

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with?

2. Type of consent being applied for

(more than one circle can be ticked):

Land Use

Discharge

Fast Track Land Use*

Change of Consent Notice (s.221(3))

Subdivision

Extension of time (s.125)

Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)

Other (please specify)

*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the fast track process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

38 Dudley Crescent, Cable Bay

Postcode 0420

Legal description:

Lot 23 DP 384236

Val Number:

0002524857

Certificate of title:

336761

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

No restrictions

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

This is a resource consent application for a new dwelling on a site at 38 Dudley Crescent, Cable Bay. Resource consent required for the reasons outlined in the AEE.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Coastal Homes 2008 Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Glen Bradbury

Signature:

(signature of bill payer)

Date 17/03/26

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

GLEN BRADBURY

Signature

Date 18/03/26

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



Application for Resource Consent

Proposed new dwelling at 38 Dudley Crescent,
Cable Bay.

Prepared By

Joseph Hale
Director

Date: 13th March 2026
Reference: EP0473
Status: Final

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1 Proposal

- 1.1 The applicants seek resource consent to construct a proposed new residential dwelling on a site at 38 Dudley Crescent, Cable Bay.
- 1.2 The proposed new dwelling will be single storey in its design and have an accompanying detached double garage. A new driveway will be installed on site which will provide access and egress from Dudley Crescent, and will come down the eastern side of the site before wrapping around the southern side of the dwelling to the location of the proposed garage.



Figure 1: The above image is the architect’s rendition of the proposed dwelling, when viewed from its northern boundary, adjacent to Dudley Crescent.

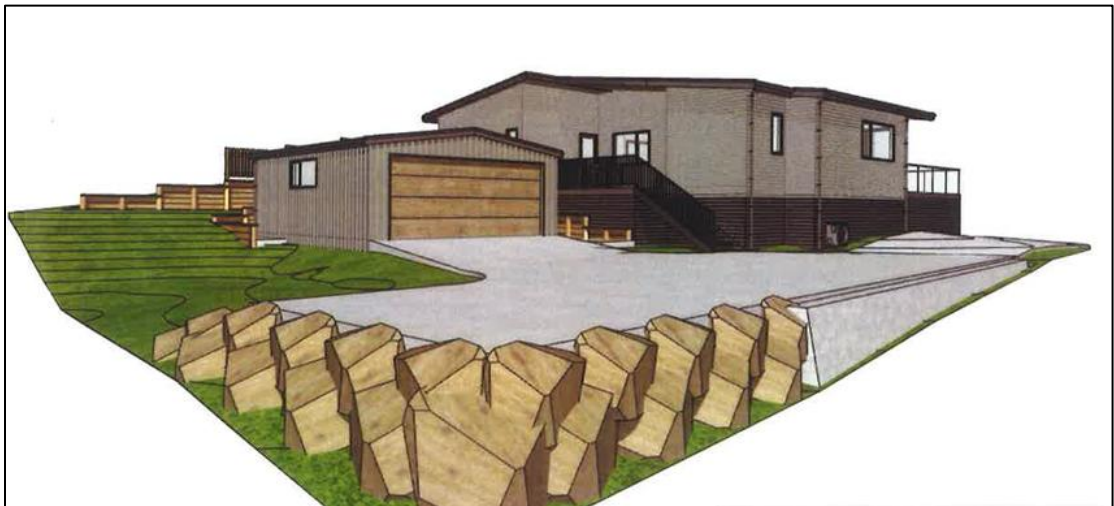
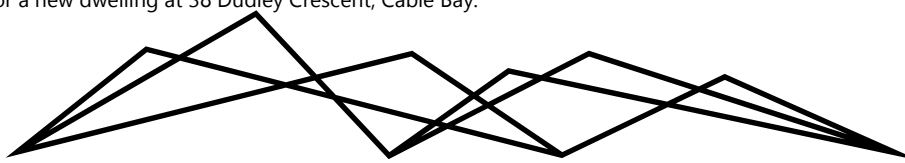


Figure 2: This shows the proposed new dwelling and its accompanying garage from the site’s eastern boundary.

- 1.3 The new dwelling will have a floor area of 152.25m² and the accompanying garage will have a floor area of 48.75m².
- 1.4 The proposed new dwelling will comprise of:
 - 3 x bedrooms (one of which will be a master with en-suite);



- A large open plan internal living area consisting of a combined Kitchen and dining area with adjoining Lounge and Family Room areas;
- A laundry area;
- A bathroom (with bath, shower and toilet);
- A uncovered deck running the length of the northern elevation of the dwelling;
- A covered deck to the rear of the dwelling on its southern elevation (with room for an outdoor spa); and
- A detached, standalone double garage.

Retaining walls are proposed at specific locations around the dwelling due to the sites topography. More details on these can be found in Section 1.10.

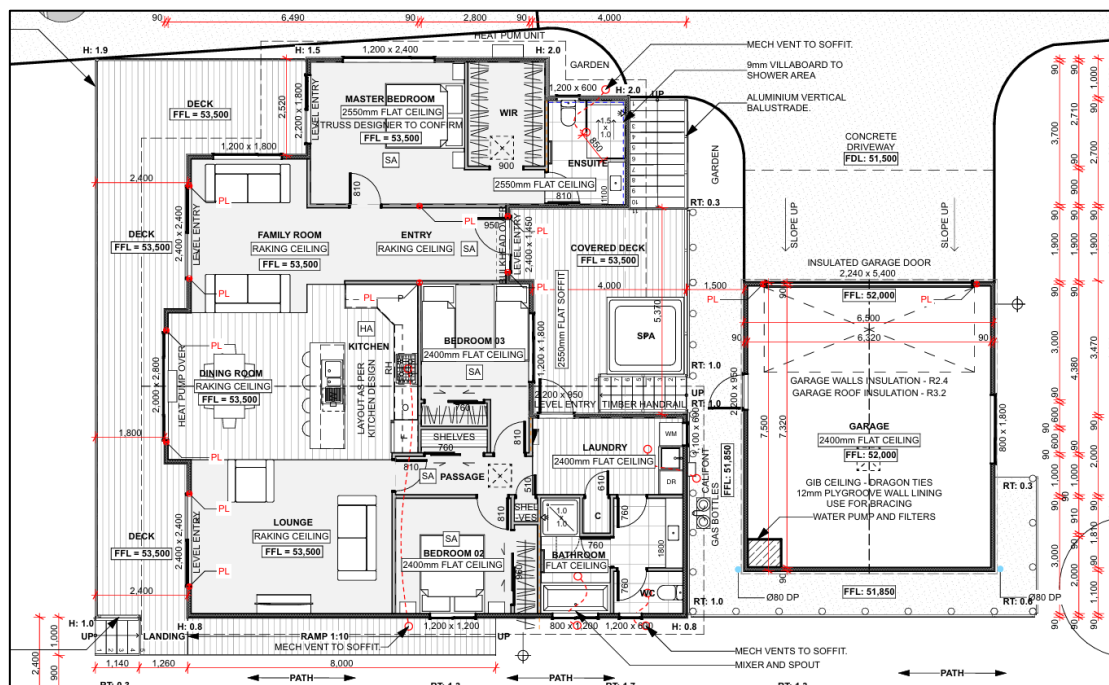
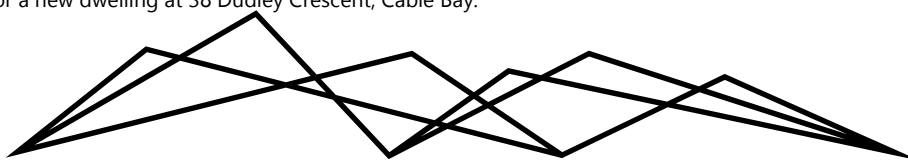


Figure 3: The above image shows the floorplan for the new house and garage proposed for the site.

- 1.5 In terms of materials and external finishes, the proposed dwelling will have a James Hardie weatherboard cladding exterior with a Coloursteel Maxam 0.40G Trimline profile roof. All joinery is powder coated double glazing. The two decks attached to the house will be made from premium selected pine decking, with full details – as for all aforementioned materials and finishes - to be found on the Development Plans in Appendix B of this report.
- 1.6 Colours of the finished dwelling will comply with the requirements of the Coastal Living Zones Visual Amenity Rule requirements and the Consent Notice relating to this which is listed on the title (and dealt with in more detail later in this report).
- 1.7 The standalone garage will have James Hardie Oblique cladding installed and finished in a zone and consent notice approved colour. The roof finish will be the same as that for the main house in the application.



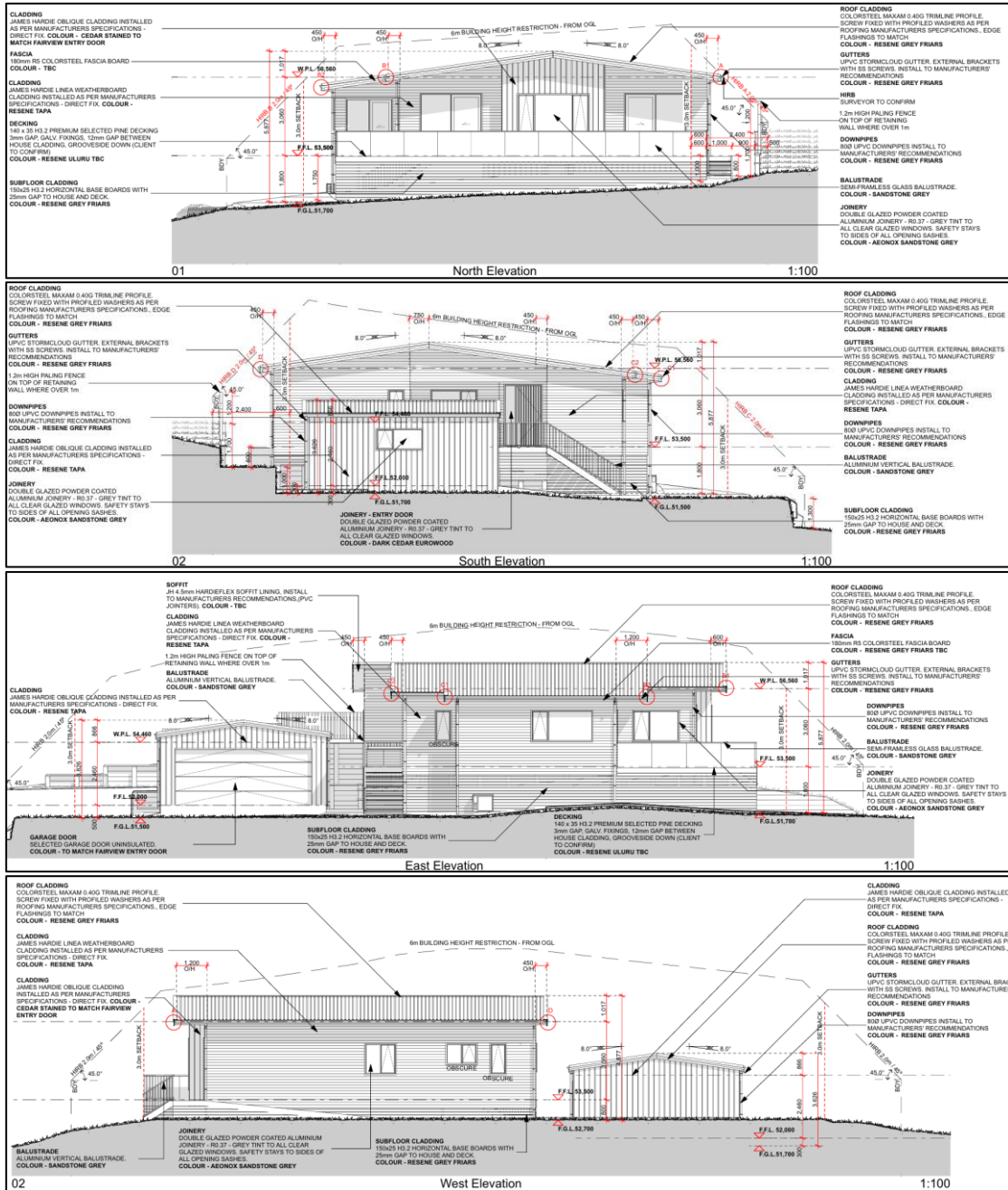


Figure 4: The above images show the proposed new dwelling and garages elevations.

1.8 The subject site is undulating across its entirety, so earthworks will be required to level out the site in order to best position the new structure on it. The topography is not that extreme in terms of undulation, so only moderate amounts of cut and fill are required to be undertaken as shown below:

- Cut Volume 140m³
- Fill Volume 65m³
- Total Earthworks Volume 205m³
- Cut Area 240m²
- Fill Area 155m²
- Total Earthworks Area 395m²

- Max. Cut Height 1.7m
- Max. Fill Height 1.3m
- Combined Earthworks Height 3m

The earthworks will need a resource consent for the maximum cut height exceeding the 1.5m which is permitted in the District Plan.

- 1.9 The earthworks are essentially cutting an area on the western side of the sites to create a flat open area to receive the proposed dwelling and garage, with the fill from this part of the site then being used on the eastern and southern part of the site to level out the property for use as a driveway, parking and turning area. Below in Figure 5 is a plan showing the cut and fill areas of the proposed earthworks.

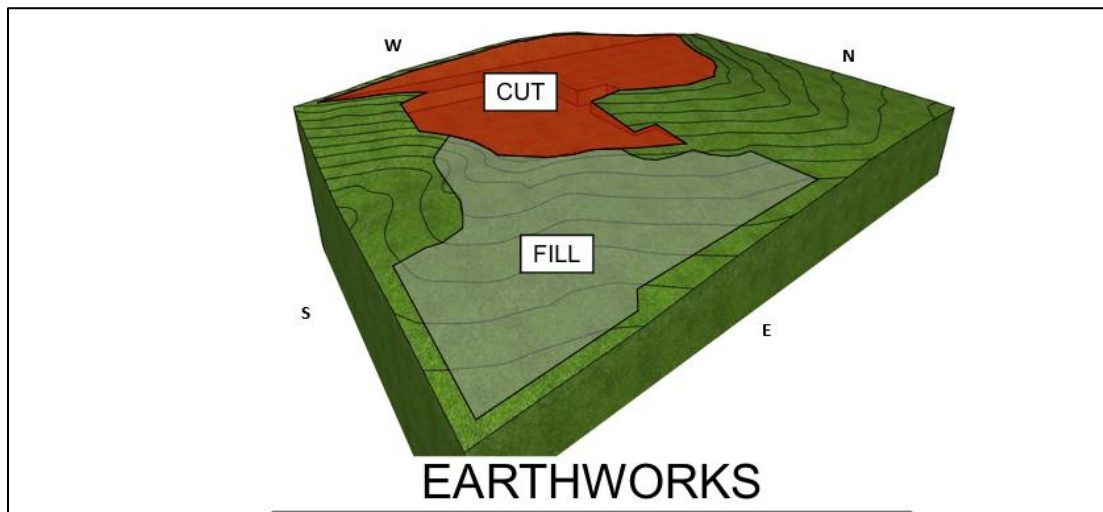
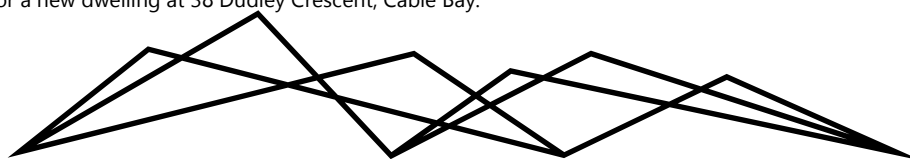


Figure 5: The above image shows the subject site, areas of cut and fill, and the letters on each boundary indicate which boundary is which in relation to compass points.

- 1.10 Accompanying the proposed new dwelling and garage on the site will be 3 retaining walls. These are explained below:

- One retaining wall will run for two thirds the length of the eastern boundary of the site, adjacent to the sites proposed driveway. This wall is to retain fill alongside this boundary which has been placed to form the driveway and will be in the form of a keystone retaining wall. It will have an approximate length of 14m with a maximum height of 1m. At the southern end of this wall will be gabion retaining which will be approximately 4m long and 1.3m high. Both of these structures will be located on the subject site and effectively on the boundary.
- The southern boundary will have a gabion retaining wall along about a third of its length. This will have a maximum height of 1.3m and length of 9m.
- The western side of the property will have an approximately 27m long retaining wall. This has a height that varies from 0.3m to 1.7m over its length, but set down into the ground where it adjoins the neighbouring property at 40 Dudley Crescent. Where the wall is over 1m in height, a 1.2m paling fence will be installed on top of it for safety reasons. The adjoining neighbour to this wall and fence combination has provided their written approval to this structure.



1.11 Overall, the applications proposal requires a resource consent for non-compliances with Coastal Living Zone rules relating to Visual Amenity; Sunlight; Stormwater Management; Setbacks from Boundaries; and Excavation. These are all identified and explained in more detail in Section 5 of this report.

2 Site and Location

2.1 The subject site is located at 38 Dudley Crescent, Cable Bay.

2.2 The site is rectangular in shape and has an area of 739m².

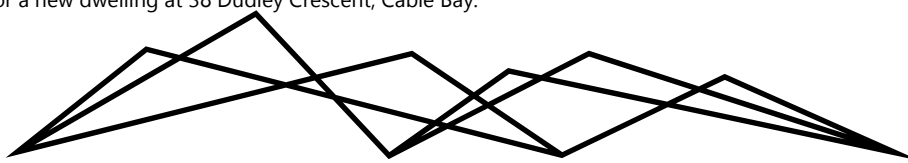
2.3 The subject site will gain access and egress from Dudley Crescent. Currently there is no formed access to the property, but this will be installed along the eastern side of the site as part of the properties development.



Figure 6: This image shows the location of the site (in red, approximate location of boundaries) in relation to its immediate surroundings at Dudley Crescent.

2.4 Topographically the property is set around a crowned dome area along the central western boundary that descends at gentle gradients towards the east. Inclinations across the western portion of the site average less than 11°, reducing to inclinations of less than 7° across the eastern portion and continues at similar gradients for >20m beyond the property boundary.

2.5 Densley bush covered, moderately inclined terrain covers the wider land downslope. Existing ground levels across the site essentially range between RL54m (west) and RL50m (southeast) New Zealand Vertical Datum.



- 2.6 The site is currently vacant, with no vegetation in place apart from grass across its entirety.
- 2.7 In terms of nearby development, 40 Dudley Crescent to the west is home to an established dwelling, but 36 to the east and 7 Sunrise Place to the south are vacant sections.
- 2.8 The area in which the site sits is residential in terms of both land use and character and is the result of a subdivision of this part of Cable Bay from back in 2007.
- 2.9 The site is currently a mix of developed and vacant sections. Some native bush is found in this area, the result of protections imposed as part of the original subdivision of this area.
- 2.10 In terms of servicing to the site, Council's GIS Services Map indicates the following:
- A gravity main wastewater line trends parallel to the southern boundary, slightly within the property confinements. A services connection is present towards the southeastern boundary corner;
 - A stormwater culvert service line trends parallel to the southern boundary, offset approximately 4.3m within the property confinements. A service connection is present towards the southeastern boundary corner; and
 - Wastewater and service connections for neighbouring 40 Dudley Crescent traverse through the southwestern corner of the site, ultimately connecting into the main service lines.

3 Record of Title

- 3.1 The site is legally described as Lot 23 DP 384236 held in Record of Title 336761. A copy of this Record of Title and its interests can be found in Appendix A of this report.
- 3.2 The following interests are listed on the Record of Title:
- *5363500.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 3.10.2002 at 3:37 pm*
 - *Appurtenant hereto is a water supply easement created by Easement Instrument 5363500.4 - 3.10.2002 at 3:37 pm*
 - *7389051.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 25.5.2007 at 9:00 am*
 - *Land Covenant in Easement Instrument 7389051.13 - 25.5.2007 at 9:00 am*
 - *Fencing Covenant in Easement Instrument 7389051.13 - 25.5.2007 at 9:00 am*
- 3.3 The above interests will all be looked at in more detail in Section 5 and 6 of this report.
- 3.4 Overall, there are no interests listed on this Record of Title that would stop the proposed development from proceeding.

4 Consultation

- 4.1 Consultation with Council's Duty Planner regarding the resource consenting requirements was undertaken via email on the 13th February 2026. Rachel (no surname provided) the Duty Planner advised the relevant District Plan rules to be assessing the proposal against, as well as discussing the Consent Notice Requirements registered on the title.
- 4.2 As part of the design process for the proposed new dwelling and garage on the subject site, neighbours consultation was undertaken with the owner and occupier of 40 Dudley Crescent. Their approval was sought due to the proposed development infringing underlying zones rules in relation to the shared boundary between the two properties.
- 4.3 This adjoining site will be assessed in relation to the applications proposal in more detail in Section 6 of this report, but for the purposes of summarizing this section neighbours approval was provided for the applications proposal and is included in Appendix E of this report.

5 District Plan Assessment

5.1 Far North District Council Operative District Plan

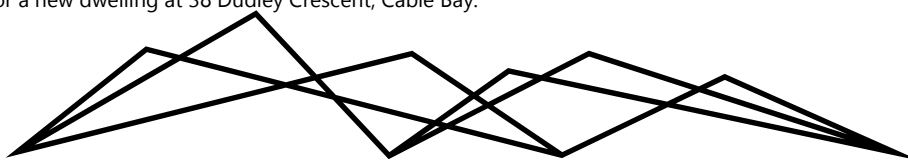
5.1.1 Zoning and Features

- 5.1.1.1 Under the Far North District Plan Operative Plan the subject site is zoned Coastal Living and is not subject to any District Plan Policy Overlays.
- 5.1.1.2 The Coastal Living Zone is similar in purpose to the Rural Living Zone. It is distinguished from the Rural Living Zone by its coastal location. The zone provides an area of transition between residential settlement on the coast and the General Coastal Zone. The difference is expressed mainly in residential intensity and lot sizes.
- 5.1.1.3 The zone applies to those areas of the coastal environment which have already been developed but which still maintain a high level of amenity associated with the coast. These areas have been identified as having an ability to absorb further low density, mainly rural residential development, without detriment to their overall coastal character. The zone therefore allows rural residential development to occur and thereby reduces pressure for development in the General Coastal Zone whilst retaining, as far as possible, the character, features and landscapes of this part of the coastal environment.

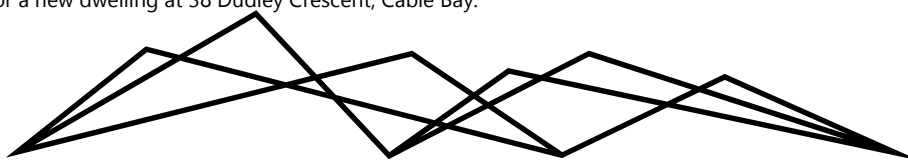
5.1.2 Rules

5.1.2.1 The table below shows the Coastal Living Zones rules and how they comply:

District Plan Rule	Compliance
<p>10.7.5.1.1 VISUAL AMENITY <i>The following are permitted activities in the Coastal Living Zone:</i></p> <p><i>(a) any new building(s), provided that the gross floor area of any new building(s) permitted under this rule does not exceed 50m²; or</i></p> <p><i>(b) any alteration/addition to an existing building which does not exceed 30% of the gross floor area of the building which is being altered or added to, provided that any alteration/addition does not exceed the height of the existing building and that any alteration/addition is to a building that existed at 28 April 2000.</i></p> <p><i>(c) replacement of any building so long as the replacement does not exceed the building envelope occupied by the previous building; or (d) renovation or maintenance of any building.</i></p>	<p>Does not comply.</p> <p>The proposed dwelling is unable to comply with part (a) of this rule and therefore this non-compliance requires a Controlled Activity Resource Consent under Rule 10.7.5.2.2 of the District Plan.</p>
<p>10.7.5.1.2 RESIDENTIAL INTENSITY <i>Residential development shall be limited to one unit per 4ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 3,000m² for its exclusive use surrounding the unit plus a minimum of 3.7ha elsewhere on the property.</i></p> <p><i>Except that this rule shall not limit the use of an existing site or a site created pursuant to Rule 13.7.2.1 (Table 13.7.2.1) for a single residential unit for a single household.</i></p> <p><i>Note: There is a separate residential activity rule applying to Papakainga Housing (refer to Rule 10.7.5.2.1)</i></p>	<p>Complies.</p>
<p>10.7.5.1.3 SCALE OF ACTIVITIES <i>The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people who normally reside on the site or are members of the household shall not exceed 1 person per 2,000m² of net site area.</i></p> <p><i>Provided that:</i></p> <p><i>(a) this number may be exceeded for a period totalling not more than 60 days in any 12 month period where the increased number of persons is a direct result of activities ancillary to the primary activity on the site; and</i></p> <p><i>(b) this number may be exceeded where persons are engaged in constructing or establishing an activity (including environmental enhancement) on the site; and</i></p> <p><i>(c) this number may be exceeded where persons are visiting marae.</i></p>	<p>Complies.</p>



<p><i>In determining the total number of people engaged at any one period of time, the Council will consider the maximum capacity of the facility (for instance, the number of beds in visitors accommodation, the number of seats in a restaurant or theatre), the number of staff needed to cater for the maximum number of guests, and the number and nature of the vehicles that are to be accommodated on site to cater for those engaged in the activity.</i></p> <p><i>Exemptions: The foregoing limits shall not apply to activities of a limited duration required by normal farming and forestry practice, such as harvesting, provided that the activity shall comply with the requirements of s16 of the Act.</i></p>	
<p>10.7.5.1.4 BUILDING HEIGHT <i>The maximum height of any building shall be 8m</i></p>	<p>Complies.</p>
<p>10.7.5.1.5 SUNLIGHT <i>No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in Chapter 3 - Definitions), except where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest boundary of the entrance strip, private way, access lot, or access way.</i></p>	<p>Does not comply.</p> <p>A small portion of the boundary fencing will encroach through the recession plane along the site’s western boundary with 40 Dudley Crescent. As such a resource consent is required under Rule 10.7.5.3.3 of the District Plan.</p>
<p>10.7.5.1.6 STORMWATER MANAGEMENT <i>The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m² whichever is the lesser</i></p>	<p>Does not comply.</p> <p>The total coverage of the site by buildings and other impermeable surfaces will result in 460.86m² or 62.36%.</p> <p>Due to this a Restricted Discretionary Activity resource consent is needed as per Rule 10.7.5.3.8.</p>
<p>10.7.5.1.7 SETBACK FROM BOUNDARIES <i>Buildings shall be set back a minimum 10m from any site boundary, except that on any site with an area less than 5,000m² this set back shall be 3m from any site boundary. Attention is also drawn to the setback from Lakes, Rivers, Wetlands and the Coastline provisions in Chapter 12.7</i></p>	<p>Does not comply.</p> <p>As the site is less than 5,000m² in area, the setback requirements for the site are 3m from any site boundary.</p> <p>The proposed dwelling will only achieve a setback from the western site boundary of 2.4m which is not compliant with the permitted standards and therefore needs a Restricted</p>

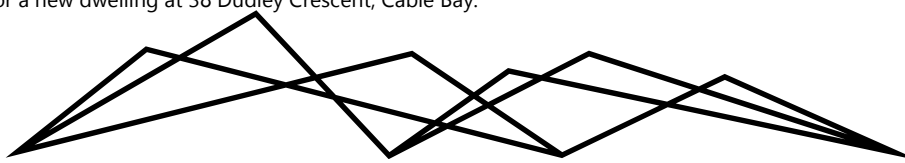


	<p>Discretionary Resource consent as per Rule 10.7.5.3.6.</p> <p>Also, the proposed retaining wall and fence which will be located on the western boundary will have a combined height which results as it being defined as a building over a small portion of its length, so therefore this will also need a Restricted Discretionary Resource consent as per Rule 10.7.5.3.6.</p>
<p>10.7.5.1.8 SCREENING FOR NEIGHBOURS NON-RESIDENTIAL ACTIVITIES</p> <p><i>Except along boundaries adjoining a Commercial or Industrial zone, outdoor areas providing for activities such as parking, loading, outdoor storage and other outdoor activities associated with non-residential activities on the site shall be screened from adjoining sites by landscaping, wall/s, close boarded fence/s or trellis/es or a combination thereof. They shall be of a height sufficient to wholly or substantially separate these areas from the view of neighbouring properties. Structures shall be at least 1.8m in height, but no higher than 2.0m, along the length of the outdoor area. Where such screening is by way of landscaping it shall be a strip of vegetation which has or will attain a minimum height of 1.8m for a minimum depth of 2m.</i></p>	<p>Not applicable.</p>
<p>10.7.5.1.9 TRAFFIC INTENSITY</p> <p><i>The Traffic Intensity Factor for a site in this zone is 20 daily one way movements. The Traffic Intensity Factor shall be determined by reference to Appendix 3A in Part 4. This rule only applies when establishing a new activity on a site. It does not apply to existing activities, however, the Traffic Intensity Factor for the existing uses (apart from those exempted below) on site need to be taken into account when assessing new activities in order to address cumulative effects. Exemptions: A single residential unit, farming, forestry and construction traffic (associated with the establishment of an activity) are exempt from this rule</i></p>	<p>Complies.</p>
<p>10.7.5.1.10 HOURS OF OPERATION NON-RESIDENTIAL ACTIVITIES</p> <p><i>(a) The maximum number of hours the activity shall be open to visitors, clients or deliveries shall be 50 hours per week; and</i></p> <p><i>(b) Hours of operation shall be limited to between the hours: 0700 - 2000 Monday to Friday 0800 - 2000 Saturday, Sunday and Public Holidays Provided that this rule does not apply:</i></p> <p><i>(i) where the entire activity is located within a building; and</i></p> <p><i>(ii) where each person engaged in the activity outside the above hours resides permanently on the site; and</i></p>	<p>Not applicable.</p>

<p><i>(iii) where there are no visitors, clients or deliveries to or from the site outside the above hours.</i></p> <p><i>Exemptions: This rule does not apply to activities that have a predominantly residential function such as lodges, motels and homestays.</i></p>	
<p>10.7.5.1.11 KEEPING OF ANIMALS <i>Any building, compound, or part of a site used for factory farming, boarding kennels or a cattery, shall be located no closer than 50m from any site boundary, except for a boundary which adjoins the Residential, Coastal Residential or Russell Township Zones, where the distance shall be a minimum of 600m.</i></p>	Not applicable.
<p>10.7.5.1.12 NOISE <i>All activities shall be so conducted as to ensure that noise from the site shall not exceed the following noise limits as measured at or within the boundary of any other site in this zone, or at any site in the Residential, Russell Township or Coastal Residential Zones, or at or within the notional boundary at any dwelling in any other rural or coastal zone:</i></p> <ul style="list-style-type: none"> - 0700 to 2200 hours 55 dBA L10 2200 to 0700 hours 45 dBA L10 and 70 dBA Lma 	Not applicable.
<p>10.7.5.1.13 HELICOPTER LANDING AREA <i>A helicopter landing area shall be at least 200m from the nearest boundary of any of the Residential, Coastal Residential, Russell Township or Point Veronica Zones.</i></p>	Not applicable.
<p>12.3.6.1.2 EXCAVATION AND/OR FILLING, INCLUDING OBTAINING ROADING MATERIAL BUT EXCLUDING MINING AND QUARRYING, IN THE RURAL LIVING, COASTAL LIVING, SOUTH KERIKERI INLET, GENERAL COASTAL, RECREATIONAL ACTIVITIES, CONSERVATION, WAIMATE NORTH AND POINT VERONICA ZONES <i>Excavation and/or filling, excluding mining and quarrying, on any site in the Rural Living, Coastal Living, South Kerikeri Inlet Zone, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones is permitted, provided that:</i></p> <ul style="list-style-type: none"> <i>(a) it does not exceed 300m³ in any 12 month period per site; and</i> <i>(b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the maximum permitted cut and fill height may be 3m.</i> 	<p>Does not comply.</p> <p>Although the proposed volume of earthworks is compliant with this rule, part (b) cannot be complied with. Due to the permitted 3m height for cut and fill being exceeded, a Discretionary Activity Resource Consent is required in line with Rule 12.3.6.3 of the District Plan.</p>

5.1.2.2 To summarise the above table, the application’s proposal does not comply with the following rules:

- Rule 10.7.5.1.1 Visual Amenity Rule
- Rule 10.7.5.1.5 Sunlight
- Rule 10.7.5.1.6 Stormwater Management
- Rule 10.7.5.1.7 Setbacks from Boundaries
- Rule 12.3.6.1.2(b) Excavation in the Coastal Living Zone



5.1.2.3 Overall, the applications proposal required a Discretionary Activity in line with the requirements of Rule 12.3.6.3 of Chapter 12 of the District Plan (this is the highest activity status of the rule infringements which causes the whole application to be classified as a Discretionary Activity).

5.2 Far North District Council Proposed District Plan

5.2.1 Zoning and Features

5.2.1.1 As well as assessment under the Operative District Plan, the applications proposal also needs to be assessed under the relevant provisions of the new Far North Proposed District Plan (Notified 27th July 2022).

5.2.1.2 Not all of the Proposed Plan has legal effect, so only the relevant sections to the subject site and its proposal are to be assessed in this part of the report.

5.2.1.3 The site is zoned Rural Lifestyle under the Proposed District Plan and is not subject to any other District Plan Policy Overlays.

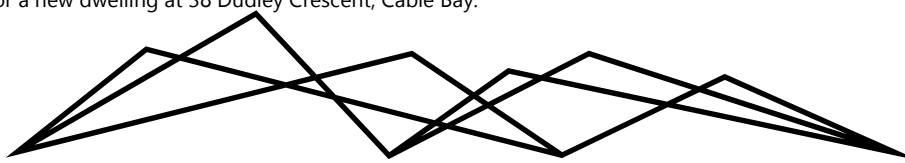
5.2.1.4 The Rural Lifestyle zone, along with the Rural Residential zone, seeks to concentrate rural lifestyle or rural residential living in appropriate places in the district, to help avoid further fragmentation of productive land and reverse sensitivity effects on the district’s primary sector. Conversely, rural lifestyle development is not provided for in the Rural Production zone unless an environmental benefit is obtained through the protection of indigenous biodiversity in perpetuity (as provided for in the Subdivision chapter). Industrial and commercial activities, including retail, are not anticipated in the Rural Production zone as these are best located in urban zones with appropriate infrastructure or in the Settlement zone. This also ensures that industrial and commercial activities are separated from potentially incompatible primary production activities. 5.2.1.5 Council has a responsibility under the RMA and the Northland Regional Policy Statement to manage the rural land resource to provide for the economic, social and cultural well-being of people and communities, protect highly versatile soils, and avoid reverse sensitivity effects on primary production activities. The Rural Production zone also contains many of our areas of indigenous biodiversity, historical and cultural values and high value landscapes and features. The protection of these resources must be managed in conjunction with the ability to undertake activities anticipated in this zone.

5.2.1.5 The Rural Lifestyle Zone chapter in the Proposed Plan does not have legal effect at the time of submitting this resource consent application and as such no rules in this chapter relating to the site need to be assessed and/or addressed.

5.2.1.6 It's worth pointing out that under the Proposed Plan, in the Rural Lifestyle Zone (which the site would be zoned), the proposed dwelling and its accompanying garage would not trigger the need for a consent for Visual Amenity, as there is no visual amenity rule within this zone.

5.2.1.7 Below are the relevant Rules from the Earthworks chapter of the Proposed Plan which according to Council’s Duty Planner do have legal effect. The applications required earthworks are assessed against these rules:

EW-R12	Earthworks and the Discovery of Suspected Sensitive Material	Comments
All Zones	Activity status: Permitted Where: PER-1 The earthworks complies with standard EW-S3 - Accidental Discovery Protocol.	Complies.
EW-R13	Earthworks and Erosion and Sediment Control	Comment
All Zones	Activity status: Permitted Where: PER-1 The earthworks complies with standard EW-S5 Erosion and sediment control.	Complies.
EW-S3	Accidental Discovery Protocol	Comment
All Zones	On discovery of any suspected <u>sensitive material</u> , the person must take the following steps: 1. Cease all works within 20m of any part of the discovery immediately and secure the area, including: i. shutting down all earth disturbing machinery and stopping all earth moving activities; and ii. establish a sufficient buffer area to ensure that all material remains undisturbed. 2. Within 24 hours of the discovery the owner of the <u>site</u> , tenant or the contractor must: i. inform the following parties of the discovery: ▪ The New Zealand Police if the discovery is of human remains or kōiwi; ▪ The <u>Council</u> in all cases; ▪ Heritage New Zealand Pouhere Taonga if the discovery is an archaeological <u>site</u> , Māori cultural artefact, human remains or kōiwi; ▪ <u>Tangata Whenua</u> if the discovery is an archaeological <u>site</u> , Māori cultural artefact, or kōiwi. 3. No works shall recommence until the discovery area is inspected by the relevant authority or agency, this shall include: i. If the discovery is human remains or kōiwi the New Zealand Police are required to investigate the human remains to determine whether they are those of a missing person or a crime scene. The remainder of this process will not apply until the New Zealand Police confirm that they have no further interest in the discovery; or ii. If the discovery is of archaeological material, other than evidence of <u>contaminants</u> , a <u>site</u> inspection for the purpose of initial assessment and response will be arranged by the <u>Council</u> in consultation with Heritage New Zealand Pouhere Taonga and appropriate <u>Tangata Whenua</u> representatives.	Will comply. Council can impose standard conditions of consent on the consent decision to ensure compliance if deemed necessary.



	<p>4. Recommencement of work:</p> <p>i. Heritage New Zealand has confirmed that an archaeological authority has been approved for the work or that none is required;</p> <p>ii. Any required notification under the Protected Objects Act 1975 has been made to the Ministry for Culture and Heritage;</p> <p>iii. Resource consent has been granted to any alteration or amendment to the <u>earthworks</u> or <u>land disturbance</u> that may be necessary to avoid the sensitive materials that is not otherwise permitted under the plan or allowed by any existing resource consent.</p>	
EW-S5	Erosion and Sediment Control	Comment
All Zones	<p><u>Earthworks</u></p> <p>i. Must for their duration be controlled in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016 (Auckland Council Guideline Document GD2016/005);</p> <p>ii. shall be implemented to prevent silt or sediment from entering <u>water bodies</u>, coastal marine area, any <u>stormwater system</u>, <u>overland flow paths</u>, or <u>roads</u>.</p>	<p>Will Comply.</p> <p>Council can impose standard conditions of consent on the consent decision to ensure compliance.</p>

5.2.1.8 As you can see from the table above, the applications proposal is able to comply with the earthworks rules from the plan that have legal effect.

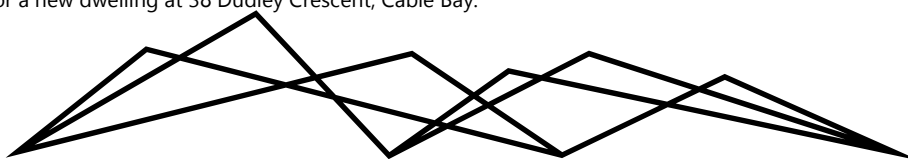
5.2.1.9 The following chapters also have rules with legal effect in them:

- Hazards and Risks – Hazardous Substances
- Historical Values – Heritage Area Overlays
- Historical Heritage – Historical and Cultural Values
- Historical Heritage – Notable Trees
- Historical Heritage – Sites and Area of Significance to Maori
- Natural Environment Values – Ecosystems and Indigenous Biodiversity
- Subdivision
- General District Wide Matters – Signs
- General District Wide Matters – Activities on the Surface of Water

None of the rules in the above Proposed District Plan chapters have any relevance to the applications proposal or subject site and as such have not been included in this report.

5.3 National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS)

5.3.1 The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS) applies to activities that disturb soil on land where contaminants may be present, including land that is known or reasonably suspected to have been subject to a hazardous activity or industry listed in the Ministry for the Environment’s Hazardous Activities and Industries List (HAIL). The purpose of the NES-CS is to ensure that



contaminated land is appropriately identified and managed to protect human health during land development and use.

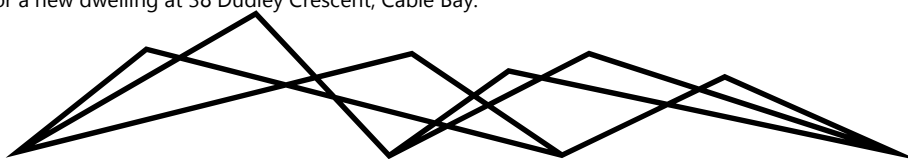
- 5.3.2 The proposal involves the construction of a new residential dwelling at 38 Dudley Crescent, Cable Bay. The site is approximately 739m² in area and is located within an established residential environment. Earthworks associated with building foundations, services and general site works are proposed, comprising approximately 205m³ of earthworks across an area of approximately 395m².
- 5.3.3 An assessment has been undertaken to determine whether the NES-CS is applicable to the proposal. The site is not identified as being subject to a hazardous activity or industry and is not listed on the Northland Regional Council Selected Land Use Register as contaminated land.
- 5.3.4 To further inform the assessment, historical aerial imagery available via the Retrolens website has been reviewed to understand past land use of the site and surrounding area. The aerial imagery indicates that in 1948 the land was covered in native vegetation; by 1966 it was used as grass paddocks; and by 1977 the wider area was beginning to undergo conversion into residential sections on the lower slopes near the subject site. By 1981, the land remained in paddocks, with the formation of a track evident that appears to broadly align with the future layout of Dudley Crescent.
- 5.3.5 This historical land use evidence is consistent with rural pasture followed by residential subdivision development. It does not indicate land uses typically associated with hazardous activities or industries, nor does it suggest the storage, use or disposal of hazardous substances at a scale that would give rise to reasonable suspicion of land contamination for the purposes of the NES-CS.
- 5.3.6 The proposed dwelling is a residential activity for the purposes of the NES-CS. On the basis of the site's residential context, the absence of any known HAIL activity, the absence of any listing on the Northland Regional Council Selected Land Use Register, and the historical land use evidence outlined above, the land is not known or reasonably suspected to be contaminated for the purposes of the NES-CS.
- 5.3.7 Regulation 8(5) of the NES-CS permits soil disturbance associated with residential activities where the land is not subject to and is not reasonably suspected of having been subject to, a hazardous activity or industry. In this instance, the proposed earthworks are typical of residential development and there is no information available to suggest that the NES-CS is triggered or that additional investigation or management requirements are necessary.
- 5.3.8 Accordingly, the proposed residential development is considered to be permitted under the NES-CS, and the NES-CS does not impose any additional consent requirements, investigation requirements or restrictions on the proposal.

5.4 National Policy Statement for Natural Hazards (NPS-NH).

- 5.4.1 The National Policy Statement for Natural Hazards 2025 (NPS-NH) is a national direction instrument issued under section 52 of the Resource Management Act 1991. The NPS-NH was gazetted on 18 December 2025 and came into force on 15 January 2026. It applies nationally

to resource consent decision-making and establishes a consistent framework for the management of natural hazard risk in planning and development.

- 5.4.2 The purpose of the NPS-NH is to ensure that natural hazard risks to people, property, and communities are appropriately identified, assessed, and managed through land use planning and resource consenting. The NPS-NH requires decision-makers to adopt a proportionate, risk-based approach that considers both the likelihood and consequences of natural hazard events, rather than relying solely on the presence or absence of mapped hazard areas.
- 5.4.3 The NPS-NH applies to new subdivision, use, and development in all environments and zones, including coastal environments. It applies to the management of the following natural hazards: flooding, landslips, coastal erosion, coastal inundation, active faults, liquefaction, and tsunami. Infrastructure and primary production activities are excluded from the scope of the NPS-NH.
- 5.4.4 In the coastal environment, where there is any inconsistency between the provisions of the NPS-NH and the New Zealand Coastal Policy Statement 2010, the New Zealand Coastal Policy Statement prevails. The NPS-NH does not prohibit development in areas subject to natural hazards; rather, it requires that natural hazard risks are understood and managed in a manner proportionate to the level of risk and the scale of the proposal.
- 5.4.5 The National Policy Statement for Natural Hazards 2025 applies to the assessment of this application for a new residential dwelling at 38 Dudley Crescent, Cable Bay.
- 5.4.6 The subject site is not identified as being subject to natural hazard overlays under either the operative or proposed Far North District Plan. A review of available Far North District Council and Northland Regional Council hazard mapping indicates that the site is not affected by mapped areas of flooding, coastal inundation, coastal erosion, land instability, or other natural hazards.
- 5.4.7 Cable Bay is a coastal settlement, and it is acknowledged that coastal environments may be exposed to natural hazards such as coastal inundation, storm surge, or tsunami. However, there is no evidence to indicate that the subject site is currently subject to a level of natural hazard risk that would constrain residential development. The site is not located within identified coastal flood or erosion hazard zones, and the proposal does not involve landform modification, reclamation, or activities that would alter coastal processes.
- 5.4.8 The proposal involves the construction of a single residential dwelling and will not increase natural hazard risk to people or property, either on the site or elsewhere. The scale and nature of the development are consistent with the existing residential character of the area.
- 5.4.9 Having regard to the absence of mapped natural hazards, the nature of the site, and the scale of the proposal, the level of natural hazard risk is considered to be low. A proportionate assessment is therefore appropriate, and no site-specific engineering or hazard mitigation measures are required to manage natural hazard risk.
- 5.4.10 The proposal is consistent with the objectives and policies of the National Policy Statement for Natural Hazards 2025, as it does not increase exposure to natural hazard risk and provides for residential development in a manner that is appropriate to the site's hazard context.



5.5 Consent Notice 738051.2

5.5.1 Consent Notice 7389051.2 is registered on the subject sites Record of Title. This has a schedule of conditions that need to be complied with, as and where there is relevance to the subject site.

5.5.2 Below is an assessment of the Consent Notice Conditions that are relevant to the applications proposal:

Lots 66 and 67:

Condition 1 is not applicable to the subject site or this application’s proposal.

Lots 56 – 67, 201 and 203:

Condition 2 is not applicable to the subject site or this application’s proposal.

Lots 28 – 31, and 49 – 86:

Conditions 3, 4 and 5 not applicable to the subject site or this application’s proposal.

Lots 29 – 31, 49 – 6, 201 and 203:

Condition 6 is not applicable to the subject site or this application’s proposal.

Lots 51, 52, 60 – 63, 67 – 69, 72, 73, 75, 1 and 82:

Condition 7 is not applicable to the subject site or this application’s proposal.

All Lots:

Condition 8 - The incorporated body or other legal entity requested to be formed pursuant to Condition (3)(4) shall be responsible for the ongoing maintenance of the common areas, and the stormwater and wastewater systems. The owner of each residential and rural allotment within the subdivision will be required to be a member of the approved entity.

Complied with.

Condition 9 - The requirements of the approved management plan shall be complied with at all times and in particular the following matters shall be observed at all times:

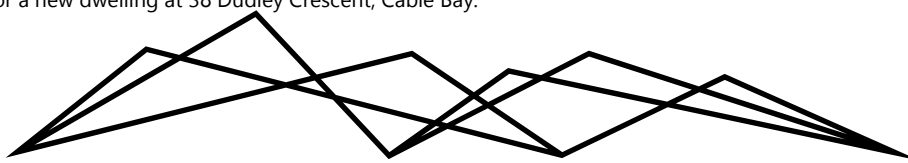
- ***No building shall exceed a height of 6m as measured by the rolling height method set out in the District Plan.***

As shown on the proposed plans in Appendix B, the proposed dwelling for the site will comply with this condition.

- ***The colours of all buildings are to comply with British Standard specification BS5252 Colour Range and have a reflective value of 30% or less.***

This condition will be complied with. The proposed colours for the new buildings on the subject site are shown on the plans in Appendix B of this report.

Condition 10 - Any new residential building erected on site, shall have installed a domestic sprinkler system in accordance with the requirements of the New Zealand Fire Service.



A sprinkler plan showing details of the sprinkler system to be installed in the proposed structures on the site, in accordance with the requirements of the New Zealand Fire Service can be found in Appendix D of this report.

Condition 11 - No building shall be erected on the proposed lots without the prior approval of the council to specific designs for foundations, prepared by a registered engineer with geotechnical experience.

The proposal will comply with this.

Condition 12 - No occupier of the land shall keep or introduce on to the site carnivorous or omnivorous exotic animals (such as ferrets, cats or dogs) which have the potential to be kiwi predators).

The proposal will comply with this.

Condition 13 - Exotic vegetation which could adversely affect natural regeneration of local forest health is not to be introduced on the site. This includes introduction of invasive plant species, including those listed on the national-banned-for-sale list (see Northland Regional Pest Management Strategy). Planting of other exotic species should be confined to the immediate vicinity of dwellings and species with berry-type fruits are to be grown within netting to prevent seed spray by birds.

The proposal will comply with this.

Condition 14 - Animal pest and weed eradication shall be ongoing in accordance with the animal pest and weed eradication programme approved by Far North District Council detailing the methodology for animal pest and weed eradication within the bush covenant areas. Any predator/pest control work carried out is to be done in a manner which will not endanger kiwi.

The proposal will comply with this.

Condition 15 - A landscaping plan for a suitably qualified person shall be provided to the Council's satisfaction, which indicates the means to lessen the visual impact of buildings, accessway and any earthworks. This plan shall be submitted with the resource consent application for the construction of a dwelling or accessory building on sites within the subdivision. On approval of this plan, the landscaping specified is to be provided within six months and adequately maintained thereafter. Plants requiring removal due to damage, disease or other causes shall be replaced with a similar specimen before the end of the next following planting season.

This has been provided and is prepared in accordance with the requirements of this condition.

5.6 Cable Bay Sections Limited Management Plan

- 5.6.1 The above assessed Consent Notice 7389051.2 makes reference to the Cable Bay Sections Limited Management Plan. This was a document that was approved as part of RC2051164

which was the original subdivision application that created the subject site and surrounding lots in this part of the District.

- 5.6.2 Section 3.0 “Coverage of Management Plan” indicates that the Management Plan applies generally to the whole of the land included in the Resource Consent Application 20501164 depicted on the approved Scheme Plan bit with some matters being applicable only to specified properties as stated in the individual sections.
- 5.6.3 It then goes on to state that all matters in the Management Plan must be complied with unless they are described as guidelines for implementation. Non-compliance with the Management Plan will be subject to enforcement action via the provisions of the RMA 1991.
- 5.6.4 Section 5.0 “Bush Protection Plan” is not considered relevant to the applications proposal or the subject site, as the subject site is not one of the lots specifically mentioned as falling under the requirements of this section.
- 5.6.5. Section 6.0 “Built Development” is relevant to the applications proposal and the subject site. Section 6.2 explains that “controls are required to minimize the potential visual impact of buildings, particularly on views from the coastal marine area. These provisions relate to the siting of buildings and accessory structures, together with design controls in respect of form, materials and colour where specified, and mitigation of visual effects through planting to provide screening. It should be noted that under the rules in the Far North District Plan pertaining to the Coastal Living Zone, resource consent is required for buildings exceeding a specific size. Compliance with the following requirements must be demonstrated when such consents are sought by individual owners”.
- 5.6.6 Section 6.3 “Design and Siting of Buildings” has the following restrictions and guidelines that shall apply to the subject site” (the restrictions and guidelines are in italic font, with assessment responses to them in standard font):

a. No more than one single unit residential dwelling on any lot.

