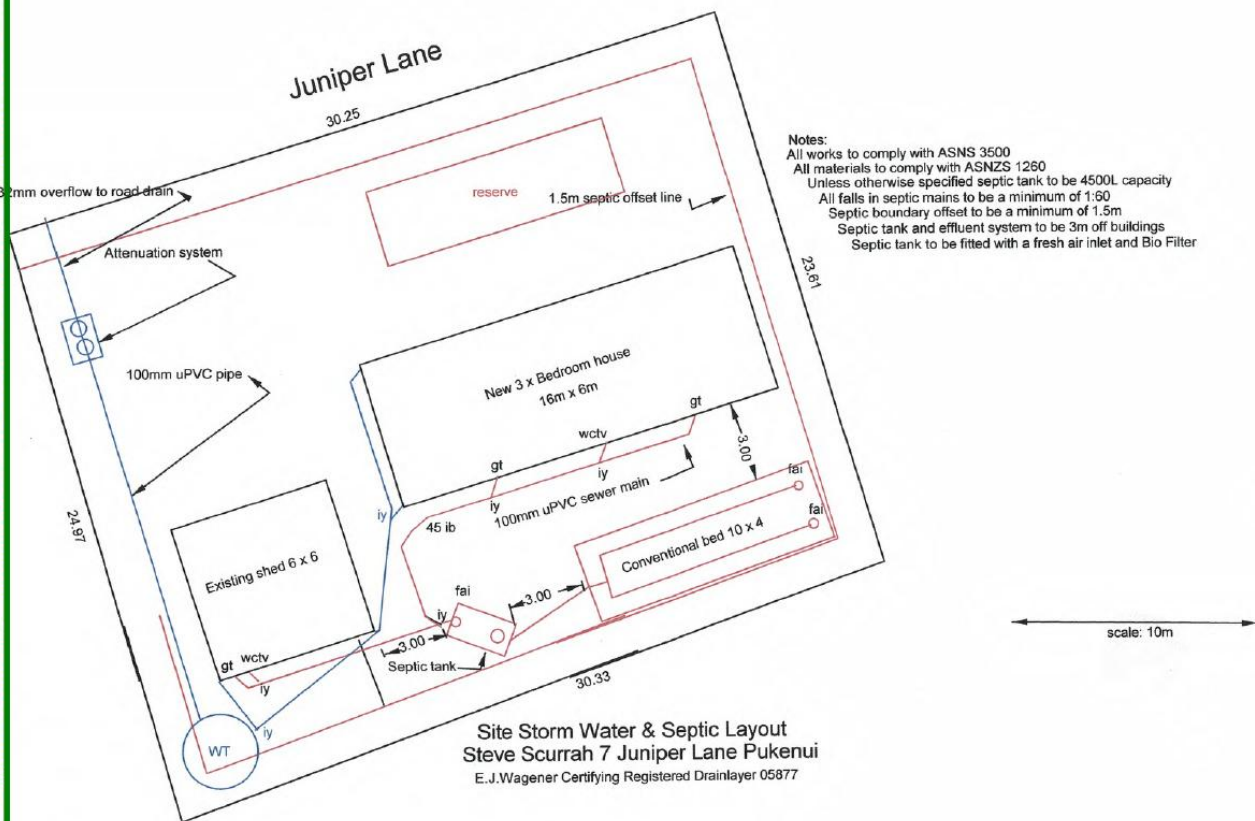
The subject site comprises some 714 square metres in area and is rectangular in shape more or less. It is legally described as Lot 9, DP 143490 and is situated on the southern side of Juniper Lane, a private accessway in which the site has 1/10 shares in and is legally described as Lot 11, DP 14349

The site is flat with a large grassed area which has been identified as a location for a future dwelling when a building consent was submitted for the existing garage. The surrounding environment typically comprises of rural-residential properties with associated accessways and landscaped areas.

The topography around the dwelling and garden area is flat with the rise from the northern accessway lot of Juniper Lane to the back of the sites' southern boundary of approximately 300mm over 27 metres. The site contains a garage that is self-contained and an existing septic tank system with existing soakage which has an approved building consent number of EBC-2024-373/0 which was granted on 07/11/2023. The TP58 & TP10 Report allowed for a new 3 x Bedroom house and a water tank with overflow to Juniper Lane.

The Code of Compliance for this consent requires the completion of the site development of the 3-bedroom house.





Page 2 of Approved TP58 & TP10 Report for 7 Juniper Lane

ASSESSMENT OF ENVIRONMENTAL EFFECTS (AEE)

(Assessment of the environmental effects of the proposal in accordance with Schedule 4 to the Resource Management Act 1991, Section 104 and Section 95 of the Resource Management Act 1991)

Description of proposal

The existing dwelling to be relocated comprises of three bedrooms with predominately fibrolite weatherboard. Once relocated the dwelling will have new bearers and foundations specifically designed for local site conditions. The roof will have new long run roofing and new decks to three sides of the dwelling. The interior will be re-vamped to allow for an open plan living / dining / kitchen area and integrated bathroom / laundry room. The overall floor area will be 87.65 m² with 92.03 m² of new decking.

Activity Assessment

RSZ-R2 PER-1: 35% maximum Impermeable coverage inclusive of roof area, driveway and 1/10 share in access lot

Assessment - Restricted Discretionary Activity

Gross Site Area = 714 m² Net Site Area + 1/10 of Access Lot 77.1 m² = 791.1 m². 35 % maximum Impervious coverage = 276.89 m². This development comprises of existing garage roof 58.34 m², proposed house roof 109.50 m², proposed carport roof 36.00 m², final gravel driveway 46.03 m² and 1/10th Access Lot Juniper Lane gravel 55.35 = 305.22 m² = 38.6%.

