

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes  No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use\*
- Subdivision
- Consent under National Environmental Standard  
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) \_\_\_\_\_
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

*\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the fast track process?

Yes  No

## 4. Consultation

Have you consulted with Iwi/Hapū?  Yes  No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant details

**Name/s:**

Michael Moss

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991?  Yes  No

If yes, please provide details.

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## 6. Address for correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Northland Planning & Development 2020 Ltd

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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## 7. Details of property owner/s and occupier/s

*Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

Michael John Moss

Property address/  
location:

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## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/  
location:

  
  
  
 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?  Yes  No

Is there a dog on the property?  Yes  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request public notification?

Yes  No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)?  Yes  No  Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result?  Yes  No  Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

## 13. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application  Yes

## 14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision?  Yes  No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

Michael Moss

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

## 15. Billing details continued...

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Michael John Moss

**Signature:**

(signature of bill payer)

**Date** 20-Apr-2026

**MANDATORY**

## 16. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name** (please write in full)

Michael John Moss

**Signature**

**Date** 20-Apr-2026

*A signature is not required if the application is made by electronic means*

*See overleaf for a checklist of your information...*

## Checklist

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*Please tick if information is provided*

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

## Land Use Resource Consent

**Mike Moss**

**73B Riddell Road, Kerikeri**

30 April 2026

**Attention: Liz Searle and Jo Graham – Team Leader(s) Resource Consents**

The applicant is seeking a land use consent to construct a 70m<sup>2</sup> detached shed, retaining wall and a patio (which is to be attached to the existing dwelling). The site is zoned Rural Living under the Operative District Plan (ODP) and Rural Residential under the Proposed District Plan (PDP).

The proposed activity requires a resource consent under the ODP for stormwater management, setback from boundaries and building coverage. The proposal is a '**Discretionary Activity**' overall.

A Stormwater Mitigation Report has been prepared by Wilton Joubert in support of the proposal, which is attached within **Appendix 8**.

Building consent (EBC-2026-724/0) has already been applied for. We request that once an initial assessment has been completed that the Form 4 block be lifted.

If you require further information, please do not hesitate to contact me.

Regards,



Alex Billot  
Resource Planner



Rochelle Jacobs  
Director/Senior Planner

**NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED**

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## **Appendices**

- 1. Far North District Council Application Form**
- 2. Record of Title – LINZ**
- 3. Consent Notice D313059.3 - LINZ**
- 4. Consent Notice 6770099.1 – LINZ**
- 5. Consent Notice 7925239.2 – LINZ**
- 6. Site and Building Plans – Shed EX**
- 7. Retaining Wall Engineering Plans – Shed EX**
- 8. Stormwater Mitigation Report – Wilton Joubert**
- 9. Correspondence – HNZPT**
- 10. ODP and PDP Objectives and Policies – NPD Ltd**
- 11. Form 4 - FNDC**

# Assessment of Environment Effects Report

## 1. Description of the Proposed Activity

### Land Use

1.1. The Applicant is seeking to construct a 70m<sup>2</sup> single level shed within his property. The shed will be located to the northwest of the existing dwelling and will share the existing access. A rock retaining wall is to be located parallel to the western most boundary. Wilton Joubert (WJ) are the designated Engineers for the project and determined that the retaining wall will carry a surcharge and therefore is defined as a building. The rock retaining wall infringes the permitted 3 metre setback with Lot 6 DP395324. A patio is also proposed in the future, which adjoins the southwestern side of the existing dwelling on the site. For completeness, all three items are included as part of this resource consent application.

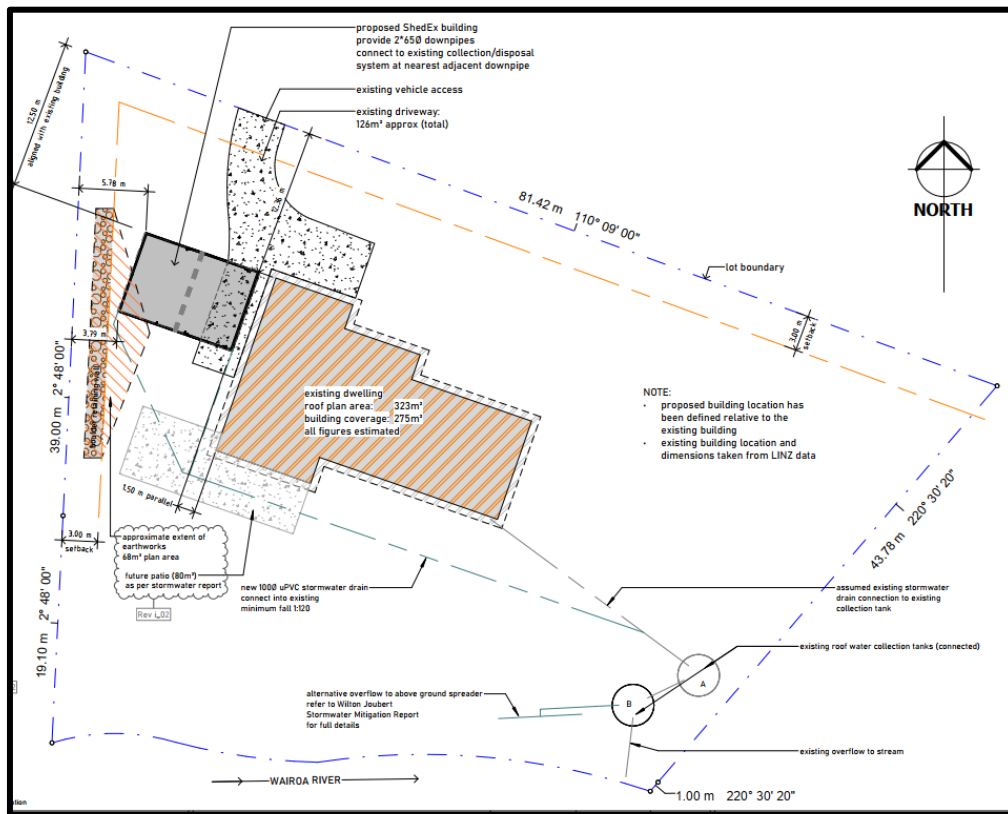


Figure 1: Site plan showing features forming part of this resource consent application.

1.2. The total impermeable surface coverage within the site (proposed and existing) will equate to 579.8m<sup>2</sup> or 18.6% of the site area, as shown on the Site Plan included within **Appendix 6** and the Stormwater Mitigation Report (SMR) within **Appendix 8**. This results in a breach of the permitted rule 8.7.5.1.5 Stormwater Management within the Rural Living Zone (RLZ). WJ have noted that there are currently two water tanks consisting of 30,000L (Tank A) and 25,000L

(Tank B) which service the existing dwelling. A guttering system is proposed to collect roof runoff from the shed and direct it to Tank A. Tank A and B are connected via an overflow pipe, with the upper section of Tank B to act as detention volume to achieve flood control for the proposed impermeable areas in excess of the permitted activity level. An outlet orifice and overflow outlet have been determined by WJ within the SMR. WJ have recommended that the discharge location and condition of Tank B's existing outlet to the stream be verified and confirmed to be structurally sound as well as other requirements. If it is in good operational condition and compliant, then it can continue to be utilised otherwise it is to be upgraded or replaced. A condition of consent is offered to confirm this. In terms of the patio, WJ have stated that it is to be graded to promote sheet flow over adjacent permeable ground.

- 1.3. The total building coverage will amount to 345m<sup>2</sup> or 11% of the total site area. Given the patio is not defined as a building under the ODP, this has been excluded from the building coverage calculations. The proposal results in a breach of the permitted rule 8.7.5.1.13 under the RLZ.
- 1.4. Wilton Joubert have determined that the proposed rock retaining wall along the western boundary will carry a surcharge. As the retaining wall is within the 3 metre setback from the western boundary, consent is triggered under Rule 8.7.5.1.6.
- 1.5. The proposal has been assessed as a **Discretionary Activity** under the Operative District Plan (ODP) within the RLZ.
- 1.6. Building Consent for the shed and retaining wall has been lodged under EBC-2026-724/0. A Form 4 was subsequently issued on 11<sup>th</sup> March 2026 advising that resource consent is required. Works are now ready to proceed, and as such, we request that once an initial assessment has been completed that the Form 4 block be lifted to expedite the process.

### **National Environmental Standard for Assessing and Managing Contaminants in Soil to protect Human Health 2011 (NESCS)**

- 1.7. The Form 4 issued as part of EBC-2026-724/0 identified that the piece of land is identified as a HAIL site within Councils maps and is therefore subject to the NESCS. The volume of excavations was not originally provided as part of the original lodgement documents for the BC and therefore compliance with the NESCS was unknown.

- 1.8. Subsequently, the Architect has provided this detail advising that only 25m<sup>3</sup> of cut earthworks have been determined to be required. The excavated material is to remain onsite for landscaping purposes. All cut faces will be compliant with the permitted height. Excavations for the retaining wall have already begun on site as per *Figure 2* below.



*Figure 2: Proposed shed location, with excavations showing extent of shed.*

- 1.9. Section 8(3) of the NESCS states the following:
- (3) Disturbing the soil of the piece of land is a permitted activity while the following requirements are met:*
- (a) controls to minimise the exposure of humans to mobilised contaminants must—*
- (i) be in place when the activity begins:*
  - (ii) be effective while the activity is done:*
  - (iii) be effective until the soil is reinstated to an erosion-resistant state:*
- (b) the soil must be reinstated to an erosion-resistant state within 1 month after the serving of the purpose for which the activity was done:*
- (c) the volume of the disturbance of the soil of the piece of land must be no more than 25 m<sup>3</sup> per 500 m<sup>2</sup>:*
- (d) soil must not be taken away in the course of the activity, except that,—*
- (i) for the purpose of laboratory analysis, any amount of soil may be taken away as samples:*

*(ii) for all other purposes combined, a maximum of 5 m<sup>3</sup> per 500 m<sup>2</sup> of soil may be taken away per year:*

*(e) soil taken away in the course of the activity must be disposed of at a facility authorised to receive soil of that kind:*

*(f) the duration of the activity must be no longer than 2 months:*

*(g) the integrity of a structure designed to contain contaminated soil or other contaminated materials must not be compromised*

- 1.10. The Applicant has advised that (a) has been met as part of the excavations. In terms of (b) this will be complied with given the excavated area will be covered with a shed and retaining wall, with the remainder of the area being returned to grass. In terms of (c) the volume has been estimated to be 25m<sup>3</sup> over an area of 68m<sup>2</sup>. In terms of (d) & (e) soil will not be taken away and will only be reused onsite for landscaping purposes. (f) and (d) will be complied with.
- 1.11. As such, the proposal is considered **Permitted** in terms of the NESCS.

## 2. Description of the Site and Surrounding Environment

- 2.1. The application site is located at 73B Riddell Road, Kerikeri. The site is legally described as Lot 5 DP 395324. A copy of the record of title is attached in **Appendix 2**. The site is zoned as Rural Living under the ODP and Rural Residential under the PDP.
- 2.2. The site is irregular in shape, which falls to the southeast at gentle grades. There is an existing dwelling on the site, with access being from Riddell Road, from the north-western corner of the site via an existing driveway. Wastewater on-site infrastructure is existing and is located to the north of the existing dwelling and was constructed in conjunction with the dwelling on the site. As such, this is located outside of the proposed development areas, such that it will remain unaffected by the proposal.
- 2.3. The site is bounded by Riddell Road on the northern boundary and Wairoa Stream on the southern boundary. There is a vegetated strip along the southern portion of the site, which adjoins Wairoa Stream. This vegetation will remain. The western boundary adjoins a privately owned allotment of similar size and characteristics to the subject site. This lot also contains an existing dwelling, which is positioned towards the northwestern portion of the site, approximately 20 metres from the dividing boundary with the subject site. The lot to the west

is not visible from the subject site due to the existing vegetation along the boundary which is to remain (see *Figure 2* above). To the east is a larger rural productive allotment, which contains some built development in the northeastern and eastern portions of the site. The wider surrounding environment consists of a mix of similar sized allotments to the subject site, also developed with a dwelling and some larger productive lots.



*Figure 3: Subject site and surrounding environment.*



*Figure 4:*

*Above: Southwestern side of dwelling, where patio is to be located.*

*Left: Northern portion of the site, which adjoins Riddell Road. The existing wastewater system is located within this area.*

2.4. The site and surrounding environment are within an area noted as being kiwi present. Far North District Plan maps indicate that there are no known archaeological sites within the site or immediate environment. The application has been sent to Heritage NZ Pouhere Taonga, who advised they have no comments on the proposal (**Appendix 9**). The RPS Maps do not indicate that the site is within the coastal environment or subject to areas of outstanding or high natural character.

2.5. The southern portion of the site is shown to be flood susceptible, given the location of Wairoa Stream.



*Figure 5: NRC Natural Hazard Maps.*

2.6. The soils within the site are mapped as LUC 2s1, which are considered to be highly versatile.

### **Title**

2.7. The site is contained within Record of Title 380910 which is dated 2<sup>nd</sup> September 2008. The land is legally described as Lot 5 DP395324, with an area of 3124m<sup>2</sup>. There are three existing consent notices registered on the title, which will be detailed below.

#### **Consent Notice D313059.3**

2.7.1. This consent notice was registered in 1998. It has one condition which states that agricultural and horticultural equipment including sprays and chemicals may be a permitted activity. Any rainwater collected from exposed surfaces for human consumption in connection with residential development on the site, must have an approved water filtration system. This is existing on site and will remain.

#### **Consent Notice 6770099.1**

2.7.2. This consent notice was registered in 2005 and reiterates the same as above.

#### **Consent Notice 7925239.2**

2.7.3. This consent notice was registered in 2008. Conditions i & ii relate to the subject site.

2.7.4. Condition i) states that roof stormwater and stormwater from impermeable surfaces shall be directed away from effluent disposal areas and disposed onsite. Disposal is to be via either stormwater retention tank or an onsite soakage system. Design and details are to be provided at BC stage.

2.7.5. Runoff from the shed will be directed to the existing tanks on site as per the SMR. Sheet flow will be utilised for the patio. The SMR has been lodged with the BC.

2.7.6. Condition ii) states the same as CN D313059.3 & CN 6770099.1.

## **3. Reasons for Consent**

### **Operative District Plan (ODP)**

3.1. The site is zoned 'Rural Living' (RLZ) under the Operative Far North District Plan (ODP). There are no other resource layers that apply to the site.

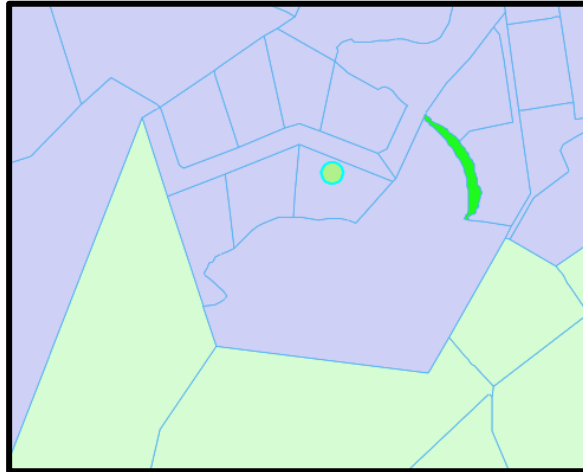


Figure 6: FNDC ODP Zoning Maps.

3.2. The proposed activity is assessed against the following RLZ rules set out in [Table 1](#) below and the District-wide rules in [Table 2](#).

Table 1 - Assessment of the Permitted Section 8.7.5.1 Rural Living Zone		
Plan Reference	Rule	Performance of Proposal
8.7.5.1.1	Residential Intensity	<b>Permitted.</b> There is one existing dwelling on the site and the proposal will not alter this.
8.7.5.1.2	Scale of Activities	<b>Permitted.</b> No non-residential activities are proposed.
8.7.5.1.3	Building Height	<b>Permitted.</b> The proposed structures will be well within the permitted height of 9m.
8.7.5.1.4	Sunlight	<b>Permitted.</b> The proposed retaining wall and shed will comply with the sunlight recession plane building setback requirements.
8.7.5.1.5	Stormwater Management	<b>Controlled.</b> The total impermeable surface coverage within the site (proposed and existing) will be 579.8m <sup>2</sup> or 18.6% of the total site area. This infringes the permitted

		<p>allowance of 12.5% of the site area, which is the lesser in this instance.</p> <p>The proposal can comply with the controlled threshold of 20% of the site area.</p>
8.7.5.1.6	<b>Setback from Boundaries</b>	<p><b>Restricted Discretionary.</b></p> <p>The permitted setback distance from boundaries is 3m. The subject site does not adjoin the RPZ.</p> <p>As stated earlier in this report, the proposed rock retaining wall will be within the 3 metre setback from the western boundary. As such, a breach of the permitted standard is created.</p>
8.7.5.1.7	<b>Screening for Neighbours – Non-Residential Activities</b>	<p><b>Not applicable.</b></p> <p>No non-residential activities are proposed.</p>
8.7.5.1.8	<b>Transportation</b>	<p><b>Permitted.</b></p> <p><u>Traffic</u></p> <p>The proposal will result in a shed, retaining wall and patio which are accessory to the existing dwelling on the site. The TIF for the site will remain unchanged.</p> <p><u>Parking</u></p> <p>Parking will remain onsite as per existing as well as additional space being provided for within the proposed shed.</p> <p><u>Access</u></p> <p>Access will be provided for via existing provisions.</p>
8.7.5.1.9	<b>Hours of Operation – Non-Residential Activities</b>	<p><b>Not applicable.</b></p> <p>No non-residential activities are proposed.</p>
8.7.5.1.10	<b>Keeping of Animals</b>	<p><b>Not applicable.</b></p>
8.7.5.1.11	<b>Noise</b>	<p><b>Permitted.</b></p>
8.7.5.1.12	<b>Helicopter Landing Area</b>	<p><b>Not applicable.</b></p>
8.7.5.1.13	<b>Building Coverage</b>	<p><b>Restricted Discretionary.</b></p> <p>The total building coverage (proposed and existing) will result to 345m<sup>2</sup> or 11% of the total site area. This</p>

		infringes the permitted standard of 10% of the site area, which is the lesser in this instance. The proposal can comply with the RDA threshold of less than 15% of the total site area.
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**TABLE 2 - ASSESSMENT AGAINST THE APPLICABLE OPERATIVE PLAN DISTRICT-WIDE RULES:**

<b>Plan Reference</b>	<b>Rule</b>	<b>Performance of Proposal</b>
<b>12.1</b>	<b>LANDSCAPE AND NATURAL FEATURES</b>	<b>Not applicable</b> The subject site is not within any mapped outstanding landscape or natural feature.
<b>12.2</b>	<b>INDIGENOUS FLORA AND FAUNA</b>	<b>Permitted.</b> The proposal does not include any indigenous vegetation clearance.
<b>12.3</b>	<b>SOILS AND MINERALS</b>	<b>Permitted.</b> Only 25m <sup>3</sup> of excavations are required as detailed earlier in this report. There will not be a cut/fill face greater than 1.5m in height, with the proposed rock retaining wall being 1.5m maximum in height.
<b>12.4</b>	<b>NATURAL HAZARDS</b>	<b>Permitted.</b> The subject site is not shown to be susceptible to coastal hazards and the proposal does not result in a new habitable dwelling.
<b>12.5</b>	<b>HERITAGE</b>	<b>Permitted</b> There are no known registered archaeological sites that would be affected by the proposed development.
<b>12.7</b>	<b>LAKES, RIVERS, WETLANDS AND THE COASTLINE</b>	<b>Complies</b> Wairoa Stream has been estimated to have an average width of 2 metres. Rule 12.7.6.1.2 requires a setback distance of 10x the average width of a river, which results in 20 metres. The proposal is considered to comply with this.

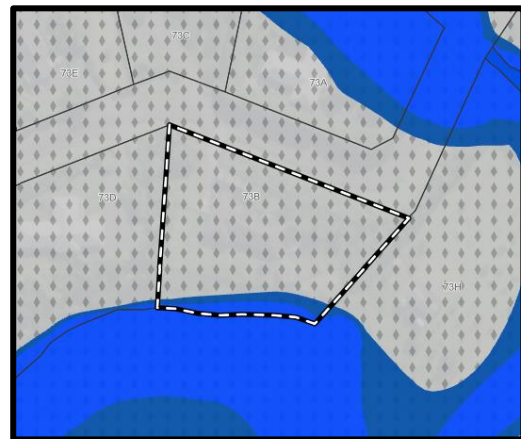
<b>12.8</b>	<b>HAZARDOUS SUBSTANCES</b>	<b>Not applicable</b>
<b>12.9</b>	<b>RENEWABLE ENERGY &amp; ENERGY EFFICIENCY</b>	<b>Not applicable</b>
<b>15.1</b>	<b>TRANSPORTATION</b>	<b>Permitted</b>

***Operative District Plan Activity Status***

3.3. Given the proposal results in an infringement of more than one of the rules stated within Section 8.7.5.3(a), the proposal cannot meet the preamble for Restricted Discretionary Activities within the RLZ. The proposal therefore defaults to a Discretionary Activity in accordance with Section 8.7.5.4 under the ODP. This relates to the combined stormwater management, setback from boundaries and building coverage aspects of the proposal.

**Proposed District Plan**

3.4. Under the Proposed Far North District Plan (PDP), the site is zoned 'Rural Residential.' The southern portion of the site is also shown to be susceptible to river flood hazards.



**Figure 7: PDP Zoning & Overlay Maps.**

3.5. The Council notified its' PDP on 27 July 2022. The period for public submissions closed on the 21 October 2022. A summary of submissions was notified on the 4 August 2023. The further submission period closed on the 5 September 2023. District Plan hearings on submissions concluded at the end of 2025. Hearings Panel recommendations on submissions were due end of March 2026. A decision on submissions is expected by 11<sup>th</sup> June 2026, however until such time as decisions on submissions are issued, limited weight is given to the PDP provisions.

3.6. An assessment against PDP rules that have immediate legal effect is set out in **Table 3** below.

**TABLE 3 - ASSESSMENT AGAINST THE PDP RULES THAT HAVE IMMEDIATE LEGAL EFFECT**

<b>Chapter</b>	<b>Rule Reference</b>	<b>Compliance of Proposal</b>
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<b>Hazardous Substances</b>	The following rules have immediate legal effect:  Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource Rules HS-R5, HS-R6, HS-R9	<b>Not applicable</b>
<b>Heritage Area Overlays</b>	All rules have immediate legal effect (HA-R1 to HA-R14)  All standards have immediate legal effect (HA-S1 to HA-S3)	<b>Not applicable</b>  The application site is not within a proposed Heritage Area.
<b>Historic Heritage</b>	All rules have immediate legal effect (HH-R1 to HH-R10)  Schedule 2 has immediate legal effect	<b>Permitted</b>  The site does not contain any scheduled heritage items.
<b>Notable Trees</b>	All rules have immediate legal effect (NT-R1 to NT-R9)  All standards have legal effect (NT-S1 to NT-S2)  Schedule 1 has immediate legal effect	<b>Not applicable.</b>  The site does not contain any scheduled notable trees.
<b>Sites and Areas of Significance to Māori</b>	All rules have immediate legal effect (SASM-R1 to SASM-R7)  Schedule 3 has immediate legal effect	<b>Not applicable</b>
<b>Ecosystems and Indigenous Biodiversity</b>	All rules have immediate legal effect (IB-R1 to IB-R5)	<b>Permitted</b>  No indigenous vegetation clearance is proposed.

<b>Subdivision</b>	The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17	<b>Not applicable.</b> The proposal is not a subdivision
<b>Activities on the Surface of Water</b>	All rules have immediate legal effect (ASW-R1 to ASW-R4)	<b>Not applicable.</b>
<b>Earthworks</b>	The following rules have immediate legal effect: EW-R12, EW-R13  The following standards have immediate legal effect: EW-S3, EW-S5	<b>Permitted</b> The proposed earthworks will adhere to the accidental discovery protocol (EW-12) and erosion and sediment control (EW-13) rule standards that have immediate legal effect.
<b>Signs</b>	The following rules have immediate legal effect: SIGN-R9, SIGN-R10  All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	<b>Not applicable.</b>
<b>Orongo Bay Zone</b>	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	<b>Not applicable.</b>

### Proposed District Plan Activity Status

3.7. The proposal is a 'Permitted' activity under the notified PDP rules that have current legal effect.

### **National Environmental Standards**

#### National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011 (NESCS)

- 3.8. As assessed earlier in this report, the proposal is considered to be Permitted in terms of Regulation 8(3) of the NESCS.

#### National Environmental Standards for Freshwater Management 2020

- 3.9. There are no freshwater wetlands or other stream bodies affected by the proposal.

## 4. Statutory Assessment

### Section 104B of the Resource Management Act 1991 (RMA)

- 4.1. Section 104B governs the determination of applications for a Discretionary Activity. A consent authority may grant or refuse consent and impose conditions under section 108.

#### RMA Section 104

- 4.2. The application proposal is subject to the matters set out in Section 104.
- 4.3. Section 104(1) of the RMA states that when considering an application for resource consent –
- “the consent authority must, subject to Part 2, and section 77M have regard to –*
- (a) any actual and potential effects on the environment of allowing the activity; and*
  - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and*
  - (b) any relevant provisions of –*
    - i. a national environmental standard;*
    - ii. other regulations;*
    - iii. a national policy statement;*
    - iv. a New Zealand Coastal Policy Statement;*
    - v. a regional policy statement or proposed regional policy statement;*
    - vi. a plan or proposed plan; and*
  - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”*

### Assessment of Effects on the Environment

- 4.4. Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (as described in section 3 of the RMA). Positive effects arising from this proposal include the establishment of a shed, retaining wall and patio which will be utilised by the residents of the existing dwelling on the site.
- 4.5. Potential adverse effects on the environment that go beyond the threshold of effects permitted in the Rural Living zone include the stormwater management and building coverage of the proposal and setback impact of the retaining wall.

**Stormwater Management Effects**

4.6. As detailed earlier in this report, the total impermeable surface coverage within the site (proposed and existing) will amount to 579.8m<sup>2</sup> or 18.6% of the site area, as stated within the Site Plan included within **Appendix 6** and the Stormwater Mitigation Report (SMR) within **Appendix 8**. This results in a breach of the permitted rule 8.7.5.1.5 for stormwater management within the RLZ. WJ have noted that there are currently two water tanks consisting of 30,000L (Tank A) and 25,000L (Tank B) which service the existing dwelling. A guttering system is proposed to collect roof runoff from the shed and direct it to Tank A. Tank A and B are connected via an overflow pipe, with the upper section of Tank B to act as detention volume to achieve Flood Control for the proposed impermeable areas in excess of the permitted activity level. An outlet orifice and overflow outlet have been determined by WJ within the SMR. WJ have recommended that the discharge location and condition of Tank B's

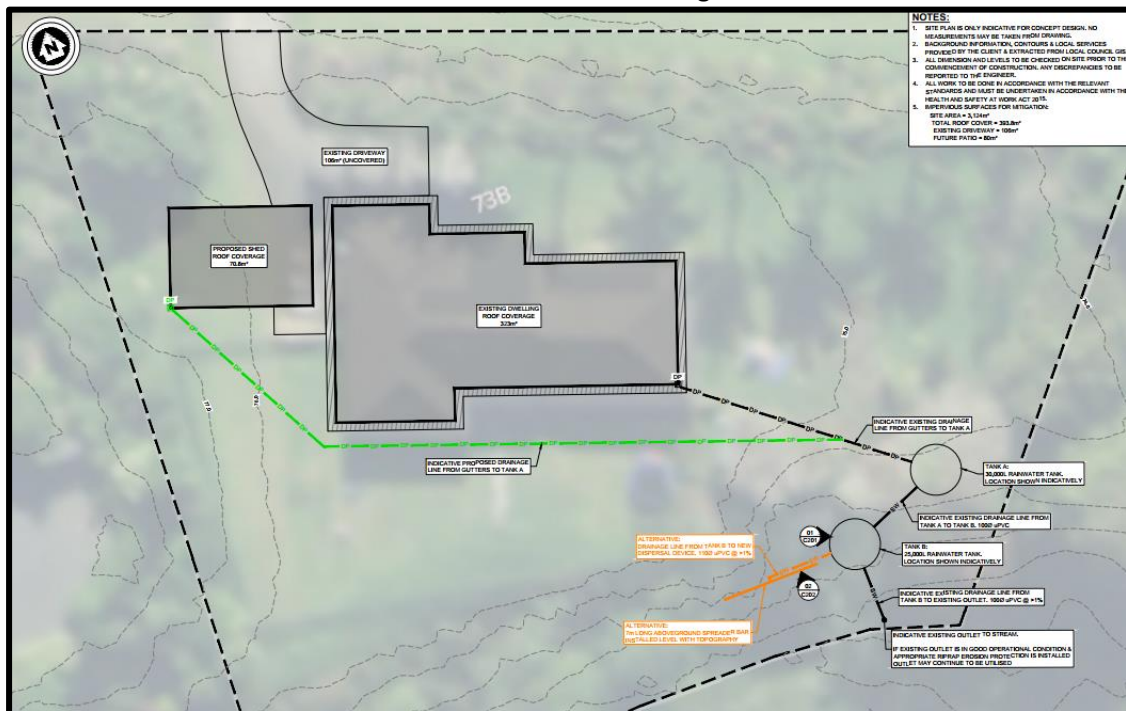


Figure 8: WJ Site Plan.

existing outlet to the stream be verified and confirmed to be structurally sound as well as other requirements. If it is in good operational condition and compliant, then it can continue to be utilised otherwise it is to be upgraded or replaced. A condition of consent is offered to confirm this. In terms of the patio, WJ have stated that it is to be upgraded to promote sheet flow over adjacent permeable ground.

- 4.7. An assessment of the criteria within Section 11.3 of the ODP has been undertaken below, with some comments adopted from the SMR:

*(a) The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.*

- 4.7.1. The proposal results in an increase of 116.8m<sup>2</sup> of impermeable surface within the site. WJ have recommended tank attenuation in order to attenuate back to permitted flows for the 1% AEP storm event, adjusted for climate change.

*(b) The extent to which Low Impact Design principles have been used to reduce site impermeability.*

- 4.7.2. Low Impact Design has been utilised by minimising proposed impermeable surfaces, and utilising existing water tanks on site. These measures reduce runoff volumes consistent with the permitted activity threshold.

*(c) Any cumulative effects on total catchment impermeability.*

- 4.7.3. Cumulative effects will be managed via the methods detailed within the SMR.

*(d) The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.*

- 4.7.4. Natural contour will be altered slightly but drainage patterns will continue given roof runoff will be directed to tanks.

*(e) The physical qualities of the soil type.*

- 4.7.5. See SMR for detail.

*(f) Any adverse effects on the life supporting capacity of soils.*

- 4.7.6. Life supporting capacity of soils is not considered to be adversely affected given the existing use of the site and the proposal resulting in ancillary activities to the existing dwelling on the site. Existing attenuation methods will be utilised.