The application’s proposal will comply with this requirement.

b. Buildings on any lot shall be contained within the building envelopes identified on the Approve Scheme Plan at Appendix 1 and as further detailed on the Approved Survey Plan.

There is no building envelope identified on the property on any survey plan, or on the management plans subdivision plan. Therefore, this is not considered applicable.

c. Buildings and Structures shall be designed and located to run with the landform, to minimise visual impact and to avoid, as far as is practicable, breaking of ridgelines so that the structures are more effectively integrated with the topography.

The applications proposal is considered to align with this requirement.

d. Buildings and Structures shall have their foundations design in according with the recommendations of the Geotechnical Report by Cook Costello for the relevant lot.

This is complied with. The Geotech and foundation design has been undertaken by Wilton Joubert in their report titled "Geotechnical Assessment Report" found in Appendix H.

In Section 9 of the above mentioned Geotechnical Assessment Report it suggests that on the basis of its findings Wilton Joubert "consider that the risk of moderate to deep-seated slope instability impacting the development area to be significantly low, provided all recommendations contained within our report are implemented in design and construction".

For foundations, the report suggests that the new dwelling will have "a timber subfloor, suspended on bored, concrete encased, tanalised timber pile/pole foundations. The detached garage is likely to be of proprietary-type design and found on a concrete floor slab".

- e. *Buildings and structures shall be designed so that rooflines are irregular and stepped with the plan of the dwelling being broken up or indented. This will allow for trees close to the dwellings, create shadows and reduce the appearance of their scale.*

This is adhered to.

- f. *Buildings shall be coloured in recessive tones to harmonise with the surrounding vegetation and landscape.*

The proposed dwelling will be compliant and in line with this requirement.

- g. *No building shall exceed a height of 8m as measured by the rolling height method set out in the District Plan.*

The proposed development for the site complies with this requirement.

- h. *Materials and finishes should compliment the setting, be natural looking and non-reflective, and windows should not be mirrored glass.*

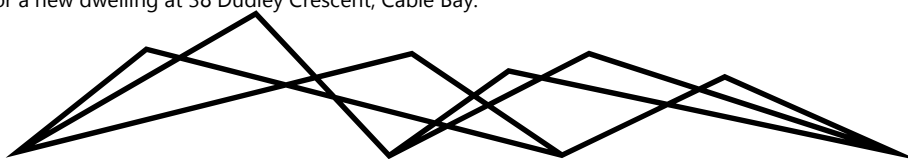
The proposed development for the site complies with this requirement.

- i. *The colours of the buildings are to comply with the British Standards specification BS5252 Colour Range and have a reflective value of 30% or less.*

The proposed development for the site complies with this requirement. Colour schemes for the proposed buildings on the subject site are shown on the plans in Appendix B.

- j. *Garaging on any lot shall be incorporated into the residential building whenever practicable and water tanks shall be sited so that they are not visually prominent when viewed from the coastal marine area, the road, or neighbouring properties. Where tanks cannot be sited underground they shall be screened by vegetation.*

The proposed garage is a standalone building and not incorporated as the guideline suggests. This was not achievable or practical due to the topography of the site and house design that the applicant wanted.



Water tanks on site will be partially buried and landscaping will be provided on site to provide subtle screening to all built form proposed.

5.6.7 Overall, the applications proposed new dwelling and garage are considered to be compliant and in line with the recommendations and guidelines from Section 6.3 of the Management Plan.

5.6.8 As well as Section 6.3, other relevant parts of the Management Plan to the proposal are assessed and addressed below:

6.4 Accessory Buildings and Services

- The proposed parking areas on site will be partially screened, but the applications proposal also has a garaged located mostly out of view at the rear of the site which can house vehicles from the sites surrounds.
- The site access has been designed to require minimal earthworks and revegetation of earthworked areas can be ensured through Council imposed standard conditions of consent.
- Silt and erosion control can also be managed and controlled by standard Council conditions of consent imposed on the final consent decision.
- All services for the new development will be installed underground.
- In terms of the landscaping and management of vegetation as outlined in Section 6.5, no vegetation will be cleared from the site as it's a vacant grassed section at the time of writing; and a landscaping plan as required by part (c) of this section of the Management Plan has been provided here in this report in Appendix G.

6.6 Landscape Mitigation Plans

- A Landscape Plan (LP) has been provided in Appendix G of this report which deals with all the requirements of this section of the Management Plan.
- Overall, the proposed developments LP ensures that the visual impact of the proposed buildings for the site is mitigated through the plantings which will integrate the development into the landscape setting. As the report outlines, the proposed landscape planting around the dwelling will help blend the structure into the surrounding landscape and provide a vegetated backdrop and separation between neighbouring properties. See Section 6 of this report for more details on this subject.

7.0 Stormwater and Wastewater Management

- This is dealt with in more detail in Section 6 of this Assessment of Environmental Effects Report, but in terms of stormwater management the proposal will align with the requirements of Section 7.1 of the Management Plan.
- Similar to the above, the applications proposal will also align with the requirements of Sections 7.2, 7.3 and 7.4 of the Management Plan in terms of Wastewater and Water Management.

5.6.9 Overall, the applications proposal is considered broadly consistent with the requirements and guidelines of the Management Plan.

5.7 Overall Resource Consent Activity Status Conclusion

5.7.1 Overall, the consent application is to be assessed as a Discretionary Activity in line with the findings of Sections 5.1 to 5.4.

6 Resource Management

6.1 Section 95 – Notification

6.1.1 The new step by step section 95 process has been followed below:

Step 1: Mandatory Public Notification – s95A(2) and (3)

Criteria		Yes/No
(a)	Public Notification at Applicant’s request - s95A(3)(a)	No
(b)	Public Notification is required under section 95C (s95A(3)(b))	No
(c)	Public Notification is required as the application is a joint application with an application under section 15AA of the Reserves Act 1977, to exchange recreation reserve land (s95A(3)(c))	No

Step 2: Public Notification Precluded in Certain Circumstances – s95A (4) and (5)

Criteria		Yes/No
(a)	Rules or National Environmental Standards that preclude public notification – s95A(5)(a)	No
(b)	Any Controlled Activities – s95A(5)(b)(i)	No
(c)	Boundary Activities – Restricted Discretionary, Discretionary or Non Complying – s95A(5)(b)(iii)	Yes

Step 3: Public Notification Required in Certain Circumstances - s95A(7)

Criteria		Yes/No
(a)	The application is for one or more activities and any of those activities is subject to a rule or NES which requires public notification – s95A(8)(a)	No

Assessment of Environmental Effects – s95A(8)(b)

Overall, the proposed land use activity in this consent application is a Discretionary Activity.

Clause 2(3) of Schedule 4 RMA requires an assessment of the activity's effects on the environment. The level of detail should correspond with the scale and significance of the potential effects of the activity on the environment. The following actual and potential adverse effects, and positive effects have been identified and assessed for this proposal.

Visual Amenity

The proposal is to construct a new residential dwelling on the subject site, which is considered to be entirely in keeping with its immediately adjoining residential surroundings.

The proposed building is single storey and not considered to result in any adverse bulk, scale, shading or privacy effects upon its neighbouring sites. For the most part the proposed dwelling is compliant with nearly all of the underlying zones Development Control Standards, but where it is infringing rules in relation to neighbouring sites, the landowners approvals have been obtained (see Section 6.2 of this report for more details on this).

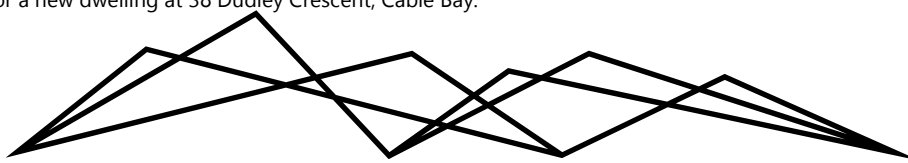
The proposed dwelling will exceed the 50m² Visual Amenity Permitted Standards for the zone but the new building is considered to be of good architectural design and contribute positively, aesthetically, to the area in which it is to be located. Despite exceeding this permitted standard, the proposed dwelling and its accompanying garage are considered modest in size and similar in terms of scale of built form when compared to other existing and established dwellings in this area, and appropriate for the size of the subject site.

The new dwelling will be set down into the sites topography in order to ensure it is not visually dominant in this coastal location and to ensure that it has minimal impact on the hill side location that it will occupy.

The proposed dwelling will be accompanied by a standalone garage. Whilst it is acknowledged that the Management Plan for the original subdivision that created lots in this area suggests that garages be incorporated into the main dwelling on a site, this was not considered possible or practical here in terms of the house design and the topography of the property. Instead, the proposed garage will be located behind the proposed new dwelling for the site, set down into the site and from Dudley Crescent, meaning that for the most part this structure will be screened from view from the wider coastal and Cable Bay township area. For neighbouring sites that can see it, they are not considered to be adversely affected from a visual point of view as the site will not appear to be "overdeveloped" and garages are a structure and building use that is reasonably expected to be found in a residential zone type.

Landscaping for the site will be used to soften the built form when viewed from the sites surrounds and has been planned for the property by a qualified landscape architect to best respond to the underlying Management Plan requirements.

The proposed landscape plan for the site is shown below in Figure 7:



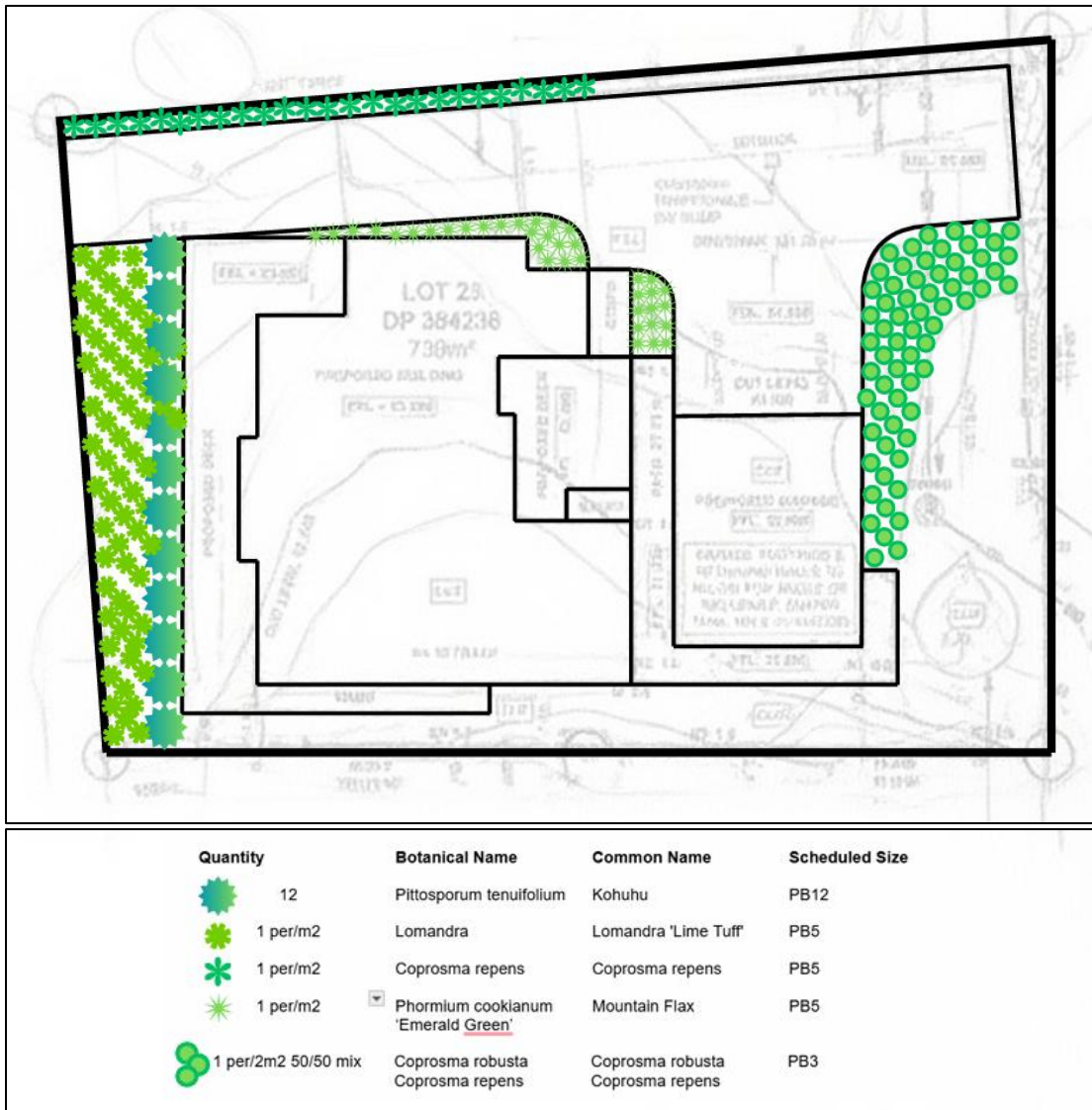


Figure 7: Proposed Landscaping Plan for the subject site.

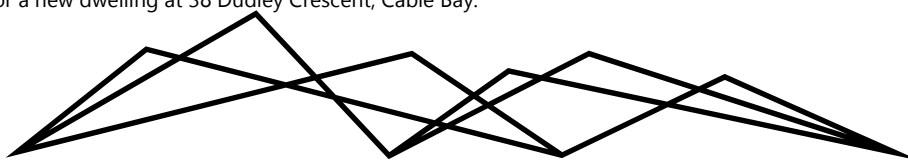
The above plan shows the location of the proposed planting to accompany the sites proposed development. All species suggested for installation on site are native plants to New Zealand.

The boundary planting areas adjacent to Dudley Crescent shows a mix of Lomandra and Kohukohu. The former will be f a size that will have an install height of about 10-20 cm with the larger kohukohu being approximately 50cm when installed.

Coprosma repens will line the eastern side of the sites access, with Coprosma robusta and repens planted at the southern end of the site, providing some screening and softening to the applications proposed built form over time.

Mountain flax will be planted around the new dwellings eastern elevation to soften the built form.

The proposed colours and materials of the new dwelling will also comply with the requirements of the Visual Amenity Rules for the zone and consent notice requirements for colours for new buildings as listed on the Record of Title. This will ensure it blends in with



existing built form in this area and is not visually prominent when viewed from the coastal area.

Overall, any visual and amenity effects of the proposal are considered to be no more than minor.

Sunlight and Setbacks

As identified in both the proposal assessment in Section 5 of this report and as shown on the plans in Appendix B, the applications proposal will result in infringements to the underlying zone rules relating to boundary setbacks and sunlight.

The image below – Figure 8 - is an extract from the Site Plan found in Appendix B and the blue circles outline the areas of the proposal where the 3m yard setback of the zone is not complied with:

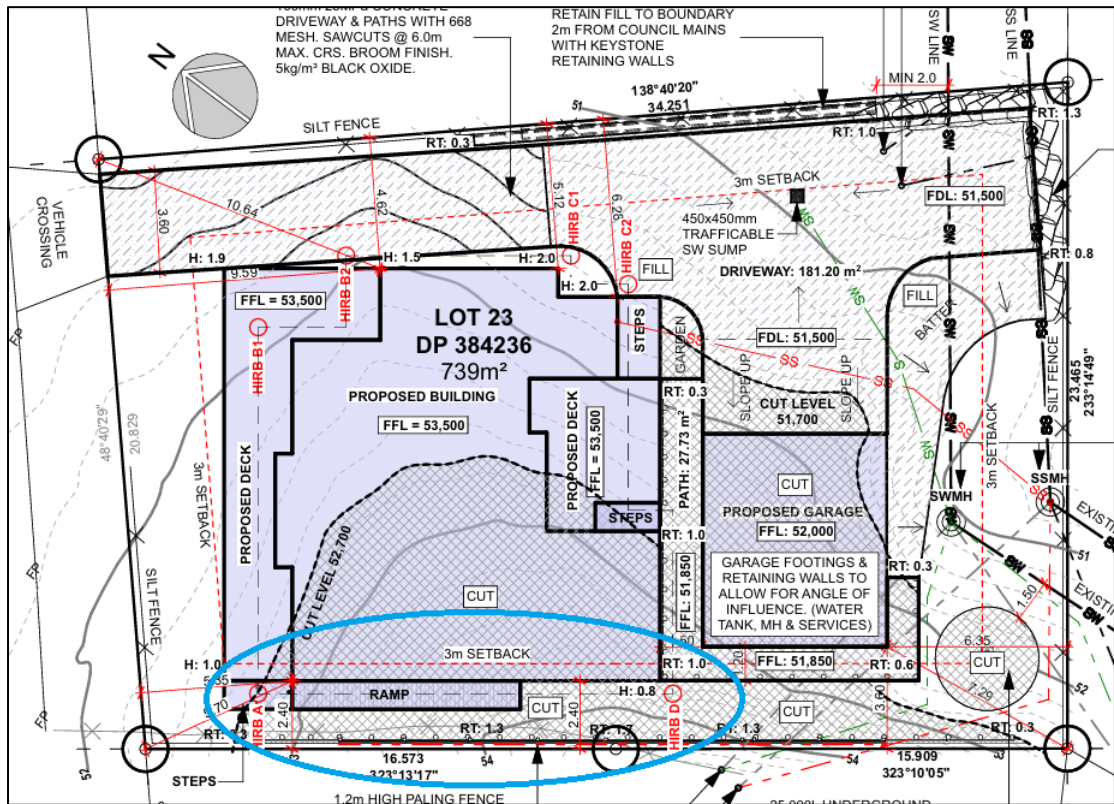
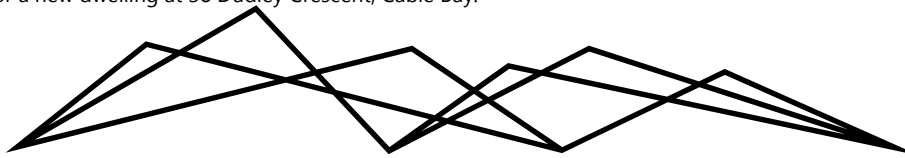


Figure 8 – Site Plan extract showing areas of yard setback and sunlight infringements resulting from the proposal.

As the plans show, the proposed dwellings western elevation will be located 2.4m from the western boundary with 40 Dudley Crescent, which is a 60cm shortfall from the zone yard setback requirements.

This western boundary will also see a retaining wall installed along 23m of it. Portions of this wall will be classed as a building under the District Plans definitions due to the size of the retaining wall and the safety fence being located on top of it. Part of this fence structure will also infringe the permitted sunlight rules requirements also.



The neighbouring property owner has provided their written approvals to the applications proposal and as such any adverse effects resulting these abovementioned infringements in relation to this neighbouring site can be disregarded.

There are no other infringements relating from the proposal in relation to any of the other boundaries of the site.

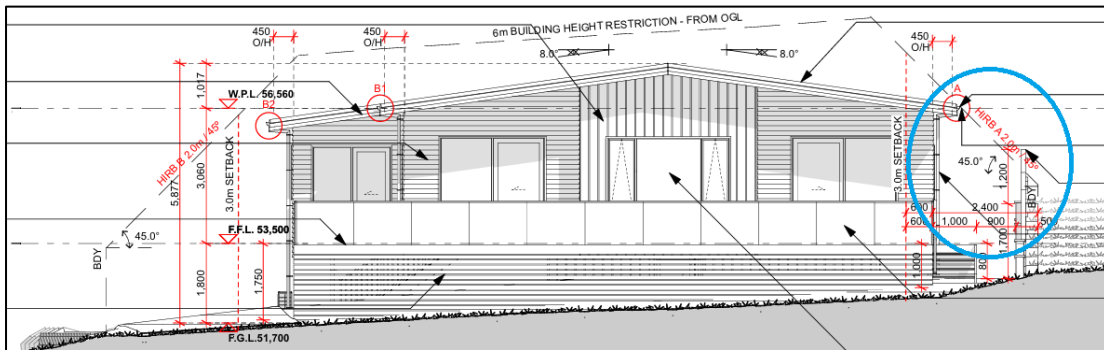


Figure 9: The above extract from the plans in Appendix B show the Sunlight and side yard infringements resulting from the proposed works along the western boundary.

Earthworks

The proposed earthworks required to prepare the site for the new residential dwelling are considered small in terms of both volume and area. The overall volume and area are actually permitted under both the Operative and Proposed District Plans for the zone, so assessment of them in relation to this development is not required.

The proposed earthworks are required to prepare the building platform for the new dwelling and also as a result of the pole foundation nature of the buildings design.

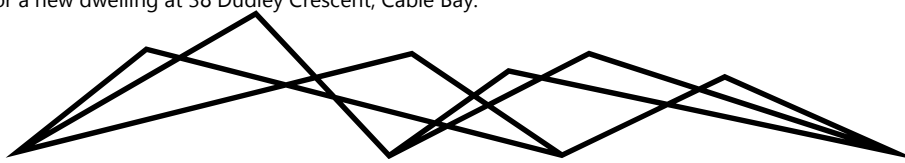
However, the combined cut and fill heights will exceed the permitted 3m for the zone, so trigger the need for a resource consent under the relevant District Plan rules outlined in Section 5 of this report.

With regards to the above, the proposed maximum cut height which will occur on site will be 1.7m – this is 0.2m over the permitted 1.5m. This exceedance is not considered to result in adverse effects in relation to the sites surrounds from a stability point of view as where this cut will be occurring there will be an engineered retaining wall installed to stabilise the works. Similarly, where the other cut and fill faces are on site, they will be stabilised with keystone retaining walls and gabion retaining to ensure that there is no opportunity for instability to be exacerbated on site as a result of these works.

Of the above-mentioned structures, only the retaining wall along the western boundary triggers the need for any resource consenting requirements due to its scale and positioning within the sites underlying zones side yard setback.

The proposed landscaping plan in Appendix G will also ensure that earthworked areas are regrassed and where necessary planted to ensure ongoing stability from vegetation where retaining is not present or deemed necessary.

The cut on the site will be re-used as fill and due to this no traffic movements will be generated by the proposal.



The earthworks are temporary in nature and to be expected of any development on sections in the District.

The cut and fill volumes and areas proposed will not result in a greatly modified subject site i.e. there will be no large scale cut faces or retaining walls needing to be installed or a resulting landscape that could have an adverse visual impact on this coastal setting. The site will be levelled out to be able to receive the proposed works, which will be in keeping with similar development that has already occurred in this area and the retaining structures that are needed will all be small in scale and partially screened from view by the proposed development and its accompanying landscaping.

The proposed volumes and areas of earthworks are considered modest for a site of this size in the zone, for the type of development proposed and any cut areas will result in installed retaining walls of varying types as shown on the plans in Appendix B to ensure site stability is maintained with regards to neighbouring properties.

Overall, the earthworks required to achieve the proposed development onsite are not considered to result in adverse effects upon the sites immediate and wider surrounds. If Council sees fit, their standard conditions of consent relating to earthworks management can be included on any final consent decision issued.

Stormwater Management

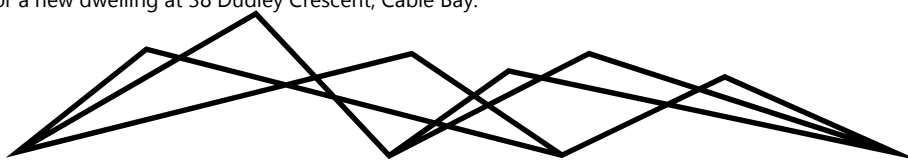
The proposed development in this consent application will result in an overall area covered in buildings and impermeable surfaces of 460.86m² or 62.36%. This is over and above the permitted 10% of 600m² provided for in the zone as a permitted activity. As a result of this, the proposal – from a Stormwater Management point of view – is considered a Discretionary Activity.

Despite this non-compliance with the underlying zone rule, this type of infringement must be a common one for residential sites in this area, as most allotments along Dudley Crescent are of a similar size to this, which once developed with a new dwelling would find it challenging to comply with the restrictive permitted allowance for impermeable surfaces on these sections. As such, the proposal is not considered to be introducing a type of infringement into this part of the District that isn't already commonplace.

To manage post development stormwater on the site a combination of methods will be utilised. Appendix F of this report includes a "Stormwater Mitigation Report" by Wilson Joubert Consulting Engineers and their stormwater management recommendations are outlined below:

- As per the report in Appendix F, it is recommended that a rainwater tank is utilised to provide the proposed dwelling with a potable/reusable water supply (the tank type is at the discretion of the client). A proprietary guttering system is required to collect roof runoff from the proposed roof areas. A first flush diverter and/or leaf filters may be installed in line between the gutters and the tank inlet. The tank inlet level should be at least 600mm below the gutter inlet and any in-line filters.

Due to inadequate water quality concerns, runoff from hardstand areas should not be allowed to drain to the potable water tanks.



The upper section of the potable water tank is to act as a detention volume to achieve stormwater neutrality for the proposed impermeable areas in excess of the permitted activity threshold. The tank is to be fitted with a 100mmØ overflow outlet with a flow attenuation outlet as specified on page 6 of the Stormwater Mitigation Report in Appendix F.

Discharge from the potable water/detention tanks must be transported via sealed pipes to the available stormwater connection. Refer to the appended Site Plan (145433-C200), Tank Detail (145433-C201) and calculation set) in the Stormwater Mitigation Report in Appendix F for clarification on this.

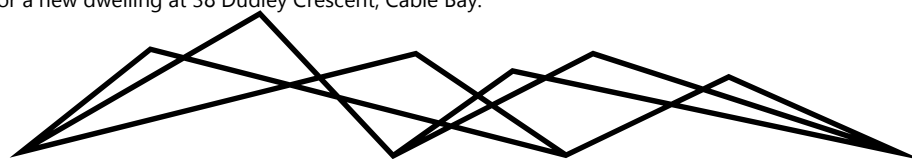
The tank must be installed in accordance with the tank suppliers’ details and specifications. Levels are to be confirmed by the contractor on-site prior to construction. Adequate fall (minimum 1% grade) from the tank’s outlet to the discharge point is required. If this is not achievable, WJL indicate that they must be contacted for review of the design.

- In terms of stormwater mitigation generated by on-site hardstanding, it is recommended that the proposed driveway be shaped to direct runoff to a catchpit(s), which shall discharge to the available stormwater connection via sealed pipes. The drainage line to the available stormwater connection must have a minimum gradient of 2% downstream of the junction where the catchpit drainage lines connect to the tank outlet drainage line. Alternatively, the line may be upsized to 150mmØ uPVC with a minimum gradient of 1%. Refer to the appended Site Plan (145433-C200) and calculation set for clarification.

Stormwater catchpits and drainage piping should be in accordance with E1 Surface Water of the NZBC. The catchpit(s) must have a suitable sump to serve as a pre-treatment device prior to discharging to the public stormwater network.

- Runoff from the drainage portion of the retaining walls should be directed via sealed pipes to the available stormwater connection.
- The subject site will retain a permeable area of 37.64% which when combined with the above-mentioned stormwater management methods can also provide on-site soakage as a component of the overall management of stormwater on the site.
- Existing stormwater lines and connections are in place on the site, so the proposed development will connect to this and divert stormwater into the existing Council system.
- Overall, given the design parameters, the peak flows resulting from the proposed development on the subject site will be attenuated back to permitted activity threshold peak flows for the 20% AEP and 1% AEP storm events, adjusted for climate change.

Section 11.3 of Chapter 11 – Assessment Criteria of the District Plan has a specific set of criteria relating to stormwater management which are relevant to the activity status of this proposal. These will be also dealt with later in this report.



Overall, through the provision of a large stormwater tank, a trafficable stormwater sump, on-site soakage capacity, and a lawful connection to the council stormwater network, it is reasonable to conclude that stormwater effects generated by the application's proposal have been appropriately and intentionally mitigated, subject to the tank discharging in a controlled manner and all overflows being safely managed.

Water and Wastewater Infrastructure

In terms of connections to Council services, as discussed earlier in Section 1 of this report, the subject site has the following:

- A gravity main wastewater line trends parallel to the southern boundary, slightly within the property confinements. A services connection is present towards the southeastern boundary corner;
- A stormwater culvert service line trends parallel to the southern boundary, offset approximately 4.3m within the property confinements. A service connection is present towards the southeastern boundary corner; and
- Wastewater and service connections for neighbouring 40 Dudley Crescent traverse through the southwestern corner of the site, ultimately connecting into the main service lines.
- There is not existing water connection to the site, which is why potable water tanks will be installed on site to accompany the applications proposal.

No new connections are needed to serve the subject site as a result of the proposed development.

Assessment of Effects Summary

It is concluded that the effects on the environment will be less than minor and acceptable. In reaching this conclusion, regard has been given to the non-compliances of the proposal. It has been concluded that all effects are able to be managed within the site that they are generated.

Step 4: Public Notification in Special Circumstances - s95A(9)

There are no special circumstances as there is nothing that is unusual, abnormal or exceptional about this application.

6.2 Section 95B – Effects on owners and occupiers

- 6.2.1 The steps set out in sections 95B(2) – 95B(10) must be followed to determine whether to give limited notification of an application for a resource consent, if the application is not publicly notified under section 95A.

Step 1: Certain Affected Groups and Affected Persons must be notified - s95B(2)-(4)

Criteria		Yes/No
(a)	Are there any affected protected customary rights groups – s95B(2)(a)	No
(b)	Is the activity on or adjacent to or may affect land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11 – s95B(3)(a)	No

Step 2: Limited Notification Precluded in Certain Circumstances – s95B(5)(6)

Criteria		Yes/No
(a)	The application is for one or more activities and each activity is subject to a rule or NES that precludes Limited Notification – s95B(6)(a)	No
(b)	The application is a controlled activity landuse -s95B(6)(b)(i)	No
(c)	The application is a prescribed activity (see section 360H(1)(a)(ii))	No

Step 3: Certain other persons must be notified – s95B(7)

- 6.2.2 The application is for a proposed new residential dwelling on the subject site which is unable to comply with underlying zone rules relating to Visual Amenity, Sunlight, Setbacks, Stormwater Management and Earthworks as outlined in Section 5 of the report.
- 6.2.3 An assessment is now required under s95B(8) to determine whether a person is an affected person in accordance with section 95E.

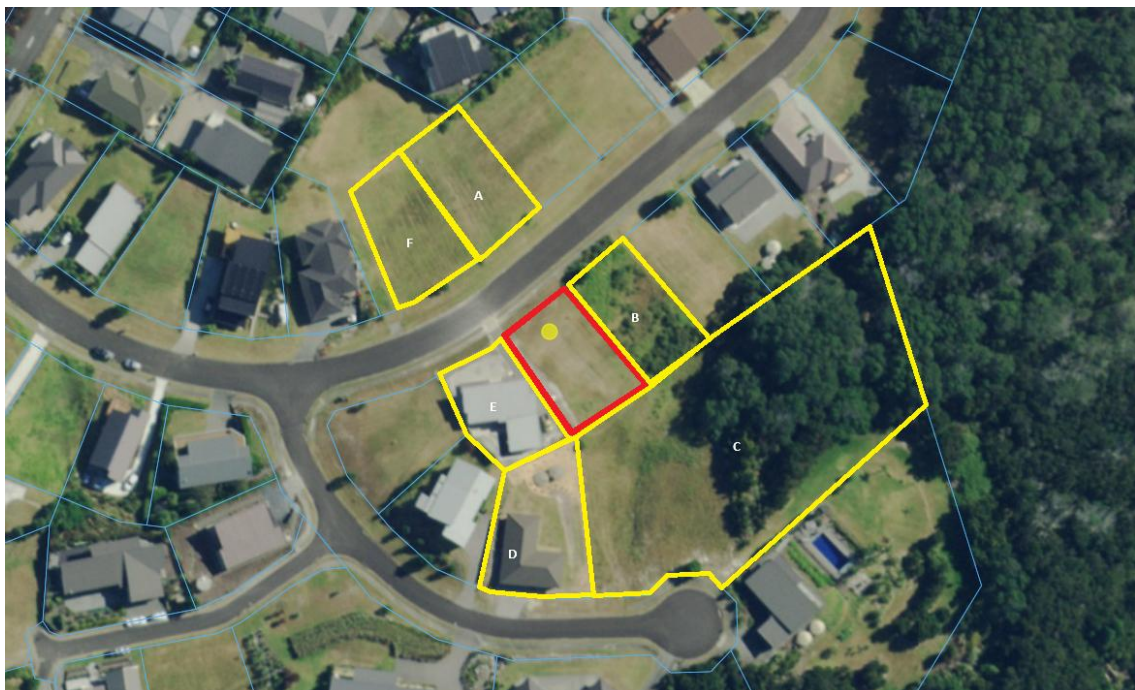


Figure 10: Location of Persons Considered under Section 95 (E) – neighbouring properties outlined in yellow (subject site in red).

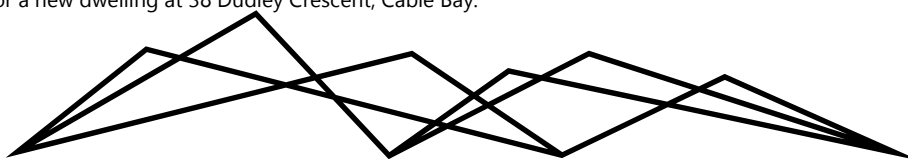


Table 1 below corresponds with Figure 10 above and identifies the neighbouring property owners that have been considered:

Property Reference	Property Address	Legal Description
A	31 Dudley Crescent, Cable Bay	Lot 8 DP 384236
B	36 Dudley Crescent, Cable Bay	Lot 22 DP 384236
C	7 Sunrise Place, Cable Bay	Lot 28 DP 384236
D	5 Sunrise Place, Cable Bay	Lot 27 DP 384236
E	40 Dudley Crescent, Cable Bay	Lot 24 DP 384236
F	33 Dudley Crescent, Cable Bay	Lot 7 DP 384236

6.2.4 It is considered that there are no other properties that will be affected by the applications proposal on the subject site.

6.2.5 Each neighbouring property outlined above in Table 1 is assessed and addressed against the applications proposal below:

Property A – 31 Dudley Crescent, Cable Bay

This is a similar sized allotment to that of the subject site and is located on the northern side of Dudley Crescent.

This section is currently vacant and is set down below Dudley Crescent on sloping land which has expansive views out over Doubtless Bay.

The applications proposed residential dwelling is an activity and structure that is provided for and anticipated in this zoning by the District Plan and is considered to be of a size and scale that will not result in adverse effects upon this adjoining property. No underlying zone rules are being infringed in relation to this site.

For these reasons, it is maintained that all effects on persons are less than minor.

Property B – 36 Dudley Crescent, Cable Bay

This is a similarly sized allotment to that of the subject site and is located to the east of the subject site.

This section is currently vacant and shares the subject sites eastern boundary.

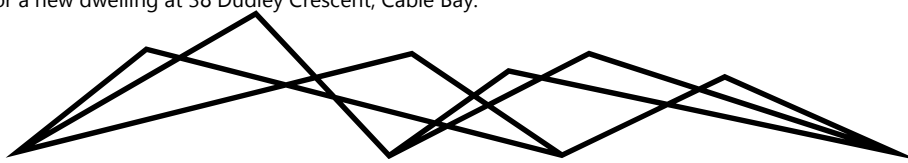
The applications proposed residential dwelling is an activity and structure that is provided for and anticipated for in this zoning by the District Plan and is considered to be of a size and scale that will not result in adverse effects upon this adjoining property. No underlying zone rules are being infringed in direct relation to this site.

For these reasons, it is maintained that all effects on persons are less than minor.

Property C – 7 Sunrise Place, Cable Bay

This property is a large lifestyle block sized property located to the south of the subject site.

This section is currently vacant and shares the subject sites south eastern boundary.



The applications proposed residential dwelling is an activity and structure that is anticipated and provided for in this zoning by the District Plan and is considered to be of a size and scale that will not result in adverse effects upon this adjoining property. No underlying zone rules are being infringed in direct relation to this site.

For these reasons, it is maintained that all effects on persons are less than minor.

Property D – 5 Sunrise Place, Cable Bay

This property is located to the south of the subject site and is a similar size to the applications property.

The site is home to an established residential dwelling which is located in the south western side of the site, positioned close to Sunrise Place (to allow for a larger, usable rear garden presumably). This site is in an elevated position when compared to the subject site, so therefore it is not considered to be adversely impacted by any bulk and scale resulting from the built form of the applications proposal.

The applications proposed residential dwelling is an activity and structure that is provided for in this zoning by the District Plan and is considered to be of a size and scale that will not result in adverse effects upon this adjoining property. No underlying zone rules are being infringed in direct relation to this site.

For these reasons, it is maintained that all effects on persons are less than minor.

Property E – 40 Dudley Crescent, Cable Bay

This property is located to the west of the subject site, on the western side of Dudley Crescent.

The owner of this property has provided their written approval in relation to the applications proposal – signed forms and plans can be found in Appendix E of this report – so therefore any potential adverse effects arising from the new dwelling on the subject site in relation to this neighbouring property can be disregarded.

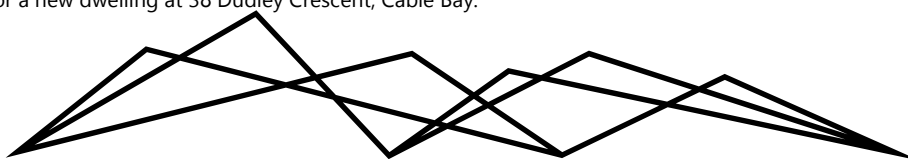
Property F – 33 Dudley Crescent, Cable Bay

This property is not considered affected by the proposal in this consent application.

The subject site does not directly adjoin this property (due to it being located on the northern side of Dudley Crescent and set down from the road), is not directly adjacent to any of the underlying zone rule infringements generated by the applications proposal, and as such is not considered to result in any adverse effects upon it.

6.2.6 Conclusion

Accordingly, for the reasons stated above, all effects upon the owners and occupiers of the above-mentioned properties are considered to be less than minor. Accordingly, it is recommended that the application is processed on a **non-notified** basis.



7 Substantive Decision

7.1 Section 104B – Determination of Applications

7.1.1 Council’s decision in terms of the Discretionary Activity must be made in relation to Section 104B of the Resource Management Act (RMA). Section 104B states:

104B Determination of applications for discretionary or non-complying activities

- *After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—*
 - *(a) may grant or refuse the application; and*
 - *(b) if it grants the application, may impose conditions under section 108.*

Section 104 outlines the following matters, which are relevant for consideration of the application:

- “(1) (a) any actual and potential effects on the environment of allowing the activity; and
 (b) any relevant provisions of—
 (vi) a plan or proposed plan; and
 (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.*

7.2 Section 104 Assessment

7.2.1 Proposed District Plan Assessment Criteria

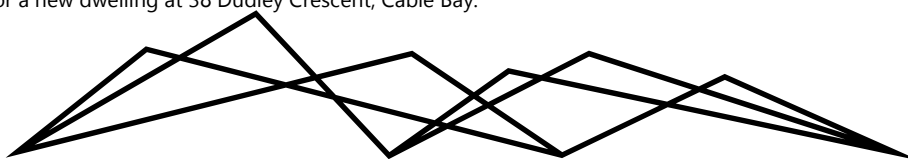
7.2.2.1 Matters relating to the District Plans relevant assessment criteria have been discussed in detail within section 6 of this report of this Report where it was concluded that the adverse effects of the proposal will be no more than minor. However, for completeness, relevant assessment criteria from Chapter 11 of the District Plan are included below, assessed and addressed:

11.2 BUILDING HEIGHT, SCALE AND SUNLIGHT

- (a) The extent to which adjacent properties will be adversely affected in terms of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight.*

The application’s proposal is not considered to result in any visual domination, overshadowing, loss of privacy or loss of access to daylight in relation to neighbouring sites. The reasons for this being that this is a single storey dwelling that complies with both the underlying zone and Management Plans height requirements. It also complies with the underlying zone requirements in terms of yards and height in relation to boundary, on the whole.

Where the proposed development cannot comply with side yard and height in relation to boundary zone rule requirements – along the site’s western boundary – the adjoining site owner has provided their written approval to the proposed works, therefore allowing Council to disregard any potential adverse effects from the applications proposal in relation to this adjoining property.



- (b) *The ability to mitigate any adverse effects by way of increased separation distances between buildings or the provision of landscaping and screening.*

A landscaping plan found in Appendix G of this report outlines how areas of planting on the subject site will help soften and screen parts of the proposed development which will mitigate its visual impact when viewed from the sites surrounds.

- (c) *The extent of the building area and the scale of the building and the extent to which they are compatible with both the built and natural environments in the vicinity.*

The applications proposal is considered to be of a size and scale that is anticipated and expected for subject sites in this part of the District. Existing built form in the area is of a similar scale, sometimes bigger, than what is being proposed here and therefore the applications proposed built form is considered compatible with the built and natural environment in which it will sit.

- (d) *The spatial relationship between the new building and adjacent residential units, and the outdoor space used by those units.*

The proposed dwelling's outdoor living space will be to the front of the site, utilizing the new deck that will run the length of the new dwelling's northern elevation, making the most of the properties coastal views. The neighbouring property to the west also has a front yard deck, but due to the topography of both sites the subject sites new development could not be considered to be overlooking this adjoining site, due to being set down lower.

The site to the east is currently vacant, so therefore any assessment of living areas interactions cannot be done in this instance.

Directly opposite sites on the northern side of Dudley Crescent are currently vacant, but nearby sites on that side of the road that are home to dwellings all have them built close to the road with their living areas to the rear. This northern aspect gives them both good solar access, but also mostly uninterrupted views of Cable Bay and the wider Doubtless Bay area. As such, these properties are not considered to be adversely impacted spatially by the applications proposed outdoor area.

- (e) *The nature of the activity to be carried out within the building and its likely generated effects.*

The applications proposal is a residential dwelling in a residential area.

11.3 STORMWATER MANAGEMENT

The below criteria have been dealt with by Wilton Joubert in their Stormwater Mitigation Report found in Appendix F of this report. Their assessment comments on the criteria are included below.

- (a) *The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.*

Impermeable surfaces resulting from the development increase site impermeability by 460.86m². Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.

- (b) *The extent to which Low Impact Design principles have been used to reduce site impermeability.*

The proposal incorporates Low Impact Design principles by minimising new impermeable surfaces, retaining existing pervious areas, and utilising dual-purpose rainwater tanks for both water reuse and stormwater detention. These measures reduce runoff volumes and attenuate peak flows to levels consistent with the permitted activity threshold, representing an appropriate LID response for the site.

- (c) *Any cumulative effects on total catchment impermeability.*

Impervious coverage will increase by 460.86m².

- (d) *The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.*

Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes. This should not worsen the ability of natural ground to absorb water in normal conditions.

- (e) *The physical qualities of the soil type.*

Awhitu Group Alluvium – moderate/good drainage.

- (f) *Any adverse effects on the life supporting capacity of soils.*

Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils.

- (g) *The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.*

Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes, mitigating the potential for contamination of surrounding soils and

harm to the life supporting capacity of soils. Catchpits will be fitted with suitable sumps as a pre-treatment device.

The site is serviced by public stormwater and wastewater connections.

- (h) *The extent to which paved, impermeable surfaces are necessary for the proposed activity.*

The proposed driveway is necessary to provide access to the proposed dwelling and is not considered excessive.

- (i) *The extent to which landscaping may reduce adverse effects of run-off.*

Existing vegetation and any plantings introduced by the owner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.

- (j) *Any recognised standards promulgated by industry groups.*

Not applicable.

- (k) *The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.*

Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.

- (l) *The extent to which the proposal has considered and provided for climate change.*

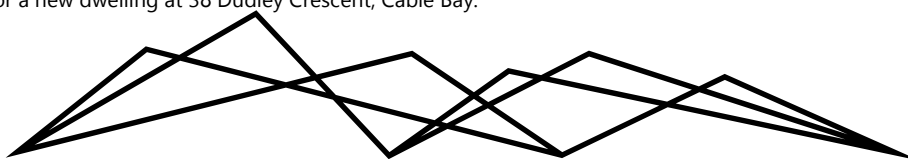
Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.

- (m) *The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.*

Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.

11.5 VISUAL AMENITY IN THE GENERAL COASTAL, SOUTH KERIKERI INLET AND COASTAL LIVING ZONES

The below criteria have been dealt with by Northscape Premium Landscape Solution in their Landscaping Plan found in Appendix G of this report. Their assessment comments on the criteria are included below and built upon where necessary by the consulting planner.



- (a) *The size, bulk, height and siting of the building or addition relative to skyline, ridges, areas of indigenous vegetation and habitat of indigenous fauna, or outstanding landscapes and natural features.*

The proposed dwelling is a single-storey building with a double garage. The dwelling consists of three bedrooms with an open plan living and kitchen area.

The height and size of the dwelling are shown on the architect's plans. The building height is under 6 metres at its highest point, which is within the permitted building height restriction for this zone.

The proposed building will be set well below the ridgeline and will not be viewed on the skyline or located close to any significant natural features.

- (b) *The extent to which landscaping of the site, and in particular the planting of indigenous trees, can mitigate adverse visual effects.*

The surrounding landform, neighbouring dwellings, and vegetation within the Cable Bay area assist with screening and softening views of the proposed dwelling.

The proposed landscape planting around the dwelling will help blend the structure into the surrounding landscape and provide a vegetated backdrop and separation between neighbouring properties.

- (c) *The location and design of vehicle access, manoeuvring and parking areas.*

This is standard in terms of its design, located along the eastern side of the site which once landscaping planting is installed down the eastern side will not be readily visible from that direction. The proposed house for the site will partially screen from view the driveway when viewed from the west too.

- (d) *The means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved.*

This has already been answered in assessment of criteria (c) above.

- (e) *The degree to which the landscape will retain the qualities that give it naturalness and visual value as seen from the coastal marine area.*

The site already contains a cleared grassed area suitable for building. Only minimal earthworks are required to form the building platform.

The vegetated setting around the lot enhances the ability of the landscape to absorb the proposed dwelling without adversely affecting the natural character or visual values of the area.

The above works will enable the house to sit down in to the site on the hillside and allow the section to retain its qualities and visual value when seen from the coastal marine area.

- (f) *Where a building is in the coastal environment and it is proposed to be located on a ridgeline, whether other more suitable sites should be used and if not, whether landscaping, planting or other forms of mitigation can be used to ensure no more than minor adverse visual effects on the coastal environment.*

The site is not located on a ridgeline, so therefore this is not applicable.

- (g) *The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.*

This has already been dealt with earlier on in this report, but the applications proposed earthworks and development are not considered to exacerbate hazard risk. Cut faces and filled areas will be appropriately retained on site to ensure ongoing stability of the section in relation to its adjoining properties post development.

- (h) *the extent to which private open space can be provided for future uses;*

The proposed dwelling is appropriately sized within the building curtilage area.

- (i) *the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;*

This is achieved on site on the whole. As explained earlier in this report, where setbacks have been encroached on the property, neighbours have been approached and their written approval to the proposal obtained.

- (j) *the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.*

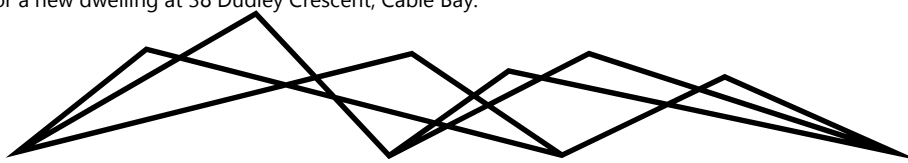
The non-compliances being provided for in this application are not considered to adversely affect the privacy, outlook and enjoyment of private open spaces on adjacent sites, as discussed earlier on in this report.

11.6 SETBACK FROM BOUNDARIES

- (a) *Where there is a setback, the extent to which the proposal is in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites.*

- (b) *The extent to which the building(s) intrudes into the street scene or reduces outlook and privacy of adjacent properties.*

- (c) *The extent to which the buildings restrict visibility for vehicle manoeuvring.*



(d) The ability to mitigate any adverse effects on the surrounding environment, for example by way of street planting.

(e) The extent to which provision has been made to enable and facilitate all building maintenance and construction activities to be contained within the boundaries of the site.

With regards to the above criteria, the setback infringement is all in relation to one boundary – the western boundary of the property. As this is a side boundary, (a), (b) and (c) above are not applicable to the infringement.

In (d) it asks about the ability to mitigate the adverse effects of the boundary setback infringement. The neighbour who directly adjoins the infringement has provided his written approval so therefore any potential adverse effects resulting from this on the adjacent site can be disregarded.

In terms of (e), the encroachment into the side yard setback, there will still be over 2m in width and will not stop the ability to facilitate any maintenance to the proposed building on that side of the site.

7.3 Objectives and Policies

7.3.1 Far North District Plan Operative Plan- Objectives and Policies

7.3.2 The relevant Objectives and Policies from the Operative Plan in relation to the site and the proposal are listed below along with comments as to their consistency, compliance and relevance:

10 Coastal Environment

10.3 OBJECTIVES

10.3.1 To manage coastal areas in a manner that avoids adverse effects from subdivision, use and development. Where it is not practicable to avoid adverse effects from subdivision use or development, but it is appropriate for the development to proceed, adverse effects of subdivision use or development should be remedied or mitigated.

10.3.2 To preserve and, where appropriate in relation to other objectives, to restore, rehabilitate protect, or enhance:

(a) the natural character of the coastline and coastal environment;

(b) areas of significant indigenous vegetation and significant habitats of indigenous fauna;

(c) outstanding landscapes and natural features;

(d) the open space and amenity values of the coastal environment;

(e) water quality and soil conservation (insofar as it is within the jurisdiction of the Council).

10.3.3 To engage effectively with Maori to ensure that their relationship with their culture and traditions and taonga is identified, recognised, and provided for.

The above objectives would have all have been covered during the approval of the areas original subdivision. The proposed new dwelling on the subject site is considered to be in line with these objectives as well.

10.3.4 To maintain and enhance public access to and along the coast whilst ensuring that such access does not adversely affect the natural and physical resources of the coastal environment, including Maori cultural values, and public health and safety.

This is not applicable to the applications proposal.

10.3.5 To secure future public access to and along the coast, lakes and rivers (including access for Maori) through the development process and specifically in accordance with the Esplanade Priority Areas mapped in the District Plan.

The applications proposal is not considered to be in conflict with this.

10.3.6 To minimize adverse effects from activities in the coastal environment that cross the coastal marine area boundary.

The applications proposal is not considered to be in conflict with this.

10.3.7 To avoid, remedy or mitigate adverse effects on the environment through the provision of adequate land-based services for mooring areas, boat ramps and other marine facilities.

This is not applicable to the application’s proposal.

10.3.8 To ensure provision of sufficient water storage to meet the needs of coastal communities all year round.

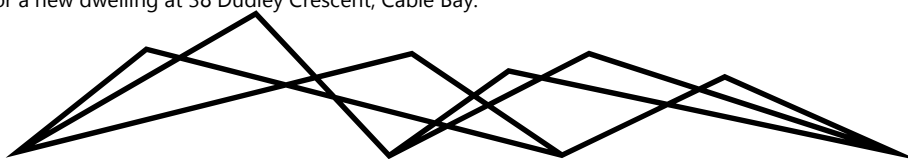
10.3.9 To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.

The proposed new dwelling is not considered to be in conflict with the above two objectives.