The proposed development aligns with the overall objective of the various small rural and coastal settlements within the district in that it features a residential dwelling that is not supported by council waste water or reticulated water supply. The development of this site is designed to maximise the enjoyment of the site and to enhance the existing amenity the site offers with ample outdoor decks and large flat outdoor lawn area, which also allows for septic reserve area.

The soil type is listed as being HO Houhora sand, well to excessively well drained. Even though the impervious calculation exceeds 35% of the gross site area (38.6%), it is worth noting that the impervious calculation of the net site area is 35% and due to the ability of the gravel areas to be well draining, there are no adverse effects from the additional 1/10 or 55.35 m² impervious area of Juniper Lane on the development of this site.

Water from roof areas will be collected and stored in an existing plus a proposed water tank, minimising the amount of overflow that will go to the kerb of Juniper Lane.

Overall, it is considered that the effects of the Impervious infringement will be less than minor and indiscernible on the effectiveness of controlling stormwater on the site and there will be no adverse cumulative effects on the total catchment impermeability of the area.

CE-R1 - PER-2.1: Controlled Activity required for proposing a single residential unit

Assessment - Matters of Control

The design of the proposed development is consistent in scale, mass, form, materials and finishes when compared with the surrounding environment of residential buildings with compliance of maximum height, height in relation to boundary and yard setbacks. This proposal will integrate with the existing environment.



Site shown in red outline with residential buildings in surrounding environment

PER-2.3: Colour of materials to be provided

Note: Light Reflectance Value (LRV) to be 30% maximum

Material: Colorsteel Roofing Colour: New Denim Blue LRV: 11%



Material: Painted Weatherboards Colour: Resene Gunsmoke LRV: 28%

Material: Painted Grooved Panel Colour: Resene Gunsmoke LRV: 28%



CE-R2 CE-S3.3: Proposed earthworks (Piles) exceed 1m max. cut depth

The definition of height from Definition: National Standards 'means the vertical distance between a specified reference point and the highest part of any feature, structure or building above that point'. If the ground line is the reference point, there is no cut above ground level but the depth of the piles is to extend down to the underlying hardpan layer which is 1.2 – 1.5m below ground level, therefore the piles can be deemed to comply with no adverse effects due to the proposed development containing piled foundations.

Cumulative effects of additional development on the site

The proposed development demonstrates consistency with the objectives and policies of the zoning while not contributing any adverse effects on the neighbourhood or environment. The proposal will continue to maintain the area's coastal settlement environment and character with actual and potential effects on the environment that are no more than minor.

Conclusion

The application is for restricted discretionary resource consent. In accordance with an assessment under Section 104 and Section 95 of the RMA the actual and potential effects of the proposal will be acceptable as:

- The proposed development allows for the development of the site in a way that will meet the social well-being of the owners.



- The proposed development will not visually dominate the neighbourhood as it is single storey and set back from the road.
- The proposal will not adversely affect the visual character of adjacent sites and is in keeping with the existing built character of the neighbourhood. This development is consistent with the objectives and policies of the Far North District Plan Settlement Zone and the purpose and principles of the RMA.
- The site is a highly valued resource and it is not unreasonable that the use of the site enables maximum amenity for the owners. There are no infringements of bulk and location requirements for this zoning except for the Impervious Coverage infringement and this proposal does not require extensive landform modification.
- There are no health and safety issues or loss of efficiency of the road network due to this development. The proposal provides for safe access and egress from the site to the road.
- The effects of the proposed development are acceptable when measured against the Assessment Criteria.
- All works will be carried out within the boundaries of the site, with every courtesy extended to the neighbours.
- We note that there are provisions which limit the hours of all noise related activities on, and emitting from, sites. Construction activity shall occur on site in accordance with these limits.
- In terms of positive effects, the proposal enables all the owners, Stephen and Sharron Scurrah, to provide for their social and economic well-being and not contribute any adverse effects on the environment.

Resource Consent required: Restricted Discretionary Consent

Advice Notes:

- Accidental Discovery Protocol added to Revision A of Building Consent Application and note added to Site Drainage Plan, page 1 of Architectural Drawings.
- Silt Control Fence already noted on Site Drainage Plan, page 1 and GD05 document picture of silt control fence already contained on page 19, Drainlayer of Architectural Drawings submitted for Building Consent.
- There is an existing 22,000 litre water tank, plus a proposed additional 25,210 litre water tank plus access to a bore and nearby sea, therefore it is deemed that in the event of a fire there is a minimum of 45,000 litres of water available for fire-fighting.

Should you have any questions please do not hesitate to contact:

Tanya Brown office@paperspaces.co.nz, Lynda Murphy - Tel. 021 157 9189 - lynda@paperspaces.co.nz

Yours faithfully

Tanya Brown
ARCHITECTURAL DESIGNER, LBP, NZCAD, Dip. Bldg. Co-Ord. (Hons).





RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

Identifier **NA85B/104**
Land Registration District **North Auckland**
Date Issued 21 May 1991

Prior References
NA65A/695

Estate Fee Simple
Area 714 square metres more or less
Legal Description Lot 9 Deposited Plan 143490
Registered Owners
Stephen Edward Scurrah and Sharron Lee Scurrah

Estate Fee Simple - 1/10 share
Area 771 square metres more or less
Legal Description Lot 11 Deposited Plan 143490
Registered Owners
Stephen Edward Scurrah and Sharron Lee Scurrah

Interests

Subject to Section 308 (4) Local Government Act 1974

C267017.2 Resolution pursuant to Section 321(3)(c) Local Government Act 1974 - 21.5.1991 at 11.47 am

Subject to a telecommunication right (in gross) over part marked B on DP 143490 in favour of Telecom Auckland Limited created by Transfer C267017.6 - 21.5.1991 at 11.47 am (affects Lot 11 DP 143490)