*(g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.*

- 4.7.7. Disposal of effluent will remain unaffected. Stormwater will continue to be managed by the existing system via sealed pipes.

*(h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.*

- 4.7.8. All are necessary for normal residential activities.

*(i) The extent to which landscaping may reduce adverse effects of run-off.*

- 4.7.9. There is existing vegetation alongside Wairoa Stream. No additional landscaping is considered necessary, nor has it been recommended given the existing methods are adequate.

*(j) Any recognised standards promulgated by industry groups.*

- 4.7.10. Unknown.

*(k) The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.*

- 4.7.11. WJ have stated that tank attenuation as proposed, the runoff from the existing and proposed development will be attenuated back to permitted flows for the 1% AEP storm event, adjusted for climate change.

*(l) The extent to which the proposal has considered and provided for climate change.*

- 4.7.12. WJ have accounted for climate change within the SMR.

*(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.*

4.7.13. WJ have not recommended detention ponds or other engineering solutions.

**Setback From Boundaries**

4.8. The proposed design results in an encroachment of the proposed rock retaining wall into the 3 metre permitted setback provisions along the western boundary which adjoins Lot 6 DP395324. The proposed retaining wall will have a maximum height of 1.5 metres as per the Engineering Design prepared by Wilton Joubert attached within **Appendix 7**. Along the western boundary is mature boundary planting as is depicted in *Figure 9* below, which will mitigate visual effects from Lot 6 DP 395324. The existing development within Lot 6 DP 395324 is not visible from the subject site given the screening provided. There will be no discernible visual effects as seen from Lot 6 DP 395324, given the minor height of the retaining wall and the existing screening between the two sites. Due to the minor nature of the encroachment, written approval has not been sought from the adjoining owner as effects are considered to be less than minor as will be detailed below.



*Figure 9: Location of proposed retaining wall with existing mature vegetation along boundary.*

4.9. Section 11.6 of the ODP contains discretionary assessment criteria for setback from boundaries. These are commented on as follows:

*(a) Where there is a setback, the extent to which the proposal is in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites.*

4.9.1. The proposed development is consistent with development in the immediate surrounding area. The retaining wall will provide support to the proposed shed and will not be visible from the surrounding environment given the existing vegetation on the site and the positioning of the shed. The proposed retaining wall is not considered to be objectionable with the surrounding environment.

*(b) The extent to which the building(s) intrudes into the street scene or reduces outlook and privacy of adjacent properties.*

4.9.2. The proposal does not result in a setback infringement from the road boundary and is therefore not considered to intrude into the street scene. The setback infringement relates to the proposed rock retaining wall along the western boundary. The retaining wall will not be visible from the adjoining Lot 6 DP 395324 given the existing vegetation along the boundary and the minor nature of the retaining wall as it will be a maximum of 1.5 metres high. Outlook and privacy of adjacent properties are therefore not considered to be adversely affected.

*(c) The extent to which the buildings restrict visibility for vehicle manoeuvring.*

4.9.3. Vehicle manoeuvring will not be restricted as determined by the design.

*(d) The ability to mitigate any adverse effects on the surrounding environment, for example by way of street planting.*

4.9.4. Given there is existing mature vegetation along the affected boundary, no additional landscaping is proposed nor considered necessary as any additional landscaping would not aid in visual mitigation. Furthermore, no adverse effects are anticipated as detailed above.

*(e) The extent to which provision has been made to enable and facilitate all building maintenance and construction activities to be contained within the boundaries of the site.*

4.9.5. Building maintenance and construction activities can be adequately contained within the boundaries of the site.

### **Summary**

4.9.6. The proposal results in a minor setback infringement given the location of the proposed rock retaining wall which will support the proposed shed design. The existing mature vegetation along the western boundary will adequately mitigate any visual effects, such that the retaining wall will not be visible from adjoining allotments. It is considered that even if the retaining wall was redesigned to comply with the setback requirements, this change would be indiscernible from what is proposed and not change the level of effects created by the proposal, still remaining as less than minor. The position of the retaining wall is as such to support the proposed shed design and has been proposed to combat engineering effects. It is considered that the effects of the setback infringement are less than minor and as such, no written approvals have been sought nor considered necessary.

### **Building Coverage Effects**

4.10. The proposed development will result in a total building coverage within the site of 345m<sup>2</sup> or 11%, which slightly infringes the permitted threshold of 10% of the total site area for the RLZ. This is considered to be a typical infringement within properties similar to the subject site and underlying zoning, given the relatively small lot size and the required development to suit the lifestyle envisaged within the RLZ. The existing dwelling and attached garage are considered to be modest in size, resulting in a building coverage of 275m<sup>2</sup>, which is considered common in areas surrounding townships. The proposed shed will be 70m<sup>2</sup> in area, which is also considered modest to provide additional parking and storage for the Applicant. The proposed and existing built development leaves ample area for outside activities and onsite infrastructure and is not considered to adversely affect adjacent sites or the surrounding environment.

4.11. Section 11.24 sets out the discretionary activity assessment matters for building coverage. This is commented on below:

*(a) the ability to provide adequate landscaping for all activities associated with the site.*

4.11.1. There is existing mature vegetation located along all boundaries of the site. No additional landscaping is proposed nor considered necessary given the existing vegetation along the boundaries of the site.



**Figure 10:**

*Left Image: Existing landscaping along front boundary which adjoins Riddell Road.*

*Above image: existing vegetation along western boundary and rear vegetation can also be seen in the distance.*

*(b) the extent to which building(s) are consistent with the character and scale of the existing buildings in the surrounding environment.*

4.11.2. The proposed and existing development is considered to be consistent with development in the surrounding environment and the RLZ in general. Typically, slightly larger dwellings are located on the outskirts of the main centres and within the RLZ to accommodate families. Detached sheds are also typical to accommodate vehicles and personal storage. This is shown in *Figure 11* below where lots within the environment contain similar built development and coverage. The proposal is therefore considered consistent with the character and scale of existing buildings in the surrounding environment.



**Figure 11: Subject site and surrounding environment showing similar sized dwellings and detached sheds.**

*(c) the scale and bulk of the building in relation to the site.*

4.11.3. The scale and bulk is considered appropriate for the site given only 11% of the site will be covered by built development.

*(d) the extent to which private open space can be provided for future uses.*

4.11.4. There is ample area within the site for private open space to the east and south of the dwelling.

*(e) the extent to which the cumulative visual effects of all the buildings impact on landscapes, adjacent sites and the surrounding environment.*

4.11.5. Visual effects are considered to be less than minor given the existing mature vegetation/landscaping along all boundaries. The cumulative effect of the buildings is not considered to be objectionable to development in the surrounding environment. The shed is to be constructed close to the dwelling to utilise the existing access as well as ensuring ample area for outdoor space.

*(f) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment.*

4.11.6. Visual dominance effects are considered to be less than minor. The buildings are not visually obtrusive and will sit well within the boundaries of the site. The existing vegetation/landscaping along the boundaries will screen development from the surrounding environment.

*(g) the extent to which landscaping and other visual mitigation measures may reduce adverse effects.*

4.11.7. As above, no additional landscaping is proposed nor considered necessary given the existing vegetation/landscaping on boundaries adequately mitigates visual effects to a less than minor degree.

*(h) the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.*

4.11.8. Privacy, outlook and enjoyment of private open spaces on adjacent sites are not considered to be adversely affected given the development on the site is screened from view and does not intrude into open spaces on adjoining sites.

### **Relevant Statutory Provisions**

4.12. Section 104(1)(b) requires the consideration of any relevant provisions found in national policy statements or standards, regional policy statements or plans and operative or proposed district plans. Relevant statutory documents include:

- National Policy Statement for Highly Productive Land
- National Policy Statement for Natural Hazards 2025
- Regional Policy Statement for Northland
- Far North District Plan
- Proposed Far North District Plan

### *National Policy Statement for Highly Productive Land*

- 4.13. The site contains soils of LUC 2. The site is not zoned as general rural or rural production and therefore the proposal does not meet the required criteria under 3.5(7)(a)(i) and therefore is not classified as highly productive land under the NPS-HPL. The site is zoned as Rural Living and is proposed to be rezoned as Rural Residential. As such, it is considered that the subject site does not require assessment under the NPS-HPL.

### *National Policy Statement for Natural Hazards*

- 4.14. The new NPS is applicable to the proposal given the areas of flood susceptibility within the site. Applicable policy for this proposal is Policy 4 which requires development where natural hazard risk is increased to either be avoided or mitigated. The dwelling on the site is existing and the proposal will result in a non-habitable shed, a retaining wall and patio area. The proposed and existing built development is located outside of the areas shown to be susceptible to river flood hazards. Wilton Joubert have completed a SMR to ensure effects from stormwater are managed within the subject site, with no adverse downstream effects created, which has accounted for climate change. As such, the risk is not increased as a result of the development and no further action is considered required.

### *Regional Policy Statement for Northland (2016 - updated 2018)*

- 4.15. The purpose of the Regional Policy Statement for Northland (RPS) is to promote the sustainable management of Northland's natural and physical resources by providing an overview of the region's resource management issues.
- 4.16. The RPS sets out policies and methods to achieve integrated management of Northland's natural and physical resources. The subject site does not include any mapped areas of outstanding natural landscape or high natural features. The site also does not contain any areas of significant indigenous vegetation.
- 4.17. Objective 3.4 seeks to protect areas of significant indigenous vegetation and fauna habitats, maintain the extent of ecosystem diversity and habitat and where practicable, enhance these environments. The application site is within a previously developed area and is zoned for low

density residential development. Existing habitat values associated with Wairoa Stream will be protected to the extent possible, by ensuring stormwater is managed onsite and development is located outside of the buffer areas surrounding the stream.

- 4.18. It is considered that in the context of the existing site zoning and the extent to which existing vegetation will be retained around the stream, the proposed development will not be contrary to the objectives and policies of the RPSN.

#### Far North District Plan

- 4.19. The proposed activity has been assessed against the applicable objectives and policies of the ODP. A copy of these provisions is attached at **Appendix 10**.

#### Rural Environment and Rural Living Zone

- 4.20. The application site is within the ODP Rural Environment which comprises rural and coastal land, where rural production is the main activity, however expansion of rural residential living on smaller lots is also anticipated throughout the environment. These smaller lots are generally located closer to existing urban settlement, which in this case is the Kerikeri township.
- 4.21. The predominant objectives and policies of the rural environment are to sustain the natural and physical resources and life supporting capacity of soils whilst protecting areas of significant vegetation and fauna, outstanding natural landscapes and features (Objectives 8.3.1, 8.3.2, 8.3.4 and 8.3.5, Policies 8.4.1, 8.4.2, 8.4.3, 8.4.4 & 8.4.6). Avoiding potential conflicts between land use activities, maintaining and enhancing the character and amenity and enabling rural production activities to continue are also key objectives (Objectives 8.3.6, 8.3.7, 8.3.9 & 8.3.10, Policies 8.4.5 & 8.4.8). The proposal will result in a non-habitable shed, a retaining wall and patio within areas of the site which are currently underutilised. The site currently contains an existing dwelling and was developed with the intention of being a rural-residential site as is reinforced with the new proposed zoning under the PDP. The proposal is not considered to affect the life supporting capacity of soils nor alter the natural and physical resources of the environment. The site is not identified as containing areas of outstanding natural landscapes or features, nor any significant indigenous vegetation. The site is shown as having kiwi present however the proposal will not alter the existing use of the site given it has already been developed. Vegetation along Wairoa Stream will remain which will maintain the character and amenity of the site. Potential conflicts are not anticipated between land use activities given the proposed development will support the existing activity on the site and is consistent with

development in the surrounding area. The proposal will not result in a change of land use within the site, however there is an existing consent notice which advises of potential horticultural activity in the area, mitigating reverse sensitivity effects.

- 4.22. In terms of the RLZ, this is an area which is seen as a transition between town and country, which reduces the chance of reverse sensitivity effects of larger rural productive lots and more intense residential lots. The RLZ provides a buffer between the lower and more intensely developed areas and is a zone where both rural and residential activities can co-exist. Key objectives within the RLZ are to achieve development on the urban periphery where effects of different development are compatible and the ability to provide for low density residential development (Objectives 8.7.3.1 & 8.7.3.2). Key policies enable the same whilst ensuring that there is ample area within the sites for outdoor space and onsite services, access to sunlight and daylight and ensuring privacy on adjoining sites (Policies 8.7.4.3, 8.7.4.7 & 8.7.4.10). Policies 8.7.4.4, 8.7.4.5 & 8.7.4.6 also enable a wider range of activities within the sites subject to being consistent with the character of the environment.
- 4.23. In the context of the application, the proposal will not alter the existing use of the site, which is already developed with a residential dwelling. The proposed development will be ancillary to this and will support the existing activities. The proposed design will be accommodated within the western portion of the site, which is currently an underutilised area given it is near the existing garage. The proposed shed location will utilise the existing access, enabling the remainder of the site to be utilised for outdoor space and onsite services.
- 4.24. It is considered that the proposal would not be contrary to the rural environment or the RLZ objectives and policies.

### Proposed Far North District Plan

#### Rural Residential zone

- 4.25. The role of the rural residential zone (RRZ) has been stated to *'provide the opportunity for people to enjoy a spacious, peri-urban living environment located close to a settlement.'* This zone has been said to *'generally been applied to areas that were formerly zoned Rural Living and are contiguous with an urban area'*. This encapsulates the site and surrounding environment located on the fringe of the Kerikeri township. Provisions around building height, setback, site coverage, lighting and other matters are proposed to help maintain the character

and amenity of the RRZ. The permitted building coverage for the RRZ is proposed as 12.5% or 2,500m<sup>2</sup>, whichever is the lesser. Which is slightly higher than the current RLZ and would result in the proposal complying with the proposed permitted rule for building coverage. Setback and impermeable surface coverage remain the same as the RLZ.

- 4.26. Objectives of the RRZ relate to enabling rural residential activities and small-scale farming whilst maintaining the character and amenity of the RRZ (Objectives RRZ-O1, RRZ-O2 & RRZ-O4). Policies relate to ensuring design is compatible with the character and amenity and avoiding activities which would be contrary to this (RRZ-P1 & RRZ-P2).
- 4.27. The proposed development is considered consistent with the character and amenity of the surrounding environment and will support the existing activity on the site. Effects from stormwater management, building coverage and setback can be adequately managed within the site boundaries and will not detract from the existing character in the surrounding environment.
- 4.28. The proposed development would not be contrary to the objectives and policies of the PDP that have current legal effect.

## 5. Notification Assessment

- 5.1. Section 95A-95G sets out the public and limited notification criteria for resource consent applications.

### Section 95A – Public Notification Assessment

- 5.2. Section 95A requires a council to follow specific steps when deciding whether to publicly notify an application for resource consent. These steps are set out and commented on as follows.

#### Step 1: Mandatory public notification in certain circumstances

S95A(3)(a)	The applicant requests public notification
S95A(3)(b)	Public notification is required under section 95C
S95A(3)(c)	The application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

- 5.3. The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.
- 5.4. The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.

**Step 2: If not required by step 1, public notification in certain circumstances**

S95A(5)(a)	Is the application for a resource consent for one or more activities and each activity is subject to a rule or national environmental standard that precludes public notification.
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but not other, activities; a controlled activity; a restricted discretionary, discretionary or non-complying activity, but only if the activity is a boundary activity.

- 5.5. The proposed activity applied for is not precluded from notification by a rule or a national environmental standard. The activity is not solely for a boundary activity.

**Step 3: If not precluded by step 2, public notification required in certain circumstances**

S95A(8)(a)	The application is for a resource consent for 1 or more activities, and any one of those activities is subject to a rule or national environmental standard that requires public notification.
S95(8)(b)	In accordance with section 95D, the activity has or is likely to have adverse effects on the environment that are more than minor.

- 5.6. The proposed activity applied for is not subject to a rule or national environmental standard that requires public notification.
- 5.7. Section 95D specifies the criteria by which a consent authority may decide whether an activity will have or is likely to have adverse effects on the environment that are more than minor. This includes what a council may or may not have regard to:

S95D(a)(i)-(ii)	A consent authority <u>must</u> disregard any effects on persons who own or occupy- (i) The land in, on, or over which the activity will occur, or
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	(ii) Any land adjacent to that land
S95D(b)	A consent authority <u>may</u> disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect.
S95D(c)	A consent authority <u>must</u> , in the case of a restricted discretionary activity, disregard an adverse effect of the activity that does not relate to a matter for which a rule or national environmental standard restricts its discretion.
S95D(d)	A consent authority <u>must</u> disregard trade competition and the effects of trade competition.
S95D(e)	A consent authority <u>must</u> disregard any effect on a person who has given written approval to the relevant application

- 5.8. For the purposes of deciding public notification, any effects on persons who own or occupy the application site, or adjacent land may be disregarded. The proposal is not considered to create adverse effects as detailed within this application.

#### **Step 4: Public notification in special circumstances**

S95(9)	Do special circumstances exist in relation to the application that warrant the application being publicly notified?
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- 5.9. When considering public notification, current caselaw has defined ‘special circumstances’ as those outside the common run of things which are exceptional, abnormal or unusual, but they may be less than extraordinary or unique. The proposed activity is for a non-habitable shed, associated retaining wall and separate patio on a low-density rural living type site that is anticipated by the District Plan. There are no extraordinary or unique circumstances.
- 5.10. Potential adverse effects beyond the immediate site boundary are less than minor. Public notification of the application is not deemed necessary, nor is it required.

### **Section 95B – Limited Notification Assessment**

- 5.11. If an application is not publicly notified, a consent authority must follow the steps of section 95B to decide if limited notification is required. A Section 95B assessment requires a decision about whether there are any specified affected groups or affected persons (under section 95E).

**Step 1: Certain affected groups and affected persons must be notified**

S95B(2)(a)	Are there any affected protected customary rights groups
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?
S95B(3)(a)	Is the proposed activity adjacent to, or may affect land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?

- 5.12. The proposed activity would not affect any protected customary rights groups or marine title groups. The proposed activity is not adjacent to and would not affect land (or persons) that are the subject of a statutory acknowledgement.

**Step 2: If not required by step 1, limited notification precluded in certain circumstances**

S95B(6)(a)	The application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification.
S95B(6)(b)	The application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 5.13. The proposed activity is not subject to a rule or national environmental standard that precludes limited notification. The application activity status is not 'controlled'.

**Step 3: If not precluded by step 2, certain other affected persons must be notified**

S95B(7)	In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.
S95B(8)	In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

- 5.14. The proposed activity includes a boundary activity, which is a setback infringement of the proposed rock retaining wall along the western boundary which adjoins Lot 6 DP 395324.
- 5.15. Section 95E provides the basis on which a person is deemed to be affected by a proposed activity. Section 95E(1) a person is an affected person if the consent authority decides that the activity’s adverse effects on the person are minor or more than minor (but not less than minor). Section 95E(2)(a)-(c) sets out the adverse effects a consent authority can disregard or matters it must have regard to when assessing adverse effects on a person:

**Affected Persons**

S95E(2)(a)	A consent authority <u>may</u> disregard adverse effect of an activity on the person if a rule or a national environmental standard permits an activity with that effect.
S95E(2)(b)	A consent authority <u>must</u> disregard an adverse effect arising from a a controlled activity or a restricted discretionary activity if the effect of the activity does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion.
S95E(2)(c)	A consent authority <u>must</u> have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

- 5.16. The application proposal is a Discretionary Activity. It is not a Controlled Activity or a Restricted Discretionary Activity. An assessment of the proposal requires consideration of all potential effects on the environment. The Council may disregard the effects of an activity where they are permitted under a rule or a national environmental standard.
- 5.17. There are no other persons on adjacent sites that would be adversely affected to a minor or more than minor extent. There is existing vegetation along the western boundary which adequately screens the proposed development from the adjoining site to the west. The setback infringement is minimal and there is adequate area for maintenance and construction activities within the site boundaries. The effects of the proposed setback breach are no more than those anticipated if the development met the required setback distances. As such, effects on adjoining property owners are considered to be no more than minor. The Applicant requests that the application be processed on a non-notified basis.

## 6. Part 2 Assessment

- 6.1. The application must be considered in relation to the purpose and principles of the Resource Management Act 1991 which are contained in Section 5 to 8 of the Act inclusive.
- 6.2. The proposal will meet Section 5 of the RMA as the proposal will sustain the potential of natural and physical resources whilst meeting the foreseeable needs of future generations.
- 6.3. Section 6 of the Act sets the matters of national importance. These matters of national importance are considered relevant to this application. The proposal is not located within the coastal environment. The site is not known to contain any outstanding landscapes or high natural features. The site adjoins the Wairoa Stream, however effects on the stream are considered to be less than minor. The proposal is not considered to exacerbate natural hazards and the recommendations within the supporting SMR will be adhered to, to ensure this.
- 6.4. Section 7 identifies a number of “other matters” to be given particular regard by a Council in the consideration of any assessment for resource consent, including the maintenance and enhancement of amenity values. The proposal maintains amenity values in the area.
- 6.5. Section 8 requires Council to take into account the principals of the Treaty of Waitangi. It is considered that the proposal raises no Treaty issues. The subject site is not within a documented area of significance to Māori and is not identified as containing any archaeological sites. The proposal has considered the principals of the Treaty of Waitangi and would not be contrary to these principals.
- 6.6. Overall, the application is assessed to be consistent with the relevant provisions of Part 2 of the Act, as expressed through the objectives, policies and rules reviewed in earlier sections of this application. Given that consistency, we conclude that the proposal achieves the purposes of sustainable management set out by Sections 5-8 of the Act.

## 7. Conclusion

- 7.1. The Applicant is seeking a resource consent to construct a shed, retaining wall and patio on the site at 73B Riddell Road, Kerikeri. The site has an existing dwelling and the proposed development will be ancillary to this.

- 7.2. The site is zoned 'Rural Living' in the ODP and 'Rural Residential' in the PDP. The activity is Discretionary overall for matters relating to stormwater management, setback from boundaries and building coverage. The proposal is not considered to have adverse effects on any adjoining allotments as detailed within this assessment.
- 7.3. An assessment of potential adverse effects on the environment concludes that these effects will be no more than minor. The zone and site subdivision history envisages residential development in this location. To the extent possible, the proposal has been designed to comply with the permitted standards of both the ODP and the PDP.
- 7.4. In the context of the ODP and PDP zone framework, the activity is an approvable proposal, resulting in a shed, retaining wall and patio on the site. The Applicant requests that the application be processed on a non-notified basis.

## 8. Limitations

- 8.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 8.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 8.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 8.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **380910**  
**Land Registration District** **North Auckland**  
**Date Issued** 02 September 2008

**Prior References**  
255092

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**Estate** Fee Simple  
**Area** 3124 square metres more or less  
**Legal Description** Lot 5 Deposited Plan 395324  
**Registered Owners**  
Michael John Moss

---

**Interests**

D313059.3 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - produced 21.9.1998 at 3.31 pm and entered 5.10.1998 at 9.00 am (Affects DP 189620)

6770099.1 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 1.3.2006 at 9:00 am (Affects DP 362530)

Appurtenant hereto is a right of way and rights to transmit telecommunications, computer media and electricity and to convey water supply created by Easement Instrument 6770099.3 - 1.3.2006 at 9:00 am

The easements created by Easement Instrument 6770099.3 are subject to Section 243 (a) Resource Management Act 1991

Appurtenant hereto is a right of way, right to transmit electricity and telecommunications and a right to convey water created by Easement Instrument 7925239.1 - 2.9.2008 at 9:00 am

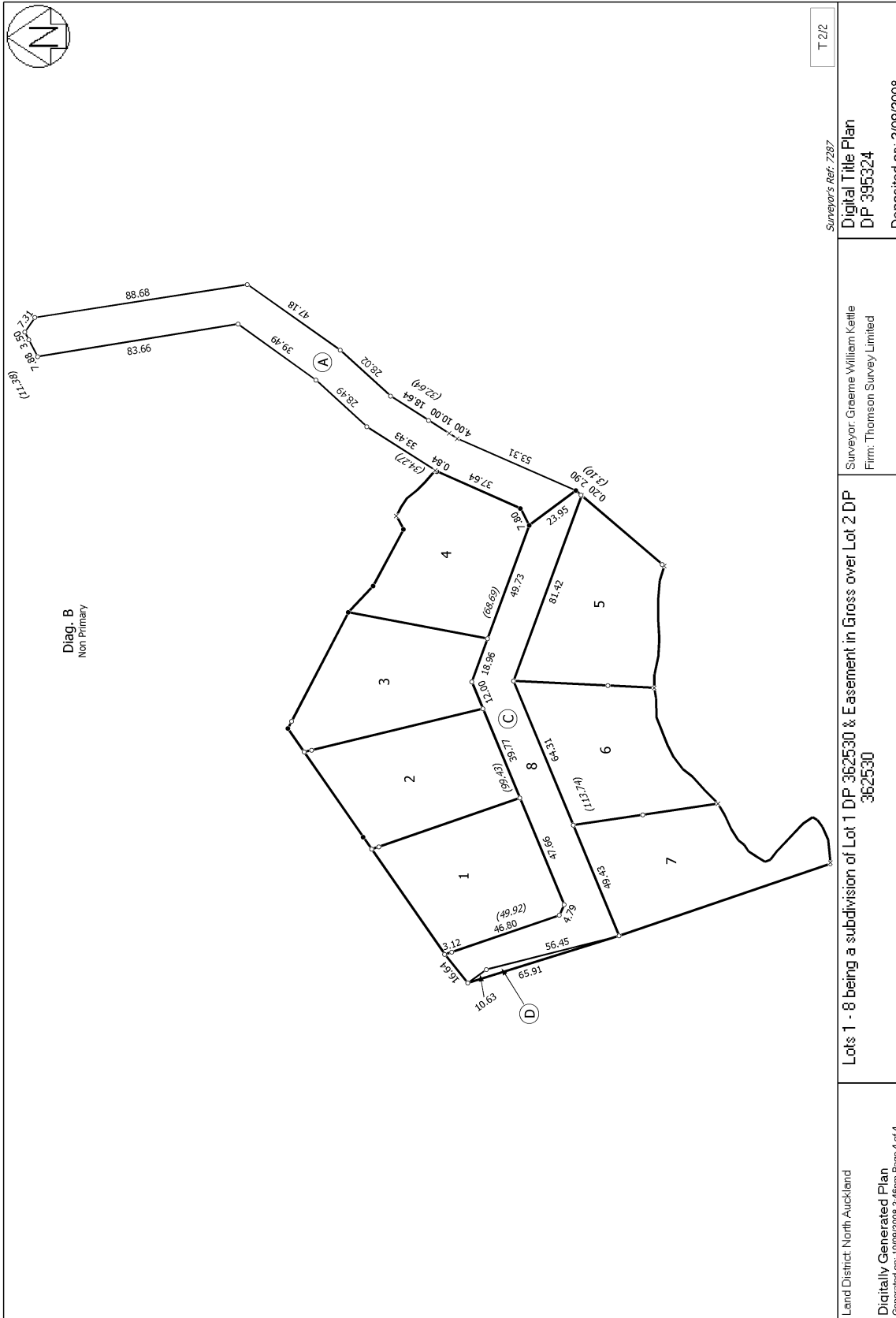
The easements created by Easement Instrument 7925239.1 are subject to Section 243 (a) Resource Management Act 1991

7925239.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 2.9.2008 at 9:00 am

Land Covenant in Easement Instrument 8181401.1 - 4.6.2009 at 12:22 pm

12901300.3 Mortgage to ASB Bank Limited - 21.12.2023 at 3:55 pm





D 313059.3 CONO

**THE RESOURCE MANAGEMENT ACT 1991**  
**SECTION 221 CONSENT NOTICE**

**Regarding**

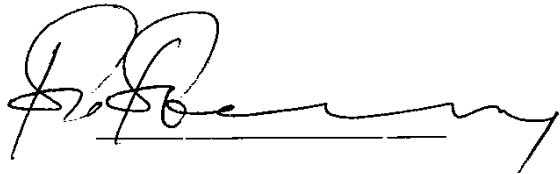
The subdivision of Certificate of  
Title 65A/133 (North Auckland  
Registry)

Pursuant to Section 221 and for the purpose of Section 224 of the Resource Management Act 1991, the Consent Notice is issued by **THE FAR NORTH DISTRICT COUNCIL** to the effect that condition described in the Schedule below is to be complied with on a continuing basis by the subdividing owner and subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate new Titles.

**SCHEDULE**

- (i) The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in connection with any residential development on the site, the occupiers of any such dwelling shall install an approved water filtration system.

Signed for **THE FAR NORTH DISTRICT**  
**COUNCIL** under delegated authority



6<sup>th</sup> August 1998

Date

3.31 21.SEP98 D 313059

PARTICULARS ENTERED IN REGIST:  
LAND REGISTRY MONTH ( / )  
ASST LAND REG. FF R

(5) C221-38  
(OSA/133)

**THE RESOURCE MANAGEMENT ACT 1991**  
**SECTION 221 CONSENT NOTICE**

**Regarding**

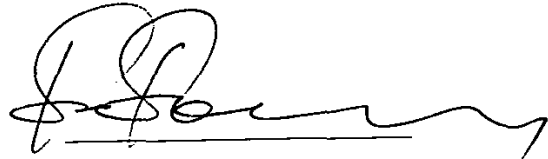
The subdivision of Certificate of  
Title 65A/132 (North Auckland  
Registry)

Pursuant to Section 221 and for the purpose of Section 224 of the Resource Management Act 1991, the Consent Notice is issued by **THE FAR NORTH DISTRICT COUNCIL** to the effect that condition described in the Schedule below is to be complied with on a continuing basis by the subdividing owner and subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate new Titles.

**SCHEDULE**

- (i) The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in connection with any residential development on the site, the occupiers of any such dwelling shall install an approved water filtration system.

Signed for **THE FAR NORTH DISTRICT**  
**COUNCIL** under delegated authority



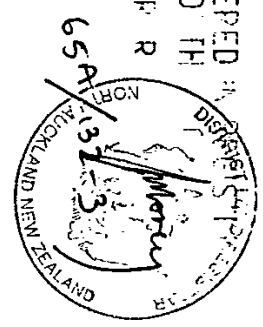
6th August 1998

Date

1077 COPY

PRODUCED 3.31 21. SEP 98 D 313059.3  
ENTERED 4.00 05 OCT 98

PARTICULARS ENTERED IN  
LAND REGISTRY HOD TH  
ASST LAND REGISTRAR



④ C22 36  
GSA 132



CONO 6770099.1 Consen

Cpy - 01/04, Pgs - 002, 28/02/06, 13:17



DocID: 312848956

Private Bag 752, Memorial Ave

Kaikohe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

## THE RESOURCE MANAGEMENT ACT 1991

### SECTION 221 : CONSENT NOTICE

REGARDING RC 2050177  
the Subdivision of Lot 4 DP 189620  
North Auckland Registry

PURSUANT to Section 221 for the purpose of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the title of Lot 1 & 2 DP 362530.

