

Office Use Only

Application Number:

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APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

2. Type of Consent being applied for (more than one circle can be ticked):

Land Use Fast Track Land Use* Subdivision Discharge
 Extension of time (s.125) Change of conditions (s.127) Change of Consent Notice (s.221(3))
 Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
 Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process?

Yes No

4. Applicant Details:

Name/s:

Mick and Rhonda Sweetman

Electronic Address for Service (E-mail):

Phone Numbers:

Work: _____ Home: _____

Postal Address:
(or alternative method of service under section 352 of the Act)

_____ Post Code: _____

5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s:

Electronic Address for Service (E-mail):

Phone Numbers:

Work: _____ Home: _____

Postal Address:
(or alternative method of service under section 352 of the Act)

_____ Post Code: _____

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Mick & Rhonda Sweetman

Property Address/:
Location:

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/ 449H Matai Bay Road, Karikari Peninsula Lot 1

Location:

Legal Description: Lot 1 DP 401659 Val Number: Prior Reference NA31/A1342

Certificate of Title: Identifier 405151

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

There is a locked gate, so will need to get in contact with owners or Builders for them to open the gate.
(Owner Rhonda or with Builders. Bruce or Dan

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

To construct a dwelling with an attached garage and covered deck within the Rural Production (Coastal Living Zone in the old district Plan). The proposal breaches the district plan rules relating to Visual Amenity and Building Location within an Outstanding Landscape. Consent is therefore required as a Restricted Discretionary Activity.

The proposed dwelling has a gross floor area of 169m² and has been designed and sited so that it does not detract from the natural beauty or visual values of the Outstanding Landscape. The building is well below the applicable height restriction for this site, with a compliant height that is approximately 1.8 metres under the permitted standard. The owners also intend to enhance the landscape character by planting new native vegetation, and native flaxes have already been established on the site to assist with long-term visual integration and natural screening.

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification

Yes No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

Building Consent (BC ref # if known)

Regional Council Consent (ref # if known)

National Environmental Standard consent

Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)

yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).

yes no don't know

Subdividing land

Changing the use of a piece of land

Disturbing, removing or sampling soil

Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

Mick & Rhonda Sweetman

Email:

Postal Address:

Post Code:

Phone Numbers:

Work: _____ Home: _____ Fax: _____

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: Mick Sweetman (please print)

Signature:

(signature of bill payer – mandatory) Date: 9/12/2025

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Mick Sweetman (please print)

Signature: _____ (signature)

Date: 9/12/2025

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE



Date: 14/11/2025

**Subject: Fast-Track Land Use Consent Application – Sweetman Dwelling
449H Matai Bay Road, Karikari Peninsula (Lot 1 DP 401659 – Identifier 405151)**

Dear Sir/Madam,

Please find attached a **Fast-Track Land Use Consent application** on behalf of **Mick and Rhonda Sweetman** for the construction of a single-storey dwelling with attached garage and covered deck at **449H Matai Bay Road Karikari Peninsula**.

The proposal requires consent for:

- **Visual Amenity** (Rule 10.6.5.1.1)
- **Building within Outstanding Landscape** (Rule 12.1.6.1.5)

All other standards are fully complied with, including height, setbacks, earthworks, access formation, and servicing.

The dwelling is modest in scale, single-storey, visually recessive, and located wholly within an existing building platform established at subdivision stage.

A full **Assessment of Environmental Effects (AEE)** is included.

This concludes that all actual and potential effects on visual amenity, landscape values, neighbouring properties, and the wider environment are **less than minor**.

The dwelling will not be visible from the beach at ground level, and any elevated views from dune crest areas are minor, recessive, and well-mitigated with the existing landscaping and the existing trees near the dunes..

We also advise that **all neighbouring landowners have been consulted, and signed plans are being supplied** to support non-notification.

As such, no parties are considered adversely affected.

The applicant therefore requests:

- **Fast-Track processing under Section 87AAC RMA**, and
- **Non-notified processing**, as all effects are no more than minor.

Please feel free to contact me should you require any further details.

Yours faithfully,

Tyler Beard-Bleakley & Doug Beard

Email: tylerkharissa@gmail.com & beardarc48@gmail.com

Assessment of Environmental Effects – Sweetman Dwelling, 449H Matai Bay Road, Karikari Peninsula

Prepared by: **Tyler Beard-Bleakley & Doug Beard**
For: **Mick & Rhonda Sweetman**
Supporting documents: Site Plan, Floor Plan, Elevations

1.0 Description of the Proposal

The proposal is to construct a **single-storey dwelling (169 m²)** with an **attached garage** and **covered deck** on Lot 1 DP 401659 at **449H Matai Bay Road, Karikari Peninsula**. The subject property is located within the **Rural Production Zone** (Operative: Coastal Living Zone) and is identified within an **Outstanding Landscape** overlay.

The dwelling has been **designed, located and finished to avoid visual dominance**, using recessive colours, natural materials, and extensive landscape integration.

A Fast-Track Land Use Consent is sought for the following rule breaches:

- **Visual Amenity – exceedance of permitted building size within Outstanding Landscape**
- **Building within Outstanding Landscape** (human habitation over 25 m²)

No other rule breaches occur.

2.0 Site Description

The property is a gently sloping coastal site with an existing gravel access way and native flax and wetland vegetation already established on the northern/eastern edges.

Relevant features from plans:

- Total site area: **8192 m²** (including shared Lot 8)
- Existing site coverage is low
- No ridge line construction
- No cultural, archaeological or heritage overlays
- The site is not subject to coastal inundation at the building platform

The property is consistent with other rural-residential lifestyle allotments within the wider Karikari Peninsula environment.

2.1 Earthworks

Earthworks are required to form a level building platform and to shape ground around the deck edges to avoid the need for balustrades. A total of **81 m³ of cut** and **19 m³ of fill** is proposed.

All earthworks:

- Occur **within the building footprint and immediate surrounds**
- Are **well under the 300 m³ permitted threshold** under the Operative District Plan
- Involve shallow cuts and fills that do **not alter natural landforms**

- Do not extend into the wetland, access way, or dune system
- Do not require removal of native vegetation

The works will be stabilised immediately using standard construction practices, and due to the flat terrain, **no sedimentation or stability effects** are anticipated.

Earthworks effects are therefore assessed as **less than minor**.

3.0 Activity Status

Under the **Operative Far North District Plan**, the proposal is:

- **Restricted Discretionary** under
 - Rule 10.6.5.1.1 Visual Amenity
 - Rule 12.1.6.1.5 Buildings in Outstanding Landscapes

Under **Section 87AAC**, the applicant elects to use the *Fast-Track Land Use process* because:

- Only **one minor Restricted Discretionary trigger applies**
- The effects of the activity have been assessed as **no more than minor**
- The proposal is for a **single dwelling**, not a complex commercial or multi-activity application
- All servicing, access, and earthworks comply with permitted standards

This approach is consistent with previous approvals in the same subdivision that also required ONL assessment.

4.0 Assessment of Environmental Effects

4.1 Visual Amenity & Landscape Integration

The proposed dwelling is **1.8 m below the permitted height** and has a clean, horizontal form that reads as small-scale and rural in character. The following features ensure very low visibility:

Building Form

- Single storey
- Hip roofline with clean lines and minimal valleys from sea-side.
- Compact footprint (169 m²) compared to neighbouring approvals.

Colours & Materials

- Recessive, low-reflectivity claddings (LRV < 30%)
- Natural timber tones and charcoal roof
- No reflective surfaces or bright colours

Existing Vegetation

- Mature native flax on wetland margins
- Existing grasses and shelter plantings

Proposed Additional Planting

No formal mitigation planting is required. The site already contains extensive native flax, grasses, fruit trees and wetland-edge vegetation which provide effective screening from public viewpoints.

Any new planting will be **small-scale garden planting only**, intended to complement the house rather than provide screening. This includes ornamentals, shrubs, and additional fruit trees within the existing modified curtilage.

Because the dwelling is low, recessive, and already visually absorbed by existing vegetation, **no landscape plan is necessary** for the purposes of this consent.

4.2 Visibility From Public Locations

- **Not visible from Matai Bay Road** due to distance and landform.
- **Not visible from Karikari Beach at ground level** due to dune height (2–3 m).
- Limited partial visibility may occur from the dune crest at **~180 m distance**, but the dwelling:
 - Sits below skyline
 - Is screened by existing vegetation
 - Uses recessive colours
 - Presents as a small rural dwelling compatible with landscape character

Effects are **less than minor**.

4.3 Outstanding Landscape Assessment (Rule 12.1.6.2.1 Criteria)

(i) Building Location

Fully within appropriate building platform; avoids Ridgeline and avoids natural features.

(ii) Size, Bulk, Height

Significantly under height limits; far smaller than other existing dwellings in the area.

(iii) Landscape Qualities Retained

- Natural coastal character maintained
- No vegetation removal from site
- Landscape strengthened by additional planting

(iv) Building Design

Simple, clean roof lines, recessive palette; no visual clutter.

(v) Access, Parking & Driveway

Existing gravel access is used, and only minor additional earthworks occur within the building platform area to form the dwelling pad and shape ground around the deck (81 m³ cut, 19 m³ fill). No earthworks occur outside the defined building area.

(vi) Planting to Mitigate Visual Effects

No dedicated mitigation planting is required. Existing flax, wetland plants, fruit trees and coastal vegetation already provide natural screening and soften the building platform. Any proposed new planting will be limited to garden beds and species chosen to complement the dwelling.

(vii) Screening From Public Viewpoints

Achieved naturally through landform + planting.

(viii) Cumulative Effects

One dwelling on one site; consistent with subdivision pattern; less visually impactful than neighbours.

5.0 Positive Effects

- Enhancement of native vegetation
- Restoration of rural-residential character
- Small footprint reduces landscape impact
- Efficient use of land already zoned for rural living
- Building designed to complement natural scenery rather than dominate it

6.0 Effects Conclusion

Based on the scale of development, design controls, landscape integration and low visibility, the overall effects on landscape values, visual amenity, and the wider environment are assessed as:

Less than minor

Accordingly, no written approvals are required, and public or limited notification is not necessary.

7.0 Notification Statement

This activity **can proceed on a non-notified basis** because:

- Effects on the environment are **no more than minor**
- No persons are **adversely affected**
- The activity is consistent with the purpose and intent of the Rural Production Zone
- The design and location comply with all non-discretionary standards

- The activity fits Section 95A–95E notification thresholds

8.0 Fast-Track Eligibility Statement

Although the proposal technically triggers Restricted Discretionary consent for landscape reasons, it is suitable for **Section 87AAC Fast-Track processing** because:

- All effects are low and clearly defined
- No technical specialists are required (landscape, acoustic, traffic, engineering all comply with permitted standards)
- No additional consents are required
- The application is complete and includes all necessary plans
- Comparable consents in this same subdivision have been approved with low effects

The applicant therefore requests Fast-Track processing.

9.0 Statutory Assessment (RMA Sections 104, 104C)

s104 – Actual & Potential Effects

Effects assessed as less than minor.

s104 – Relevant Policy Documents

- NZ Coastal Policy Statement
- Regional Policy Statement
- Operative District Plan
- Proposed District Plan
All support small-scale rural residential development within existing building envelopes provided landscape values are protected.

s104C – Restricted Discretionary

The activity complies with all matters of discretion and all relevant assessment criteria.

10.0 AEE Conclusion

The proposal is appropriate for the site, consistent with planning expectations, produces no more than minor effects, and therefore qualifies for **non-notified, Fast-Track resource consent approval**.

VISUAL EFFECTS SUMMARY SHEET

Visual Effects & Landscape Assessment Summary Sweetman Dwelling – 449 Matai Bay Road

Building Scale & Height

- GFA 169 m² – small in rural/coastal context
- Single-storey.
- Height approx. **1.8 m below permitted height limit**
- No skyline or ridge line intrusion

Materials & Colours

- Recessive colour palette
- LRV values < 30%
- Natural timber & charcoal tones
- No reflective materials

Visibility

- **Not visible from Matai Bay Road**
- **Not visible from beach level** due to 2–3 m dunes
- Minor filtered visibility from the dune crest (~180 m away)
- Form and colour recessive; blends with vegetation

Landscape Fit

- Located within established building envelope
- Existing native vegetation provides immediate screening
- No formal mitigation planting required; new gardens will complement the dwelling
- No vegetation removal required

Effects Conclusion

- **Less than minor**
- Suitable for **non-notified, Fast-Track** processing

3. LANDSCAPE MITIGATION SHEET

Landscape Mitigation & Planting Notes Sweetman Dwelling – 449 Matai Bay Road

Existing Planting

- Extensive native flax along wetland edge
- Cabbage trees, sedges, grasses
- Existing dune ecology retained
- No indigenous vegetation removal required

Proposed Planting

New planting will consist solely of **small-scale garden species** and **fruit trees** to complement the dwelling's outdoor spaces. No landscape screening or mitigation planting is required, as the site's existing vegetation already provides effective screening and integrates the building into the landscape.

- **Harakeke / Flax (*Phormium tenax*)** – primary screening
- **Cabbage trees (*Cordyline australis*)** – vertical form
- **Pohutukawa (*Metrosideros excelsa*)** – coastal integration
- **Toetoe / *Cortaderia fulvida*** – dune fringe restoration
- **Coprosma repens / Taupata** – shelter and backdrop
- **Carex secta / Carex virgata** – wetland transition
- **Natives to Area**

Mitigation Principles

- Planting placed around northern and eastern edges of building platform
- Maintain filtered views while providing recessive backdrop
- Supports wetland margins and dune character
- Ensures long-term screening from dune crest viewpoints
- Reinforces the natural landform and Outstanding Landscape values

Future Planting-Optional

• 1. Structural Native Species (match neighbours & existing screening)

Harakeke / Coastal Flax – *Phormium tenax*

- Already on site and neighbouring lots
- Provides dense screening
- Handles coastal wind extremely well

Wharariki / Mountain Flax – *Phormium cookianum*

- Softer, drooping form
- Good for edges of garden or deck

Cabbage Tree – *Cordyline australis*

- Iconic Far North coastal tree
- Matches dune–wetland transitions on neighbours' sites
- Adds vertical height without blocking views

• 2. Coastal Trees (natural, not formal landscaping)

Pōhutukawa – *Metrosideros excelsa*

- The dominant locally planted coastal tree
- Excellent wind and salt tolerance
- Neighbours already use it extensively

Tip: Choose dwarf cultivars if close to the house — e.g., *Metrosideros 'Vibrance'*.