10.4 POLICIES

10.4.1 That the Council only allows appropriate subdivision, use and development in the coastal environment. Appropriate subdivision, use and development is that where the activity generally:

- (a) recognises and provides for those features and elements that contribute to the natural character of an area that may require preservation, restoration or enhancement; and*
- (b) is in a location and of a scale and design that minimises adverse effects on the natural character of the coastal environment; and*



- (c) *has adequate services provided in a manner that minimises adverse effects on the coastal environment and does not adversely affect the safety and efficiency of the roading network; and*
- (d) *avoids, as far as is practicable, adverse effects which are more than minor on heritage features, outstanding landscapes, cultural values, significant indigenous vegetation and significant habitats of indigenous fauna, amenity values of public land and waters and the natural functions and systems of the coastal environment; and*
- (e) *promotes the protection, and where appropriate restoration and enhancement, of areas of significant indigenous vegetation and significant habitats of indigenous fauna; and*
- (f) *recognises and provides for the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga; and*
- (g) *where appropriate, provides for and, where possible, enhances public access to and along the coastal marine area; and*
- (h) *gives effect to the New Zealand Coastal Policy Statement and the Regional Policy Statement for Northland.*

10.4.2 *That sprawling or sporadic subdivision and development in the coastal environment be avoided through the consolidation of subdivision and development as far as practicable, within or adjoining built up areas, to the extent that this is consistent with the other objectives and policies of the Plan.*

10.4.3 *That the ecological values of significant coastal indigenous vegetation and significant habitats are maintained in any subdivision, use or development in the coastal environment.*

10.4.4 *That public access to and along the coast be provided, where it is compatible with the preservation of the natural character and amenity, cultural, heritage and spiritual values of the coastal environment, and avoids adverse effects in erosion prone areas.*

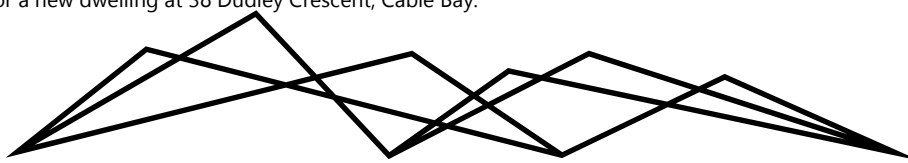
10.4.5 *That access by tangata whenua to ancestral lands, sites of significance to Maori, maahinga mataitai, taiapure and kaimoana areas in the coastal marine area be provided for in the development and ongoing management of subdivision and land use proposals and in the development and administration of the rules of the Plan and by non-regulatory methods. Refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)".*

10.4.6 *That activities and innovative development including subdivision, which provide superior outcomes and which permanently protect, rehabilitate and/or enhance the natural character of the coastal environment, particularly through the establishment and ongoing management of indigenous coastal vegetation and habitats, will be encouraged by the Council.*

10.4.7 *To ensure the adverse effects of land-based activities associated with maritime facilities including mooring areas and boat ramps are avoided, remedied or mitigated through the provision of adequate services, including where appropriate:*

(a) parking;

(b) rubbish disposal;



(c) waste disposal;

(d) dinghy racks.

10.4.8 That development avoids, remedies or mitigates adverse effects on the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga.

10.4.9 That development avoids, where practicable, areas where natural hazards could adversely affect that development and/or could pose a risk to the health and safety of people.

10.4.10 To take into account the need for a year-round water supply, whether this involves reticulation or on-site storage, when considering applications for subdivision, use and development.

10.4.11 To promote land use practices that minimize erosion and sediment run-off, and storm water and waste water from catchments that have the potential to enter the coastal marine area.

10.4.12 That the adverse effects of development on the natural character and amenity values of the coastal environment will be minimized through:

(a) the siting of buildings relative to the skyline, ridges, headlands and natural features;

(b) the number of buildings and intensity of development;

(c) the colour and reflectivity of buildings;

(d) the landscaping (including planting) of the site;

(e) the location and design of vehicle access, manoeuvring and parking areas

The proposed new dwelling is not considered to be in conflict with any of the above policies 10.4.1 to 10.4.12.

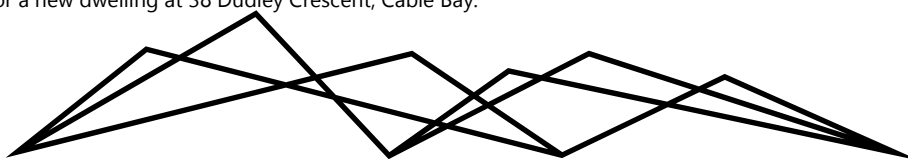
10.7.3 Objectives

10.7.3.1 To provide for the well being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.

The applications proposal is considered consistent with this Objective.

10.7.3.2 To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.

The applications proposal is considered consistent with this Objective.



10.7.4 Policies

10.7.4.1 That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.

The application's proposal is considered consistent with this Policy for the reasons already provided in Section 6 of this report.

10.7.4.2 That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.

The application's proposal is considered consistent with this Policy for the reasons already provided in Section 6 of this report.

10.7.4.3 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:

- (a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;*
- (b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;*
- (c) providing for, through siting of buildings and development and design of subdivisions, legal public right of access to and use of the foreshore and any esplanade areas;*
- (d) through siting of buildings and development, design of subdivisions, and provision of access that recognise and provide for the relationship of Maori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Maori culture makes to the character of the District (refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)");*
- (e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;*
- (f) protecting historic heritage through the siting of buildings and development and design of subdivisions.*

As the proposal has been designed to adhere to the requirements of the original subdivisions' Management Plan, the application's proposal is considered to be consistent with this Policy for the reasons already provided in Sections 5 & 6 of this report.

12.3 Soils and Minerals

12.3.3 OBJECTIVES

12.3.3.1 To achieve an integrated approach to the responsibilities of the Northland Regional Council and Far North District Council in respect to the management of adverse effects arising from soil excavation and filling, and minerals extraction.

12.3.3.2 To maintain the life supporting capacity of the soils of the District.

12.3.3.3 To avoid, remedy or mitigate adverse effects associated with soil excavation or filling.

12.3.3.4 To enable the efficient extraction of minerals whilst avoiding, remediating or mitigating any adverse environmental effects that may arise from this activity

12.3.4 POLICIES

12.3.4.1 That the adverse effects of soil erosion are avoided, remedied or mitigated.

12.3.4.2 That the development of buildings or impermeable surfaces in rural areas be managed so as to minimise adverse effects on the life supporting capacity of the soil.

12.3.4.3 That where practicable, activities associated with soil and mineral extraction be located away from areas where that activity would pose a significant risk of adverse effects to the environment and/or to human health. Such areas may include those where:

- (a) there are people living in close proximity to the site or land in the vicinity of the site is zoned Residential, Rural Living, Coastal Residential or Coastal Living;*
- (b) there are significant ecological, landscape, cultural, spiritual or heritage values;*
- (c) there is a potential for adverse effects on lakes, rivers, wetlands and the coastline;*
- (d) natural hazards may pose unacceptable risks.*

12.3.4.4 That soil excavation and filling, and mineral extraction activities be designed, constructed and operated to avoid, remedy or mitigate adverse effects on people and the environment.

12.3.4.5 That soil conservation be promoted.

12.3.4.6 That mining tailings that contain toxic or bio-accumulative chemicals are contained in such a way that adverse effects on the environment are avoided.

12.3.4.7 That applications for discretionary activity consent involving mining and quarrying be accompanied by a Development Plan.

12.3.4.8 That as part of a Development Plan rehabilitation programmes for areas no longer capable of being actively mined or quarried may be required.

The proposed new dwelling is considered consistent, and not in conflict, with the above Objectives and Policies relating to earthworks.

12.4.3 OBJECTIVES

12.4.3.1 To reduce the threat of natural hazards to life, property and the environment, thereby to promote the well being of the community.

12.4.3.2 To ensure that development does not induce natural hazards or exacerbate the effects of natural hazards.

12.4.3.3 To ensure that natural hazard protection works do not have adverse effects on the environment.

12.4.3.4 To ensure that the role in hazard mitigation played by natural features is recognised and protected.

12.4.3.5 To improve public awareness of natural hazards as a means of helping people to avoid them.

12.4.3.6 To take into account reasonably foreseeable changes in the nature and location of natural hazards.

12.4.3.7 To avoid fire risk arising from the location of residential units in close proximity to trees, or in areas not near fire fighting services.

12.4.4 POLICIES

12.4.4.1 That earthworks and the erection of structures not be undertaken in areas where there is a significant potential for natural hazards unless they can be carried out in such a way so as to avoid being adversely affected by the natural hazards, and can avoid exacerbating natural hazards.

12.4.4.2 That the natural character of features, such as beaches, sand dunes, mangrove areas, wetlands and vegetation, which have the capacity to protect land values and assets from natural coastal hazards, is protected and enhanced.

12.4.4.3 That protection works for existing development be allowed only where they are the best practicable option compatible with sustainable management of the environment.

12.4.4.4 That the sea level rise, as predicted by the Intergovernmental Panel of Climate Change or Royal Society of NZ, be taken into account when assessing development in areas potentially affected.

12.4.4.5 That information on known natural hazards be made available in order that the public can make informed resource management decisions.

12.4.4.6 That the adverse effects on people, property and the environment from coastal hazards in Coastal Hazard Areas, as identified by the Northland Regional Council, are avoided.

12.4.4.7 That the risk to adjoining vegetation and properties arising from fires be avoided.

12.4.4.8 That the location, intensity, design and type of new coastal subdivision, use and development be controlled so that the need for hazard protection works is avoided or minimised.

12.4.4.9 That the role of riparian margins in the mitigation of the effects of natural hazards is recognised and that the continuing ability of riparian margins to perform this role be assured.

The proposed new dwelling is considered consistent, and not in conflict, with the above Objectives and Policies with regards to natural hazards and fire risk.

7.3.3 Far North District Plan Proposed Plan- Objectives and Policies

7.3.4 The relevant Objectives and Policies from the Proposed Plan in relation to the site and the proposal are listed below along with comments as to their consistency, compliance and relevance:

Cultural Prosperity - Objectives

SD-CP-01

Te Tiriti o Waitangi partnerships support iwi and hapū to deliver on the social, economic, environmental and cultural wellbeing outcomes for tangata whenua.

SD-CP-02

Te ao māori, tikanga māori and tangata whenua as kaitiaki, embedded in and integral to decision making.

SD-CP-03

The District's diverse cultures and communities are celebrated and cultural heritage recognised.

SD-CP-04

The District's historic heritage is identified and managed to ensure its long-term protection for current and future generations.

SD-CP-05

A district wide approach to the impacts of climate change and natural hazards, which includes a te ao māori decision making framework, developed with iwi and hapū.

The applications proposal is not considered to be in conflict with the above Objectives.

Infrastructure and Electricity - Objectives

SD-IE-01

The benefits of infrastructure and renewable electricity generation activities across the district are recognized and provided for, while ensuring their adverse effects are well managed.

SD-IE-02

Infrastructure and renewable electricity generation activities are protected from incompatible land use, subdivision and development that may compromise their effective operation, maintenance and upgrading.

The applications proposal is not considered to be in conflict with the above Objectives.

Social Prosperity - Objectives

SD-SP-01

Community wellbeing is heightened by a sense of place.

SD-SP-02

Development of initiatives that will support the wellbeing of Tangata Whenua in partnership with Iwi and hapū.

SD-SP-03

Encourage opportunities for fulfilment of the community's cultural, social, environmental, and economic wellbeing.

SD-CP-04

Promotion of communities and places that will meet the needs for not only the present population but future generations which are adaptive to climate change.

These are not technically applicable to this applications proposal – this is more relevant to a subdivision – however this applications proposal is not considered to be in conflict with these Objectives.

Economic Prosperity - Objectives

SD-EP-01

A high-earning diverse local economy which is sustainable and resilient to economic downturns, with the District's Māori economy making a significant contribution.

SD-EP-02

Existing industries and enterprises are supported and continue to prosper under volatile and changing economic conditions.

SD-EP-03

Development and retention of highly motivated, educated and skilled people in the District.

SD-EP-04

People, businesses and places are connected digitally and through integrated transport networks.

SD-EP-05

A district economy that is responsive, resilient and adaptive to the financial costs of a changing climate.

The applications proposal is considered consistent, and not in conflict with, the above Objectives.

Urban Form and Development - Objectives

SD-UFD-01

The wellbeing of people who live in and visit towns in the Far North is considered first when it comes to planning places and spaces.

SD-UFD-02

Urban growth and development consolidated around existing reticulated networks within town centres, supporting a more compact urban form, affordability and providing for a mix of housing typologies.

SD-UFD-03

Adequate development infrastructure in place or planned to meet the anticipated demands for housing and business activities.

SD-UFD-04

Urban growth and development is resilient and adaptive to the impacts from natural hazards or climate change.

The applications proposal is considered consistent, and not in conflict with, the above Objectives.

Infrastructure and Electricity - Objectives

SD-IE-01

The benefits of infrastructure and renewable electricity generation activities across the district are recognised and provided for, while ensuring their adverse effects are well managed.

SD-IE-02

Infrastructure and renewable electricity generation activities are protected from incompatible land use, subdivision and development that may compromise their effective operation, maintenance and upgrading.

The applications proposal is considered consistent, and not in conflict with, the above Objectives.

Rural Environment - Objectives

SD-RE-01

Primary production activities are able to operate efficiently and effectively and the contribution they make to the economic and social well-being and prosperity of the district is recognised.

SD-RE-02

Protection of highly productive land from inappropriate development to ensure its production potential for generations to come.

The applications proposal is considered consistent, and not in conflict with, the above Objectives (as the subject site was created under the previous plan and was not zoned rural).

Natural Environment - Objectives

SD-EP-01

A culture of stewardship in the community that increases the District's biodiversity and environmental sustainability.

SD-EP-02

Collaborative relationships with iwi and hapū in order to support tangata whenua to carry out their obligation and responsibility as kaitiaki.

SD-EP-03

Active management of ecosystems to protect, maintain and increase indigenous biodiversity for future generations.

SD-EP-04

Land use practices reverse climate change by enabling carbon storage and reducing carbon emissions.

SD-EP-05

The natural character of the coastal environment and outstanding natural features and landscapes are managed to ensure their long-term protection for future generations.

SD-EP-06

Areas of significant indigenous vegetation and significant habitats of indigenous fauna and protected for current and future generations.

The applications proposal is considered consistent, and not in conflict with, the above Objectives.

Earthworks - Objectives

EW-01

Earthworks are enabled where they are required to facilitate the efficient subdivision and development of land, while managing adverse effects on waterbodies, coastal marine area, public safety, surrounding land and infrastructure.

EW-02

Earthworks are appropriately designed, located and managed to protect historical and cultural values, natural environmental values, preserve amenity and safeguard the life-supporting capacity of soils.

EW-03

Earthworks are undertaken in a manner which does not compromise the stability of land, infrastructure and public safety.

The applications proposal is considered consistent, and not in conflict with, the above Objectives, as demonstrated earlier on this report.

Policies

EW-P1

Enable earthworks necessary to provide for the District's social, economic and cultural well-being, and their health and safety where they provide for:

- *urban land uses and development within urban zones;*
- *rural land uses and development including, farm tracks, land drainage, and other farming activities within the Rural zones;*
- *conservation and recreation activities;*
- *land drainage and flood control works; and*
- *installation, upgrade and maintenance of infrastructure.*

The applications proposal is considered consistent, and not in conflict with, the above Policy.

EW-P2

Ensure earthworks are managed, when it has the potential to:

- *create new or exacerbate existing natural hazards, including but not limited to flooding, instability, and coastal hazards;*
- *result in adverse effects on the amenity, characteristics and qualities of outstanding natural landscapes, outstanding natural features, historic heritage, cultural values, indigenous biodiversity and significant natural areas and features; and*
- *adversely affect waterbodies and the coastal marine area due to inadequate setbacks.*

The applications proposal is considered consistent, and not in conflict with, the above Policy.

EW-P3

Ensure earthworks are located and designed appropriately to manage the effects of the activity by:

- *controlling maximum depth and height and maximum area or volume of earthworks;*
- *requiring appropriate setbacks are maintained from adjoining property boundaries, waterbodies and the coastal environment;*
- *managing the location and design of infrastructure;*
- *managing impacts on natural drainage patterns and overland flow paths; and*
- *controlling the movement of dust and sediment beyond the area of development to avoid:*
- *nuisance effects and/or amenity effects on surrounding sites, or*
- *silt and sediment entering stormwater systems or waterbodies and the coastal marine area.*

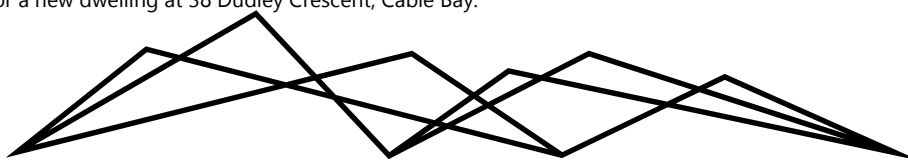
The applications proposal is considered consistent, and not in conflict with, the above Policy.

EW-P4

Require earthworks to be of a type, scale and form that is appropriate for the location having regards to the effects of the activity, and:

- *existing site constraints, opportunities and specific engineering requirements;*

Resource Consent Application for a new dwelling at 38 Dudley Crescent, Cable Bay.



- *the impact on existing natural landforms, features, historic heritage and indigenous biodiversity;*
- *compatibility with the visual amenity and character values of the area;*
- *changes in the natural landform that will lead to instability, erosion and scarring;*
- *impacts on natural drainage patterns and overland flow paths;*
- *using materials for retaining structures that are compatible with the visual amenity and the characteristics and qualities of the surrounding area;*
- *minimising adverse visual effects associated with any exposed cut faces or retaining structures, including with the use of screening, landscaping and/or planting; and*
- *loss of flood storage within flood hazard areas.*

The applications proposal is considered consistent, and not in conflict, with the above Policy for the reasons outlined earlier in this report.

EW-P5

Manage effects on historic heritage and cultural values that may be discovered when undertaking earthworks by:

- *requiring a protocol for the accidental discovery of archaeology, kōiwi and artefacts of Māori origin; and*
- *undertaking appropriate actions in accordance with mātauranga and tikanga Māori when managing effects on cultural values.*

The applications proposal is considered consistent, and not in conflict with, the above Policy. The addition of an accidental discovery protocol advice note on the consent decision issued for this proposal (if deemed necessary) can ensure that this Policy is achieved.

EW-P6

Require that all earthworks are designed and undertaken in a manner that ensures the stability and safety of surrounding land, buildings or structures.

The applications proposal is considered consistent, and not in conflict with, the above Policy.

EW-P7

Ensure all earthworks associated with land development are designed and assessed in a coordinated and integrated manner at the time of subdivision, by:

- *controlling earthworks associated with subdivision, including for the purpose of site preparation, creating roads or access to/within the subdivision, and for the provision of infrastructure; and*
- *considering the appropriateness of earthworks in conjunction with site design and layout of future subdivision and/or development of land, particularly for future infill or greenfield subdivision.*

This application is not for a subdivision proposal so this Policy is not applicable.

EW-P8

Manage earthworks to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- *the location, scale and volume;*
- *depth and height of cut and fill;*
- *the nature of filling material and whether it is compacted;*
- *the extent of exposed surfaces or stockpiling of fill;*
- *erosion, dust and sediment controls;*
- *the risks of natural hazards, particularly flood events;*
- *stormwater controls;*
- *flood storage, overland flow paths and drainage patterns;*
- *impacts on natural coastal processes;*
- *the stability of land, buildings and infrastructure;*
- *visual amenity, natural character and landscape values,*
- *historic heritage values, and whether any assessment or advice from a suitably qualified and experienced heritage expert is required;*
- *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;*
- *the life-supporting capacity of soils;*
- *the extent of indigenous biodiversity clearance and its effect on biodiversity values;*
- *outstanding natural character, outstanding natural landscapes and outstanding natural features;*
- *riparian margins;*
- *the location, operational and functional needs and use of infrastructure;*
- *temporary or permanent nature of any adverse effect; and*
- *traffic and noise effects.*

The applications proposal is considered consistent, and not in conflict, with the above Policy.

Rural Lifestyle Zone Objectives

RLZ01

The Rural Lifestyle zone is used predominantly for low density residential activities and small scale farming activities that are compatible with the rural character and amenity of the zone.

RLZ-02

The predominant character and amenity of the Rural Lifestyle zone is characterised by:

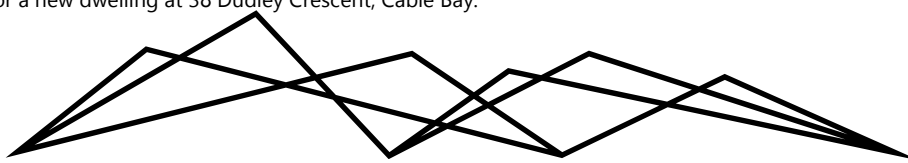
- A. *low density residential activities;*
- B. *small scale farming activities with limited buildings and structures;*
- C. *smaller lot sizes than anticipated in the Rural Production Zone;*
- D. *a general absence of urban infrastructure;*
- E. *rural roads with low traffic volumes;*
- F. *areas of vegetation, natural features and open space.*

RLZ-03

The role, function and predominant character and amenity of the Rural Lifestyle zone is not compromised by incompatible activities.

RLZ-04

Land use and subdivision in the Rural Lifestyle zone does not compromise the effective and efficient operation of primary production activities in the adjacent Rural Production zones.



In terms of the above objectives, the applications proposal is considered consistent and not in conflict with them. This new zone is being imposed over an already existing residential subdivision, so Council would have considered the subject site suitable for this zoning as part of the creation of the new Proposed District Plan, which could demonstrate that its consistent and compatible with these zone Objectives.

Policies

RLZ-P1

Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Lifestyle zone, while ensuring their design, scale and intensity is appropriate to manage adverse effects in the zone, including:

- A. *low density residential activities;*
- B. *small scale farming activities;*
- C. *home business activities;*
- D. *visitor accommodation; and*
- E. *small scale education facilities.*

The applications proposal is considered consistent, and not in conflict, with the above Policy.

RLZ-P2

Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Lifestyle zone because they are:

- A. *contrary to the density anticipated for the Rural Lifestyle zone;*
- B. *predominantly of an urban form or character;*
- C. *primary production activities, such as intensive indoor primary production, that generate adverse amenity effects that are incompatible with rural lifestyle living; or*
- D. *commercial, rural industry or industrial activities that are more appropriately located in a Settlement zone or an urban zone.*

The applications proposal is considered consistent, and not in conflict, with the above Policy.

RLZ-P3

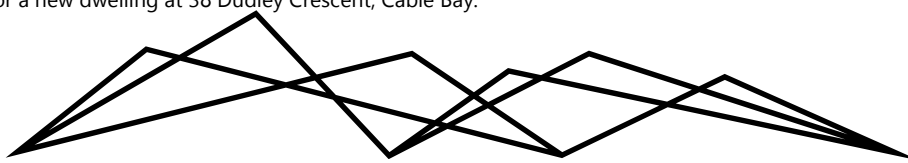
Avoid where possible, or otherwise mitigate, reverse sensitivity effects from sensitive and other non-productive activities on primary production activities in the adjacent Rural Production zone.

The applications proposal is considered consistent, and not in conflict, with the above Policy.

RLZ-P4

Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- A. *consistency with the scale and character of the rural lifestyle environment;*
- B. *location, scale and design of buildings or structures;*
- C. *at zone interfaces:*



- I. *any setbacks, fencing, screening or landscaping required to address potential conflicts;*
- II. *the extent to which adverse effects on adjoining or surrounding sites are mitigated and*
- D. *internalised within the site as far as practicable;*
- E. *the capacity of the site to cater for on-site infrastructure associated with the proposed activity;*
- F. *the adequacy of roading infrastructure to service the proposed activity; managing natural hazards;*
- G. *any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; and*
- H. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

The applications proposal is considered consistent, and not in conflict, with the above Policy.

7.3.5 The proposal has also been assessed against the Objectives in the Natural Environment Values section of the Proposed District Plan; the Historic Values Section of the Proposed District Plan; Hazards and Risk section of the Proposed District Plan, and the Energy, Transport & Infrastructure Section of the Proposed District Plan, and the proposal is not considered to be in conflict with these parts of this new document either.

7.3.6 After reviewing the relevant zones assessment criteria and Objectives and Policies from both of the District Plans, it is considered that:

- The actual and potential effects of the proposal are acceptable.
- The proposal is consistent with the objectives and policies of the District Plans, the rule statements, as well as the expected environmental outcomes.
- There are no other matters that are considered relevant to this proposal.
- Overall, the proposal meets the purpose and principles of the RMA being sustainable management of natural and physical resources.

7.4 Part 2 Matters

7.4.1 Section 104 of the Act is subject to Part 2 of the Act:

- Section 5 of the Act outlines the Act's purpose, the basic principle of which is sustainable management – It is considered that the proposed new residential dwelling is in line with this section.
- Section 6 of the Act outlines matters of national importance - it is considered that none of sub sections (a) to (f) are relevant to this case.
- Section 7 outlines the other matters for consideration.
- Section 8 concerns the principles of the Treaty of Waitangi.

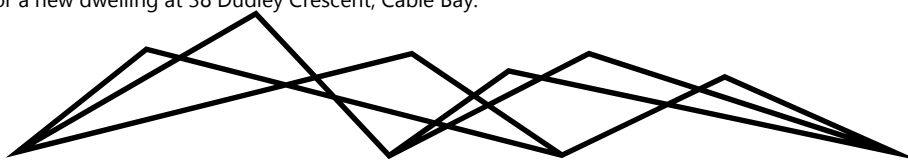
- 7.4.2 Overall it is considered that the proposed development as outlined in this application is not in conflict with, and therefore satisfies, all of the above sections of Part 2 of the Act.

8 Conclusion

- 8.1 This report has outlined the details of the proposed activity for a new residential dwelling on a site at 38 Dudley Crescent, Cable Bay.
- 8.2 It has been demonstrated that any effects of granting the resource consent on the environment will be acceptable, subject to conditions relating to compliance with approved plans and parameters in which the activity can be undertaken.
- 8.3 This report has considered the proposal in terms of the relevant planning instruments, particularly the Far North District Plan (both Operative and Proposed), and found that the proposal will be consistent with all relevant objectives and policies.
- 8.4 Accordingly, it is considered that the purpose of the Act will be achieved by granting a non-notified consent to the proposal as outlined in this report.

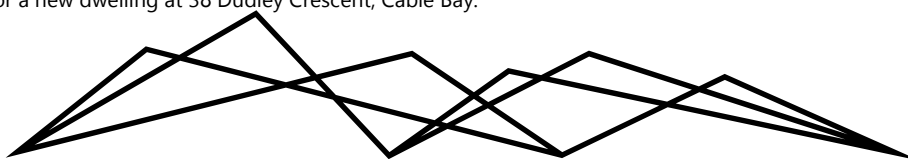
Appendix A

Record of Title & Interests



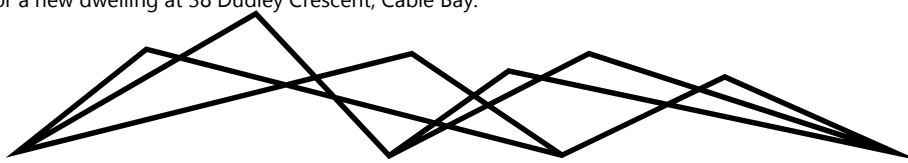
Appendix B

Development Plans



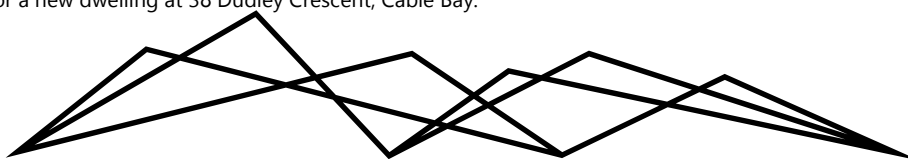
Appendix C

Management Plan



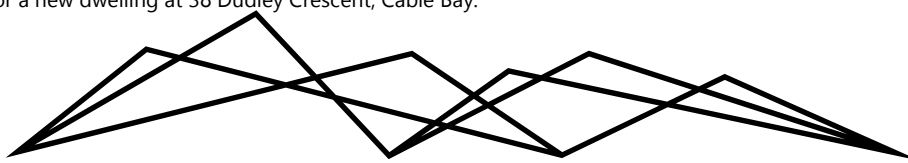
Appendix D

Sprinkler Plan



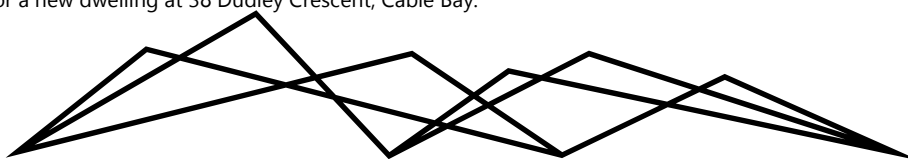
Appendix E

Neighbours Approvals



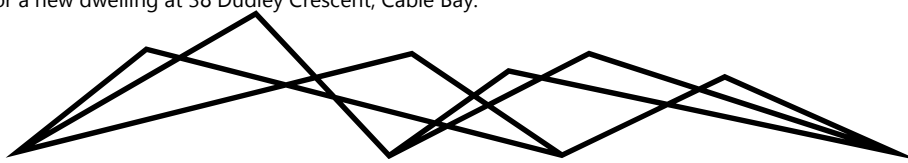
Appendix F

Stormwater Report



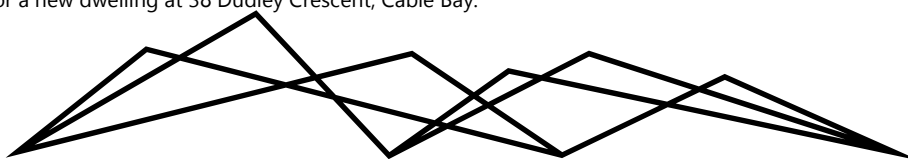
Appendix G

Landscaping Plan



Appendix H

Geotechnical Report





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier **336761**
Land Registration District **North Auckland**
Date Issued 25 May 2007

Prior References
50077

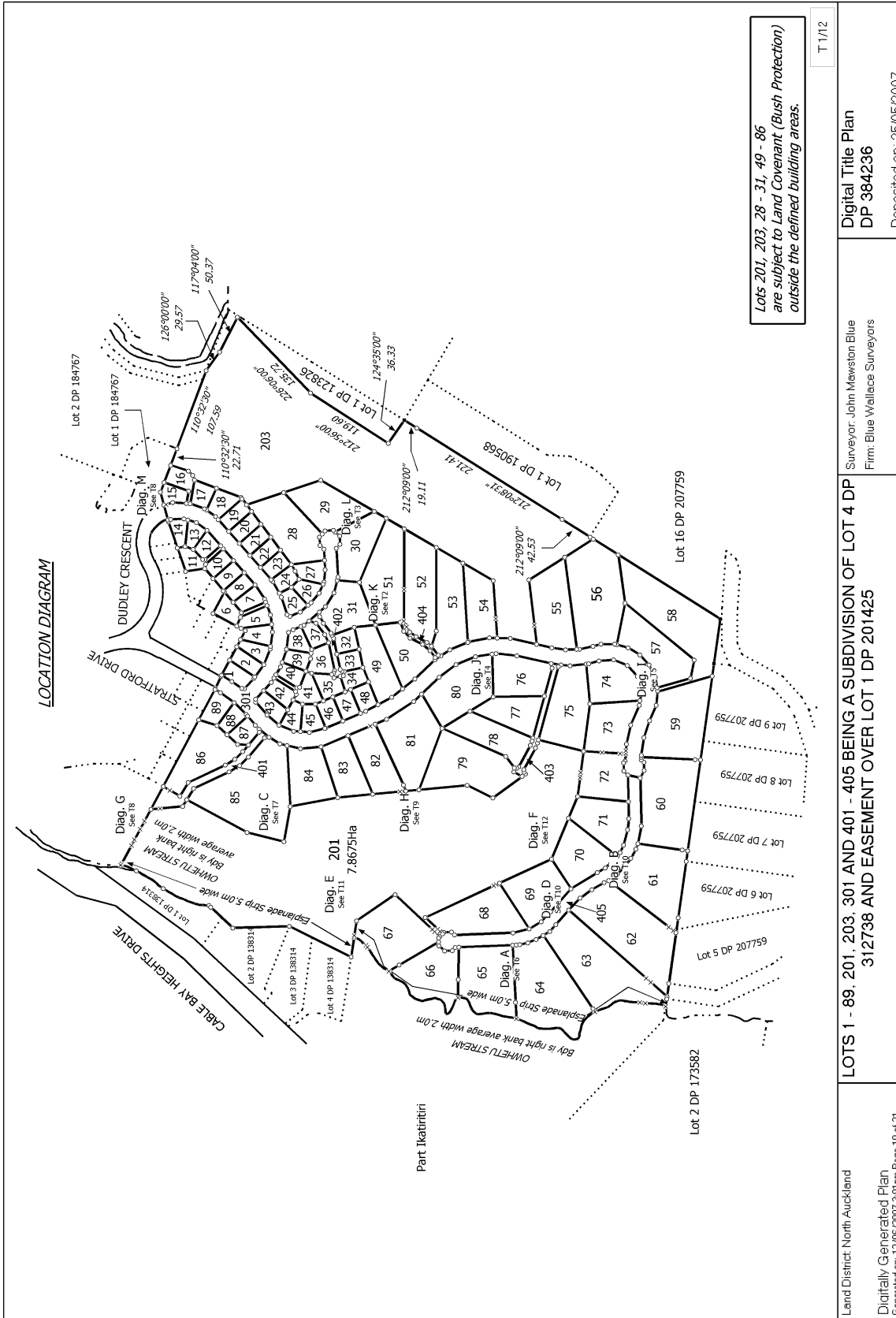
Estate Fee Simple
Area 739 square metres more or less
Legal Description Lot 23 Deposited Plan 384236

Registered Owners

James Stuart Davis as to a 1/2 share
Kathryn Elizabeth Coley as to a 1/2 share

Interests

5363500.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 3.10.2002 at 3:37 pm
Appurtenant hereto is a water supply easement created by Easement Instrument 5363500.4 - 3.10.2002 at 3:37 pm
7389051.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 25.5.2007 at 9:00 am
Land Covenant in Easement Instrument 7389051.13 - 25.5.2007 at 9:00 am
Fencing Covenant in Easement Instrument 7389051.13 - 25.5.2007 at 9:00 am



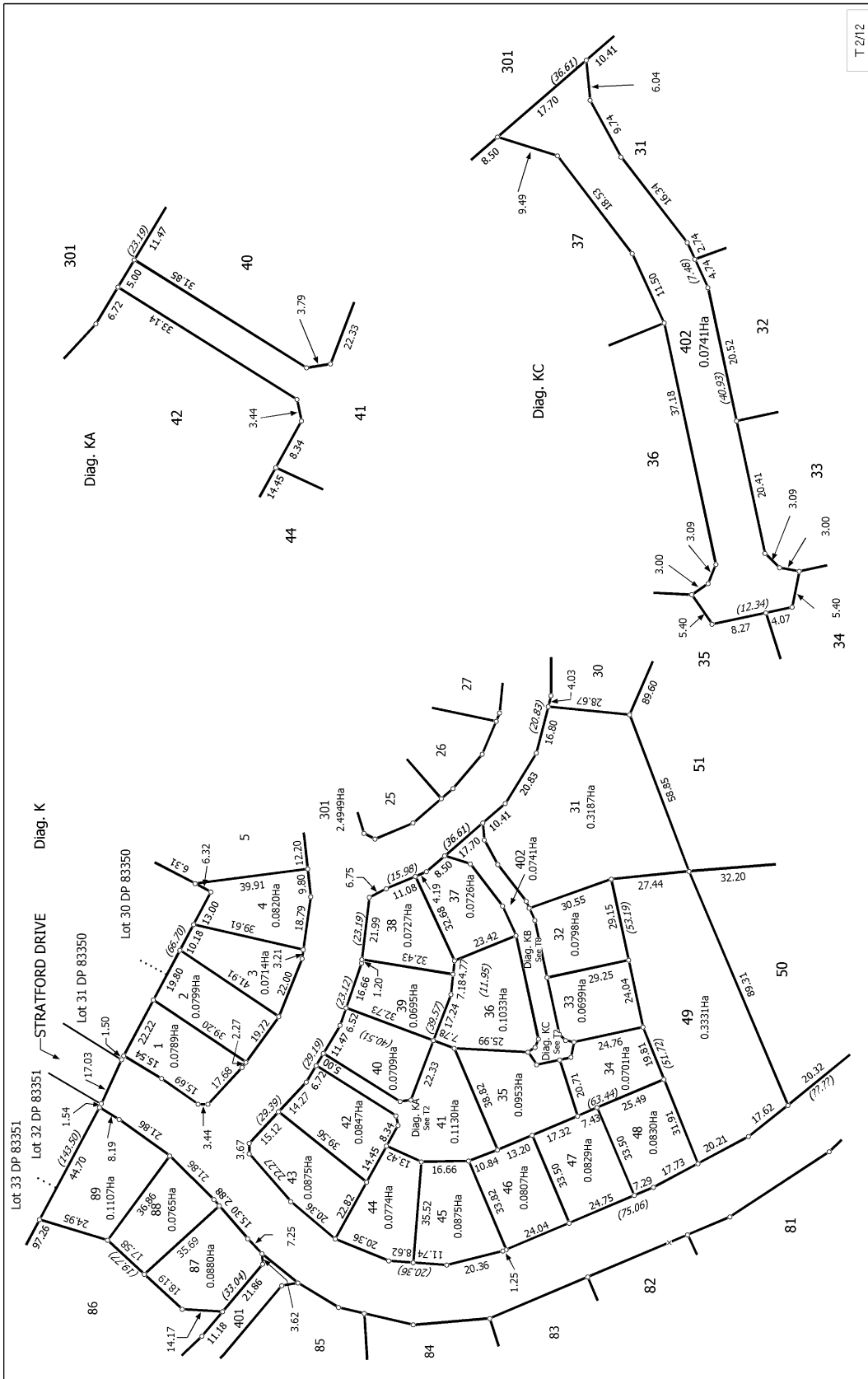
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Surveyor: John Mawston Blue
 Firm: Blue Wallace Surveyors

LOTS 1 - 89, 201, 203, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP 312738 AND EASEMENT OVER LOT 1 DP 201425

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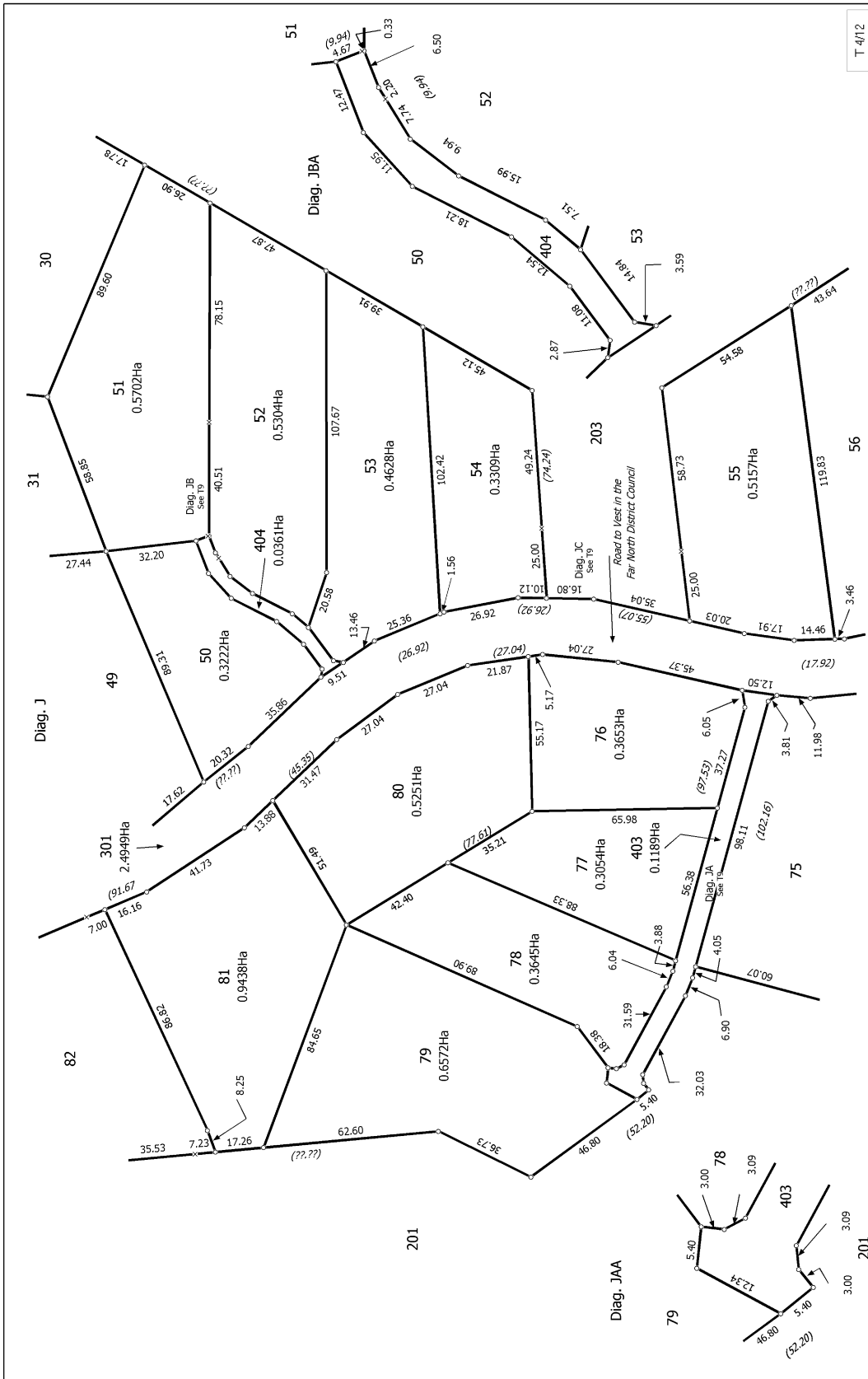
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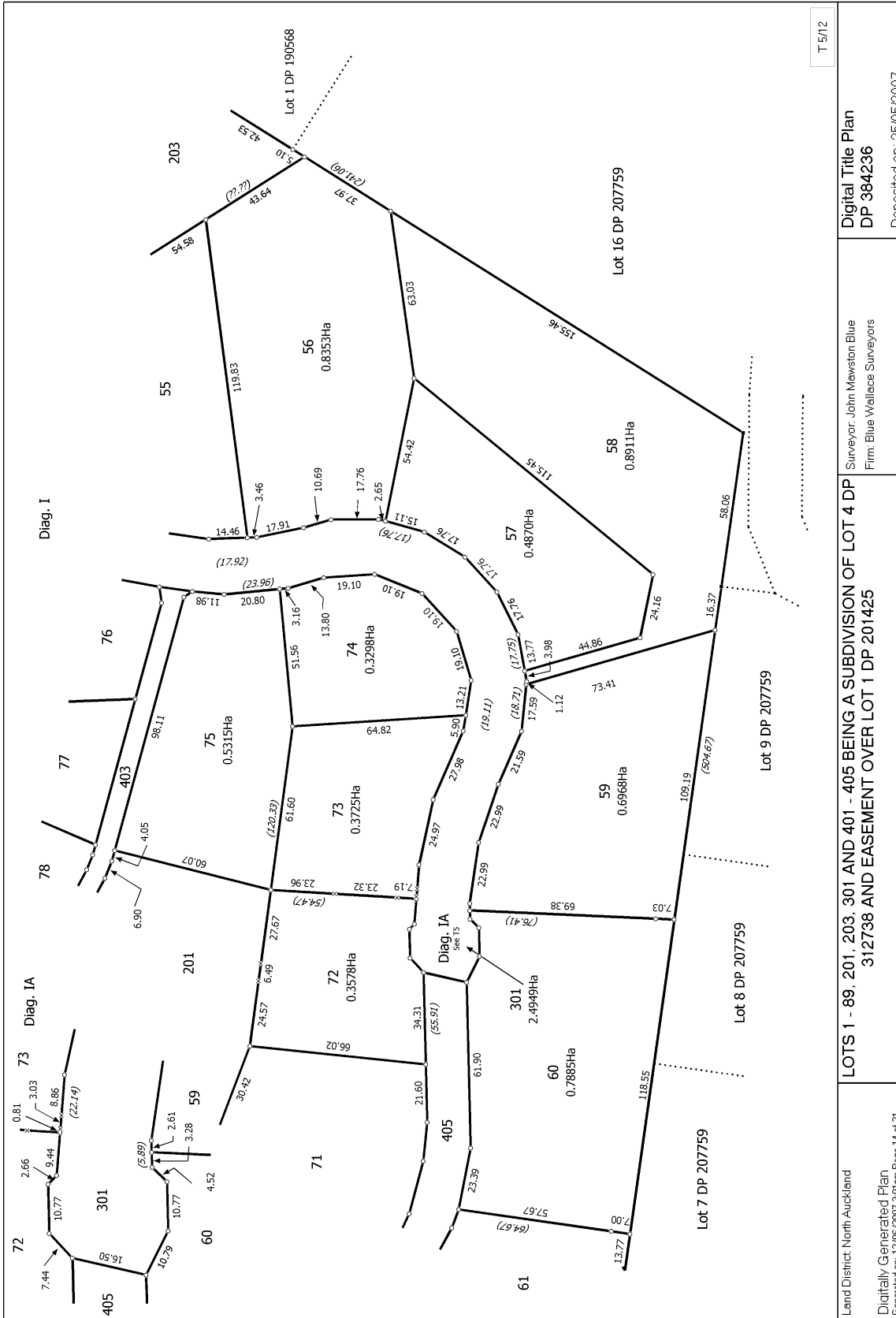
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DP 384236

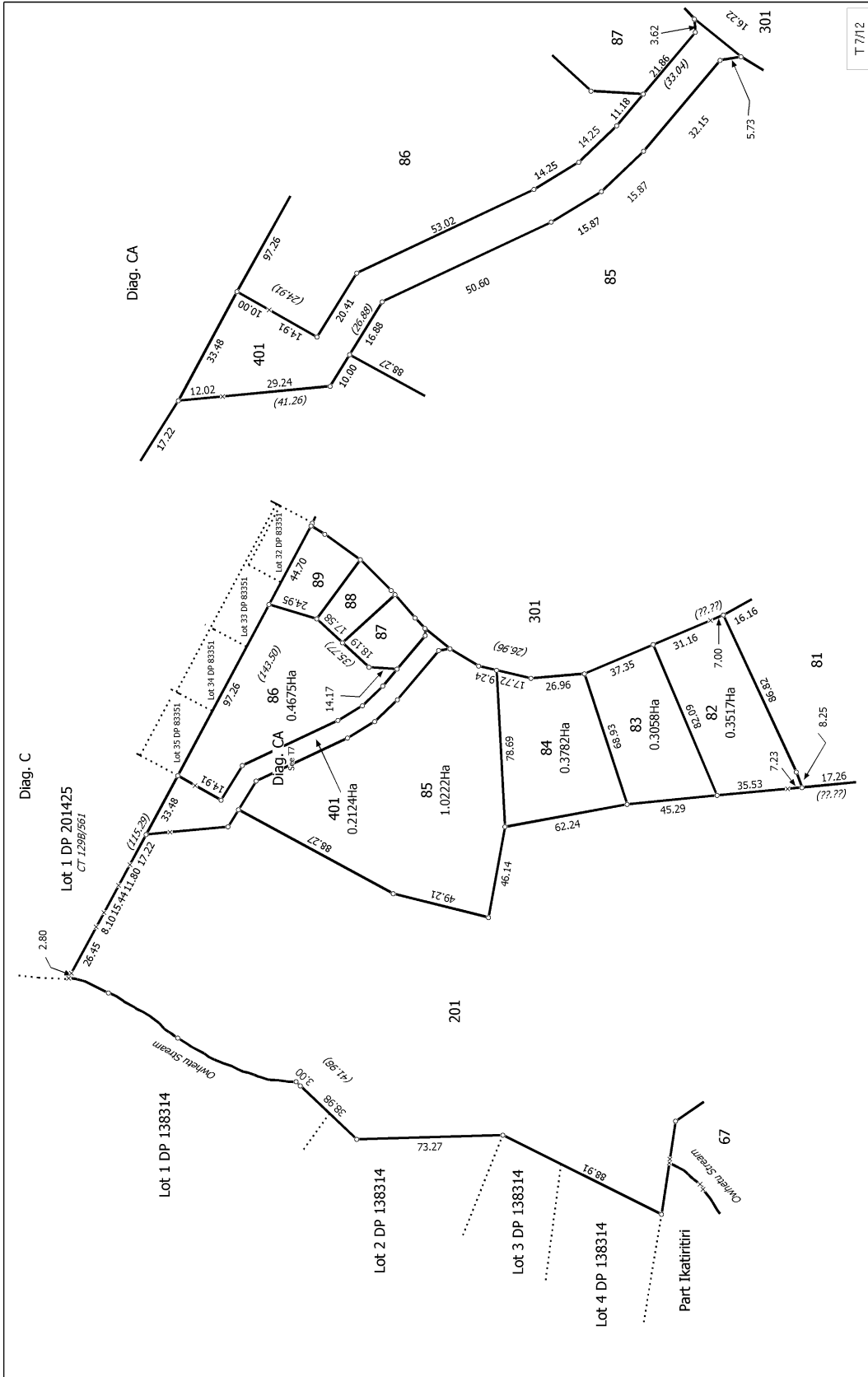
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Firm: Blue Wallace Surveyors

LOTS 1 - 89, 201, 203, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP
312738 AND EASEMENT OVER LOT 1 DP 201425

Land District: North Auckland
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Deposited on: 25/05/2007