### SCHEDULE

- The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in conjunction with any residential development on the site, the occupiers of any such dwelling shall install an approved water filtration system.

SIGNED:

Mr Pat Killalea

By the FAR NORTH DISTRICT COUNCIL

Under delegated authority:

RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this *23rd* day of *November* 2005

Landonline User ID: LAWFACTORLAU

LODGING FIRM: LAWFACTOR LIMITED

Address:

28 / 02 / 06 (1)

Uplifting Box Number:

83

ASSOCIATED FIRM:

MCLEOD & PARTNERS

Client Code / Ref:

48275/5 KERIMERE

HEREWTH

Survey Plan (#)

Title Plan (#)

Traverse Sheets (#)

Field Notes (#)

Calc Sheets (#)

Survey Report

Dealing / SUD Number:  
(LINZ Use only)

Priority Barcode/Date Stamp  
(LINZ use only)

Plan Number Pre-Allocated or  
to be Deposited:

Rejected Dealing Number:

362530

**CONO 6770099.1 Consen**  
Copies  
(Inc. original)  
DocID: 31284896

Priority Order	CT Ref:	Type of Instrument	Names of Parties	DOCUMENT OR SURVEY FEES	MULTI-TITLE FEES	NOTICES	ADVERTISING	NEW TITLES	OTHER	RE-SUBMISSION & PRIORITY FEE	FEES \$ GST INCLUSIVE
1	NA 119B/928	CONO	FAR NORTH DISTRICT COUNCIL	50.00							\$50.00
2	AS ABOVE	OCT	SKINNER & HORWATH TRSTEE SERVICES LTD					2	\$212		\$212.00
3	255092, 255093	EI	SKINNER & OR TO SKINNER & HORWATH TRSTEE	50.00							\$50.00
4	255092	T	SKINNER & HORWATH TRSTEE TO WAIROA CO LTD	50.00							\$50.00
5											
6											

Land Information New Zealand Lodgement Form

Annotations (LINZ use only)

Fees Receipt and Tax Invoice

GST Registered Number 17-022-895

LINZ Form P005

LINZ Form P005 - PDF

Original Signatures?		Subtotal (for this page)	\$362.00
		Total for this dealing	\$362.00
Less Fees paid on Dealing #			
Cash/Cheque enclosed for			\$362.00



**Far North  
District Council**

**CONO 7925239.2 Conser**

Cpy - 01/01, Pgs - 002, 02/09/08, 08:27



DocID: 313174588

Private Bag 752, Memorial Ave

Kaikohe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: [ask.us@fndc.govt.nz](mailto:ask.us@fndc.govt.nz)

Website: [www.fndc.govt.nz](http://www.fndc.govt.nz)

## THE RESOURCE MANAGEMENT ACT 1991

### SECTION 221 : CONSENT NOTICE

REGARDING RC 2061157 and 2070567  
the Subdivision of Lot 1 DP 362530  
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c)(ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified under each condition below.

### SCHEDULE

#### Lots 1-7 DP 395324

- (i) Roof stormwater and stormwater due to impermeable surfaces are to be directed away from effluent disposal field areas and disposed on site to mitigate the effect of excess stormwater on Wairoa Stream.  
On site disposal is to be via either a stormwater retention tank designed and installed in accordance with ARC publication TP 10 or via an onsite soakage system.  
Land owner is to provide design and details of the proposed system for the approval of Council's Resource Consents Engineer at building consent stage. The system has to be installed within 3 months of constructing the development.
- (ii) The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly, where rainwater is collected from exposed surfaces for human consumption in connection with any residential development on the site, the occupiers of any such dwelling shall install an approved water filtration system.

Lots 7 & 8 DP 395324

- (iii) The Bamboo and Cryptomeria shelterbelt is not to be removed or trimmed without the written approval of the owner(s) of Lot 4 DP 181988.

SIGNED:



Mr Pat Killalea

By the FAR NORTH DISTRICT COUNCIL  
Under delegated authority:  
RESOURCE CONSENTS MANAGER

DATED at KERIKERI this *5<sup>th</sup>* day of *August* 2008

**Project Information:**

Lot 5  
DP395324  
Area: 3124 m<sup>2</sup>  
Val'n No. 00219-81706

**Wind Zone: HIGH**  
*Region A/Open/Exposed/T1*

**Earthquake Zone: 1**  
**Exposure Zone: C**

**District Plan Zone:**  
**Rural Residential**

**Sheet List**

Sheet No.	Sheet Name	Issue/ Rev'	Date
A_001	Cover Sheet	i_02	17.04.26
A_101	Site Plan	i_02	17.04.26
A_102	Proposed Plan	i_02	17.04.26
A_103	Roof Plan	i_02	17.04.26
A_201	Proposed Elevations	i_02	17.04.26
A_301	Section A	i_02	17.04.26
A_302	Section B	i_02	17.04.26
A_501	Cladding Details	i_02	17.04.26

**Architectural drawings are provided to establish dimensions and as a basis for the Engineering design, all drawings are to read in conjunction with the Engineering Drawings and Specification.**

**ShedEx Project #: 19798-1**  
**StanleyGray Engineering Job#: SE/25/29**

REVISIONS/ISSUES:  
i\_01 03.03.26 Issue for Building Consent  
i\_02 17.04.26 Issue for Resource Consent

**Issue for BC**  
**Cover Sheet**

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

**NEW SHEDEX SHED**  
for: MOSS  
at: 73B RIDDELL ROAD, KERIKERI

Project number:  
**SHDX19798**

Scale @ A3:

Drawn by:  
AJT  
Cadence Architectural Design

Date:  
17.04.2026

Drawing No.  
**A\_001**  
Revision:  
i\_02

**SHEDEX**  
EXPERTS IN DESIGN & CONSTRUCT



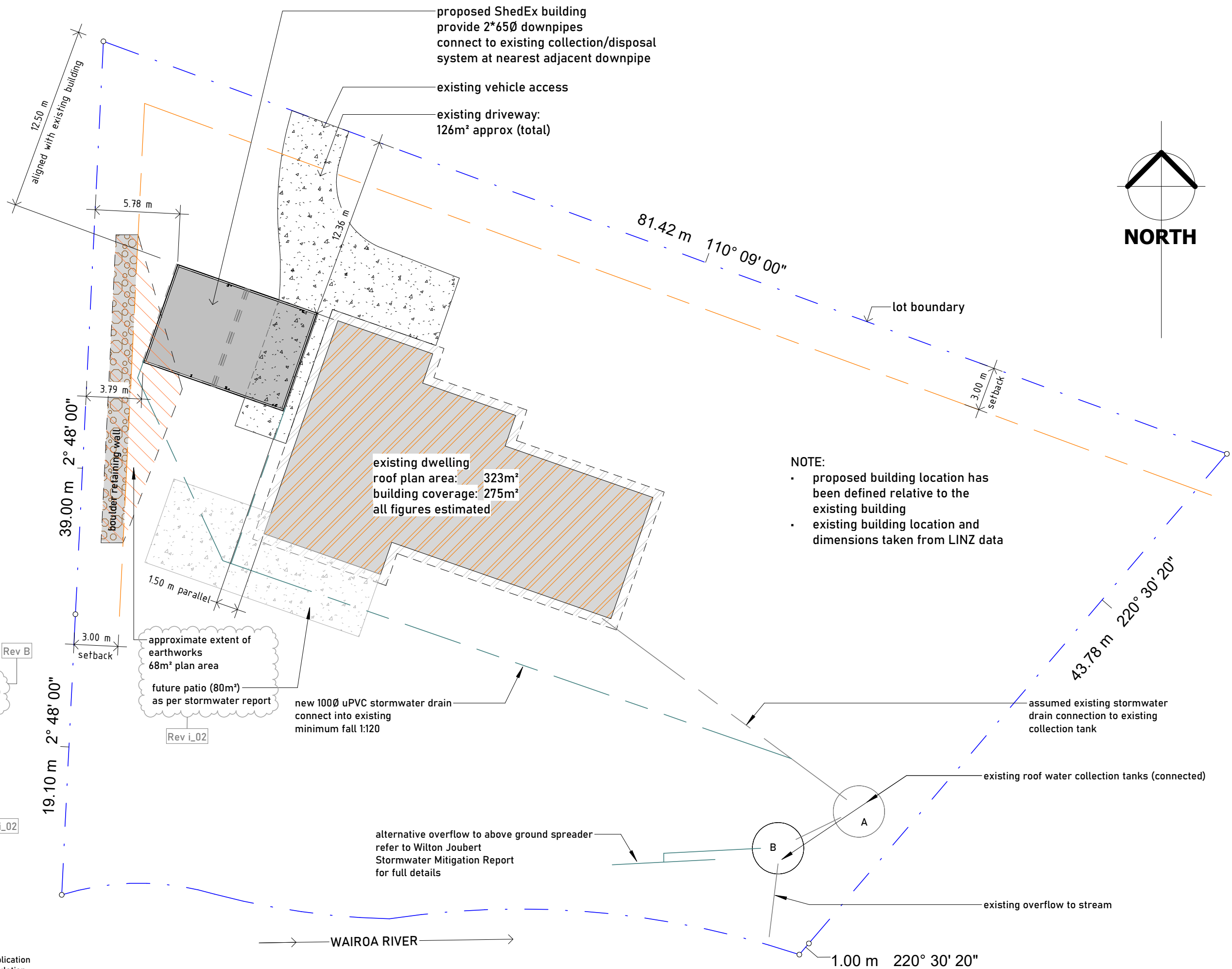
**Project Information:**

**Lot 5**  
**DP395324**  
**Area: 3124 m<sup>2</sup>**  
**Val'n No. 00219-81706**

**Wind Zone: HIGH**  
*Region A/Open/Exposed/T1*

**Earthquake Zone: 1**  
**Exposure Zone: C**

**District Plan Zone:**  
**Rural Residential**



**STORMWATER MANAGEMENT:**  
 Impermeable Surfaces:  
 Existing house (roof plan area): 323 m<sup>2</sup>  
 Existing driveway: 126 m<sup>2</sup>  
 Proposed Building: 70.8 m<sup>2</sup>  
 deduct overlap with driveway: -20 m<sup>2</sup>  
 future patio: 80 m<sup>2</sup>  
 Total: 579.8 m<sup>2</sup> (18.6%)  
 Permitted Activity maximum: 12.5% (390.5 m<sup>2</sup>)

**BUILDING COVERAGE:**  
 Existing house: 275 m<sup>2</sup>  
 Proposed building: 70 m<sup>2</sup>  
 Total: 345 m<sup>2</sup> (11%)  
 Permitted Activity maximum: 12.5% (390.5 m<sup>2</sup>)

**EARTHWORKS:**  
 Cut for retaining wall: 25 m<sup>3</sup> approx  
 excavated material to remain on site for  
 landscaping purposes

**REVISIONS/ISSUES:**  
 i\_01 03.03.26 Issue for Building Consent  
 i\_02 17.04.26 Note earthworks and show future patio for RC application  
 B 23.04.26 Include future patio in impermeable surfaces calculation

**Issue for BC**  
**Site Plan**

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
 Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
 All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

**NEW SHEDEX SHED**  
 for: MOSS  
 at: 73B RIDDELL ROAD, KERIKERI

Project number:  
**SHDX19798**  
 Scale @ A3:  
 1 : 250

Drawn by:  
 AJT  
 Cadence Architectural Design  
 Date:  
 23.04.2026

Drawing No.  
**A\_101**  
 Revision:  
 B



Sheet A\_201



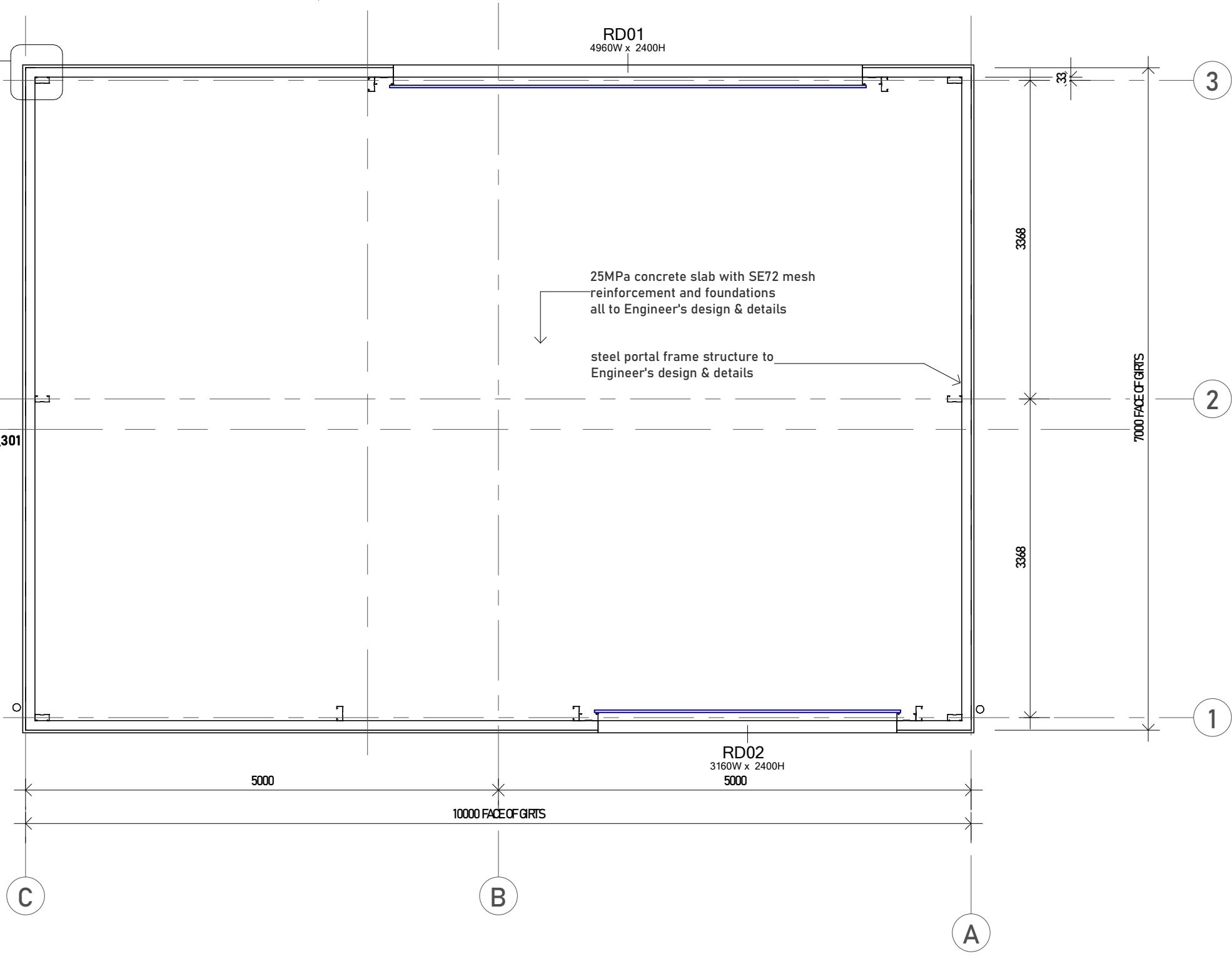
← B  
Sheet: A\_302

Detail - 2  
Sheet: A\_501

↑ A  
Sheet: A\_301

Sheet A\_201  
← 4 WEST

↑ 3 SOUTH  
Sheet A\_201



REVISIONS/ISSUES:  
i\_01 03.03.26 Issue for Building Consent  
i\_02 17.04.26 Issue for Resource Consent

Issue for BC  
Proposed Plan

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

NEW SHEDEX SHED  
for: MOSS  
at: 73B RIDDELL ROAD, KERIKERI

Project number:  
SHDX19798

Scale @ A3:  
1: 50

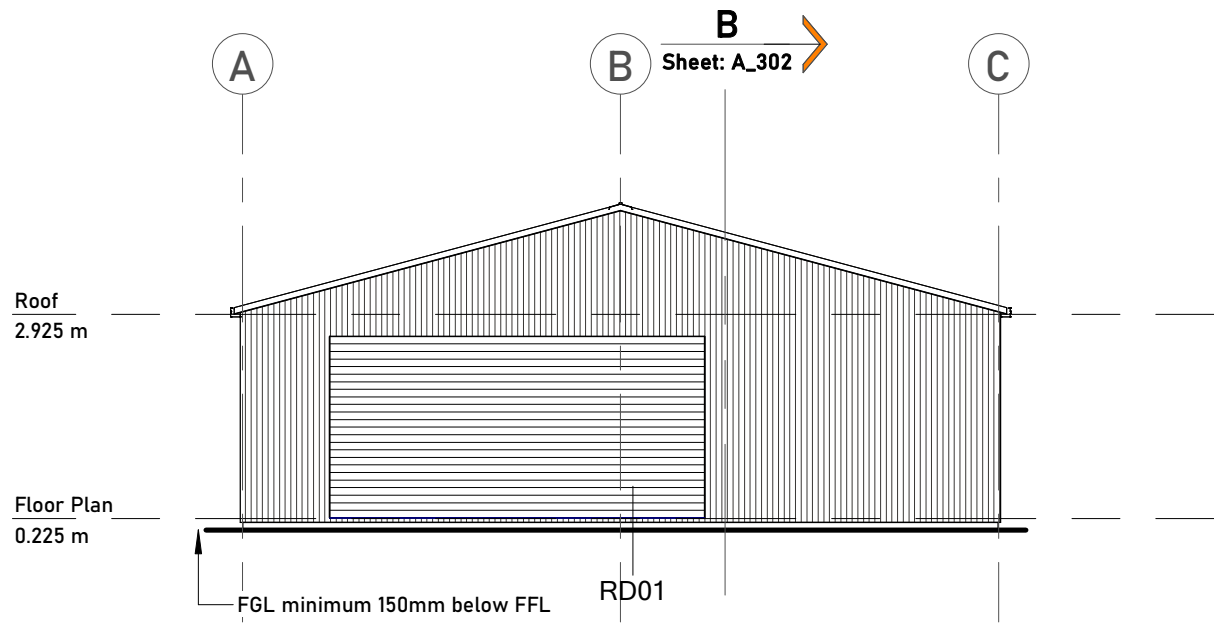
Drawn by:  
AJT  
Cadence Architectural Design

Date:  
17.04.2026

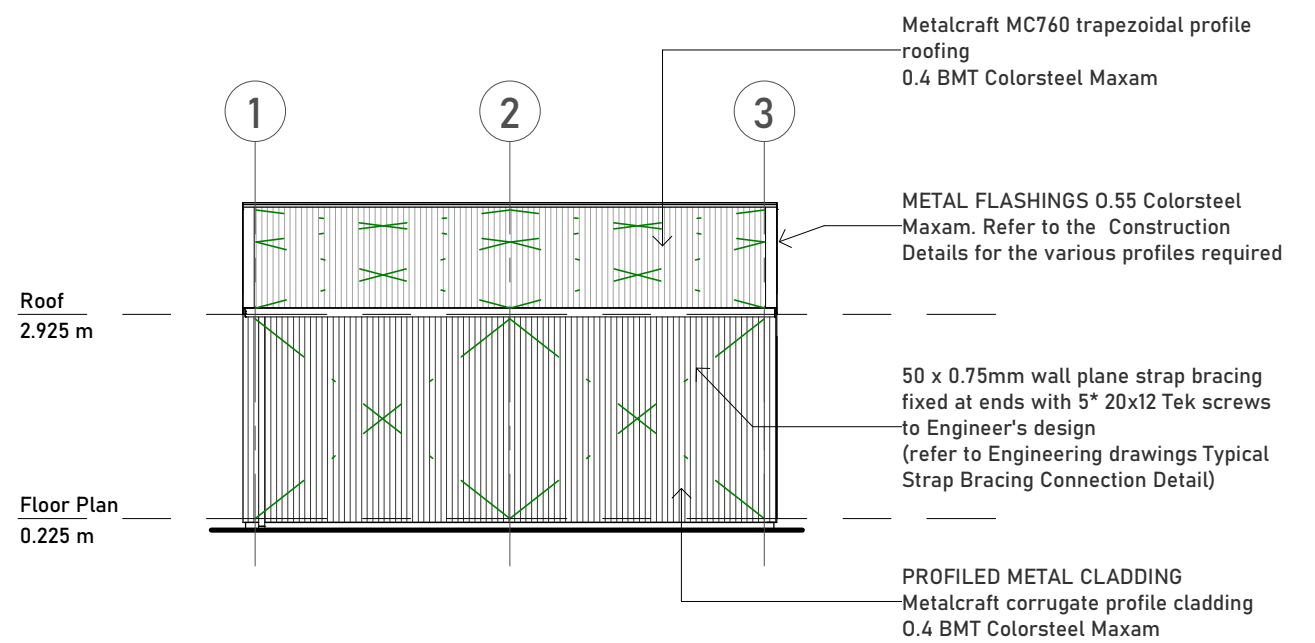
Drawing No.  
A\_102  
Revision:  
i\_02

**SHEDEX**  
EXPERTS IN DESIGN & CONSTRUCT

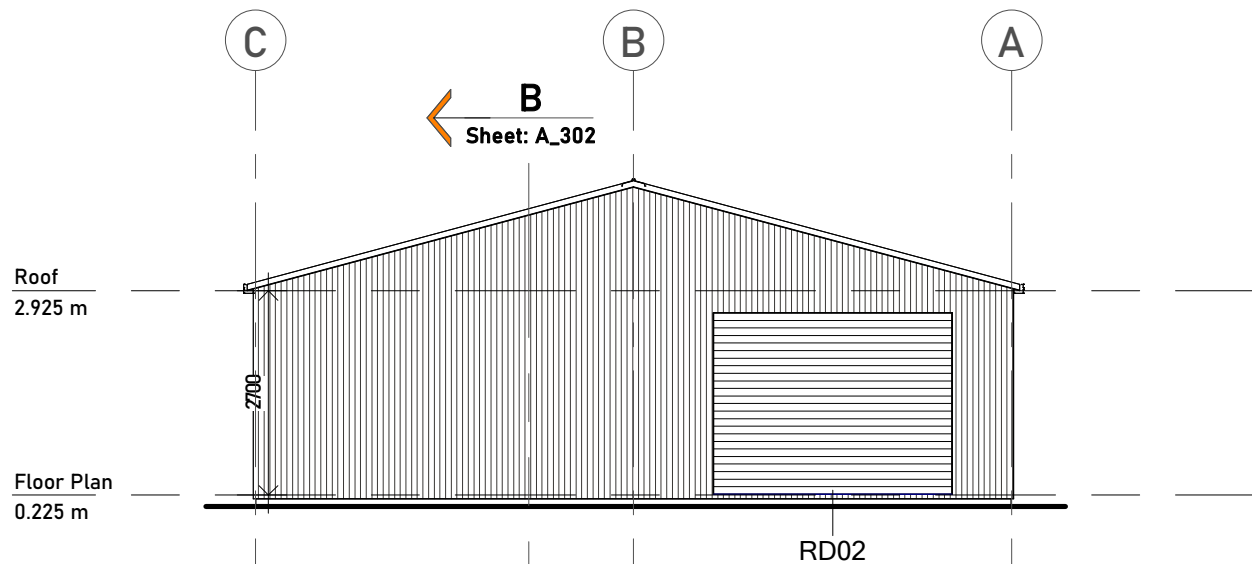




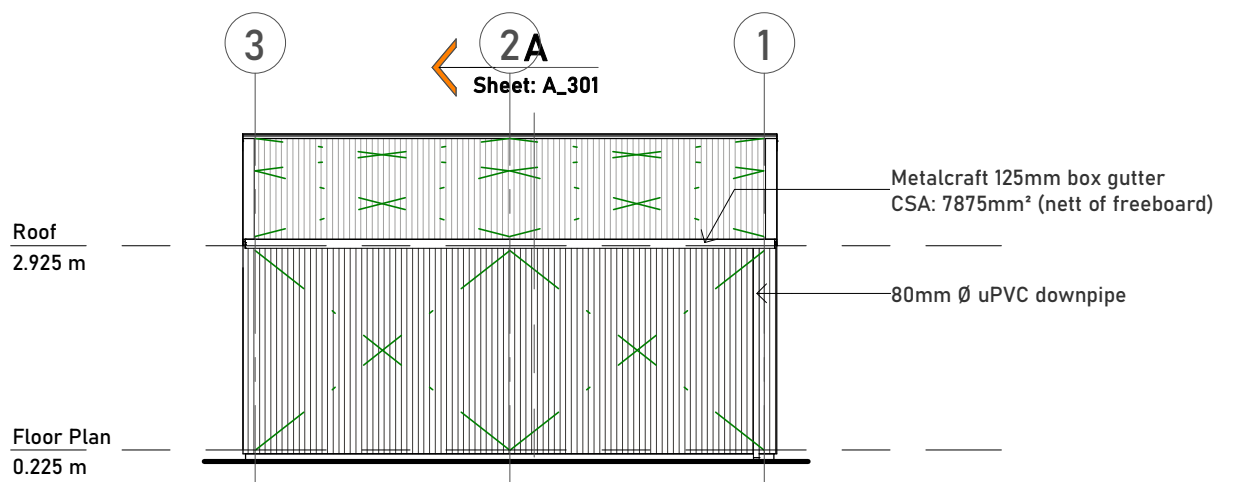
1 NORTH  
1 : 100



2 EAST  
1 : 100



3 SOUTH  
1 : 100



4 WEST  
1 : 100

REVISIONS/ISSUES:  
i\_01 03.03.26 Issue for Building Consent  
i\_02 17.04.26 Issue for Resource Consent

Issue for BC  
Proposed Elevations

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

NEW SHEDEX SHED  
for: MOSS  
at: 73B RIDDELL ROAD, KERIKERI

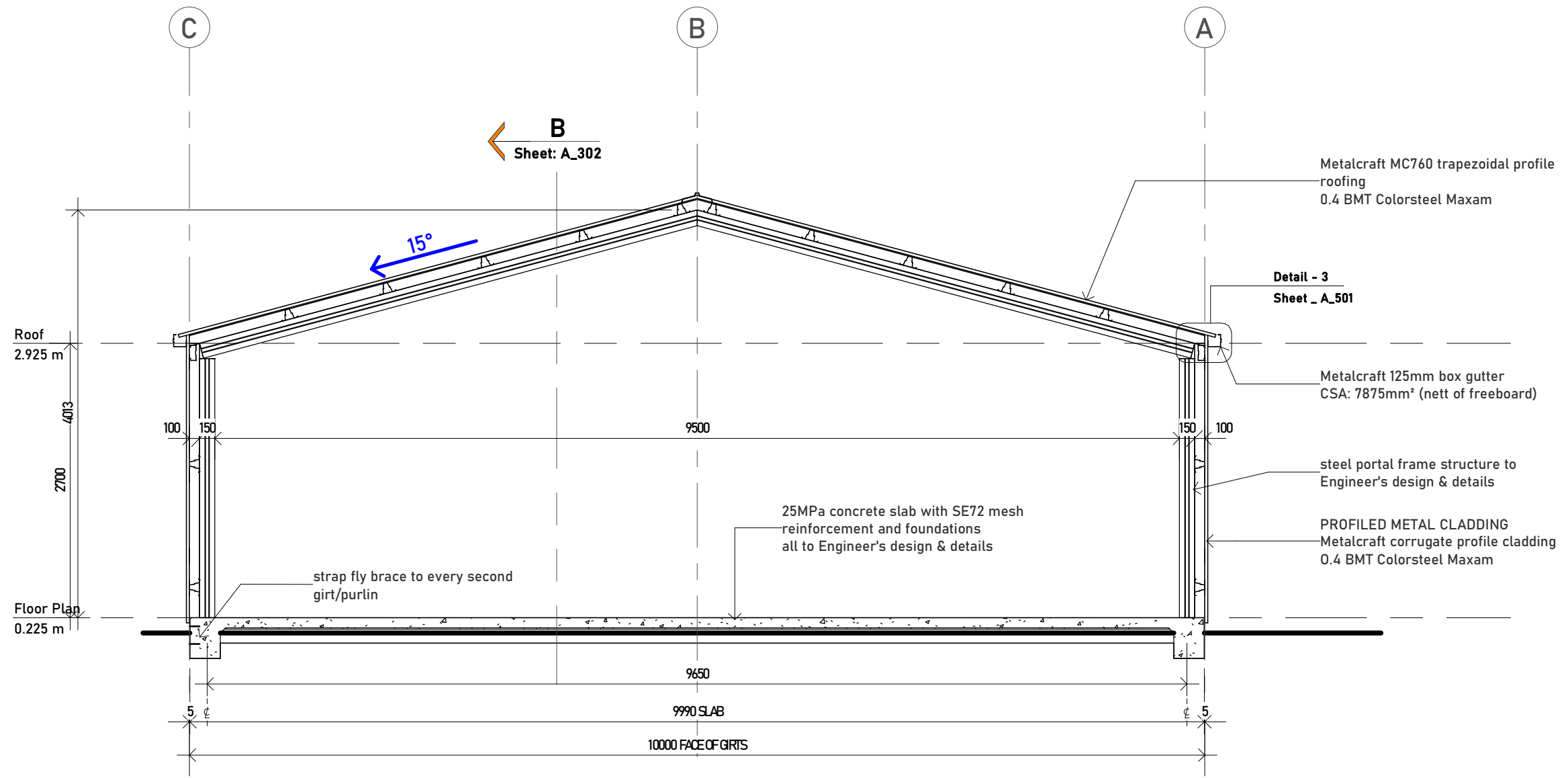
Project number:  
SHDX19798  
Scale @ A3:  
1 : 100

Drawn by:  
AJT  
Cadence Architectural Design  
Date:  
17.04.2026

Drawing No.  
A\_201  
Revision:  
i\_02

**SHEDEX**  
EXPERTS IN DESIGN & CONSTRUCT





REVISIONS/ISSUES:  
 i\_01 03.03.26 Issue for Building Consent  
 i\_02 17.04.26 Issue for Resource Consent

**Issue for BC  
 Section A**

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
 Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
 All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