Kānuka – *Kunzea ericoides*

- Naturally occurs on Karikari headlands
- Light, airy screening
- Great for stabilising banks

• 3. Coastal Shrubs (tie into duneland look)

Taupata / Karo – *Coprosma repens*

- Glossy, hardy, forms natural hedges

- Common in local plantings
- Great for salt-laden winds

Muehlenbeckia astonii (Shrubby Poa vine)

- Used frequently in coastal Northland plantings
- Light texture; looks great near flax

Olearia solandri (Coastal tree daisy)

- Hardy, upright, fine-leaved
- Suits windy dune edges

Pittosporum crassifolium / Kōhūhū

- Good for filler and colour variation
- Very low maintenance

• 4. Groundcovers & Transitional Plants (wetland → lawn → house)

Carex secta / Carex virgata

- Matches the wetland margins already on-site
- Natural appearance; blends beautifully with flax

Poa cita / Silver tussock

- Light, soft clumping grass
- Matches neighbours and suits sandy soils

Austroderia toetoe (true NZ toetoe)

- Tall, elegant; fits dune fringes
- DO NOT use pampas — Toetoe only

• 5. Edible / Lifestyle Plants (already similar to neighbours)

Your site already has some fruit trees, and adding more looks natural and normal in this rural-residential context.

Good matches for Karikari Peninsula climate:

- Feijoa
- Olive

- Citrus: lemon, lime, mandarin
- Plum (very successful in coastal Northland)
- Guava (red or yellow)
- Blueberry (great in sandy, acidic soils)

These look natural and are commonly used on neighbouring properties.

commercial & industrial development – structural design – residential design – new homes – alterations – extensions – garages

DRAWING SCHEDULE		
Sheet No.	Sheet Name	Rev. No.
1	SCHEDULE OF NOTES-1	None
2	SCHEDULE OF NOTES-2	None
3	SCHEDULE OF NOTES-3	None
A01	SITE PLAN	None
A01.2	ENLARGED SITE PLAN	None
A01.3	ENLARGED SITE PLAN WITH AREAL	None
A01.4	CUT FILL PLAN	None
A02	FLOOR PLAN	None
A02.1	FRAMING PLAN	None
A03	FOUNDATION/BRACING PLAN	None
A03.1	ENGINEERS DWGS S01	None
A03.2	6KN/12KN CONNECTION	None
A03.3	ANCHORPILE DETAIL	None
A03.4	PILE TO PILE BRACE DETAIL	None
A03.5	PILE TO BEARER BRACE DETAIL	None
A03.6	PILE TO JOIST BRACE DETAIL	None
A03.7	TYPICAL STEP DETAIL-EXTERIOR	None
A03.8	TYPICAL RAMP DETAIL	None
A04	SUBFLOOR FRAMING PLAN	None
A04.1	TYPICAL CONCRETE FOOTING DETAILS	None
A04.2	LOAD & NON LOADBEARING DETAIL-TIMBER	None
A04.3	LAPPED OR BUTTED JOINTS IN FLOOR JOISTS	None
A04.4	TYPICAL FLOOR JOIST LAYOUT NZS3604:2011	None
A05	PLUMBING & DRAINAGE LAYOUT	None
A05.1	GULLY TRAP BEDDING DETAILS	None
A05.2	AMBIHEAT-IWC	None
A06	WALL BRACING/FRAMING PLAN	None
A06.1	HANDIBRAC DETAIL	None
A06.2	BRACING CALCS	None
A06.3	BRACING CAL CS	None
A07	ROOF FRAMING PLAN	None
A07.1/T	LINTEL/STUD FIXINGS-TIMBER	None
A07.1/C	LINTEL/STUD FIXINGS-CONCRETE	None
A07.2	TRUSS DESIGN	None
A07.3	TRUSS DESIGN	None
A07.4	TRUSS PS1	None
A07.5	DESIGN IT	None
A07.6	DESIGN IT	None
A07.7	DESIGN IT	None
A08	ROOF PLAN	None
A08.1	SKYLIGHT DETAIL	None
A08.2	SKYLIGHT FLASHING DETAIL	None
A09	ELECTRICAL PLAN	None
A10	ELEVATIONS	None
A11	ELEVATIONS	None
A12	RISK MATRIX	None
A13	CROSS SECTION A-A	None
A13.1	ARCHITECTURAL DETAILS A-A	None
A14	CROSS SECTION B-B	None
A14.1	ARCHITECTURAL DETAILS B-B	None
A14.2	ARCHITECTURAL DETAILS B-B	None
A15	CROSS SECTION C-C	None
A15.1	ARCHITECTURAL DETAILS C-C	None
A15.2	CROSS SECTION D-D	None
A15.3	ARCHITECTURAL DETAILS D-D	None
A15.4	PORTAL CROSS SECTION D-D	None
A15.4.1	ENGINEERS DWGS-S02	None
A15.5	PARTIAL SECTION E-E	None
A15.6	ELEVATION TRUSS T06	None
A16	LONG SECTION 1-1	None
A16.1	ARCHITECTURAL DETAILS 1-1	None
A17	LONG SECTION 2-2	None
A18	LONG SECTION 3-3	None
A18.1	LEVEL ENTRY SHOWER-TIMBER MAMOX	None
A19	GARAGE DOOR DETAIL	None
A19.1	CEILING HATCH DETAIL	None
A20	CEDAR HEAD DETAIL	None
A20.1	CEDAR JAMB DETAIL	None
A20.2	CEDAR SILL DETAIL	None
A20.3	CEDAR TO BOARD/BATEN DETAIL	None
A20.4	CEDAR BASIC DETAIL	None
A20.5	CEDAR SOFFIT DETAIL	None
A21	HEAD, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A21.1	HEAD, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A21.2	JAMB, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A21.3	SILL, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A22	SOFFIT, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A23	BASE, CONC, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A23.1	BASE, TIMBER, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A23.2	EXT CNR, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A23.3	INT CNR, PLYWOOD CLADDING/CAVITY/BATTEN DETAIL	None
A23.4	CLADDING PENETRATION DETAIL	None
A24	DOOR SCHEDULE	None
A25	WINDOW SCHEDULE	None
A26	INTERNAL DOOR SCHEDULE	None
A27	TYPICAL CAVITY FIXING	None
B01	E3-BATHROOM DETAILS	None
B02	BATHROOM DETAILS-TIMBER	None
B03	BATHROOM TILED DETAILS	None
B04	BATHROOM TILED DETAILS-TIMBER	None
B05	GIB AQUALINE BATH/SHOWER DETAILS	None
B06	GIB AQUALINE KITCHEN DETAILS	None
M02	BOWMAC BOTTOM PLATE FIXING	None
M03	BEDDING AND BACKFILLING	None
M04	WATER FILTRATION DEVICE	None
M05	WATER ATTENUATION	None
M06	PIPE PENETRATION UNDER SLAB	None
M07	VALLEY GUTTER DETAIL	None
M08	VALLEY GUTTER DETAIL	None
M09	STUD-PLATE FIXING	None
M10	STUD-PLATE FIXING	None
M11	FIXING TYPE & CAPACITY	None
M12	BOWMAC STUD/TOP PLATE FIXING	None
M12.1	MITEK OPTIONAL STUDLOCK LINTEL FIXINGS	None
M12.2	MITEK OPTIONAL STUDLOCK LINTEL FIXINGS	None
M13	MITEK LINTEL/STUD FIXINGS	None
M14	DEKITEK DETAIL	None
M15	OUTRIGGER DETAIL	None
WC01	GIB AQUALINE INSTALLATION DETAILS	None
WC02	GIB AQUALINE INSTALLATION DETAILS	None
WC03	GIB INSTALLATION DETAILS	None
WC04	GIB INSTALLATION DETAILS	None
WC05	GIB INSTALLATION DETAILS	None
WC06	ECOPLY INSTALLATION DETAILS	None

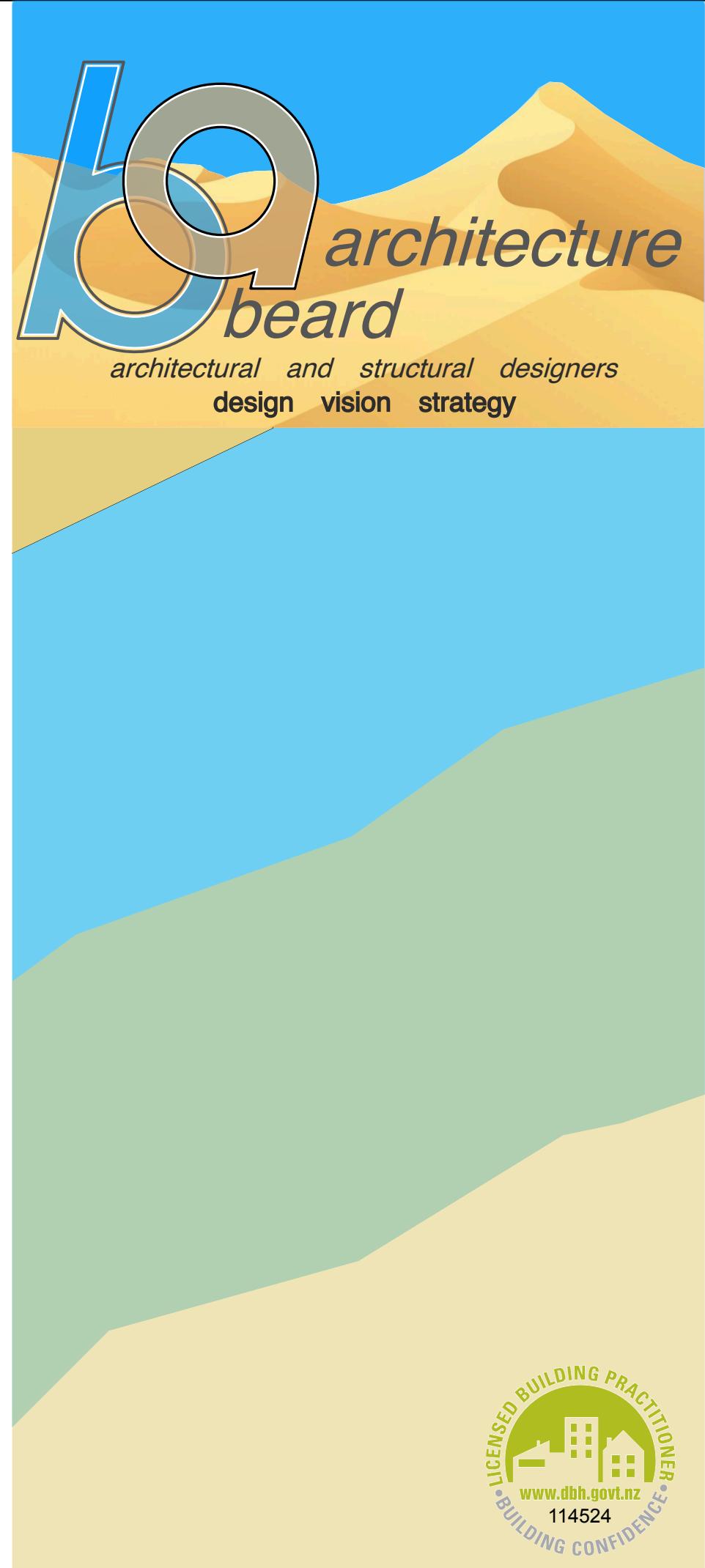
Proposed New Dwelling and Covered Timber deck.

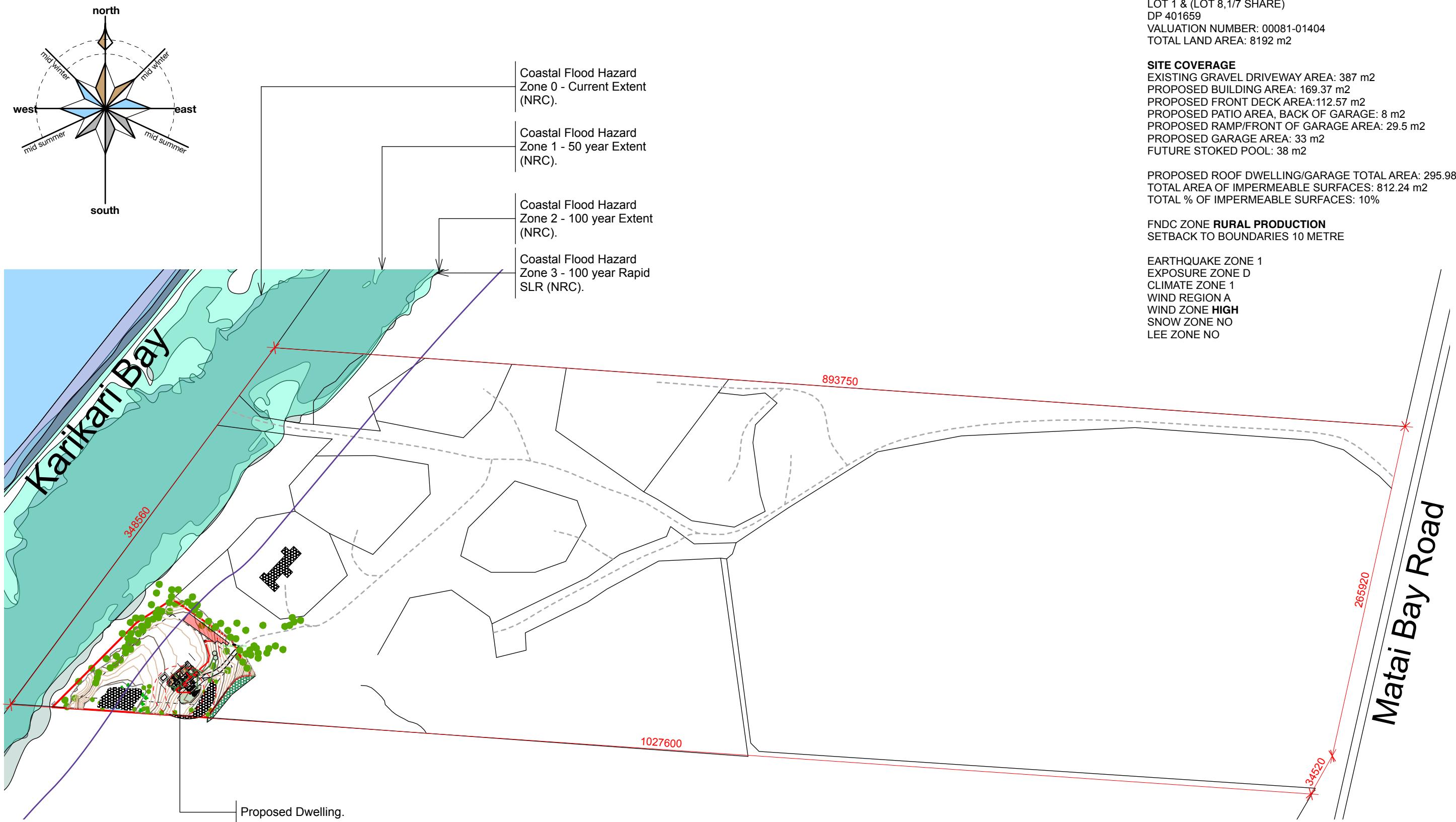
For

M & R Sweetman

449 Matai Bay Road,

Karikari Peninsula





All dimensions to be checked on site prior to commencement of work.
Work only to figured dimensions, in the event of a discrepancy contact the Designer.
Do not change any details without prior consent from the Designer.
Building Contractor to check all levels, dimensions, connections & manufacturers specifications before beginning or manufacturing any work to ensure that all materials & labour necessary to complete the project has been allowed for, whether inferred, drawn on plans or not.
Liability will not be accepted by Designer for any materials or labour not shown on drawings or required by council or during construction.



DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

Beard Online Architecture 106 Arawhata Road Kaingaroa 0483 E: beardarc48@gmail.com
D M Beard Structural LTD Doua: 022 454 9863 Tyler: 021 247 7232 Kirsty: 022 167 9900

NOTE: Wetland consists of ponding areas, rushes, native flaxes and cabbage trees. The owners have increased their grass area included the fringes of the wetland.

CLIENT: M & R Sweetman

PROJECT: 449H Matai Bay Road, Karikari Peninsula

DWC

DWG ENLARGED SITE PLAN WITH AREIAL

MS-0725

A01.3

— — —

Existing gorse has been cleared
approximately 4 m back from the
boundary

PROJECT: 449H Matai Bay Road, Karikari Peninsula

DWC

DWG ENLARGED SITE PLAN WITH AREIAL

MS-0725

A01.3

NOTE: REFER TO ENGINEER'S PLANS - SITE CUT SHALL BE INSPECTED BY THE ENGINEER.

REVISION AMENDMENTS
BY DATE REV

Silt fence installation is critical to its performance.

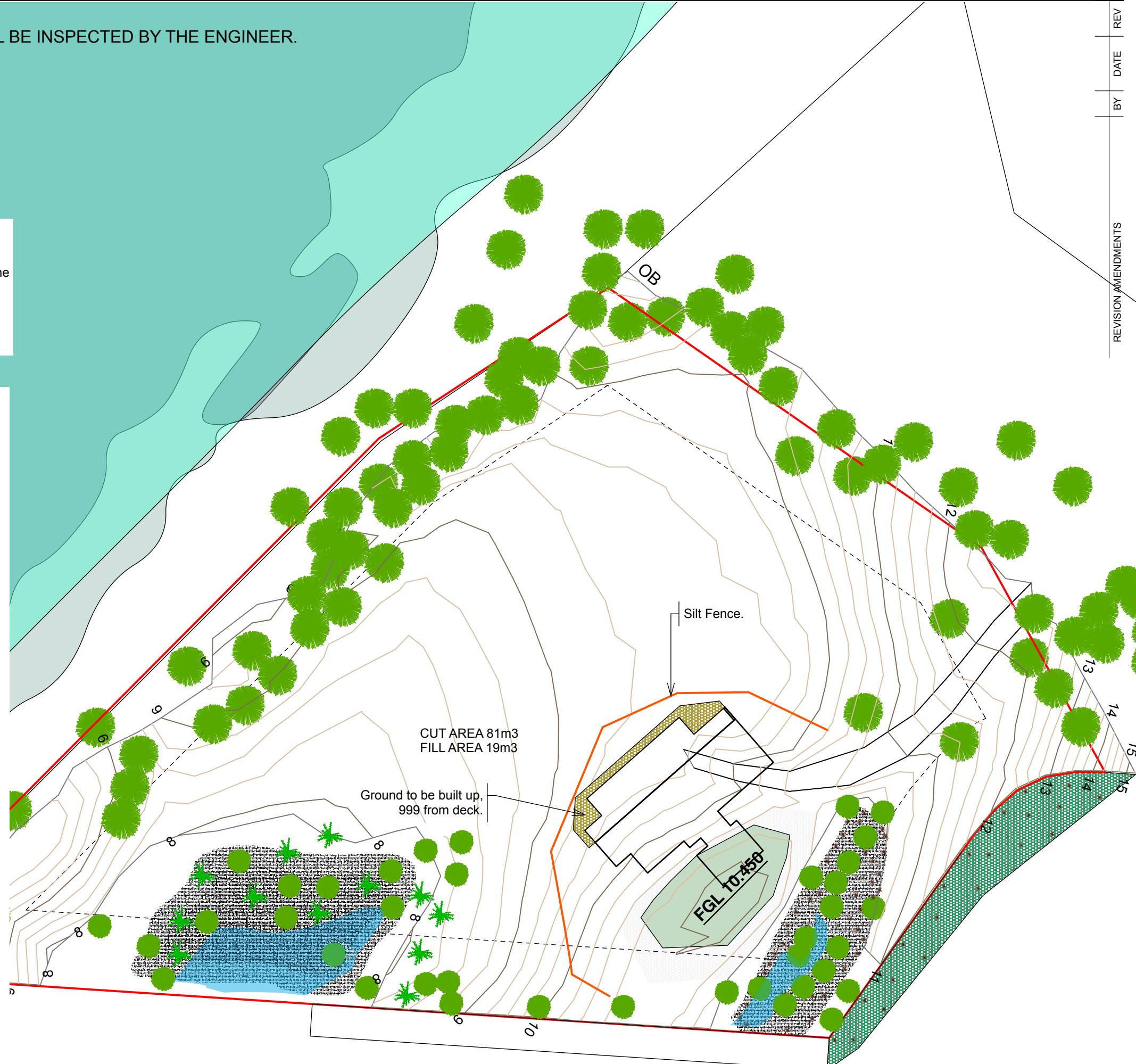
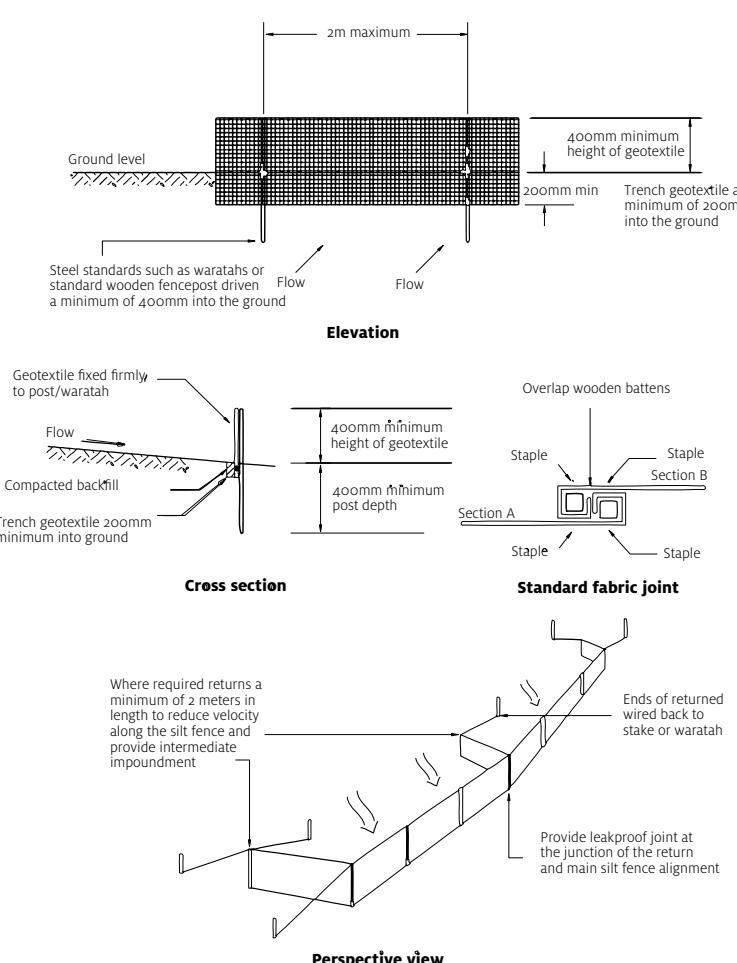
It needs to:

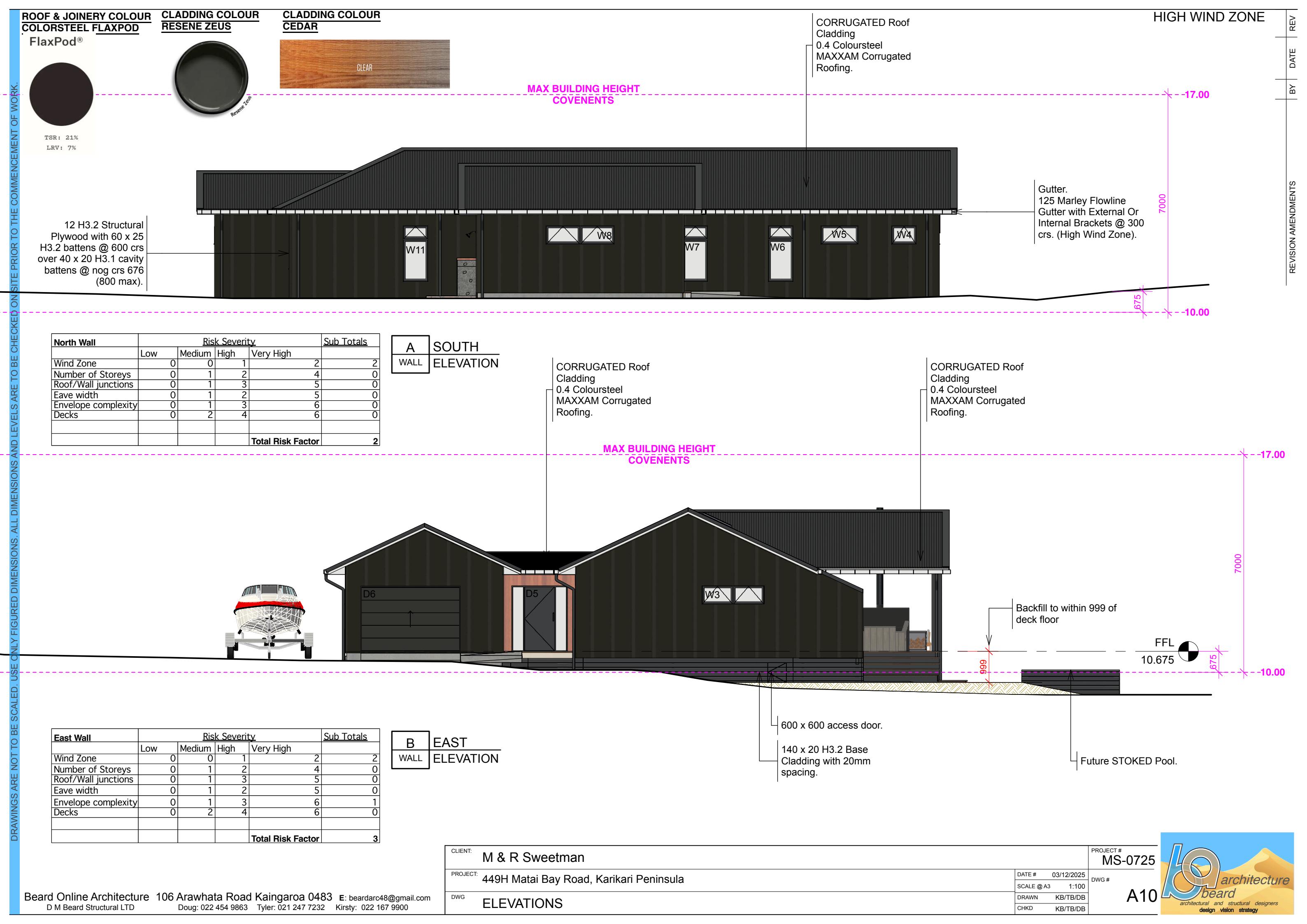
- 1 - be installed in a trench 200mm deep by 100mm wide.
- 2- have waratahs or posts hammer-staked at least 400mm deep on the downhill side of the fabric, no more than 2.0m apart.
- 3 - be 600mm high above ground, with an additional 200mm of cloth below ground in the trench.
- 4- have each end of the fence return up the slope roughly 2.0m to prevent water going around the edges.
- 5- be anchored by backfilling the trench and placing soil on top of the fabric.