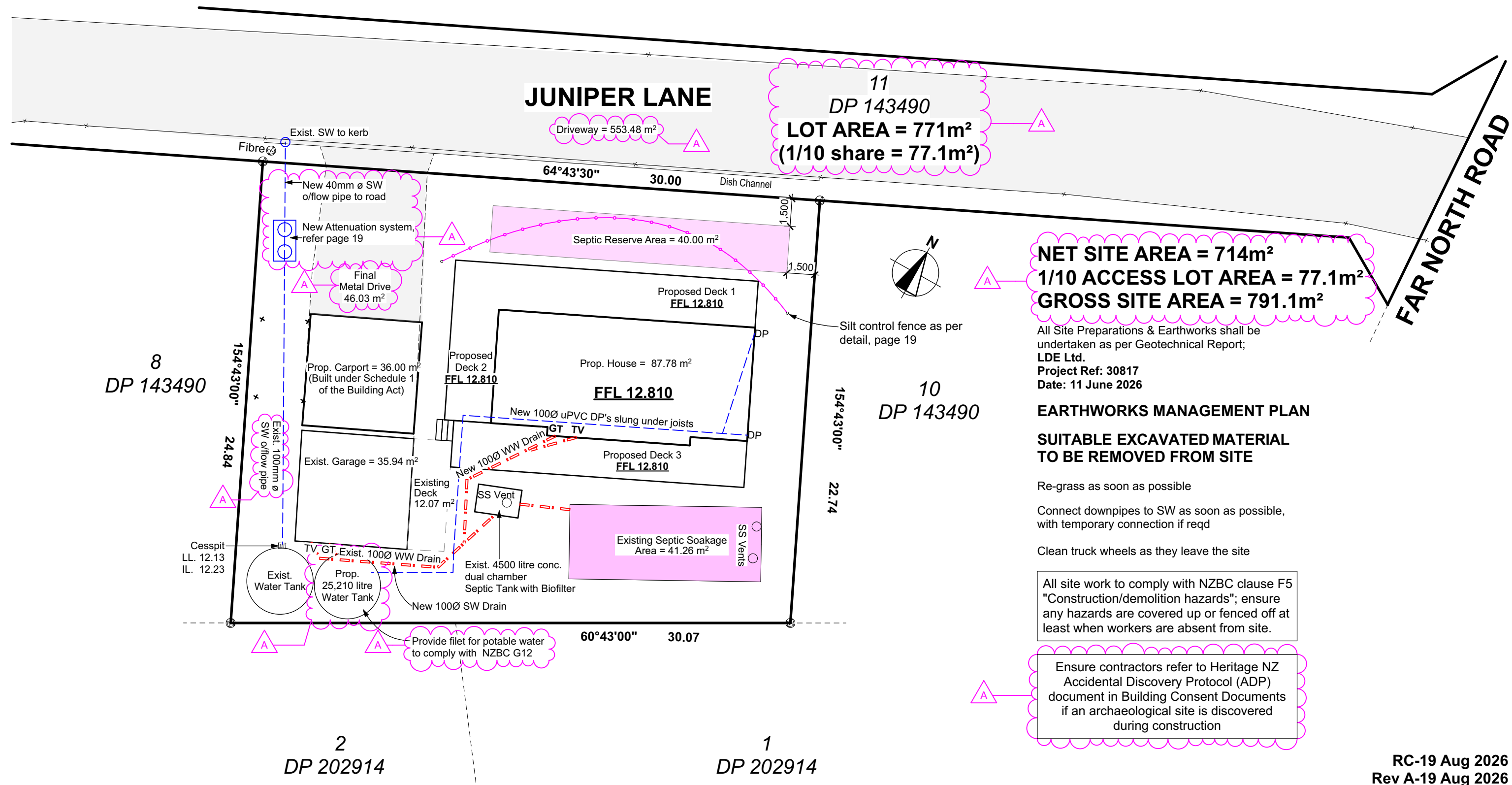
The easements created by Transfer C267017.6 are subject to Section 309 (1) (a) Local Government Act 1974

Fencing Covenant in Transfer C295468.1 - 19.8.1991 at 11.19 am

D574558.1 Gazette Notice declaring part State Highway No 1F Far North District to be a limited access road - 25.1.2001 at 12.09 pm

D574975.3 Notice pursuant to Section 91 Transit New Zealand Act 1989 - 25.1.2001 at 3.31 pm

[illegible]



NET SITE AREA = 714m²
1/10 ACCESS LOT AREA = 77.1m²
GROSS SITE AREA = 791.1m²

All Site Preparations & Earthworks shall be undertaken as per Geotechnical Report;
LDE Ltd.
Project Ref: 30817
Date: 11 June 2026