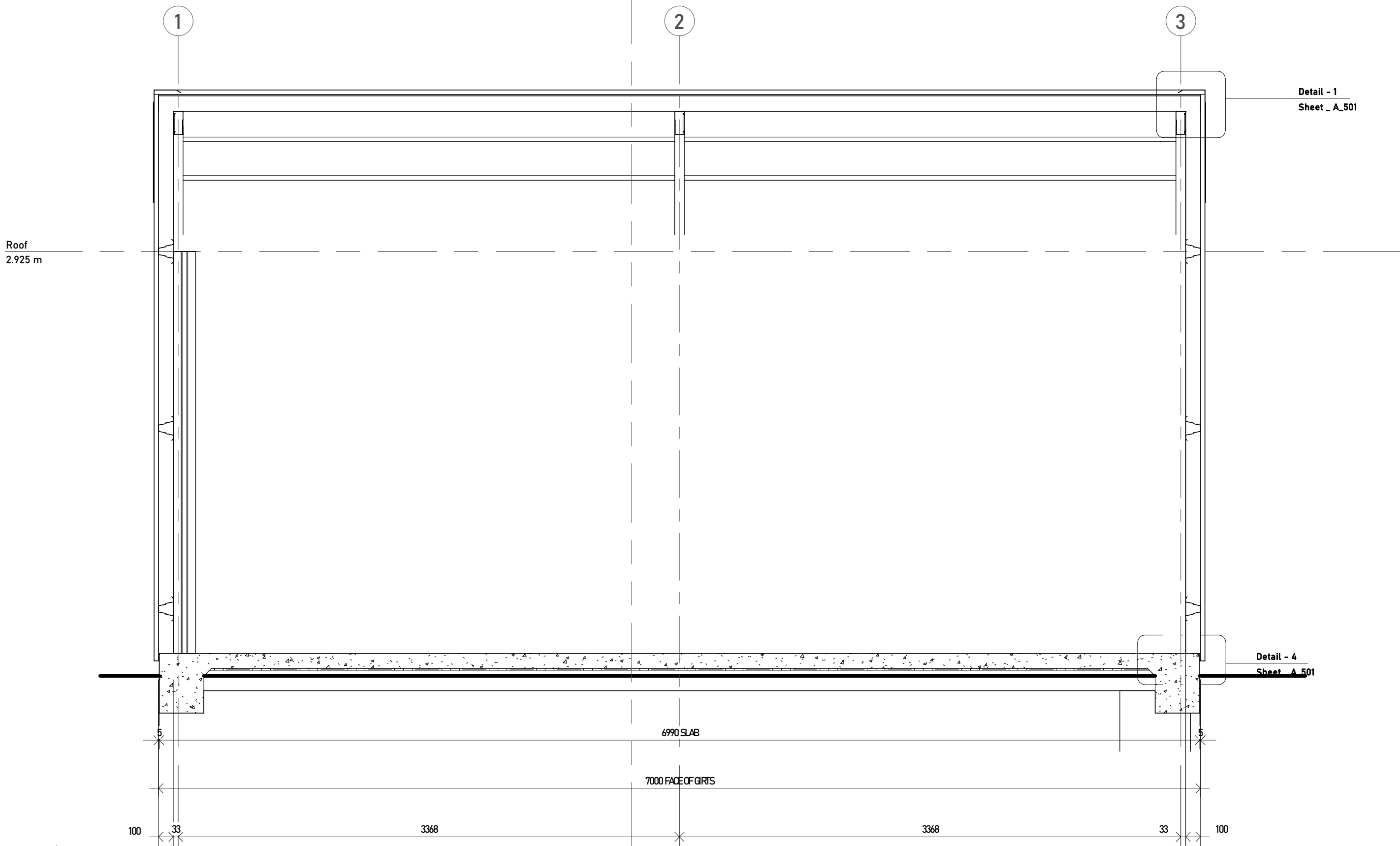
**NEW SHEDEX SHED**  
 for: MOSS  
 at: 73B RIDDELL ROAD, KERIKERI

Project number:  
**SHDX19798**  
 Scale @ A3:  
 1: 50

Drawn by:  
 AJT  
 Cadence Architectural Design  
 Date:  
 17.04.2026

Drawing No.  
**A\_301**  
 Revision:  
 i\_02

A  
Sheet: A\_301



Detail - 1  
Sheet \_ A\_501

Detail - 4  
Sheet A\_501

Roof  
2.925 m

6990 SLAB

7000 FACE OF GIRTS

REVISIONS/ISSUES:  
i\_01 03.03.26 Issue for Building Consent  
i\_02 17.04.26 Issue for Resource Consent

Issue for BC  
Section B

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

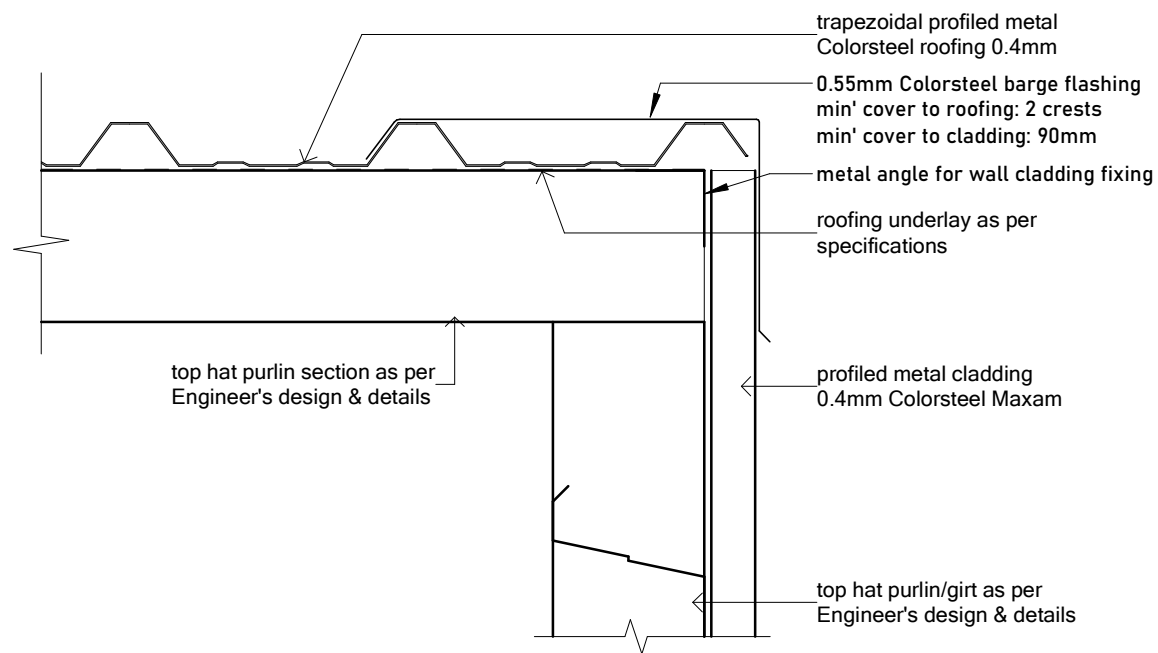
NEW SHEDEX SHED  
for: MOSS  
at: 73B RIDDELL ROAD, KERIKERI

Project number:  
SHDX19798  
Scale @ A3:  
1: 25

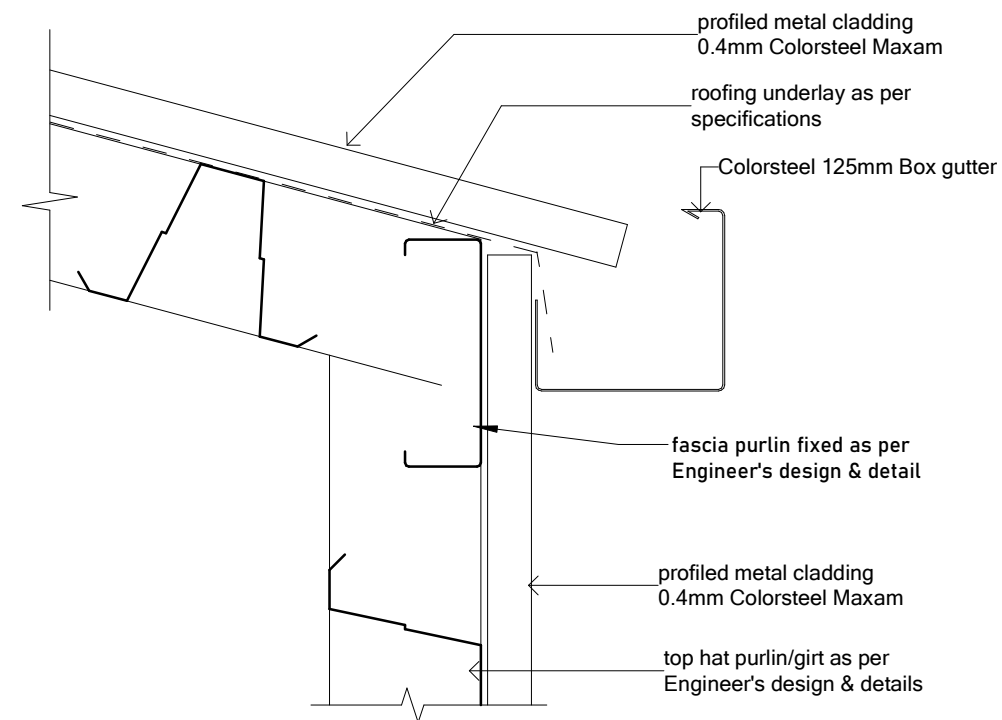
Drawn by:  
AJT  
Cadence Architectural Design  
Date:  
17.04.2026

Drawing No.  
A\_302  
Revision:  
i\_02

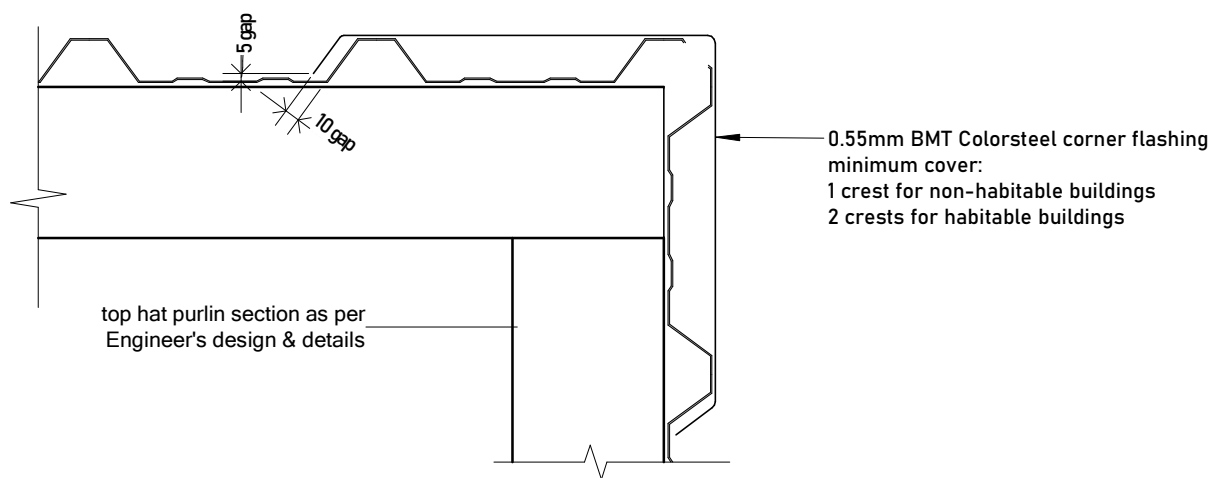




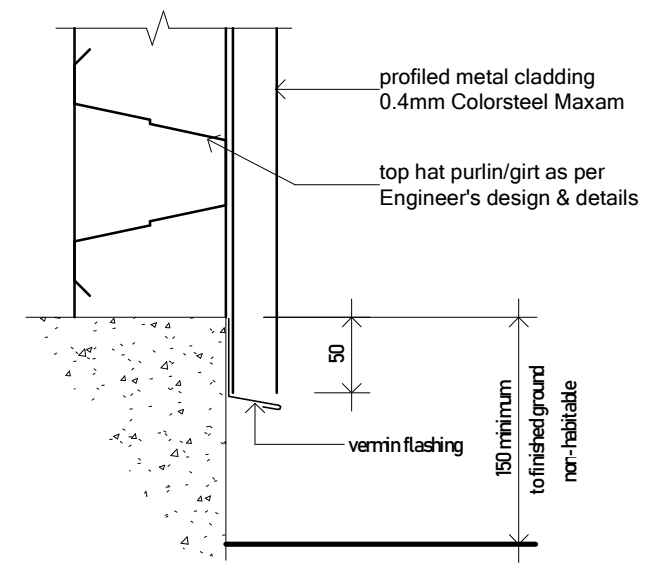
**1 BARGE FLASHING DETAIL**  
1 : 5



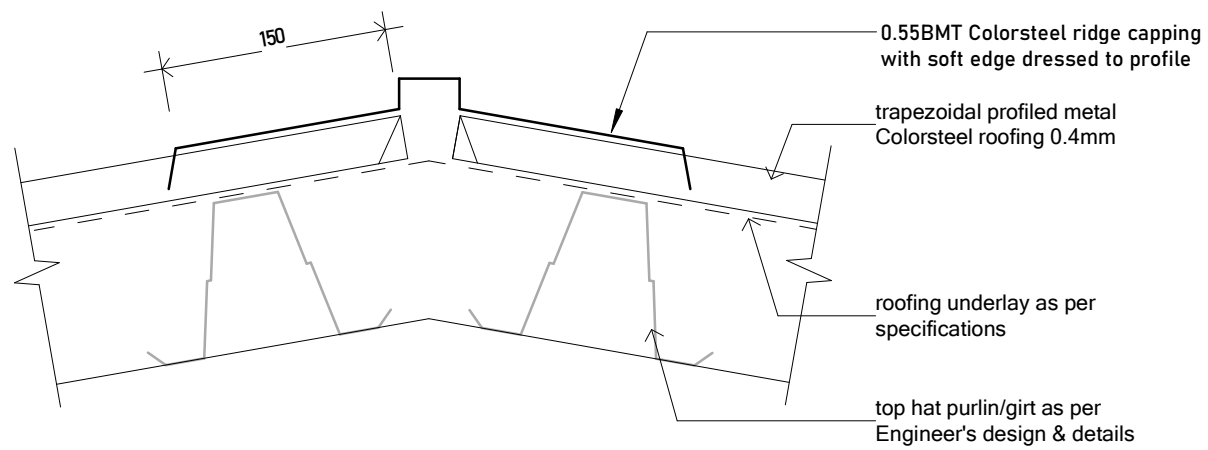
**3 EAVES DETAIL**  
1 : 5



**2 CORNER FLASHING DETAIL**  
1 : 5



**4 CLADDING BASE DETAIL**  
1 : 5



**5 RIDGE FLASHING DETAIL**  
1 : 5

REVISIONS/ISSUES:  
i\_01 03.03.26 Issue for Building Consent  
i\_02 17.04.26 Issue for Resource Consent

Issue for BC  
Cladding Details

These drawings are to be read in conjunction with the ShedEx fabrication drawings.  
Drawings are not to be scaled and ALL dimensions are to be confirmed on site prior to commencement of any works. Location of all services are to be confirmed on site.  
All works are to be in accordance with the Building Code and Local Authority requirements as applicable.

NEW SHEDEX SHED  
for: MOSS  
at: 73B RIDDELL ROAD, KERIKERI

Project number:  
SHDX19798  
Scale @ A3:  
1 : 5

Drawn by:  
AJT  
Cadence Architectural Design  
Date:  
17.04.2026

Drawing No.  
A\_501  
Revision:  
i\_02

**SHEDEX**  
EXPERTS IN DESIGN & CONSTRUCT



**Project Information:**

**Lot 5**  
**DP395324**  
**Area: 0.3124 hectare**  
**Val'n No. -**

**Wind Zone: HIGH**  
*Region A/Open/Exposed/T1*

**Earthquake Zone: 1**  
**Exposure Zone: C**

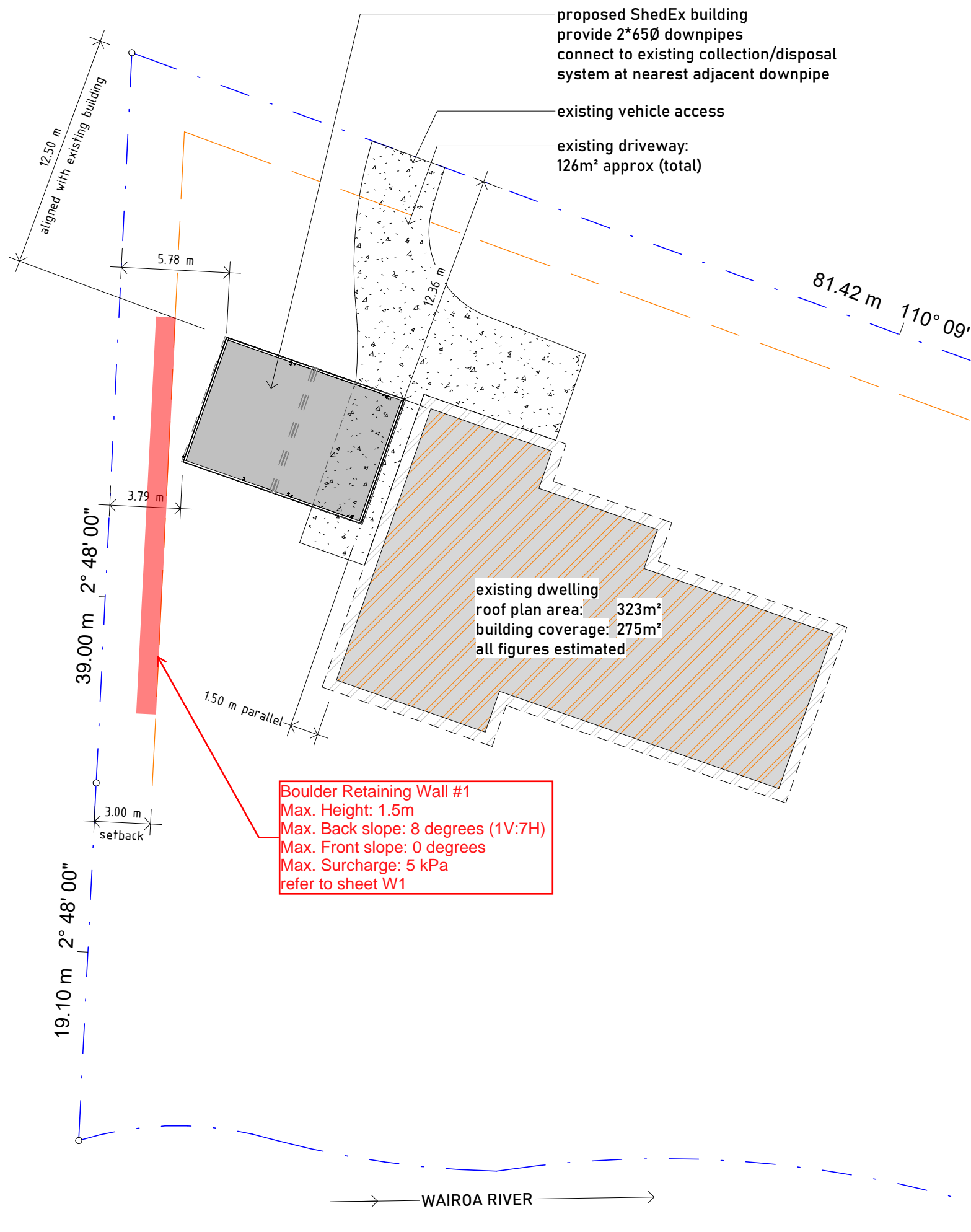
**District Plan Zone:**  
**Rural Residential**

**STORMWATER MANAGEMENT:**

Impermeable Surfaces:  
 Existing house (roof plan area): 323 m<sup>2</sup>  
 Existing driveway: 126 m<sup>2</sup>  
 Proposed Building: 70.8 m<sup>2</sup>  
 deduct overlap with driveway: -20 m<sup>2</sup>  
 Total: 499.8 m<sup>2</sup> (16%)  
*Permitted Activity maximum: 12.5% (390.5 m<sup>2</sup>)*

**BUILDING COVERAGE:**

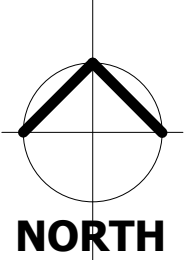
Existing house: 275 m<sup>2</sup>  
 Proposed building: 70 m<sup>2</sup>  
 Total: 345 m<sup>2</sup> (11%)  
*Permitted Activity maximum: 12.5% (390.5 m<sup>2</sup>)*



Retaining Wall Mark-up  
 WJL #: 144955  
 73b Riddell Road  
 Kerikeri

**NOTE:**

1. Check the **BUILDING CONSENT CONDITIONS** for any inspections that are required by the Building Consent Authority (BCA).
2. It is increasingly common for building consent authorities to require a "PS4" for specifically designed structures. For Wilton Joubert Ltd. to issue this, we need to carry out inspections as per the building consent requirements. Ring Wilton Joubert Ltd. local office to arrange a booking. **NO INSPECTION EQUALS NO PS4 ISSUED.**
3. Design based on report  
 By: Wilton Joubert Ltd. Ref: 143483 Dated: 12-11-2025  
 Specifically:  
 - Friction angle: 30 degrees  
 - Ultimate bearing capacity: 300kPa
4. No existing structure is to be within the 45 degree influence line (1 vertical in 1 horizontal) from the base of the retaining walls. It is essential this is checked prior to cut. If this is the case, please contact WJL to review the design, further site investigation may be required to assess the situation and safety measures.
5. Highly recommended NOT to carry out earthworks during wet conditions or with impending wet weather.
6. All retaining wall loading conditions (eg. retained heights, boundary conditions, surcharges, backslope, frontslope, etc.) shall be check prior to any construction. Wilton Joubert Ltd. shall be contacted if there are any discrepancies/ deviations from the design.



**Boulder Retaining Wall #1**  
 Max. Height: 1.5m  
 Max. Back slope: 8 degrees (1V:7H)  
 Max. Front slope: 0 degrees  
 Max. Surcharge: 5 kPa  
 refer to sheet W1

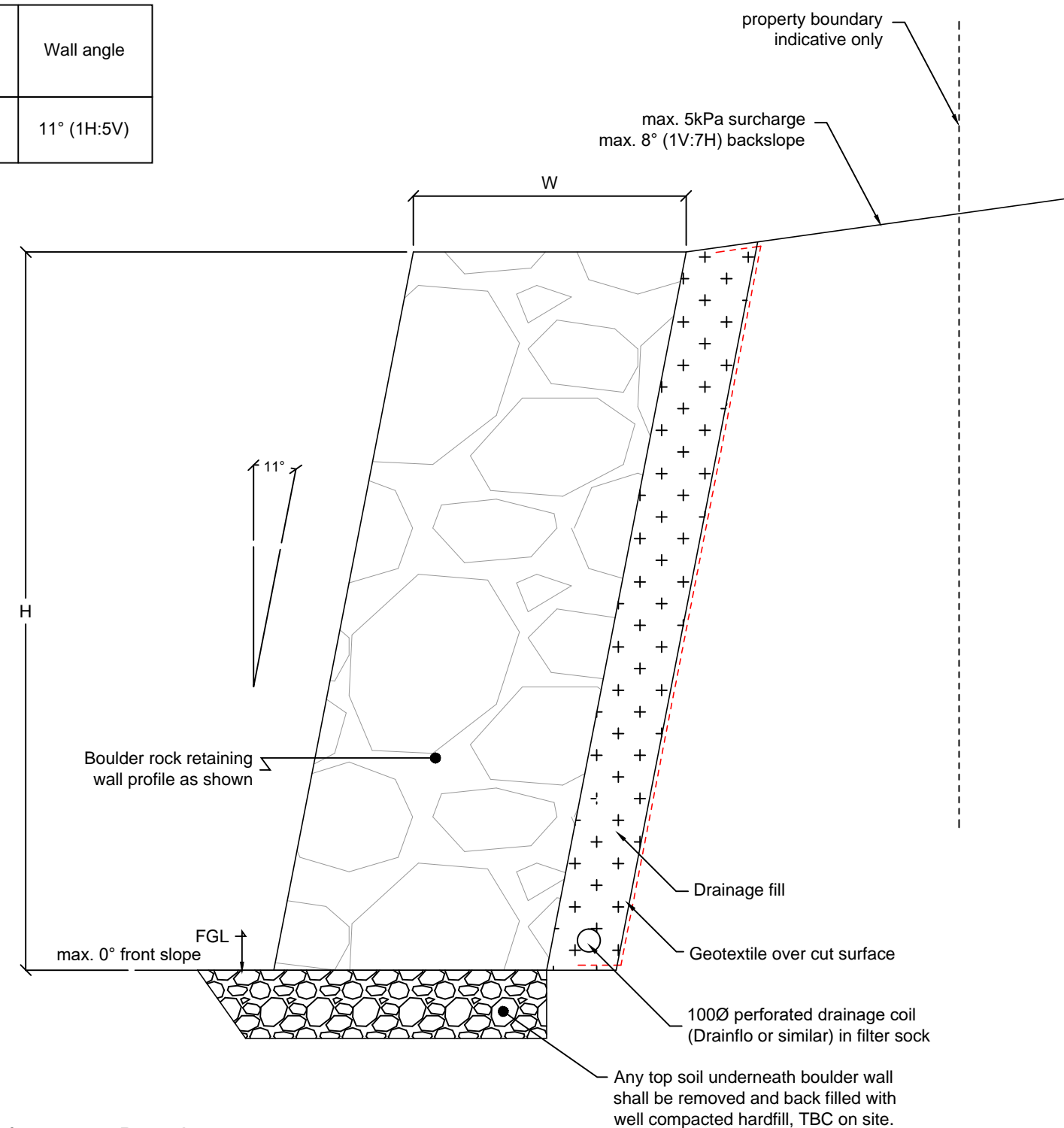
Note: For specific items as defined in  
 Producer Statement - Design

*David B.N. Lau*  
 signed by: David B.N. Lau  
 B.E. (Hons), Ph.D., MIPENZ, CPEng

**WILTON JOUBERT**  
 Consulting Engineers

# Stone Retaining Wall #1

H, max. retained height (m)	W, min. wall width (m)	Wall angle
1.5	1.5	11° (1H:5V)



## Notes:

- Design is based on report By: Wilton Joubert Ltd. Ref: 143483 Dated: 12-11-2025 (stable site with min. 300kPa ultimate bearing capacity), to be confirmed.
- Boulder of varying sizes shall be used (0.2m - 1.0m) to make the wall.
- It is important that the integrity of the wall is maintained by ensuring that the wall is constructed with the boulders so placed that the density of the wall is maximized. Assumed 17kN/m<sup>3</sup> density must be achieved

## NOTES:

- Contact the architect/engineer if any discrepancies are found.
- Check the BUILDING CONSENT CONDITIONS for any inspections that are required by the Building Consent Authority (BCA).
- It is increasingly common for building consent authorities to require a "PS4" for specifically designed structures. For Wilton Joubert to issue this, we need to carry out inspections as per the building consent requirements. Ring Wilton Joubert local office to arrange a booking. NO INSPECTION EQUALS NO PS4 ISSUED. Where Wilton Joubert is unable to conduct inspection due to geographical reason, a local engineer may be engaged to carry out such inspections and issue a PS4 accordingly.
- Location of all public pipes shall be confirmed on site.
- All retaining wall loading conditions (eg. retained heights, boundary conditions, surcharges, backslope, front slope, etc.) shall be checked prior to any construction. Wilton Joubert shall be contacted if there are any discrepancies/deviations from the design.

No.	DESCRIPTION	DATE
REVISION		

Northland: 09 945 4188 Christchurch: 021 824 063  
Auckland: 09 527 0196 Wanaka: 03 443 6209  
[www.wiltonjoubert.co.nz](http://www.wiltonjoubert.co.nz)

SITE ADDRESS:

**Proposed Residence:  
73b Riddell Road  
Kerikeri**

SHEET TITLE:

**Retaining Wall**

DESIGNED BY: RF	DRAWN BY: RF
CHECKED BY: DL	APPROVED BY: Wilton Joubert Ltd
DATE: 17-02-2026	OFFICE: Lunn Avenue
DRAWING SCALE: N.T.S	ORIGINAL DRAWING SIZE: A3

Original Job #:	<b>Job # 144955</b>	Sheet #:	<b>W1</b>
Revision Job #:			



*Consulting Engineers*

**NORTHLAND**

Po Box 8130  
Kensington  
Whangarei 0145  
T: +64 9 945 4188

**AUCKLAND**

**WAIKATO**

Po Box 11381  
Ellerslie  
Auckland 1542  
T: +64 9 527 0196

**SOUTHERN LAKES**

Po Box 169  
Wanaka 9343  
T: +64 3 443 6209

**CANTERBURY**

T: +64 21 824 063

**Structural Design Calculations for:**

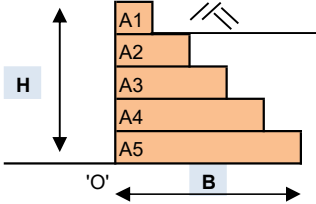
**73b Riddell Road**

**Kerikeri**

Job #: 144955

February 2026

**Gravity Wall Parameters**



Max. wall height, H =	1.5 m	Load factor, LF:	1.6
Max. wall width, B =	1.5 m	Wall friction angle, $\delta$ :	20 °
Unit weight of soil, $\gamma$ =	18 kN/m <sup>3</sup>	Back slope:	8 °
Unit weight of wall =	17 kN/m <sup>3</sup>	Front slope:	0 °
Soil friction angle, $\phi$ =	30 °	Ka:	0.5
Imposed surcharge, q =	5 kPa	Ko:	0.5
Ultimate bearing capacity =	300 kPa	Kp:	3

**Wall layers:**

Heights	A1: 0.3 m	A2: 0.3 m	A3: 0.3 m	A4: 0.3 m	A5: 0.3 m	
Widths:	A1: 1.5 m	A2: 1.5 m	A3: 1.5 m	A4: 1.5 m	A5: 1.5 m	
Area of wall layers:	A1: 0.45 m <sup>2</sup>	A2: 0.45 m <sup>2</sup>	A3: 0.45 m <sup>2</sup>	A4: 0.45 m <sup>2</sup>	A5: 0.45 m <sup>2</sup>	$\Sigma A$ : 2.25 m <sup>2</sup>
Vertical distance from Layer centre of gravity to point 'O' (base of wall)	A1: 1.35 m	A2: 1.05 m	A3: 0.75 m	A4: 0.45 m	A5: 0.15 m	
Horizontal distance from Layer centre of gravity to point 'O' (base of wall)	A1: 0.75 m	A2: 0.75 m	A3: 0.75 m	A4: 0.75 m	A5: 0.75 m	

Centroid of wall, x':	0.75 m	Centroid of wall, y':	0.75 m
Self weight of wall, Wg =	38.25 kN	Friction sliding resistance due to self weight =	22.084 kN
Stabilising moment due to self weight, Mg :	28.688 kNm		

**Soil loading:**

Total retained height, h =	1.5 m		
Soil pressure, Pa = 0.5.ka.Y.h <sup>2</sup> .LF =	16.2 kN		
Vertical component of soil pressure, Pav =	5.5407 kN	Horizontal component of soil pressure, Pah =	15.223 kN
Location of horizontal component, based on triangular pressure distribution:	0.5 m		
Location of vertical component, based on wall dimensions:	1.5 m		
Overturning moment due to soil pressure:	7.6115 kNm	Stabilizing moment due to soil pressure:	8.3111 kNm

**Surcharge loading:**

Surcharge pressure, Pas = q.ka.H.LF =	6 kN		
Vertical component of surcharge pressure, Pasv =	2.0521 kN	Horizontal component of soil pressure, Pash =	5.6382 kN
Location of horizontal component, based on rectangular pressure distribution:	0.75 m		
Location of vertical component, based on wall dimensions:	1.5 m		
Overturning moment due to surcharge pressure:	4.2286 kNm	Stabilizing moment due to surcharge pressure:	3.0782 kNm

**Wall stability:**

Total overturning moment:	11.84 kNm		
Total stabilising moment:	40.077 kNm	Overturning factor of safety :	3.3848

**Effective footing width:**

Sum of vertical forces, R =	45.843 kN	Overturning moment at base, M* =	11.84 kNm
Centroid of vertical force from toe, x =	0.8742 m	Lever arm from x, e =	0.2583 m
Width of bearing reaction, B' =	1.2319 m		
Check: B' / 2:	0.6159 m	Check: B/6 :	0.25 m <b>OK</b>
Bearing pressure onto subgrade, q=	37.213 kPa	Dependable bearing factor:	0.5
Dependable bearing pressure, qmax =	150 kPa	<b>OK</b>	

**Base Sliding:**

Friction sliding =	26.467 kN	Base Soil Type:	Sand
Passive resistance =	0 kN	Total embedment depth:	0 m
Total resistance =	21.174 kN	> Ph =	20.861 kN <b>OK</b>



# PRODUCER STATEMENT – PS1 DESIGN

**BUILDING CODE CLAUSE(S):** B1 | **JOB NUMBER:** 144955 |

**ISSUED BY:** Wilton Joubert Ltd. |

*(Engineering Design Firm)* |

**TO:** Mike Moss |

*(Owner/Developer)* |

**TO BE SUPPLIED TO:** Far North District Council |

*(Building Consent Authority)* |

**IN RESPECT OF:** structural design services |

*(Description of Building Work)* |

**AT:** 73b Riddell Road, Kerikeri |

*(Address, Town/City)* |

**LEGAL DESCRIPTION:** | **N/A**

We have been engaged by the owner/developer referred to above to provide *(Extent of Engagement):* boulder retaining wall |

in respect of the requirements of the Clause(s) of the Building Code specified above for Part only | , as specified in the Schedule, of the proposed building work.