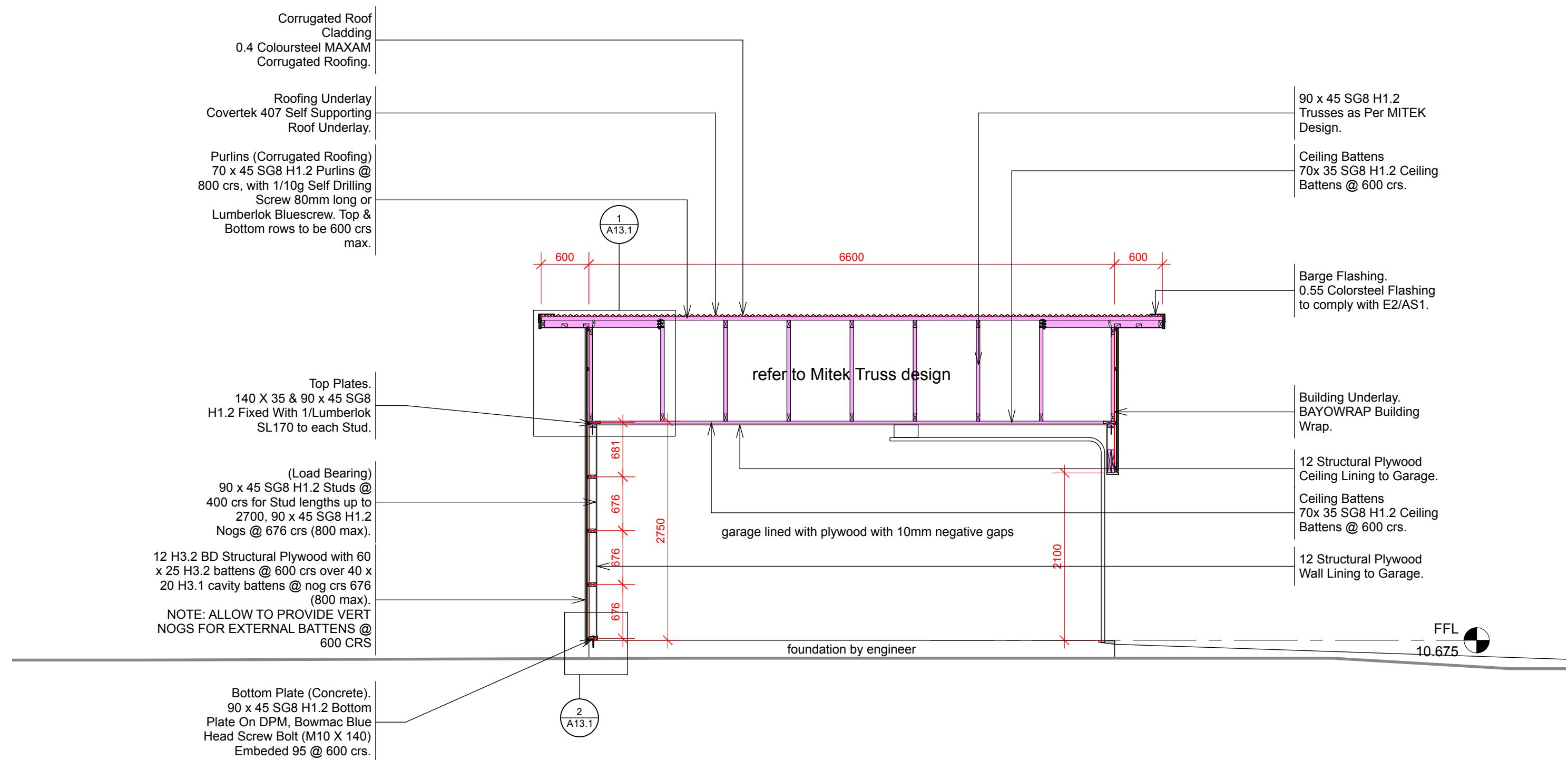
Table 1

Silt fence design criteria			
Slope steepness (%)	Slope length (m) (Maximum)	Spacing of returns (m)	Silt fence length (m) (Maximum)
Flatter than 2%	Unlimited	N/A	Unlimited
2-10%	40	60	300
10-20%	30	50	230
20-33%	20	40	150
33-50%	15	30	75
> 50%	6	20	40

Figure 1





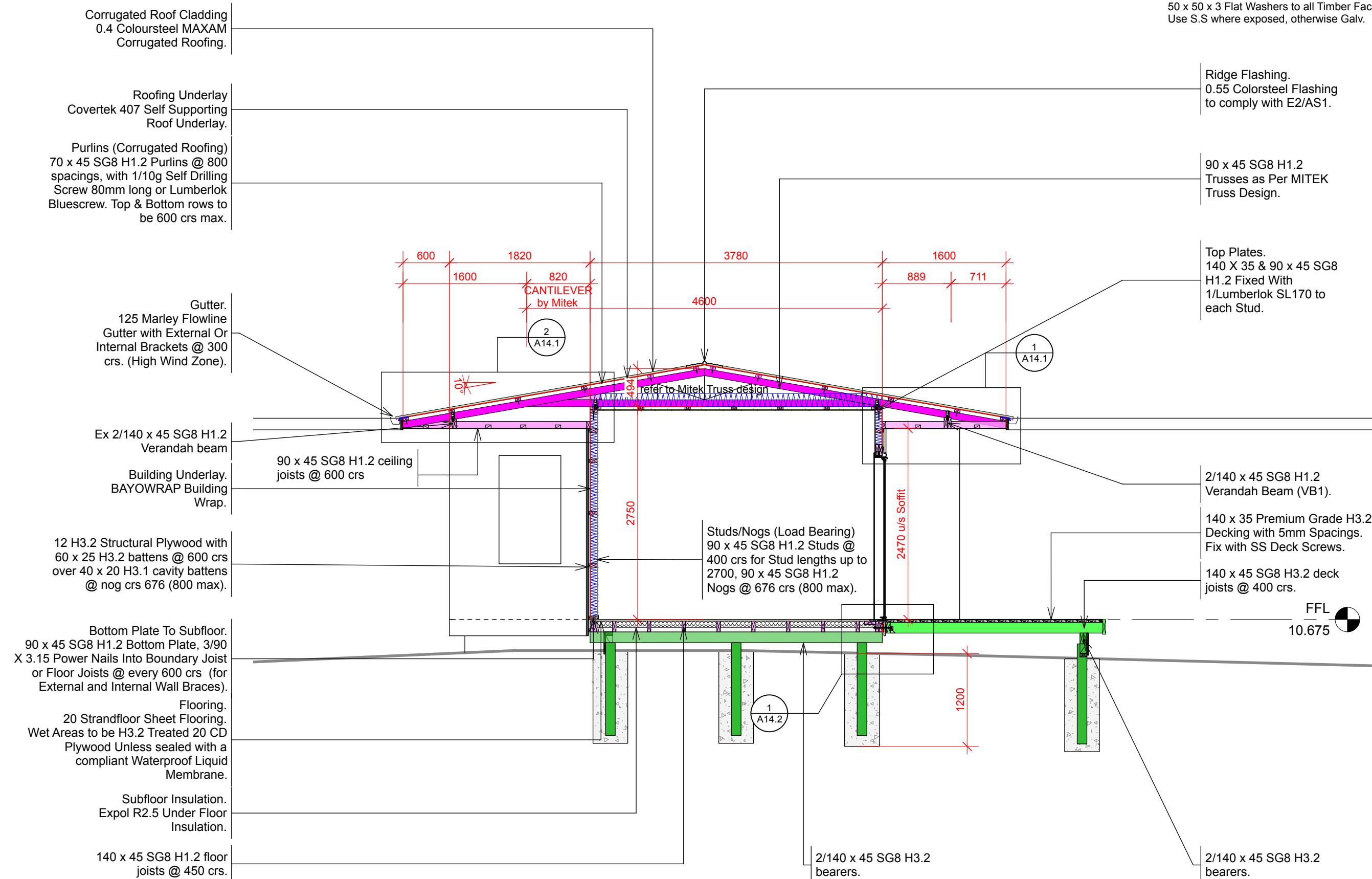


All piles are to go into good ground.

Bolted Connections.
50 x 50 x 3 Flat Washers to all Timber Faces.
Use S.S where exposed, otherwise Galv.

REVISION AMENDMENTS BY DATE REV

DRAWINGS ARE NOT TO BE SCALED, USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

B-B Cross Section
000

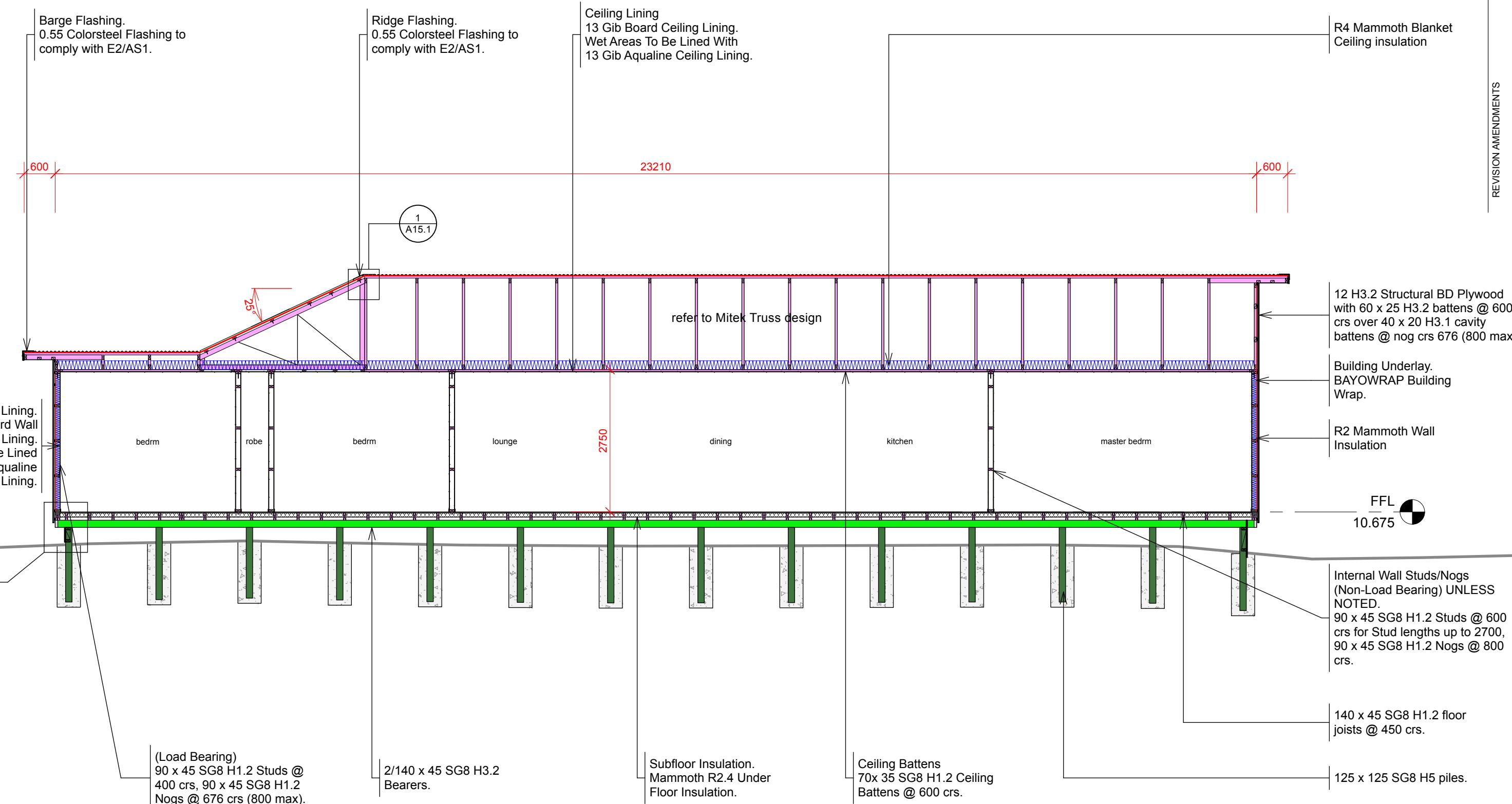
TYPICAL NOTE:

All piles are to go into good ground.

Bolted Connections.
50 x 50 x 3 Flat Washers to all Timber Faces.
Use S.S where exposed, otherwise Galv.

BY DATE REV
REVISION AMENDMENTS

DRAWINGS ARE NOT TO BE SCALED, USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



C-C Cross Section
000

TYPICAL NOTE:

All piles are to go into good ground.

Bolted Connections.
50 x 50 x 3 Flat Washers to all Timber Faces.
Use S.S where exposed, otherwise Galv.

REVISION AMENDMENTS BY DATE REV

Corrugated Roof Cladding
0.4 Coloursteel MAXAM
Corrugated Roofing.

Roofing Underlay
Covertek 407 Self
Supporting Roof Underlay.

140 x 35 Premium Grade
H3.2 Decking with 5mm
Spacings. Fix with SS
Deck Screws.

190 x 45 H3.2 Trim

2/140 x 45 SG8 H3.2
Deck Boundary Joists.

250 UB 37.3 Portal as
per Engineers drawings.

125 x 125 H5 Timber
Piles. Refer to
Foundation Plan.

Ridge Flashing.
0.55 Colorsteel Flashing
to comply with E2/AS1.

200 x 45 HYSPAN
Rafters @ 800 crs max
(R1).