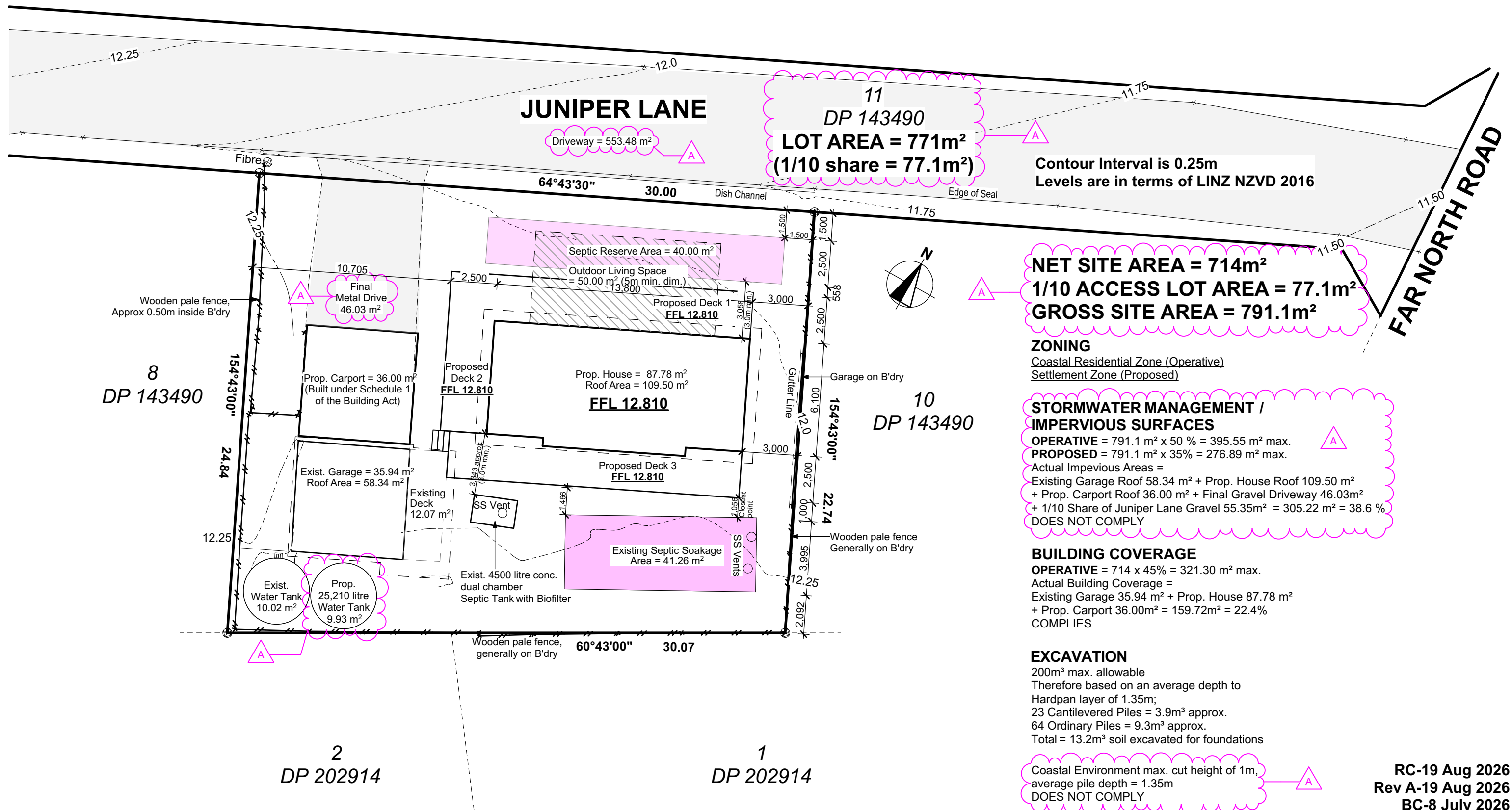
EARTHWORKS MANAGEMENT PLAN
SUITABLE EXCAVATED MATERIAL TO BE REMOVED FROM SITE

- Re-grass as soon as possible
- Connect downpipes to SW as soon as possible, with temporary connection if reqd
- Clean truck wheels as they leave the site

All site work to comply with NZBC clause F5 "Construction/demolition hazards"; ensure any hazards are covered up or fenced off at least when workers are absent from site.

Ensure contractors refer to Heritage NZ Accidental Discovery Protocol (ADP) document in Building Consent Documents if an archaeological site is discovered during construction

RC-19 Aug 2026
Rev A-19 Aug 2026
BC-8 July 2026



NET SITE AREA = 714m²
1/10 ACCESS LOT AREA = 77.1m²
GROSS SITE AREA = 791.1m²

ZONING

Coastal Residential Zone (Operative)
Settlement Zone (Proposed)

STORMWATER MANAGEMENT / IMPERVIOUS SURFACES

OPERATIVE = 791.1 m² x 50 % = 395.55 m² max.
PROPOSED = 791.1 m² x 35% = 276.89 m² max.

Actual Impevious Areas =

Existing Garage Roof 58.34 m² + Prop. House Roof 109.50 m²
+ Prop. Carport Roof 36.00 m² + Final Gravel Driveway 46.03m²
+ 1/10 Share of Juniper Lane Gravel 55.35m² = 305.22 m² = 38.6 %
DOES NOT COMPLY

BUILDING COVERAGE

OPERATIVE = 714 x 45% = 321.30 m² max.

Actual Building Coverage =

Existing Garage 35.94 m² + Prop. House 87.78 m²
+ Prop. Carport 36.00m² = 159.72m² = 22.4%
COMPLIES

EXCAVATION

200m³ max. allowable

Therefore based on an average depth to

Hardpan layer of 1.35m;

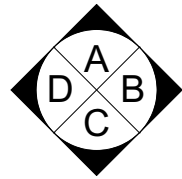
23 Cantilevered Piles = 3.9m³ approx.

64 Ordinary Piles = 9.3m³ approx.

Total = 13.2m³ soil excavated for foundations

Coastal Environment max. cut height of 1m,
average pile depth = 1.35m
DOES NOT COMPLY