The design carried out by us has been prepared in accordance with:

- Compliance documents issued by the Ministry of Business, Innovation & Employment *(Verification method/acceptable solution)* B1/VM1, VM2 | and/or;
- Alternative solution as per the attached Schedule.

The proposed building work covered by this producer statement is described on the drawings specified in the Schedule, together with the specification, and other documents set out in the Schedule.

**On behalf of the Engineering Design Firm**, and subject to:

- Site verification of the following design assumptions: report By: Wilton Joubert Ltd. Ref: 143483 Dated: 12-11-2025
- All proprietary products meeting their performance specification requirements;

**I believe on reasonable grounds** that:

- the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the Schedule, will comply with the relevant provisions of the Building Code and that;
- the persons who have undertaken the design have the necessary competency to do so.

I recommend the CM 2 level of **construction monitoring**.

I, *(Name of Engineering Design Professional)* David Lau , am:

- CPEng number 221906 |
- and hold the following qualifications BE(Hons), PhD, CMEngNZ, CPEng, IntPE

The Engineering Design Firm holds a current policy of Professional Indemnity Insurance no less than \$200,000  
The Engineering Design Firm is not a member of ACE New Zealand.

**SIGNED BY** *(Name of Engineering Design Professional):* David Lau  
*(Signature below):*

**ON BEHALF OF** *(Engineering Design Firm):* Wilton Joubert Ltd.

Date: 17/02/2026

**Note:** This statement has been prepared solely for the Building Consent Authority named above and shall not be relied upon by any other person or entity. Any liability in relation to this statement accrues to the Engineering Design Firm only. As a condition of reliance on this statement, the Building Consent Authority accepts that the total maximum amount of liability of any kind arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in tort or otherwise, is limited to the sum of \$200,000.

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.

## SCHEDULE to PS1

Please include an itemised list of all referenced documents, drawings, or other supporting materials in relation to this producer statement below:

Drawings Reference:

Mark-up sheet A101, W1

Means of Compliance:

B1 Structure:

Verification Method B1/VM1

- NZS1170.0, 1, 2, 5 Structural Design Actions

Verification Method B1/VM2

- Shallow foundations

Alternative Solution:

- N/A



Site address: 73b Riddell Road, Kerikeri

## **Re: B2 (Durability) Compliance**

To whom it may concern,

We have provided a Producer Statement for Design (PS1) for clause B1 of the Building Act - Structure. Our PS1 does not cover clause B2 of the Building Act – Durability because there is no effective means of compliance for structural durability in the Building Code. However, we can confirm that the structural elements shown in our documentation have been treated as noted below:

### **Timber**

The timber has been specified in accordance with NZS3640:2003. The quality of timber treatment is dependent on the QA systems of manufacturers, suppliers and the onsite contractors and sub-contractors. Refer to the contractor's PS3 and QA records where available.

### **Concrete**

Compliance with cover and concrete quality requirements for B2/AS1 are in accordance with NZS3101:2006 Section 3.

### **Reinforced Concrete Masonry**

Compliance with cover and concrete quality requirements for B2/AS1 are in accordance with NZS4230:2004 Section 4.

### **Mild Steel**

Protective coatings as specified in building consent documentation (may be by others) in accordance with AS/NZS 2312:2014 and SNZ TS 3404:2018 on a life to first major maintenance basis.

The quality of mild steel protective coatings is dependent on:

- Steel preparation
- Quality and production consistency of the coating products
- QA of the application and curing
- QA of the handling, protection and repair

Refer to:

- Contractor's and sub-contractor's PS3s and QA records where available
- Third-party inspection and test results

On-going maintenance plan (attached)

Yours faithfully



David Lau, Wilton Joubert Ltd.

Dated: 17/02/2026

## STRUCTURAL MAINTENANCE SCHEDULE

This schedule of ongoing inspection and maintenance of structural elements shall be included with the O&M manuals and provided to the Owner/Body Corporate and building managers.

Inspection/Maintenance timeframe and item	
(a) Half-yearly	Wash down all exposed steelwork that is not in a fully interior environment including: <ul style="list-style-type: none"> <li>• Veranda steelwork</li> <li>• Steel carpark structure (beams, columns, braces etc)</li> <li>• Deck and balcony steelwork</li> <li>• Exposed façade steelwork, both primary and secondary structure</li> <li>• Sub-ground floor mild-steel structures such as beams.</li> </ul>
(b) 5-yearly	Inspect and repair sealant that encloses structural mild-steel components and/or timber with mild-steel fixings.
(c) 10-yearly	Check exposed timber fixings for corrosion, repair as required.
	Inspect/replace sealant that encloses structural mild-steel components and/or timber with mild-steel fixings. This will typically include sealants around the perimeter of precast panels. <b>Note that 10 years is the expected useful life for many sealants.</b>
	Check all exposed steelwork that is not in a fully interior environment for signs of corrosion. Repair protective coatings as required.
(d) 25-yearly	Inspect samples of structural steel that is hidden from view but not enclosed within a vapour barrier, and repair protective coatings as necessary. A typical example is a veranda with built-in steelwork (Such steelwork should typically have duplex protective coatings). Inspection may typically require removal of claddings and/or the drilling of holes for borescope access. Repair as required.
	Inspect all exposed, external timber. Repair as required.
	Inspect all exposed, external reinforced concrete for signs of spalling. Repair as required.
Following seismic shaking > SLS1 event	Inspections and repair as per b), c) and d) above.

## PRODUCER STATEMENTS – Advisory Note

Producer Statements shall be submitted to territorial authorities or building consent authority in order for Code of Compliance Certificates to be issued. The requirement for consultants to issue the related Producer Statements may appear as a condition under the building consent documents or as a separate letter from the territorial authority or building certifier. **It is the owner's (or consent applicant) responsibility to check the building consent documentation and notify Wilton Joubert Ltd. in relation to the requirement for construction inspections required (and the subsequent PS4: Producer Statement for Construction Review) as stated on the consent documents. Please note, we cannot issue PS4 if we did not carry out the inspection.**

In order to secure our inspection services, it is strongly recommended that Wilton Joubert Ltd. be given at least 48 hours notice prior to time of inspection. Our inspections are limited to items that have been designed and detailed by us. We are also unable to inspect non-consented or unauthorised work. Building consented, stamped plans with consent numbers (or legible copy of the same) including amendments where applicable shall be made available on site during inspections.

In some cases due to the distance of the job from our offices, it may be more practical and cost effective to contact a local professional engineer to carry out the inspection, who may contact us with any questions that may arise. The engineer who carried out the inspection would subsequently be responsible for the issue of the producer statement for construction review.

The costs associated with site inspections and issuing of Producer Statements are separate from any previous work that we have been engaged for, such as engineering design of works. The costs for carrying out the inspections and related work are based on time spent travelling to site, time on site and other associated costs. Please contact us for an estimate of costs. Our assumptions are that the person(s) who arranged the inspection is responsible for payment of the fees, unless otherwise stated at time of engagement.

## GUIDANCE ON USE OF PRODUCER STATEMENTS

Information on the use of Producer Statements and Construction Monitoring Guidelines can be found on the Engineering New Zealand website

<https://www.engineeringnz.org/engineer-tools/engineering-documents/producer-statements/>

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects (NZIA), Institution of Professional Engineers New Zealand (now Engineering New Zealand), Association of Consulting and Engineering New Zealand (ACE NZ) in consultation with the Building Officials Institute of New Zealand (BOINZ). The original suite of producer statements has been revised at the date of this form to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with part of the reasonable grounds necessary for the issue of a Building Consent or a Code Compliance Certificate, without necessarily having to duplicate review of design or construction monitoring undertaken by others.

**PS1 DESIGN** Intended for use by a suitably qualified independent engineering design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

**PS2 DESIGN REVIEW** Intended for use by a suitably qualified independent engineering design review professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

**PS3 CONSTRUCTION** Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011<sup>2</sup>

**PS4 CONSTRUCTION REVIEW** Intended for use by a suitably qualified independent engineering construction monitoring professional who either undertakes or supervises construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACE New Zealand and Engineering New Zealand to interpret the Producer Statement.

### Competence of Engineering Professional

This statement is made by an engineering firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its personnel.

The person signing the Producer Statement on behalf of the engineering firm will have a professional qualification and proven current competence through registration on a national competence-based register such as a Chartered Professional Engineer (CPEng).

Membership of a professional body, such as Engineering New Zealand provides additional assurance of the designer's standing within the profession. If the engineering firm is a member of ACE New Zealand, this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent engineering professional".

### Professional Indemnity Insurance

As part of membership requirements, ACE New Zealand requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard practice for the relationship between the BCA and the engineering firm.

### Professional Services during Construction Phase

There are several levels of service that an engineering firm may provide during the construction phase of a project (CM1-CM5 for engineers<sup>3</sup>). The building Consent Authority is encouraged to require that the service to be provided by the engineering firm is appropriate for the project concerned.

### Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design Firm's engagement.

### Refer Also:

- 1 Conditions of Contract for Building & Civil Engineering Construction NZS 3910: 2013
- 2 NZIA Standard Conditions of Contract SCC 2011
- 3 Guideline on the Briefing & Engagement for Consulting Engineering Services (ACE New Zealand/Engineering New Zealand 2004)
- 4 PN01 Guidelines on Producer Statements

[www.acenz.org.nz](http://www.acenz.org.nz)  
[www.engineeringnz.org](http://www.engineeringnz.org)

# Form 2A:

## Memorandum from licensed building practitioner (certificate of design work)

SECTION 30C OR 45, BUILDING ACT 2004

### The building

Street address of building:

73b Riddell Road, Kerikeri

### The owner

Full name:

Mailing address:

Telephone number:

Email address:

### Identification of design work that is restricted building work

I carried out/supervised the following design work that is restricted building work:

Design work that is restricted building work ✓	Building work (If appropriate, provide details of the restricted building work)	Carried out/supervised (Specify whether you carried out this design work or supervised someone else carrying out this design work)	Reference to plans and specifications (If appropriate, specify references)
<b>Primary structure</b>			
<input type="checkbox"/> Foundations and subfloor framing	N/A	N/A	N/A
<input type="checkbox"/> Walls	N/A	N/A	N/A
<input type="checkbox"/> Roof	N/A	N/A	N/A
<input type="checkbox"/> Columns and beams	N/A	N/A	N/A
<input type="checkbox"/> Bracing	N/A	N/A	N/A
<input checked="" type="checkbox"/> Other	SED boulder retaining wall	Supervised	Sheet A101, W1

<b>External moisture management systems</b>			
<input type="checkbox"/> Damp proofing	N/A	N/A	N/A
<input type="checkbox"/> Roof cladding or roof cladding system	N/A	N/A	N/A
<input type="checkbox"/> Ventilation system (for example, subfloor or cavity)	N/A	N/A	N/A
<input type="checkbox"/> Wall cladding or wall cladding system	N/A	N/A	N/A
<input type="checkbox"/> Waterproofing	N/A	N/A	N/A
<input type="checkbox"/> Other	N/A	N/A	N/A

<b>Fire safety systems</b>			
<input type="checkbox"/> Emergency warning systems, evacuation and fire service operation systems, suppression or control systems, or other	N/A	N/A	N/A

**Note:**

- The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.
- Continue on another page if necessary.

Are waivers or modifications of the building code required?:  Yes  No

If yes, provide details of the waivers or modifications below:

<b>Clause</b> <i>(List relevant numbers of building code)</i>	<b>Waiver/modification required</b> <i>(Specify nature of waiver or modification of building code)</i>

**Note:**

Continue on another page if necessary.

### Issued by

David Lau

*(Name of licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work)*

Licensed building practitioner number:

N/A

*(if applicable)*

Registered architect number:

N/A

*(if applicable)*

Chartered professional engineer number:

221906

*(if applicable)*

Mailing address:

PO Box 11381 Ellerslie, Auckland 1542

Street address/registered office:

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Facsimile:

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Email address:

david@wjl.co.nz

Website:

www.wiltonjoubert.co.nz

*(if applicable)*

### Declaration


I, David Lau

*(name of licensed building practitioner), certify that the design work that is restricted building work recorded on this form:*

(a) complies with the building code; or

~~(b) complies with the building code subject to any waiver or modification of the building code recorded on this form.~~

Signature:



Date:

17 02 2026



DAY

MONTH

YEAR

SITE 73B Riddell Road, Kerikeri  
 LEGAL DESCRIPTION Lot 5 DP 395324  
 PROJECT Proposed Shed  
 CLIENT Michael Moss  
 REFERENCE NO. 145119  
 DOCUMENT Stormwater Mitigation Report  
 STATUS/REVISION No. 02  
 DATE OF ISSUE 18 March 2026

Report Prepared For	Email
Michael Moss	Mikemossy@gmail.com

<b>Authored by</b>	<b>G. Brant</b> (BE(Hons) Civil)	Civil Engineer	Gustavo@wjl.co.nz	
<b>Reviewed &amp; Approved by</b>	<b>B. Steenkamp</b> (CPEng, BEng Civil, CMEngNZ, BSc (Geology))	Senior Civil Engineer	BenS@wjl.co.nz	

## 1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

<b>Legal Description:</b>	Lot 5 DP 395324	
<b>Site Area:</b>	3,124m <sup>2</sup>	
<b>Development Type:</b>	Proposed Shed	
<b>Development Proposals Supplied:</b>	Site Plan by SHEDEX (Ref No: SHDX19798, dated: 06.12.2025)	
<b>District Plan Zone:</b>	Rural Living	
<b>Permitted Activity Coverage:</b>	<u>12.5%</u>	
	<b>Post-Development Impermeable Areas</b>	
	Total Roof Areas	393.8m <sup>2</sup>
	Total Hardstand Area	106m <sup>2</sup>
<b>Impermeable Coverage:</b>	Future Patio Area	80m <sup>2</sup>
	Total impermeable area = 579.8m <sup>2</sup> or 18.6% of the site area	
	Total proposed increase in impermeable area = 36.8m <sup>2</sup>	
	Total future increase in impermeable area = 116.8m <sup>2</sup>	
<b>Activity Status:</b>	<b><u>Controlled Activity</u></b>	
	Attenuation is to be provided in accordance with the requirements outlined in Section 5 via the existing dual-purpose rainwater tank.	
<b>Roof Attenuation:</b>	<b>Existing Tank</b> – 1 x 25,000 litre Rainwater Tanks (or similar) <b>Dimensions</b> – 3600mmØ x 2600mm high (or greater) <b>1% AEP Control Orifice</b> – 80mmØ orifice; <u>located &gt;310mm below the overflow outlet</u> <b>Overflow</b> – 100mmØ at the top of the tank	
<b>Point of Discharge:</b>	To existing outlet via riprap outlet or to new 7m long spreader bar installed level with topography.	

## 2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client to produce an on-site stormwater mitigation assessment at the above site.

At the time of report writing, we have been supplied the following documents:

- Site Plan by SHEDEX (Ref No: SHDX19798, dated: 06.12.2025)

Should any changes be made to the provided plans with stormwater management implications, WJL must be contacted for review.

## 3. SITE DESCRIPTION

The 3,124m<sup>2</sup> property is legally described as Lot 5 DP 395324 and is located off the southern side of Riddell Road. The site is accessed directly off Riddell Road near the lot's north-western corner via an existing driveway that provides access to the existing dwelling on-site.

Undeveloped land cover on-site consists predominantly of grass with trees/shrubs concentrated around the lot's boundaries and the lot's southern quarter. Topographically speaking, most of the site falls to the southeast at gentle grades. The southern sixth of the site falls to the south at moderate to steep grades.

The Far North District Council (FNDC) GIS Water Services Map shows that the site is not serviced by public stormwater, wastewater or potable water reticulation.



Figure 1: Aerial snip from FNDC Maps showing site boundaries (cyan)

**4. DEVELOPMENT PROPOSALS**

The development proposal, obtained from the client, is to construct a shed on-site, as depicted in the site plan by SHEDEX (Ref No: SHDX19798, dated: 06.12.2025). The client indicated that they will add a patio area up to 80m<sup>2</sup> in future.

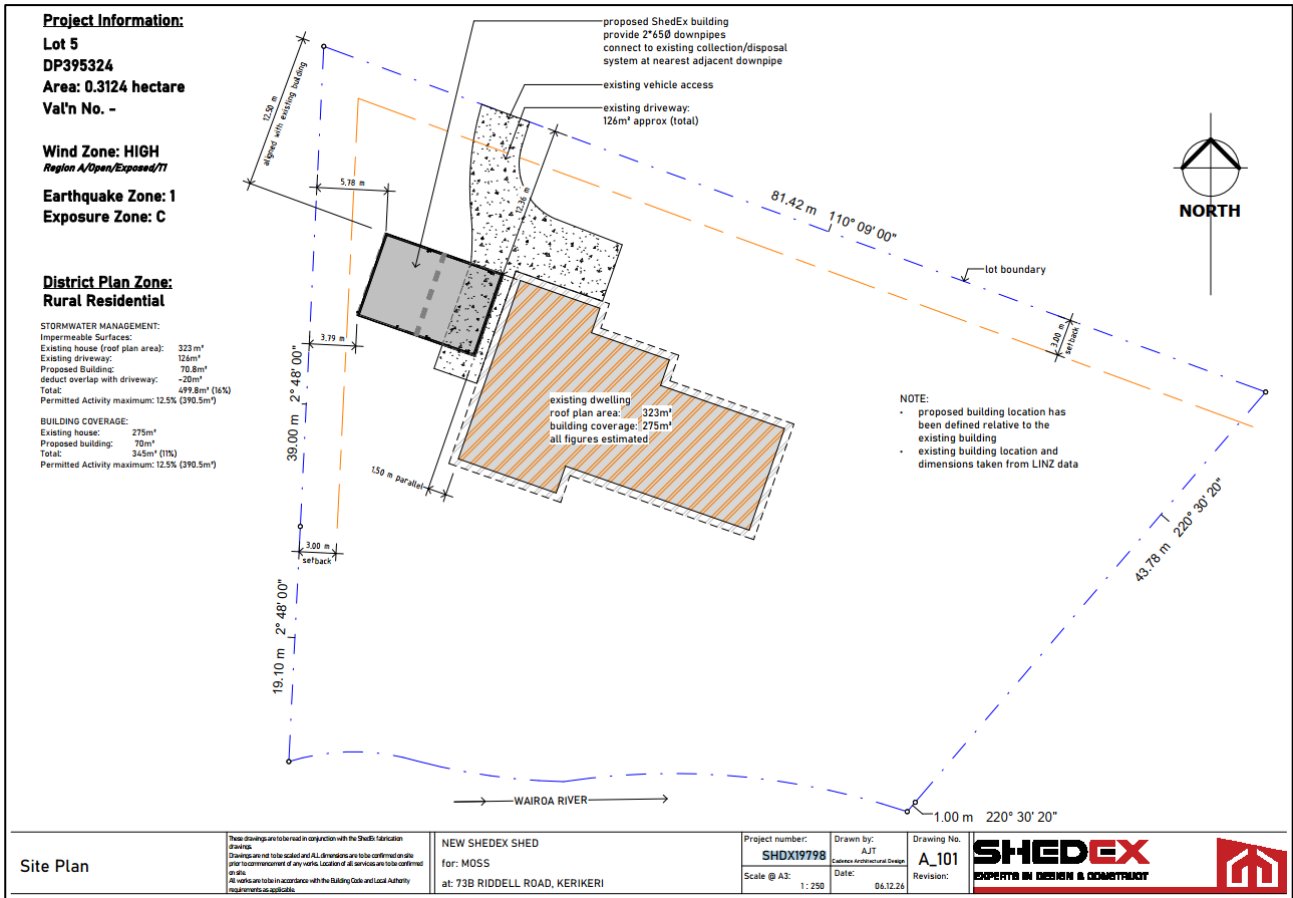


Figure 2: Snip of site plan by SHEDEX (Ref No: SHDX19798, dated: 06.12.2025)

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the increased impermeable areas associated with the proposed development.

**5. ASSESSMENT CRITERIA**

**Impermeable Areas**

The calculations for the stormwater system for the development are based on a gross site area of 3,124m<sup>2</sup> and the below areas extracted from the supplied plans:

	Pre-Development	Post-Development	Total Change
<b>Total Roof Area</b>	<b>323 m<sup>2</sup></b>	<b>473.8 m<sup>2</sup></b>	
Existing Dwelling	323 m <sup>2</sup>	323 m <sup>2</sup>	150.8 m <sup>2</sup>
Proposed Shed	0 m <sup>2</sup>	70.8 m <sup>2</sup>	
Future Patio	0 m <sup>2</sup>	80 m <sup>2</sup>	
<b>Existing Uncovered Driveway</b>	<b>140 m<sup>2</sup></b>	<b>106 m<sup>2</sup></b>	
Pervious	2,661 m <sup>2</sup>	2,624.2 m <sup>2</sup>	-36.8 m <sup>2</sup>

The total amount of impermeable area on-site, post-development, equates to 579.8m<sup>2</sup> or 18.6% of the site area. The total increase in impermeable area on-site, post-development, equates to 36.8m<sup>2</sup> (116.8m<sup>2</sup> with future patio). Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

### ***District Plan Rules***

The site is zoned Rural Living. The following rules apply under the FNDC District Plan:

8.7.5.1.5 – **Permitted Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 12.5% or 3,000m<sup>2</sup>, whichever is the lesser.

8.7.5.2.2 – **Controlled Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 20% or 3300m<sup>2</sup>, whichever is the lesser.

The total proposed/future impermeable area exceeds 12.5% and does not comply with Permitted Activity Rule (8.7.5.1.5). Therefore, the proposal is considered a **Controlled Activity**. Additional considerations for stormwater management as outlined in the FNDC District Plan Section 8.7.5.2.2 are required. A District Plan Assessment has been included in Section 8 of this report.

### ***Design Requirements***

The site is under the jurisdiction of the Far North District Council. The design has been completed in accordance with the recommendations and requirements contained within the Far North District Council Engineering Standards, the Far North District Council District Plan and Clause E1 of the New Zealand Building Code.

In accordance with Table 4-1 of the Engineering Standards, Flood Control attenuation will be provided for the proposed impermeable areas in excess of the permitted activity threshold. The Type IA storm profile was utilised for Flood Control calculations in accordance with TR-55. HydroCAD<sup>®</sup> software has been utilised in design for a 1% AEP rainfall value of 330mm with a 24-hour duration utilised for calculations. Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.

## **6. STORMWATER MITIGATION ASSESSMENT**

To meet the requirements outlined in Section 5, the following must be provided:

### ***Stormwater Mitigation – Roof***

It is our understanding that the existing dwelling is serviced by two potable water tanks consisting of a 30,000L rainwater tank and a 25,000L rainwater tank which will be referred to herein as Tank A and Tank B respectively. Refer to the appended Site Plan (145119-C200) for clarification.

A proprietary guttering system is required to collect roof runoff from the proposed shed's roof area and direct runoff to Tank A. A first flush diverter and/or leaf filters may be installed in-line between the gutters and the tank inlet. The tank inlet level should be at least 600mm below the gutter inlet and any in-line filters. Any filters will require regular inspection and cleaning to ensure the effective operation of the system. The frequency of cleaning will depend on current and future plantings around the existing / proposed roof areas.

Tank A is connected to Tank B via an overflow pipe. The upper section of Tank B is to act as a detention volume to achieve Flood Control for the proposed impermeable areas in excess of the permitted activity level.

As per the attached design calculations, Tank B's existing overflow should be fitted with a flow attenuation outlet as specified below:

Existing Tank	1 x 25,000 litre Rainwater Tank
Tank Dimensions	3600mmØ (or greater) x 2600mm high (or greater)
Outlet Orifice (1% AEP Control)	<b>80mm diameter orifice</b> ; located <u>&gt;310mm below the overflow outlet</u> <ul style="list-style-type: none"><li>- 305mm water elevation</li><li>- 6.2m<sup>3</sup> storage</li></ul>
Overflow Outlet	<b>100mm diameter</b> ; located at the top of the tank

It is recommended that the discharge location and operational condition of Tank B's existing outlet to the stream (located to the south of the site) be verified. This should include confirmation that the outlet structure is structurally sound, free of obstruction, and fitted with minimum 6-inch riprap apron extending a minimum 2m downstream of the discharge point to provide adequate erosion protection.

If the existing outlet is confirmed to be in good operational condition and compliant with the above requirements, it may continue to be utilised. However, if the outlet is found to be deteriorated, undersized, inadequately protected against erosion, or otherwise not fit for purpose, it shall be upgraded or replaced with a dispersal device located to the west of Tank B. Refer to the appended Site Plan (145119-C200), Tank Detail (145119-C201), Dispersal Device Detail (145119-C202) and calculation set for clarification. The dispersal device is to have the following specifications:

- Minimum 7m dispersal bar length and 100mm bar diameter,
- Dispersal bar to be installed parallel to the property's topography,
- The dispersal bar is to be installed well clear and downslope of wastewater effluent fields,
- Dispersal bar installed maximum 150mm above ground level via waratah standards & stainless wire or plastic clips,
- 15mmØ outlet holes drilled at 100mm centres along the bar,
- Both ends of dispersal bar fitted with a screw cap installed for maintenance / cleaning access.

#### ***Stormwater Mitigation – Future Patio***

Any future impervious surfaces are to be graded to promote sheet flow over adjacent permeable ground, discharging toward existing swales or drainage paths and directed away from buildings. Where this cannot be achieved, runoff from hardstand areas shall be collected via appropriately designed catchpits and conveyed to the proposed stormwater dispersal system.

**7. STORMWATER RUNOFF SUMMARY**

Refer to the appended HydroCAD Calculation output.

**PROPOSED DEVELOPMENT**

*Maximum Permitted Threshold Peak Flows –1% AEP Storm Event + CCF*

Surface	Area	Runoff CN	1% AEP Peak Flow Rate
Maximum Permitted Impermeable Area	390.5 m <sup>2</sup>	98	10.69ℓ/s
Remaining Greenfields	109.3 m <sup>2</sup>	74	

*Post-Development Scenario –1% AEP Storm Event + CCF*

Surface	Area	Runoff CN	1% AEP Peak Flow Rate
Existing Dwelling & Proposed Shed directed to potable water tanks fitted with attenuation outlet	393.8 m <sup>2</sup>	98	8.95ℓ/s
Existing Driveway	106 m <sup>2</sup>	98	

**FUTURE DEVELOPMENT**

*Maximum Permitted Threshold Peak Flows –1% AEP Storm Event + CCF*

Surface	Area	Runoff CN	1% AEP Peak Flow Rate
Maximum Permitted Impermeable Area	390.5 m <sup>2</sup>	98	12.17ℓ/s
Remaining Greenfields	189.3 m <sup>2</sup>	74	

*Post-Development Scenario –1% AEP Storm Event + CCF*

Surface	Area	Runoff CN	1% AEP Peak Flow Rate
Existing Dwelling & Proposed Shed directed to potable water tanks fitted with attenuation outlet	393.8 m <sup>2</sup>	98	10.63ℓ/s
Future Patio	80 m <sup>2</sup>	98	
Existing Driveway	106 m <sup>2</sup>	98	

Given the design parameters, Flood Control will be achieved for the proposed impermeable areas in excess of the permitted activity threshold for both scenarios.

**8. DISTRICT PLAN ASSESSMENT**

As the proposed development is not compliant with permitted Activity Rule (8.7.5.1.5), it is therefore regarded as a Controlled Activity.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (i) of FNDCDP Section 8.7.5.2.2.