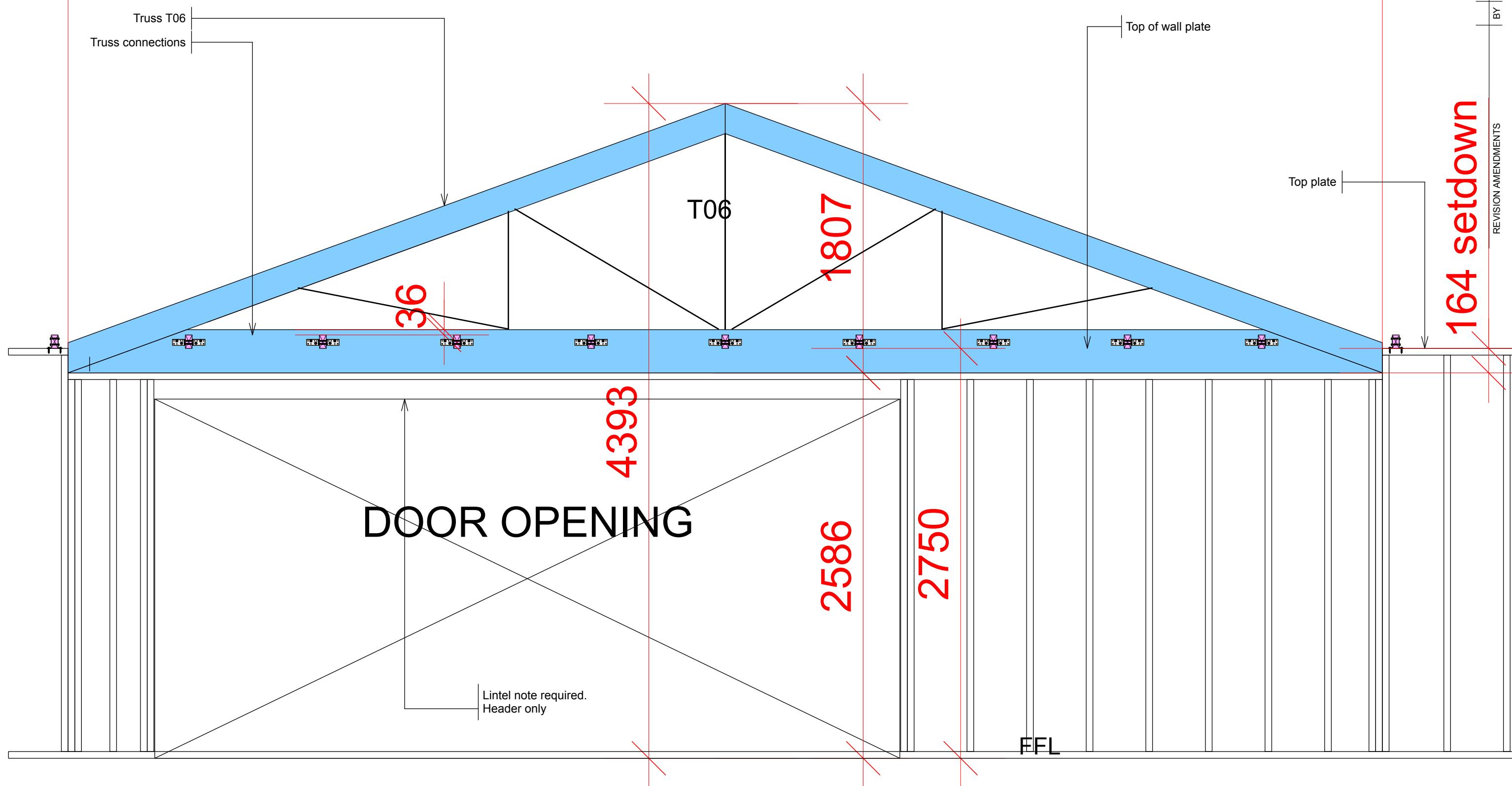
NOTE Purlins (PORTAL
AREA)(Corrugated
Roofing)

90 x 45 SG8 H1.2
Purlins @ 800 crs, with
1/10g Self Drilling Screw
80mm long or Lumberlok
Bluescrew. Top & Bottom
rows to be 600 crs max.

D-D Cross Section
000

CLIENT:	M & R Sweetman			PROJECT #	MS-0725
PROJECT:	449H Matai Bay Road, Karikari Peninsula			DATE #	03/12/2025
DWG				SCALE @ A3	1:50
				DRAWN	KB/TB/DB
				CHKD	KB/TB/DB
					A15.2

8820



TYPICAL NOTE:

All piles are to go into good ground.

Bolted Connections.
50 x 50 x 3 Flat Washers to all Timber Faces.
Use S.S where exposed, otherwise Galv.

BY DATE REV

DRAWINGS ARE NOT TO BE SCALED, USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

90 x 45 SG8 H1.2
Trusses as per MITEK
Truss Design.

90 x 45 SG8 H1.2
Trusses as per MITEK
Truss Design.

Ridge Flashing.
0.55 Colorsteel Flashing
to comply with E2/AS1.

PLEASE NOTE THAT TRUSS T06
IS TO SUPPORT THE 200 x 45
hySPAN RAFTERS.

200 x 45 HYSPAN
Rafters @ 800 crs max
(R1).

4500

300

REVISION AMENDMENTS

Valley Flashing.
0.55 Colorsteel Flashing
to comply with E2/AS1.
Refer to Sheet
M07/M08.

refer to Mitek Truss design

refer to Mitek Truss design

refer to Mitek Truss design

garage
garage lined with plywood with negative gaps

Studs/Nogs (Load Bearing)
90 x 45 SG8 H1.2 Studs @ 400 crs
for Stud lengths up to 2700, 90 x 45
SG8 H1.2 Nogs @ 676 crs (800 max).

subfloor by engineer

entry

hallway

lounge/dining/kitchen

covered deck

FFL

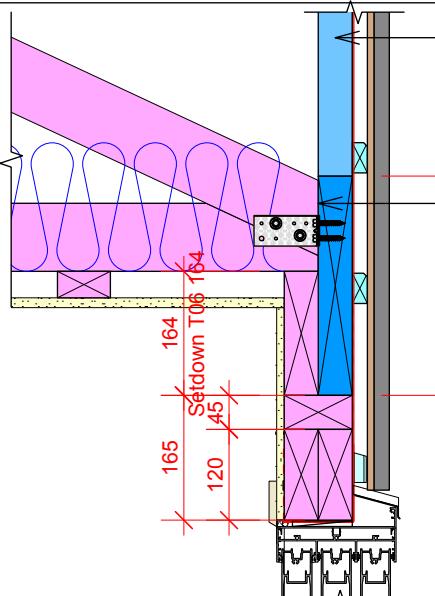
10.675

REVISION AMENDMENTS

NOTE Purlins (PORTAL AREA)(Corrugated
Roofing)
70 x 45 SG8 H1.2
Purlins @ 800 crs, with
1/10g Self Drilling Screw
80mm long or Lumberlok
Bluescrew. Top & Bottom
rows to be 600 crs max.

2
A16.13
A16.1

Backfill after installing
foundation piles.
Compact in 150 layers



Note:
When ordering the trusses that
connect to the truss T06, allow to
have them made 45 shorter.
Note the rest of these trusses will
need to have the apex at the
same height as the other
corresponding trusses.

Truss T06
1-1
000
Cross Section
Moisture Barrier
0.25 Polyethelene Moisture Barrier, Lap
200 and tape seams continuously with 50
Polyethelene Tape, tape all cuts and
penetrations. Use Thermathene Black.

Subfloor Insulation.
Mammoth R2.4 Under
Floor Insulation.

140 x 35 Premium Grade
H3.2 Decking with 5mm
Spacings. Fix with SS
Deck Screws.

Truss Connections

Scale: 1:10

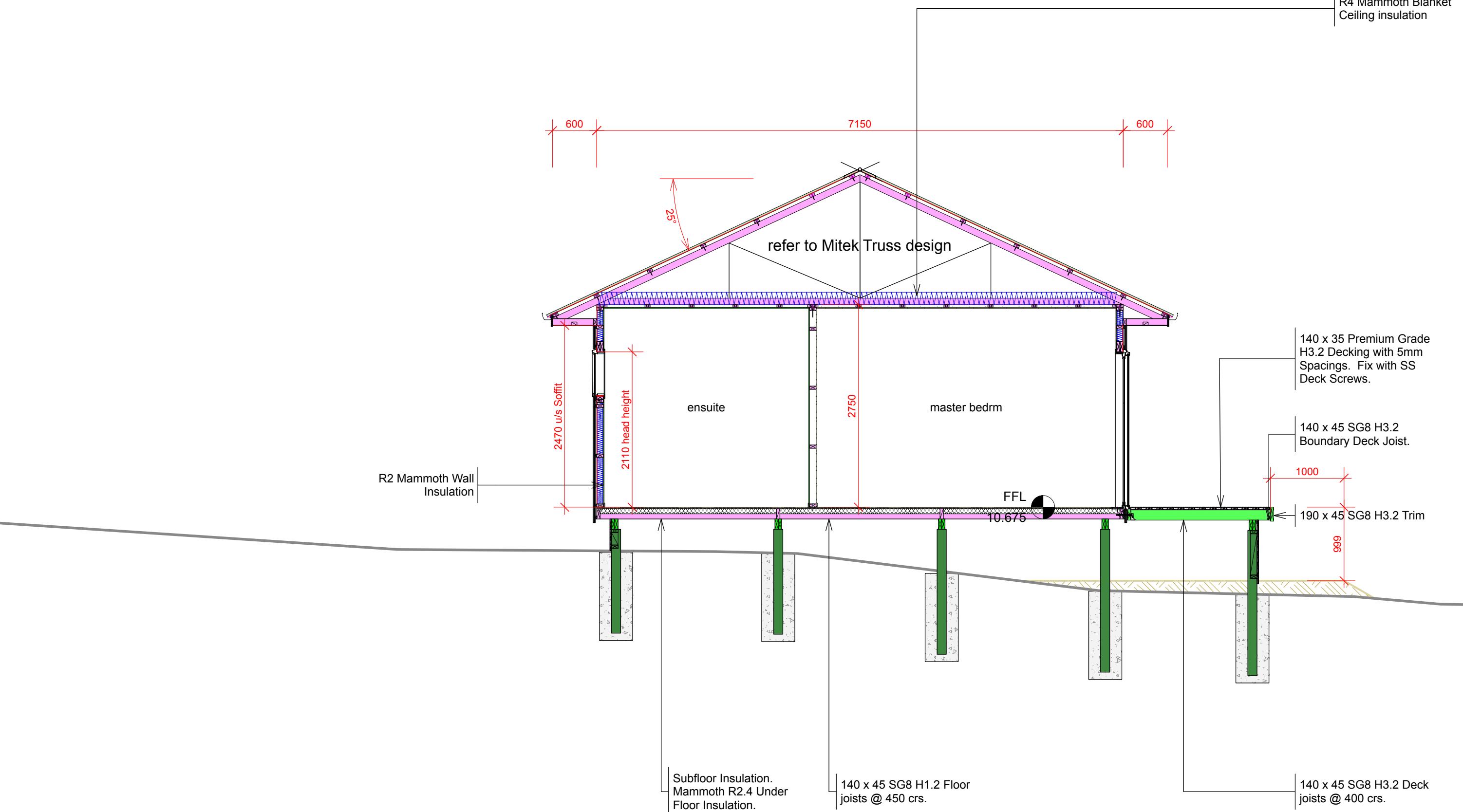
TYPICAL NOTE:

All piles are to go into good ground.

Bolted Connections.
50 x 50 x 3 Flat Washers to all Timber Faces.
Use S.S where exposed, otherwise Galv.

REVISION AMENDMENTS BY DATE REV

DRAWINGS ARE NOT TO BE SCALED, USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



2-2 Cross Section
000

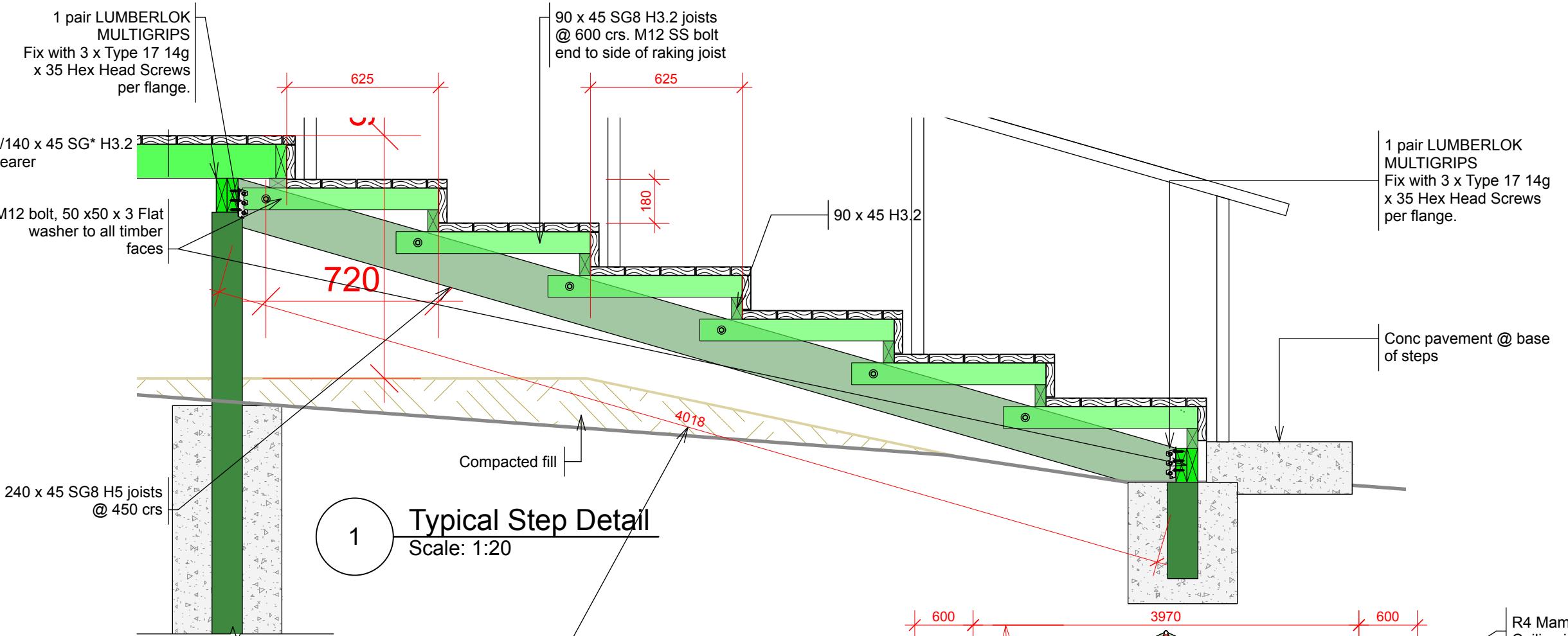
TYPICAL NOTE:

All piles are to go into good ground.

Bolted Connections.
50 x 50 x 3 Flat Washers to all Timber Faces.
Use S.S where exposed, otherwise Galv.

BY DATE REV

DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.

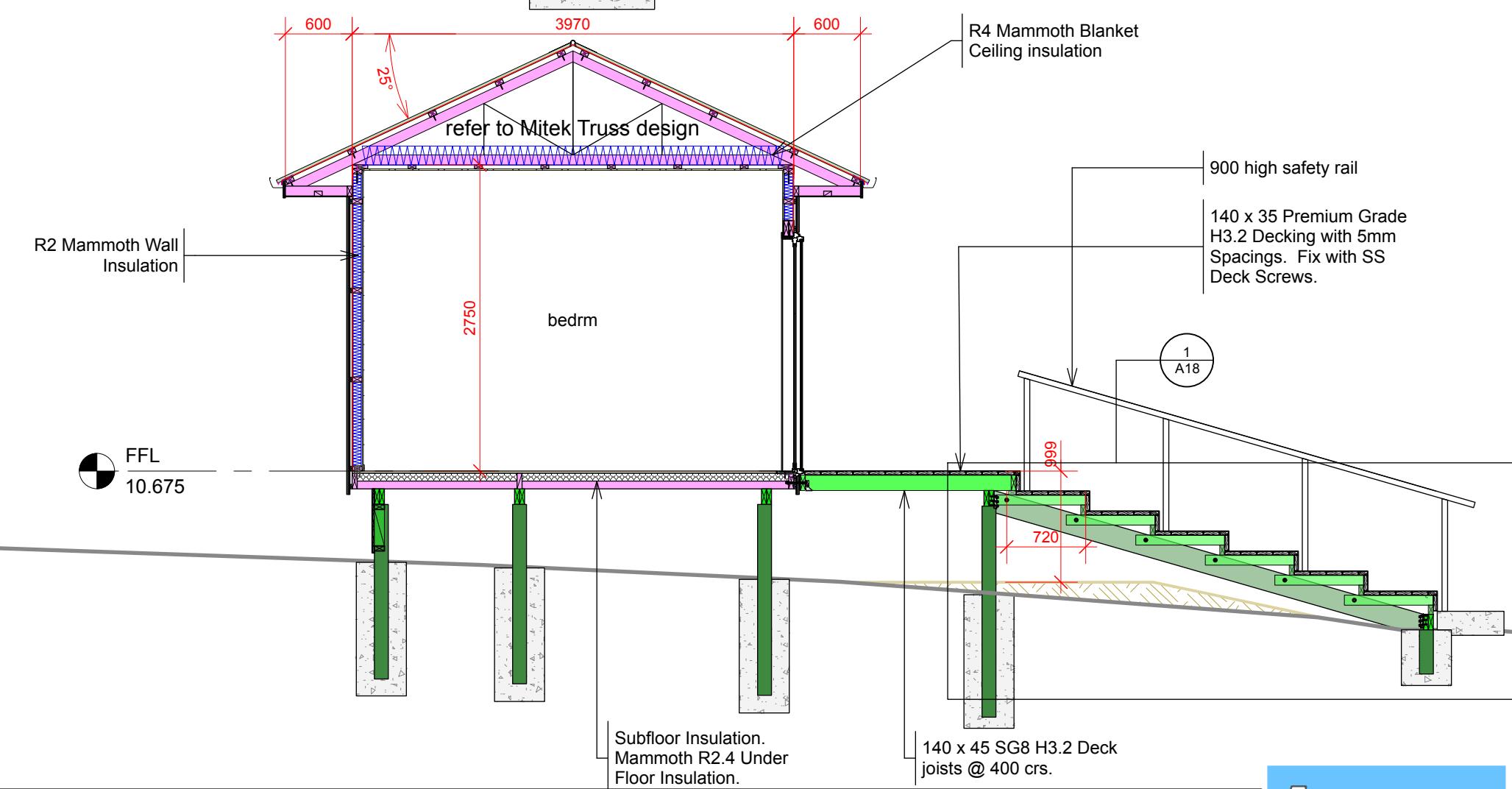


(b) 2 kPa floor load SG 8 and SG 8 (Wet) (wet in service)

Floor joist size	Maximum span* of joists at a maximum spacing (mm) of:		
	400	450	600
(mm x mm)	(m)	(m)	(m)
90 x 45	1.60	1.50	1.30
140 x 35	2.20	2.05	1.80
140 x 45	2.50	2.35	2.05
190 x 45	3.40	3.20	2.75
240 x 45	4.30	4.05	3.50
290 x 45	5.20	4.90	4.25

NOTE FOR STEP JOIST SPANS THAT ARE DIFFERENT TO THAT SHOWN-REFER TO THE ABOVE TABLE FOR JOIST SPANS (WET IN SERVICE)

3-3 Cross Section
000



View Instrument Details



Instrument No 10879611.1
Status Registered
Date & Time Lodged 17 August 2017 09:31
Lodged By Taylor, Christopher James
Instrument Type Variation of Easement



Affected Computer Registers	Land District
405151	North Auckland
405152	North Auckland
405153	North Auckland
405154	North Auckland
405155	North Auckland
405156	North Auckland
405157	North Auckland

Affected Instrument Easement Instrument 8010494.6

Annexure Schedule: Contains 3 Pages.

Grantor Certifications

I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

I certify that the territorial authority has consented to this transaction and I hold that consent, or the affected easement is not the subject of a condition imposed by the territorial authority

I certify that the Encumbrancee under Encumbrance 8010494.7 has consented to this transaction and I hold that consent

Signature

Signed by Christopher James Taylor as Grantor Representative on 17/08/2017 09:30 AM

Grantee Certifications

I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument

I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument

I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply

I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

Signature

Signed by Christopher James Taylor as Grantee Representative on 17/08/2017 09:30 AM

*** End of Report ***

Form D**Easement Variation instrument to vary Easement or Profit à prendre or Land Covenant**

(Sections 90C and 90F Land Transfer Act 1952)

Grantor

MBR Developments Limited and Alta Trinity Limited

Grantee

MBR Developments Limited and Alta Trinity Limited

Variation of Easement, Profit à prendre or Covenant

The terms, covenants or conditions contained in the easement(s), profit(s) à prendre, or covenant(s) set out in Schedule A are hereby varied, negatived or added to, as set out in Schedule B.

Schedule A*Continue in additional Annexure Schedule, if required*

Purpose of Easement; Profit or Covenant	Creating Instrument number	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register) or in gross
Covenant	8010494.6	405151 to 405157 (inclusive)	405151 to 405157 (inclusive)

Schedule B*Continue in Annexure Schedule, if required*

See annexed Annexure Schedule pages 2 and 3



Form L

Annexure Schedule

Page 2 of 3 Pages

Insert instrument type

Easement Variation Instrument to vary Land Covenant

Continue in additional Annexure Schedule, if required

Subclauses 3.6.1 and 3.6.2 of the land covenant in Easement Instrument 801494.6 are revoked and replaced with the following:

3.6.1 Height Restriction: The maximum building height for any Improvement on each Lot (metres against Mean Sea Level) is:

Lot 1: 17.00 metres

Lot 2: 17.50 metres

Lot 3: 18.70 metres

Lot 4: 20.50 metres

Lot 5: 22.00 metres

Lot 6: 23.50 metres

Lot 7: 28.00 metres.

3.6.2 These restrictions will allow buildings on the building platforms of approximately the following maximum heights (note: these heights are approximate only; all measurements must be taken from Mean Sea Level):

Lot 1: 7.70 metres

Lot 2: 5.00 metres

Lot 3: 5.00 metres

Lot 4: 5.00 metres

Lot 5: 6.40 metres

Lot 6: 7.50 metres

Lot 7: 7.40 metres.



Insert instrument type

Easement Variation Instrument to vary Land Covenant

Continue in additional Annexure Schedule, if required

Dated 10 August 2017

Executed by MBR Developments Limited as Grantor and Grantee

By: R Sullivan:

Sole director

In the presence of:



Christopher James Taylor
Solicitor
Auckland

Executed by Alta/Trinity Limited as Grantor and Grantee

By: J A Best:

Sole director

In the presence of:



Christopher James Taylor
Solicitor
Auckland

Karikari 2C Society Incorporated as Encumbrance under Encumbrance 8010494.7 consents to the registration of the within variation of land covenant in easement instrument 8010494.6

Signed by Karikari 2C Society Incorporated by:

R Sullivan – Chairperson

J. A. Best – Committee Member

In the presence of:

Name:

Address:

Occupation:

Christopher James Taylor
Solicitor
Auckland

9 January 2026

Michael Gerard Sweetman and Rhonda May Sweetman
64 Whangaripo Valley Road
RD 4
Wellsford
0974

Dear Sir / Madam,

Building consent number: EBC-2026-558/0
Property ID: 3355855
Address: 449H Matai Bay Road, Karikari Peninsula 0483
Description: Proposed new 3-bedroom dwelling with attached garage and covered deck. Garage is on engineer ribraft foundation and house is on piles, New timber trusses, Install On-Site Wastewater Disposal System

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules
[Far North Proposed District Plan \(isoplan.co.nz\)](http://Far North Proposed District Plan (isoplan.co.nz))

The site is zoned **General Coastal** under the Operative District Plan and Resource Consent is required for breach of the following:

Rule:	12.1.6.1.5 BUILDINGS WITHIN OUTSTANDING LANDSCAPES (a): Where the zoning of the building platform is General Coastal any new building(s) not for human habitation provided that the gross floor area of any new building or buildings permitted under this rule, does not exceed 25m ² .
Reason:	The proposed dwelling floor area stated as 169.37m ² and the proposed garage floor area stated as 33m ² exceed the permitted threshold.

Rule:	10.6.5.1.1 VISUAL AMENITY (a): Any new building(s) not for human habitation provided that the gross floor area of any new building permitted under this rule, does not exceed 50m ² or for human habitation provided that the gross floor area does not exceed 25m ² .
Reason:	The proposed dwelling floor area stated as 169.37m ² and the proposed garage floor area stated as 33m ² exceed the permitted thresholds.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully

L Mare

Lysigna Mare
PIM Officer
Delivery and Operations

Emailed to: tylerkharissa@gmail.com ; beardarc48@gmail.com

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM
Section 37, Building Act 2004

Building Consent Number: EBC-2026-558/0

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**

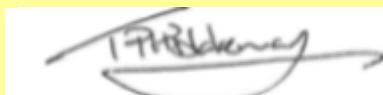
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

• Resource Consent – REQUIRED

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman
Manager - Building Services –
Delivery and Operations
Far North District Council (Building Consent Authority)
9 January 2026

Position:

On behalf of:

Date:



**Far North
District Council**

CONO 8010494.1 Consent

Cpy - 01/01, Pgs - 008, 26/11/08, 16:18



DocID: 313213673

Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 2070190
the Subdivision of Lots 1 - 8
Being Subdivision of Kaikari 2C.

North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c)(ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified under each condition below.

SCHEDULE

PURSUANT to Section 221 and for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the Schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate new titles.

SCHEDULE

1. All buildings on Lots 1 to 7 shall be sited to comply with the recommendations of the "Report on Suitability of Site for Subdivision - Matai Bay Road, Cape Karikari" prepared by *Haigh Workman Civil and Structural Consultants Ltd* (Ref 05 498) dated August 2006.
2. The stormwater and effluent disposal systems for all buildings on Lots 1 to 7 shall be designed, constructed and maintained in accordance with the recommendations of the "Report of Suitability of Site for Subdivision - Matai Bay Road, Cape Karikari" prepared by *Haigh Workman Civil and Structural Consultants Ltd* (Ref 05 498) dated 17 August 2006.

3. No building shall be erected on proposed Lots 1 to 7 without the prior approval of the Council to specific designs for foundations, prepared by a Chartered Professional Engineer (CPEng) with geotechnical expertise.
4. Management of activities of Lot 8, with respect to the natural wetland areas (as indicated by the attached drawing) is to be undertaken so that the natural range of water levels and the natural ecosystem of plants and animals they support do not change as a result of such activities.
5. All buildings within Lots 1 to 7 shall be finished in natural materials and/or colours with a reflectivity of less than 35%
6. If during the course of undertaking the site works there is a discovery made of any archaeological find, or suspected find, the work on that portion of the site should cease immediately and the NZ Historic Places Trust and a representative of the relevant local iwi contacted. It is unlawful to modify damage or destroy an archaeological site without prior authority from the Trust under the Historic Places Act 1993 (All Lots).
7. No occupier of the land shall keep or introduce onto the site carnivorous or omnivorous exotic animals (such as ferrets, cats or dogs) which have the potential to be native bird predators. This prohibition includes the bringing of any such animals onto the site by visitors or contractors (All Lots).
8. Existing structural planting completed in accordance with "The Karikari 2C Block Development Project New Landscape Plan" prepared by *Ecoprojects Consulting Network Limited and David Wright Ecological Services* dated 28 September 2007, shall be managed in accordance with that plan (All Lots).
9. The owners of the Lots shall at all times comply with the requirements of the approved Management Plan submitted in accordance with Condition 2 (f) of Resource Consent 2070190 (Lots 1-8).

SIGNED



By the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATE



RC 2070190

Land Registration District

North Auckland

Plan Number

DP 401659

Territorial Authority (the Council)

Far North District

Memorandum of Easements in Gross

Purpose	Shown	Servient Tenement	Grantee
Right to Convey Electricity	J	Lot 8 Hereon	Top Energy Ltd
Right to Convey Telecommunications & Computer Media	J	Lot 8 Hereon	Telecom NZ Ltd

Proposed QE II Open Space Covenant (Cultural Site) Schedule

Shown	Description	Area
B	Pt Lot 8 Hereon	7785m ²
C	Pt Lot 8 Hereon	4725m ²
D	Pt Lot 8 Hereon	2730m ²

Proposed QE II Open Space Covenant Schedule

Shown	Description	Area
E	Pt Lot 8 Hereon	12.4190ha
G	Pt Lot 8 Hereon	3380m ²
H	Pt Lot 8 Hereon	1.5360ha
I	Pt Lot 8 Hereon	2.6300ha

CHI-15588

LOADING FIRMS

Christopher Taylor Lawry
christophertau

Journal of Clinical Nursing

在於我所說的「社會」，就是指的社會學上所說的社會。

Client Code / RegEx / MBR Develop. 4690-1

8	405151 - 405157 (inclusive)	L	ENC	MBR Developments Ltd - Karikari 2C Society Incorporated	60.00	\$60.00
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Running Total for Page 2 -

TITLE SCHEDULE

Landonline User ID:

christophertau

LODGING FIRM:

Christopher Taylor Lawyers

Client Code / Ref:

MBR Develop. 4690-1

Line Number	CT Ref.								
1		5		9		13		17	
2		6		10		14		18	
3		7		11		15		19	
4		8		12		16		20	

OPEN SPACE COVENANT

(Under section 22 of the Queen Elizabeth the Second National Trust Act 1977)

The QUEEN ELIZABETH THE SECOND NATIONAL TRUST ("the Trust") established by the Queen Elizabeth the Second National Trust Act 1977 ("the Act") is authorised by the Act to enter into agreed open space covenants over any private land

and

MBR DEVELOPMENTS LIMITED ("the Covenantor") are registered as proprietors of an estate as set out in the Schedule of Land ("the Land") and have agreed to enter into an open space covenant on the Land with the Trust for the purpose and objectives set forth in Schedule 1.