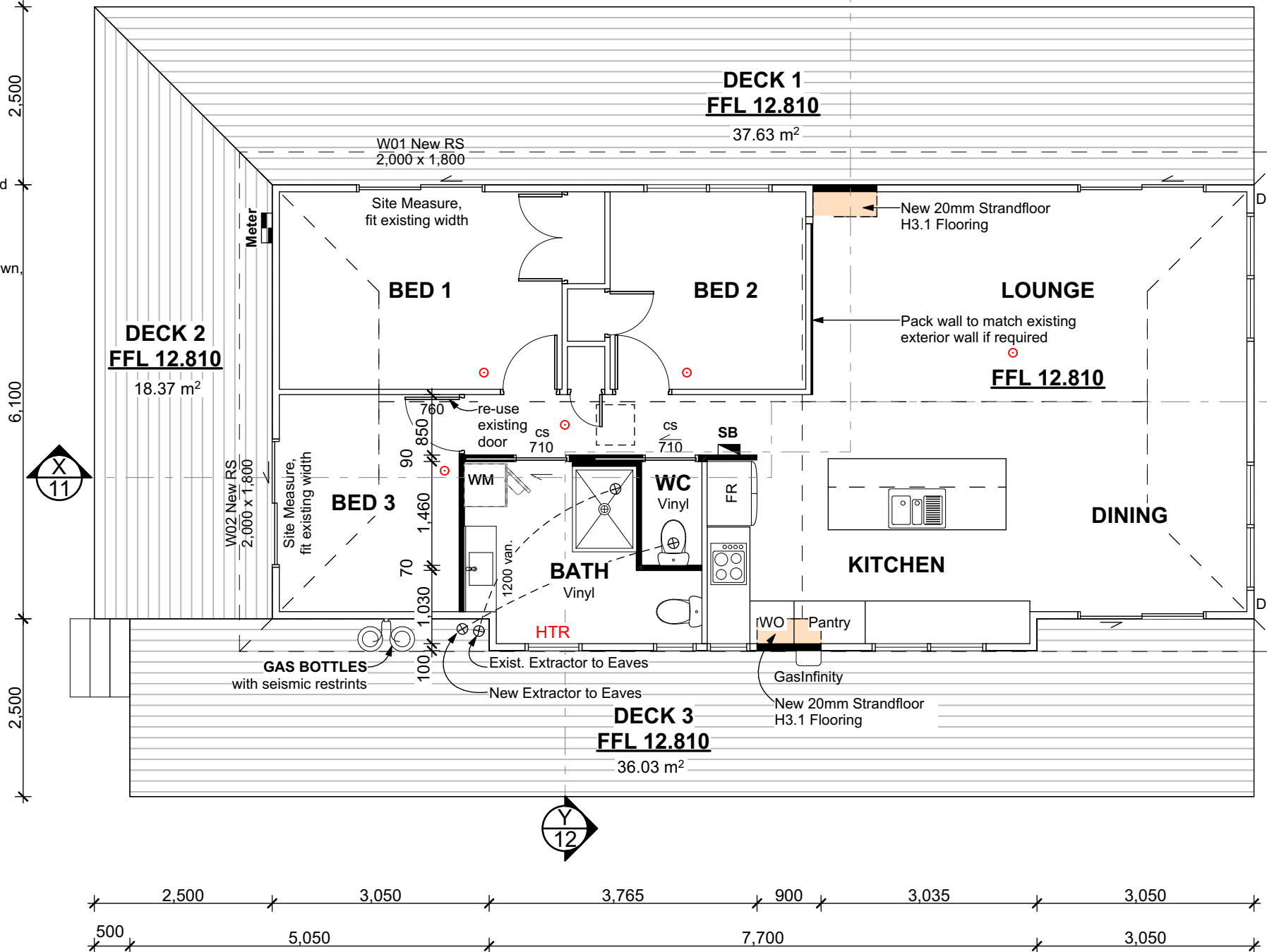
RC-19 Aug 2026
Rev A-19 Aug 2026
BC-8 July 2026



ELEVATION KEY

Scope of Works

- * Fill in where back & front doors were with JH 7.5mm Hardie Plank Woodgrain Weatherboard DF Cladding
- * New R2.4 Pink Batts HandyPack to walls where GIB board is removed/new walls
- * New R2.4 Pink Batts HandyPack to ceiling
- * Upgrade Bathroom & WC
- * New Kitchen cabinetry & appliances
- * New 0.4BMT Colorsteel Maxam Corrugated Longrun Roofing Roofing in lieu of Decramastic Tiles
- * Patch ceiling lining as required
- * New Gas Infinity & Gas Bottles Hot Water
- * Install new Aluminium Ranchsliders as shown, under Schdule 1 of the Building Act
- * Construct new Decks



WIND ZONE IS HIGH

FINAL LOCATION EXPOSURE
ZONE D-SEA SPRAY

Floor Area = 87.65 m²
Total Deck Areas = 92.03m²

NOTE: Plumbing System is
per NZBC G13/AS2 Standards

○ = Interconnecting Smoke Alarm
in accordance with NZS 4514, 5.0m max. from wall.
Ensure any key locks on one side of doors,
will not prevent persons from moving in the
direction of escape, in the event of a fire.

KEY

Existing Walls
Proposed Walls / Infill

NEW TIMBER FRAMING - to NZS3604:2011

2.4m Exterior Walls = 90 x 45 KD H1.2 SG8 Studs @ 600mm crs
+ 'Dan Band' Polypropylene Tape @ 300mm crs **Horizontally**
2.4m Interior Walls = 90 or 70 x 45 KD H1.2 SG8 Studs @ 600 crs

Extractor Fan performance capacity:
Kitchen = 50 l/s min.
Bathroom = 25 l/s min.

Showers to have acrylic wall liners &
preformed shower tray
DO NOT PAINT BEHIND THE LINER

New Thermal Performance

Roof: New R2.4 Pink Batts HandyPack min.
Walls: Exist. R1.5 Batt Insulation
New Walls: R2.4 Pink Batts HandyPack min.
Glazing: Exist. R0.15 Single Glazed Aluminium Windows
New Glazing: R0.26 Double Glazed Aluminium Windows min.
Subfloor: Exist. R1.4 Expol Insulation + R1.5 Greenstuf
New Subfloor: R1.4 min. Expol UnderFloor Insulation min.