In respect of matters (a) through (i), we provide the following comments:

<i>(a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;</i>	Impermeable surfaces resulting from the development increase site impermeability by 36.8m <sup>2</sup> (116.8m <sup>2</sup> with future patio). Through tank attenuation runoff resulting from the existing / proposed development is to be attenuated back to permitted flows for the 1% AEP storm event, adjusted for climate change.
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<p><i>(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;</i></p>	<p>The proposal incorporates Low Impact Design principles by minimising new impermeable surfaces, retaining existing pervious areas, and utilising dual-purpose rainwater tanks for both water reuse and stormwater detention. These measures reduce runoff volumes and attenuate peak flows to levels consistent with the permitted activity threshold, representing an appropriate LID response for the site.</p>
<p><i>(c) any cumulative effects on total catchment impermeability;</i></p>	<p>Impervious coverage will increase by 36.8m<sup>2</sup> (116.8m<sup>2</sup> with future patio).</p>
<p><i>(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;</i></p>	<p>Runoff resulting from the existing / proposed impermeable areas is to be collected and directed to stormwater management devices and then to the existing / new outlet point via sealed pipes. This should not worsen the ability of natural ground to absorb water in normal conditions.</p>
<p><i>(e) the physical qualities of the soil type;</i></p>	<p>Kerikeri Volcanic Group – moderate drainage</p>
<p><i>(f) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;</i></p>	<p>Runoff resulting from the existing / proposed impermeable areas is to be collected and directed to stormwater management devices and then to the existing / new stormwater outlet via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils. It is recommended that the existing effluent field be inspected and location confirmed to be clear of the development.</p>
<p><i>(g) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;</i></p>	<p>Existing driveway is necessary to provide the existing dwelling and proposed shed with access and are not considered excessive.</p>
<p><i>(h) the extent to which land scaping and vegetation may reduce adverse effects of run-off;</i></p>	<p>Existing vegetation and any plantings introduced by the owner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.</p>
<p><i>i) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold;</i></p>	<p>Through tank attenuation runoff resulting from the existing / proposed development is to be attenuated back to permitted flows for the 1% AEP storm event, adjusted for climate change.</p>

## 9. NOTES

If any of the design specifications mentioned in the previous sections are altered or found to be different than what is described in this report, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (145119-C200, 145119-C201 & 145119-C202).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system.

Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

**Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.**

## 10. OPERATION & MAINTENANCE

The owner shall be responsible for the ongoing inspection and maintenance of the stormwater mitigation system to ensure it continues to operate as intended. This shall include periodic inspection and cleaning of roof gutters, leaf guards, first-flush devices, rainwater tanks, flow-control orifices, catchpits, silt traps, and the discharge outlet to prevent blockage, sediment build-up, or erosion. The attenuation orifice shall be checked regularly to confirm it remains unobstructed, particularly following heavy rainfall events. Any damaged or eroded components shall be repaired promptly to maintain system performance and prevent adverse downstream effects.

## 11. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. The secondary stormwater system, Overland Flow Paths (OLFP), geotechnical requirements, vehicular access and the consideration of road/street water flooding are not within the scope of this report.

All drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

Wilton Joubert Ltd.



Gustavo Brant  
Civil Engineer  
BE(Hons)

## REPORT ATTACHMENTS

- Site Plan - C200 (1 sheet)
- Tank Detail – C201 (1 sheet)
- Dispersal Device Detail – C202 (1 sheet)
- Calculation Set



- NOTES:**
1. SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
  2. BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
  3. ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
  4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.
  5. IMPERVIOUS SURFACES FOR MITIGATION:
    - SITE AREA = 3,124m<sup>2</sup>
    - TOTAL ROOF COVER = 393.8m<sup>2</sup>
    - EXISTING DRIVEWAY = 106m<sup>2</sup>
    - FUTURE PATIO = 80m<sup>2</sup>



**WILTON JOUBERT**  
Consulting Engineers

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Christchurch: 021 824 063  
Wanaka: 03 443 6209  
www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	FEB '26	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY:  
GMB

DRAWN BY:  
GMB

CHECKED BY:  
BGS

SURVEYED BY:  
N/A

**SERVICES NOTE**  
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

**BUILDING CONSENT**  
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:  
**SITE PLAN**

PROJECT DESCRIPTION:  
**STORMWATER MITIGATION REPORT**

PROJECT TITLE:  
**LOT 5 DP 395324  
73B RIDDELL ROAD  
KERIKERI  
NORTHLAND**

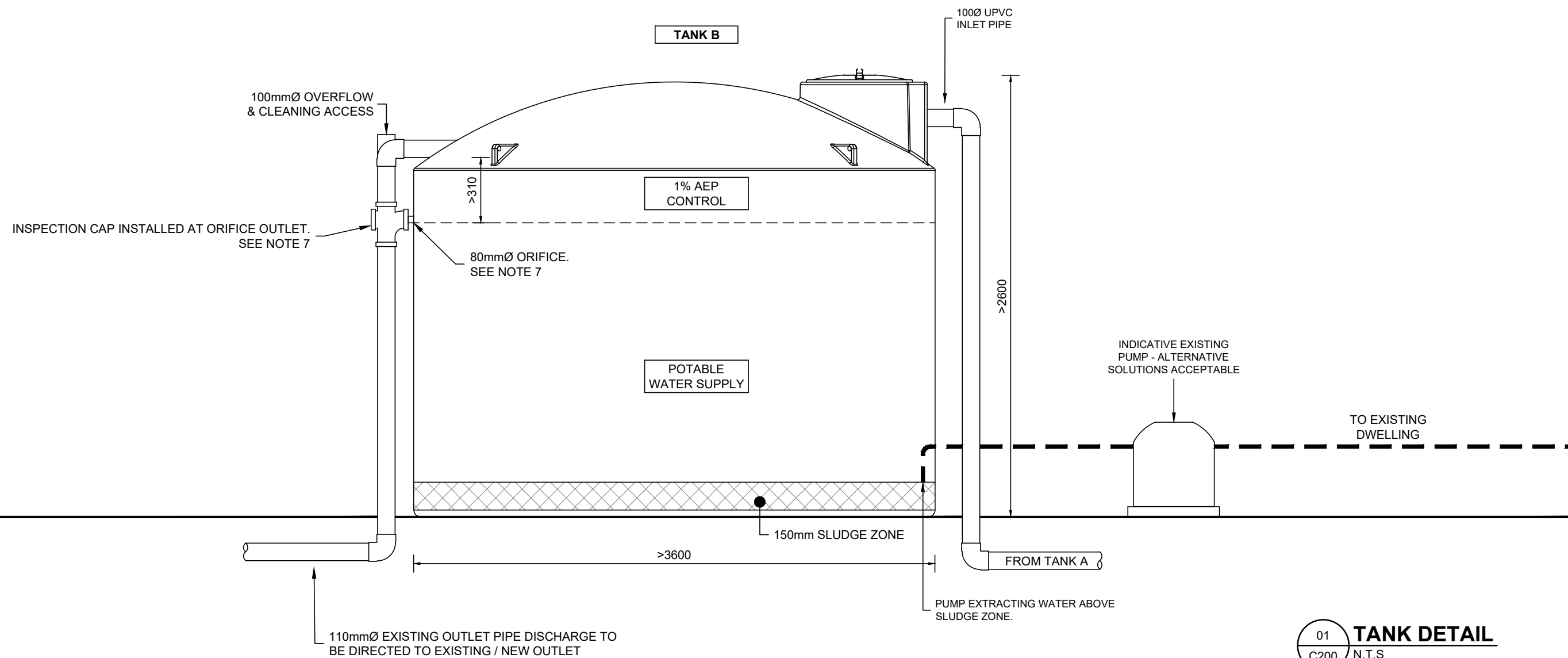
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**NOTES:**

1. NOT TO SCALE. DRAWN INDICATIVELY ONLY.
2. ALL LEVELS & DIMENSIONS TO BE CONFIRMED ON SITE & ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. TANK TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & RELEVANT COUNCIL STANDARDS.
4. REGULAR INSPECTION & CLEANING IS REQUIRED TO ENSURE THE EFFECTIVE OPERATION OF THE SYSTEM.
5. ALL ORIFICE OUTLETS TO BE COVERED WITH STAINLESS STEEL OR NYLON MESH.
6. ASSUMED USE OF A 1 x 25,000 LITRE PLASTIC WATER TANK OR APPROVED EQUIVALENT.

**PLASTIC TANKS NOTES:**

7. ALL OUTLETS / PENETRATIONS UNDER PRESSURE TO BE INSTALLED / APPROVED BY THE MANUFACTURER TO KEEP WARRANTY.



01 **TANK DETAIL**  
C200 N.T.S

**WILTON JOUBERT**  
Consulting Engineers  
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ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
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DESIGNED BY:	GMB
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**BUILDING CONSENT**

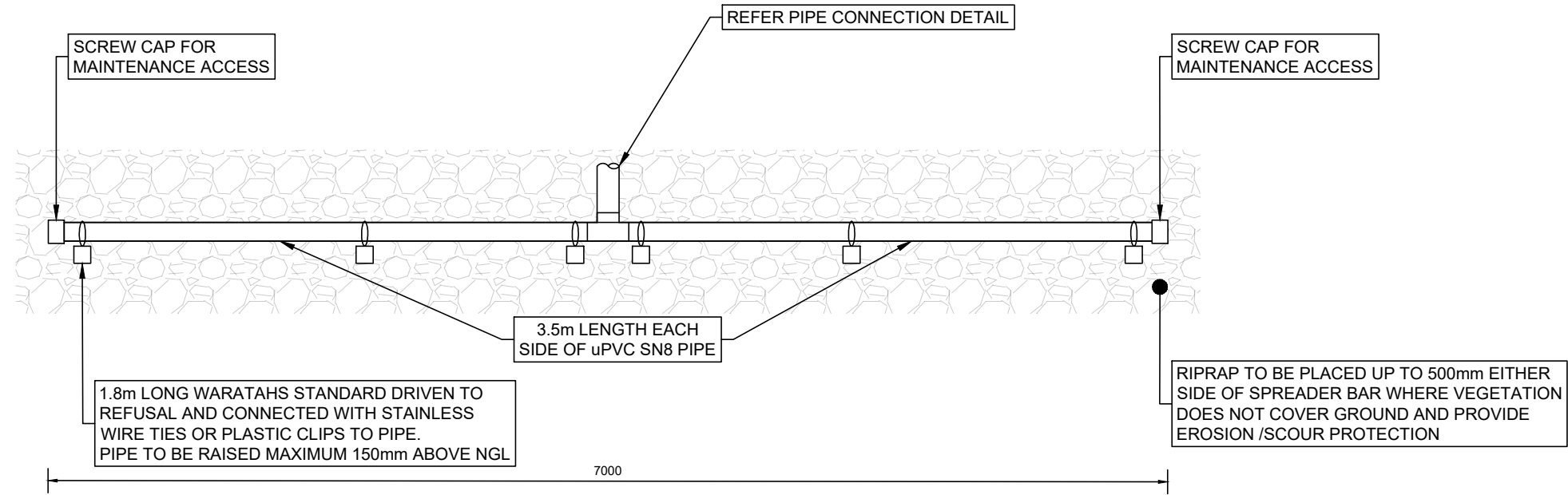
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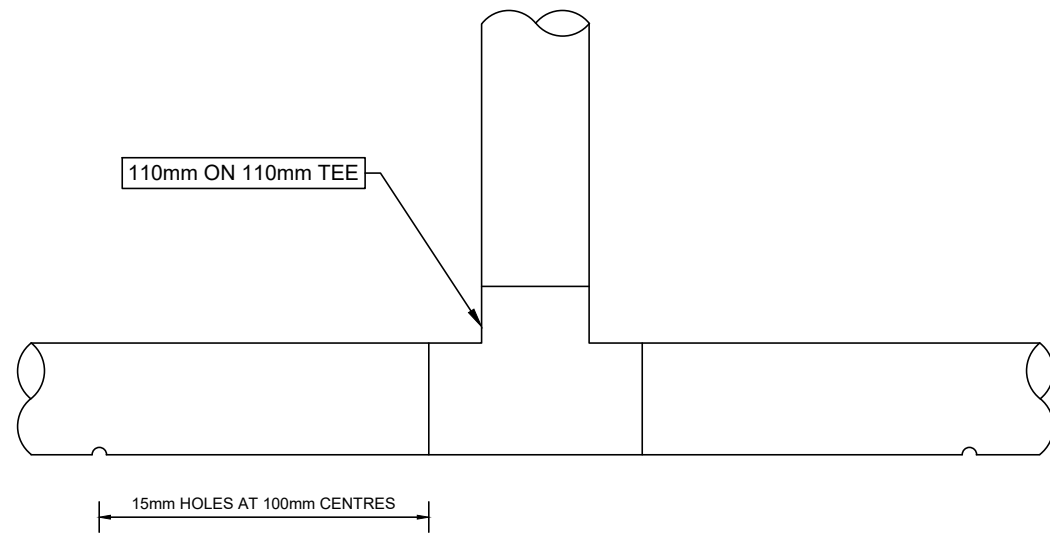
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**STORMWATER MITIGATION REPORT**

PROJECT TITLE:  
**LOT 5 DP 395324  
73B RIDDELL ROAD  
KERIKERI  
NORTHLAND**

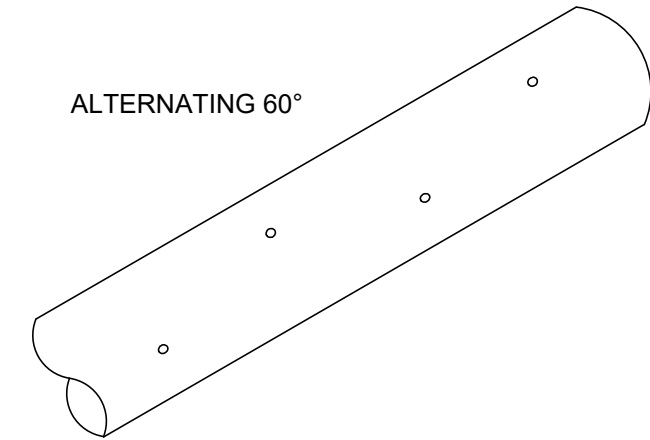
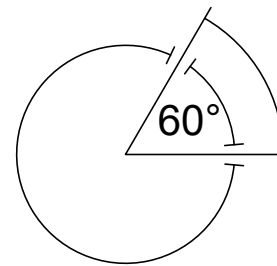
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PLAN



PIPE CONNECTION DETAIL



PIPE OUTLET HOLE ARRANGEMENT DETAIL

02 DISPERSAL DEVICE DETAIL  
C200 N.T.S

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	FEB '26	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY:	GMB
DRAWN BY:	GMB
CHECKED BY:	BGS
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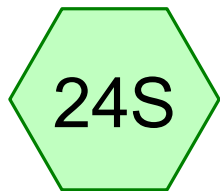
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**TANK DETAIL**

PROJECT DESCRIPTION:  
**STORMWATER MITIGATION REPORT**

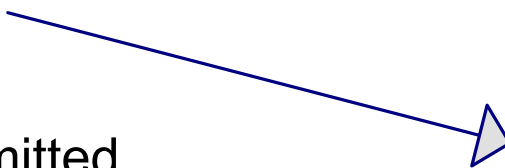
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73B RIDDELL ROAD  
KERIKERI  
NORTHLAND**

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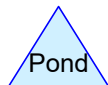
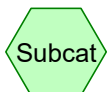
***Permitted Activity  
Peak Flows -  
PROPOSED***



Maximum Permitted  
Threshold



Maximum Permitted  
Flows



**Summary for Subcatchment 24S: Maximum Permitted Threshold**

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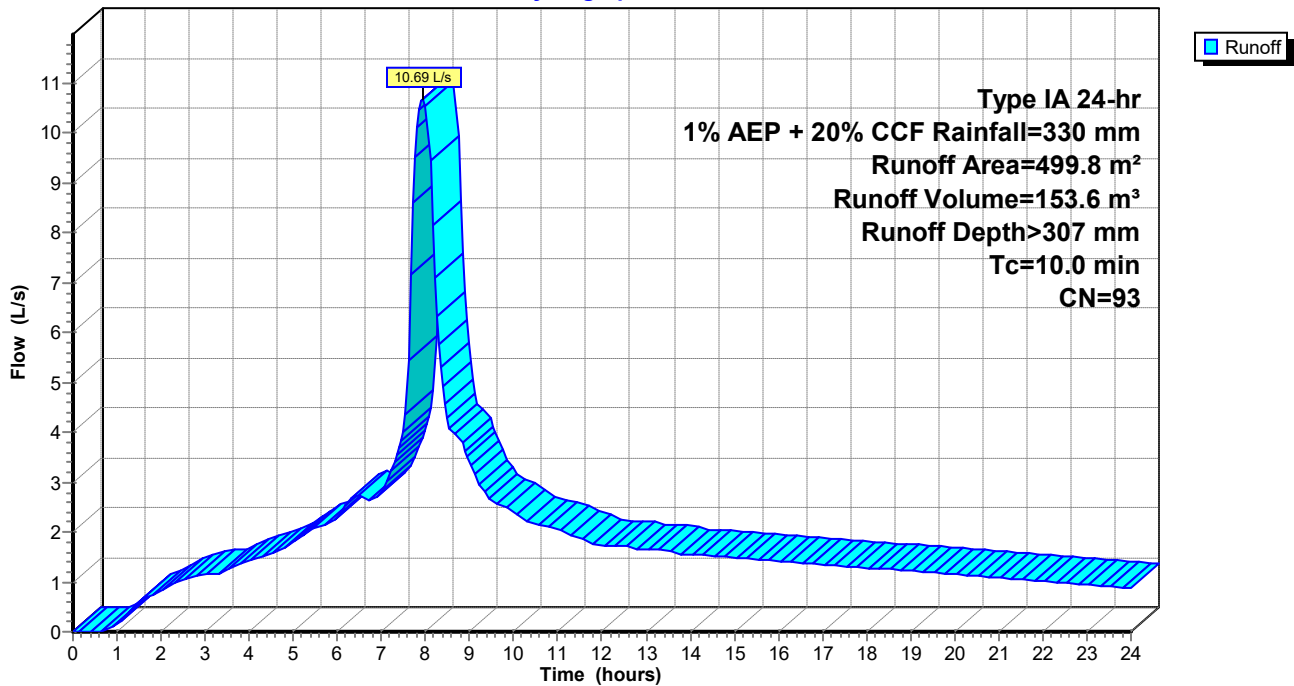
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
109.3	74	>75% Grass cover, Good, HSG C
390.5	98	Roofs, HSG C
499.8	93	Weighted Average
109.3		21.87% Pervious Area
390.5		78.13% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

**Subcatchment 24S: Maximum Permitted Threshold**

Hydrograph



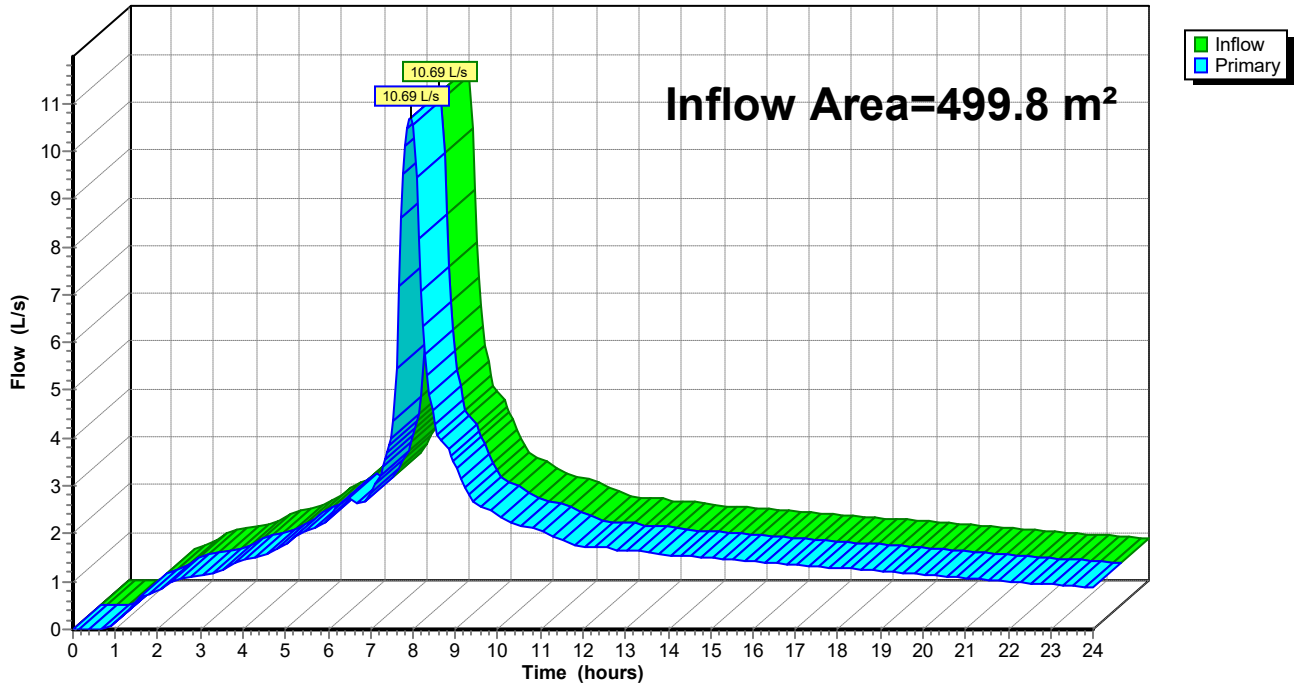
### Summary for Link 32L: Maximum Permitted Flows

Inflow Area = 499.8 m<sup>2</sup>, 78.13% Impervious, Inflow Depth > 307 mm for 1% AEP + 20% CCF event  
Inflow = 10.69 L/s @ 7.94 hrs, Volume= 153.6 m<sup>3</sup>  
Primary = 10.69 L/s @ 7.94 hrs, Volume= 153.6 m<sup>3</sup>, Atten= 0%, Lag= 0.0 min

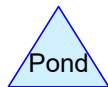
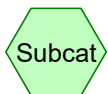
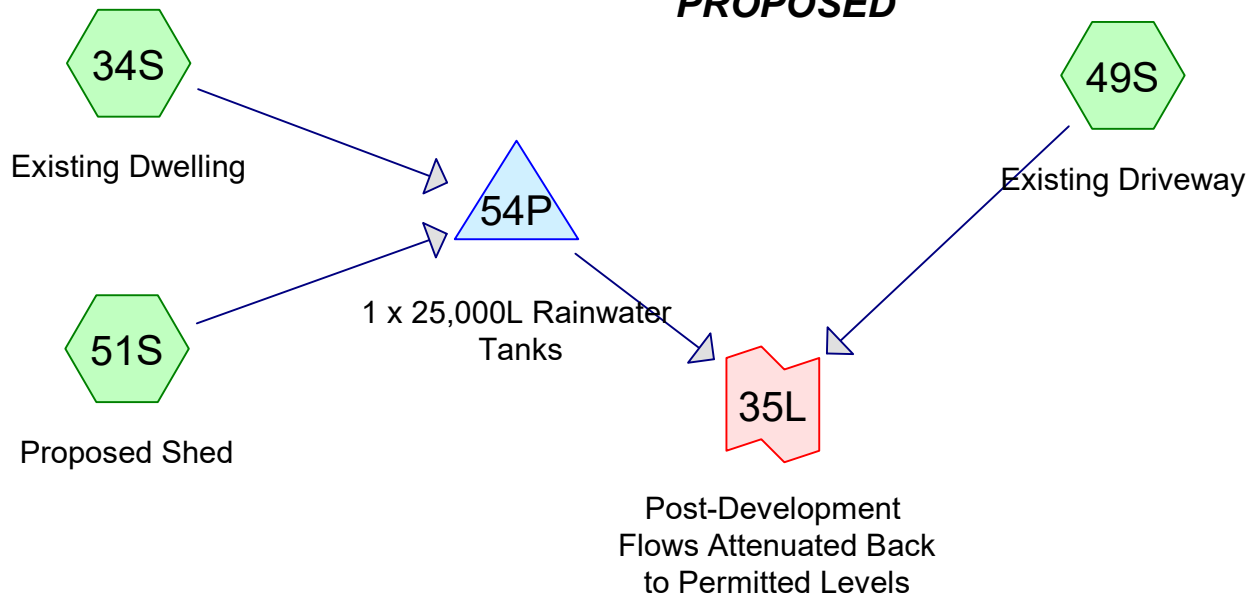
Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

### Link 32L: Maximum Permitted Flows

Hydrograph



**Post-Development -  
PROPOSED**



### Summary for Subcatchment 34S: Existing Dwelling

Runoff = 7.03 L/s @ 7.94 hrs, Volume= 104.3 m<sup>3</sup>, Depth> 323 mm

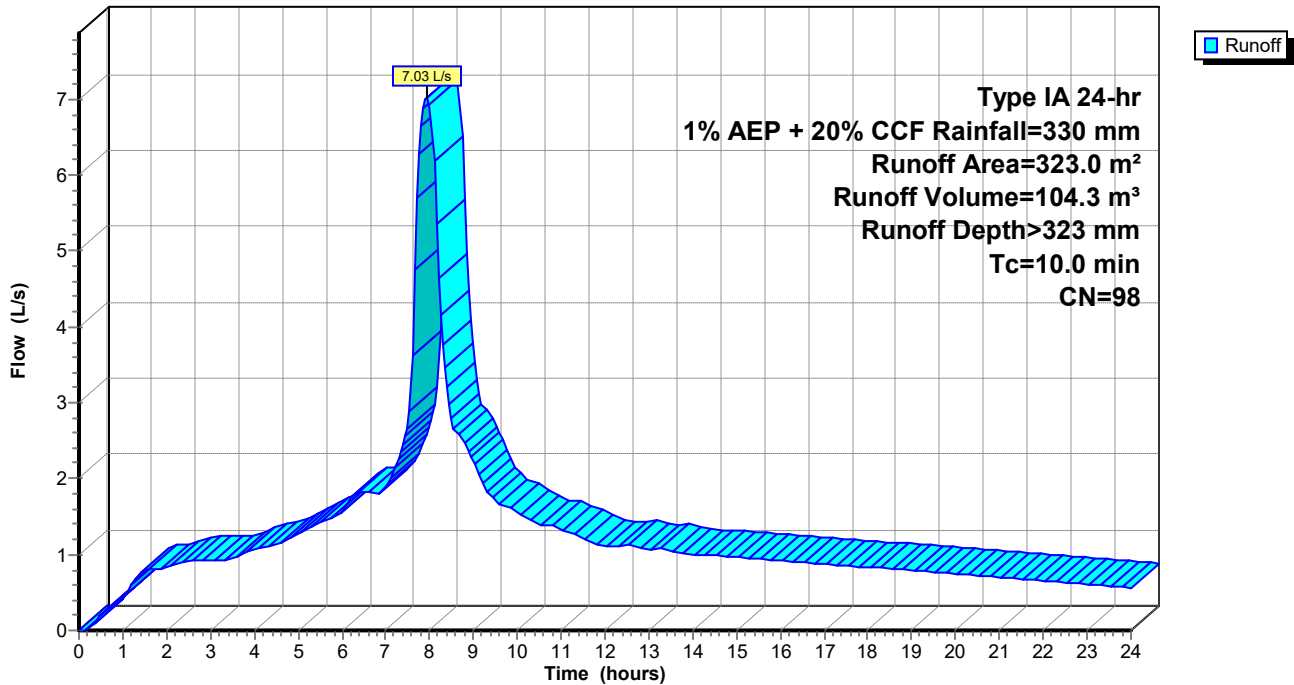
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
323.0	98	Roofs, HSG C
323.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

### Subcatchment 34S: Existing Dwelling

Hydrograph



**Summary for Subcatchment 49S: Existing Driveway**

Runoff = 2.31 L/s @ 7.94 hrs, Volume= 34.2 m<sup>3</sup>, Depth> 323 mm

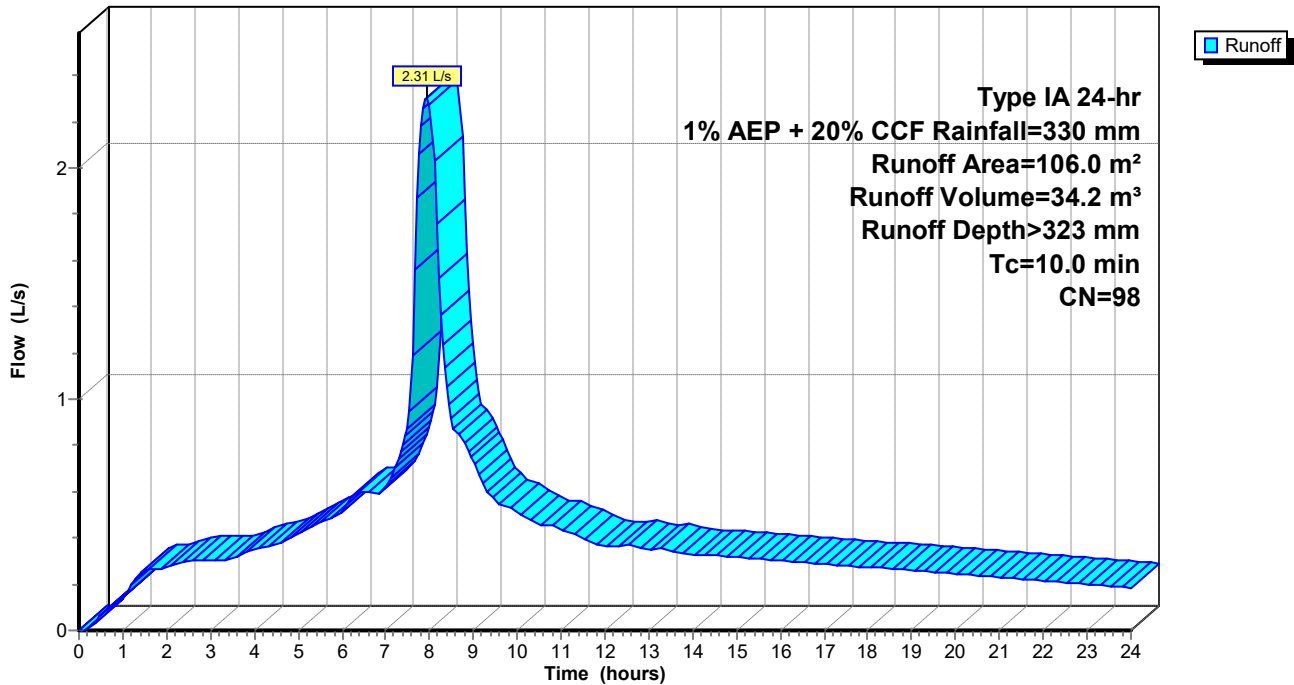
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
106.0	98	Roofs, HSG C
106.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