The Covenantor and the Trust have mutually agreed:

- (a) To enter into this Deed in respect of the Land having regard to the purpose and objectives set out in Schedule 1 and subject to the terms and conditions set out in Schedule 2 and Schedule 3 of this Deed;
- (b) To comply with the terms and conditions set out in the Schedules and with every applicable provision of the Act;
- (c) The covenants and conditions contained in this Deed shall bind the Land in perpetuity;
- (d) That if any question arises in the management of the Land that is not clearly covered in the purpose and objectives or terms and conditions of this Deed, then that question shall be resolved by the Trust through the Chief Executive and the Covenantor in a manner that does not diminish the purpose and objectives or terms and conditions.

SCHEDULE 1

AGREED PURPOSE AND OBJECTIVES

The Covenantor and the Trust have mutually agreed the purpose of this Deed is to protect, maintain and enhance the open space values of the Land and to achieve the following particular objectives:

- (a) Protection and enhancement of the natural character of the Land with particular regard to the indigenous flora and fauna;
- (b) Maintenance and enhancement of the landscape value of the Land;
- (c) Encouraging where appropriate restoration of indigenous vegetation cover on the Land thereby enhancing the contribution the Land makes to the protection of indigenous biodiversity, and
- (d) Prevent subdivision and future development of the Land.

SCHEDULE 2
AGREED TERMS AND CONDITIONS

1. Interpretation and Declaration

1.1 In this Deed unless the context requires otherwise:

“the Board” means the board of directors of the Trust in terms of section 4 of the Act.
the “Covenantor” is the owner of the Land who enters into the agreement with the Trust by executing this Deed.

“Chief Executive” means the person appointed under section 18(1)(a) of the Act.

“Owner” means the person or persons who from time to time are registered as the proprietor(s) of “the Land”.

“the Land” means the land as described in Schedule 4 and more particularly as shown on the plan annexed to this Deed.

1.2 In the event of any inconsistency between this Schedule and Schedule 3, Schedule 3 prevails.

1.3 The reference to any Act in this Deed extends to and includes any amendment to, or substitution for, that Act.

2. Appearance and Condition of the Land

2.1 No act or thing shall be done or placed or permitted to be done or remain upon the Land which in the opinion of the Board materially alters the actual appearance or condition of the Land or is prejudicial to the Land as an area of open space as defined in the Act.

2.2 In particular, on and in respect of the Land, except with the prior written consent of the Trust, or as outlined in Schedule 3, the Owner agrees not to:

- (a) Fell, remove, burn or take any native trees, shrubs or plants of any kind.
- (b) Plant, sow or scatter any trees, shrubs or plants or the seed of any trees, shrubs or plants other than local native flora.
- (c) Introduce any substance injurious to plant life except in the control of pests.
- (d) Mark, paint, deface, blast, move or remove any rock or stone or disturb the ground.
- (e) Construct, erect or allow to be erected, any buildings or undertake exterior alterations to existing buildings.
- (f) Erect, display or permit to be erected or displayed, any sign, notice, hoarding or advertising matter of any kind except for signs identifying the covenant or to indicate walking tracks that are or may be established on the Land.
- (g) Carry out any prospecting or exploration for, or mining or quarrying of any minerals, petroleum, or other substance or deposit.
- (h) Deposit any rubbish or other materials, except in the course of maintenance or approved construction, provided however that after the completion of any such work all rubbish and materials not wanted for the time being are removed and the Land left in a clean and tidy condition.
- (i) Allow any livestock on the Land.



(j) Cause deterioration in the natural flow, supply, quantity or quality of any river, stream, lake, wetland, pond, marsh or any other water resource affecting the Land.

2.3 In considering any request by the Owner for an approval in terms of Clause 2.2, the Board will not unreasonably withhold its consent if it is satisfied that the proposed work does not conflict with the purpose and objectives of this Deed as contained in Schedule 1.

3. Management of the Land

3.1 The Trust will provide the Owner with technical advice or assistance as appropriate and practical to assist in meeting the purpose and objectives of this Deed.

3.2 To assist in achieving the purpose and objectives of this Deed, a management plan with particular emphasis on revegetation of the Land in indigenous species of plants shall be prepared by the Owner and the Trust and may be reviewed from time to time with a copy of the operative management plan being held by the Owner and the Trust.

4. Use of Land by Third Parties

4.1 If notified by any authority, body or person of an intention to erect any structure or carry out any other work on the Land, the Owner agrees:

- (a) to inform the authority, body or person of this Deed;
- (b) to inform the Trust as soon as possible; and
- (c) not to consent to the work being done without prior permission from the Trust.

5. Fences and Gates

5.1 The Owner shall keep all fences and gates on the boundary of the Land in good order and condition and will accept responsibility for all repairs and replacement except in the case of property boundary fences where the provisions of the Fencing Act 1978 shall apply.

6. Entry and Access

6.1 The Trust may through its officers, employees or agents enter upon the Land for the purpose of viewing the state and condition of the Land.

6.2 Members of the public, with the prior permission from the Owner, shall have freedom of entry and access to the Land provided:

- (a) The Owner shall have regard to the purpose and objectives of this Deed in considering any request for entry and access;
- (b) The Owner shall have the sole right to determine whether or not any request for permission for entry and access should be granted due to specific management issues relating to the Land; and
- (c) In granting consent or permission for entry and access the Owner may determine conditions of such entry and access including any requirement for the Owner or any occupier of the Land to be indemnified from and against any loss, damage or injury suffered by the Owner or any occupier as a consequence of any person entering onto the Land.

7. Pest Plants and Animals

7.1 The Owner shall continue to comply with the provisions of the Biosecurity Act 1993 and the Wild Animal Control Act 1977.



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8. Fire

8.1 In the event of fire threatening the Land the Owner shall as soon as practical notify the appropriate Fire Authority.

9. Action for Benefit to the Land

9.1 The Owner or the Trust may at any time during the term of this Deed, by mutual agreement:

- (a) carry out any works or improvements, or
- (b) take any action either jointly or individually, or
- (c) vary the terms of this Deed to ensure the more appropriate preservation of the Land as open space in terms of the Act provided however any such variation is not contrary to the purpose and objectives of this Deed or section 22A of the Act.

10. Notices

- 10.1 Any consent, approval, authorisation or notice to be given by the Trust may be given in writing signed by the Chief Executive and delivered or sent by ordinary post to the last known residential or postal address of the Owner or to the solicitor acting on behalf of the Owner.
- 10.2 The Owner shall notify the Trust of any change in respect of ownership of all or any part of the Land and provide the Trust with the name and address of the new owner.
- 10.3 If before the registration of this Deed by the Registrar General of Land, the Owner wishes to sell or otherwise dispose of all or any part of the Land, the sale or disposition shall be made expressly subject to the terms and conditions contained in this Deed.
- 10.4 In the event of transfer of the Land to a company the covenants contained in this Deed shall bind a mortgagee in possession, receiver, Official Assignee, liquidator, statutory manager or statutory receiver to the fullest extent permitted by law.



SCHEDULE 3

SPECIAL CONDITIONS RELATING TO THE LAND

1. Naming

1.1 The Covenantor and the Trust have mutually agreed the Land subject to this Deed shall be known as Matai Bay Foredune Covenant.

2. Beach Access

2.1 The Owner may create a walking accessway across the Land to Karikari Bay.

SCHEDULE 4
SCHEDULE OF LAND

NORTH AUCKLAND

Land Registry:

Estate:

Area:

Fee Simple

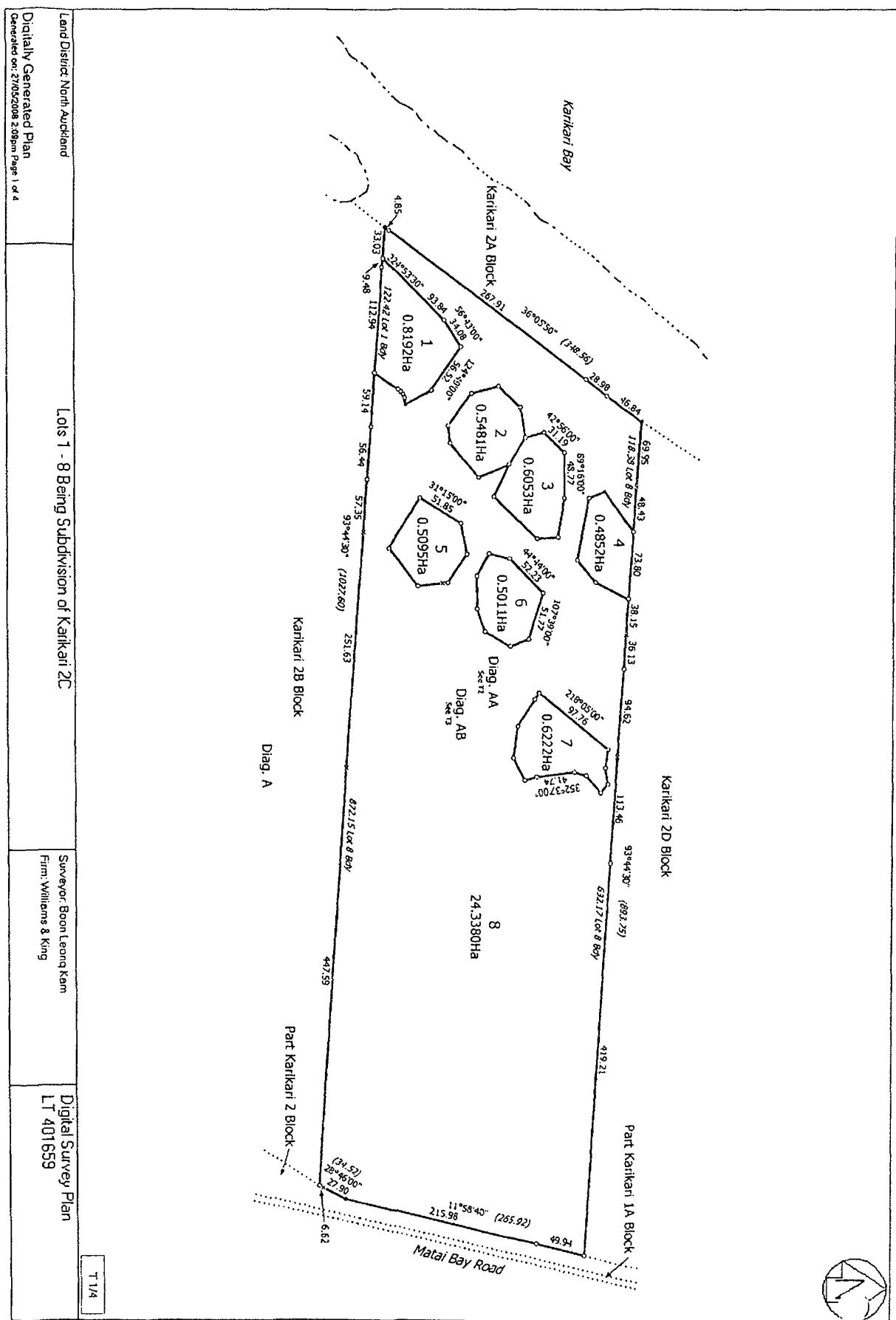
Area B = 0.7785 hectares
Area C = 0.4725 hectares
Area D = 0.2730 hectares
Area E = 12.4190 hectares
Area G = 0.3380 hectares
Area H = 1.5360 hectares
Area I = 2.6300 hectares

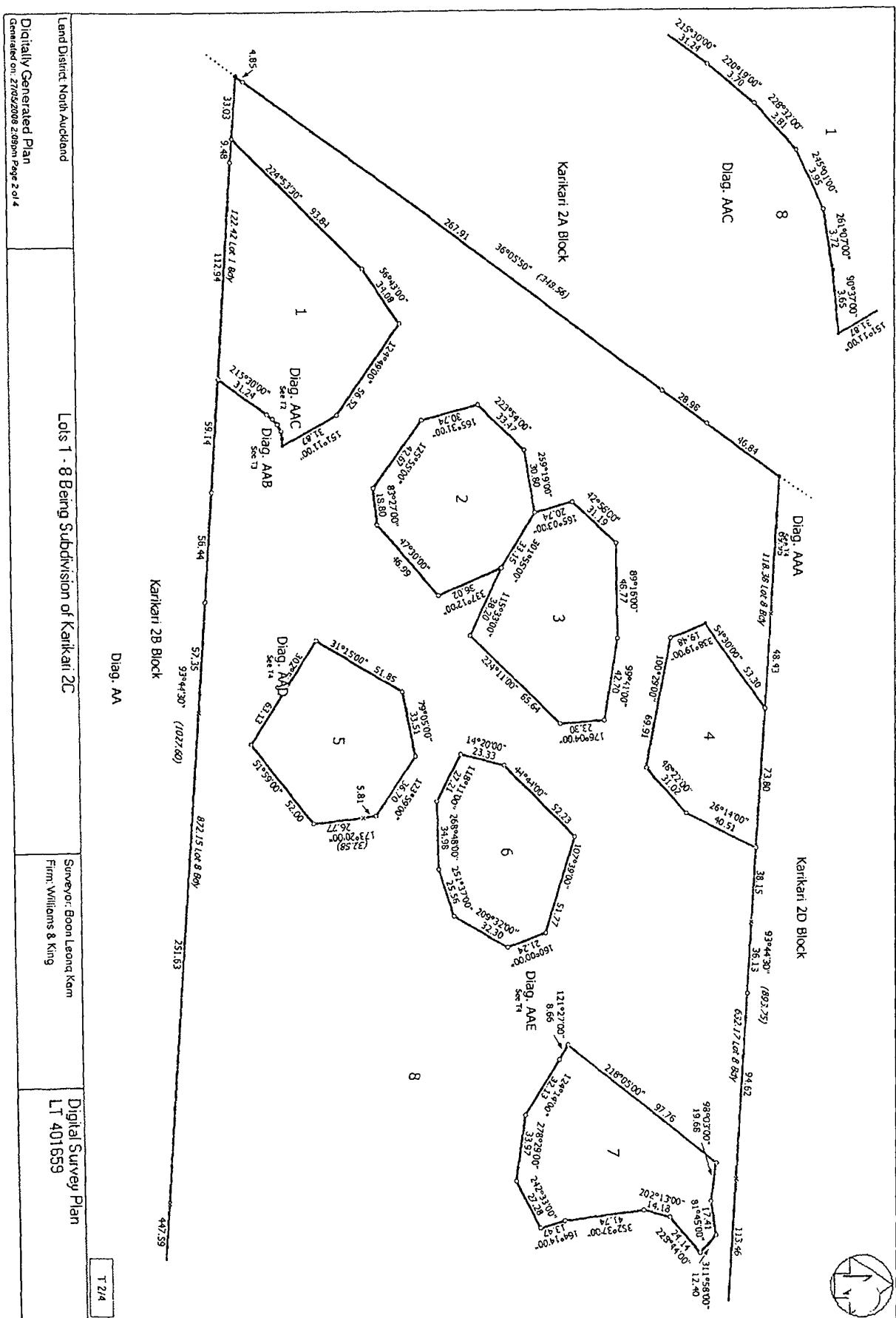
Total Area = 18.4470 hectares shown on DP 401659