Thermal Performance will be better than
existing, therefore OK,
Refer page 23 for Retrofitting OPTIONAL Insulation

RC-19 Aug 2026
BC-8 July 2026



10/36 Bankside Road
Silverdale
Auckland 0932
ph 021157 9189
lynda@paperspaces.co.nz

Mr & Mrs Scurrah
7 Juniper Lane
Lot 9 DP 143490
Pukenui, Northland

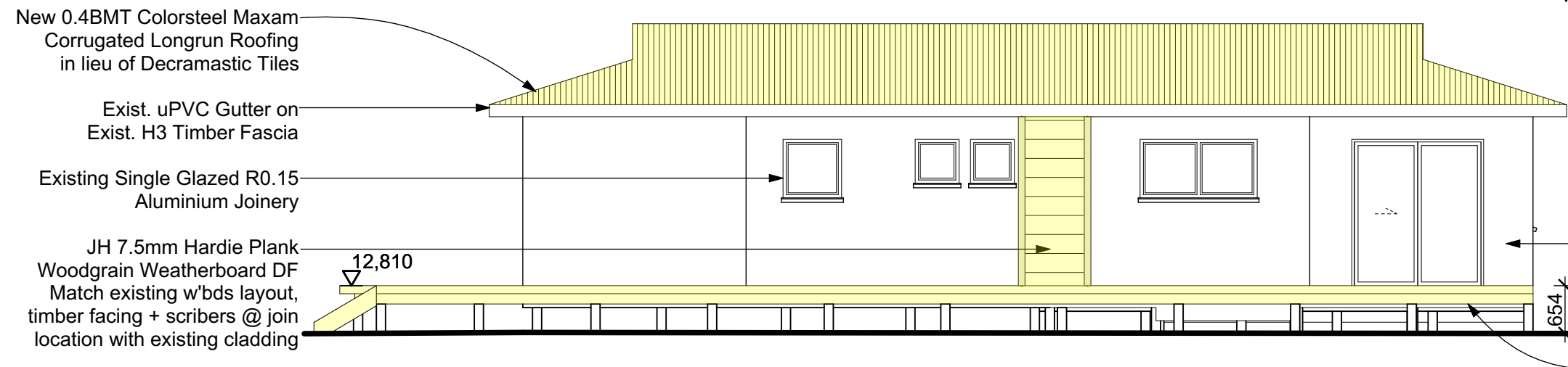
- 1) ALL DIMENSIONS AND UNDERGROUND SERVICE LOCATIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK
- 2) CONTRACTOR AND SUBCONTRACTORS TO ENSURE ALL GROUND LEVELS AND HEIGHT RESTRICTIONS ARE CORRECT AND COMPLY WITH COUNCIL BYLAWS AT ALL STAGES OF CONSTRUCTION
- 3) DO NOT SCALE FROM DRAWINGS. IF IN DOUBT ABOUT ANY ASPECT, ASK THE DESIGNER.
- 4) THESE ARE NOT PRE-CUT DRAWINGS AND ALL COSTS ASSOCIATED WITH THE PREPARATION OF PRE-CUT DRAWINGS IS THE RESPONSIBILITY OF THE OWNER
- 5) JOINERY DETAILS TO BE VERIFIED WITH OWNER
- 6) DRAWINGS TAKE PRECEDENCE OVER THE SPECIFICATIONS

- 7) ALL COLOURS TO OWNERS CHOICE. MIN LRV APPLY
- 8) NO MATERIAL SUBSTITUTION IS PERMITTED WITHOUT WRITTEN APPROVAL OF THE DESIGNER. PRODUCTS THAT DON'T COMPLY WITH NZBC ARE NOT PERMITTED
- 9) ALL PRODUCTS TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS
- 10) CONSTRUCTION TO COMPLY WITH NZS 3604, LOCAL BODY BYLAWS AND THE N.Z. BUILDING CODE
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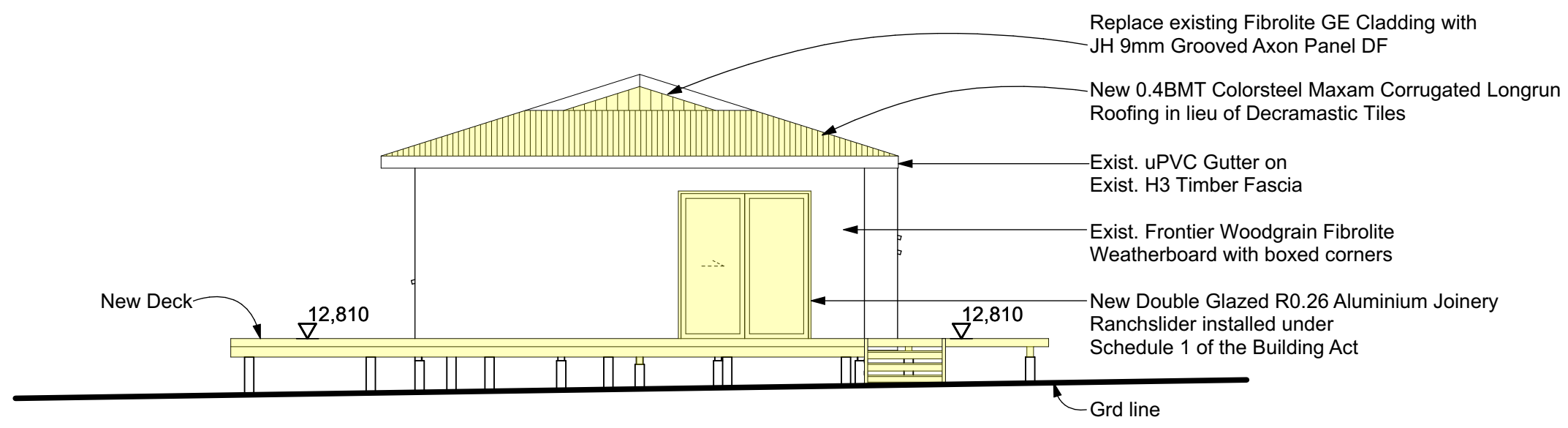
Proposed Relocated Dwelling
Prop. Floor Plan

Job Number P26/13
Scale @ A3 1:75
Drawn L. Murphy / T. Brown



BUILDING ENVELOPE RISK MATRIX		
This Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		6
Therefore JH 7.5mm Hardie Plank Woodgrain Weatherboard DF = OK +		
JH 9mm Grooved Axon Panel DF = OK TO GE		

ELEVATION A

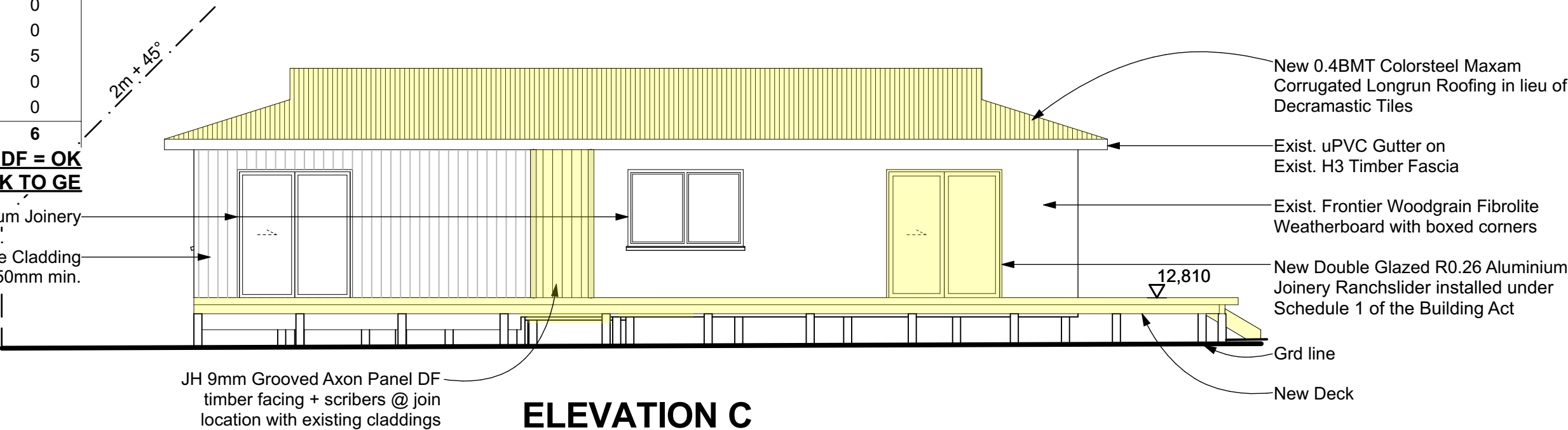


ELEVATION B

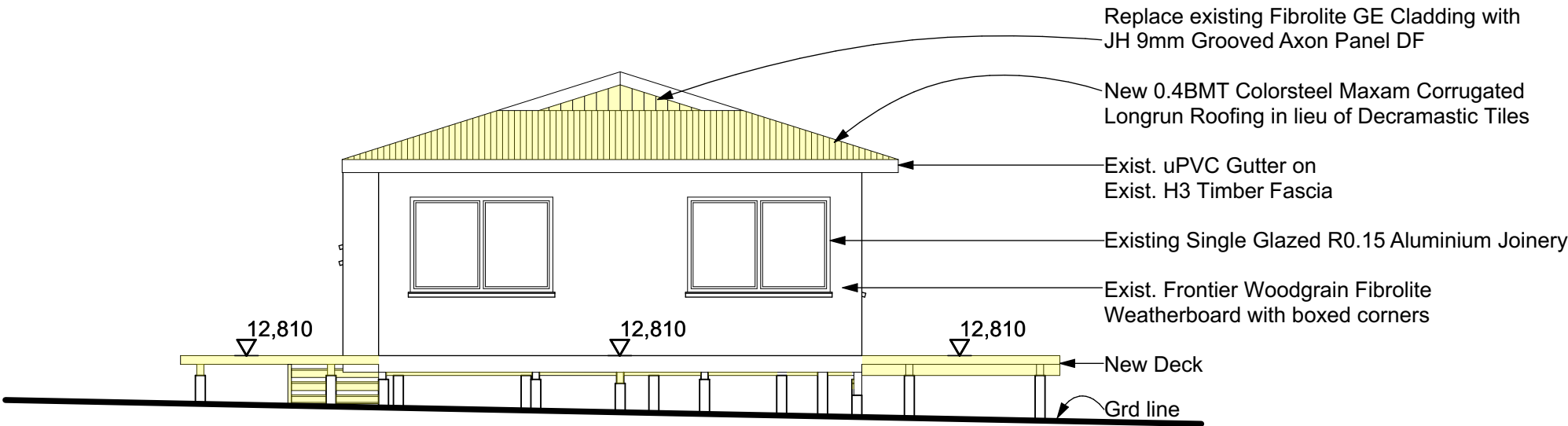
RC-19 Aug 2026
BC-8 July 2026

BUILDING ENVELOPE RISK MATRIX		
This Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low	0
Eaves width	Very high risk	5
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		6

Therefore JH 9mm Grooved Axon Panel DF = OK
+ JH 9mm Grooved Axon Panel DF = OK TO GE



ELEVATION C



ELEVATION D

RC-19 Aug 2026
BC-8 July 2026



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Mr & Mrs Scurrah
7 Juniper Lane
Lot 9 DP 143490
Pukenui, Northland

- 1) ALL DIMENSIONS AND UNDERGROUND SERVICE LOCATIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORK

2) CONTRACTOR AND SUBCONTRACTORS TO ENSURE ALL GROUND LEVELS AND HEIGHT RESTRICTIONS ARE CORRECT AND COMPLY WITH COUNCIL BYLAWS AT ALL STAGES OF CONSTRUCTION

3) DO NOT SCALE FROM DRAWINGS. IF IN DOUBT ABOUT ANY ASPECT, ASK THE DESIGNER.

4) THESE ARE NOT PRE-CUT DRAWINGS AND ALL COSTS ASSOCIATED WITH THE PREPARATION OF PRE-CUT DRAWINGS IS THE RESPONSIBILITY OF THE OWNER

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APNZ
Professional Member



LICENSED BUILDING PRACTITIONER
BUILDING CONFIDENCE

Proposed Relocated Dwelling
Elevations C & D

Job Number	P26/13
Scale @ A3	1:75
Drawn	L. Murphy / T. Brown

Page 6 of 6

Transit New Zealand

Transit New Zealand Act 1989

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Highway

Declaring State Highway to be Limited Access Road—Dunedin Region

It is notified that Transit New Zealand, by resolution dated 5 April 2000, pursuant to section 88(1) of the Transit New Zealand Act 1989, hereby declares the parts of State highway described in the Schedule hereto, and as more particularly shown on plans LA 13/006/978/A and LA 14/098/000/A and accompanying Schedules held in the office of the Regional State Highway Manager, Transit New Zealand, Dunedin, and there available for public inspection, to be limited access road.

Schedule

1. The section of State Highway No. 6 in Queenstown Lakes District commencing at the Kawarau River Bridge (Route Position 978/0.00) and proceeding in a generally westerly direction to Hayes Creek (Route Position 983/5.72); a distance of 10.72 kilometres.
2. The entire length of State Highway No. 98 in Southland District and Invercargill City commencing at the intersection with State Highway No. 1 (Route Position 0/0.00) and proceeding in a generally westerly direction to the intersection with State Highway No. 6 and State Highway No. 99 (Route Position 0/21.62); a distance of 21.62 kilometres.

Signed at Wellington this 1st day of May 2000.

M. K. LAUDER, State Highway Control Manager, Transit New Zealand.

au3145

Declaring State Highway to be Limited Access Road—Auckland Region

It is notified that Transit New Zealand, by resolution dated 5 April 2000, pursuant to section 88(1) of the Transit New Zealand Act 1989, hereby declares the parts of State highway described in the Schedule hereto, and as more particularly shown on plans LA 11/1/6-8, LA 11/39/1 and LA 11/58/1 and accompanying Schedules held in the office of the Regional State Highway Manager, Transit New Zealand, Auckland, and there available for public inspection, to be limited access road.

Schedule

1. The section of State Highway No. 1F in Far North District commencing on the eastern side of the highway

at the intersection with Hendersons Bay Road (Route Position 54/6.17) and on the western side of the highway at the northern boundary of Lot 1, D.P. 110189 (Route Position 54/6.06), and proceeding in a generally southerly direction to the intersection with State Highway No. 10 (Route Position 86/17.39); a distance of 43.76 kilometres.

2. The section of State Highway No. 10 at Taipa in Far North District commencing at the intersection with Taipa Heights Drive (Route Position 79/3.49) and proceeding in a westerly direction to the north abutment of the Kaingaroa Bridge (Route Position 95/3.38); a distance of 16.03 kilometres.
3. The entire length of State Highway No. 11 in Far North District commencing at the intersection with State Highway No. 1 at Kawakawa (Route Position 0/0.00) and proceeding in a northerly direction to the southern urban boundary of Paihia township (Route Position 0/14.05); a distance of 14.05 kilometres.

Signed at Wellington this 1st day of May 2000.

M. K. LAUDER, State Highway Control Manager, Transit New Zealand.

au3146

GN D574558.1 Gazette N

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Declaring State Highway to be Limited Access Road—Hamilton Region

It is notified that Transit New Zealand, by resolution dated 5 April 2000, pursuant to section 88(1) of the Transit New Zealand Act 1989, hereby declares the parts of State highway described in the Schedule hereto, and as more particularly shown on plans LA 20/1613/1, LA 20/52/1 and LR 154 and accompanying Schedules held in the office of the Regional State Highway Manager, Transit New Zealand, Hamilton, and there available for public inspection, to be limited access road.

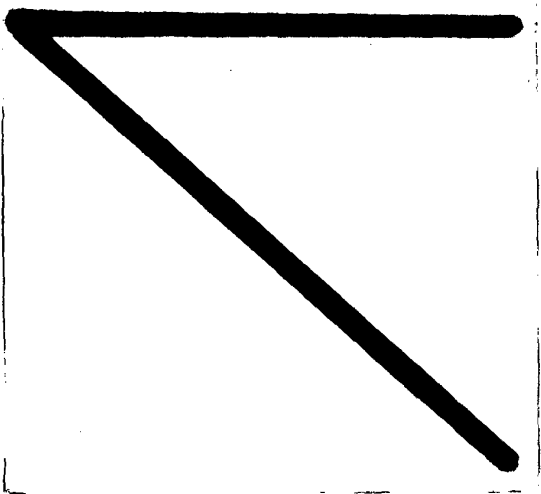
Schedule

1. The section of State Highway No. 3 in Waitomo District commencing at the State Highway 3/4 Junction (Route Position 88/0.00) and proceeding generally in a south-westerly direction to the north abutment of the Kuratahi Stream Bridge, Piopio (Route Position 88/10.71); a distance of 10.71 kilometres.
2. The section of State Highway No. 4 in Waitomo District commencing at the State Highway 3/4 Junction (Route Position 0/0.00) and proceeding in a generally south-easterly direction to the north abutment of the Mapara Stream Bridge (Route Position 0/12.24); a distance of 12.24 kilometres.
3. The section of State Highway No. 29 in Matamata Piako District commencing at the State Highway 28/29 Junction and proceeding in a generally southerly direction to Tapapa/Te Poi Road (Route Position 50/3.77); a distance of 5.19 kilometres.

Signed at Wellington this 1st day of May 2000.

M. K. LAUDER, State Highway Control Manager, Transit New Zealand.

au3147



D574558.1
North Auckland Registry
- 25.1.2001 at 12.09.-