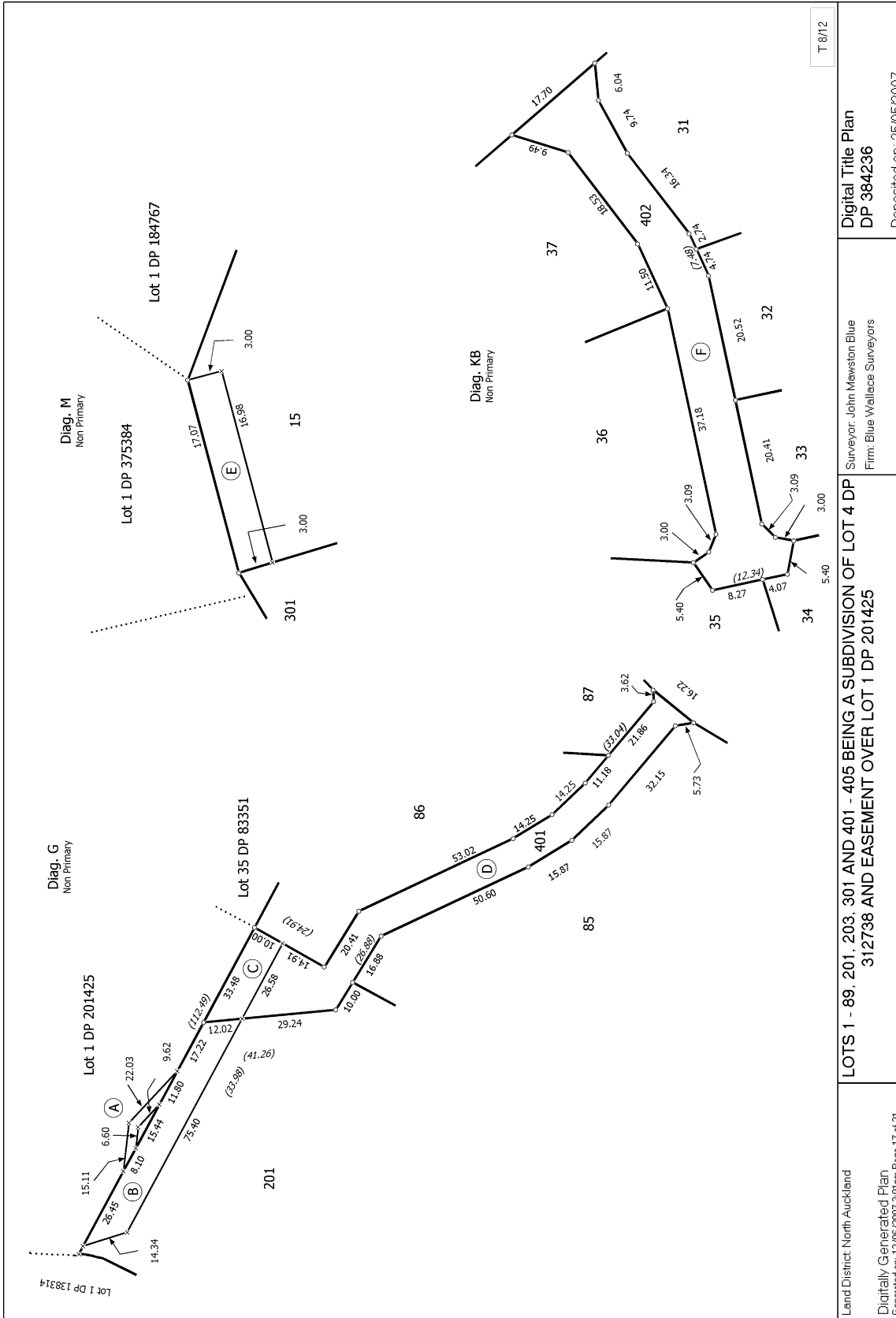
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LOTS 1 - 89, 201, 203, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP 312738 AND EASEMENT OVER LOT 1 DP 201425

Surveyor: John Mawston Blue
 Firm: Blue Wallace Surveyors

Digital Title Plan
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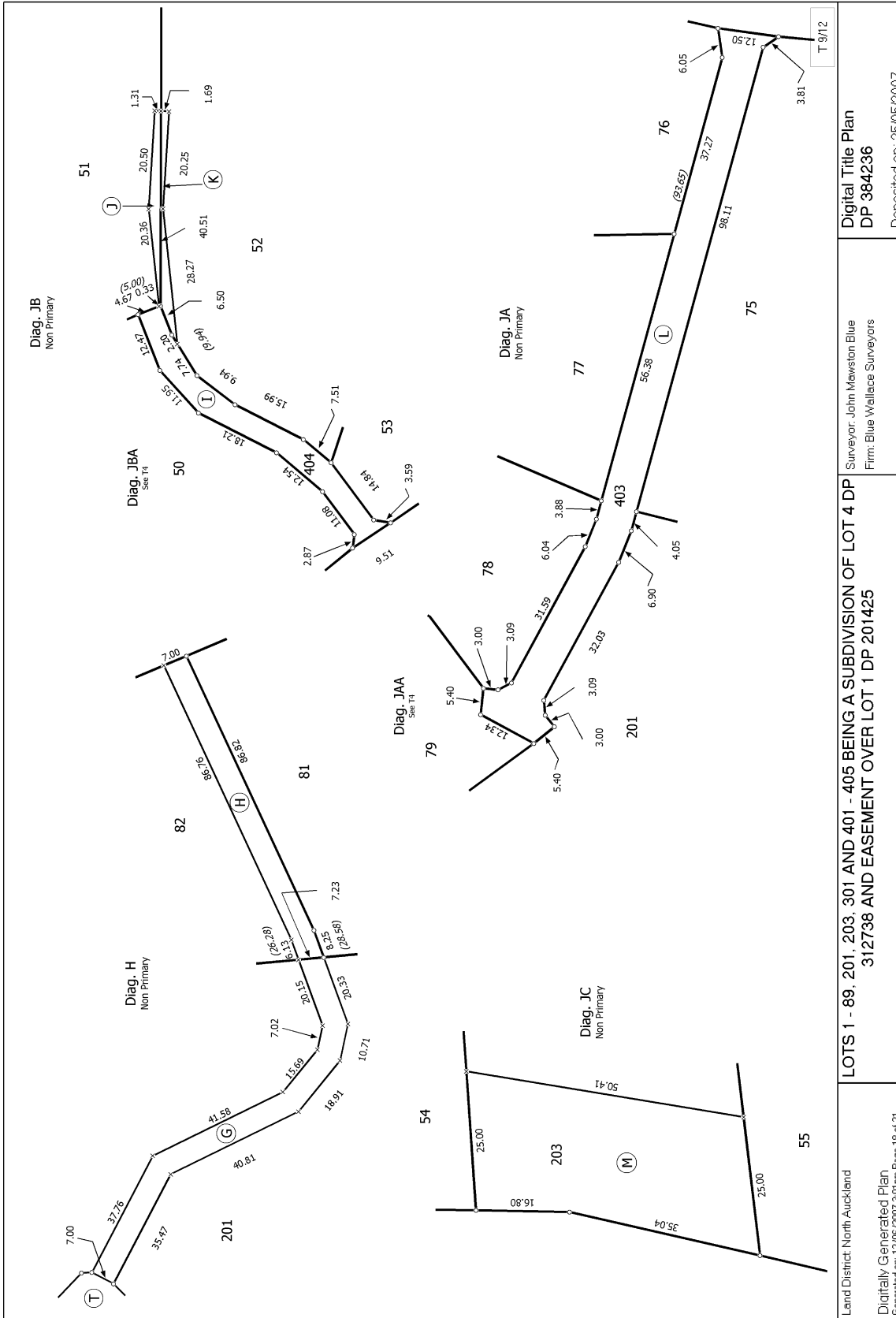
Digital Title Plan
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Surveyor: John Mawston Blue
Firm: Blue Wallace Surveyors

LOTS 1 - 89, 201, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP
312738 AND EASEMENT OVER LOT 1 DP 201425

Land District: North Auckland
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Deposited on: 25/05/2007



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Diag. JAA
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Diag. JA
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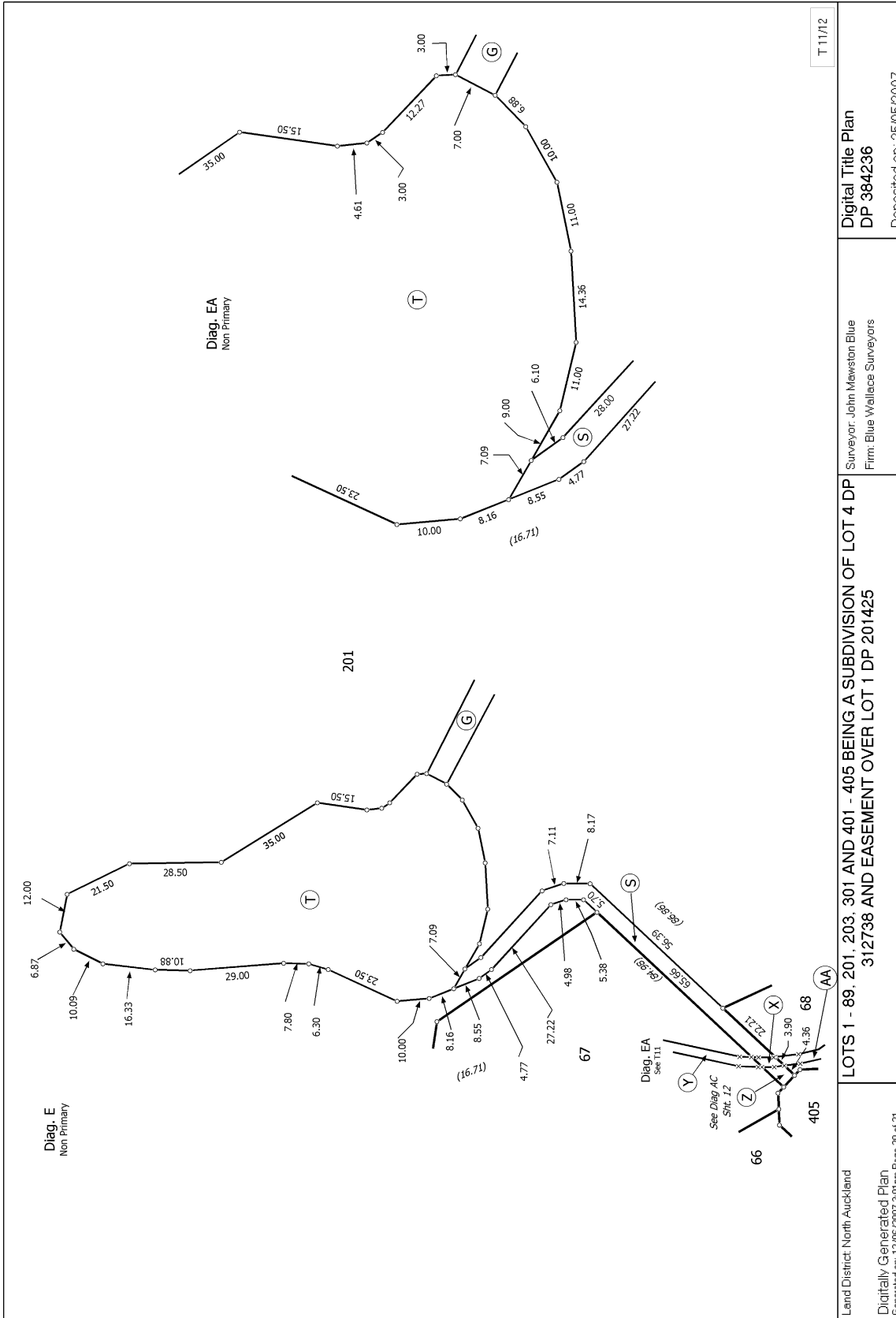
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Surveyor: John Mawston Blue
Firm: Blue Wallace Surveyors

LOTS 1 - 89, 201, 203, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP 312738 AND EASEMENT OVER LOT 1 DP 201425

Digital Title Plan
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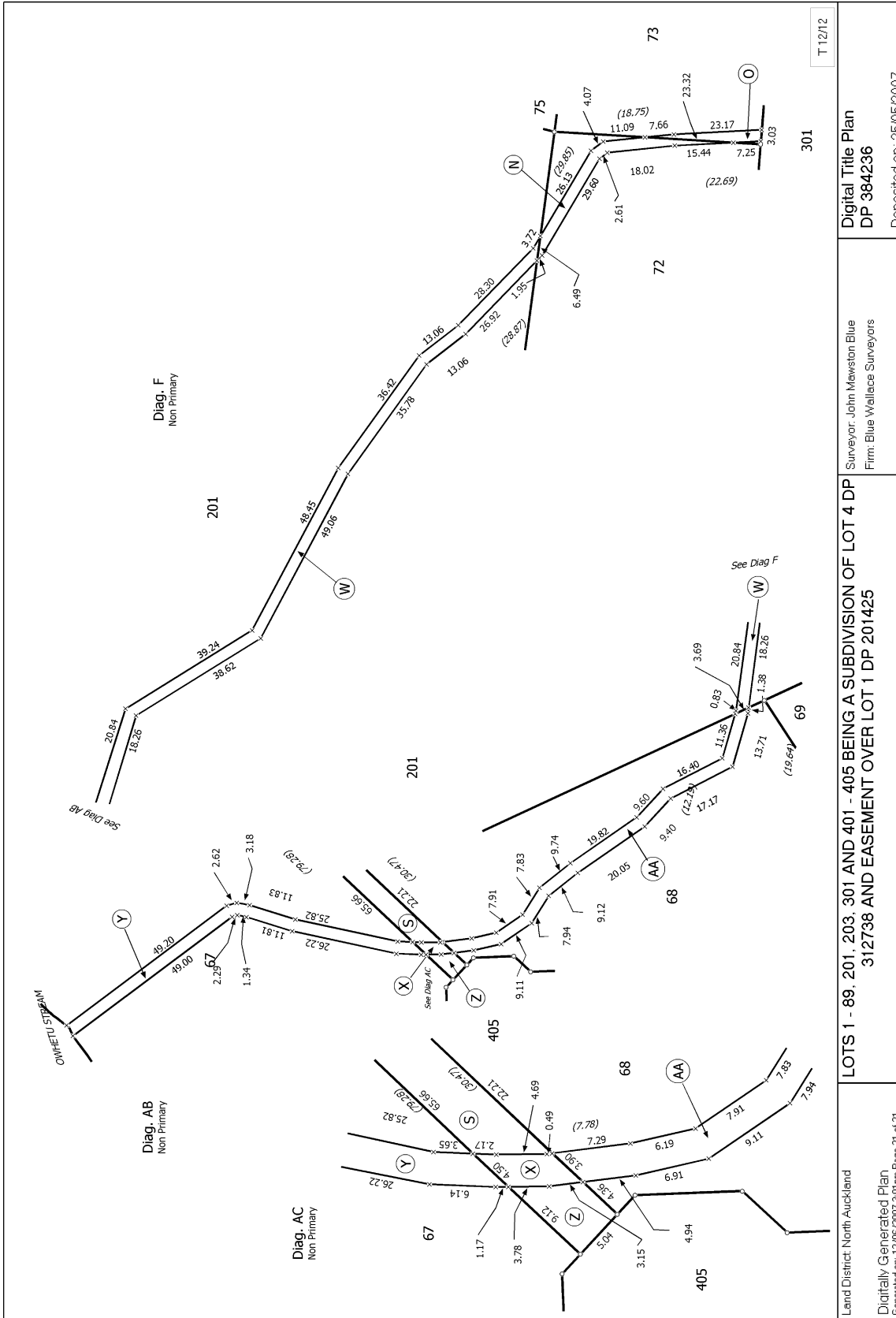
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Land District: North Auckland
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Deposited on: 25/05/2007



FAR NORTH DISTRICT COUNCIL



THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

CONO 5363500.2 Consen

Cpy - 01/01, Pgs - 001, 11/10/02, 09:21



DocID: 310574704

REGARDING RC 2000414 The subdivision of
Lot 1 DP 172885, and Lot 3 - 5 DP 82177
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate titles.

SCHEDULE


Lot 1:

Any activity which proposes earthworks exceeding 50 cubic metres in the area from the dwelling to the eastern boundary is to proceed only after the submittal to Council of an approved archaeological site survey of the area involved.

Lot 2:

All access to the site (Pt Lot 1 DP 172885) is to come from Stratford Drive and/or Dudley Crescent.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this *18th* day of *July* 2002

SRM\CERT\3McBreenJenkinsConstructionLtd221

Easement instrument to grant easement or *profit à prendre*,
or create land covenant

E 5363500.4 Grant of Ea:

Cpy - 01/01, Pgs - 003.04/10/02.08:10



DocID 310574706

Land registration district

North Auckland

Grantor

Surname must be underlined.

McBreen Jenkins Construction Limited

Grantee

Surname must be underlined.

McBreen Jenkins Construction Limited

Grant* of easement or *profit à prendre* or creation or covenant

The Grantor, being the registered proprietor of the servient tenement(s) set out in Schedule A, grants to the Grantee (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, or creates the covenant(s) set out in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Dated this 3 day of October 2002

Attestation

Charles Edward FLOWER
Director

Director

John William BINES

Director

Signature
of Grantor

Signed in my presence by the Grantor

Signature of witness

Witness to complete in BLOCK letters (unless legibly printed)

Witness name

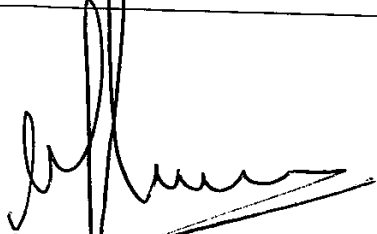
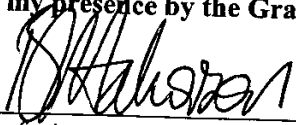
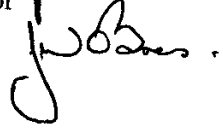
Brett Halverson

Occupation

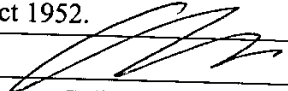
Accountant

Address

Whangarei

	<p>Signed in my presence by the Grantee</p> 
<p>Charles Edward FLOWER</p>	<p>Signature of witness</p>
<p>Director</p> 	<p>Witness to complete in BLOCK letters (unless legibly printed)</p>
<p>John William BINES</p>	<p>Witness name Brett Halverson</p>
<p>Director</p>	<p>Occupation Accountant</p>
<p>Signature of Grantee</p>	<p>Address Whangarei</p>

Certified correct for the purposes of the Land Transfer Act 1952.



Solicitor for the Grantee

Annexure Schedule 1

Easement instrument Dated 3 October 2002 Page 2 of 2 pages

Schedule A

Continue in additional Annexure Schedule if required.

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or In gross)
Water Supply	C	Lot 1 DP 201425 CT 129B/561	Lot 2 DP 201425 CT 129B/562

**Easements or profits à prendre
Rights and powers (including
Terms, covenants, and conditions)**

Unless otherwise provided below, the rights and powers implied in specific classes or easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are ~~varied/negated/added to/substituted~~ by:

Memorandum number _____, registered under section 155A of the Land Transfer Act 1952.

Covenant provisions

The provisions applying to the specified covenants are those set out in:

In addition to the Fourth Schedule of the Land Transfer Regulations 2002, the following shall apply:

The maintenance provisions in the Fourth Schedule to the Land Transfer Regulations 2002 are modified as follows:

Any maintenance, repair or replacement of the water supply that is necessary because of any act or omission by the owner of the servient land (which includes any agents, employees, contractors, subcontractors or invitees of the owner) must be carried out promptly by that owner at the sole cost of that owner or in such proportion as relates to the act or omission.

Memorandum number _____, registered under section 155A of the Land Transfer Act 1952.

All signing parties and either their witnesses or solicitors must sign or initial in this box

[Handwritten signature] JBS. OEF

Approved by Registrar-General of Land under No. 2002/6055

Easement instrument to grant easement or profit à prendre, or create land covenant
Sections 90A and 90F, Land Transfer Act 1952

EI 7389051.13 Easeme

Cpy - 01/01, Pgs - 007, 26/06/07, 09:21



Land registration district

NORTH AUCKLAND

Grantor

Surname(s) must be underlined or in CAPITALS.

CABLE BAY SECTIONS LIMITED

Grantee

Surname(s) must be underlined or in CAPITALS.

CABLE BAY SECTIONS LIMITED

Grant* of easement or profit à prendre or creation or covenant

The Grantor, being the registered proprietor of the servient tenement(s) set out in Schedule A, **grants to the Grantee** (and, if so stated, in gross) the easement(s) or profit(s) à prendre set out in Schedule A, **or creates** the covenant(s) **set out** in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

Dated this 8th day of May 2007

Attestation

	Signed in my presence by the Grantor
Signature [common seal] of Grantor	Signature of witness
	Witness to complete in BLOCK letters (unless legibly printed)
	Witness name
	Occupation Michele Robyn Bonne Solicitor
	Address Hamilton

	Signed in my presence by the Grantee
Signature [common seal] of Grantee	Signature of witness
	Witness to complete in BLOCK letters (unless legibly printed)
	Witness name
	Occupation Michele Robyn Bonne Solicitor
	Address Hamilton

Certified correct for the purposes of the Land Transfer Act 1952.

[Solicitor for] the Grantee

*If the consent of any person is required for the grant, the specified consent form must be used.

Annexure Schedule 1



Easement instrument

Dated 8 May 2007

Page 2 of 5 pages

Schedule A

(Continue in additional Annexure Schedule if required.)

Purpose (nature and extent) of easement, profit, or covenant	Shown (plan reference)	Servient tenement (Identifier/CT)	Dominant tenement (Identifier/CT or in gross)
Land covenant (see attached) and fencing covenant as defined in section 2 of the Fencing Act 1978	384236	Certificates of title 336739 to 336829 (both inclusive)	Certificates of title 336739 to 336829 (both inclusive)

Easements or profits à prendre rights and powers (including terms, covenants, and conditions)

Delete phrases in [] and insert memorandum number as required.
Continue in additional Annexure Schedule if required.

Unless otherwise provided below, the rights and powers implied in specific classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or the Ninth Schedule of the Property Law Act 1952.

The implied rights and powers are **[varied] [negated] [added to] or [substituted]** by:

[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952].

[the provisions set out in Annexure Schedule 2].

Covenant provisions

Delete phrases in [] and insert memorandum number as required.
Continue in additional Annexure Schedule if required.

The provisions applying to the specified covenants are those set out in:

~~[Memorandum number _____, registered under section 155A of the Land Transfer Act 1952]~~

[Annexure Schedule 2].

All signing parties and either their witnesses or solicitors must sign or initial in this box

NS ✱

Annexure Schedule



Insert type of instrument
"Mortgage", "Transfer", "Lease" etc

Easement

Dated

8 May 2007

Page

3

of

5

pages

(Continue in additional Annexure Schedule, if required.)

Schedule 1

1. It is intended that the land in certificates of title 336739 to 336829 (both inclusive) shall be subject in perpetuity to and shall have the benefit of certain covenants as set forth in schedule 2 of this instrument to the intent that each of the lots (the servient lots) shall be bound by the stipulations and restrictions set out in schedule 2 for the benefit of each of the other lots (dominant lots) and that the owners and occupiers for the time being for any of the dominant lots may enforce the observance of such stipulations and restrictions against the owner and occupier for the time being of any of the servient lots.
2. As incidental to this instrument that the parties hereby covenant as set out in schedule 2 to the end and the intent that each of the servient lots shall be subject to the covenants set out in schedule 2 and for the benefit of the dominant lots and that any of the owners and occupiers for the time being of the dominant lots may enforce the observance of such stipulations and restrictions against any of the owners for the time being of the servient lots PROVIDED ALWAYS that the owners of the servient lots shall as regards the stipulations and restrictions be personally liable only in respect of breaches thereof which shall occur while they are registered as proprietors of the servient lots in respect of which any such breach shall occur (or alleged to occur).

Schedule 2

1. Not use the land or permit or suffer it to be used for any purpose other than residential and will commence to build thereon within a reasonable time.
2. Not to erect or place on the said land or allow to be erected, constructed or placed on the said land any building other than a new single residential new dwelling house. If a relocatable dwelling is to be placed on the land it may only be a show home or other dwelling which has not previously been lived in.
3. Not to erect or place on the said land or allow to be erected or placed on the said land any building that:
 - (a) Has a ground floor area of less than 140 square metres (excluding garages, carports and decking) or, if the land is 600 square metres a ground floor area of less than 120 square metres (excluding garages, carports or decking).
 - (b) Has an exterior cladding that does not consist entirely of any of the following materials:
 - (i) Kiln fired or concrete brick;
 - (ii) Stucco finish on fibrous sheet or polystyrene, concrete block or solid concrete;
 - (iii) Stone;
 - (iv) Timber;
 - (v) Metal laminate on solid timber.
 - (c) Exceeds a height of 6 metres as measured by the rolling height method set out in the District Plan.
 - (d) Has any form of metal roofing unless the same has been pre-painted.
 - (e) Is painted in colours that do not comply with the British Standard specification BS5252 colour range or that do not have a reflective value of 30% or less.
 - (f) Is constructed to a single rectangle or square. Any building must contain more than two hips or two gables in the roofline. Flat roofed dwellings are acceptable provided that they meet all the covenants and have more than one level of roofing.

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

AB

Annexure Schedule



Insert type of instrument
"Mortgage", "Transfer", "Lease" etc

Easement

Dated

8 May 2007

Page

4

of

5

pages

(Continue in additional Annexure Schedule, if required.)

4. Not to permit the construction of the exterior of any dwelling house on the land to take more than a period of twelve months from the commencement of construction of that dwelling house.
5. Not to permit the driveway or access onto the said land to remain uncompleted without a solid running course for more than six months after completion of the dwelling house.
6. Not to permit or carry out the erection of any temporary building or structure upon the land unless such may be used in conjunction with the construction of permanent buildings and will be removed upon completion of the work.
7. Not to subdivide or cross lease the land or erect or allow to be erected on the land any buildings other than one family dwelling house with, if required a garage or two garages or such other buildings as would normally be appurtenant to a family dwelling house provided that any garage shall form part of or be permanently attached to the dwelling house.
8. Not to erect or place on the said land or allow to be erected or placed on the said land any clotheslines and Garden Sheds other than those to be erected away from the road or right of way access and are obscured from direct sight of the road or right of way access. Metal Garden Sheds are not permitted unless they have been pre-painted.
9. Not to permit or cause the said land to be occupied or used as a residence unless:
 - (a) The building has been substantially completed in accordance with the terms of these covenants, and
 - (b) A code compliance certificate has been issued for the building.
10. Not to erect a fence constructed of materials other than brick, wood, plastered concrete block or plastered fibrolite.
11. Not to permit or cause any rubbish to accumulate or be placed upon the land or permit any excessive growth of grass so that the same becomes long, unsightly or a fire hazard.
12. Not to permit or cause the removal of soil from the land except as shall be necessary for the construction of the building thereon.
13. Not to allow any carnivorous or omnivorous exotic animals on the land including without restricting the generality of such terms ferrets, cats and dogs.
14. Not to park any vehicle, caravan or boat on or within five metres of any street or right of way unless situated within enclosed garages constructed on the land provided that this prohibition shall not apply to any invitee of the registered proprietor of the land where such invitees are not residing on the land and the vehicles are parked temporarily only.
15. Not to plant any exotic vegetation which could adversely affect natural regeneration or local forest health. This includes the introduction of invasive plant species, including those currently based on the Nationally-Banned-For-Sale list. Planting of other exotic species is to be confined to the immediate vicinity of dwellings, and species with berry type fruits are to be grown within netting to prevent seed spread by birds.

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

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Annexure Schedule



Insert type of instrument
"Mortgage", "Transfer", "Lease" etc

Easement

Dated 8 May 2007 Page 5 of 5 pages

(Continue in additional Annexure Schedule, if required.)

16. Not to permit any water tank on the land to be more than 1.5 metres above the natural ground level.
17. Acknowledging that the value of the area of the subdivision will be affected by the standard of buildings erected on the land and by failure to comply with the covenants contained in the proceeding clauses the registered proprietor for the time being of any lot subject to these covenants personally, together with its executors, administrators and assigns covenants that should the registered proprietor fail to comply with, observe, perform or complete any of the special conditions and/or covenants and restrictions contained in these clauses 1-20 then without prejudice to any other liability the registered proprietor will:
 - (a) Pay as liquidated damages the sum of **FIFTY THOUSAND DOLLARS (\$50,000.00)** or a sum equal to 25 per cent of the cost of the erection of the dwelling house whichever sum is the larger immediately upon receipt of a written demand for payment from the registered proprietor of any other lot subject to these covenants or their solicitor; and
 - (b) Permanently remove or cause to be permanently removed from the land any improvement or structure so erected or repaired or other cause or any breach or non-observance of the foregoing covenants.

PROVIDED and it is further agreed and acknowledged that:

 - (i) Any registered proprietor shall only have any liability hereunder while they are the registered proprietor of that land;
 - (i) In any instance of default under clauses 1-20 the remedying of such default within one month of notice in writing requiring the removal of such cause or default and the payment by the defaulting party of all reasonable legal costs and other expenses incurred by the party enforcing the said covenants shall avoid the payment of the penal sum prescribed by clause (a) provided that this waiver shall not apply in respect of any subsequent default of a similar nature;
18. The registered proprietor of any lot subject to these covenants shall not call upon Cable Bay Sections Limited to pay for or contribute towards the cost of erection or maintenance of any fence between the land and any adjoining land owned by Cable Bay Sections Limited, but this condition shall not enure for the benefit of a Purchaser of such adjoining land or any part thereof.
19. The registered proprietor of each lot subject to these covenants will at all times hold one (1) share in the company Cable Bay Estate Limited and will, as an essential term of any sale, transfer or other disposition of the servient land, execute a share transfer for that share to the purchaser of the land.
20. Comply with the terms and conditions of the shareholders agreement for Cable Bay Estate Limited and, if required, execute a deed of accession to bind them to such shareholders agreement.

If this Annexure Schedule is used as an expansion of an instrument, all signing parties and either their witnesses or solicitors must sign or initial in this box.

MS
AC

Annexure Schedule - Consent Form

Land Transfer Act 1952 section 238(2)



Insert type of instrument
"Caveat", "Mortgage" etc

Mortgage

Page 1 of 1 pages

Consentor

Surname must be underlined or in CAPITALS

Capacity and Interest of Consentor

(eg. Caveator under Caveat no./Mortgagee under Mortgage no.)

St Laurence Lending Limited

**Mortgagee under mortgage number
6881770.6**

Consent

Delete Land Transfer Act 1952, if inapplicable, and insert name and date of application Act.

Delete words in [] if inconsistent with the consent.

State full details of the matter for which consent is required.

Pursuant to [section 238(2) of the Land Transfer Act 1952]

[section _____ of the _____ Act _____]

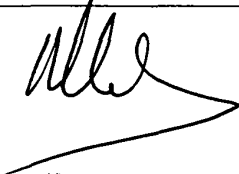
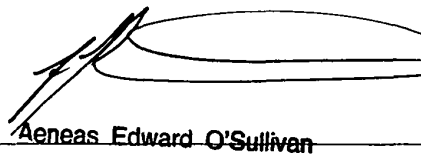
[Without prejudice to the rights and powers existing under the interest of the Consentor]

the Consentor hereby consents to:

**Easement instrument creating land covenant and fencing covenant over certificates of title
336739 to 336829 (both inclusive).**

Dated this 8th day of May 2007

Attestation

 Kevin John Podmore	Signed in my presence by the Consentor
	Signature of Witness Witness to complete in BLOCK letters (unless legibly printed)
 Aeneas Edward O'Sullivan	Witness name Occupation
	Address
Signature of Consentor	

An Annexure Schedule in this form may be attached to the relevant instrument, where consent is required to enable registration under the Land Transfer Act 1952, or other enactments, under which no form is prescribed.

Annexure Schedule - Consent Form

Land Transfer Act 1952 section 238(2)



Insert type of instrument
"Caveat", "Mortgage" etc

Mortgage

Page / of / pages

Consentor

Surname must be underlined or in CAPITALS

Capacity and Interest of Consentor

(eg. Caveator under Caveat no./Mortgagee under Mortgage no.)

NZHB Commercial Limited

Mortgagee under mortgage number
6886112.1

Consent

Delete Land Transfer Act 1952, if inapplicable, and insert name and date of application Act.

Delete words in [] if inconsistent with the consent.

State full details of the matter for which consent is required.

Pursuant to [section 238(2) of the Land Transfer Act 1952]

[section _____ of the _____ Act _____]

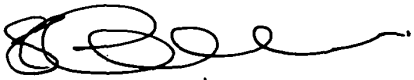
[Without prejudice to the rights and powers existing under the interest of the Consentor]

the Consentor hereby consents to:

Easement instrument creating land covenant and fencing covenant over certificates of title 336739 to 336829 (both inclusive).

Dated this 4th day of MAY 2007

Attestation

 Director NZHB Commercial Ltd	<p>Signed in my presence by the Consentor</p> <hr/> <p>Signature of Witness </p> <p>Witness to complete in BLOCK letters (unless legibly printed)</p> <p>Witness name M. Ramachandran</p> <p>Occupation Accountant</p> <p>Address 160, Crafton Road, Crafton Auckland.</p>
Signature of Consentor	

An Annexure Schedule in this form may be attached to the relevant instrument, where consent is required to enable registration under the Land Transfer Act 1952, or other enactments, under which no form is prescribed.



Far North
District Council

CONO 7389051.2 Cons

Cpy - 01/01, Pgs - 003, 25/05/07, 09:19



DocID: 312896978

Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

Freephone: 0800 920 029

Phone: (09) 405 2750

Fax: (09) 401 2137

Email: ask.us@fndc.govt.nz

Website: www.fndc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 2051164
the Subdivision of Lot 4 DP 312738
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c)(ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the appropriate titles of Lots on DP 384236.

SCHEDULE

LOTS 66 AND 67

1. Prior to the construction of any building on the lot the property owner shall provide a report prepared by a suitability qualified Chartered Professional Engineer which identifies the 100 year AFI Flood level for the site and specifies a safe minimum floor level above the identified flood level.

LOTS 56 - 67, 201 AND 203

2. The parent site boundary shall be fenced where there is bush to be protected as required by conditions (2) (1) and (3) (29) to ensure that stock from a neighbouring site cannot access the bush protection areas.

LOTS 28 - 31 AND 49 - 86

3. The defined building sites shall be pegged and temporary fencing constructed around the perimeter of the building site to ensure that bush clearance and construction works do not extend outside of these defined areas.
4. That the wastewater treatment and disposal system shall be designed by a Registered Engineer in accordance with the Auckland Regional Council Technical Publication N^o 58 and to the satisfaction of the Far North District Council.
5. The wastewater treatment and disposal system shall be regularly maintained and upgraded and / or replaced as necessary to ensure that it continues to operate properly.

LOTS 29 – 31, 49 – 86, 201 AND 203

6. The owner shall preserve the indigenous trees and bush on allotments 201 and 203 and all bush areas outside of the identified building platforms on allotments 28, 29, 30, 31, allotments 49 to 86 inclusive and shall not without the prior written consent of the Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of such trees or bush or suffer or permit the cutting down damaging or destruction of any such trees or bush. The owner shall be deemed to be not in breach of this prohibition if any of such trees or bush shall die from natural causes not attributable to any act or default by or on behalf of the owner or for which the owner is responsible.

LOTS 51, 52, 60 – 63, 67 – 69, 72, 73, 75, 81, AND 82

7. Without the prior approval of the Council, no building shall be erected, nor any works which increase impermeable surfaces be undertaken, nor any planting or structure placed which may create a flow obstruction, on any area of the site which has been proposed as a secondary/overland (Q_{100}) flow. [Refer to easements G, H, I, J, K, L, N, O, Q, R, T, U, V, W, X, Y, and AA]

ALL LOTS:

8. The Incorporated Body or other legal entity requested to be formed pursuant to Condition (3) (4) shall be responsible for the ongoing maintenance of the common areas, and the stormwater and waste water systems. The owner of each residential and rural residential allotment within the subdivision will be required to be a member of the approved entity.
9. The requirements of the approved management plan shall be complied with at all times and in particular the following matters shall be observed at all times:
 - No building shall exceed a height of 6 metres as measured by the rolling height method set out in the District Plan.
 - The colours of all buildings are to comply with British Standard specification BS5252 Colour Range and have a reflective value of 30 % or less.
10. Any new residential building erected on site, shall have installed domestic sprinkler systems in accordance with the requirements of the New Zealand Fire Service.
11. No building shall be erected on the proposed lots without the prior approval of the council to specific designs for foundations, prepared by a registered engineer with geotechnical expertise.
12. No occupier of the land shall keep or introduce on to the site carnivorous or omnivorous exotic animals (such as ferrets, cats or dogs) which have the potential to be kiwi predators.
13. Exotic vegetation which could adversely affect natural regeneration or local forest health is not to be introduced on the site. This includes the introduction of invasive plant species, including those currently listed on the nationally-banned-for-sale list (see Northland regional Pest Management Strategy). Planting of other exotic species should be confined to the immediate vicinity of dwellings. And species with berry-type fruits are to be grown within netting to prevent seed spread by birds.

14. Animal pest and weed eradication shall be ongoing in accordance with the animal pest and weed eradication programme approved by Far North District Council detailing the methodology for animal pest and weed eradication within the bush covenant areas. Any predator / pest control work carried out is to be done in a manner which will not endanger kiwi.
15. A landscaping plan from a suitably-qualified person shall be provided to the Council's satisfaction, which indicates the means to lessen the visual impact of buildings, access ways and any earthworks. This plan shall be submitted with the resource consent application for the construction of a dwelling or accessory building on sites within the subdivision. On approval of this plan, the landscaping specified is to be provided within six months and adequately maintained thereafter. Plants requiring removal due to damage, disease or other cause shall be replaced with a similar specimen before the end of the next following planting season.

SIGNED:



Mr Pat Killalea

By the FAR NORTH DISTRICT COUNCIL
Under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this

17th day of May

2007

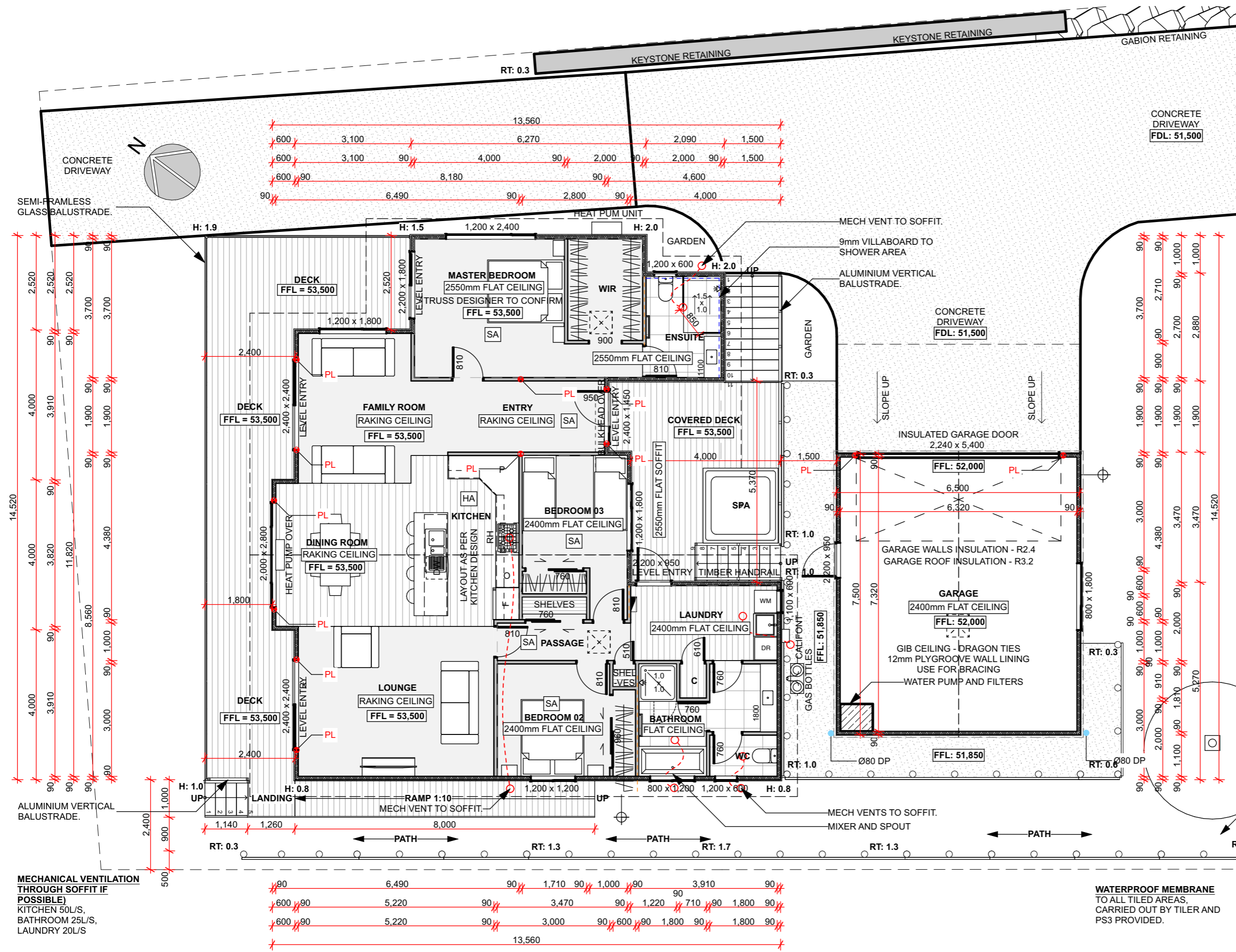
NEW RESIDENTIAL DWELLING FOR **JIM DAVIS & KATHY COLEY**

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A1402	Roof & Drainage Plan
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A2002	Elevations
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LOT 23 DP 384236
38 DUDLEY CRESCENT
CABLE BAY





FLOOR AREAS

PROPOSED DWELLING FLOOR AREA:	152.25m ²
PROPOSED GARAGE FLOOR AREA:	48.75m ²
TOTAL FLOOR AREA:	201.00m²
PROPOSED FRONT DECK AREA:	41.55m ²
PROPOSED REAR DECK AREA:	20.35m ²
TOTAL FLOOR AREA EXCL RAMP & STEPS:	61.90m²

- KEY:**
- CEILING HATCH
 - POWER DISTRIBUTION BOARD & SMART METER
 - FLOORING: TILE
 - FLOORING: TIMBER OVERLAY
 - FLOORING: CARPET
 - INSULATION TO INTERNAL WALLS
 - MECHANICAL VENT DUCTED TO EXTERIOR
 - EXTERIOR WATER TAP
 - SMOKE ALARM - INTERCONNECTED
 - HEAT ALARM - INTERCONNECTED

- GENERAL NOTES**
- ALL JOINERY SIZES ARE TO FINISH SIZES ADD 7.5MM EACH SIDE FOR BOX (UNIT) SIZE. CONFIRM KITCHEN LAYOUT WITH OWNER & KITCHEN MANUFACTURER BEFORE COMMENCING PIPEOUT. ALL DIMENSIONS TO TIMBER FRAMING NOT FINISHED ROOM SIZES. ALL FRAMING & BOTTOM PLATES TO BE H1.2 TREATED UNLESS SPECIFIED OTHERWISE
- INTERNAL DOORS
1.98m TYPICAL INTERNAL DOOR HEIGHT.
- STUD HEIGHTS
VARIES REFER TO SECTIONS
- WATER HEATING
GAS CALIFONT AS SHOWN ON THE ELECTRICAL PLAN. 2X45KG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH SEISMIC RESTRAINTS)
- WET AREAS
JOINTS BETWEEN FIXTURES & WALL LININGS; WHERE BATHS, BASINS, TUBS OR SINKS ABUTT IMPERVIOUS LININGS THE JOINT BETWEEN FIXTURE & LINING SHALL BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.
- WALL LININGS
10mm GIB. GIB AQUALINE TO WET AREAS. 9mm VILLABOARD TO TILED WALLS
- SHOWERS TO HAVE 6MM SAFETY GLASS DOOR PANEL UNLESS SPECIFIED ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS ALL ACCESS ROUTES, BOTH EXTERANL AND INTERNAL, PROVIDE ANTI-SLIP SURFACES COMPLYING WITH NZBC CLAUSE D1/AS1 (2.1 SLIP RESISTANCE)
- INTERCONNECTED SMOKE ALARM FITTED WITH HUSH & TEST ABILITY CONFORMING WITH NZBC F7/AS1, C/AS1 AND NZS 4514
- TRIMS
60x10 FJ PINE, SINGLE BEVEL SKIRTING.
40x10 FJ PINE ARCHITRAVE.
SQUARE STOP (40x18 IN CUPBOARDS) SCOTIA.

MECHANICAL VENTILATION THROUGH SOFFIT IF POSSIBLE)
KITCHEN 50L/S,
BATHROOM 25L/S,
LAUNDRY 20L/S

WATERPROOF MEMBRANE
TO ALL TILED AREAS,
CARRIED OUT BY TILER AND
PS3 PROVIDED.

Arcline
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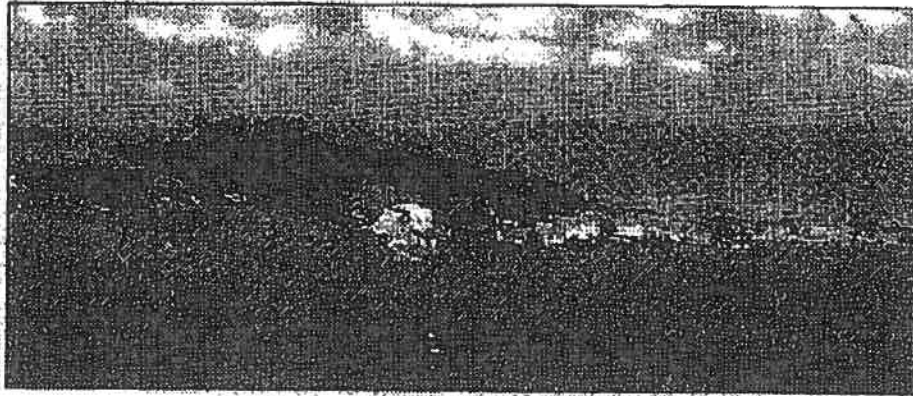
Floor Plan

JIM DAVIS & KATHY COLEY
38 DUDLEY CRESCENT,
CABLE BAY

Rev No.	Revision	Date	Scale @ A3: 1:100	Sheet No:
			Drawn By MC	A1101
			Issued: 13/02/2026 9:41 AM	FOR RESOURCE CONSE

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21 June 2007



MANAGEMENT PLAN

**Cable Bay Sections Limited Subdivision,
Cable Bay
RC2051164**

Prepared For: ***Cable Bay Sections Limited***

Prepared By: ***Bay of Islands Planning Limited in conjunction with:
Wood and Partners Consultants Limited
Bay of Islands Planning Limited
Christine Hawthorn Landscape Architect
Mark Poynter & Associates
Cook Costello Engineering Limited
Marlaine Turner
Innolow Technologies Limited
Northern Civil Consulting Engineers***

Date: ***21 June 2007***

APPROVED

*P. J. K. [Signature] 21st June 2007
Resource Consent Manager
FNDC.*

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PK.

MANAGEMENT PLAN

21 June 2007

A SCOPE OF MANAGEMENT PLAN

1.0 PURPOSE OF MANAGEMENT PLAN

1.1 The purpose of the Management Plan is to provide an overall development and conservation framework for that land subject to Resource Consent Application No RC 2051164 being the subdivision of the land described as Lot 4, DP 312738 contained in CT 50077 as at May 2005. The subdivision is depicted on the Approved Scheme Plan (Wood & Partners) dated 03/12/04 with the Council "Approved Plan" stamp dated 2 December 2005 attached as Appendix 1 and approved variations RC 2070080 and RC2070635 dated 24 April 2007 and any subsequent amendments approved by Council. The Management Plan requires the owners and future owners of the land to retain, manage and enhance the particular resources and characteristics pertaining to the coastal setting of the land and its inherent landscape and ecological values.

1.2 The Management Plan promotes the sustainable management of the land and its resources by making a significant proportion of the land subject to Land Covenants which require owners and future owners to conserve and enhance the vegetated areas thereby protecting their habitat value and ensuring their continuing contribution to the landscape values and coastal setting of Cable Bay.

1.3 The Management Plan also aims to ensure that the development of the land results in a high degree of visual amenity which sustains the landscape character of the locality and does not result in adverse effects on the public's use and enjoyment of the coastal environment in the vicinity.

2.0 IMPLEMENTATION OF THE MANAGEMENT PLAN

2.1 By virtue of the Consent Notices pursuant to Section 221 of the Resource Management Act registered against the titles of each of the lots created pursuant to Resource Consent Application RC 20501164, the owners and subsequent owners of these lots, are required, acting either individually or jointly through the Incorporated Body, to observe and comply with the matters contained within the approved Management Plan and any other Consent Notices applicable to their Certificate(s) of Title.

2.2 Implementation of the Management Plan is also achieved through administration of the land covenants applied to the bush lots and other areas in common ownership.

PJK

3.0 COVERAGE OF MANAGEMENT PLAN

3.1 The Management Plan applies generally to the whole of the land included in Resource Consent Application 20501164 depicted on the Approved Scheme Plan but with some matters being applicable only to specified properties as stated in the individual sections.

3.2 All matters specified within the Management Plan must be complied with, unless they are described as guidelines for implementation. Non-compliance with the Management Plan will be subject to enforcement action through the provisions of the Resource Management Act 1991.

B MANAGEMENT PLAN REQUIREMENTS

4.0 STRATEGIC OVERVIEW

4.1 The strategy for protecting the values and resources of the property and integrating the built development within the existing coastal setting comprises three main components:

- 1) Permanent protection, through land covenants, of the vegetated area together with revegetation of pasture areas to conserve some 23 hectares of a rare habitat type which may contain rare or threatened species. This will allow the bush to regenerate and mature. Management of the covenanted area will be achieved through the Bush Protection Plan.
- 2) Controls over the design and siting of buildings together with landscape mitigation planting around the buildings and their access.
- 3) Management and maintenance of the private on-site reticulated systems for stormwater and wastewater treatment and disposal.

4.2 These matters are detailed in sections 5.0, 6.0 and 7.0 respectively.

5.0 BUSH PROTECTION PLAN

OVERVIEW

5.1 The purpose of the Bush Protection Plan [Appendix 2] is to provide for the retention, management and preservation of the vegetation contained within the covenanted areas. The Bush Protection applies to areas 201 and 203 and all areas outside the defined building platforms on allotments 28,29,30,31 and allotments 49 to 86 inclusive.

5.2 The Bush Protection Plan requires the retention, untouched, of all indigenous species within the identified area, unless approval is given by the Far North District Council for their removal or treatment, such work to be undertaken by a qualified arborist.

5.3 A pest and weed eradication programme shall be initiated and implemented in accordance with guidelines produced by the Northland Regional Council and implemented to the satisfaction of the Northland Regional Council.

MANAGEMENT PLAN

18 June 2007

5.4 Revegetation of bare land within the covenanted areas, including areas affected by the development works and removal of exotic vegetation, shall be undertaken in accordance with the requirements of the Bush Protection Plan in respect of species, planting and establishment processes, fertilisation, and weed and pest control.

5.5 Compliance with the approved Bush Protection Plan is a requirement of this Management Plan and of the land covenants.

5.6 To ensure that stock from neighbouring properties does not enter those areas contained within the Bush Protection Plan the common boundaries shall be fenced. Such fencing shall be maintained by the Incorporated Body.

6.0 BUILT DEVELOPMENT

OVERVIEW

6.1 The land is situated in a coastal environment with high amenity values. It forms a backdrop to the settlement of Cable Bay and is surrounded by residential housing, less intensive 'lifestyle' housing interspersed with bush areas, farmland and some small scale horticultural activities. The development concept for the land aims to retain a high degree of natural character and landscape value within the site, hence guidelines are provided to ensure the addition of buildings, structures and other visual elements associated with human dwelling and habitation do not have adverse effects on the natural character of the area and the general landscape values of the locality.

6.2 Controls are required to minimise the potential visual impact of buildings, particularly on views from the coastal marine area. These provisions relate to the siting of buildings and accessory structures, together with design controls in respect of form, materials and colour where specified, and mitigation of visual effects through planting to provide screening. It should be noted that under the rules in the Far North District Plan pertaining to the Coastal Living Zone, resource consent is required for buildings exceeding a specified size. Compliance with the following requirements must be demonstrated when such consents are sought by individual owners.