**Subcatchment 49S: Existing Driveway**

Hydrograph



### Summary for Subcatchment 51S: Proposed Shed

Runoff = 1.54 L/s @ 7.94 hrs, Volume= 22.9 m<sup>3</sup>, Depth> 323 mm

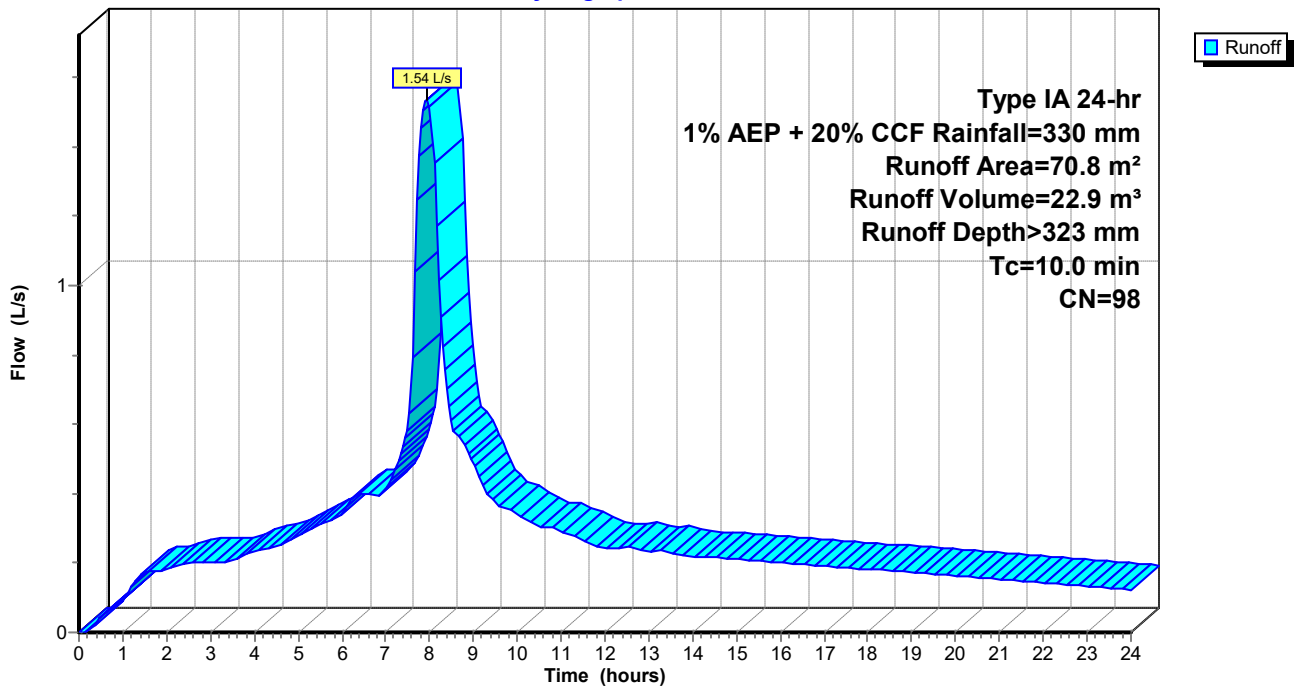
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
70.8	98	Roofs, HSG C
70.8		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

### Subcatchment 51S: Proposed Shed

Hydrograph



**Summary for Pond 54P: 1 x 25,000L Rainwater Tanks**

Inflow Area = 393.8 m<sup>2</sup>, 100.00% Impervious, Inflow Depth > 323 mm for 1% AEP + 20% CCF event  
 Inflow = 8.57 L/s @ 7.94 hrs, Volume= 127.2 m<sup>3</sup>  
 Outflow = 6.88 L/s @ 8.13 hrs, Volume= 126.6 m<sup>3</sup>, Atten= 20%, Lag= 11.8 min  
 Primary = 6.88 L/s @ 8.13 hrs, Volume= 126.6 m<sup>3</sup>

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Peak Elev= 0.305 m @ 8.13 hrs Surf.Area= 20.4 m<sup>2</sup> Storage= 6.2 m<sup>3</sup>

Plug-Flow detention time= 12.5 min calculated for 126.3 m<sup>3</sup> (99% of inflow)  
 Center-of-Mass det. time= 8.4 min ( 651.7 - 643.3 )

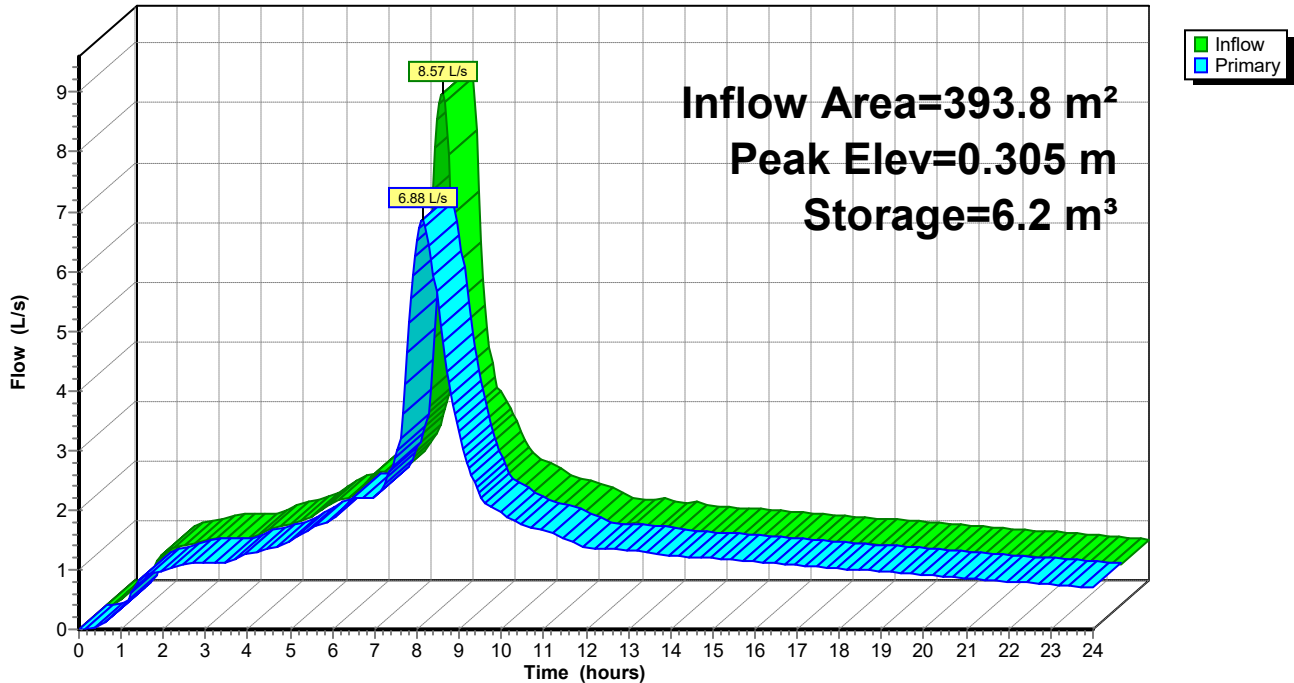
Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	52.9 m <sup>3</sup>	<b>3.60 mD x 2.60 mH Vertical Cone/Cylinder x 2</b>

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	<b>80 mm Vert. Orifice/Grate C= 0.600</b>

**Primary OutFlow** Max=6.87 L/s @ 8.13 hrs HW=0.304 m (Free Discharge)  
 ←1=Orifice/Grate (Orifice Controls 6.87 L/s @ 1.37 m/s)

**Pond 54P: 1 x 25,000L Rainwater Tanks**

Hydrograph

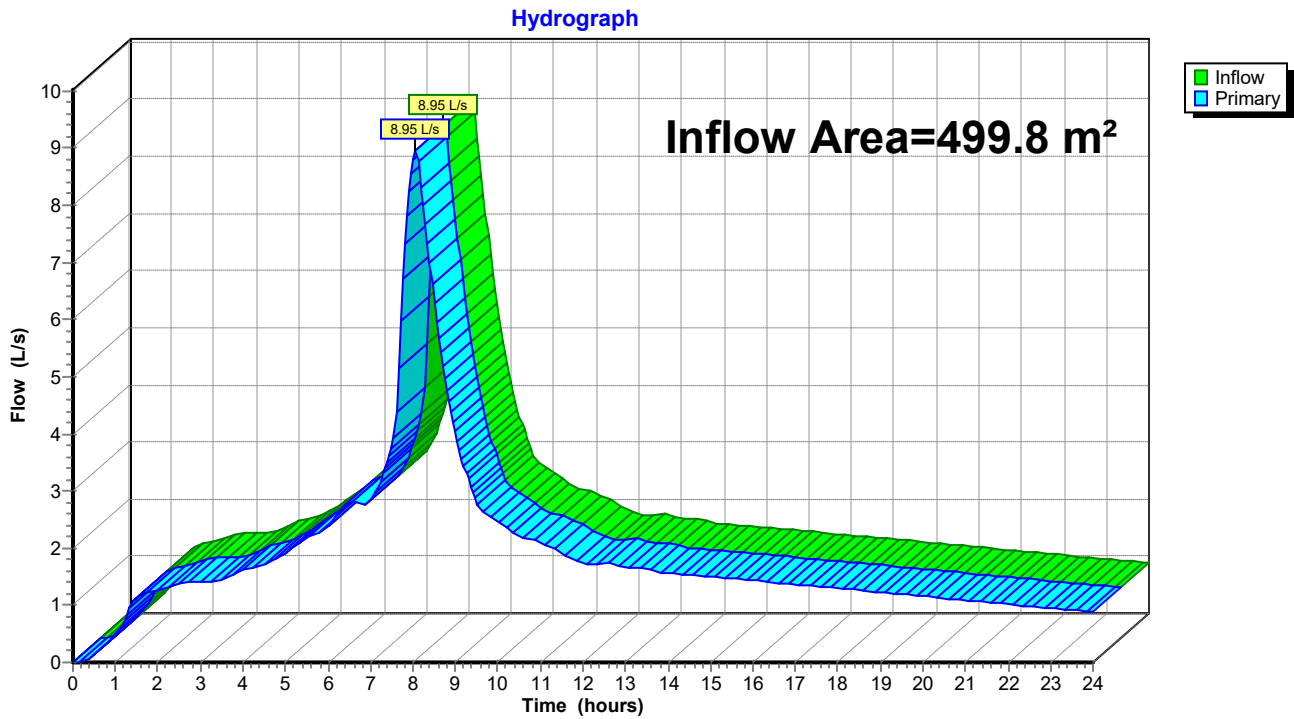


### Summary for Link 35L: Post-Development Flows Attenuated Back to Permitted Levels

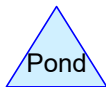
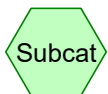
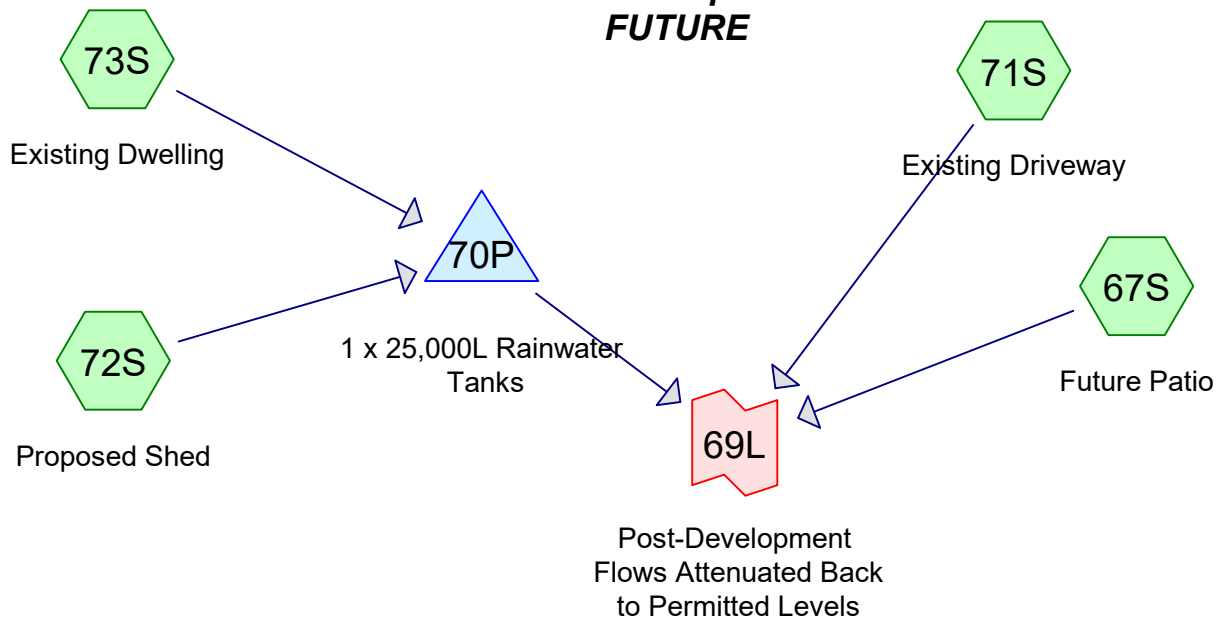
Inflow Area = 499.8 m<sup>2</sup>, 100.00% Impervious, Inflow Depth > 322 mm for 1% AEP + 20% CCF event  
Inflow = 8.95 L/s @ 8.06 hrs, Volume= 160.8 m<sup>3</sup>  
Primary = 8.95 L/s @ 8.06 hrs, Volume= 160.8 m<sup>3</sup>, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

### Link 35L: Post-Development Flows Attenuated Back to Permitted Levels



**Post-Development -  
FUTURE**



**Summary for Subcatchment 67S: Future Patio**

Runoff = 1.74 L/s @ 7.94 hrs, Volume= 25.8 m<sup>3</sup>, Depth> 323 mm

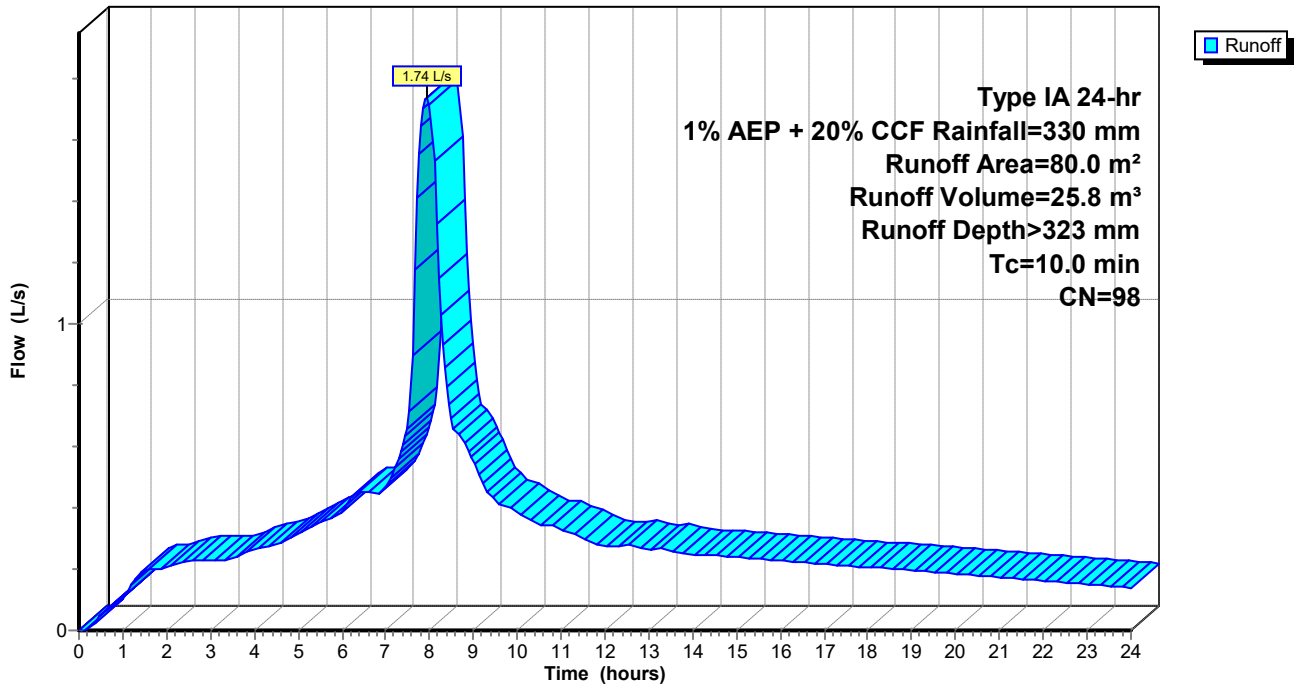
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
80.0	98	Roofs, HSG C
80.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

**Subcatchment 67S: Future Patio**

Hydrograph



### Summary for Subcatchment 71S: Existing Driveway

Runoff = 2.31 L/s @ 7.94 hrs, Volume= 34.2 m<sup>3</sup>, Depth> 323 mm

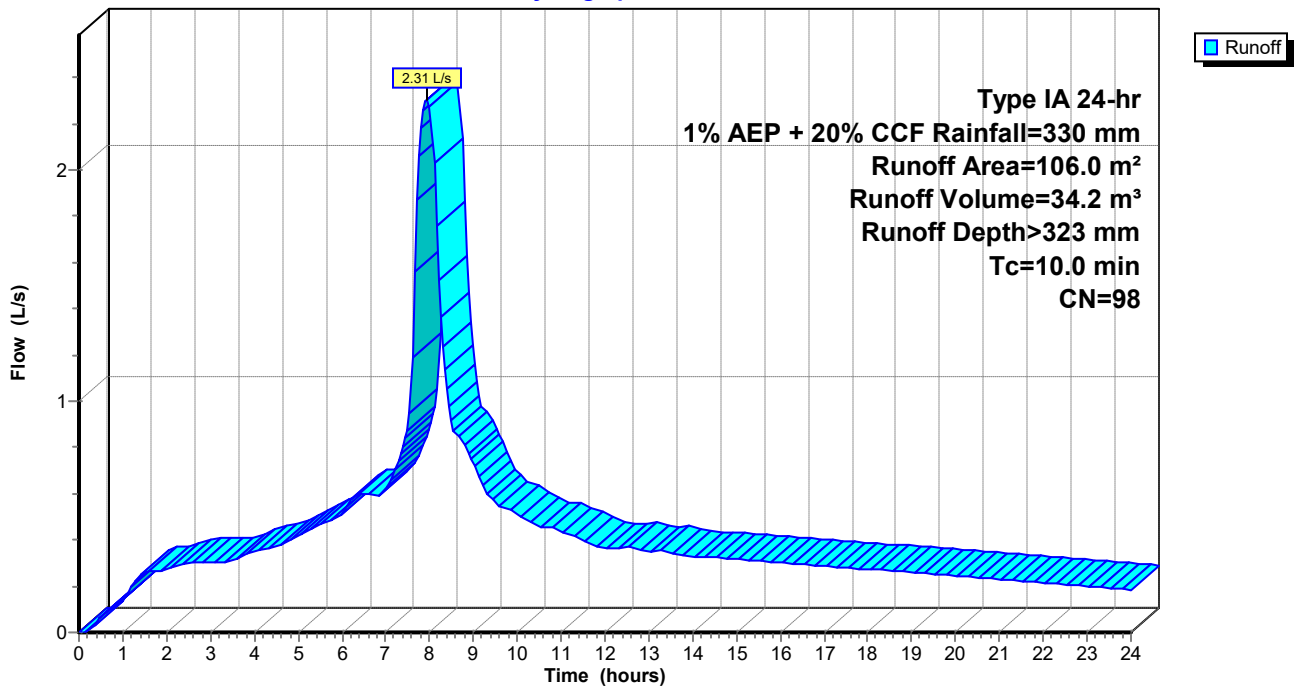
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
106.0	98	Roofs, HSG C
106.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

### Subcatchment 71S: Existing Driveway

Hydrograph



### Summary for Subcatchment 72S: Proposed Shed

Runoff = 1.54 L/s @ 7.94 hrs, Volume= 22.9 m<sup>3</sup>, Depth> 323 mm

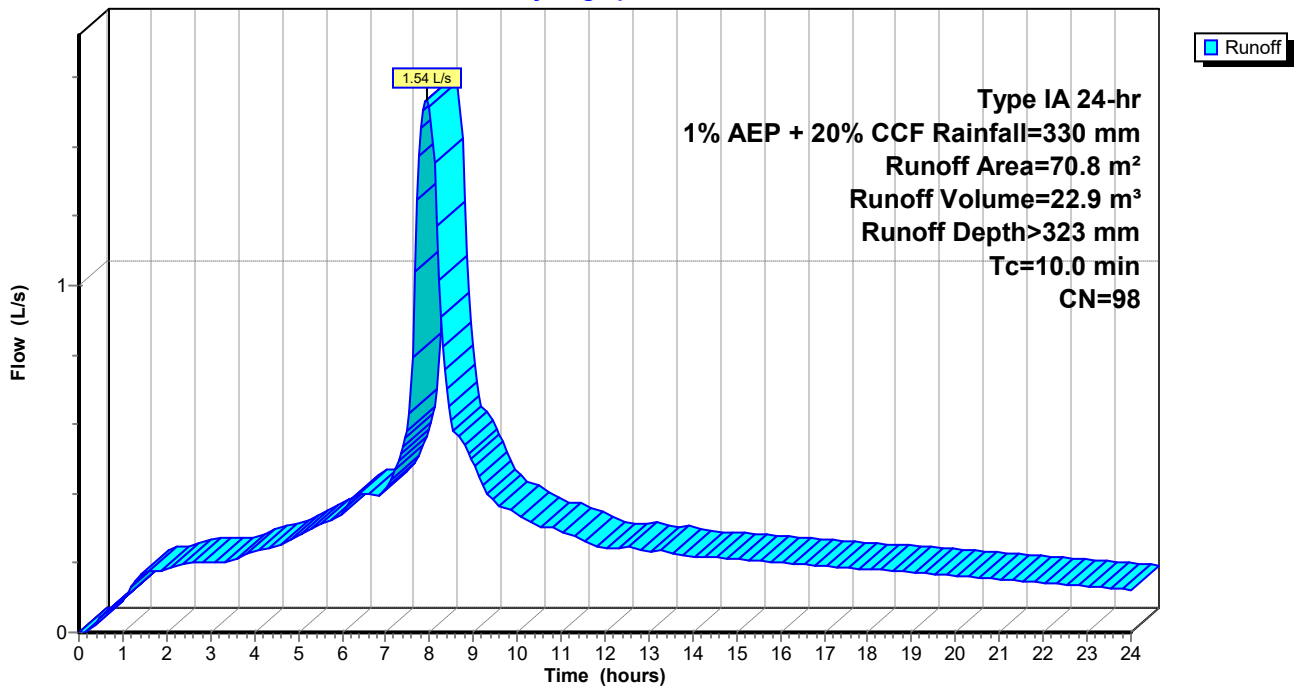
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
70.8	98	Roofs, HSG C
70.8		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

### Subcatchment 72S: Proposed Shed

Hydrograph



**Summary for Subcatchment 73S: Existing Dwelling**

Runoff = 7.03 L/s @ 7.94 hrs, Volume= 104.3 m<sup>3</sup>, Depth> 323 mm

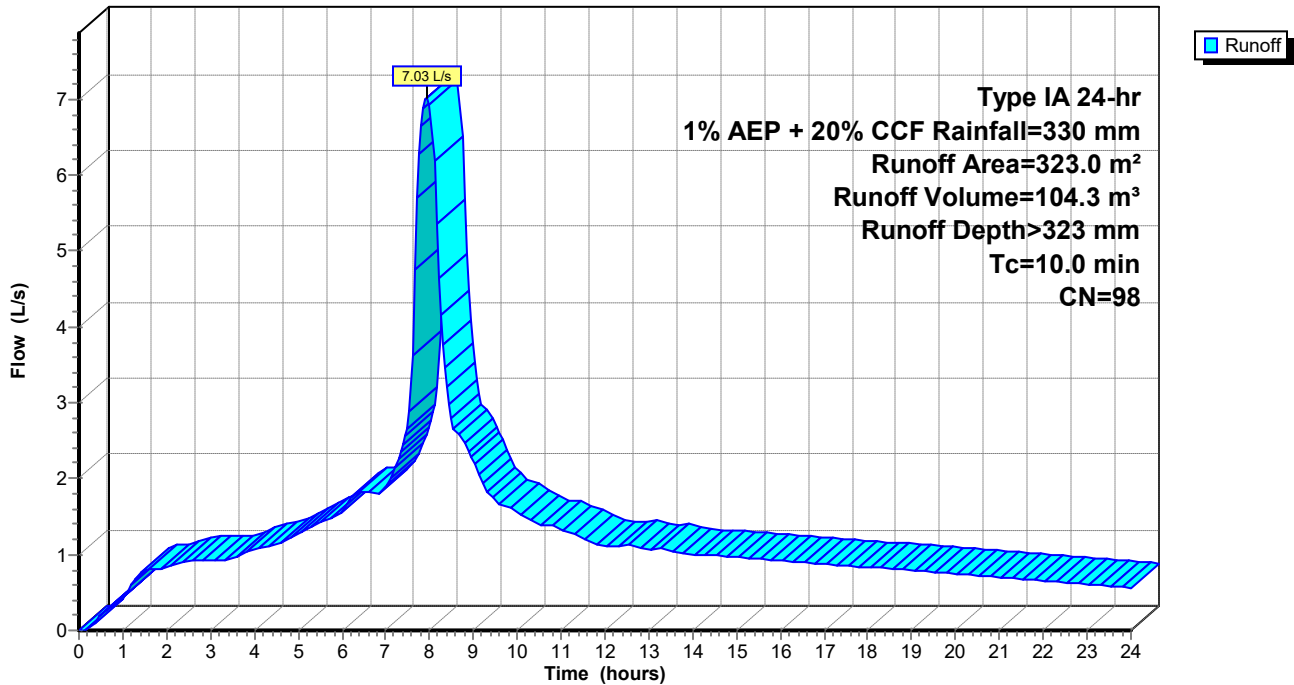
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
323.0	98	Roofs, HSG C
323.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

**Subcatchment 73S: Existing Dwelling**

Hydrograph



### Summary for Pond 70P: 1 x 25,000L Rainwater Tanks

Inflow Area = 393.8 m<sup>2</sup>, 100.00% Impervious, Inflow Depth > 323 mm for 1% AEP + 20% CCF event  
 Inflow = 8.57 L/s @ 7.94 hrs, Volume= 127.2 m<sup>3</sup>  
 Outflow = 6.88 L/s @ 8.13 hrs, Volume= 126.6 m<sup>3</sup>, Atten= 20%, Lag= 11.8 min  
 Primary = 6.88 L/s @ 8.13 hrs, Volume= 126.6 m<sup>3</sup>

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Peak Elev= 0.305 m @ 8.13 hrs Surf.Area= 20.4 m<sup>2</sup> Storage= 6.2 m<sup>3</sup>

Plug-Flow detention time= 12.5 min calculated for 126.3 m<sup>3</sup> (99% of inflow)  
 Center-of-Mass det. time= 8.4 min ( 651.7 - 643.3 )

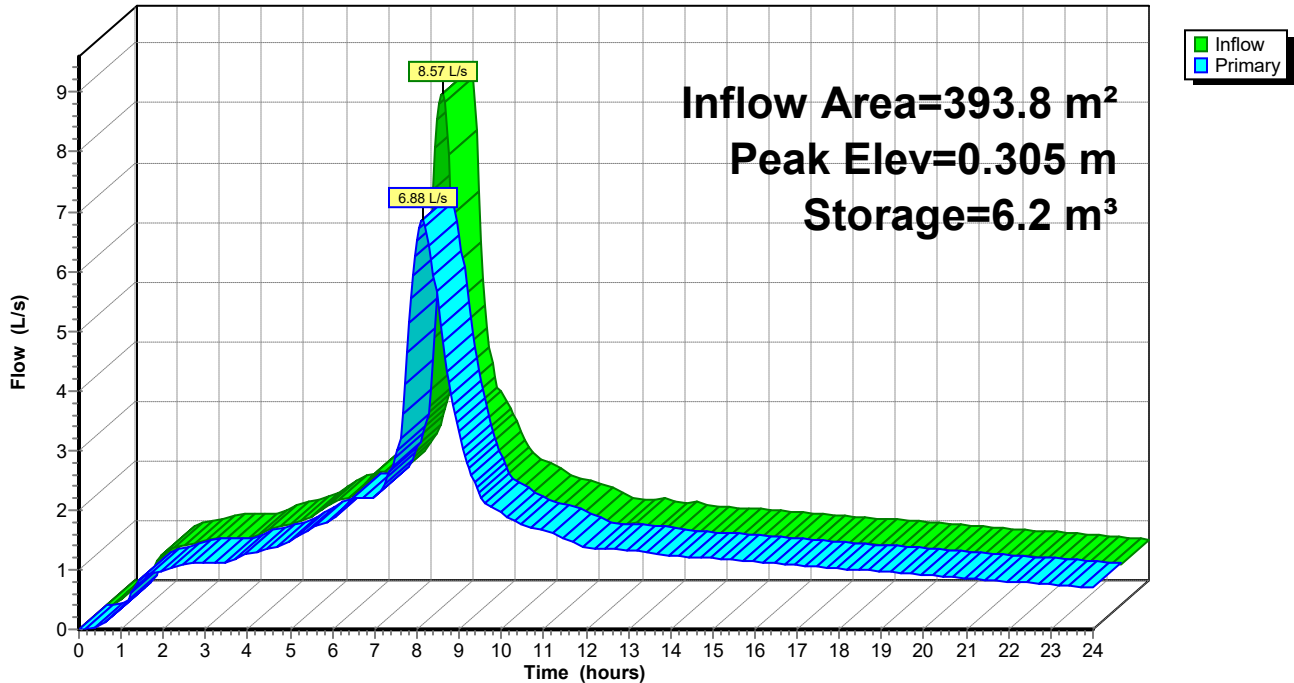
Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	52.9 m <sup>3</sup>	<b>3.60 mD x 2.60 mH Vertical Cone/Cylinder x 2</b>

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	<b>80 mm Vert. Orifice/Grate C= 0.600</b>

**Primary OutFlow** Max=6.87 L/s @ 8.13 hrs HW=0.304 m (Free Discharge)  
 ←1=Orifice/Grate (Orifice Controls 6.87 L/s @ 1.37 m/s)