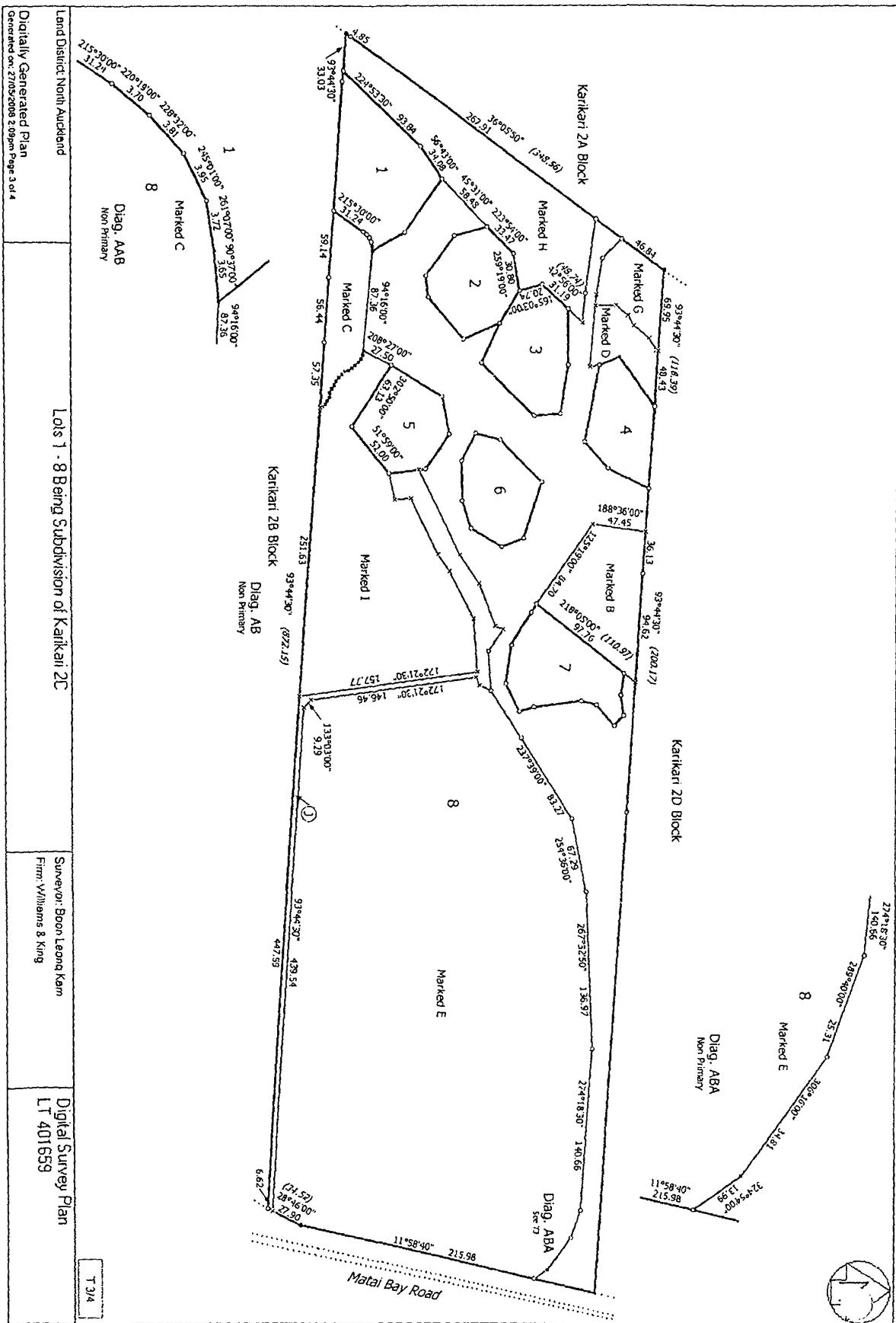
Lot & D.P. No.
(other legal description)

Part Lot 8
DP 401659
Block IV
Karikari Survey District

Part Computer Freehold Registers: 405151 to 405157 inclusive







Land District North Auckland

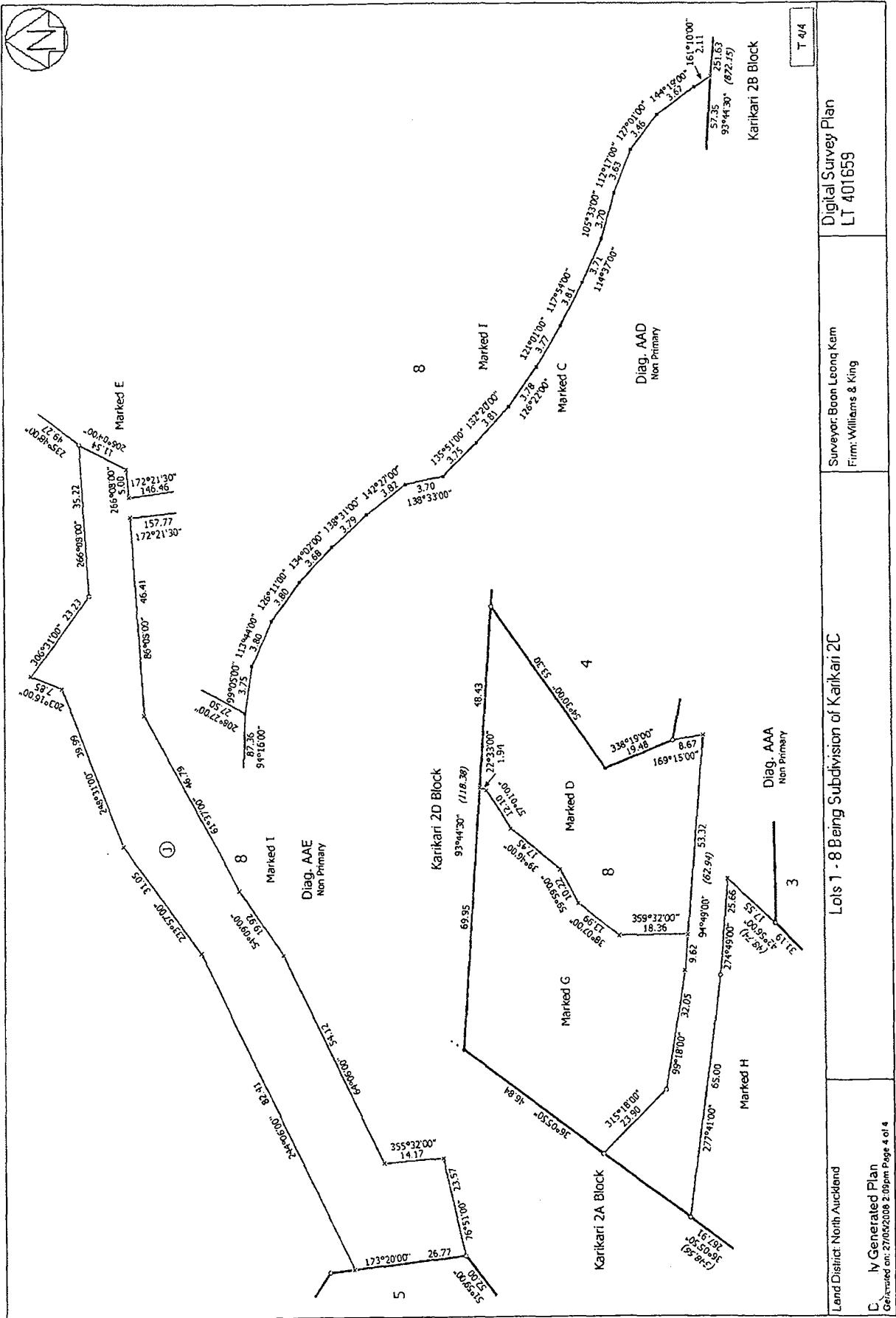
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Generated on: 27/05/2008 2:09pm Page 3 of 4

Lots 1 - 8 Being Subdivision of Kankai 2C

Surveyor: Boon Leong Kam
Firm: Williams & King

Digital Survey Plan
LT 401659

T 314



Land District: North Auckland

IV Generated Plan

Generated on: 27/05/2008 2:09pm Page 4 of 4

Lots 1 - 8 Being Subdivision of Karikari 2C

Surveyor: Boon Leong Kem
Firm: Williams & King

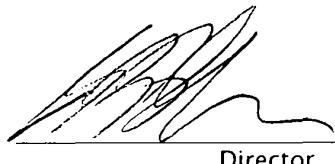
Digital Survey Plan
LT 401659

T 44

Dated this 30th day of October 2008

as Covenantor by:

MBR DEVELOPMENTS LIMITED



Director

in the presence

of



Director

CHRISTOPHER TAYLOR
SOLICITOR
AUCKLAND

THE COMMON SEAL of the QUEEN
ELIZABETH THE SECOND NATIONAL
TRUST was hereto affixed in the
presence of:

Chairperson

B. Rockane.

Director

J. M. Macleod

Chief Executive

C. J. Macleod



OPEN SPACE COVENANT

Pursuant to Section 22 of
the Queen Elizabeth the
Second National Trust
Act 1977.

Correct for the
purposes of the Land
Transfer Act.

MBR DEVELOPMENTS LIMITED
Covenantor


Chief Executive

AND

**THE QUEEN ELIZABETH THE
SECOND NATIONAL TRUST**

View Instrument Details



Instrument No 10602659.1
Status Registered
Date & Time Lodged 25 October 2016 16:49
Lodged By Taylor, Christopher James
Instrument Type Variation of Covenant



Affected Computer Registers	Land District
405151	North Auckland
405152	North Auckland
405153	North Auckland
405154	North Auckland
405155	North Auckland
405156	North Auckland
405157	North Auckland

Affected Instrument Covenant (All types except Land covenants) 8010494.5

Annexure Schedule: Contains 3 Pages.

Signature

Signed by Christopher James Taylor as Grantor/Grantee Representative on 23/11/2016 04:04 PM

*** End of Report ***

Form D**Easement Variation instrument to vary Easement or Profit à prendre or Land Covenant**

(Sections 90C and 90F Land Transfer Act 1952)

Grantor

MBR Developments Limited and Alta Trinity Limited

Grantee

MBR Developments Limited and Alta Trinity Limited

Variation of Easement, Profit à prendre or Covenant

The terms, covenants or conditions contained in the easement(s), profit(s) à prendre, or covenant(s) set out in Schedule A are hereby varied, negatived or added to, as set out in Schedule B.

Schedule A*Continue in additional Annexure Schedule, if required*

Purpose of Easement; Profit or Covenant	Creating Instrument number	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register) or in gross
Covenant	8010494.6	405151 to 405157 (inclusive)	405151 to 405157 (inclusive)

Schedule B*Continue in Annexure Schedule, if required*

See annexed Annexure Schedule pages 2 and 3



Annexure Schedule

Page **2** of **3** Pages2015/5049
APPROVED
Registrar-General of Land*Insert instrument type*

Variation of Covenant

Continue in additional Annexure Schedule, if required

Clause 2.19 of the land covenant in Easement Instrument 801494.6 is revoked and replaced with the following clause:

2.19.1 Animals: Karikari 2C Block and its environs contain significant native bird habitats, including habitats of endangered species. To minimise the disturbance to native birds and endangered species no Lot Owners or occupiers of any Lot or visitors to Karikari 2C Block shall keep or introduce to Karikari 2C Block any carnivorous animals such as cats or mustelids (other than dogs) that have the potential to predate on native birds.

2.19.2 Dogs: Dogs also have the potential to predate on and disturb native birds and endangered species. To minimise that potential:

2.19.2.1 All dogs on any lot at any time must be under the strict control of a responsible person;

2.19.2.2 No dog shall be allowed to roam unsupervised.

2.19.3 Society may ban Dog: The Society may resolve that any dog is undesirable, and that the dog is either on a temporary or permanent basis banned from the property, in which case the Lot Owner who has permitted the dog on the property (whether as owner of the dog, or as host to any invitee) shall forthwith remove the dog from Karikari 2C Block.

If this annexure schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

Form L

Annexure Schedule

Page 3 of 3 Pages

Insert instrument type

Easement Variation Instrument to vary Land Covenant

Continue in additional Annexure Schedule, if required

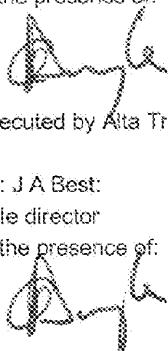
Dated 22 November 2016

Executed by MBR Developments Limited as Grantor and Grantee

By: R Sullivan:

Sole director

In the presence of:



CHRISTOPHER TAYLOR
SOLICITOR
AUCKLAND

Executed by Alta Trinity Limited as Grantor and Grantee

By: J A Best:

Sole director

In the presence of:



CHRISTOPHER TAYLOR
SOLICITOR
AUCKLAND

Karikari 2C Society Incorporated as Encumbrancee under Encumbrance 8010494.7 consents to the registration of the within variation of land covenant in easement instrument 8010494.6
Signed by Karikari 2C Society Incorporated by

R Sullivan – Chairperson:

J. A. Best – Committee Member:

In the presence of:

Name:

Address:

Occupation:

CHRISTOPHER TAYLOR
SOLICITOR
AUCKLAND