DESIGN AND SITING OF BUILDINGS

6.3 The following restrictions and guidelines shall apply to buildings:

- a. No more than one single unit residential dwelling on any lot;
- b. Buildings on any lot shall be contained within the 'building envelopes' identified on the Approved Scheme Plan at Appendix 1 and as further detailed on the approved Survey Plan;
- c. Buildings and structures shall be designed and located to run with the landform, to minimise visual impact and to avoid, as far as practicable, breaking of ridgelines so that

P.J.K.

- the structures are more effectively integrated with the topography;
- d. Buildings and structures shall have their foundations designed in accordance with the recommendations of the Geotechnical Report by Cook Costello for the relevant lot. [This information is attached as Appendix 3];
 - e. Buildings and structures shall be designed so that the rooflines are irregular and stepped with the plan of the dwelling being broken up or indented. This will allow for trees close to the dwellings, create shadows and reduce the appearance of their scale.
 - f. Buildings shall be coloured in recessive tones to harmonise with the surrounding vegetation and landscape;
 - g. No building shall exceed a height of 6 metres as measured by the rolling height method set out in the District Plan ;
 - h. Materials and finishes should complement the setting, be natural looking and non-reflective and windows should not be mirror glass;
 - i. The colours of all buildings are to comply with British Standard specification BS5262 Colour Range and have a reflective value of 30% or less.
 - j. Garaging on any lot shall be incorporated into the residential building whenever practicable, and water tanks shall be sited so that they are not visually prominent when viewed from the coastal marine area, the road or neighbouring properties. Where tanks cannot be sited underground they shall be screened by vegetation.

ACCESSORY BUILDINGS AND SERVICES

6.4 Accessory facilities and services shall be provided in accordance with the following:

- a. Parking and utility areas shall be screened; - ok
- b. Access ways shall be designed to minimize earthworks and vegetation clearance and all cut and fill batters or retaining walls associated with provision of access revegetated within the first planting season;
- c. Silt collection and other appropriate measures shall be installed during implementation of any earthworks associated with provision of accessways and construction of dwellings; - completed
- d. All new access ways shall be constructed to run with the contours as far as practicable, and shall utilize surfaces finished with a visually recessive material such as concrete with a dark oxide additive; - Landscaping plan check if not conditions
- e. All new services, including power and phone connections shall be installed underground along the alignments of the access ways. - Advice MOC

More planting is necessary
Cement driving design creates too much
imp & is removed area
for planting

MANAGEMENT PLAN

18 June 2007

6.5 Landscaping and management of vegetation shall comply with the following:

- a. Vegetation on individual lots can only be cleared within the access ways and building envelopes unless it is exotic or weed species. All other parts of the lot are subject to covenants and the requirements of the Bush Protection Plan;
- b. Removal of cleared vegetation shall be by mulching to avoid any risk of fire destroying the bush areas or neighbouring property;
- c. A landscape mitigation plan shall be prepared for each house lot in conjunction with the resource consent application to the satisfaction of the Resource Consents Manager of the Far North District Council.

LANDSCAPE MITIGATION PLANS

6.6 A Landscape Mitigation Plan shall be prepared by a qualified landscape architect for all lots to ensure that the visual impact of the buildings is mitigated through plantings which integrate the development into the landscape setting. The Landscape Mitigation Plans shall be based on the following principles and requirements and shall be prepared in conjunction with the resource consent applications for the dwellings to the satisfaction of the Resource Consents Manager of the Far North District Council. Compliance with the relevant approved Visual Mitigation Plan is a requirement of this Management Plan.

6.5 The principles and requirements for a Landscape Mitigation Plan are:

- a. Plant material shall be predominantly appropriate native species selected from the species lists in Appendix 4; *check list*
- b. The plan shall show details of re-vegetation or other remedial treatment of any exposed cut faces associated with the building or access; *check*
- c. The plan shall contain the following information:
 - ✓ Location and extent of the proposed buildings, access and extent of earthworks;
 - Size, species and location of existing vegetation;
 - ✓ Names of proposed species;
 - ✓ Size of proposed stock for planting;
 - ✓ Locations and spacing of proposed plants, details of staking of trees;
 - ✓ Details of proposed maintenance;
 - ✓ Details of proposed mulch, e.g. type, depth etc.
- d. The plan is to be implemented within the first planting season following completion of the earthworks or the exterior of the *condition*

PBK

building (approximately March –September) and maintained thereafter.

- e. Planting and maintenance of the landscaping shall be undertaken in accordance with the guidelines in Appendix 4.

7.0 STORMWATER AND WASTE WATER MANAGEMENT

STORMWATER MANAGEMENT

7.1 Individual owners shall, as required, be responsible for the management of runoff within their properties including dispersal mechanisms within the bush lots and water storage tanks in accordance with the Storm Water Management Report Prepared for Cable Bay Sections Ltd, Cable Bay Revision C prepared by Duffill Watts and King Ltd reference Job No 102471 Dated May 2006 Revised 18 June 07 [Pages 6 and 10] and Peer Review referenced Job No 43100 Dated 18 August 2006 [Appendix 5].

WASTEWATER AND WATER MANAGEMENT

7.2 Sewage effluent disposal shall be via connections to the Council Reticulated Sanitary Sewer system, except for Lots 60 to 72 inclusive, which shall have individual on site disposal. Refer to Duffill Watts and King Ltd and Far North District Council letters dated 25 and 29 August 2006 respectively [Appendix 6].

7.3 On site effluent disposal systems shall be designed to meet Regional and District Council requirements. Individual owners shall be responsible for installation and maintenance of treatment system on their lots in accordance with the conditions of Discharge Permit (s) CON20051353901 from the Northland Regional Council. Individual owners are required to comply with these conditions at all times, including restrictions on the discharge of toxic substances.

7.4 Reticulated water supply is provided to each site from the local water supply company. All lots are required to connect to this reticulated water system in order to provide a supply for domestic sprinkler systems. This requirement overrides those outcomes expressed within the letters contained Appendix 6.

8.0 LAND COVENANTS

8.1 In addition to compliance with this Management Plan, Lot owners, either individually or jointly through the Incorporated Body, are required to comply with the Land Covenants attached to the titles, referred in Appendix 7.

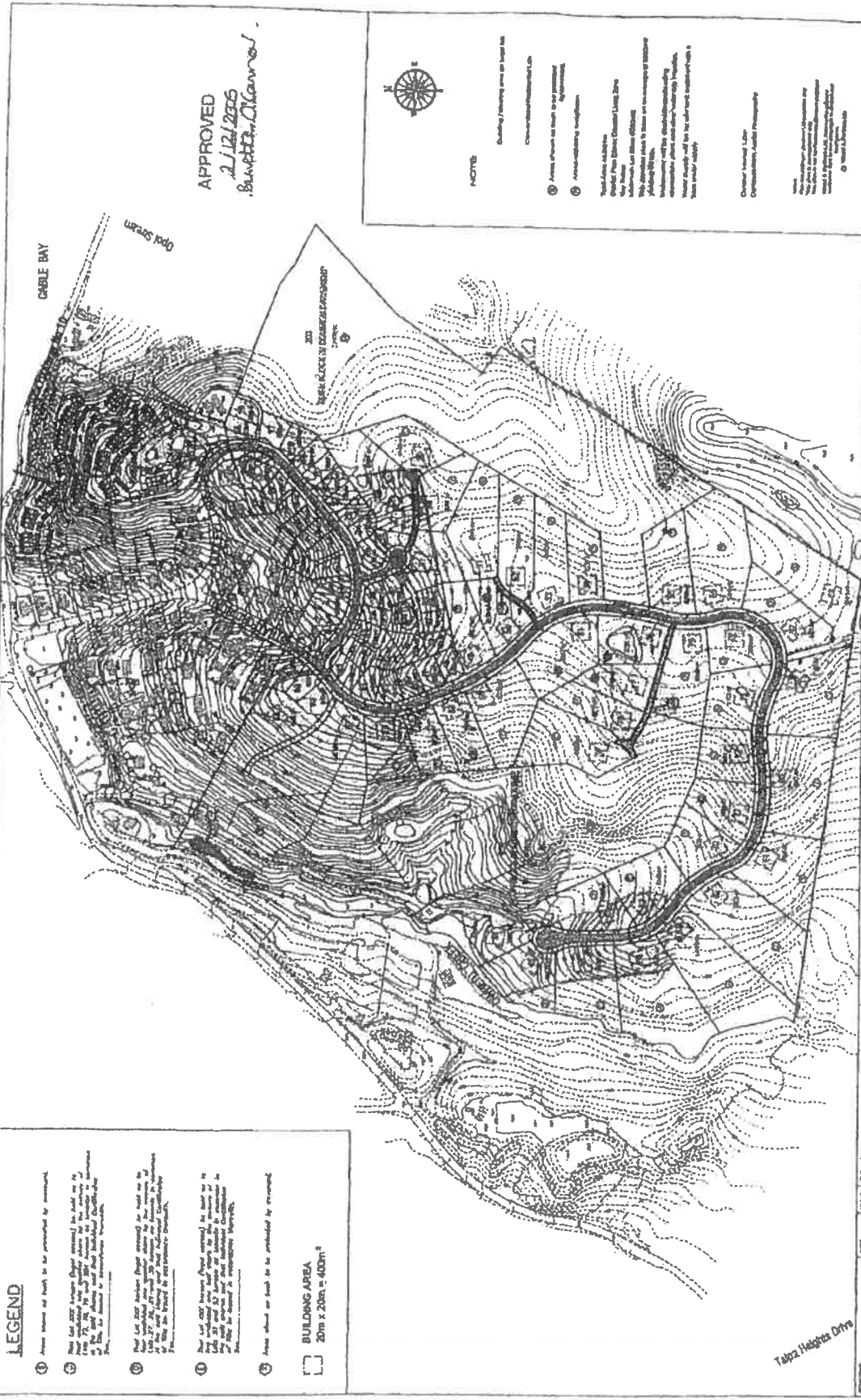
9.0 ARCHAEOLOGICAL MATTERS

9.1 In the event of any activities on the land revealing the presence of archaeological artefacts or kōwhiri [human remains] all work shall cease and the area shall be protected from entry. The landowner shall immediately contact the NZ Historic Places Trust and tangata whenua, and obtain the appropriate authorisations

MANAGEMENT PLAN APPENDIX 1
Approved Scheme Plan
21 June 2007

Approved Schemes Plan (Woods & Partners) dated 03 December 2004
with Council "Approved Plan" stamp dated 02 December 2005.

PJK.



LEGEND

① Areas shown as hatched in the plan are to be reserved for proposed.

② The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.

③ The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.

④ The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.

⑤ Areas shown as hatched in the plan are to be reserved for proposed.

BUILDING AREA
20m x 20m = 400m²

APPROVED
2/12/2016
Bunthea Cleaver

NOTE:

① Existing Footing area as per plan

② Contour Interval 1m

③ Areas shown as hatched in the plan are to be reserved for proposed.

④ Contour Interval 1m

⑤ The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.

⑥ The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.

⑦ Areas shown as hatched in the plan are to be reserved for proposed.

⑧ Contour Interval 1m

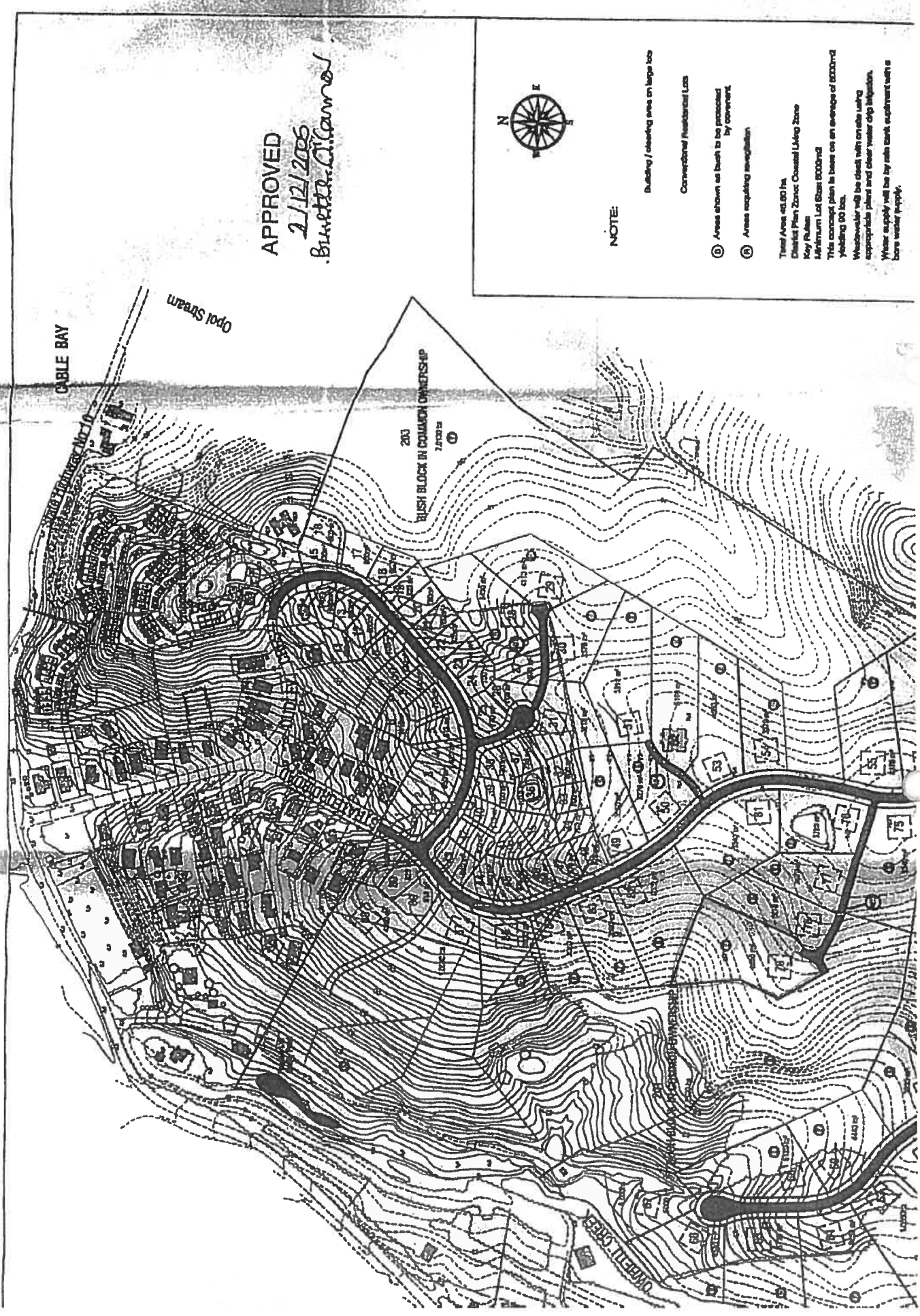
⑨ The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.

⑩ The lot 4 DP 312738 (shown as hatched) is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan. The area is to be used for the proposed scheme plan.



McBREEN JENKINS LTD		CABLE BAY PROPOSED SCHEME PLAN OF LOT 4 DP 312738 FAR NORTH DISTRICT COUNCIL		WOOD 300 PASSENGER		PROJECT NO. 21 DATE: 12/12/16 DRAWN BY: [Name] CHECKED BY: [Name] SCALE: 1:1000 SHEET NO. 001	
---------------------	--	---------------------------------------------------------------------------------------	--	-----------------------	--	--------------------------------------------------------------------------------------------------------------	--

PAK



APPROVED
 2/12/2005
 Brett A. Cannon



NOTE:

- Building / clearing area on large lot
 - Conventional Residential Lots
 - Areas shown as built to be processed by consent
 - Areas requiring investigation
- These Areas are 600 m
 District Plan Zone: Coastal Living Zone
 Key Rules
 Minimum Lot Size: 6000sqm
 This concept plan is based on an average of 6000sqm
 yielding 60 lots.
 Waterways will be dealt with on site using
 appropriate plant and clear water drip filtration.
 Water supply will be by rain tank equipment with a
 bore water supply.

MANAGEMENT PLAN APPENDIX 2 Bush Protection Plan

21 June 2007

1.0 Coverage of Bush Protection Plan

1.1 The Bush Protection Plan applies to all of the land within the areas subject to land covenants. It excludes the areas defined by the building envelopes, the legal road, rights of way and individual lot driveways. More particularly it applies to areas 201 and 203 and all areas outside the defined building platforms on allotments 28,29,30,31 and allotments 49 to 86 inclusive.

2.0 Bush Protection Plan Requirements

2.1 No indigenous plant species within the areas covered by the Bush Protection Plan shall be removed, either wholly or in part, without the agreement of the Far North District Council unless its condition poses an immediate threat to health or property.

2.2 If any of the protected indigenous vegetation is of concern to the Incorporated Body or an individual lot owner, consent for removal or maintenance will be required from the Far North District Council, and such work as is agreed to be necessary shall be undertaken by a qualified arborist.

3.0 Pest and Weed Eradication Programme

3.1 The covenanted area covered by the Bush Protection Plan contains a number of exotic noxious and troublesome weed species which must be removed to allow the indigenous species to regenerate and mature. Similarly pest species such as stoats may hinder the establishment of indigenous fauna within the area. A pest weed eradication programme must be formulated in accordance with the adopted strategies of the Northland Regional Council and implemented by the Incorporated Body and individual lot owners with advice and guidance from the Northland Regional Council or other appropriately qualified expert. The program for Lots 201 and 203 shall be presented to and approved by Council within three months of the issue of the Certificate of Title. For all other lots [28,29,30,31 and allotments 49 to 86 inclusive] the program shall be presented and approved prior to the issue of a Building Consent.

4.0 Revegetation Programme

4.1 The conditions of the consents for the subdivision and development require that land within the covenanted area which is not vegetated, and any areas that are cleared for development purposes such as formation of the road, shall be revegetated. The revegetation program for Lots 201 and 203 shall be presented to and approved by Council within three months of the issue of the Certificate of Title. The planting shall take place within the first planting season following the approval of the program. For all other lots [28,29,30,31 and allotments 49 to 86 inclusive] the revegetation program shall be presented and approved prior to the issue of a Building Consent and implemented within three months of the Code Compliance Certificate. As the structure and composition of the present habitat is dominated by a monocultural stand of *Leptospermum scoparium* (Manuka), the revegetation planting must include at least 70% Manuka with the remaining 30% cover made up of the following species:

Coprosma robusta (Karamu) Gm.

P.K.

MANAGEMENT PLAN APPENDIX 2
Bush Protection Plan
21 June 2007

Similar to
Pittosporum

Cordyline australis (Cabbage tree)
Corynocarpus laevigatus (Karakā)
Dysoxylum spectabile (Kohēkōhe)
Knightia excelsa (Rewarewa)
Melicactus ramiflorus (Mahōe)
Metrosideros excelsa (Pohūtukawa)
**Myrsine australis* (Red Matipo)
Phyllocladus trichomanoides (Tanekaha)
**Pittosporum crassifolium* (Karo)
Podocarpus totara (Totara)
Pseudopanax arboreus (Five finger)
Vitex lucens (Puriri), and
Weinmannia racemosa (Kamahi)

Plants must be sized at around pb3/4 to pb3 to ensure quick establishment.

4.2 The revegetation planting is to be implemented during the months of April through to September. If planting outside of these dates it is recommended that a teaspoon of 'Crystal Rain' be added to each planting hole.

4.3 The following method of planting is recommended: -

- Spot spray each plant position with 'Roundup' two weeks prior to planting so that all weeds and grass within an area 500-600mm in diameter are cleared;
- Excavate a hole approximately 50mm wider and deeper than the plant root ball, so that the sides of the hole are loosened, not smooth. Place the excavated topsoil to one side of the hole for backfilling afterwards.
- Add a slow release fertiliser tablet to each planting hole as per the manufacturer's specifications. Add a teaspoon of 'Crystal Rain' at this point if the weather conditions require it.
- Remove the planter bag from around the root ball of the plant. Place the plant centrally within the hole; making sure that the soil level of the plant is level with the surrounding ground level.
- Backfill around the root ball with the topsoil that was set aside. Firm the soil around the root ball taking care not to bury the plant too deeply. The original potting mix level should be level with the surrounding ground level. The plant should be firmly and centrally placed within the hole with an area of dead grass around each plant. Spread any excess soil away from the sprayed area, as this will readily grow new weeds, whereas the sprayed area will not.

4.4 The following three year maintenance schedule must be followed: -

Year One

- Release weeds from around the plants at two monthly intervals. This may become three months over winter when grass growth is slower. Some plants such as Cabbage Trees, may need weeds releasing by hand first as they may be sensitive to sprays. Once weeds are released from contact with the plants they can be sprayed with 'Roundup' following the manufacturer's specifications. All spraying should be done in weather conditions that are calm and when rain is not forecast.

P.K.

MANAGEMENT PLAN APPENDIX 2 Bush Protection Plan

21 June 2007

- Apply to each plant around the root ball a small handful of Blood & Bone organic fertiliser during the growing season. Application times could be coincided with release spraying, but generally would be September and March.
- The control of pests such as rabbits and Pukeko will need to be monitored and action taken if required.

Year Two & Three

- Release weeds from around the plants at three monthly intervals. This may become four months over winter when grass growth is slower. Some plants such as Cabbage Trees, may need weeds releasing by hand first as they may be sensitive to sprays. Once weeds are released from contact with the plants they can be sprayed with 'Roundup' following the manufacturer's specifications. All spraying should be done in weather conditions that are calm and when rain is not forecast.
- Apply to each plant around the root ball a small handful of Blood & Bone organic fertiliser during the growing season. Application times could coincide with release spraying, but generally would be September and March.
- The control of pests such as rabbits and Pukeko will need to be monitored and action taken if required.

5.0 Exclusion of Buildings and Structures

5.1 All areas covered by the Bush Protection Plan will remain void of any built structures except those associated with the provision of services. The natural regeneration process shall be allowed to prevail.

6.0 Monitoring

6.1 The Incorporated body and individual lot owners have a responsibility to monitor the implementation of the Bush Protection Plan and to comply with any monitoring undertaken by the Far North District Council or the Northland Regional Council. An Annual Report shall be presented to Council, prepared by the Incorporated Body which details the manner in which the conditions of the resource consent have been implemented, are to be implemented and any monitoring results.

P.G.K.

MANAGEMENT PLAN APPENDIX 3
Foundation Design Requirements
18 June 2007

See separate Geotechnical Report for Cable Bay Subdivision, prepared by
Cook Costello dated January 2006.

P.J.K.

MANAGEMENT PLAN APPENDIX 4 Landscape Mitigation Plan Requirements

18 June 2007

LANDSCAPE MITIGATION PLAN REQUIREMENTS

Landscape mitigation planting is required for rehabilitation of works for access and building within individual lots, for landscape enhancement planting around structures in both the small lots and the larger bush lots, and for planting along the . The Incorporated body and present and future owners shall utilise the following recommended plant lists and implementation guidelines in establishing and maintaining such planting.

Cut and Fill Batter Revegetation Plantings

Purpose: revegetation to minimise visual scarring and stabilise the slopes.

Recommended species: the following species shall be used; numbers required shall be determined after the works are completed.

Botanical Name	Common Name	Size	Spacing
<i>Blechnum capense</i>	Fern	pb3/4	0.8m
<i>Carex</i> species	Tussöcks	pb3/4	0.8m
<i>Coprosma acerosa</i> 'Red Rocks'	Groundcover Coprosma	pb3/4	1m
<i>Coprosma kirkii</i>	Groundcover Coprosma	pb3/4	1.2m
<i>Dianella nigra</i>	Blue-berry, flax like.	pb3/4	0.8m
<i>Dodonaea viscosa</i>	Akeake	pb3	3m <i>4m.</i>
<i>Leptospermum scoparium</i>	Manuka	pb3/4	3m
<i>Phormium cookianum</i> 'Dwarf'	Dwarf mountain flax	pb3/4	1m <i>50cm.</i>
<i>Pittosporum crassifolium</i>	Karo	pb3	2.5m <i>3-6m.</i>
<i>Pseudopanax arboreus</i>	Five-finger	pb3	2.5m
<i>Pseudopanax lassonii</i>	Five finger	pb3	2.5m

nz blueberry -

PJK

MANAGEMENT PLAN APPENDIX 4
Landscape Mitigation Plan Requirements
 18 June 2007

Landscape Enhancement Plantings Around New Structures (small lots)

Purpose: softening appearance of structures.

Recommended species: as follows, numbers required shall be determined after the works are completed.

Botanical Name	Common Name	Size	Spacing
<i>Agave</i> species	Succulents	pb5	1.2m
<i>Aloe</i> species	Succulents	pb5	1m
<i>Arthropodium cirratum</i>	Rengaranga lily	pb3	0.8m
<i>Astella</i> 'Silver Spear'	Silver fol.	pb5	1.5m
<i>Carex</i> species	Tussocks	pb3	0.8m
<i>Coprosma</i> species	Coprosma	pb5	1.2m
<i>Cordyline australis</i>	Cabbage tree	pb5	3m
<i>Corokia</i> 'Frosted Chocolate'	Chocolate fol.	pb5	1.2m
<i>Cyathea medullaris</i>	Punga	pb5	4m
<i>Diates grandiflora</i>		pb3	0.8m
<i>Elegia capensis</i>	Grass	pb5	1m
<i>Hebe</i> species	Hebe	pb5	1m
<i>Hymenosporum flavum</i>	Dwarf Aussie frangipani	pb5	1.2m
<i>Leptospermum</i> 'Coppershine'	Purple fol. Manuka	pb5	4m
<i>Meryta sinclairii</i>	Puka	pb5	5m
<i>Metrosideros</i> 'Springfire'	Small Pohutukawa	pb5	3m
<i>Metrosideros excelsa</i>	Pohutukawa	pb5	8m
<i>Metrosideros Tahiti</i>	Dwarf Pohutukawa	pb5	1.5m
<i>Phoenix roebelenii</i>	Dwarf date palm	pb5	1m
<i>Phormium</i> 'Platt's Black'	Black flax	pb3	1m
<i>Phormium cookianum</i>	Flax	pb3	1m
<i>Pittosporum eugenioides</i>	Pitto	pb5	3m
<i>Pittosporum tenuifolium</i>	Pitto	pb5	3m
<i>Pseudopanax lessbrill</i>	Flve finger	pb5	2m
<i>Schefflera</i> 'Pitman's Pride'	Dwarf Aussie umbrella	pb5	1.5m

RJK

MANAGEMENT PLAN APPENDIX 4 Landscape Mitigation Plan Requirements

18 June 2007

Landscape Enhancement Plantings Around New Structures (Bush Lots)

Purpose: softening appearance of structures within the building envelopes

Recommended species: as follows, numbers required shall be determined after the works are completed.

Botanical Name	Common Name	Size	Spacing
<i>Arthropodium chratum</i>	Réngarenga lily	pb3	0.8m
<i>Astelle 'Silver Spear'</i>	Silver fol.	pb5	1.5m
<i>Carex</i> species	Tussocks	pb3	0.8m
<i>Coprosma</i> species	Coprosma	pb5	1.2m
<i>Cordylina australis</i>	Cabbage tree	pb5	3m
<i>Corokia 'Frosted Chocolate'</i>	Chocolate fol.	pb5	1.2m
<i>Croynocarpus laevigatus</i>	Karaka	pb5	6m
<i>Cyathea medullaris</i>	Punga	pb5	4m
<i>Dialea grandiflora</i>		pb3	0.8m
<i>Dodonaea viscosa</i>	Akeake	pb5	3m
<i>Hebe</i> species	Hebe	pb5	1m
<i>Leptospermum 'Coppershine'</i>	Purple fol. Manuka	pb5	4m
<i>Meryta sinclairii</i>	Puka	pb5	6m
<i>Metrosideros 'Springfire'</i>	Small Pohutukawa	pb5	3m
<i>Metrosideros excelsa</i>	Pohutukawa	pb5	8m
<i>Metrosideros Tahiti</i>	Dwarf Pohutukawa	pb5	1.5m
<i>Phormium 'Platt's Black'</i>	Black flax	pb3	1m
<i>Phormium cookianum</i>	Flax	pb3	1m
<i>Pittosporum crassifolium</i>	Karo	pb5	3m
<i>Pittosporum eugenioides</i>	Pitto	pb5	3m
<i>Pittosporum tenuifolium</i>	Pitto	pb5	3m
<i>Pseudopanax lessonii</i>	Five finger	pb5	2m
<i>Pseudopanax arboréus</i>	Five-finger	pb5	2.5m
<i>Pseudopanax crassifolius</i>	Lancewood	pb5	4m

P.B.K.

MANAGEMENT PLAN APPENDIX 4 Landscape Mitigation Plan Requirements

18 June 2007

Owhetu Stream Side and Wetland Plantings

Purpose: enhancement of riparian margins along right bank of Owhetu Stream, and around small ponds and any wet areas to create wildlife habitats and provide storm water filtration control.

Recommended species: as follows.

Botanical Name	Common Name	Size	Spacing
<i>Baumea articulata</i>	Jointed twig rush	pb3	1.5m
<i>Carex lesssoniana</i>	Rautahi	pb3	1m
<i>Carex secia</i>	Purei	pb3	1m
<i>Carex virgata</i>	Swamp sedge	pb3	1m
<i>Cordyline australis</i>	Cabbage tree	pb5	3m
<i>Cyathochaeta medullaris</i>	Punga	pb5	4m
<i>Juncus pallidus</i>	Rush	pb3	1m
<i>Phormium tenax</i>	Flax	pb3	1m

Implementation of planting

Timing:

- Landscape enhancement planting and cut and fill revegetation is recommended during the months of April through to September due to the higher rainfall levels.
- Planting to stabilise any cut and fill areas should be implemented upon completion of the earthworks, weather permitting. If it is during the middle of summer the planting should occur around April or May once there is regular rainfall.
- Landscape enhancement plantings around future structures (which will be implemented by new owners) should be completed within the first planting season after construction of any built structure has commenced (including sheds).

Method:

- Remove existing vegetation and spray the areas to be planted with 'Roundup' three weeks prior to planting so that all weeds and grass has been killed providing an area clear for planting within.
- Excavate a hole larger than the plant root ball; place the excavated topsoil to one side of the hole for backfilling afterwards.
- Add a slow release fertiliser tablet and organic manure to each planting hole as per the manufactures specifications. Add a small handful of hydrated 'Liquid Rain Crystals' to the planting hole if planting outside the recommended time. This will aid in retaining moisture, however it is more advisable to plant within the main planting season.

PAK

MANAGEMENT PLAN APPENDIX 4 Landscape Mitigation Plan Requirements

18 June 2007

- Remove the planter bag from around the root ball of the plant and place the plant centrally within the hole; making sure that the soil level of the top of the root ball is level with the surrounding ground level.
- Backfill around the root ball with the topsoil that was set aside or additional imported (weed free) topsoil if there is not adequate topsoil on site. Firm the soil around the root ball taking care not to bury the plant too deeply. The original potting mix level should be level with the surrounding ground level. The plant should be firmly and centrally placed within the hole.
- Stake and tie trees that require support from strong winds. To assist with moisture retention during dry periods it is advisable to spread a minimum 100mm layer of mulch around each plant.

Maintenance Schedule

Regular maintenance of the plantings will be critical for the success of the plantings. The following maintenance schedule is recommended for the first three years: -

- Release weeds from around the plants at regular intervals to ensure the plants do not have to compete with weed species. This will be more critical within the first year while plants are small and becoming established. Once weeds are released from contact with the plants they can be sprayed with 'Roundup' following the manufacturer's specifications. All spraying should be done in weather conditions that are calm and when rain is not forecast.
- Apply to each plant around the root ball a small handful of Blood & Bone organic fertiliser during the growing season, generally around September and March.
- Re-apply mulch as required to maintain a 100mm thickness.
- Prune plants for shape and health as necessary.
- During long dry periods check the moisture of the plant root ball, and if very dry hand watering will be necessary.

PAK

MANAGEMENT PLAN APPENDIX 5
Stormwater System Requirements
18 June 2007

**See separate Stormwater Management Report Prepared for Cable Bay
Section Ltd Revision C by Duffill Watts and King Ltd dated 18 June 2007**

P.D.K.

MANAGEMENT PLAN APPENDIX 6
Waste Water System Requirements
18 June 2007

Duffill Watts and King letter entitled, 89 Lot Subdivision, Cable Bay,
RC 2051164, Water Supply and Waste Water Reticulation dated 25
August 2006 and

Far North District Council letter entitled 89 Lot Subdivision, Cable
Bay, RC 2051164 dated 29 August 2006

F.R.K.



**Far North
District Council**

Private Bag 752, Manurewa Ave
 Kaitiaki 6140, New Zealand
 Telephone: 0800 920 029
 Phone: (09) 415 2750
 Fax: (09) 401 2137
 Email: ask.us@fndc.govt.nz
 Website: www.fndc.govt.nz

Tuesday, 29 August 2006

DW Brierley
 21 Hobson Avenue
 PO Box 480
 Kerikeri

DWK Ltd

102471
 101900
 31 AUG 2006

REF	REF	ACT
DB	5/8	TA

Te Kaunihera o Tai Tokerau Kaitiaki
 Kaitiaki o te Kaitiaki

Dear Dave

RE: 89 Lot Subdivision, Cable Bay, RC 2051164

Thank you for your letter of 25 August, 2006 outlining your proposals for water and wastewater connections. We have no objections to the 13 large rural lots having individual On site Effluent Disposal systems provided that these are fit for purpose.

On the water connections again we have no objections to your proposal of only connecting the smaller residential lots to the Doubtless Bay Water Company supply.

Yours sincerely

Lars Fog
 Utilities Planning & Development Manager

PAK

21 Hobson Avenue
P.O. Box 480, Kaitiaki
New Zealand

Telephone (04) (0) 407-8332
Fax (04) (0) 407-7812
E-mail: d.w.kaitiaki@duffillwatts.com

Duffill Watts & King Ltd

CONSULTING ENGINEERS

COPY

25 August 2006

Far North District Council
Private Bag 752
KAIKŌHE

102471/01

Attn: Peter Johnson, Utilities Manager

Dear Peter,

**89 LOT SUBDIVISION, CABLE BAY
RC 2051154
WATER SUPPLY AND WASTE WATER RETICULATION**

Your agreement in principle and/or approval is sought for the following proposed variations to the construction works at the above development.

Wastewater Reticulation

The approved resource consent for the above referenced subdivision requires effluent to be disposed of to ground, via an on site treatment plant.

In our letter dated 08 May 2006 we confirmed an agreement to comply with your preference for the development to be connected to the existing public system, as an alternative to on site disposal. However, during the detailed design development of this alternative system it has become apparent that nearly 40% of the reticulation would be required to serve only 13 of the large rural lots. These lots, which range from 3,500m² to 11,000m², are of more than adequate area to sustain individual On Site Effluent Disposal systems. We therefore request your approval to install sanitary sewer reticulation to the boundary of 76 instead of 89 lots, as indicated on the attached marked up plan.

Water Supply Reticulation

The approved resource consent requires that all lots be connected by underground means to the Doubtless Bay Water Company supply. However the same conditions also require each of the large rural lots to be provided with an on site storage tank for stormwater collection.

The provision of these storage tanks will produce benefits associated with reduced discharges to the stormwater disposal system, assuming that the occupiers are not connected to a reticulated water supply.

We therefore request your approval to connect only the smaller residential lots to the Doubtless Bay Water Company supply, as indicated on the attached marked up plan.

PK

Duffill Watts & King Ltd

Your prompt attention to these requests would be appreciated as it is intended to commence construction on site shortly

Please do not hesitate to contact Tom Adcock on 09 407 9332 should you have any queries or require further assistance.

Yours faithfully
DUFFILL WATTS & KING LTD
per



D W Brierley

Copies Cable Bay Sections Ltd; attn Alex Blunt
Far North District Council, attn Resource Consents Manager

Enclosures Marked up plan reference 102471/250806

PAK.





Arcline
Architecture

ARCLINE ARCHITECTURE LTD.
Offices: Katata | Kerikeri | Whangarei
(Ph): 09 408 2233
(Email): info@arcline.co.nz
(Web): www.arcline.co.nz



coastal-homes.co.nz

LOT 23 DP 384236
38 DUDLEY CRESCENT
CABLE BAY



NEW RESIDENTIAL DWELLING FOR
JIM DAVIS & KATHY COLEY

INDEX
A0001 Cover Page
A0002 Presentation
A1001 Site Plan
A1101 Floor Plan
A2001 Elevations
A2002 Elevations

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CLIENT CONCEPT APPROVAL
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Presentation

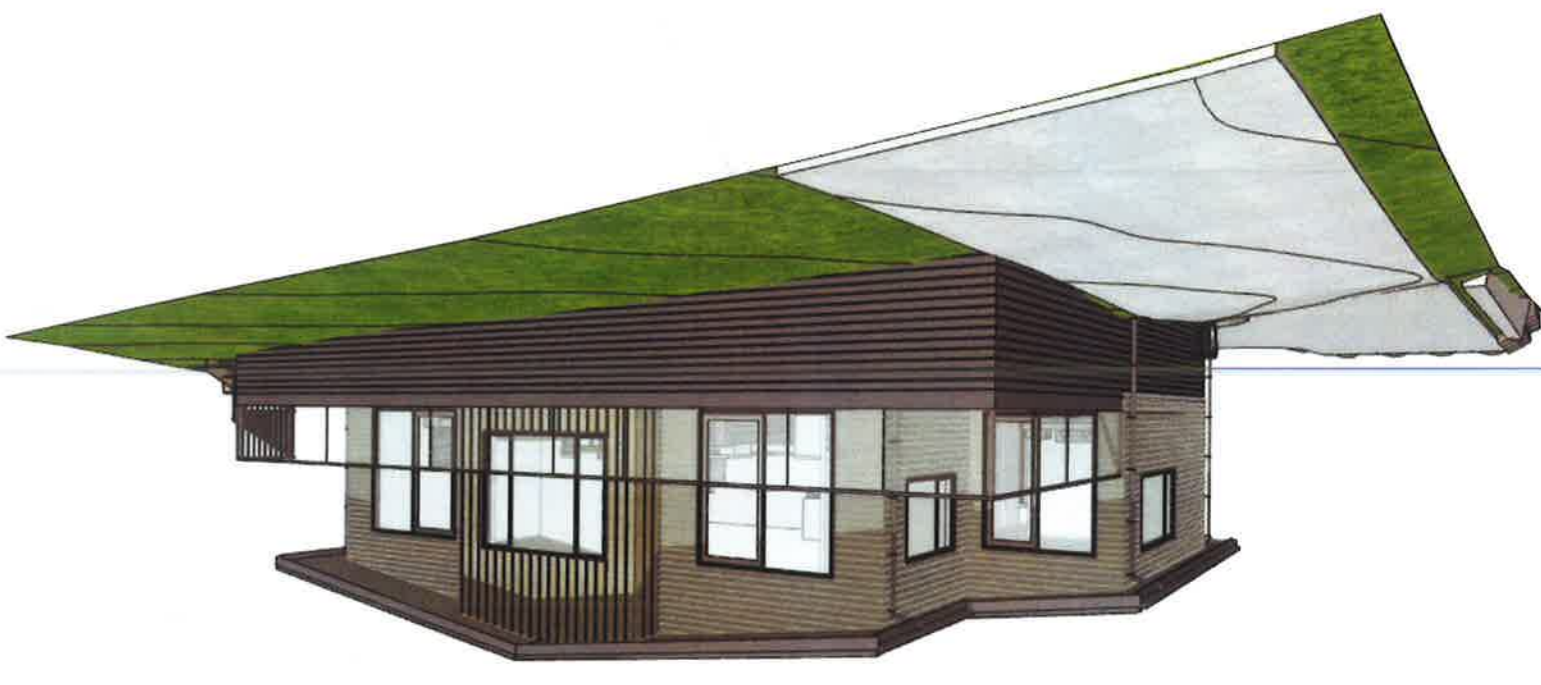
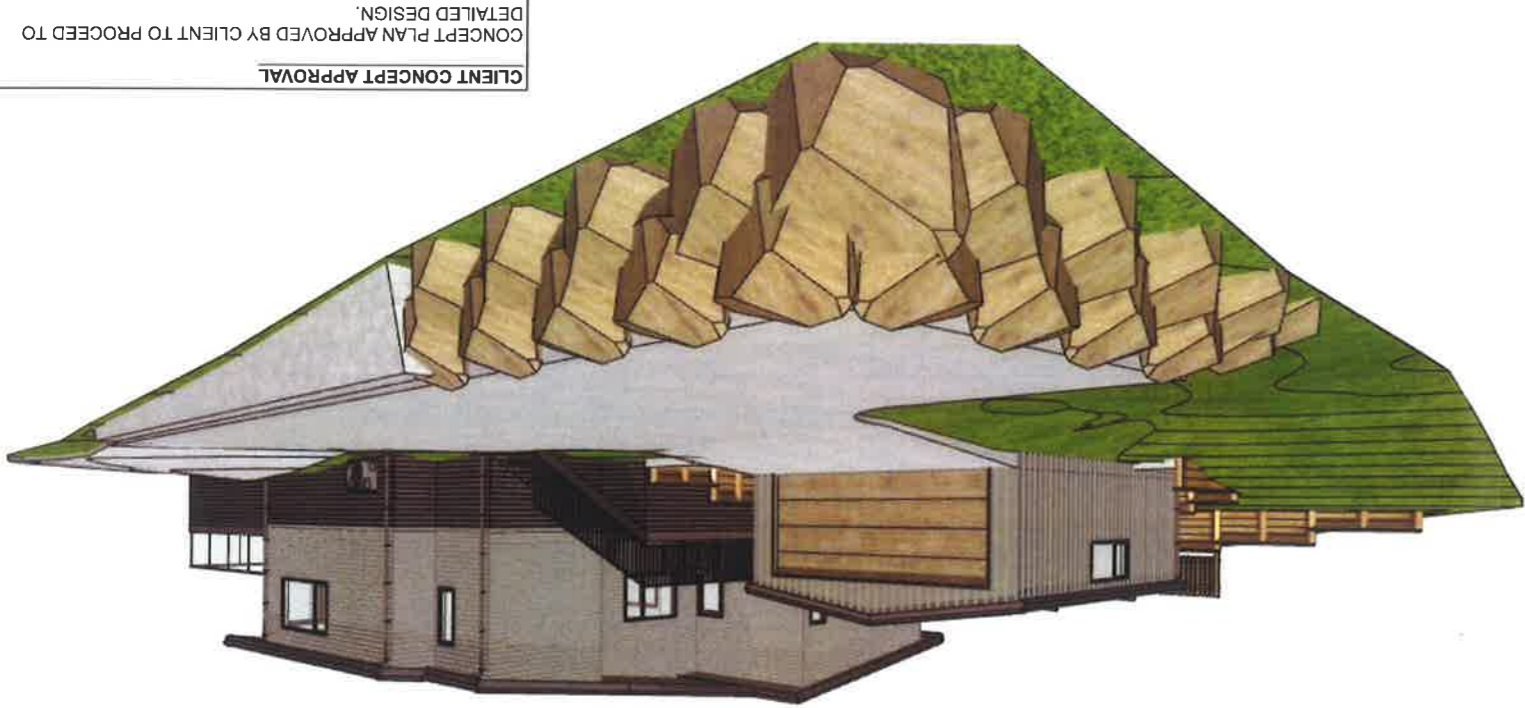
JIM DAVIS & KATHY COLEY
 38 DUDLEY CRESCENT,
 CABLE BAY

Scale @ A3: NTS
 Drawn By: MC
 Issued: 19/01/2026
 7:18 AM

Sheet No: **A0002**
 RESOURCE CONSENT

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GENERAL NOTES

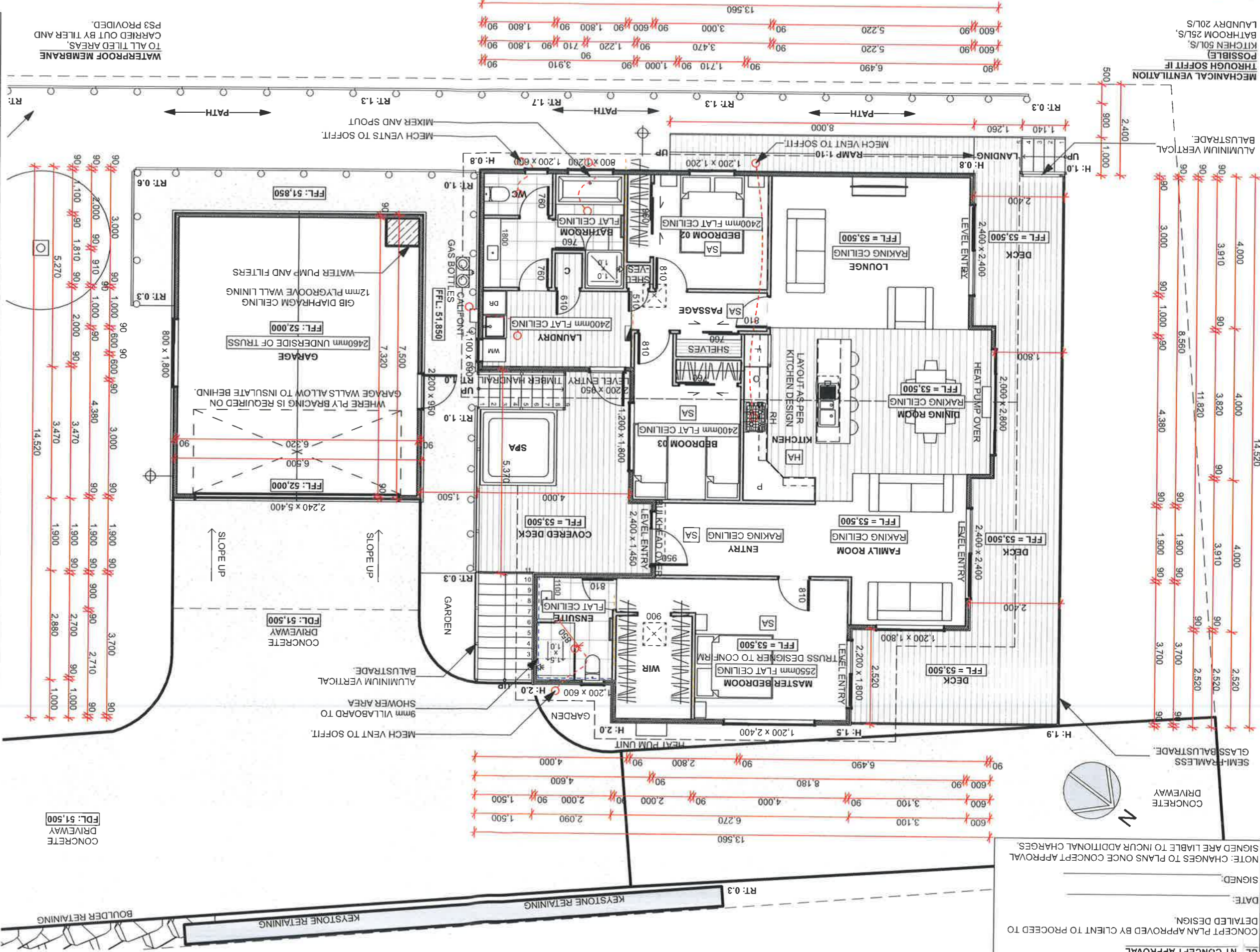
ALL JOINERY SIZES ARE TO FINISH SIZES ADD 7.5MM
 EACH SIDE FOR BOX (UNIT) SIZE
 CONFIRM KITCHEN LAYOUT WITH OWNER & KITCHEN MANUFACTURER BEFORE COMMENCING PIPEOUT. ALL DIMENSIONS TO TIMBER FRAMING NOT FINISHED ROOM SIZES. ALL FRAMING & BOTTOM PLATES TO BE H1.2 TREATED UNLESS SPECIFIED OTHERWISE
 INTERNAL DOORS 1.98m TYPICAL INTERNAL DOOR HEIGHT. VARIES REFER TO SECTIONS
 GAS CALLOUT AS SHOWN ON THE ELECTRICAL PLAN. WATER HEATING 2X45KG BOTTLES AS SHOWN ON FLOOR PLAN. (WITH SEISMIC RESTRAINTS)
 WET AREAS JOINTS BETWEEN FIXTURES & WALL LININGS. WHERE LININGS THE JOINT BETWEEN WATER PENETRATION TO BE SEALED TO PREVENT WATER PENETRATION TO CONCEALED SPACES OR BEHIND LININGS.
 10mm GIB. GIB AQUALINE TO WET AREAS. 9mm VILLABOARD TO TILED WALLS
 SHOWERS TO HAVE 6MM SAFETY GLASS DOOR PANEL UNLESS SPECIFIED ALL GLAZING TO WET AREAS TO BE GRADE A TOUGHENED SAFETY GLASS ALL ACCESS ROUTES, BOTH EXTERNAL AND INTERNAL, PROVIDE ANTI-SLIP SURFACES COMPLYING WITH NZBC CLAUSE D1/A51 (2.1 SLIP RESISTANCE)
 INTERCONNECTED SMOKE ALARM FITTED WITH HUSH & TEST ABILITY CONFORMING WITH NZBC F7/A51, C/A51 AND NZS 4514
 TRIMS 60x10 FU PINE. SINGLE BEVEL SKIRTING. CARRIED OUT BY TILER AND WATERPROOF MEMBRANE TO ALL TILED AREAS.
 PS3 PROVIDED.

KEY:

- HA HEAT ALARM - INTERCONNECTED
- SA SMOKE ALARM - INTERCONNECTED
- EXTERIOR WATER TAP
- MECHANICAL VENT DUCTED TO EXTERIOR
- INSULATION TO INTERNAL WALLS
- FLOORING: CARPET
- FLOORING: TIMBER OVERLAY
- FLOORING: TILE
- POWER DISTRIBUTION BOARD & SMART METER
- CEILING HATCH

FLOOR AREAS

PROPOSED DWELLING FLOOR AREA:	152.25m ²
PROPOSED GARAGE FLOOR AREA:	48.75m ²
TOTAL FLOOR AREA:	201.00m ²
PROPOSED FRONT DECK AREA:	41.55m ²
PROPOSED REAR DECK AREA:	20.35m ²
TOTAL FLOOR AREA EXCL RAMP & STEPS:	61.90m ²



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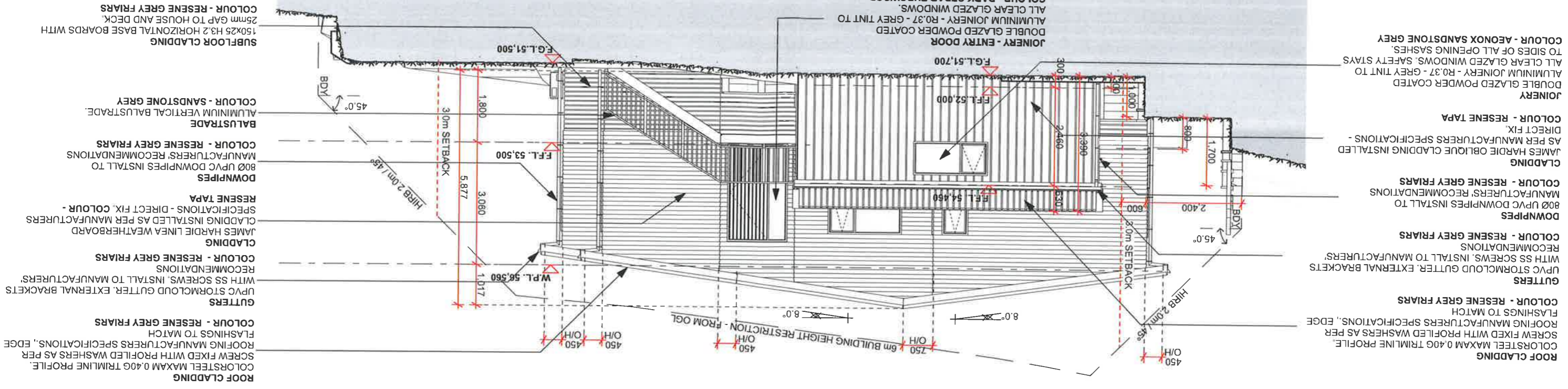
Elevations

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 38 DUDLEY CRESCENT,
 CABLE BAY

Rev No. Revision	Date
Scale @ A3: 1:100	Drawn By MC
Issued: 19/01/2026	7:18 AM
Resource Consent	
A2001	

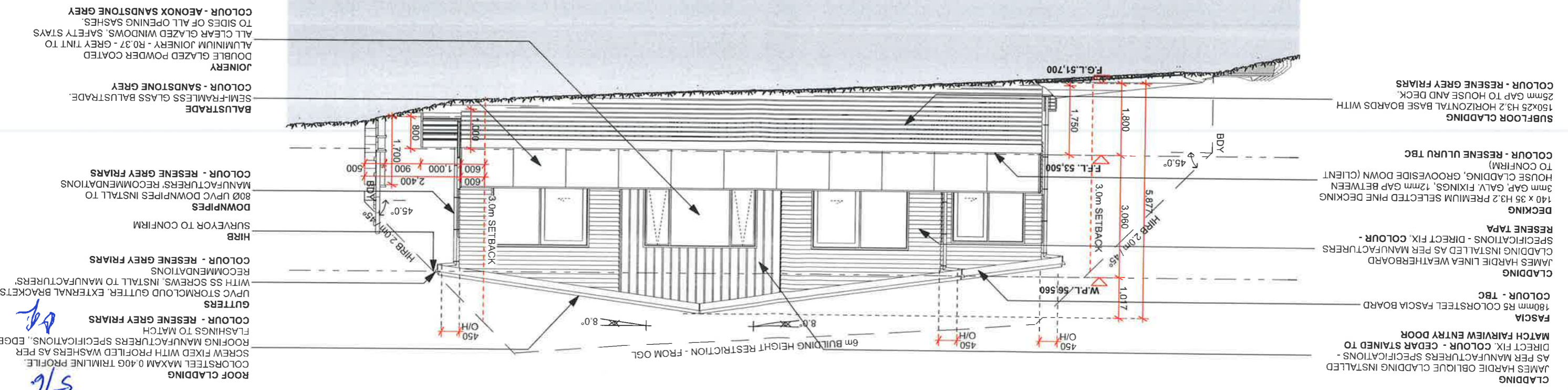
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02 South Elevation 1:100



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01 North Elevation 1:100



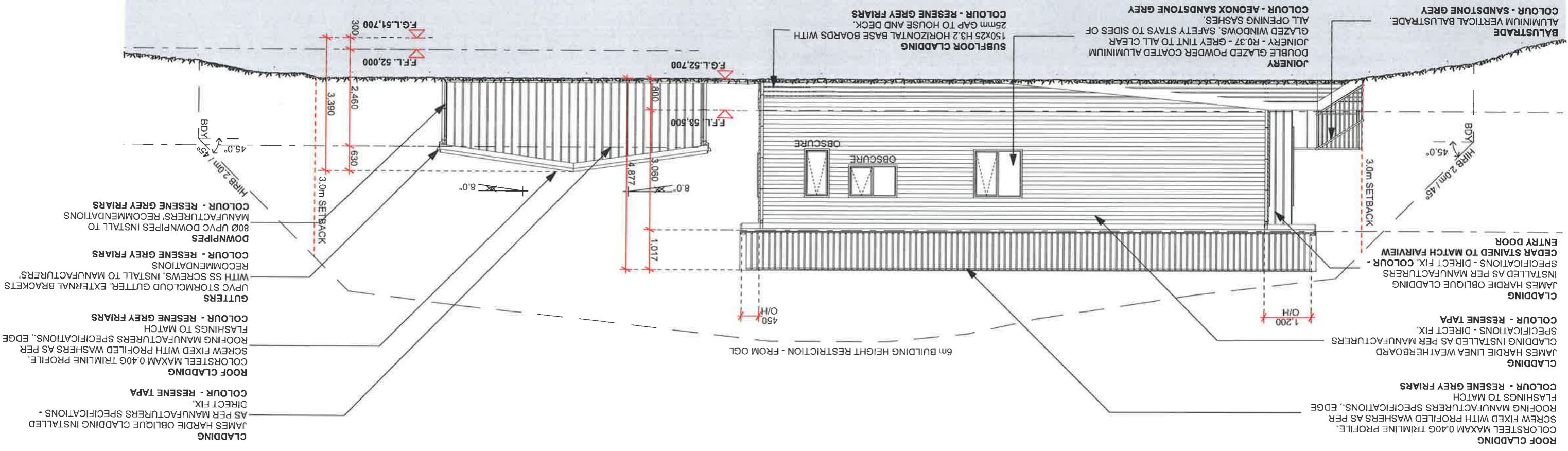
ADDITIONAL NOTES:
 ALL SCOTIAS SQUARE STOPPED
 ALL BUILDING WORK PAINT EXCLUDING PRE FINISHED
 MATERIALS - RETAINER WALL AND FENCE

S/L

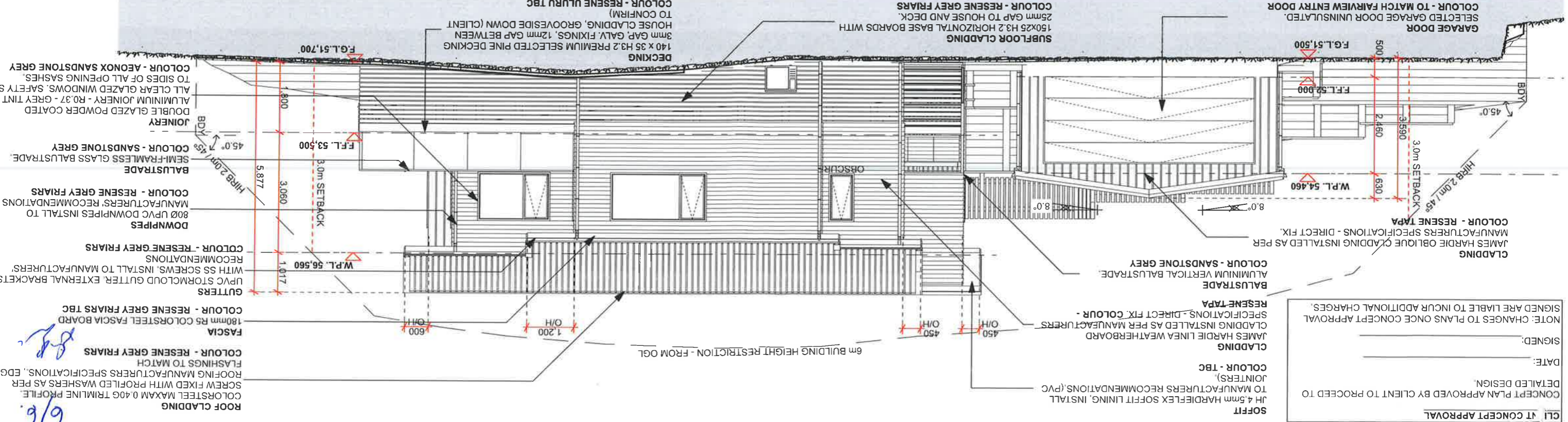
Elevations

JIM DAVIS & KATHY COLEY
 38 DUDLEY CRESCENT,
 CABLE BAY

02 West Elevation 1:100



01 East Elevation 1:100



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 [Handwritten signature]

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NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name: Jim Davis & Kathy Coley.

Address of proposed activity: 33 DUDLEY CRESCENT

Legal description: LOT 23 OP 384236

Description of the proposal (including why you need resource consent):
→ Height to Boundary Breach Western Boundary
→ STRUCTURE INSIDE a set Back

Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):

1. Resource Consent Plans
2. Notice of Written Approval
3. _____
4. _____
5. _____
6. _____

- Notes to Applicant:**
1. Written approval must be obtained from all registered owners and occupiers.
 2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
 3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

David Allan Bugaovich

Address of affected property including legal description

40 Dudley Crescent

Contact Phone Number/s and email address

Daytime: 0274791359 email:

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature



Date

22.1.20

Signature

Date

Signature

Date



Signature

Date



SITE 38 Dudley Crescent, Cable Bay
 LEGAL DESCRIPTION Lot 23 DP 384236
 PROJECT Proposed Dwelling & Garage
 CLIENT Coastal Homes (2008) Ltd
 REFERENCE NO. 145433
 DOCUMENT Stormwater Mitigation Report
 STATUS/REVISION No. 01
 DATE OF ISSUE 9th March 2026

Report Prepared For	Email
Coastal Homes (2008) Ltd	accounts@coastal-homes.co.nz

Authored by	G. Brant (BE(Hons) Civil)	Civil Engineer	Gustavo@wjl.co.nz	
Reviewed & Approved by	B. Steenkamp (CPEng, BEng Civil, CMEngNZ, BSc (Geology))	Senior Civil Engineer	BenS@wjl.co.nz	

1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Legal Description:	Lot 23 DP 384236	
Site Area:	739m ²	
Development Type:	Proposed Dwelling & Garage	
Development Proposals Supplied:	Plan Set by Arcline Architecture (dated: 18.02.2026)	
District Plan Zone:	Coastal Living	
Permitted Activity Coverage:	<u>10%</u>	
	Post-Development Impermeable Areas	
Impermeable Coverage:	Total Roof Areas	252.20m ²
	Total Hardstand Areas	208.66m ²
	Post-Development Total = 460.86m ² or 62.4% of the site area	
Activity Status:	<u>Discretionary Activity</u>	
	Attenuation is to be provided in accordance with the requirements outlined in Section 5 via the dual-purpose rainwater tank.	
Roof Attenuation:	Proposed Tank – 1 x 25,000 litre Rainwater Tank (or approved equivalent)	
	Dimensions – 3600mmØ x 2600mm high (or greater)	
	20% AEP Control Orifice – 19mmØ orifice; <u>located >1130mm below the overflow outlet</u>	
	1% AEP Control Orifice – 41mmØ orifice; <u>located 770mm above the 20% Control Orifice</u>	
	Overflow – 100mmØ at the top of the tank	
Hardstand Mitigation:	It is recommended that the proposed driveway be shaped to direct runoff to a catchpit(s), which shall discharge to the available stormwater connection via sealed pipes.	
Point of Discharge:	To available stormwater connection.	

2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client to produce an on-site stormwater mitigation assessment at the above site.

At the time of report writing, we have been supplied the following documents:

- Plan Set by Arcline Architecture, including site plan, floor plan and elevations (dated: 18.02.2026)

Should any changes be made to the provided plans with stormwater management implications, WJL must be contacted for review.

3. SITE DESCRIPTION

The subject 739m² rectangular shaped property is located off the southern side of Dudley Crescent, accessed 180m east of the Stratford Drive intersection, in the western outskirts of the Cable Bay urban environment. The Lot is legally titled Lot 23 DP 384236 and is situated within a Coastal Living Zone.

Topographically speaking, the property is set around a crowned dome along the central western boundary that descends at gentle gradients towards the east. Inclinations across the western portion of the site average less than 11°, reducing to inclinations of less than 7° across the eastern portion and continues at similar gradients for >20m beyond the property boundary. Densley bush covered, moderately inclined terrain covers the wider land downslope. Existing ground levels across the site essentially range between RL54m (west) and RL50m (southeast) New Zealand Vertical Datum. The property is currently covered in lawn.

At the time of preparing this report, we note that the Far North District Council (FNDC) on-line GIS Water Services Map indicates the following:

- A gravity main wastewater line trends parallel to the southern boundary, slightly within the property confinements. A services connection is present towards the southeastern boundary corner,
- A stormwater culvert service line trends parallel to the southern boundary, offset approximately 4.3m within the property confinements. A service connection is present towards the southeastern boundary corner, and
- Wastewater and service connections for neighbouring 40 Dudley Crescent traverse through the southwestern corner of the site, ultimately connecting into the main service lines.



Figure 1: Aerial snip from FNDC Maps showing site boundaries (cyan), public stormwater (green), private stormwater (orange), public wastewater (red) and private wastewater (grey)

4. DEVELOPMENT PROPOSALS

The development proposal, obtained from the client, is to construct a dwelling, a garage and a concrete driveway on-site as depicted in the plan set by Arcline Architecture (dated: 18.02.2026).

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the increased impermeable areas associated with the proposed development.

5. ASSESSMENT CRITERIA

Impermeable Areas

Stormwater calculations for the development area based on a gross site area of 739m² and the below areas extracted from the supplied plans:

	Pre-Development	Post-Development	Total Change
Total Roof Area	0 m²	252.20 m²	252.20 m ²
Proposed Dwelling	0 m ²	201.90 m ²	
Proposed Garage	0 m ²	50.30 m ²	
Uncovered Driveway & Path	0 m²	208.66 m²	208.66 m ²
Pervious	739 m²	278.14 m²	-460.86 m ²

The total amount of impermeable area on-site, post-development, equates to 460.86m² or 62.4% of the site area. Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

District Plan Rules

The site is zoned Coastal Living Zone. The following rules apply under the FNDC District Plan:

10.7.5.1.6 – **Permitted Activities – Stormwater Management** - The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m² whichever is the lesser.

10.7.5.3.8 – **Restricted Discretionary Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 15% or 1,500m², whichever is the lesser.

The total proposed impermeable area exceeds 15% of the site area and does not comply with Permitted Activity Rule (10.7.5.1.6) nor Restricted Discretionary Activity Rule (10.7.5.3.8). Therefore, the proposal is considered a Discretionary Activity. Additional considerations for stormwater management as outlined in the FNDC District Plan Section 11.3 are required. A District Plan Assessment has been included in Section 8 of this report.

Design Requirements

The site is under the jurisdiction of the Far North District Council. The design has been completed in accordance with the recommendations and requirements contained within the Far North District Council Engineering Standards, the Far North District Council District Plan and Clause E1 of the New Zealand Building Code.

The total impermeable area in exceedance of Permitted Activity Rule (10.7.5.1.6) is 386.96m². In accordance with Table 4-1 of the Engineering Standards, Flow Attenuation and Flood Control will be provided for the proposed impermeable areas in excess of the permitted activity threshold.

Provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed impermeable areas (73.9m² total) are considered to have less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold.

The Type IA storm profile was utilised for attenuation calculations in accordance with TR-55. HydroCAD[®] software has been utilised in design for a 20% AEP rainfall value of 140mm with a 24-hour duration and a 1% AEP rainfall value of 256mm with a 24-hour duration utilised for calculations. Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.

6. STORMWATER MITIGATION ASSESSMENT

To meet the requirements outlined in Section 5, the following must be provided:

Potable Water Supply

It is recommended that a rainwater tank is utilised to provide the proposed dwelling with a potable / reuse water supply. The tank type is at the discretion of the client. A proprietary guttering system is required to collect roof runoff from the proposed roof areas. A first flush diverter and/or leaf filters may be installed in-line between the gutters and the tank inlet. The tank inlet level should be at least 600mm below the gutter inlet and any in-line filters. Any filters will require regular inspection and cleaning to ensure the effective operation of the system. The frequency of cleaning will depend on current and future plantings around the proposed roof area. Provision should be made by the homeowner for top-up of the tank via water tankers in periods of low rainfall.

Due to inadequate water quality concerns, runoff from hardstand areas should not be allowed to drain to the potable water tanks.

The upper section of the potable water tank is to act as a detention volume to achieve stormwater neutrality for the proposed impermeable areas in excess of the permitted activity threshold. The tank is to be fitted with a 100mm \varnothing overflow outlet with a flow attenuation outlet as specified below.

Potable Tanks Detention Volume

As per the attached design calculations, the design elements of the detention volume are as follows:

Proposed Tank	1 x 25,000L litre Rainwater Tanks (or approved equivalent)
Tank dimensions	3600mm \varnothing (or greater) x 2600mm high (or greater)
Outlet orifice (20% AEP Control)	19mm diameter orifice ; located <u>>1130mm below the overflow outlet</u> <ul style="list-style-type: none">- 761mm water elevation- 7.7m³ storage
Outlet orifice (1% AEP Control)	41mm diameter orifice ; located <u>770mm above the 20% Control Orifice</u> <ul style="list-style-type: none">- 1128mm water elevation- 11.5m³ storage
Overflow Outlet	100mm diameter ; located at the top of the tank

Discharge from the potable water / detention tanks must be transported via sealed pipes to the available stormwater connection. Refer to the appended Site Plan (145433-C200), Tank Detail (145433-C201) and calculation set for clarification.

The tank must be installed in accordance with the tank suppliers' details and specifications. Levels are to be confirmed by the contractor on-site prior to construction. Adequate fall (minimum 1% grade) from the tank's outlet to the discharge point is required. If this is not achievable, WJL must be contacted for review of the design.

Stormwater Mitigation – Hardstand

It is recommended that the proposed driveway be shaped to direct runoff to a catchpit(s), which shall discharge to the available stormwater connection via sealed pipes. The drainage line to the available stormwater connection must have a minimum gradient of 2% downstream of the junction where the catchpit drainage lines connect to the tank outlet drainage line. Alternatively, the line may be upsized to 150mm \varnothing uPVC with a minimum gradient of 1%. Refer to the appended Site Plan (145433-C200) and calculation set for clarification.

Stormwater catchpits and drainage piping should be in accordance with E1 Surface Water of the NZBC. The catchpit(s) must have a suitable sump to serve as a pre-treatment device prior to discharging to the public stormwater network.

Stormwater Mitigation – Retaining Walls

Runoff from the drainage portion of the retaining walls should be directed via sealed pipes to the available stormwater connection.

7. STORMWATER RUNOFF SUMMARY

Refer to the appended HydroCAD Calculation output.

Maximum Permitted Peak Flows – 20% AEP & 1% AEP Storm Events + CCF

Surface	Area	Runoff CN	20% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Maximum Permitted Impermeable Area	73.9 m ²	98	2.49ℓ/s	6.12ℓ/s
Remaining Greenfields Area	386.96 m ²	74		

Post-Development Scenario – 20% AEP & 1% AEP Storm Events + CCF

Surface	Area	Runoff CN	10% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Proposed roof areas via potable water / detention tank	252.9 m ²	98	2.46ℓ/s	6.11ℓ/s
Proposed concrete driveway to be 'over-mitigated'	208.66 m ²	98		

Given the design parameters, peak flows resulting from the proposed development will be attenuated back to permitted activity threshold peak flows for the 20% AEP and 1% AEP storm events, adjusted for climate change.

8. DISTRICT PLAN ASSESSMENT

As the proposed development is not compliant with Permitted Activity Rule 10.7.5.1.6, nor Restricted Discretionary Activity Rule 10.7.5.3.8, it is therefore regarded as a Discretionary Activity.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (m) of FNDCDP Section 11.3.

In respect of matters (a) through (m), we provide the following comments:

<i>(a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;</i>	Impermeable surfaces resulting from the development increase site impermeability by 460.86m ² . Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.
<i>(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;</i>	The proposal incorporates Low Impact Design principles by minimising new impermeable surfaces, retaining existing pervious areas, and utilising dual-purpose rainwater tanks for both water reuse and stormwater detention. These measures reduce runoff volumes and attenuate peak flows to levels consistent with the permitted activity threshold, representing an appropriate LID response for the site.
<i>(c) any cumulative effects on total catchment impermeability;</i>	Impervious coverage will increase by 460.86m ² .

<p><i>(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;</i></p>	<p>Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes. This should not worsen the ability of natural ground to absorb water in normal conditions.</p>
<p><i>(e) the physical qualities of the soil type;</i></p>	<p>Awhitu Group Alluvium – moderate/good drainage</p>
<p><i>(f) any adverse effects on the life supporting capacity of soils;</i></p>	<p>Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils.</p>
<p><i>(g) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;</i></p>	<p>Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils. Catchpits will be fitted with suitable sumps as a pre-treatment device.</p> <p>The site is serviced by public stormwater and wastewater connections.</p>
<p><i>(h) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;</i></p>	<p>The proposed driveway is necessary to provide access to the proposed dwelling and is not considered excessive.</p>
<p><i>(i) the extent to which land scaping and vegetation may reduce adverse effects of run-off;</i></p>	<p>Existing vegetation and any plantings introduced by the owner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.</p>
<p><i>(j) any recognised standards promulgated by industry groups;</i></p>	<p>Not applicable.</p>
<p><i>k) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold;</i></p>	<p>Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.</p>
<p><i>(l) the extent to which the proposal has considered and provided for climate change;</i></p>	<p>Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.</p>
<p><i>(m) the extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.</i></p>	<p>Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.</p>

9. NOTES

If any of the design specifications mentioned in the previous sections are altered or found to be different than what is described in this report, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (145433-C200 & 145433-C201).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system.

Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.

10. OPERATION & MAINTENANCE

The owner shall be responsible for the ongoing inspection and maintenance of the stormwater mitigation system to ensure it continues to operate as intended. This shall include periodic inspection and cleaning of roof gutters, leaf guards, first-flush devices, rainwater tank, flow-control orifices and catchpit(s)/silt trap(s) to prevent blockage, sediment build-up, or erosion. The attenuation orifice shall be checked regularly to confirm it remains unobstructed, particularly following heavy rainfall events. Any damaged or eroded components shall be repaired promptly to maintain system performance and prevent adverse downstream effects.

11. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. Secondary stormwater system, Overland Flow Paths (OLFP), geotechnical requirements, vehicular access and the consideration of road/street water flooding is not included in this assessment.

All drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

Wilton Joubert Ltd.



Gustavo Brant
Civil Engineer
BE(Hons)

REPORT ATTACHMENTS

- Site Plan - C200 (1 sheet)
- Tank Detail – C201 (1 sheet)
- Calculation Set

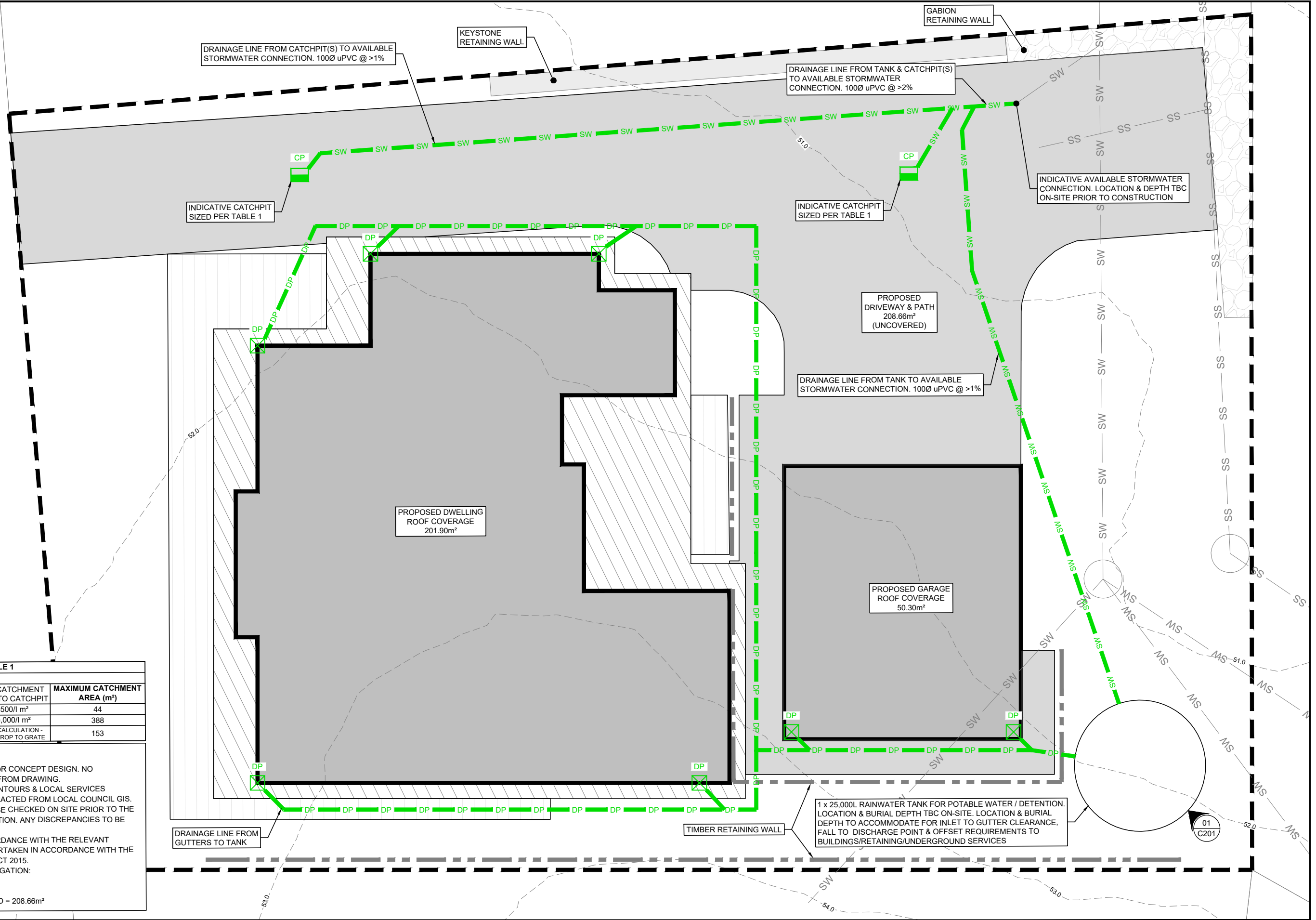
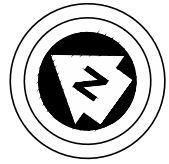


TABLE 1
I = 10% AEP INTENSITY = 103mm/hr

NZBC E1 CATCHPIT TYPE	DIMENSIONS (mm)	MAX CATCHMENT AREA TO CATCHPIT	MAXIMUM CATCHMENT AREA (m²)
TYPE 1	300x300	4,500/l m²	44
TYPE 2	650x460	40,000/l m²	388
-	450x450	WEIR CALCULATION - 25mm DROP TO GRATE	153

NOTES:

- SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
- BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
- ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
- ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.
- IMPERVIOUS SURFACES FOR MITIGATION:
SITE AREA = 739m²
TOTAL ROOF COVER = 252.20m²
TOTAL UNCOVERED HARDSTAND = 208.66m²

WILTON JOUBERT
Consulting Engineers

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ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	MAR '26	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY: GMB
DRAWN BY: GMB
CHECKED BY: BGS
SURVEYED BY: N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT

DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
SITE PLAN

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 23 DP 384236
38 DUDLEY CRESCENT
CABLE BAY
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: 1:100	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 145433-C200	ISSUE: 01
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NOTES:

1. NOT TO SCALE. DRAWN INDICATIVELY ONLY.
2. ALL LEVELS & DIMENSIONS TO BE CONFIRMED ON SITE & ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. TANKS TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & RELEVANT COUNCIL STANDARDS.
4. REGULAR INSPECTION & CLEANING IS REQUIRED TO ENSURE THE EFFECTIVE OPERATION OF THE SYSTEM.
5. ASSUMED USE OF 1 x 25,000L CONCRETE TANK OR APPROVED EQUIVALENT.

INTERNAL RISER PIPE SETUP ALSO ACCEPTABLE

EXISTING TANKS TO BE ABOVEGROUND OR PARTIALLY BURIED TO SUIT - CLIENT CARE

41mmØ ORIFICE WITH INSPECTION CAP
19mmØ ORIFICE WITH INSPECTION CAP

INLET TO GUTTER/FILTER CLEARANCE

INDICATIVE PUMP - ALTERNATIVE SOLUTIONS ACCEPTABLE

1% AEP DETENTION

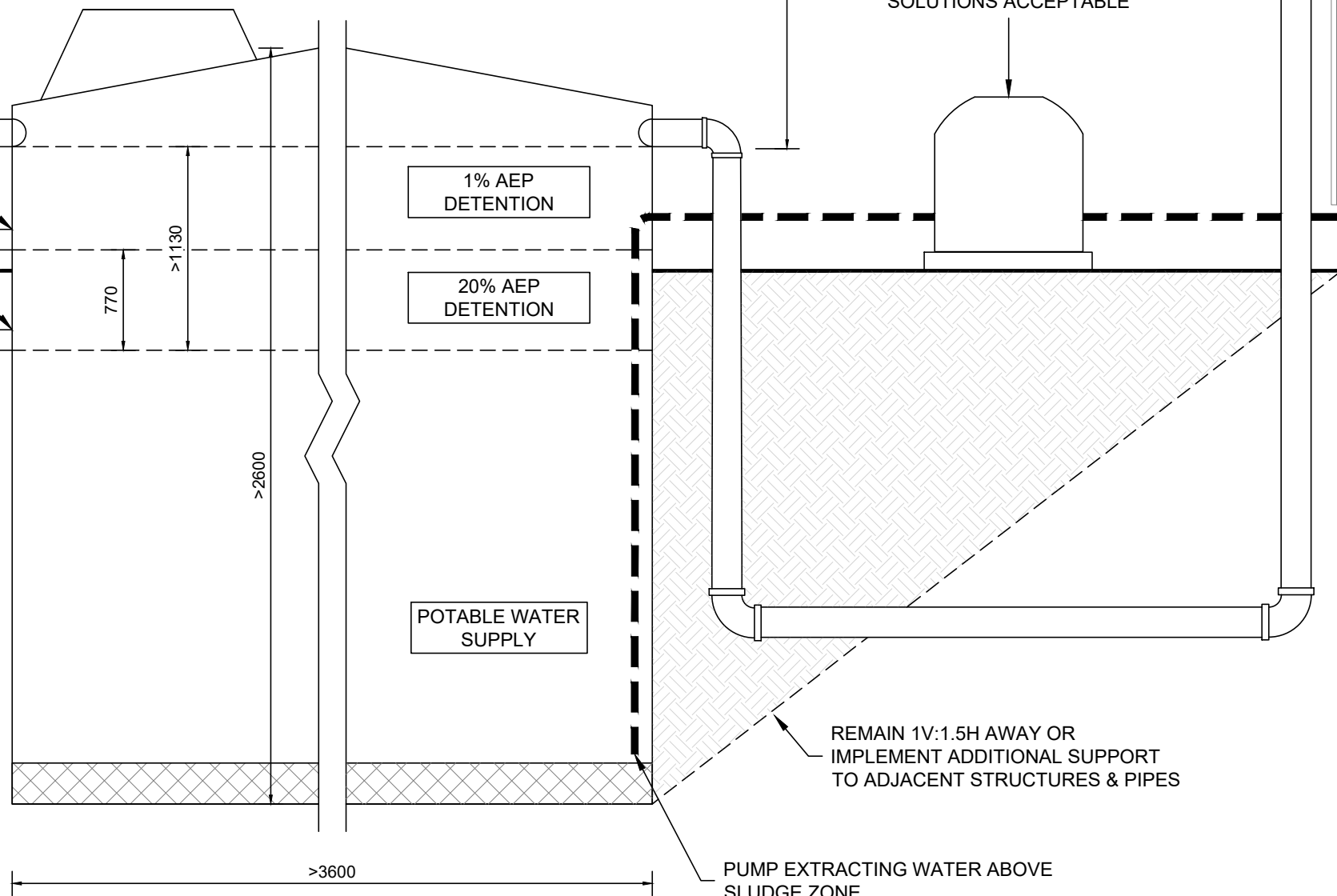
20% AEP DETENTION

POTABLE WATER SUPPLY

REMAIN 1V:1.5H AWAY OR IMPLEMENT ADDITIONAL SUPPORT TO ADJACENT STRUCTURES & PIPES

PUMP EXTRACTING WATER ABOVE SLUDGE ZONE.

100mmØ OUTLET PIPE DISCHARGE TO BE DIRECTED TO AVAILABLE STORMWATER CONNECTION. BURIAL DEPTH & LOCATION TO ACCOMMODATE FOR INLET TO GUTTER CLEARANCE & FALL TO DISCHARGE POINT



01 TANK DETAIL
C200 N.T.S

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BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

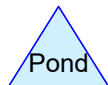
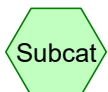
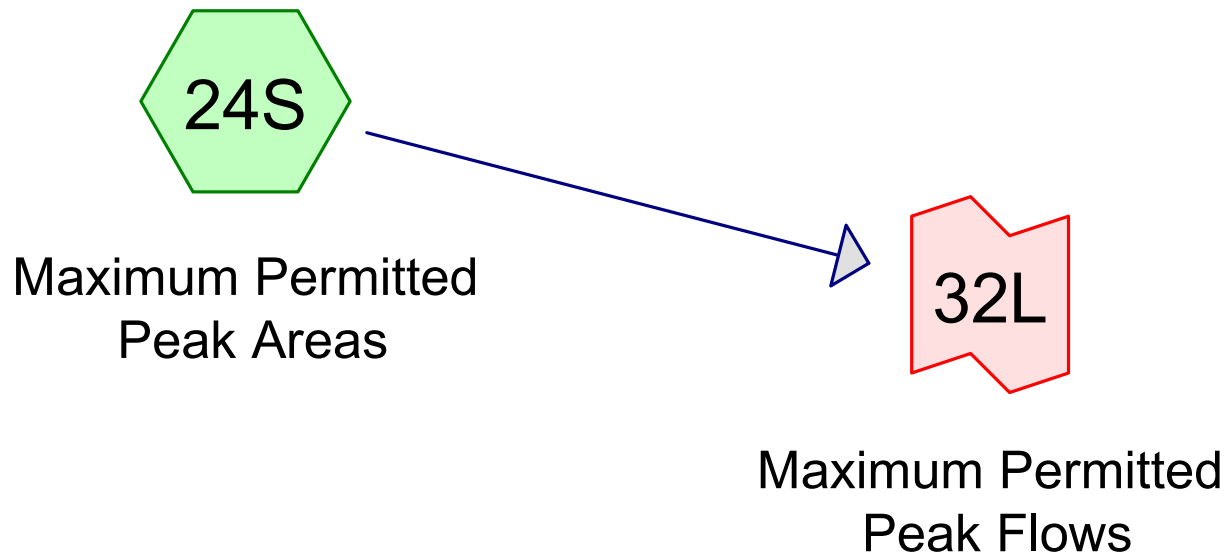
DRAWING TITLE:
TANK DETAIL

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 23 DP 384236
38 DUDLEY CRESCENT
CABLE BAY
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: N.T.S	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 145433-C201	ISSUE: 01
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Permitted Activity Threshold



145433

Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Prepared by Wilton Joubert Limited

Printed 6/03/2026

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Page 2

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 24S: Maximum Permitted Runoff Area=460.9 m² 16.03% Impervious Runoff Depth>186 mm
Tc=10.0 min CN=78 Runoff=6.12 L/s 85.6 m³

Link 32L: Maximum Permitted Peak Flows

Inflow=6.12 L/s 85.6 m³
Primary=6.12 L/s 85.6 m³

Summary for Subcatchment 24S: Maximum Permitted Peak Areas

Runoff = 6.12 L/s @ 7.98 hrs, Volume= 85.6 m³, Depth> 186 mm

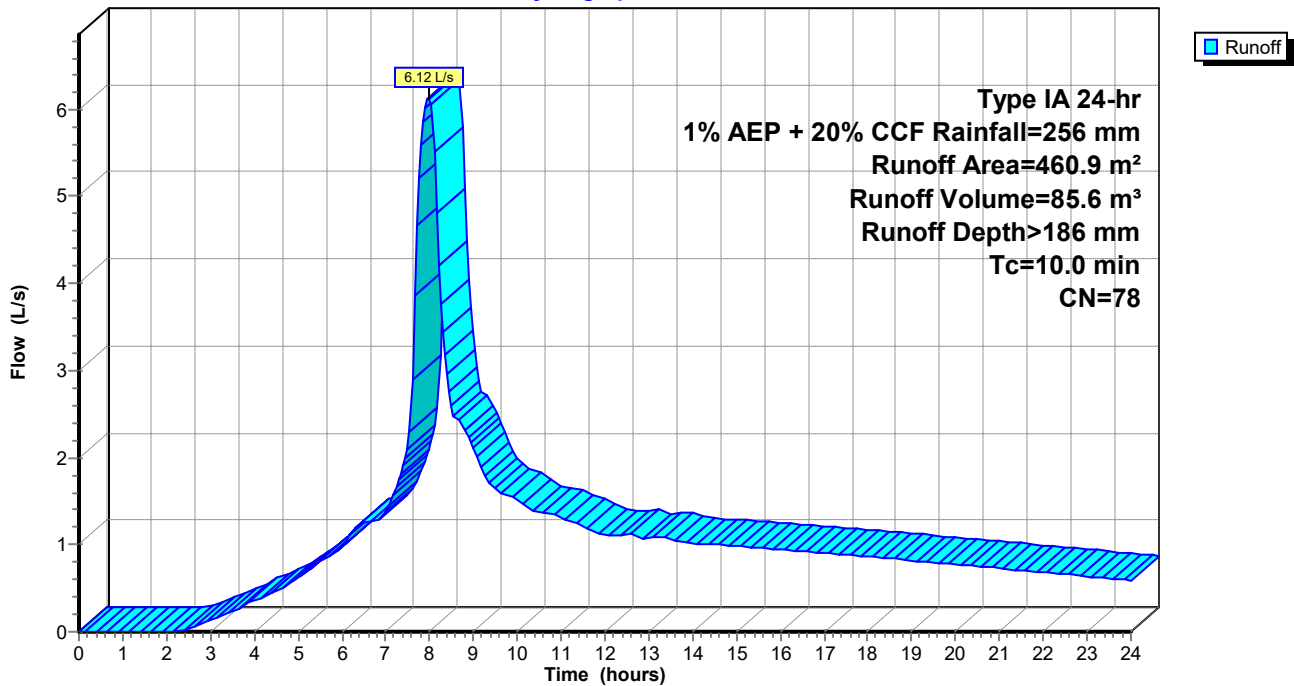
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Area (m ²)	CN	Description
387.0	74	>75% Grass cover, Good, HSG C
73.9	98	Roofs, HSG C
460.9	78	Weighted Average
387.0		83.97% Pervious Area
73.9		16.03% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Maximum Permitted Peak Areas

Hydrograph



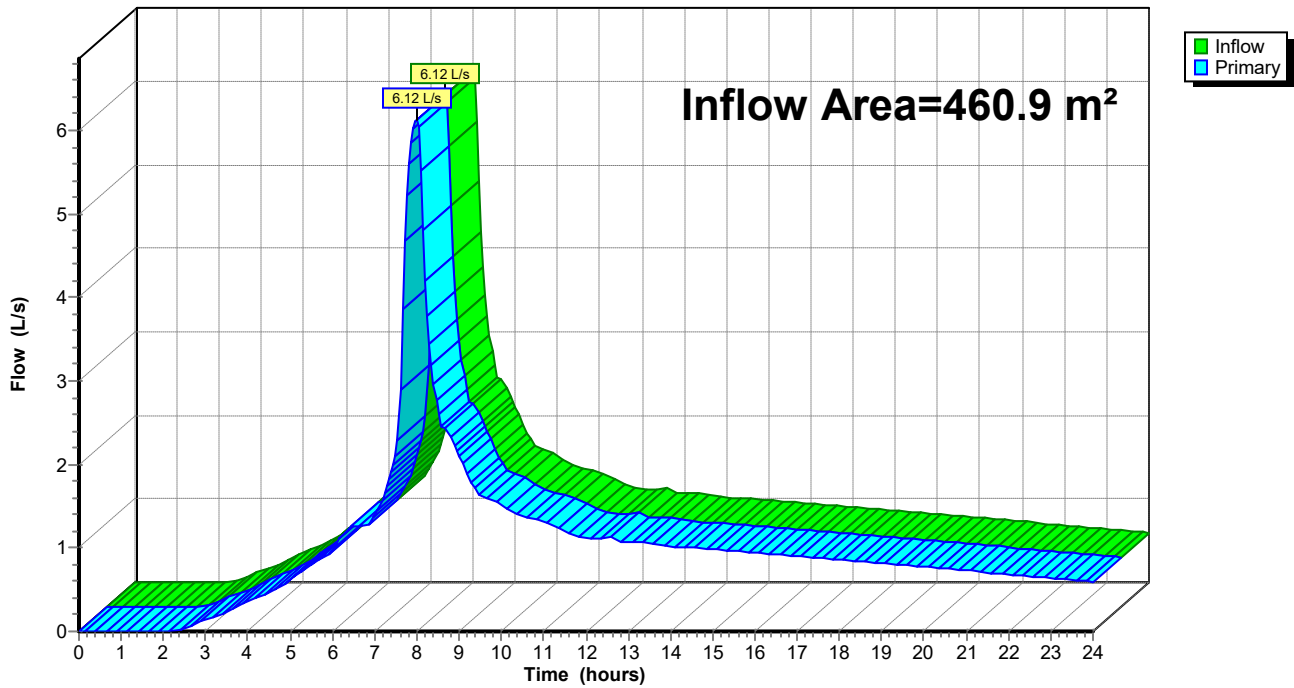
Summary for Link 32L: Maximum Permitted Peak Flows

Inflow Area = 460.9 m², 16.03% Impervious, Inflow Depth > 186 mm for 1% AEP + 20% CCF event
Inflow = 6.12 L/s @ 7.98 hrs, Volume= 85.6 m³
Primary = 6.12 L/s @ 7.98 hrs, Volume= 85.6 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 32L: Maximum Permitted Peak Flows

Hydrograph



145433

Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

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Page 5

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 24S: Maximum Permitted Runoff Area=460.9 m² 16.03% Impervious Runoff Depth>80 mm
Tc=10.0 min CN=78 Runoff=2.49 L/s 36.8 m³

Link 32L: Maximum Permitted Peak Flows

Inflow=2.49 L/s 36.8 m³
Primary=2.49 L/s 36.8 m³

Summary for Subcatchment 24S: Maximum Permitted Peak Areas

Runoff = 2.49 L/s @ 8.00 hrs, Volume= 36.8 m³, Depth> 80 mm

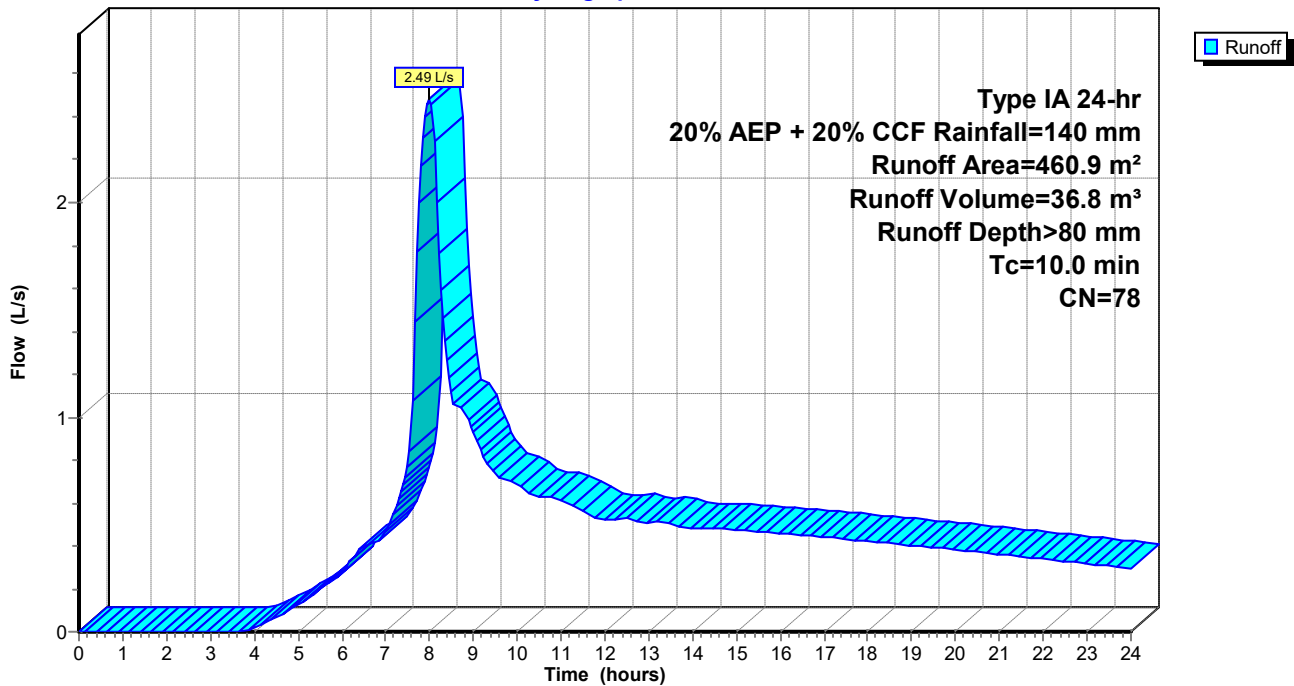
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Area (m ²)	CN	Description
387.0	74	>75% Grass cover, Good, HSG C
73.9	98	Roofs, HSG C
460.9	78	Weighted Average
387.0		83.97% Pervious Area
73.9		16.03% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Maximum Permitted Peak Areas

Hydrograph

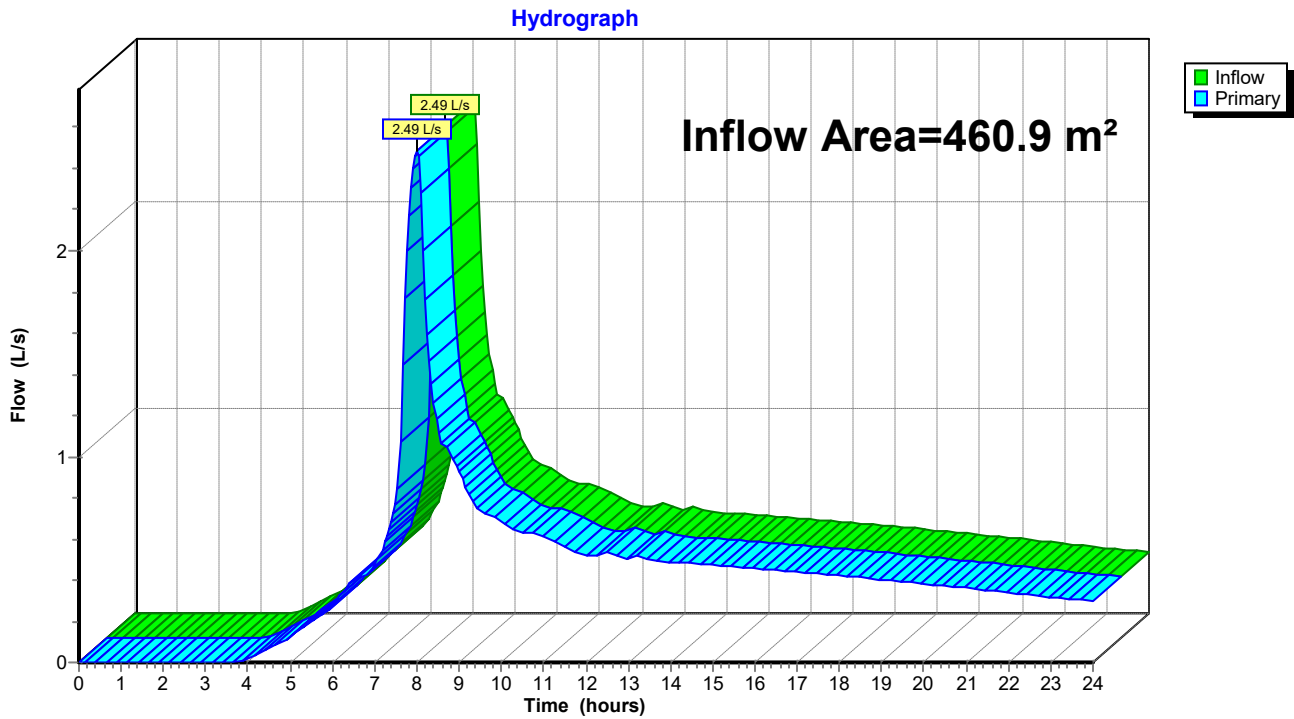


Summary for Link 32L: Maximum Permitted Peak Flows

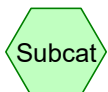
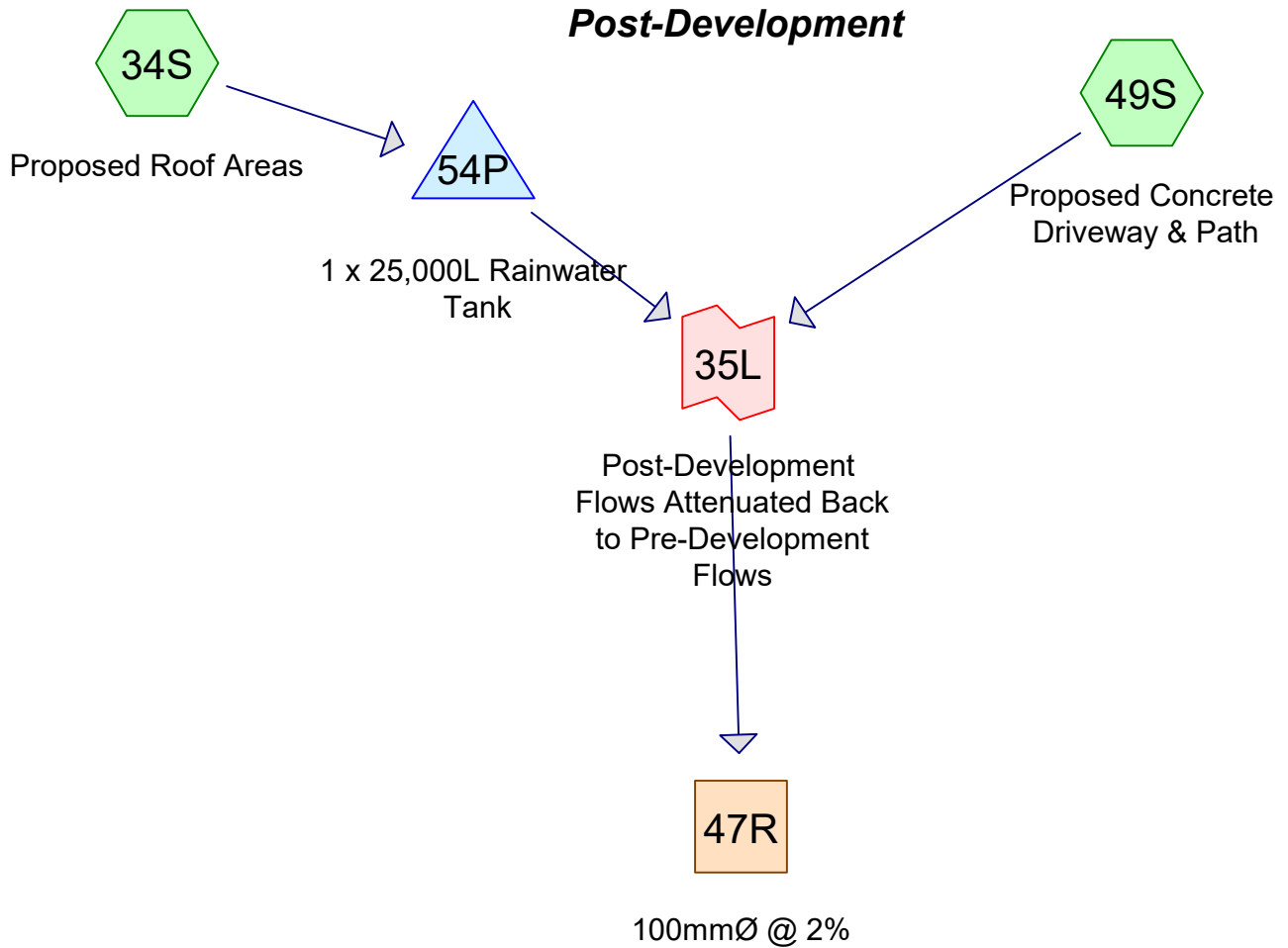
Inflow Area = 460.9 m², 16.03% Impervious, Inflow Depth > 80 mm for 20% AEP + 20% CCF event
Inflow = 2.49 L/s @ 8.00 hrs, Volume= 36.8 m³
Primary = 2.49 L/s @ 8.00 hrs, Volume= 36.8 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 32L: Maximum Permitted Peak Flows



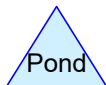
Post-Development



Subcat



Reach



Pond



Link

Routing Diagram for 145433

Prepared by Wilton Joubert Limited, Printed 6/03/2026
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Summary for Subcatchment 34S: Proposed Roof Areas

Runoff = 4.25 L/s @ 7.94 hrs, Volume= 62.9 m³, Depth> 249 mm

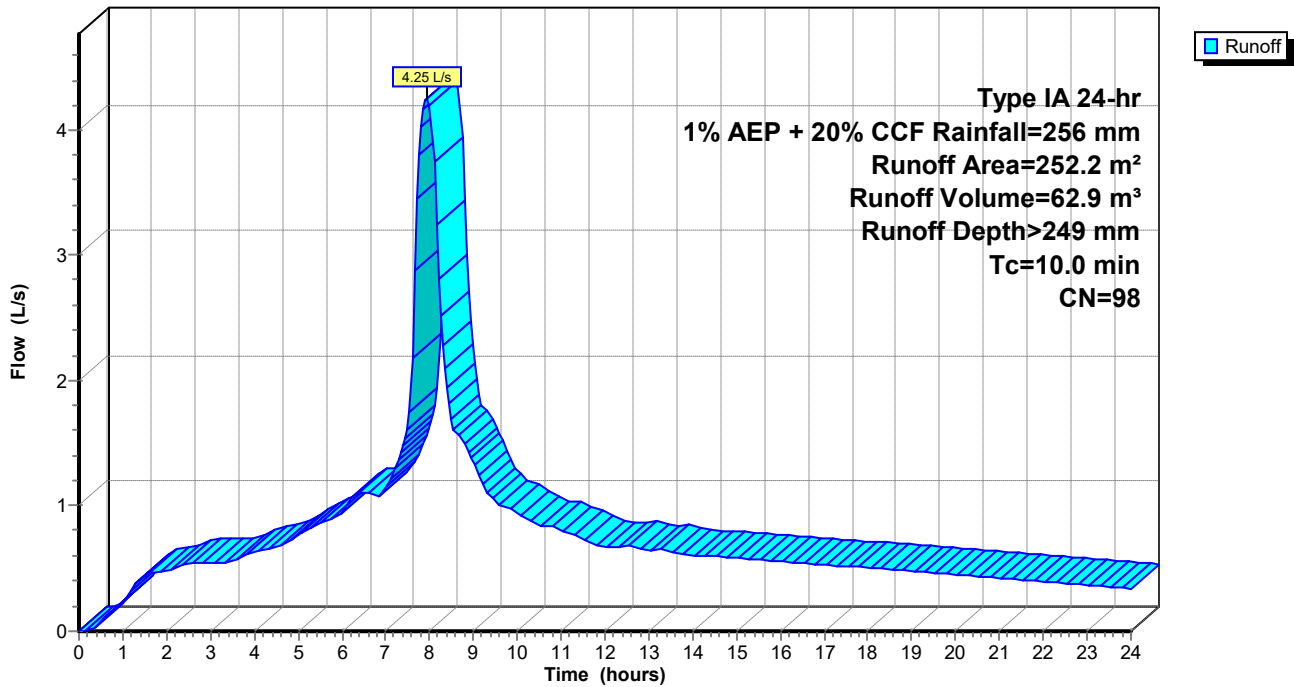
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Area (m ²)	CN	Description
201.9	98	Roofs, HSG C
50.3	98	Roofs, HSG C
252.2	98	Weighted Average
252.2		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 34S: Proposed Roof Areas

Hydrograph



Summary for Subcatchment 49S: Proposed Concrete Driveway & Path

Runoff = 3.52 L/s @ 7.94 hrs, Volume= 52.0 m³, Depth> 249 mm

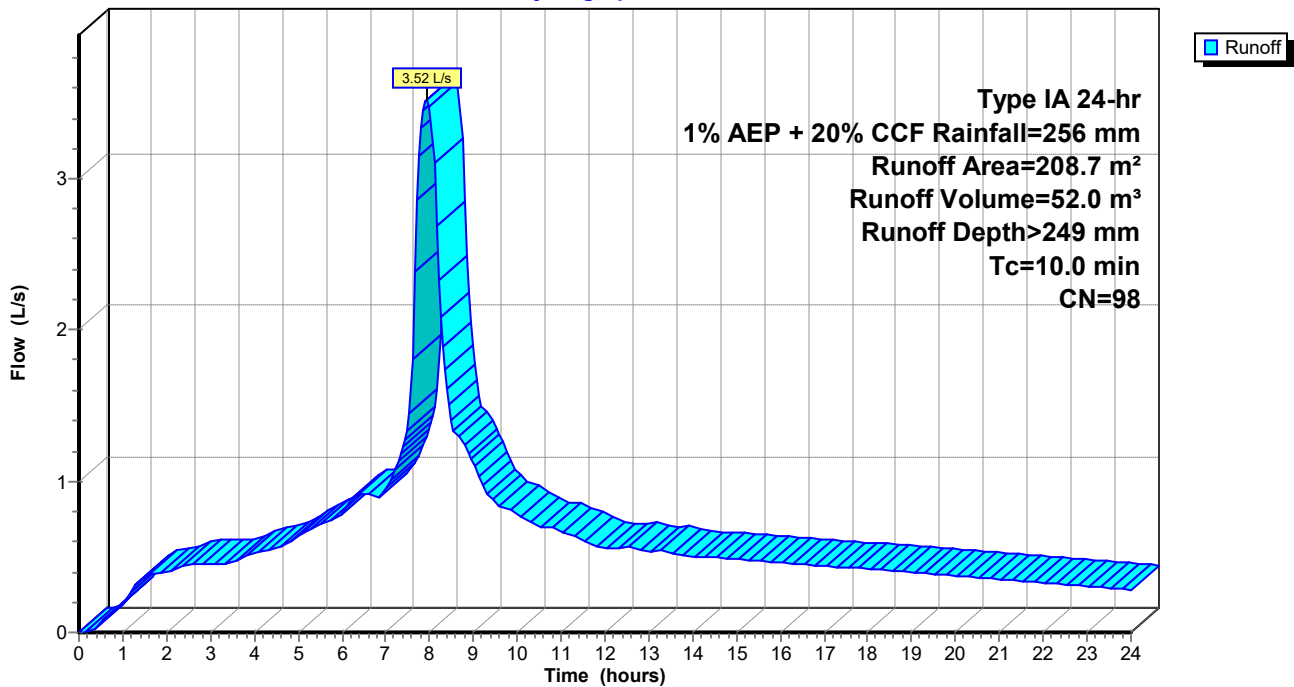
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Area (m ²)	CN	Description
208.7	98	Paved parking, HSG C
208.7		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 49S: Proposed Concrete Driveway & Path

Hydrograph



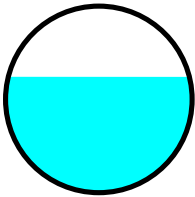
Summary for Reach 47R: 100mmØ @ 2%

Inflow Area = 460.9 m², 100.00% Impervious, Inflow Depth > 240 mm for 1% AEP + 20% CCF event
 Inflow = 6.11 L/s @ 8.02 hrs, Volume= 110.8 m³
 Outflow = 6.11 L/s @ 8.02 hrs, Volume= 110.8 m³, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.19 m/s, Min. Travel Time= 0.1 min
 Avg. Velocity = 0.76 m/s, Avg. Travel Time= 0.2 min

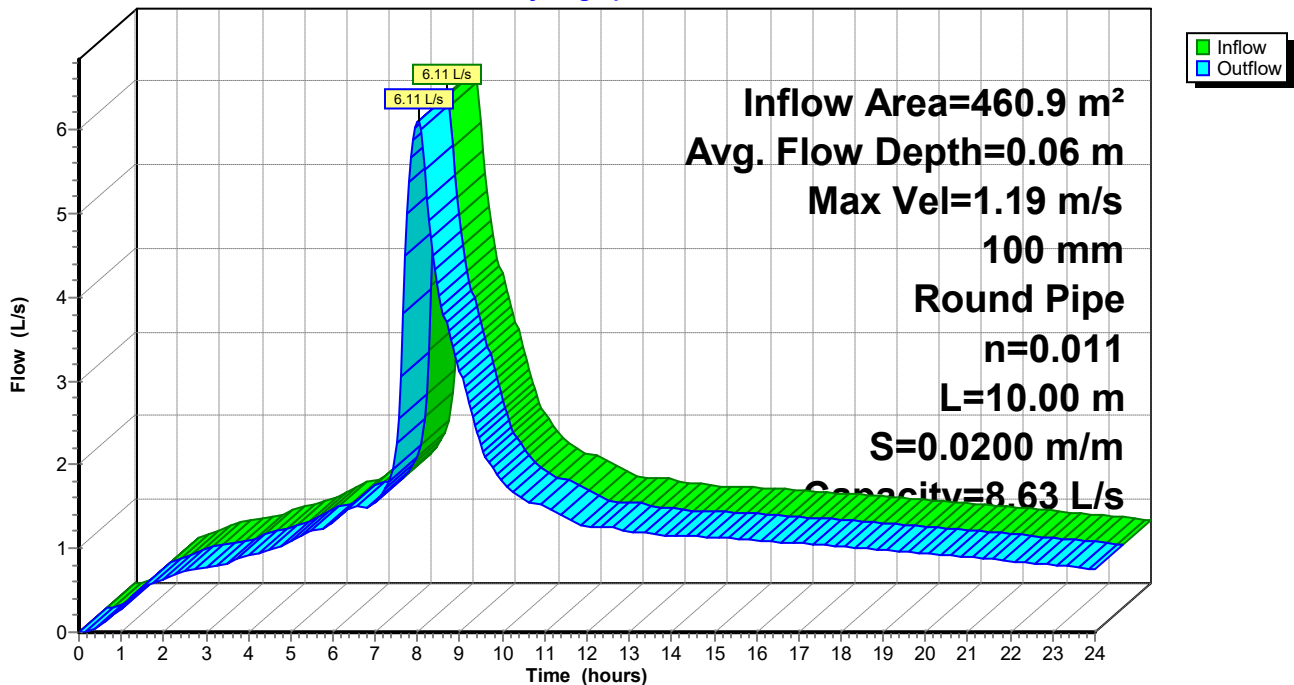
Peak Storage= 0.1 m³ @ 8.02 hrs
 Average Depth at Peak Storage= 0.06 m
 Bank-Full Depth= 0.10 m Flow Area= 0.01 m², Capacity= 8.63 L/s

100 mm Round Pipe
 n= 0.011 PVC, smooth interior
 Length= 10.00 m Slope= 0.0200 m/m
 Inlet Invert= 0.000 m, Outlet Invert= -0.200 m



Reach 47R: 100mmØ @ 2%

Hydrograph



Summary for Pond 54P: 1 x 25,000L Rainwater Tank

Inflow Area = 252.2 m², 100.00% Impervious, Inflow Depth > 249 mm for 1% AEP + 20% CCF event
 Inflow = 4.25 L/s @ 7.94 hrs, Volume= 62.9 m³
 Outflow = 2.84 L/s @ 8.20 hrs, Volume= 58.8 m³, Atten= 33%, Lag= 15.8 min
 Primary = 2.84 L/s @ 8.20 hrs, Volume= 58.8 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 1.128 m @ 8.20 hrs Surf.Area= 10.2 m² Storage= 11.5 m³

Plug-Flow detention time= 135.8 min calculated for 58.7 m³ (93% of inflow)
 Center-of-Mass det. time= 87.3 min (733.2 - 645.9)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	26.5 m ³	3.60 mD x 2.60 mH Vertical Cone/Cylinder

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	19 mm Vert. Orifice/Grate C= 0.600
#2	Primary	0.770 m	41 mm Vert. Orifice/Grate C= 0.600

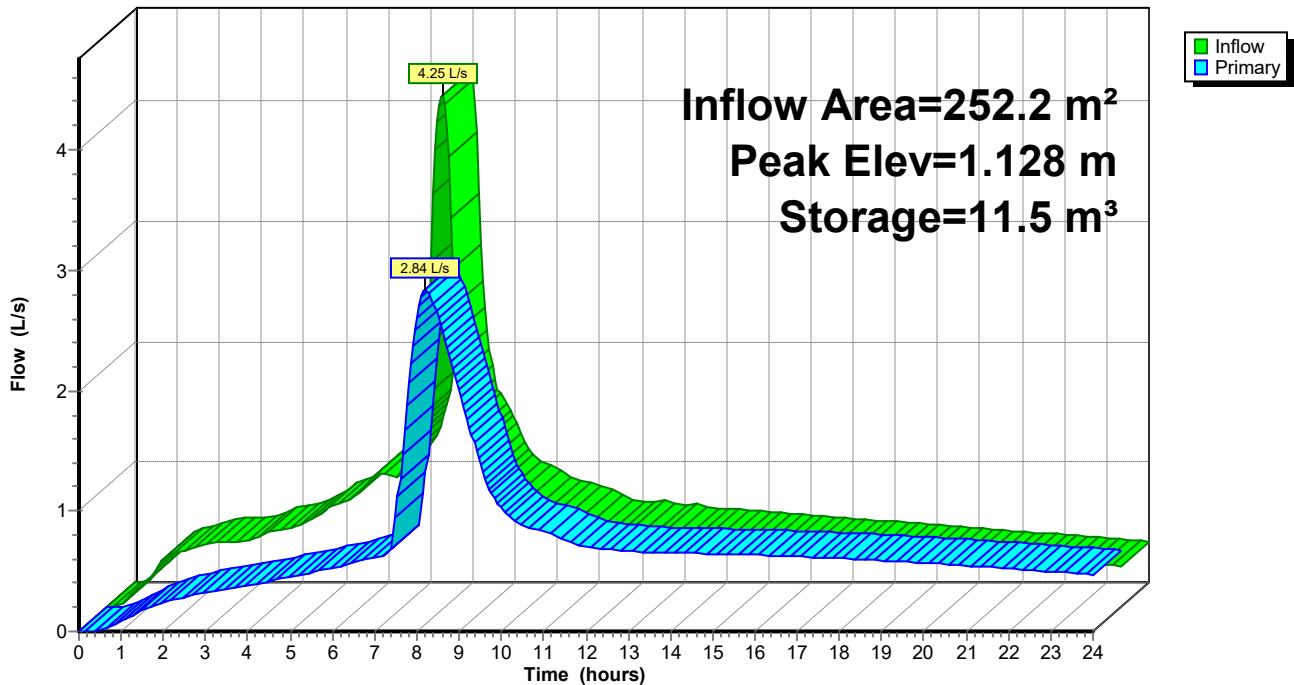
Primary OutFlow Max=2.84 L/s @ 8.20 hrs HW=1.128 m (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.80 L/s @ 2.81 m/s)

2=Orifice/Grate (Orifice Controls 2.04 L/s @ 1.54 m/s)

Pond 54P: 1 x 25,000L Rainwater Tank

Hydrograph

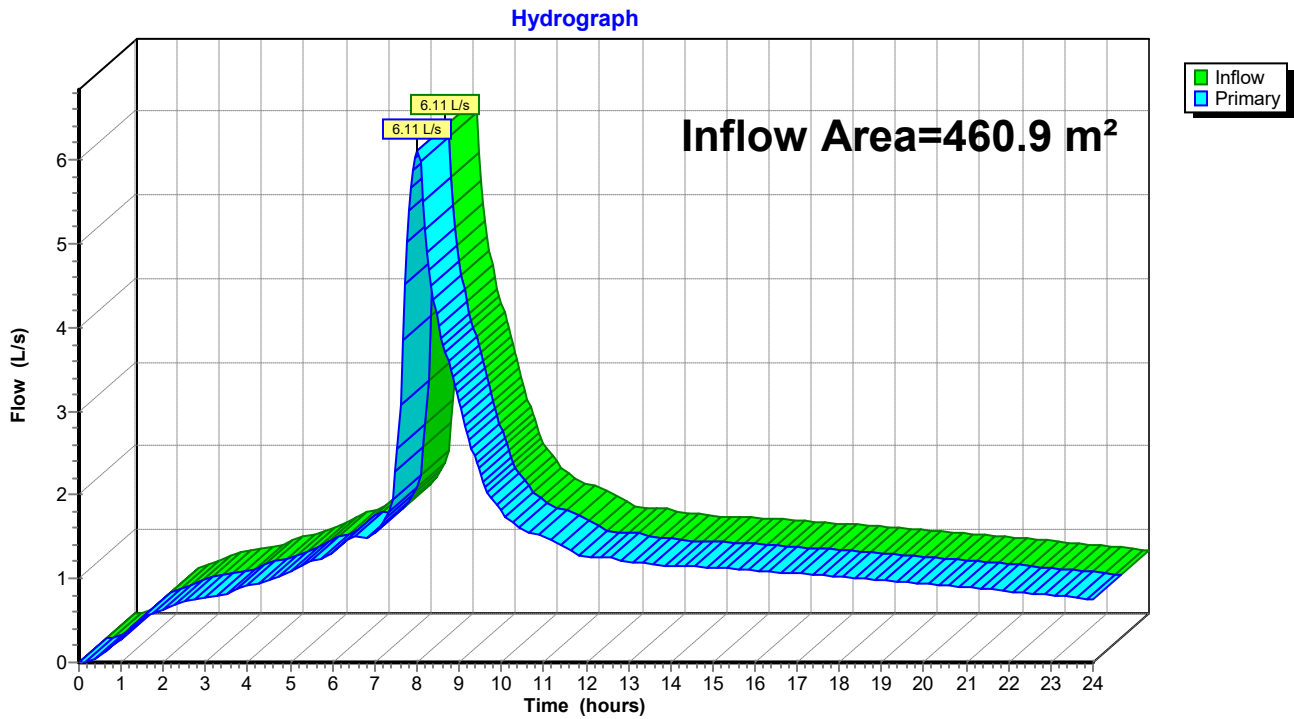


Summary for Link 35L: Post-Development Flows Attenuated Back to Pre-Development Flows

Inflow Area = 460.9 m², 100.00% Impervious, Inflow Depth > 240 mm for 1% AEP + 20% CCF event
Inflow = 6.11 L/s @ 8.02 hrs, Volume= 110.8 m³
Primary = 6.11 L/s @ 8.02 hrs, Volume= 110.8 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 35L: Post-Development Flows Attenuated Back to Pre-Development Flows



Summary for Subcatchment 34S: Proposed Roof Areas

Runoff = 2.31 L/s @ 7.94 hrs, Volume= 33.7 m³, Depth> 134 mm

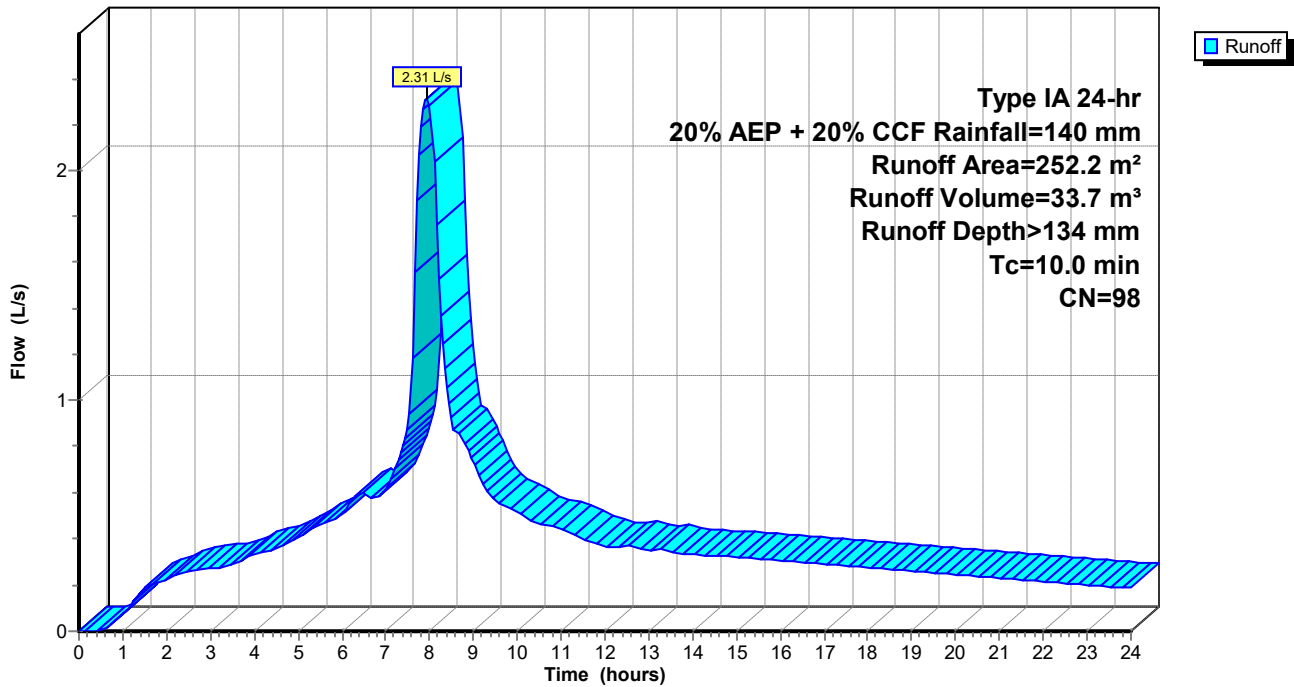
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Area (m ²)	CN	Description
201.9	98	Roofs, HSG C
50.3	98	Roofs, HSG C
252.2	98	Weighted Average
252.2		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 34S: Proposed Roof Areas

Hydrograph



Summary for Subcatchment 49S: Proposed Concrete Driveway & Path

Runoff = 1.91 L/s @ 7.94 hrs, Volume= 27.9 m³, Depth> 134 mm

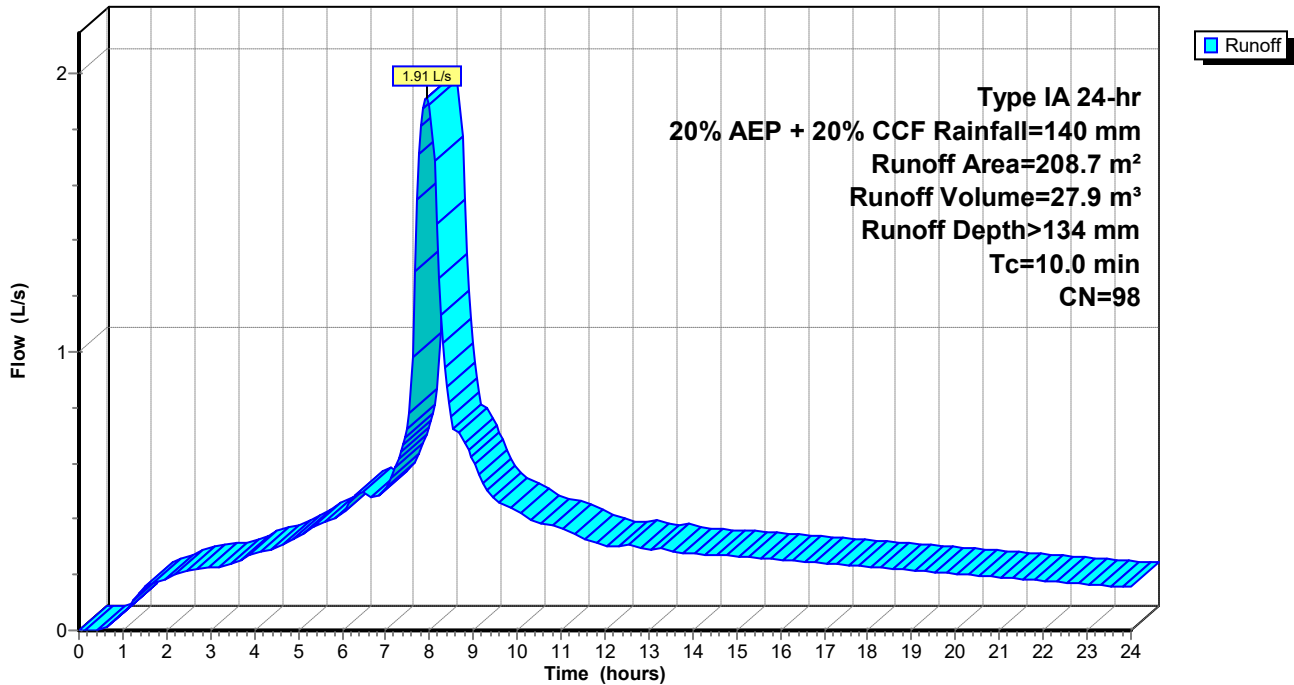
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Area (m ²)	CN	Description
208.7	98	Paved parking, HSG C
208.7		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 49S: Proposed Concrete Driveway & Path

Hydrograph



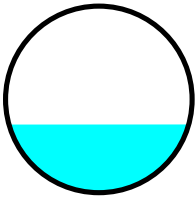
Summary for Reach 47R: 100mmØ @ 2%

Inflow Area = 460.9 m², 100.00% Impervious, Inflow Depth > 131 mm for 20% AEP + 20% CCF event
 Inflow = 2.46 L/s @ 7.97 hrs, Volume= 60.5 m³
 Outflow = 2.46 L/s @ 7.97 hrs, Volume= 60.5 m³, Atten= 0%, Lag= 0.1 min

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Max. Velocity= 0.95 m/s, Min. Travel Time= 0.2 min
 Avg. Velocity = 0.65 m/s, Avg. Travel Time= 0.3 min

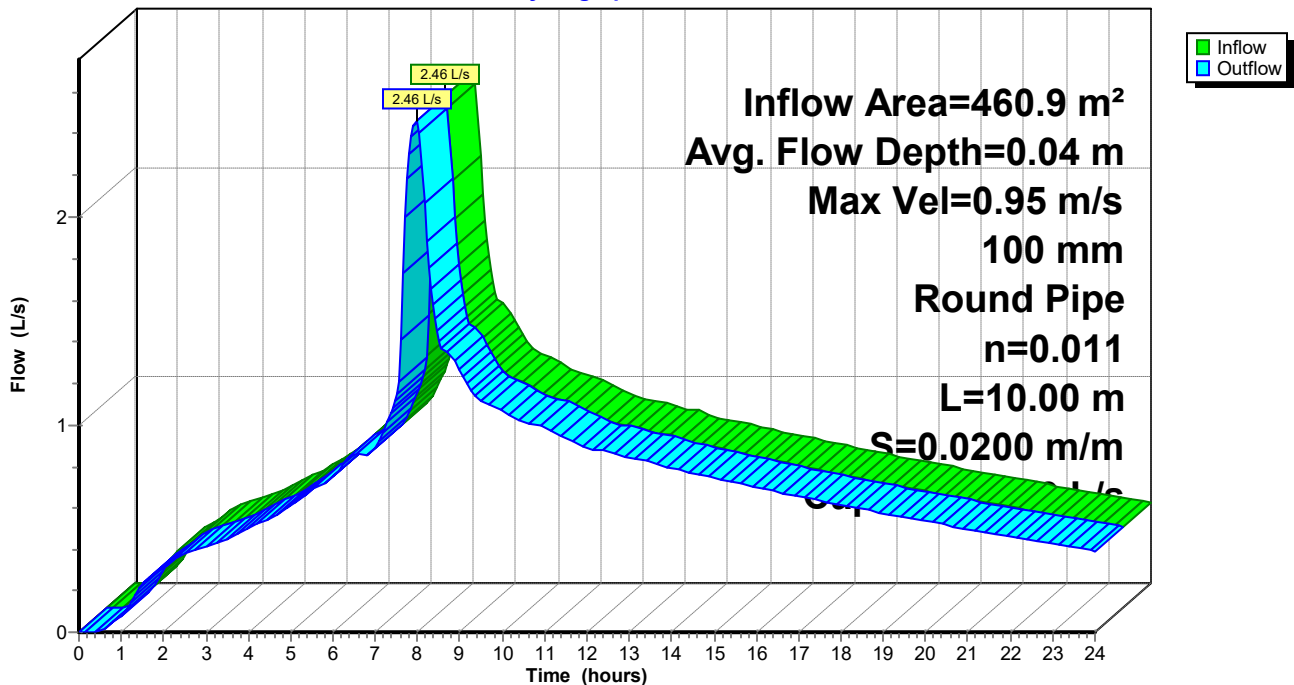
Peak Storage= 0.0 m³ @ 7.97 hrs
 Average Depth at Peak Storage= 0.04 m
 Bank-Full Depth= 0.10 m Flow Area= 0.01 m², Capacity= 8.63 L/s

100 mm Round Pipe
 n= 0.011 PVC, smooth interior
 Length= 10.00 m Slope= 0.0200 m/m
 Inlet Invert= 0.000 m, Outlet Invert= -0.200 m



Reach 47R: 100mmØ @ 2%

Hydrograph



Summary for Pond 54P: 1 x 25,000L Rainwater Tank

Inflow Area = 252.2 m², 100.00% Impervious, Inflow Depth > 134 mm for 20% AEP + 20% CCF event
 Inflow = 2.31 L/s @ 7.94 hrs, Volume= 33.7 m³
 Outflow = 0.65 L/s @ 9.18 hrs, Volume= 32.6 m³, Atten= 72%, Lag= 74.7 min
 Primary = 0.65 L/s @ 9.18 hrs, Volume= 32.6 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 0.761 m @ 9.18 hrs Surf.Area= 10.2 m² Storage= 7.7 m³

Plug-Flow detention time= 138.8 min calculated for 32.5 m³ (97% of inflow)
 Center-of-Mass det. time= 113.7 min (768.5 - 654.8)

Volume	Invert	Avail.Storage	Storage Description
#1	0.000 m	26.5 m ³	3.60 mD x 2.60 mH Vertical Cone/Cylinder

Device	Routing	Invert	Outlet Devices
#1	Primary	0.000 m	19 mm Vert. Orifice/Grate C= 0.600
#2	Primary	0.770 m	41 mm Vert. Orifice/Grate C= 0.600

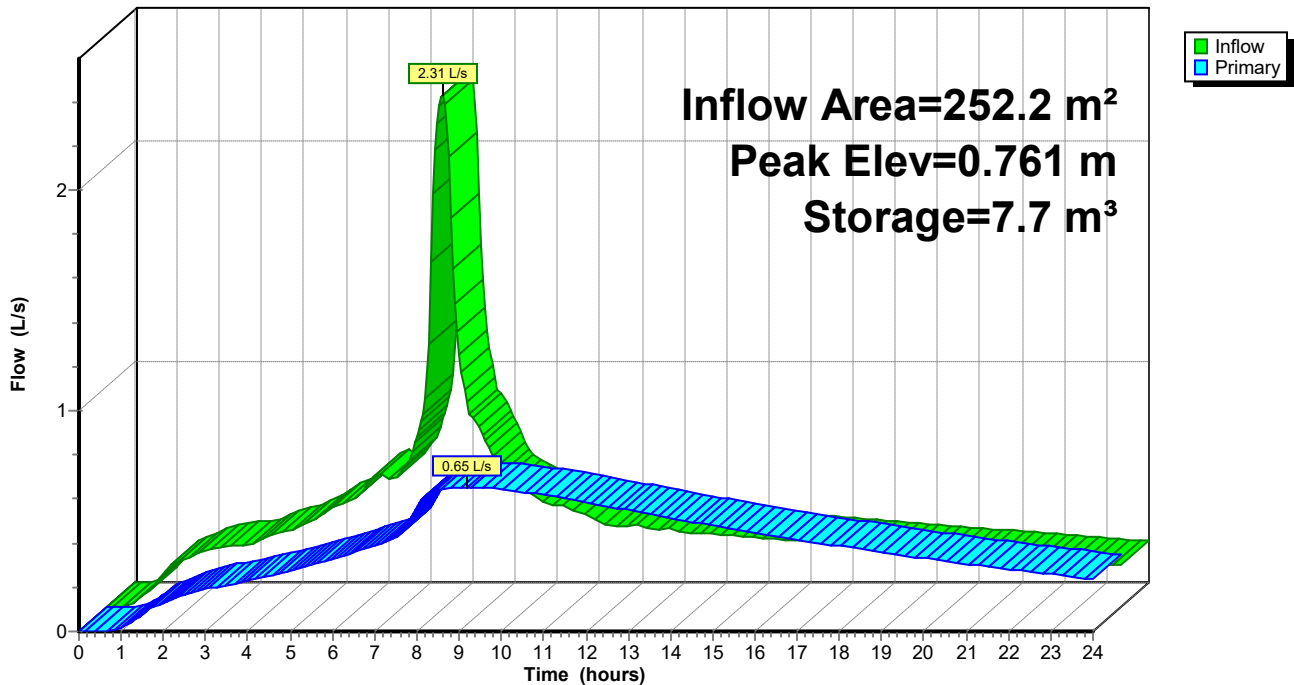
Primary OutFlow Max=0.65 L/s @ 9.18 hrs HW=0.761 m (Free Discharge)

1=Orifice/Grate (Orifice Controls 0.65 L/s @ 2.30 m/s)

2=Orifice/Grate (Controls 0.00 L/s)

Pond 54P: 1 x 25,000L Rainwater Tank

Hydrograph

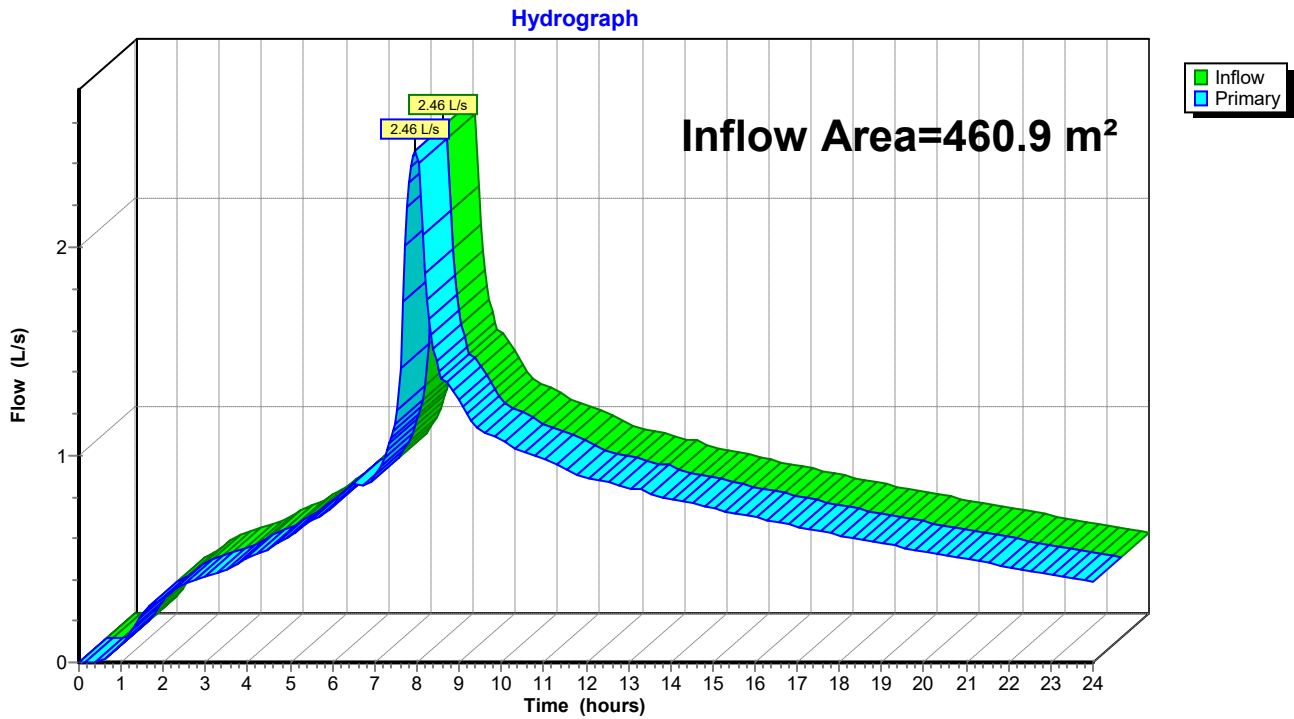


Summary for Link 35L: Post-Development Flows Attenuated Back to Pre-Development Flows

Inflow Area = 460.9 m², 100.00% Impervious, Inflow Depth > 131 mm for 20% AEP + 20% CCF event
Inflow = 2.46 L/s @ 7.97 hrs, Volume= 60.5 m³
Primary = 2.46 L/s @ 7.97 hrs, Volume= 60.5 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 35L: Post-Development Flows Attenuated Back to Pre-Development Flows





10 March, 2026

Landscape Plan

Lot 23 DP 384236 – 38 Dudley Crescent, Cable Bay

Dear Sir/Madam,

Re: Landscape Plan for Lot 23 DP 384236 – Cable Bay

This report provides a Landscape Plan and assessment report (based on a site visit, available aerial imagery, and the Far North District Plan) for the proposed dwelling to be built on **Lot 23 DP 384236 at 38 Dudley Crescent, Cable Bay**.

This report addresses the **Visual Amenity Rule within the Far North District Plan (FNDP)** and the relevant conditions within the Consent Notice for this lot.

The attached Landscape Plan details the proposed landscaping that will provide the necessary visual mitigation of the proposed dwelling to comply with FNDP and Council consent conditions.

The application site is located within the **Coastal Living Zone** in Cable Bay. There are **no Outstanding Landscapes or Outstanding Natural Features located on the property**.

The building curtilage area is largely free of vegetation, with the surrounding site generally grassed with some existing vegetation present.

Following is an assessment of the proposal against **Visual Amenity Rule 10.7.5.2.2 of the Far North District Plan**.

Visual Amenity Rule 10.7.5.2.2

(i) Size, bulk and height of the building in relation to ridgelines and natural features

The proposed dwelling is a **single-storey building with a double garage**. The dwelling consists of two bedrooms with an open plan living and kitchen area.

The height and size of the dwelling are shown on the architect's plans. The building height is **under 6 metres at its highest point**, which is within the permitted building height restriction for this zone.

The proposed building will be set **well below the ridgeline** and will not be viewed on the skyline or located close to any significant natural features.

(ii) The extent to which planting can mitigate visual effects

The surrounding landform, neighbouring dwellings, and vegetation within the Cable Bay area assist with screening and softening views of the proposed dwelling.

The proposed landscape planting around the dwelling will help **blend the structure into the surrounding landscape** and provide a vegetated backdrop and separation between neighbouring properties.

(iii) Any earthworks and/or vegetation clearance associated with the building

The building platform will be formed with limited cut and fill earthworks. The proposed dwelling will be positioned on this prepared platform.

Cut and fill batters around the building will be **revegetated and grassed**.

There is **no significant vegetation clearance required**, as the building platform is located within an open grassed area.

(iv) Location and design of vehicle access, manoeuvring and parking areas

Vehicle access will be provided from **Dudley Crescent**, with the driveway extending to the garage on the proposed dwelling.

Parking and manoeuvring areas will be located in front of the garage and dwelling. These areas will be visually softened by the proposed landscaping around the building site.

(v) Visual effects of buildings and services

Utility services associated with the dwelling will be **installed underground**.

The building will not be visually obtrusive as it is positioned within the surrounding residential environment and below the ridgeline.

(vi) Cumulative visual effects

There will be **one dwelling and one garage** on the site. As a result, there will be **no cumulative visual effects** from multiple buildings.

(vii) Retention of landscape qualities and natural character

The site already contains a cleared grassed area suitable for building. Only minimal earthworks are required to form the building platform.

The vegetated setting around the lot enhances the ability of the landscape to absorb the proposed dwelling without adversely affecting the natural character or visual values of the area.

(viii) Provision of private open space

The proposed dwelling is appropriately sized within the building curtilage area.

The building will comply with setback requirements and will not unduly affect the **privacy or outlook of neighbouring properties**.

(ix) Avoidance of visual dominance

The proposed dwelling has been appropriately sited within the property so that it integrates with the surrounding residential landscape.

The development will not create visual dominance or negatively impact the surrounding environment.

(x) Effects on neighbouring properties

As the proposed dwelling complies with the relevant visual amenity rules and is supported by a landscape plan designed to soften the development, **no adverse effects on neighbouring properties are anticipated**.

Landscape Plan

A landscape plan has been prepared for the area around the proposed dwelling to assist with the **visual integration and mitigation of the development**.

The landscape plan details the location of planting, species selection, and plant quantities.

Key aspects of the landscaping include:

- Retention of any suitable existing vegetation where possible.
- **Native planting around the building curtilage area** to soften the appearance of the dwelling and integrate it with the surrounding landscape.
- **Two layers of native planting** around parts of the building platform to provide visual screening.
- **Native groundcover planting or grass** to revegetate cut batter areas.
- **Grassed areas** to stabilise fill batters and maintain the surrounding open landscape character.
- Use of **native plant species** to avoid adverse ecological effects and to suit the local environment.

Cut and fill batters formed around the building footprint will be shaped so they are **stable and easily maintained**. A layer of topsoil will be placed on these areas to ensure good establishment of grass and planting.

Overall, the proposed development and landscaping comply with **Visual Amenity Rule 10.7.5.2.2** and the relevant consent notice conditions.

Landscape Planting Implementation & Maintenance

Implementation Scope

The scope of planting works includes:

1. Preparation of planting areas
 2. Timing of planting
 3. Plant material selection
 4. Siting of plants in accordance with the planting plan
 5. Planting installation
 6. Watering of newly planted shrubs
 7. General maintenance
 8. Weed, pest and disease control
-

Preparation of Planting Areas

1. Undertake clearance of any exotic weed species. No native vegetation shall be removed.
2. Initial weed control should be carried out during the autumn months prior to winter planting when plants are still actively growing and therefore more susceptible to herbicides.
3. Blanket spray planting areas approximately three weeks before planting. A follow-up spray should be applied if required.
4. Apart from grasses, one of the main weeds that may require spraying is gorse. The following treatment is recommended:

For Gorse

- Spray with 5g metsulfuron-methyl (600g/kg e.g. Escort®) + 10 ml penetrant per 10 litres water; or
- Gun and hose application at a rate of 35g metsulfuron-methyl + 100ml penetrant per 100 litres water.

For Grasses

- Spray 100ml glyphosate (e.g. Roundup) + 20ml penetrant per 10 litres water.
-

Timing of Planting

Planting shall be undertaken **between April and September**.

If planting occurs early or late in the season, plants should be irrigated during any dry periods to ensure establishment.

Plant Material

1. Plants shall be purchased from a reputable nursery and shall be healthy, vigorous nursery stock.
 2. Root systems must be well developed and balanced with the foliage growth.
 3. Root-bound plants or plants with severely spiralling roots will not be acceptable.
 4. Plants should have a root ball of fine, fresh root growth. Any spiralling roots should be sliced vertically with a sharp knife when removing planter bags.
 5. Plants are to be planted as soon as possible after delivery and no later than **three days after delivery**.
-

Siting of Plants

Planting shall be undertaken **in accordance with the proposed individual site landscape plan**.

Planting

1. In areas where mass planting or total vegetation replacement is proposed, a **150mm layer of a 50/50 mix of locally sourced compost and topsoil** shall be placed over the planting area.
2. Additional soil/compost mix should also be added into individual planting holes.
3. Hessian matting shall be placed over steeper areas or those close to water sources to prevent excessive runoff.
4. Plants should be well watered in their containers prior to planting.
5. Planting holes for larger plants (PB3 and above) should be approximately **1.5 times wider than the root ball**.
6. Loose soil should be left in the base of the hole to encourage root growth and drainage.
7. Approximately **one tablespoon of slow-release fertiliser** (18–24 month type) should be placed in the bottom of the planting hole and mixed with the loose soil, ensuring fertiliser does not sit directly on roots.
8. Soil returned around the roots should be firmed gently, leaving a small amount of loose soil at the surface.

9. Where planting holes extend beyond the topsoil layer, the subsoil shall be broken up and mixed with added topsoil to ensure good drainage and root penetration.
 10. Plants should be planted **approximately 50mm proud of the existing ground level** to prevent waterlogging.
 11. Care shall be taken to keep the plant root ball intact during planting.
 12. All newly planted areas should be finished with a **70mm layer of mulch**.
-

Specimen Tree Planting

1. Ground preparation shall consist of a **1m³ planting hole for each PB95 grade tree**.
 2. Existing soil shall be integrated with a **50/50 mix of compost and topsoil**.
 3. Trees should be planted approximately **50mm proud of ground level**.
 4. Finish with a **70mm mulch layer** over a 1m diameter area around the tree trunk, ensuring mulch is not mounded against the trunk.
 5. Trees shall be staked using suitable wooden stakes and soft tree ties.
-

Watering In

Immediately after planting, all plants shall be **thoroughly watered until the planting hole is saturated**.

The foliage of plants should also be wetted to assist with establishment.

This shall be done even if soil conditions are already moist.

General Maintenance

1. Maintenance weed control shall commence **within three months of planting** and continue **twice annually**.
2. Maintenance shall be carried out for a **minimum period of three years** following completion.
3. Care should be taken to identify and control any weeds introduced through potting mix or surrounding vegetation.
4. Weeds should be removed through appropriate physical or chemical control methods.
5. Any **dead or damaged plants shall be replaced** during the maintenance period.
6. An **annual top-up of mulch** shall be applied to maintain a 70mm layer around planted areas.

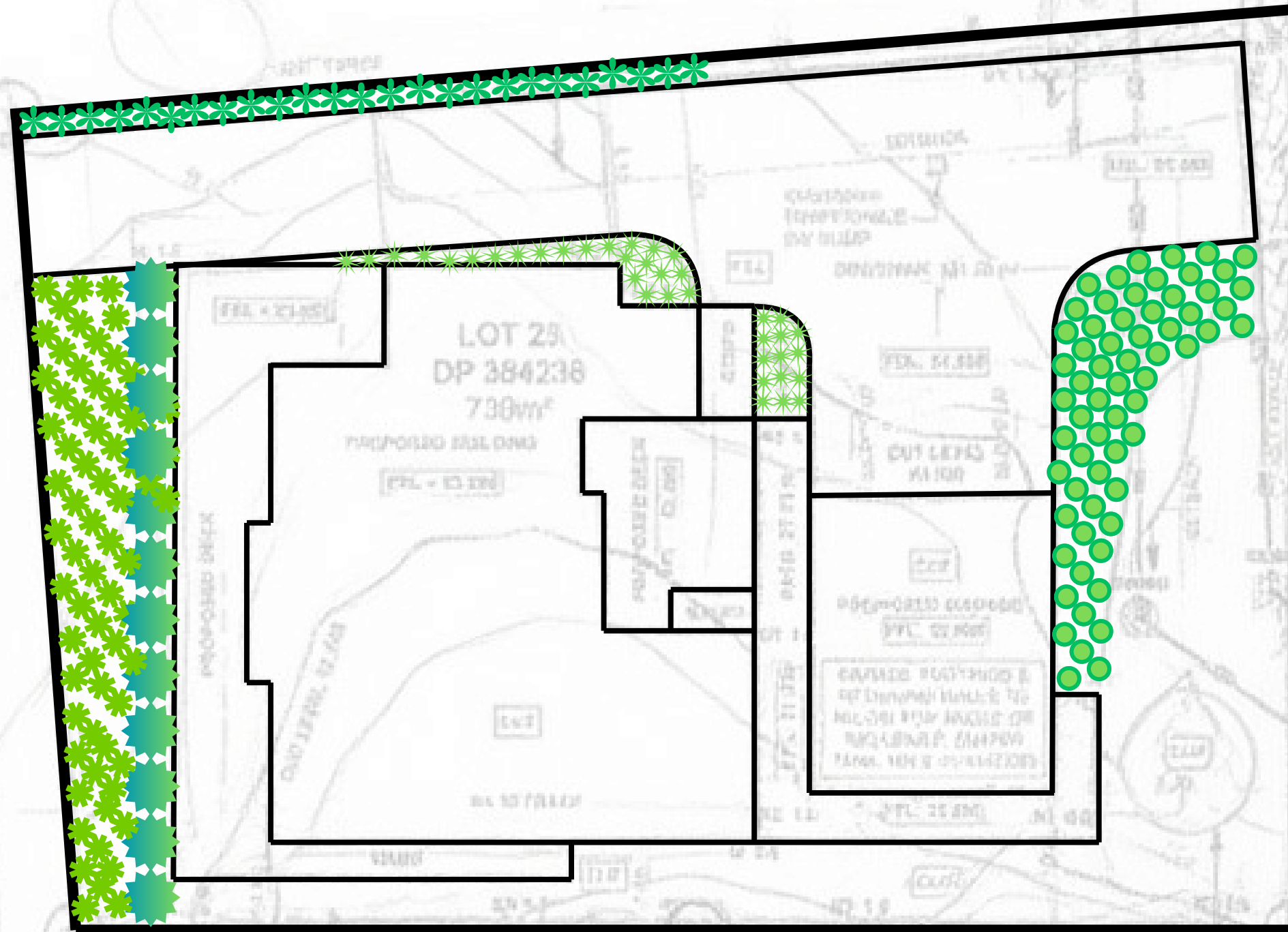
7. Selective pruning of specimen trees shall be undertaken to remove dead or damaged growth and maintain healthy form and vigour.






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Quantity	Botanical Name	Common Name	Scheduled Size
 12	<i>Pittosporum tenuifolium</i>	Kohuhu	PB12
 1 per/m2	<i>Lomandra</i>	Lomandra 'Lime Tuff'	PB5
 1 per/m2	<i>Coprosma repens</i>	<i>Coprosma repens</i>	PB5
 1 per/m2	<input checked="" type="checkbox"/> <i>Phormium cookianum</i> 'Emerald Green'	Mountain Flax	PB5
 1 per/2m2 50/50 mix	<i>Coprosma robusta</i> <i>Coprosma repens</i>	<i>Coprosma robusta</i> <i>Coprosma repens</i>	PB3

SITE	38 Dudley Crescent, Cable Bay
LEGAL DESCRIPTION	Lot 23 DP 384326
PROJECT	New Dwelling & Detached Garage
CLIENT	Coastal Homes (2008) Ltd
REFERENCE NO.	140322
DOCUMENT	Geotechnical Assessment Report
STATUS/REVISION NO.	FINAL – Development Review of Finalised Architectural Drawings Required Prior to Building Consent
DATE OF ISSUE	28 May 2025

Report Prepared For	Email
Coastal Homes (2008) Ltd	accounts@coastal-homes.co.nz

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1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Development Type:	New dwelling and detached garage.
Development Proposals Supplied:	No.
NZS3604 Type Structure/s:	Yes (Infer).
Geology Encountered:	Awhitu Group Alluvium. Undifferentiated Tangihua Complex Basalt in Northland Allochthon at depth.
Surficial Topsoil / Non-Engineered Fill / Buried Topsoil Encountered:	Yes – 0.20m to 0.90m thick layers.
Overall Site Gradient in Proximity to Development:	Gently sloping (averages less than 7°).
Site Stability Risk:	Low risk of deep-seated global instability.
Liquefaction Risk:	Negligible risk of liquefaction susceptibility.
Proposed Foundation Type(s):	Dwelling: Timber subfloor, suspended on bored, concrete encased, tanalised timber pile/pole foundations. Detached Garage: Concrete floor slab (proprietary-type design).
Soil Bearing Capacity:	Yes – Competent Natural Ground and Engineered Hardfill Only. Shallow Foundations: Geotechnical Ultimate Bearing Capacity= 300kPa. Pole Foundations: Geotechnical Ultimate Bearing Capacity= 900kPa.
NZBC B1 Expansive Soil Classification:	Class A (Non-Expansive). If any underlying Undifferentiated Tangihua Complex Basalt in Northland Allochthon derived, cohesive silts and clays are exposed at foundation embedment levels, WJL must be contacted for review and/or advice.
Minimum Footing Embedment Depth:	0.40m below finished ground levels and 0.30m into competent natural ground or engineered hardfill, whichever is deeper.
NZS1170.5:2004 Site Subsoil Classification:	Class C – Shallow soil stratigraphy.
Earthworks:	The client intends to cut the western portion of the development area, with some levelling fills possibly required for the garage floor slab. Additionally, the client wishes to construct an approximate 0.60m high retaining wall along the southern boundary and level the area for amenity purposes. Refer report text for design guidance.
Services:	Wastewater and stormwater main and service lines are present across the southern perimeter of the property. It should be checked that all foundations lie outside 45° envelopes rising up from 0.50m below the invert of all service trenches.
Consent Application Report Suitable for:	Building Consent, once architectural drawings have been finalised and reviewed by WJL. A supplementary memorandum will be issued following review to support a Building Consent application.

2. INTRODUCTION

2.1. SCOPE OF WORK

Wilton Joubert Limited (WJL) was engaged by **Coastal Homes (2008) Ltd** (the client), to undertake a geotechnical assessment of ground conditions at the above site, where we understand, it is proposed to construct a new dwelling and detached garage.

For the purposes of this report, we have assumed both structures will comprise of lightweight, timber framed structures, designed and constructed to apply loads generally in keeping with the requirements of NZS3604:2011.

2.2. SUPPLIED INFORMATION

At the time of preparing this report, no development drawings or associated documents were provided.

Once architectural drawings have been finalised, they should be referred to WJL for review and a supplementary memorandum will be issued to support a Building Consent application.

3. SITE DESCRIPTION

The subject 739m² rectangular shaped property is located off the southern side of Dudley Crescent, accessed 180m east of the Stratford Drive intersection, in the western outskirts of the Cable Bay urban environment. The Lot is legally titled Lot 23 DP 384236 and is situated within a Coastal Living Zone.

No existing vehicle crossing or driveway formation is present. The client has advised that access to the site is to commence from the northeastern boundary.

Topographically speaking, the property is set around a crowned dome along the central western boundary that descends at gentle gradients towards the east. Inclinations across the western portion of the site average less than 11°, reducing to inclinations of less than 7° across the eastern portion and continues at similar gradients for a minimum of 20 beyond the property boundary. Densley bush covered, moderately inclined terrain covers the wider land downslope. Existing ground levels across the site essentially range between RL54m (west) and RL50m (southeast) New Zealand Vertical Datum. The property is currently covered in lawn.

Surrounding properties are of similar land use with intermittent existing residential developments present.

At the time of preparing this report, we note that the Far North District Council (FNDC) on-line GIS Water Services Map indicates the following:

- A gravity main wastewater line trends parallel to the southern boundary, slightly within the property confinements. A services connection is present towards the southeastern boundary corner,
- A stormwater culvert service line trends parallel to the southern boundary, offset approximately 4.3m within the property confinements. A service connection is present towards the southeastern boundary corner, and
- Wastewater and service connections for neighbouring 40 Dudley Crescent traverse through the southwestern corner of the site, ultimately connecting into the main service lines.

The property and proposed development area are depicted on our appended Site Plan (Ref: 140322-G600) and in Figure 1 below.



Figure 1: Screenshot aerial view from the FNDC on-line GIS Property and Land Map. 1.0m LiDAR contours are overlaid. Property boundary is highlighted in cyan. Red ring depicts proposed development area.



Figure 2: Site photograph from the northwestern boundary corner looking south-easterly towards the property. Orange cones approximately depict the development extents.



Figure 3: Site photograph from the southeastern boundary corner looking north-westerly towards the property. Orange cones approximately depict the development extents.

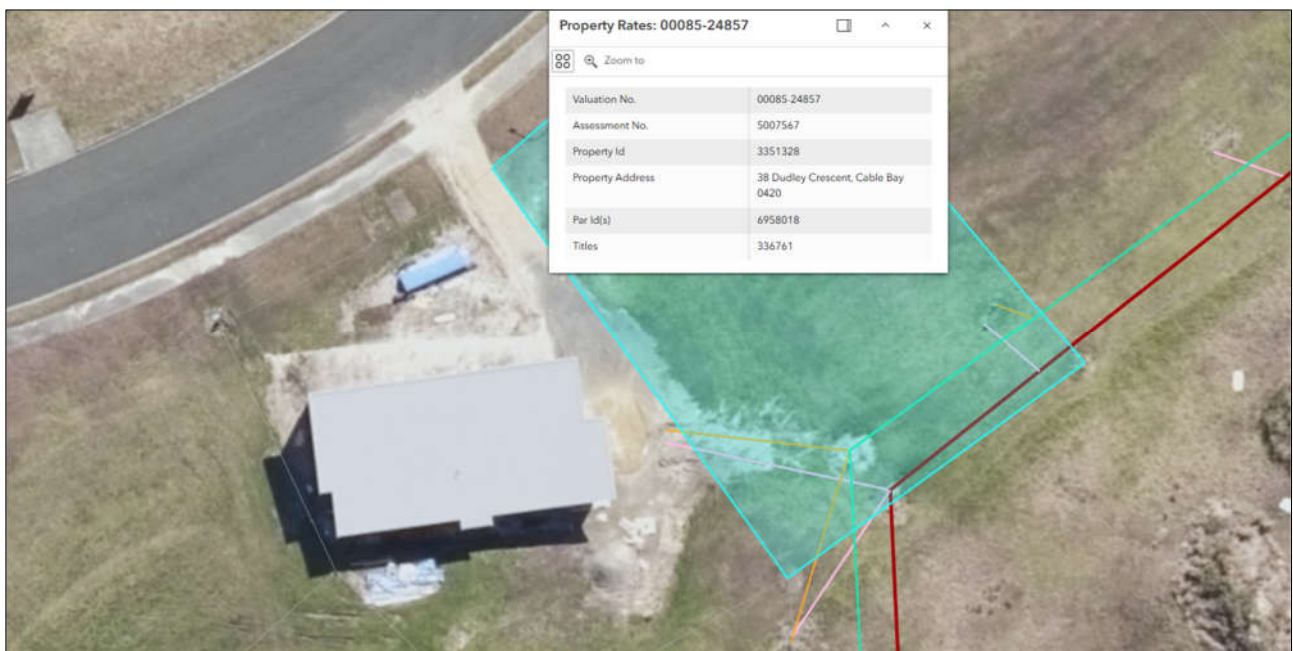


Figure 4: Screenshot aerial view from the FNDC on-line GIS Water Services Map. Property boundary is highlighted in cyan. Red and pink lines are wastewater, whilst green and yellow lines are stormwater.

4. DEVELOPMENT PROPOSALS

At the time of preparing this report, no development drawings or associated documents were provided.

The client has advised that the new dwelling is to be constructed across the northern portion of the property. The dwelling will be found on a timber subfloor, suspended on bored, concrete encased, tanalised timber pile/pole foundations, supporting lightweight timber framing, weatherboard cladding and longrun steel roof.

Additionally, a detached garage is to be constructed next to the southwestern side of the dwelling. The garage is likely to be of proprietary-type design and found on a concrete floor slab.

The proposed finished floor levels (FFL) for both structures are currently unknown. The client has advised that at its deepest point, across the eastern end of the building site, the dwelling FFL may be up to 3.0m above finished ground levels.

To facilitate the FFL's, the client intends to cut the western portion of the development area, with some levelling fills possibly required for the garage floor slab, both of which may require to be supported by a retaining wall. Additionally, the client wishes to construct an approximate 0.60m high retaining wall along the southern boundary and level the area for amenity purposes. As part of this work, the client may need to install a riser to the wastewater service connection.

As a result, the principal objectives were to investigate and assess the suitability of potential foundation options for the site subsoils, not only primarily in terms of bearing capacity, but also for differential foundation movement.

5. GEOLOGY

Local geology across the property and wider crest land upslope to the south is noted on the GNS Science New Zealand Geology Web Map, Scale 1:250,000, as; **Awhitu Group Alluvium**. These deposits are approximately 1 to 4 million years in age and described as; "*Partly consolidated sandstone and mudstone of high terraces.*"

Referring to the above mapping source, local geology across the wider local area is noted as; **Undifferentiated Tangihua Complex Basalt in Northland Allochthon**. These deposits are approximately 56 to 146 million years in age and described as; "*Basaltic pillow lava and pillow breccia, with sills and dikes of basalt and dolerite.*"

Only deposits resembling Awhitu Group alluvium were encountered during our fieldwork investigation (see Section 7). It should be noted that Undifferentiated Tangihua Complex Basalt in Northland Allochthon deposits are geologically older deposits, and we infer will be underlying the site at depth.



Figure 5: Screenshot aerial view from the New Zealand Geology Web Map. Blue marker depicts property location.

6. GEOTECHNICAL INVESTIGATION

WJL undertook a Geotechnical investigation of the site on 20 May 2025, and included the following:

- Drilling four (no.) 50mm diameter hand auger boreholes (HA01 to HA04 inclusive) to refusal depths ranging between 0.6m and 1.6m below existing ground level (BEG),
- Due to the non-cohesive nature of the subsoils encountered, our HA's were supplemented with dynamic cone – scala penetrometer tests (DCP) to determine the soil 'strengths', to refusal depths ranging between 0.60m and 2.0m BEGL, and
- Two (no.) additional DCP's (DCP01 and DCP02 inclusive) were undertaken from existing ground level to refusal depths 1.2m and 2.4m BEGL.

The soil sample arisings from the HA's were logged in accordance with the "Field Description of Soil and Rock", NZGS, December 2005.

The HA locations are depicted on our appended Site Plan (Ref: 140322-G600) and the logged results are appended to this report.

7. GEOTECHNICAL FINDINGS

The following is a summary of the ground conditions encountered in our investigation. Please refer to the appended logs for greater detail.

7.1. TOPSOIL

Surficial TOPSOIL layers of 0.20m were overlying all four HA's.

7.2. NON-ENGINEERED FILL

Below surficial topsoil in HA's 03-04, which were drilled at the eastern and southern ends of the development area, respectively, NON-ENGINEERED FILL was encountered.

The fill material within HA03 consisted of medium dense to dense, slightly sandy SILT to a depth of 0.90m BEGL, overlying natural ground deposits.

In HA04, the fill consisted of very stiff slightly clayey SILT to a depth of 0.50m BGEL, overlying a 0.10m thick BURIED TOPSOIL layer. Thereafter, natural ground deposits were encountered.

7.3. NATURAL GROUND

The underlying natural ground deposits encountered on-site were consistent with our expectations of Awhitu Group Alluvium deposits, comprising of a 0.40m to 0.80m thin cap of medium dense sandy SILT and slightly silty, fine to medium SAND, overlying dense, fine to medium SAND. All four HA's quickly terminated on very dense CEMENTED SAND at depths ranging between 0.60m and 1.6m BEGL.

DCP's undertaken at the invert of each HA encountered blow counts per 0.10m ground penetration ranging between 3 and 8 within the overlying medium dense soil cap, and 9 and 20+ within the underlying denser stratum. The DCP undertaken at the invert of HA03 was unable to penetrate 0.40m below the HA termination depth, indicating the underlying dense, fine to medium sand and cemented sand deposits are likely a minimum of 0.7m thick.



Figure 6: Site photograph of the HA02 soil arisings, typical of the northern and western ends of the development area (0.0m to 1.1m).



Figure 7: Site photograph of the HA03 soil arisings, typical of the eastern and southern ends of the development area (0.0m to 1.6m).

Additional DCP's 01-02 were undertaken along the southern boundary where the client wishes to construct a 0.60m high retaining wall. From below surficial topsoil, both DCP's generally encountered blow counts ranging between 2 and 3 to a depth of 1.0m BEGL, indicating the upper soil stratum is generally loose in nature and likely overlain with non-engineered fill deposits similar to our HA 03-04 findings. Below 1.0m BEGL, DCP blow counts steadily increased and ultimately terminated on 20+ blows at depths ranging between 1.2m and 2.4m BEGL.

7.4. GROUNDWATER

Groundwater was not encountered within any of our four HA's due to the impenetrable nature of the shallow underlying cemented sands layer.

7.5. SUMMARY TABLE

The following table summarises our inferred stratigraphic profiling:

Investigation Hole ID	Termination Depth (m)	Depth to Base of Surficial Topsoil, Non-Engineered Fill & Buried Topsoil (m)	DCP Blow Count within Natural Ground	DCP Refusal Blow Count (20+) Depth (m)	Standing Groundwater Depth (m)
HA01	0.60	0.20	4 - 5	0.60	NE
HA02	1.1	0.20	3 - 10	1.1	NE
HA03	1.6	0.90	3 - 20	2.0	NE
HA04	1.0	0.60	4 - 10	1.0	NE

Note: UTP = Unable to Penetrate, NE = Not Encountered

8. GEOTECHNICAL ASSESSMENTS

8.1. SITE STABILITY

On the basis of:

- No obvious evidence of deep-seated instability within the immediate vicinity of the property and surrounding influential land,
- Gently sloping nature of the proposed development area, averaging 7° to 11°, and continuing at similar inclinations for a minimum of 20 beyond the property boundary, as depicted on our appended cross-section A-A' (Ref: 104322-G610),
- Presence of a cemented sand layer between depths of 0.60m and 2.0m BEGL, and
- Lack of groundwater evidence within our HA's,

we perceive the risk of deep-seated global instability impacting the proposed development area to be significantly low.

In the long-term, provided that all of the recommendations within this report, or subsequent revisions, are adhered to, then we do not anticipate any significant risk of instability either within, or immediately beyond, the proposed development area.

8.2. LIQUEFACTION ASSESSMENT

Liquefaction is a natural phenomenon whereby prolonged seismic shaking induces an increase in pore water pressure, which in turn decreases the effective stress of silt/fine sand-like soil deposits. Excess pore water pressure (EPWP) can build to such an extent that the effective stress of the underlying soil is reduced to near zero, whereby the soils no longer carry shear strength and behave as a semi solid/fluid. In such a scenario, excess pore water pressures will follow the path of least resistance to eventual dissipation, which can lead to the migration of liquefied soils towards the surface, or laterally towards a free-face (edge of slope, riverbank, etc.) or layers that have not yet undergone liquefaction. Examples of these phenomena were experienced in Christchurch and the greater Canterbury Region during the Canterbury Earthquake Sequence between 2010-2011.

At the time of preparing this report, we note that the FNDC on-line GIS Liquefaction Vulnerability Map indicates that the property lies within an 'Unlikely' and 'Undetermined' transition zone.

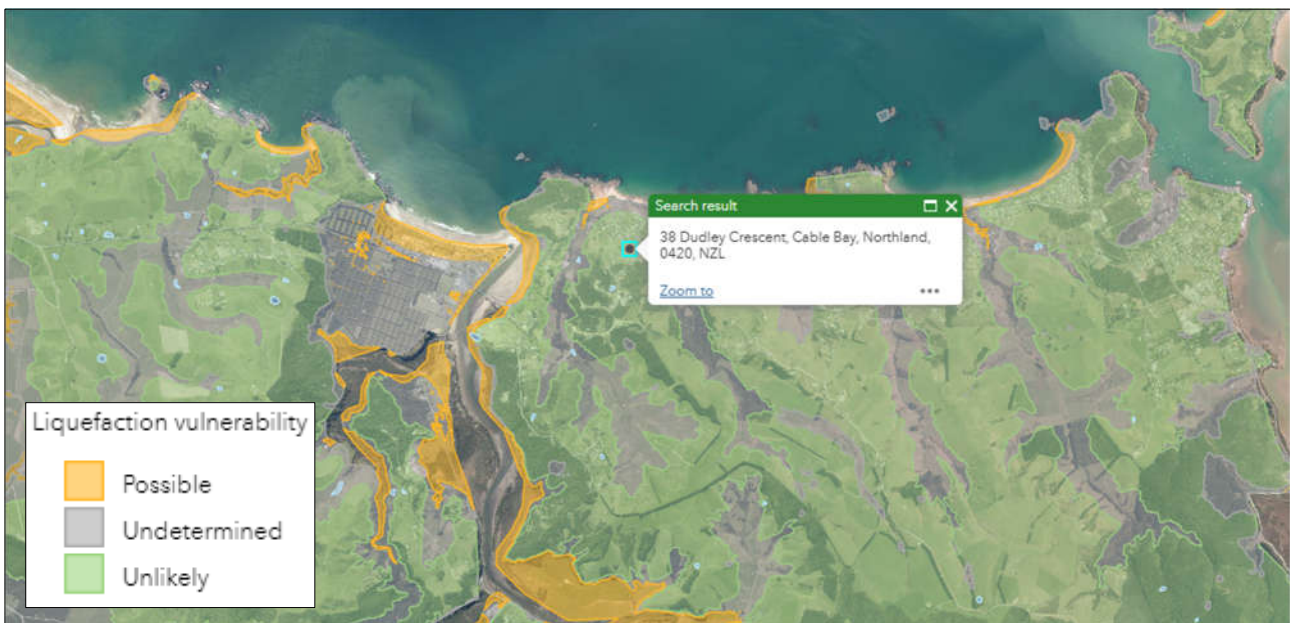


Figure 8: Screenshot aerial view from the FNDC on-line GIS Liquefaction Vulnerability Map. Property boundary is highlighted in cyan.

A screening procedure based on geological criteria was adopted to examine whether the proposed development might be susceptible to liquefaction, with observations as follows:

- There are no known active faults traversing through the property or wider surrounding land,
- There is no historical evidence of liquefaction at the property,
- The proposed development area is situated within an elevated location, set no less RL50m NZVD, with good water shedding characteristics down to the east,
- Presence of a cemented sand layer, described as "Partly consolidated sandstone and mudstone of high terraces", between depths of 0.60m and 2.0m BEGL,
- Lack of groundwater evidence within our HA's, and
- More deeply, the subsoils beneath the development area are initially underlain by Undifferentiated Tangihua Complex Basalt in Northland Allochthon deposits, being 56 to 146 million years in age, allowing for adequate consolidation in comparison to younger, Holocene age material (10,000 years).

Based on the above, we conclude that the subsoils beneath the proposed development area have a negligible risk of liquefaction susceptibility and liquefaction damage is therefore considered to be unlikely.

9. CONCLUSIONS AND RECOMMENDATIONS

On the basis of the above findings, we consider that the risk of moderate to deep-seated slope instability impacting the development area to be significantly low, provided all recommendations contained within our report are implemented in design and construction.

With regard to the Building Act 2004; Sections 71-72, we believe on reasonable grounds that:

- i. The current proposed site development and associated building work within the relayed building platforms should not accelerate, worsen, or result in slippage or subsidence on the land on which the building work is to be carried out or any other property, and
- ii. The land beneath the building footprints and surrounding immediate amenity areas of the relayed building platforms are neither subject nor likely to be subject to slippage or subsidence, provided the development is undertaken in accordance with the recommendations and guidance of this report.

9.1. FOUNDATIONS

The client has advised that the new dwelling will be found on a timber subfloor, suspended on bored, concrete encased, tanalised timber pile/pole foundations. The detached garage is likely to be of proprietary-type design and found on a concrete floor slab.

Although the FFL for both structures is currently unknown, the client has advised that at its deepest point, across the eastern end of the building site, the dwelling FFL may be up to 3.0m above finished ground levels.

All existing non-engineered fill and buried topsoil deposits encountered across the eastern and southern ends of the proposed development area are assessed as unsuitable founding materials for foundations. All footings must bypass all existing fill and buried topsoil deposits and be sufficiently embedded into competent natural ground. Additionally, it is recommended all such deposits are removed from the garage floor slab and replaced with engineered hardfill.

9.1.1. SHALLOW FOUNDATION BEARING CAPACITY

The following bearing capacity values are considered to be appropriate for the design of shallow foundations, subject to founding directly within or on competent natural ground, for which careful Geo-Professional inspections of the subgrade should be undertaken to check that underlying ground conditions are in keeping with our expectations:

Geotechnical Ultimate Bearing Capacity	300 kPa
ULS Dependable Bearing Capacity ($\Phi=0.5$)	150 kPa

When finalising development proposals, it should be checked that all foundations lie outside 45° envelopes rising up from 0.50m below the invert of service trenches and adjacent retaining walls, unless such foundation details are found by specific engineering design (SED) to be satisfactory. Deeper foundation embedment's will be required for any surcharging foundations.

During inspections, it is important to exercise caution to verify that the natural ground meets the recommended bearing capacity mentioned in this report. This is crucial for preserving structural integrity.

9.1.2. POLE FOUNDATION BEARING CAPACITY

If the pole foundations are to be deeper than 4 times the diameter of the drilled concrete collar to ensure cantilever embedment action, then the following bearing capacity values are considered to be appropriate for the design of such foundations, subject to founding directly within or on competent natural ground, which competency should be confirmed by careful Geo-Professional inspections of the subgrade prior to material placement:

Geotechnical Ultimate Bearing Capacity	900 kPa
ULS Dependable Bearing Capacity ($\Phi=0.5$)	450 kPa

9.1.3. SHALLOW FOUNDATIONS ON EXPANSIVE SOILS

The building site is underlain by a 0.40m to 0.80m thin cap of medium dense sandy silt and slightly silty, fine to medium sand, overlying dense to very dense, fine to medium sand and cemented sand at depth.

Based on the above, it is generally envisaged that non-cohesive founding materials will be present at foundation embedment levels and as such, we classify subsoils beneath the proposed development area as Class A (Non-Expansive), as defined in clause 7.5.13.1.2, and introduced to NZS3604 by Amendment 19 of NZBC Structure B1/AS1.

We recommend all pile/pole, strip and pad footings are embedded a minimum of 0.40m below finished ground levels and 0.30m into competent natural ground or engineered hardfill, whichever is deeper.

If any underlying Undifferentiated Tangihua Complex Basalt in Northland Allochthon derived, cohesive silts and clays are exposed at foundation embedment levels, WJL must be contacted for review and/or advice.

9.1.4. NZS1170.5:2004 SITE SUBSOIL CLASSIFICATION

We consider the proposed development area to be underlain with a Class C – Shallow Soil stratigraphy.

9.2. SITE EARTHWORKS

The client intends to cut the western portion of the development area, with some levelling fills possibly required for the garage floor slab. Additionally, the client wishes to construct an approximate 0.60m high retaining wall along the southern boundary and level the area for amenity purposes. As part of this work, the client may need to install a riser to the wastewater service connection.

Generally, and as directed by a suitably experienced engineer, all earthworks should be undertaken in accordance with the following standards:

- NZS4431:2022 “Code of Practice for Earth Fill Residential Development”,
- Section 2 “Earthworks & Geotechnical Requirements” of NZS4404:2010 “Land Development and Subdivision Infrastructure”, and
- Chapter 2 “Site Development Suitability (Geotechnical and Natural Hazards” of the Far North District Council Engineering Standards, (Version 0.6 issued May 2023).

9.3. SITE PREPARATION

The competency of the exposed subgrade at the invert of all footings and across the garage floor slab should be confirmed by a Geo-Professional. We recommend the stripping of all vegetation, topsoil, and any non-engineered fill deposits encountered across the garage floor slab, prior to requesting Geo-Professional inspection(s) of the stripped ground to confirm that the underlying natural subgrade conditions are in keeping with the expectations of this report. Without such inspections being undertaken, a Chartered Professional Geotechnical Engineer is unable to issue a Producer Statement - PS4 – Design Review which could result in the failure to meet Building Consent requirements as set by Council as conditions of consent.

9.4. SUBGRADE PROTECTION

The subgrade beneath the garage floor slab should not be exposed for any prolonged period and should be covered with a 0.10m thick layer of granular fill such as GAP40 basecourse, as soon as possible.

If subgrade degradation occurs by:

- Excessive drying out resulting in desiccation shrinkage cracking, it will be necessary to either re-hydrate the subgrade or undercut the degraded material and replace with compacted hardfill, or
- Excessive subgrade softening after a period of wet weather resulting in weakened soils, it will be necessary to undercut the degraded material and replacement with compacted hardfill.

It is also worth noting that the interface of exposed sand materials may be disturbed by construction machinery and any remnant deposits will likely require comprehensive hardfill confinement to achieve compaction.

All footing inverts should be poured as soon as possible once inspected by a Geo-Professional or covered with a protective layer of site concrete.

9.5. HARDFILL COMPACTION

Engineered hardfill should be used for all fills beneath the garage floor slab. The compaction of hardfill should be undertaken using either a heavy plate compactor or a steel wheeled roller with low frequency dynamic compaction. Hardfill layers should not exceed 0.15m at a time, and where the total depths exceed 0.60m, there is likely to be a Building Consent condition for observation/testing of the hardfill by a Geo-Professional. We recommend achieving the following compacted target values, with equivalence testing using either a Clegg Impact Hammer or DCP.

Foundation Support Type	CBR	Equivalent Clegg Impact Value (CIV)	Equivalent DCP-Scala Penetrometer Blows
Foundation Footings & Beams (Over a depth of no less than twice the foundation width)	≥ 10%	Minimum 20 Average 25	≥5 blows/100mm (NZS3604)
Floor Slabs	≥ 7%	Minimum 18 Average 20	≥3.5 blows/100mm (NZS3604)

9.6. TEMPORARY & LONG-TERM EARTHWORK BATTERS

Due to the potential for surface water to ‘perch’ on top of the cemented sands, we recommend that earthworks only be undertaken during prolonged periods of dry forecast conditions.

During times of inclement weather, earthwork sites should be shaped to assist in stormwater run-off. The toe of any batter excavations should be shaped to avoid ponding water, as saturating site soils could result in a reduction of bearing capacities.

All cuts up to a height of 0.60m should be battered no steeper than 1V:3H (18°). All cuts outside these imposed limits should be referred to WJL for review and will likely require support by a SED retaining wall.

All fills up to a height of 0.30m beneath the garage floor slab should either be appropriately buttressed with landscape fill (see below) or be supported by a SED retaining structure or deepened edge beam.

It is our understanding that all landscape fills, up to a height of approximately 0.60m, are to be supported by a SED retaining wall along the southern boundary. If this assumption changes, WJL must be contacted prior to the commencement of construction works. As part of this work, the client may need to install a riser to the wastewater service connection.

The structural designer and building contractor should ensure that a satisfactory FoS against ground instability is available at all stages of the development.

9.7. RETAINING WALL DESIGN

For the design of cantilever and/or flexible retaining walls that can deform sufficiently to mobilize active pressures (i.e., timber pole retaining walls not supporting critical structures and/or long-term traffic loads), we recommend calculating coefficients of active lateral earth pressure (K_a).

For stiff, inflexible retaining walls, which are unable to deflect sufficiently to generate active earth pressures (i.e. concrete and/or masonry retaining walls supporting building loads and/or driveways/car-parking areas), we recommend calculating coefficients of at-rest lateral earth pressure (K_o).

The approximate 0.60m high landscape retaining wall along the southern boundary should also account for the up to approximately 1.0m of existing non-engineered fill and any surcharging of the gravity main wastewater line that trends parallel to the southern boundary, slightly within the property confinements

We recommend assuming the following soils parameters for retaining wall design:

Soil Parameters	Awhitu Group Alluvium
Unit Weight, γ (kN/m ³)	18
Friction Angle, ϕ' (°)	28
Undrained Shear Strength (S_u)	60

*For the calculation of pole embedment depths, the Broms method as specified in B1/VM4 may be used provided that depths are not less than 4 pile diameters, for which the above stated undrained shear strength value may be assumed, provided an appropriate strength reduction factor is applied and is subject to confirmation by Engineering inspection during construction.

To the above figures, please apply an appropriate strength reduction factor for satisfying Ultimate Limit State conditions. Furthermore, the above figures make no allowances for any surcharges, be they ground slopes and/or applied loads, and hence, all retaining wall designs should also accommodate all anticipated upslope surcharges. Additionally, reduced toe support by existing or proposed excavations and/or slopes must be taken into consideration.

To avoid build-up of hydrostatic pressures, retaining walls must be constructed with appropriate behind-wall drainage comprising:

- A perforated drain coil wrapped in filtersock, located at the base of the walls, connected into an approved stormwater disposal system,
- Followed by backfilling behind all retaining walls lightly tamped, free draining granular backfill, such as scoria or 40/20 blue chip, extending up to within 0.30m of their full height with material.

9.8. GENERAL SITE WORKS

We stress that all works should be undertaken in a careful and safe manner so that Health & Safety is not compromised, and that suitable Erosion & Sediment control measures should be put in place. Any stockpiles placed should be done so in an appropriate manner so that land stability and/or adjacent structures are not compromised.

Furthermore:

- All works must be undertaken in accordance with the Health and Safety at Work Act 2015,
- Any open excavations should be fenced off or covered, and/or access restricted as appropriate,
- **The location of all services should be verified at the site prior to the commencement of construction.**
- The Contractor is responsible at all times for ensuring that all necessary precautions are taken to protect all aspects of the works, as well as adjacent properties, buildings and services, and
- Should the contractor require any site-specific assistance with safe construction methodologies, please contact WJL for further assistance.

10. STORMWATER CONTROL

Uncontrolled stormwater flows must not be allowed to run onto or over site slopes, or to saturate the ground, so as to adversely affect foundation conditions.

All stormwater runoff from new roof and paved areas should be collected in sealed pipes and be discharged to a stable disposal point that is well clear of the building site.

Under no circumstances should concentrated overflows from any source be discharged into or onto the ground in an uncontrolled fashion.

11. UNDERGROUND SERVICES

Wastewater and stormwater main and service lines are present across the southern perimeter of the property. Additional underground services, public or private, mapped, or unmapped, of any type may be present, hence we recommend staying on the side of caution during the commencement of any work within the proposed development area.

12. FUTURE CONSTRUCTION MONITORING

The foregoing statements are Professional Opinion, based on a limited collection of information, some of which is factual, and some of which is inferred. Because soils are not a homogeneous, manufactured building component, there always exists a level of risk that inferences about soil conditions across the greater site, which have been drawn from isolated “pin-prick” locations, may be subject to localized variations. Generally, any investigation is deemed less complete until the applicability of its inferences and the Professional Opinions arising out of those are checked and confirmed during the construction phase, to an appropriate level.

It is increasingly common for the Building Consent Authorities to require a Producer Statement – Construction (PS4) which is an important document. The purpose of the PS4 is to confirm the Engineers’ Professional Opinion to the BCA that specific elements of construction, such as the verification of design assumptions and soil parameters (NZBC clause B1/VM4 2.0.8), are in accordance with the approved Building Consent and its related documents, which should include the subject Geotechnical Report. Where site works will involve the placement of fill, the PS4 should reference NZBC clause B1/VM1 10.1.

For WJL to issue a PS4 to meet the above clauses of the NZBC, we will need to carry out the site inspections as per the Building Consent and Council requirements.

We require at least 48 hours’ notice for site inspections.

Site inspections should be undertaken by a Chartered Professional Geotechnical Engineer or their Agent, who is familiar with both this site and the contents of this Geotechnical Report.

Prior to works commencement, the above Engineer should be contacted to confirm the construction methodologies, inspection, and testing frequency.

The primary purpose of the site inspections is to check that the conditions encountered are consistent with those expected from the investigations and adopted for the design as discussed herein. If anomalies or uncertainties are identified, then further Professional advice should be sought from the Geo-Professional, which will allow the timely provision of solutions and recommendations should any engineering problems arise.

Upon satisfactory completion of the above work aspects, WJL would then be in a position to issue the PS4 as required by Council.

At this time, the following Geotechnical site inspections and testing should include, but are not limited to:

- Site cut,
- Pre-pour retaining wall footing excavations,
- Hardfill compaction testing, and
- Pre-pour pile/pole, strip and pad footing excavations.

13. LIMITATIONS

We anticipate that this report is to be submitted to Council in support of a Building Consent application.

This report has been commissioned solely for the benefit of our client, **Coastal Homes (2008) Ltd**, in relation to the project described herein, and to the limits of our engagement, with the exception that the local Territorial Authority may rely on it to the extent of its appropriateness, conditions and limitations, when issuing the subject consent. Any variations from the development proposals described herein as forming the basis of our appraisal should be referred to us for further evaluation. Copyright of Intellectual Property remains with WJL, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants, or agents, in respect of any other geotechnical aspects of this site, nor for its use by any other person or entity, and any other person or entity who relies upon any information contained herein does so entirely at their own risk. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.

The recommendations provided in this geotechnical report are in accordance with the findings from our shallow investigation. However, it is important to acknowledge that additional refinement of the investigation and analysis may be necessary to meet the specific requirements set by the local council.

Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary and does not remove the necessity for the normal inspection of site conditions and the design of foundations as would be made under all normal circumstances.

Thank you for the opportunity to provide our service on this project, and if we can be of further assistance, please do not hesitate to contact us.

Yours faithfully,

WILTON JOUBERT LIMITED

Enclosures:

Site Plan (1 sheet)
Cross-section A-A' (1 sheet)
Hand Auger Borehole Records (4 sheets)
Dynamic Cone – Scala Penetrometer Test Records (1 sheet)
Construction Monitoring (1 sheet)



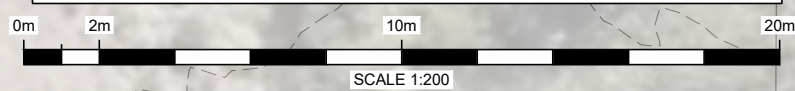
SITE LOCATION

IMAGE SOURCE:
FAR NORTH DISTRICT COUNCIL LOCAL MAPS



SYMBOL KEY	
	HA HAND AUGER LOCATIONS
	A G610 CROSS SECTION LOCATION
	DCP01 DCP LOCATION

- GENERAL NOTES**
1. SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
 2. BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
 3. ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.



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ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
A	MAY '25	SJP	ISSUED WITH GEOTECHNICAL REPORT

DESIGNED BY: SJP
DRAWN BY: GMB
CHECKED BY: SJP
SURVEYED BY: N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

GEOTECHNICAL

DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
SITE PLAN

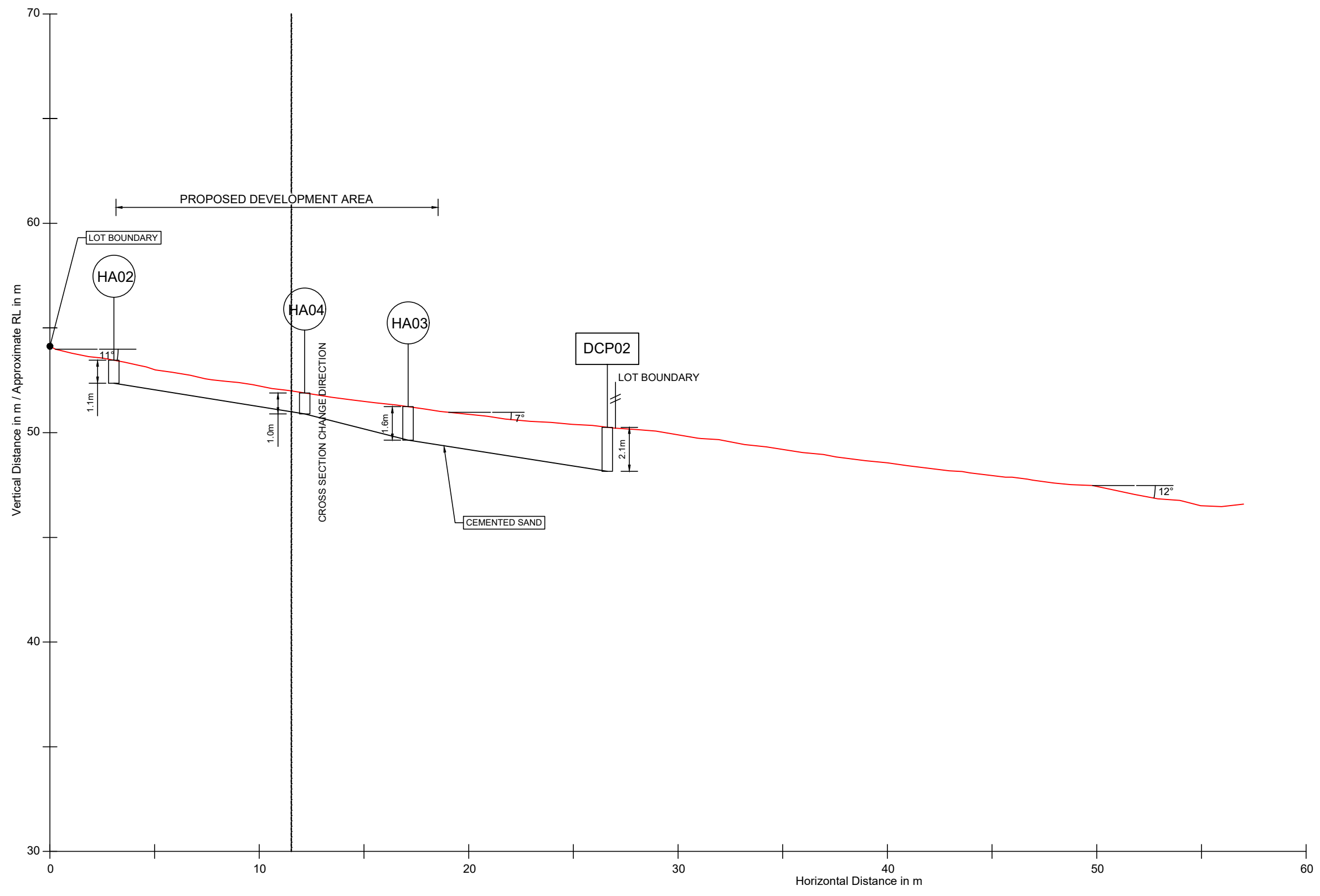
PROJECT DESCRIPTION:
PROPOSED DWELLING & SHED

PROJECT TITLE:
**LOT 23 DP 384236
38 DUDLEY CRESCENT
CABLE BAY
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: KERIKERI
DRAWING SCALE: 1:200	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 140322-G600	ISSUE: A
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A
WEST

A
EAST



WILTON JOUBERT
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ISSUE / REVISION			
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GEOTECHNICAL

DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
CROSS SECTION A-A'

PROJECT DESCRIPTION:
PROPOSED DWELLING & SHED

PROJECT TITLE:
**LOT 23 DP 384236
38 DUDLEY CRESCENT
CABLE BAY
NORTHLAND**

ORIGINAL DRAWING SIZE: A3	OFFICE: KERIKERI
DRAWING SCALE: 1:200	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 140322-G610	ISSUE: A
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HAND AUGER : HA01

JOB NO.: 140322 SHEET: 1 OF 1

START DATE: 20/05/2025

NORTHING:

GRID:

DIAMETER: 50mm

EASTING:

SV DIAL:

ELEVATION: Ground

FACTOR:

DATUM:

CLIENT: Coastal Homes (2008) Ltd
PROJECT: New Dwelling & Garage
SITE LOCATION: 38 Dudley Crescent, Cable Bay

STRATIGRAPHY	SOIL DESCRIPTION	LEGEND	DEPTH (m)	WATER	SHEAR VANE				COMMENTS, SAMPLES, OTHER TESTS
					PEAK STRENGTH (kPa)	REMOULD STRENGTH (kPa)	SENSITIVITY	DCP - SCALA (Blows / 100mm)	
Topsoil	Sandy TOPSOIL, dark brown, wet.		0.0 - 0.1	Groundwater Not Encountered				1	
			0.1 - 0.2					1	
Awhitu Group Alluvium	NATURAL: Sandy SILT, dark brown and brown with occasional grey, orange and black mottles, medium dense, moist.		0.2 - 0.4					4	
			0.4 - 0.5					5	
			0.5 - 0.6					5	
	Slightly Silty Fine to Medium SAND, dark brown and grey, medium dense, moist.		0.6 - 0.6					20+	
	EOH: 0.60m - Refusal (Cemented Sand)		0.6 - 2.4						

REMARKS

End of borehole @ 0.60m (Target Depth: 3.00m)

NZGS Definition of Relative Density for Coarse Grain soils: VL - Very Loose; L - Loose; MD - Medium Dense; D - Dense; VD - Very Dense

LOGGED BY: SJP

▼ Standing groundwater level

CHECKED BY: ANA

▽ GW while drilling



185 Waipapa Road, Kerikeri 0295
Phone: 08-945 4188
Email: jobs@wj.com.nz
Website: www.wiltonjoubert.co.nz

HAND AUGER : HA02

JOB NO.: 140322 SHEET: 1 OF 1

START DATE: 20/05/2025 NORTHING: GRID:

DIAMETER: 50mm EASTING:

SV DIAL: ELEVATION: Ground

FACTOR: DATUM:

CLIENT: Coastal Homes (2008) Ltd

PROJECT: New Dwelling & Garage

SITE LOCATION: 38 Dudley Crescent, Cable Bay

STRATIGRAPHY	SOIL DESCRIPTION	LEGEND	DEPTH (m)	WATER	SHEAR VANE				COMMENTS, SAMPLES, OTHER TESTS
					PEAK STRENGTH (kPa)	REMOLD STRENGTH (kPa)	SENSITIVITY	DCP - SCALA (Blows / 100mm)	
Topsoil	Sandy TOPSOIL, dark brown, wet.		0.0 - 0.1	Groundwater Not Encountered				0.5	
			0.1 - 0.2					0.5	
Awhitu Group Alluvium	NATURAL: Sandy SILT, dark brown and brown with occasional grey, orange and black mottles, medium dense, moist.		0.2 - 0.3					3	
			0.3 - 0.4					4	
			0.4 - 0.5					4	
			0.5 - 0.6					3	
			0.6 - 0.7					4	
			0.7 - 0.8					3	
	Slightly Silty Fine to Medium SAND, dark brown and grey, medium dense, moist.		0.8 - 0.9					3	
			0.9 - 1.0					10	
	Fine to Medium SAND, white, dense, moist.		1.0 - 1.1				20+		
	EOH: 1.10m - Refusal (Cemented Sand)		1.1 - 1.2						
			1.2 - 1.3						
			1.3 - 1.4						
			1.4 - 1.5						
			1.5 - 1.6						
			1.6 - 1.7						
			1.7 - 1.8						
			1.8 - 1.9						
			1.9 - 2.0						
			2.0 - 2.1						
			2.1 - 2.2						
			2.2 - 2.3						
			2.3 - 2.4						
			2.4 - 2.5						

REMARKS
 End of borehole @ 1.10m (Target Depth: 3.00m)

NZGS Definition of Relative Density for Coarse Grain soils: VL - Very Loose; L - Loose; MD - Medium Dense; D - Dense; VD - Very Dense

LOGGED BY: SJP ▼ Standing groundwater level

CHECKED BY: ANA ▽ GW while drilling



WILTON JOUBERT
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HAND AUGER : HA03

JOB NO.: 140322 SHEET: 1 OF 1

START DATE: 20/05/2025

NORTHING:

GRID:

DIAMETER: 50mm

EASTING:

SV DIAL:

ELEVATION: Ground

FACTOR:

DATUM:

CLIENT: Coastal Homes (2008) Ltd

PROJECT: New Dwelling & Garage

SITE LOCATION: 38 Dudley Crescent, Cable Bay

STRATIGRAPHY	SOIL DESCRIPTION	LEGEND	DEPTH (m)	WATER	SHEAR VANE				COMMENTS, SAMPLES, OTHER TESTS
					PEAK STRENGTH (kPa)	REMOULD STRENGTH (kPa)	SENSITIVITY	DCP - SCALA (Blows / 100mm)	
Topsoil	TOPSOIL, dark brown, wet.		0.0 - 0.1	Groundwater Not Encountered				0.5	
			0.1 - 0.2					0.5	
FILL	NON-ENGINEERED FILL: Slightly Sandy SILT, minor clay, brown, dark brown and grey with orange mottles, medium dense, moist. 0.5m: Becoming dense. 0.8m: Becoming medium dense.		0.2 - 0.3					3	
			0.3 - 0.4					6	
			0.4 - 0.5					10	
			0.5 - 0.6					10	
			0.6 - 0.7					10	
			0.7 - 0.8					6	
			0.8 - 0.9					4	
			0.9 - 1.0					4	
			1.0 - 1.1					3	
			1.1 - 1.2					4	
Awhitu Group Alluvium	NATURAL: Sandy SILT, dark brown and brown with occasional grey, orange and black mottles, medium dense, moist. Slightly Silty Fine to Medium SAND, dark grey and grey, dense, moist. Fine to Medium SAND, white, dense, wet.		1.2 - 1.3					7	
			1.3 - 1.4					8	
			1.4 - 1.5					8	
			1.5 - 1.6					11	
EOH: 1.60m - Refusal (Cemented Sand)			1.6 - 1.7					12	
			1.7 - 1.8					9	
			1.8 - 1.9					20	
			1.9 - 2.0					20+	
			2.0 - 2.1						
			2.1 - 2.2						
			2.2 - 2.3						
			2.3 - 2.4						

REMARKS

End of borehole @ 1.60m (Target Depth: 3.00m)

NZGS Definition of Relative Density for Coarse Grain soils: VL - Very Loose; L - Loose; MD - Medium Dense; D - Dense; VD - Very Dense

LOGGED BY: SJP

▼ Standing groundwater level

CHECKED BY: ANA

▽ GW while drilling



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HAND AUGER : HA04

JOB NO.: 140322 SHEET: 1 OF 1

START DATE: 20/05/2025

NORTHING:

GRID:

DIAMETER: 50mm

EASTING:

SV DIAL:

ELEVATION: Ground

FACTOR:

DATUM:

CLIENT: Coastal Homes (2008) Ltd

PROJECT: New Dwelling & Garage

SITE LOCATION: 38 Dudley Crescent, Cable Bay

STRATIGRAPHY	SOIL DESCRIPTION	LEGEND	DEPTH (m)	WATER	SHEAR VANE				COMMENTS, SAMPLES, OTHER TESTS
					PEAK STRENGTH (kPa)	REMOULD STRENGTH (kPa)	SENSITIVITY	DCP - SCALA (Blows / 100mm)	
Topsoil	TOPSOIL, dark brown, wet.		0.0 - 0.1	Groundwater Not Encountered				0.5	
			0.1 - 0.2					0.5	
FILL	NON-ENGINEERED FILL: Slightly Clayey SILT, brown, grey and orange, very stiff, moist, no to low plasticity.		0.2 - 0.3					5	
			0.3 - 0.4					4	
			0.4 - 0.5					4	
Topsoil	BURIED TOPSOIL, dark brown, loose, moist.		0.5 - 0.6					2	
Awhitu Group Alluvium	NATURAL: Slightly Silty Fine to Medium SAND, dark brown and grey, medium dense, moist.		0.6 - 0.8					4	
	Fine to Medium SAND, white, dense, wet.		0.8 - 1.0					10	
			1.0 - 1.0					20+	
	EOH: 1.00m - Refusal (Cemented Sand)		1.0 - 2.4						

REMARKS

End of borehole @ 1.00m (Target Depth: 3.00m)

NZGS Definition of Relative Density for Coarse Grain soils: VL - Very Loose; L - Loose; MD - Medium Dense; D - Dense; VD - Very Dense

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Construction Monitoring Services

Northland, Auckland-Waikato, Canterbury, Southern Lakes

Need a PS4?

- Please read the conditions of your Building Consent to determine which section of the works Council wants an engineer to sign off on.
- Book an inspection with Wilton Joubert Ltd or with a suitable qualified engineer.
- Have the Consent documents on site at the time of the inspection
- Be sure to verify both the grounding conditions (soil parameters) as well as the structural elements of works in question
- If in doubt what to get inspected please clarify with Council.

Producer Statements 4 - Construction Review Documents (PS4's) relates to Building Consents (BC) only, not Resource Consents (RC), unless there is an element of the RC which requires a BC, e.g. a retaining wall needed to develop a subdivision.

In soils, RC's are usually verified with a "Statement of Professional Opinion as to Suitability for Building Development", or variations on that title.

CONSTRUCTION MONITORING SERVICES

Construction monitoring refers to the physical inspection of selective components of the design or works as required by Council and as specified in the Consented documents. It is up to the Consent holder to read the special conditions set out by Council and arrange for the required inspections to be done. No PS4 can be issued without the physical inspection of works and sighting of Consented plans either by the design engineer, his representative, or another qualified engineer. (download PDF with more info via our website)

It is also important to note that, more often than not, there are two physical components that needs verification:

1. Geotechnical or grounding Conditions –referring to the strength or bearing capacity of the soil
2. Structural Components – verify that works are done as per design and in accordance with the consented plans.

To complicate matters there can be multiple engineers that might be engaged on the same site:

- Civil Engineer – To do storm water and wastewater designs
- Geotechnical Engineer – to do a Geotech report and specificity soil parameters as required
- Structural Engineer – to design structural components such as retaining walls, raft floors, beams and so on.

In cases where engineers from different companies are appointed it is important to make sure all the required boxes are ticked as not to complicate matters when it comes to the issuing of all the relevant PS4's.

Note: sites in the Auckland area might requires multiple PS4's for the same component (e.g. a raft floor requires a Geotechnical Engineer to verify the bearing capacity of the platform and a Structural engineer needs to verify the structural components are according to the design.

Not to mention a Council inspection is also required on the same floor to verify position, plumbing and so on.

In Summary:

- Read the conditions as laid out in the Consent documents to which elements of the design requires a PS4's from the design engineer.
- Have Consented plans on site during inspection time
- Book inspections ahead of time (a minimum of 48 hours in advanced)
- Ensure both grounding conditions as well as structural components are inspected. In some cases, this might mean two separate inspections if different engineers are involved.
- If you have any further questions, feel free to contact us at any time during business hours.



Construction Monitoring Enquiries

Email: jobs@wjl.co.nz

or scan QR code to visit our website