### Pond 70P: 1 x 25,000L Rainwater Tanks

Hydrograph

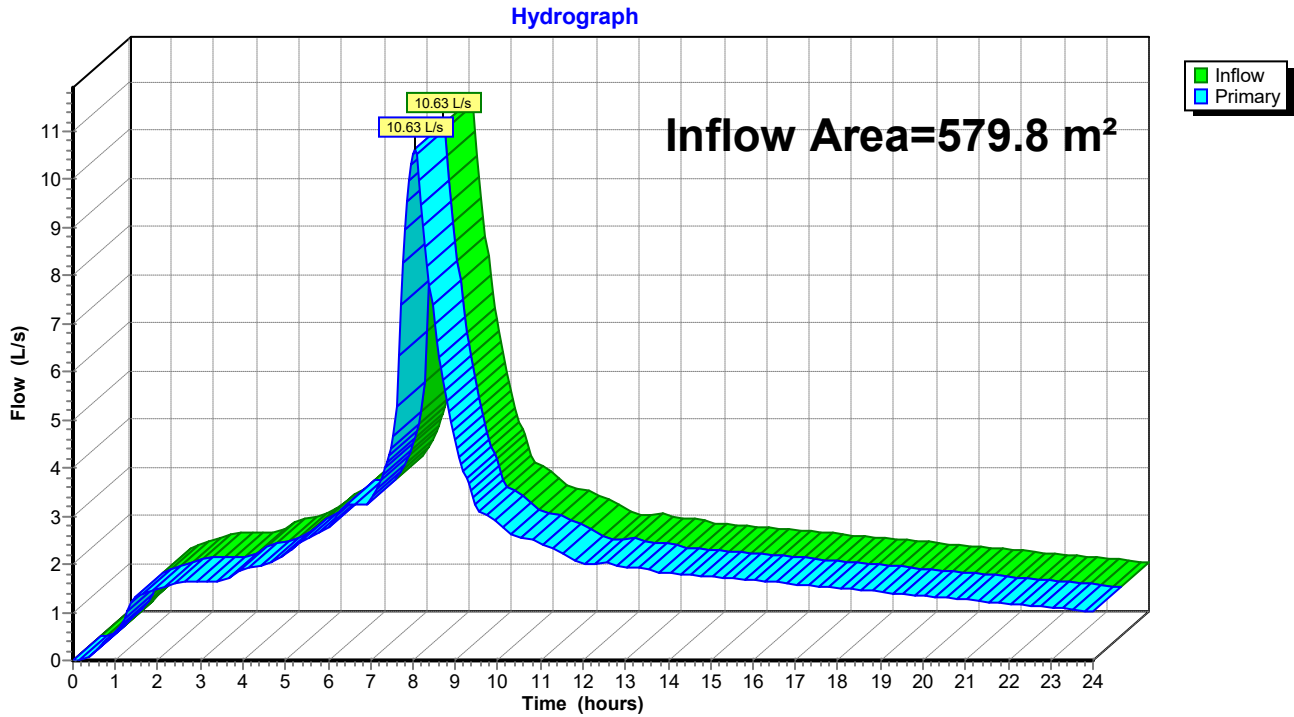


### Summary for Link 69L: Post-Development Flows Attenuated Back to Permitted Levels

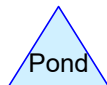
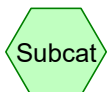
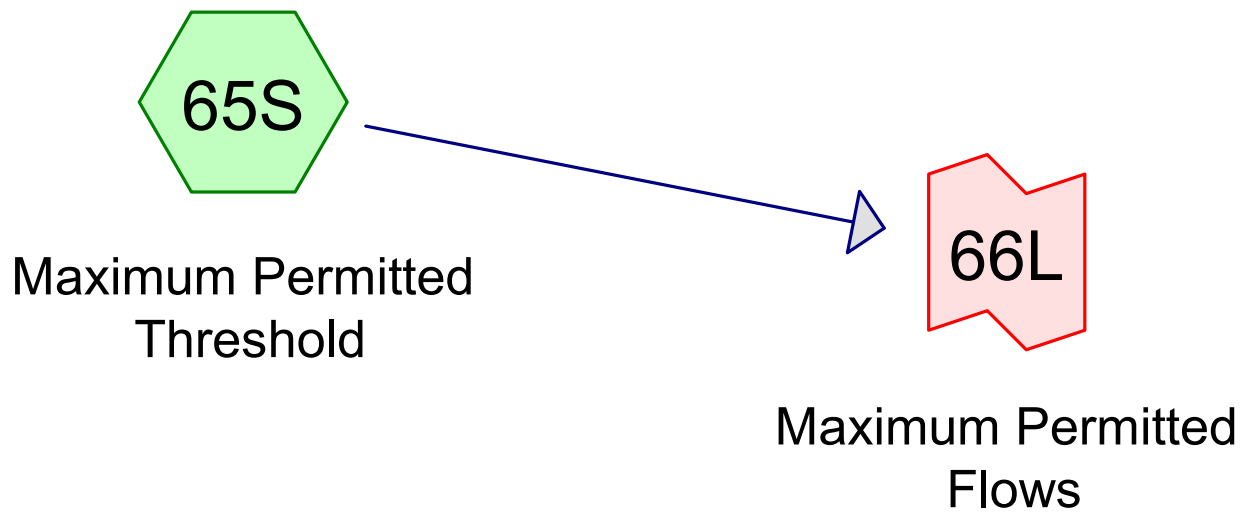
Inflow Area = 579.8 m<sup>2</sup>, 100.00% Impervious, Inflow Depth > 322 mm for 1% AEP + 20% CCF event  
Inflow = 10.63 L/s @ 8.04 hrs, Volume= 186.6 m<sup>3</sup>  
Primary = 10.63 L/s @ 8.04 hrs, Volume= 186.6 m<sup>3</sup>, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

### Link 69L: Post-Development Flows Attenuated Back to Permitted Levels



# ***Permitted Activity Peak Flows - FUTURE***



**Routing Diagram for 145119**

Prepared by Wilton Joubert Limited, Printed 18/03/2026  
HydroCAD® 10.00-26 s/n 10413 © 2020 HydroCAD Software Solutions LLC

**Summary for Subcatchment 65S: Maximum Permitted Threshold**

Runoff = 12.17 L/s @ 7.95 hrs, Volume= 172.5 m<sup>3</sup>, Depth> 298 mm

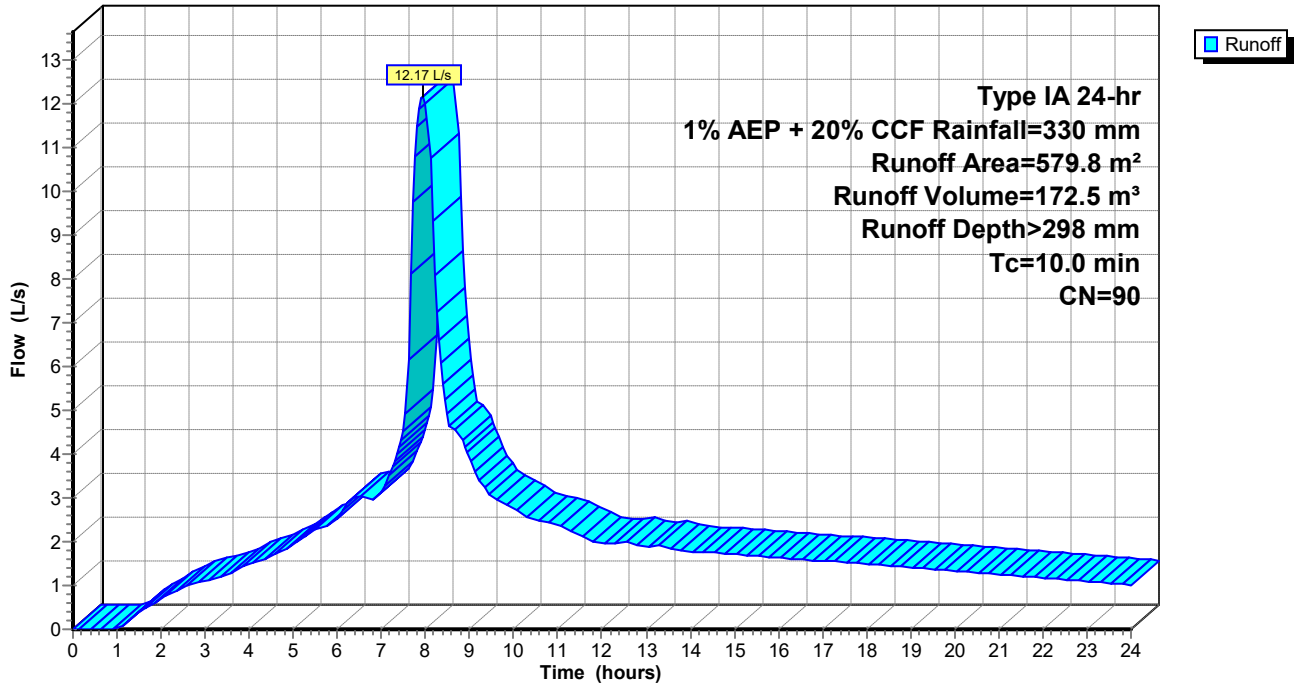
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs  
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=330 mm

Area (m <sup>2</sup> )	CN	Description
109.3	74	>75% Grass cover, Good, HSG C
390.5	98	Roofs, HSG C
* 80.0	74	Future Patio
579.8	90	Weighted Average
189.3		32.65% Pervious Area
390.5		67.35% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m <sup>3</sup> /s)	Description
10.0					Direct Entry,

**Subcatchment 65S: Maximum Permitted Threshold**

Hydrograph



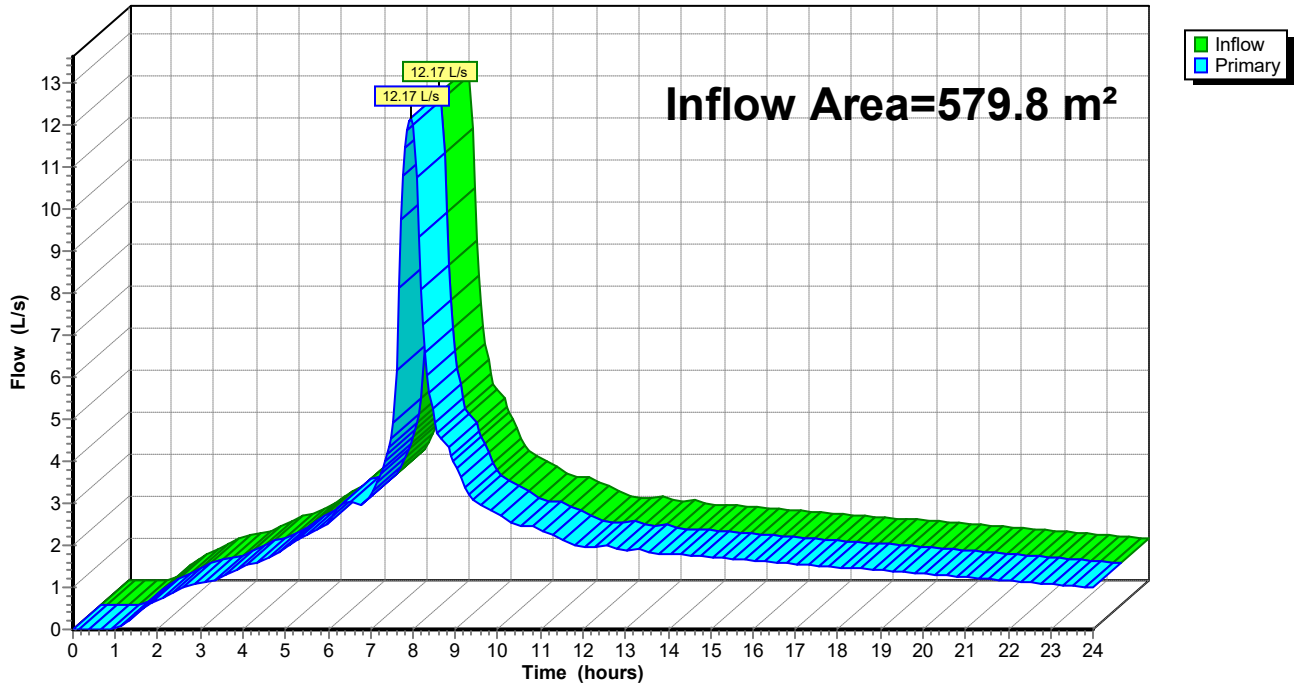
### Summary for Link 66L: Maximum Permitted Flows

Inflow Area = 579.8 m<sup>2</sup>, 67.35% Impervious, Inflow Depth > 298 mm for 1% AEP + 20% CCF event  
Inflow = 12.17 L/s @ 7.95 hrs, Volume= 172.5 m<sup>3</sup>  
Primary = 12.17 L/s @ 7.95 hrs, Volume= 172.5 m<sup>3</sup>, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

### Link 66L: Maximum Permitted Flows

Hydrograph



## Alex Billot

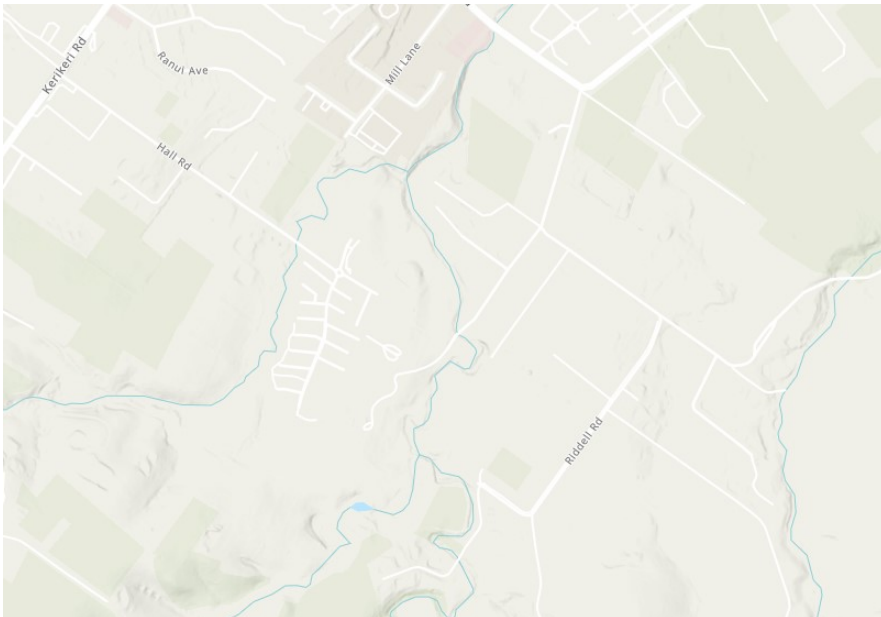
---

**From:** Stuart Bracey <SBracey@heritage.org.nz>  
**Sent:** Tuesday, 28 April 2026 2:27 pm  
**To:** Alex Billot  
**Cc:** Rochelle  
**Subject:** RE: Proposed landuse consent at 73B Riddell Road, Kerikeri -

Kia ora Alex,

I confirm that HNZPT has no comments to make on this development proposal. In reaching this decision HNZPT took into account

- There are no recorded archaeological sites within the location (see Archsite Plan below)
- The minor nature of the proposed works (25m<sup>3</sup> of likely earthworks over an area of 68m<sup>2</sup>)
- The proposed new shed and rock retaining wall to be located within the developed residential area of the property.





Cheers,  
Stuart

**Stuart Bracey | Kaiwhakamāhere | Heritage Planner | Northern Region | Heritage New Zealand Pouhere Taonga | L10 SAP**  
Tower 151 Queen Street Auckland CBD | Private Box 105 291 Auckland City 1143 | mobile 027 684 0833 | visit  
[www.heritage.org.nz](http://www.heritage.org.nz) and learn more about NZ's heritage places.

***Tairangahia a tua whakarere; Tatakihia nga reanga o amuri ake nei – Honouring the past; Inspiring the future***

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**From:** Alex Billot <Alex@northplanner.co.nz>  
**Sent:** Monday, 20 April 2026 12:25 pm  
**To:** Stuart Bracey <SBracey@heritage.org.nz>  
**Subject:** Proposed landuse consent at 73B Riddell Road, Kerikeri

Kia ora Stu,

We are in the process of preparing a landuse resource consent application for a property at 73B Riddell Road, Kerikeri.

The proposal is for a 70m<sup>2</sup> detached shed, rock retaining wall and a patio attached to the southern side of the existing dwelling. See attached site plans for more detail.

Excavation volumes are anticipated as 25m<sup>2</sup> for the retaining wall over an area of 68m<sup>2</sup>.

Can you please provide comments on behalf of HNZPT to include with the application?

Any questions, let me know.

Thanks.

Kind regards,



*My office hours are Monday, Tuesday,  
Thursday & Friday 9am – 2pm.*

**Alex Billot**

Resource Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866

Northland Planning & Development 2020  
Limited

**OPERATIVE DISTRICT PLAN – RURAL ENVIRONMENT OBJECTIVES AND POLICIES**

<b>OBJECTIVES</b>	
<b>8.3.1</b>	<i>To promote the sustainable management of natural and physical resources of the rural environment.</i>
<b>8.3.2</b>	<i>To ensure that the life supporting capacity of soils is not compromised by inappropriate subdivision, use or development.</i>
<b>8.3.3</b>	<i>To avoid, remedy or mitigate the adverse and cumulative effects of activities on the rural environment.</i>
<b>8.3.4</b>	<i>To protect areas of significant indigenous vegetation and significant habitats of indigenous fauna</i>
<b>8.3.5</b>	<i>To protect outstanding natural features and landscapes.</i>
<b>8.3.6</b>	<i>To avoid actual and potential conflicts between land use activities in the rural environment.</i>
<b>8.3.7</b>	<i>To promote the maintenance and enhancement of amenity values of the rural environment to a level that is consistent with the productive intent of the zone.</i>
<b>8.3.8</b>	<i>To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.</i>
<b>8.3.9</b>	<i>To enable rural production activities to be undertaken in the rural environment.</i>

<b>8.3.10</b>	<i>To enable the activities compatible with the amenity values of rural areas and rural production activities to establish in the rural environment.</i>
<b>POLICIES</b>	
<b>8.4.1</b>	<i>That activities which will contribute to the sustainable management of the natural and physical resources of the rural environment are enabled to locate in that environment.</i>
<b>8.4.2</b>	<i>That activities be allowed to establish within the rural environment to the extent that any adverse effects of these activities are able to be avoided, remedied or mitigated and as a result the life supporting capacity of soils and ecosystems is safeguarded, and rural productive activities are able to continue.</i>
<b>8.4.3</b>	<i>That any new infrastructure for development in rural areas be designed and operated in a way that safeguards the life supporting capacity of air, water, soil and ecosystems while protecting areas of significant indigenous vegetation and significant habitats of indigenous fauna, outstanding natural features, and landscapes.</i>
<b>8.4.4</b>	<i>That development which will maintain or enhance the amenity value of the rural environment and outstanding natural features and outstanding landscapes be enabled to locate in the rural environment.</i>
<b>8.4.5</b>	<i>That plan provisions encourage the avoidance of adverse effects from incompatible land uses, particularly new developments adversely affecting existing land-uses (including by constraining the existing land-uses on account of sensitivity by the new use to adverse affects from the existing use – i.e. reverse sensitivity).</i>
<b>8.4.6</b>	<i>That areas of significant indigenous vegetation and significant habitats of indigenous fauna habitat be protected as an integral part of managing the use, development and protection of the natural and physical resources of the rural environment.</i>

<b>8.4.7</b>	<i>That Plan provisions encourage the efficient use and development of natural and physical resources, including consideration of demands upon infrastructure.</i>
<b>8.4.8</b>	<i>That, when considering subdivision, use and development in the rural environment, the Council will have particular regard to ensuring that its intensity, scale and type is controlled to ensure that adverse effects on habitats (including freshwater habitats), outstanding natural features and landscapes on the amenity value of the rural environment, and where appropriate on natural character of the coastal environment, are avoided, remedied or mitigated. Consideration will further be given to the functional need for the activity to be within rural environment and the potential cumulative effects of non-farming activities.</i>

**OPERATIVE DISTRICT PLAN – RURAL LIVING ZONE - OBJECTIVES AND POLICIES**

<b>OBJECTIVES</b>	
<b>8.7.3.1</b>	<i>To achieve a style of development on the urban periphery where the effects of the different types of development are compatible.</i>
<b>8.7.3.2</b>	<i>To provide for low density residential development on the urban periphery, where more intense development would result in adverse effects on the rural and natural environment.</i>
<b>8.7.3.3</b>	<i>To protect the special amenity values of the frontage to Kerikeri Road between SH10 and the urban edge of Kerikeri.</i>

<b>POLICIES</b>	
<b>8.7.4.1</b>	<i>That a transition between residential and rural zones is achieved where the effects of activities in the different areas are managed to ensure compatibility.</i>
<b>8.7.4.2</b>	<i>That the Rural Living Zone be applied to areas where existing subdivision patterns have led to a semi-urban character but where more intensive subdivision would result in adverse effects on the rural and natural environment.</i>
<b>8.7.4.3</b>	<i>That residential activities have sufficient land associated with each household unit to provide for outdoor space, and where a reticulated sewerage system is not provided, sufficient land for onsite effluent disposal.</i>
<b>8.7.4.4</b>	<i>That no limits be placed on the types of housing and forms of accommodation in the Rural Living Zone, in recognition of the diverse needs of the community.</i>
<b>8.7.4.5</b>	<i>That non-residential activities can be established within the Rural Living Zone subject to compatibility with the existing character of the environment.</i>
<b>8.7.4.6</b>	<i>That home-based employment opportunities be allowed in the Rural Living Zone</i>
<b>8.7.4.7</b>	<i>That provision be made for ensuring that sites, and the buildings and activities which may locate on those sites, have adequate access to sunlight and daylight.</i>
<b>8.7.4.8</b>	<i>That the scale and intensity of activities other than a single residential unit be commensurate with that which could be expected of a single residential unit.</i>
<b>8.7.4.9</b>	<i>That activities with effects on amenity values greater than a single residential unit could be expected to have, be controlled so as to avoid, remedy or mitigate those adverse effects on adjacent activities.</i>
<b>8.7.4.10</b>	<i>That provision be made to ensure a reasonable level of privacy for inhabitants of buildings on adjoining sites.</i>

<b>8.7.4.11</b>	<i>That the built form of development allowed on sites with frontage to Kerikeri Road between its intersection with SH10 and Cannon Drive be maintained as small in scale, set back from the road, relatively inconspicuous and in harmony with landscape plantings and shelter belts.</i>
<b>8.7.4.12</b>	<i>That the Council maintains discretion over new connections to a sewerage system to ensure treatment plant discharge quality standards are not compromised (refer to Rule 13.7.3.5).</i>

**PROPOSED FAR NORTH DISTRICT PLA – RURAL RESIDENTIAL ZONE OBJECTIVES AND POLICIES**

<b>OBJECTIVES</b>	
<b>RRZ-O1</b>	<i>The Rural Residential zone is used predominantly for rural <a href="#">residential activities</a> and small scale <a href="#">farming</a> activities that are compatible with the rural character and amenity of the zone.</i>
<b>RRZ-O2</b>	<p><i>The predominant character and amenity of the Rural Residential zone is maintained and enhanced, which includes:</i></p> <ul style="list-style-type: none"> <li><i>a. peri-urban scale <a href="#">residential activities</a>;</i></li> <li><i>b. small-scale <a href="#">farming</a> activities with limited <a href="#">buildings</a> and <a href="#">structures</a>;</i></li> <li><i>c. smaller <a href="#">lot</a> sizes than anticipated in the Rural Production or Rural Lifestyle zones; and</i></li> <li><i>d. a diverse range of rural residential environments reflecting the character and amenity of the adjacent <a href="#">urban</a> area.</i></li> </ul>

<b>RRZ-O3</b>	<i>The Rural Residential zone helps meet the demand for growth around <a href="#">urban</a> centres while ensuring the ability of the <a href="#">land</a> to be rezoned for <a href="#">urban</a> development in the future is not compromised.</i>
<b>RRZ-O4</b>	<p><i>Land use and <a href="#">subdivision</a> in the Rural Residential zone:</i></p> <ul style="list-style-type: none"> <li><i>a. maintains rural residential character and <a href="#">amenity values</a>;</i></li> <li><i>b. supports a range of rural residential and small-scale <a href="#">farming</a> activities; and</i></li> <li><i>c. is managed to control any reverse sensitivity issues that may occur within the zone or at the zone interface.</i></li> </ul>
<b>POLICIES</b>	
<b>RRZ-P1</b>	<p><i>Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Residential zone, while ensuring their design, scale and intensity is appropriate, including:</i></p> <ul style="list-style-type: none"> <li><i>a. rural <a href="#">residential activities</a>;</i></li> <li><i>b. small-scale <a href="#">farming</a> activities;</i></li> <li><i>c. <a href="#">home business</a> activities;</i></li> <li><i>d. <a href="#">visitor accommodation</a>; and</i></li> <li><i>e. small-scale education facilities.</i></li> </ul>
<b>RRZ-P2</b>	<p><i>Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Residential zone including:</i></p> <ul style="list-style-type: none"> <li><i>a. activities that are contrary to the density anticipated for the Rural Residential zone;</i></li> </ul>

	<ul style="list-style-type: none"> <li>b. <u>primary production</u> activities, such as <u>intensive indoor primary production</u> or <u>rural industry</u>, that generate adverse amenity <u>effects</u> that are incompatible with rural <u>residential activities</u>; and</li> <li>c. commercial or <u>industrial activities</u> that are more appropriately located in an <u>urban</u> zone or a Settlement zone.</li> </ul>
<b>RRZ-P3</b>	<p>Avoid where possible, or otherwise mitigate, reverse sensitivity <u>effects</u> from sensitive and other non-productive activities on <u>primary production</u> activities in adjacent Rural Production zones and Horticulture zones.</p>
<b>RRZ-P4</b>	<p>Require all <u>subdivision</u> in the Rural Residential zone to provide the following reticulated services to the <u>boundary</u>:</p> <ul style="list-style-type: none"> <li>a. telecommunications: <ul style="list-style-type: none"> <li>i. fibre where it is available;</li> <li>ii. copper where fibre is not available;</li> <li>iii. copper where the area is identified for future fibre deployment.</li> </ul> </li> <li>b. local electricity distribution network.</li> </ul>
	<p>Manage land use and <u>subdivision</u> to address the <u>effects</u> of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</p> <ul style="list-style-type: none"> <li>a. consistency with the scale and character of the rural residential <u>environment</u>;</li> <li>b. location, scale and design of <u>buildings</u> or <u>structures</u>;</li> <li>c. at zone interfaces: <ul style="list-style-type: none"> <li>i. any <u>setbacks</u>, fencing, screening or <u>landscaping</u> required to address potential conflicts;</li> </ul> </li> </ul>

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|--|--|
|  | <ul style="list-style-type: none"><li>ii. the extent to which adverse <a href="#">effects</a> on adjoining or surrounding <a href="#">sites</a> are mitigated and internalised within the <a href="#">site</a> as far as practicable;</li><li>d. the capacity of the <a href="#">site</a> to cater for on-site <a href="#">infrastructure</a> associated with the proposed activity;</li><li>e. the adequacy of roading <a href="#">infrastructure</a> to service the proposed activity;</li><li>f. managing <a href="#">natural hazards</a>;</li><li>g. any adverse <a href="#">effects</a> on <a href="#">historic heritage</a> and cultural values, natural features and landscapes or indigenous biodiversity; and</li><li>h. any historical, spiritual, or cultural association held by <a href="#">tangata whenua</a>, with regard to the matters set out in Policy <a href="#">TW-P6</a>.</li></ul> |
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11 March 2026

Michael John Moss  
73B Riddell Road  
Kerikeri  
0230

Dear Sir / Madam,

**Building consent number:** EBC-2026-724/0  
**Property ID:** 3350398  
**Address:** 73B Riddell Road, Kerikeri 0230  
**Description:** Construct new cold rolled steel portal framed garage and rock retaining wall.

### Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

**NB:** As of 27<sup>th</sup> July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules  
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **Rural Living** under the Operative District Plan and Resource Consent is required for breach of the following:

<b>Rule:</b>	8.7.5.1.5 STORMWATER MANAGEMENT
<b>Reason:</b>	Plans demonstrate the proposed impermeable surfaces area exceeds the 12.5% permitted threshold.
<b>Rule:</b>	8.7.5.1.6 SETBACK FROM BOUNDARIES part (b): The minimum building setback from boundaries, apart from a boundary with any Rural Production and Minerals Zones, shall be 3m.
<b>Reason:</b>	Plans demonstrate compliance for the proposed shed, however the boulder retaining wall is demonstrated within 3m of a boundary.
<b>Rule:</b>	8.7.5.1.13 BUILDING COVERAGE
<b>Reason:</b>	Plans demonstrate the proposed total building coverage area exceeds the 10% permitted threshold.
<b>Rule:</b>	12.3.6.1.2 EXCAVATION AND/OR FILLING, INCLUDING OBTAINING ROADING MATERIAL BUT EXCLUDING MINING AND QUARRYING, IN THE <b>RURAL LIVING</b> , COASTAL LIVING, SOUTH KERIKERI INLET, GENERAL COASTAL, RECREATIONAL ACTIVITIES, CONSERVATION, WAIMATE NORTH AND POINT VERONICA ZONES
<b>Reason:</b>	Total earthworks cut and/or fill volume has not been demonstrated to enable assessment.

<b>Rule:</b>	<p>Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011. The construction of the proposed residential unit proposes disturbing soil that is to be considered under this National Environment standard Section 8(3): <i>Disturbing soil</i></p> <p>(3) Disturbing the soil of the piece of land is a permitted activity while the following requirements are met:</p> <p>(a) controls to minimise the exposure of humans to mobilised contaminants must—</p> <ul style="list-style-type: none"> <li>(i) be in place when the activity begins:</li> <li>(ii) be effective while the activity is done:</li> <li>(iii) be effective until the soil is reinstated to an erosion-resistant state:</li> </ul> <p>(b) the soil must be reinstated to an erosion-resistant state within 1 month after the serving of the purpose for which the activity was done:</p> <p>(c) the volume of the disturbance of the soil of the piece of land must be no more than 25 m<sup>3</sup> per 500 m<sup>2</sup>:</p> <p>(d) soil must not be taken away in the course of the activity, except that,—</p> <ul style="list-style-type: none"> <li>(i) for the purpose of laboratory analysis, any amount of soil may be taken away as samples:</li> <li>(ii) for all other purposes combined, a maximum of 5 m<sup>3</sup> per 500 m<sup>2</sup> of soil may be taken away per year:</li> </ul> <p>(e) soil taken away in the course of the activity must be disposed of at a facility authorised to receive soil of that kind:</p> <p>(f) the duration of the activity must be no longer than 2 months:</p> <p>(g) the integrity of a structure designed to contain contaminated soil or other contaminated materials must not be compromised.</p>
<b>Reason:</b>	<p>This piece of land is identified on Council's maps as a HAIL site and is subject to the National Environmental Standard for Soil Contamination, and compliance with Disturbing Soil permitted activity part (c) has not been demonstrated. And if soil is to be removed from the site, compliance with part (d)(ii) will also need to be demonstrated.</p>

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from [www.fndc.govt.nz](http://www.fndc.govt.nz) and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on [Duty.Planner@fndc.govt.nz](mailto:Duty.Planner@fndc.govt.nz) or 0800 920 029.

Yours faithfully



Lysigna Mare  
PIM Officer

**Delivery and Operations**

Emailed to: [adrian@cadence.net.nz](mailto:adrian@cadence.net.nz)

**FORM 4**  
**Certificate attached to**  
**PROJECT INFORMATION MEMORANDUM**  
Section 37, Building Act 2004

**Building Consent Number: EBC-2026-724/0**

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER  
RESOURCE MANAGEMENT ACT 1991**

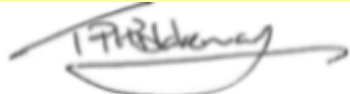
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

• **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman  
Manager - Building Services –  
Delivery and Operations  
Far North District Council (Building Consent Authority)  
11 March 2026

Position:

On behalf of:

Date: