

# Application for change or cancellation of resource consent condition (S.127)

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☒ Yes ☐ No

If yes, who have you spoken with? Email exchanges with Whitney Peat - Team Leader Resource Consents

## 2. Type of Consent being applied for

☒ Change of conditions (s.127)

## 3. Consultation:

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

*For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)*

## 4. Applicant Details:

Name/s:

Warren Fraser

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Office Use Only  
Application Number:

## 5. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Lynley Newport

Email:

Phone number:

Postal address:

(or alternative method of  
service under section 352  
of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

## 6. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates  
(where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

as per item 4

Property Address/  
Location:

Postcode

## 7. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

as per item 4

Site Address/  
Location:

Legal Description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☒ Yes ☐ No

Is there a dog on the property? ☒ Yes ☐ No

### 7. Application Site Details (continued)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details.

*This is important to avoid a wasted trip and having to re-arrange a second visit.*

Gate code required, please call Warren on 021 444 585

### 8. Detailed description of the proposal:

This application relates to the following resource consent: **RC2230414-RMALUC**

Specific conditions to which this application relates:

Condition 1;  
Condition 2.

Describe the proposed changes:

Condition 1 updated to reflect updated plans for amended building consent;  
Condition 2 updated to reflect updated Stormwater Management Report for same.

### 9. Would you like to request Public Notification?

☐ Yes ☒ No

### 10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

☒ Building Consent **EBC-2023-132/0/Ae (if known)**

☐ Regional Council Consent (ref # if known) **Ref # here (if known)**

☐ National Environmental Standard consent **Consent here (if known)**

☐ Other (please specify) **Specify 'other' here**

### 11. Assessment of Environmental Effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties (including consultation from iwi/hapū).*

Your AEE is attached to this application ☒ Yes



## 12. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☒ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No

## 13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full) Warren Fraser Trust

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

### Fees Information:

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees:

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Warren Fraser

Signature: (signature of bill payer)



## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive

information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Warren Fraser

Signature:

### Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☐ Details of your consultation with Iwi and hapū
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to chapter 4 (Standard Provisions) of the Operative District Plan for details of the information that must be provided with an application. This contains more helpful hints as to what information needs to be shown on plans.





Our Reference: 10460.s127 (FNDC)

18 July 2025

Resource Consents Department  
Far North District Council  
JB Centre  
KERIKERI

Dear Sir/Madam

**RE: RC 2230414-RMALUC - Proposed Minor Variation to plans and impermeable surface, at 45 Riverview Road, Kerikeri – Warren Fraser**

I am pleased to submit application on behalf of Warren Fraser, for a minor variation to conditions of RC 2230414-RMALUC, for dwelling alterations at 45 Riverview Road, Kerikeri. The application is a discretionary activity.

The application fee of \$704 has been paid separately via direct credit.

Regards

Lynley Newport  
**Senior Planner**  
**THOMSON SURVEY LTD**

## Warren Fraser

45 Riverview Road, KERIKERI

# APPLICATION FOR A CHANGE OF CONSENT CONDITIONS TO RC 2230414-RMALUC PURSUANT TO s127 OF RMA

Thomson Survey Ltd  
Kerikeri

## 1.0 INTRODUCTION

### 1.1 Background

The applicant has recently applied to the Far North District Council for a Building Consent relating to renovations to his dwelling at 45 Riverview Road. The renovations were consented in RC 2230414-RMALUC, issued in April 2023, a copy of which is attached in Appendix 1. EBC-2023-132/0 was processed. However, the consent holder has now lodged amended plans because they want to change the first floor deck and aluminium louvre roof to a ground floor rumpus room and first floor dining room. This results in:

- (a) Amended plans to those consented; and
- (b) An increased amount of impermeable surface to that consented (6.5m<sup>2</sup> increase).

The consent holder's building consent agent approached the Council to ascertain whether the Council was satisfied that the amendments were still sufficiently in accordance with the existing consent on order that the amended building consent could proceed. A copy of the amended plans submitted with EBC-2023-132/0/A is attached in Appendix 2.

The response from the Council was that condition 1 of RC 2230414 used the words "in accordance with" as opposed to "in general accordance with" and as such Council has issued a Form 4 stating that a Variation consent is required. A copy of that Form 4 is attached in Appendix 3.



## 1.2 Scope of this Report

This assessment and report accompanies the application for a change to conditions (s127) and is regarded as a **discretionary** activity. The information provided in this assessment and report is considered commensurate with the scale and intensity of the activity for which consent is being sought. I regard the changes to be minor. This application is supported by an updated Stormwater Management Report prepared by PK Engineering and attached in Appendix 4 to this application.

## 2.0 PROPERTY DETAILS

Location: 45 Riverview Road, Kerikeri. Location map attached in Appendix 5.

Title & Legal description: NA20A/1099; Lot 1 DP 63404 – see Appendix 6.

## 3.0 CHANGES REQUESTED & EXPLANATION

**Amend condition 1 to reflect alterations to plans, as follows:**

1. The activity shall be carried out in general accordance with the approved plans prepared by ~~Permit Shop~~ Total Design Building and Landscape Design, referenced Proposed Additions and Alterations to Existing Dwelling House dated 21.09.2023 01.07.2025 and attached to this consent with the Council's "Approved Stamp" affixed to them:
  - ~~Existing and Proposed Site Plan, Sheet 1.2~~
  - ~~Roof Plan – Level 1, sheet 1.9~~
  - ~~North Elevations, sheet 2.1~~
  - ~~South Elevations, sheet 2.2~~
  - ~~West Elevations, sheet 2.3~~
  - ~~East Elevations, sheet 2.4~~
  - Site Plan, Drawing No 1;
  - Proposed Ground Floor Plan, Drawing No 2;
  - Proposed First Floor Plan, Drawing No 3;
  - Elevations, Drawing No 4;
  - West Elevation, Foundation Plan, Drawing No 5.

### Explanation:

The addition of the word "general" is at the suggestion of the Council, in email dated 8<sup>th</sup> July 2025 (from Council Team Leader – Resource Consents, Whitney Peat). The remaining amendments reflect the updated plans, prepared by Total Design.

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**Amend condition 2 as follows:**

*Within three months of completion of the renovation work, the stormwater system shall be constructed in general accordance with the Stormwater Management Report by PK Engineering (reference 21—085, dated February 2023, and amended REV 2 July 2025). The soakage pit is required to be kept clear and maintained on an ongoing basis to ensure full efficiency.*

Explanation:

The above minor change reflects the update to the Stormwater Management report.

No other changes are requested.

## **4.0 STATUTORY REQUIREMENTS**

Applications for changes to consent conditions are lodged pursuant to s127. Pursuant to clause 127(3)(a), the application for a change to consent conditions is a **discretionary activity** application.

Sections 88 to 121 of the Act apply, and the following planners report and Assessment of Environmental Effects is offered pursuant to the requirements of those relevant sections of the Act.

## **5.0 s104 CONSIDERATIONS**

S104 of the Act requires a consent authority to consider any actual and potential effects on the environment resulting from the change; and any relevant provisions of

- (i) A national environmental standard;
- (ii) Other regulations;
- (iii) A national policy statement;
- (iv) A NZ Coastal Policy Statement;
- (v) A regional policy statement;
- (vi) A plan or proposed plan.

### **5.1 Assessment of Environmental Effects**

When considering the effects under a s127 application, it is only the effects of the changes being sought that need be assessed and considered. As such, this assessment of environmental effects does not re-visit or repeat that provided for the processing of the original application.

The main 'change' is the proposed slight increase in impermeable surface coverage. This is minor and an updated stormwater management report supports the application. The change has no additional adverse effects.

## 5.2 Relevant Provisions of planning instruments

Since the original consent was granted there have been no changes to either the Operative or Proposed District Plans. There have been no national or regional planning instruments enacted since the original consent was granted that have relevance to the application.

## 6.0 CONSULTATION

Under Section 127(4) of the Act:

*(4) For the purposes of determining who is adversely affected by the change or cancellation, the consent authority must consider, in particular, every person who—*

- (a) made a submission on the original application; and*
- (b) may be affected by the change or cancellation.*

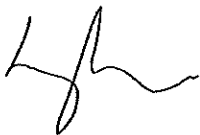
Given that the proposed variation only slightly increases impermeable coverage, creating no off-site effects, I do not believe there to be any affected persons.

## 7.0 CONCLUSION

It is considered the effects of the changes on the wider environment are less than minor. The proposal remains consistent with the relevant objectives and policies of the Operative and Proposed District Plan and the Regional Policy Statement, and Part 2 of the Resource Management Act.

There is no District Plan rule or national environmental standard that requires the proposal to change conditions to be publicly notified and no persons have been identified as adversely affected by the proposal. No special circumstances have been identified that would suggest notification is required.

It is therefore requested that the Council grant approval to the s.127 application on a non notified basis.



Lynley Newport  
**Senior Planner,**  
**THOMSON SURVEY LTD**

Date

18<sup>th</sup> July 2025



## **8.0 LIST OF APPENDICES**

<b>Appendix 1</b>	RC 2230414-RMALUC
<b>Appendix 2</b>	Updated Plans – EBC-2023-132/0/A
<b>Appendix 3</b>	Form 4
<b>Appendix 4</b>	Updated Stormwater Management Report
<b>Appendix 5</b>	Location Map
<b>Appendix 6</b>	Record of Title

## **Appendix 1**

RC 2230414-RMALUC



**Far North  
District Council**

**DECISION ON LAND USE CONSENT APPLICATION  
UNDER THE RESOURCE MANAGEMENT ACT 1991**

**Decision**

Pursuant to section 34(1) and sections 104, 104B and Part 2 of the Resource Management Act 1991 (the Act), the Far North District Council grants land use resource consent for a Discretionary activity, subject to the conditions listed below to:

**Council Reference:** 2230414-RMALUC  
**Applicant:** Warren Thomas Raymond Fraser  
**Property Address:** 45 Riverview Road, Kerikeri 0230  
**Legal Description:** Lot 1 DP 63404

**Description of Application:**

**The activities to which this decision relates are listed below:**

This proposal is to extend an existing dwelling including a new carport, extended roof coverage on the second floor, and converting the existing second story laundry into a bathroom. The application breaches Setback from Boundaries and Stormwater Management as a Discretionary Activity.

**Conditions**

Pursuant to sections 108 of the Act, this consent is granted subject to the following conditions:

1. The activity shall be carried out in accordance with the approved plans prepared by Permit Shop referenced Alterations to Existing Dwelling dated 21.09.2023 and attached to this consent with the Council's "Approved Stamp" to them:
  - Existing and Proposed Site Plan, sheet 1.2
  - Roof Plan – Level 1, sheet 1.9
  - North Elevations, sheet 2.1
  - South Elevations, sheet 2.2
  - West Elevations, sheet 2.3
  - East Elevations, sheet 2.4
2. Within three months of completion of the renovation work, the stormwater system shall be constructed in general accordance with the Stormwater Management Report by PK Engineering (reference 21-085, dated February 2023). The soakage pit is required to be kept clear and maintained on an ongoing basis to ensure full efficiency.



## Advice Notes

### Lapsing of Consent

1. Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses;
  - a) The consent is given effect to; or
  - b) An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.

### Right of Objection

2. If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.

### Archaeological Sites

3. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.

### General Advice Notes

4. The applicant is reminded that any earthworks will need to be in accordance with the principles and practices contained the Auckland Council document entitled "GD05: Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region". These measures will need to be maintained during the construction phase.
5. The applicant is responsible for arranging for buried services to be located and marked prior to commencing earthworks and is also responsible for the repair and reinstatement of any underground services damaged as a result of the earthworks.
6. The applicant is responsible for the repair and reinstatement of the road carriageway. Such works, where required, will be completed to the satisfaction of the Councils Roading Manager.
7. The applicant is reminded they must remove any debris deposited on the public road as a result of the earthworks, of which shall be removed at the expense of the applicant.

## Reasons for the Decision

1. By way of an earlier report that is contained within the electronic file of this consent, it was determined that pursuant to sections 95A and 95B of the Act the proposed activity will not have, and is not likely to have, adverse effects on the environment that are more than minor, there are also no affected persons and no special circumstances

exist. Therefore, under delegated authority, it was determined that the application be processed without notification.

2. The application is for a Discretionary activity resource consent as such under section 104 the Council can consider all relevant matters. In particular the matters listed in 8.7.5.3.6 SETBACK FROM BOUNDARIES and 8.7.5.2.2 STORMWATER MANAGEMENT (noting that the breach is for a Discretionary rather than a Controlled breach) are of particular relevance.
3. In regard to section 104(1)(a) of the Act the actual and potential effects of the proposal will be acceptable as:
  - a. Stormwater and privacy effects will be less than minor. Effects on the neighbour have been disregarded due to their provided written approval. Stormwater effects will be managed according to the Stormwater Management Report and offered mitigation. This has been reviewed by FNDC's RC Engineer. Runoff effects therefore are not anticipated provided the soakage pit is kept clear. This is recommended as a condition of consent.
  - b. The proposal will also result in positive effects, including the future proofing of a dwelling for financial and social security.
4. In regard to section 104(1)(ab) of the Act there are no offsetting or environmental compensation measures proposed or agreed to by the applicant for the activity.
5. In regard to section 104(1)(b) of the Act the following statutory documents are considered to be relevant to the application:
  - a. Operative Far North District Plan 2009,
  - b. Proposed Far North District Plan 2022

#### *Operative Far North District Plan*

The activity is consistent with the relevant objectives, policies and assessment criteria of the Operative District Plan:

#### **Chapter 8.7 Rural Living Zone**

Objective 8.7.3.2 – this development is of suitable low density and does not result in adverse effects on the rural and natural environment.

Policy 8.7.4.3 – this lot has sufficient land available for outdoor space even with the proposed development intensity.

Policy 8.7.4.10 – privacy effects on the neighbours have been considered and are deemed to be less than minor.

#### *Proposed Far North District Plan*

The activity is consistent with the relevant objectives, policies and assessment criteria of the Proposed District Plan:

#### **Rural Residential Zone**

RRZ-O3 – This proposal will better accommodate a household who already live in the Rural Residential Zone. In the future, this may aid in meeting the demands for growth around Kerikeri.

RPZ-P1 – This activity will not compromise the role, function or predominant character and amenity of the Rural Residential Zone and care has been taken to ensure that the design, scale and intensity is appropriate for the area.

RPZ-P5 – this activity is consistent with the existing environment and adjacent dwellings and will not exacerbate natural hazards nor compromise any historical, spiritual or cultural association held by tangata whenua.

For this resource consent application the relevant provisions of both an operative and any proposed plan must be considered. Weighting is relevant if different outcomes arise from assessments of objectives and policies under both the operative and proposed plans.

As the outcomes sought are the same under the operative and the proposed plan frameworks, no weighting is necessary.

6. In regard to section 104(1)(c) of the Act there are no other matters relevant to the application.
7. Based on the assessment above the activity will be consistent with Part 2 of the Act.  
The activity will avoid, remedy or mitigate any potential adverse effects on the environment while providing for the sustainable management of natural and physical resources and is therefore in keeping with the Purpose and Principles of the Act. There are no matters under section 6 that are relevant to the application. The proposal is an efficient use and development of the site that will maintain existing amenity values without compromising the quality of the environment. The activity is not considered to raise any issues in regard to Te Tiriti o Waitangi.
8. Overall, for the reasons above it is appropriate for consent to be granted subject to the imposed conditions.

## Approval

This resource consent has been prepared by Grace Quinn-Foster, Resource Planner. I have reviewed this and the associated information (including the application and electronic file material) and for the reasons and subject to the conditions above, and under delegated authority, grant this resource consent.



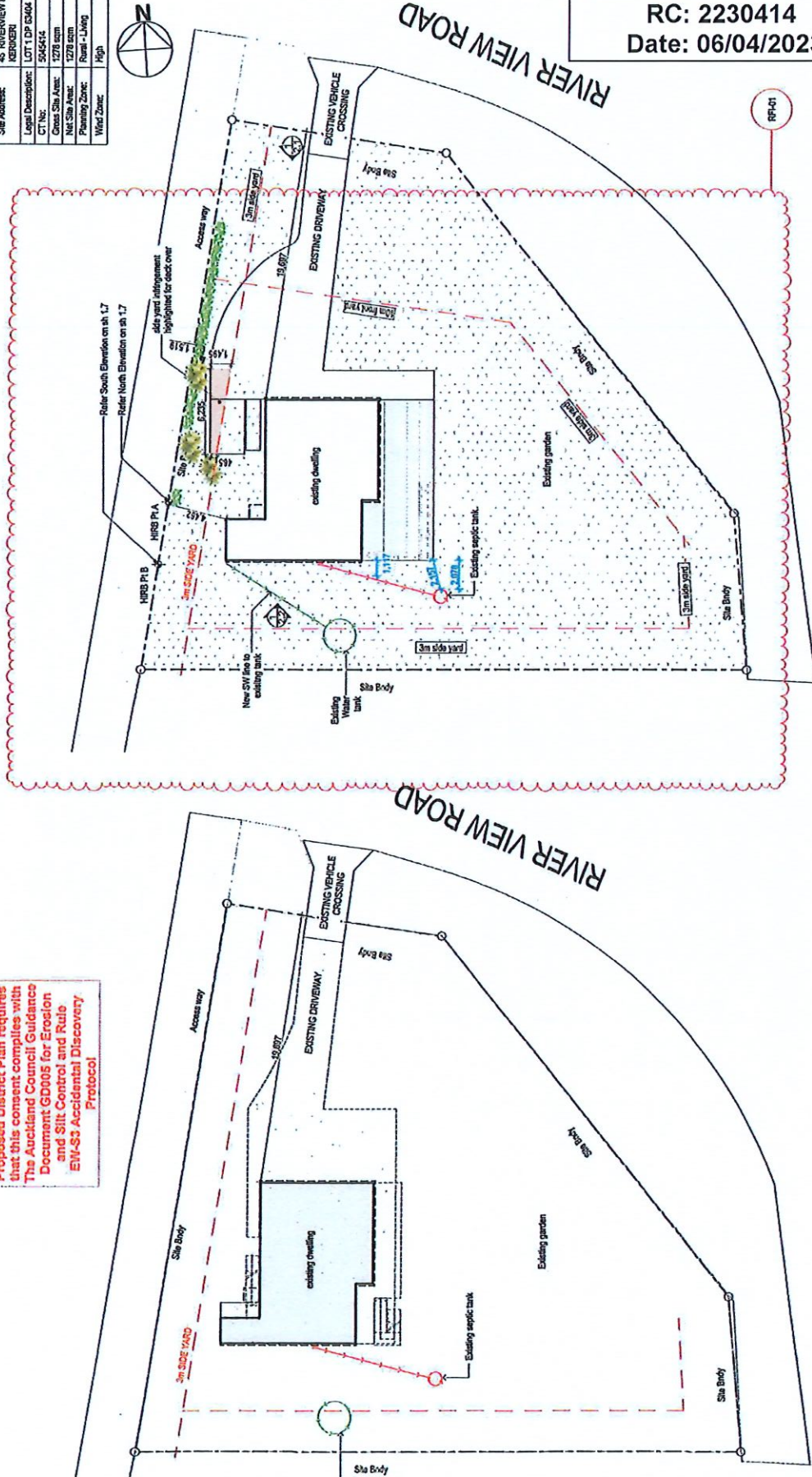
Name: Pat Killalea

Date: 6<sup>th</sup> April 2023

Title: Principal Planner



As of 27 July 2022 The Proposed District Plan requires that this consent complies with The Auckland Council Guidelines Document GD005 for Erosion and Silt Control and Rule EW-53 Accidental Discovery Protocol



# APPROVED PLAN

Planner: GQuinn-Foster  
RC: 2230414  
Date: 06/04/2023

DO NOT SCALE OFF THIS PLAN

## SITE INFORMATION

Site Address:	45 RIVERVIEW ROAD
Legal Description:	LOT 1 DP 53404
CT No:	5045414
Ground Site Area:	1278 sqm
Net Site Area:	1278 sqm
Planning Zone:	Rural - Living
Wind Zone:	High



EXISTING SITE PLAN	2	PROPOSED SITE PLAN	1:200
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PROJECT No	45RIVE	PROJECT NAME - ADDRESS	ALTERATIONS TO EXISTING DWELLING 45 RIVERVIEW ROAD KERIKERI	SHEET TITLE	EXISTING AND PROPOSED SITE PLAN	ISSUE	REV	DESCRIPTION	DATE	DESIGN	DRAWN	CHECKED	APPROVED	SHEET NUMBER	1.2 03
PROJECT No	45RIVE	PROJECT NAME - ADDRESS	ALTERATIONS TO EXISTING DWELLING 45 RIVERVIEW ROAD KERIKERI	SHEET TITLE	EXISTING AND PROPOSED SITE PLAN	ISSUE	REV	DESCRIPTION	DATE	DESIGN	DRAWN	CHECKED	APPROVED	SHEET NUMBER	1.2 03



Scale in metres  
0 1 2 3 4 5 6 7 8 9 10







**REFER PK ENGINEERING FOR ALL  
STRUCTURAL CONNECTIONS AND  
ENGINEERING**

**Planner: GQuinn-Foster**  
**RC: 2230414**  
**Date: 06/04/2023**



PROJECT NAME 45 RIVERVIEW ROAD KERIKERI	SHEET TITLE NORTH ELEVATIONS		PROJECT NUMBER 2.1		REVISION 03
	5 Shires Street, Kerikeri 5010 PO Box 1326, Kerikeri 5010 St. James 1546, Auckland P.O. Box 1011 www.permitshop.co.nz		DATE 21/09/22 DRAWN Y1 CHECKED 2 APPROVED =		
PROJECT NO. 45RIVE	ISSUE RFI	REV 03	DESCRIPTION RFI	DATE 21/09/22	DESIGN Y1




**Planner: GQuinn-Foster**  
**RC: 2230414**  
**Date: 06/04/2023**



**PROPOSED SOUTH ELEVATION**

### SOUTH ELEVATIONS

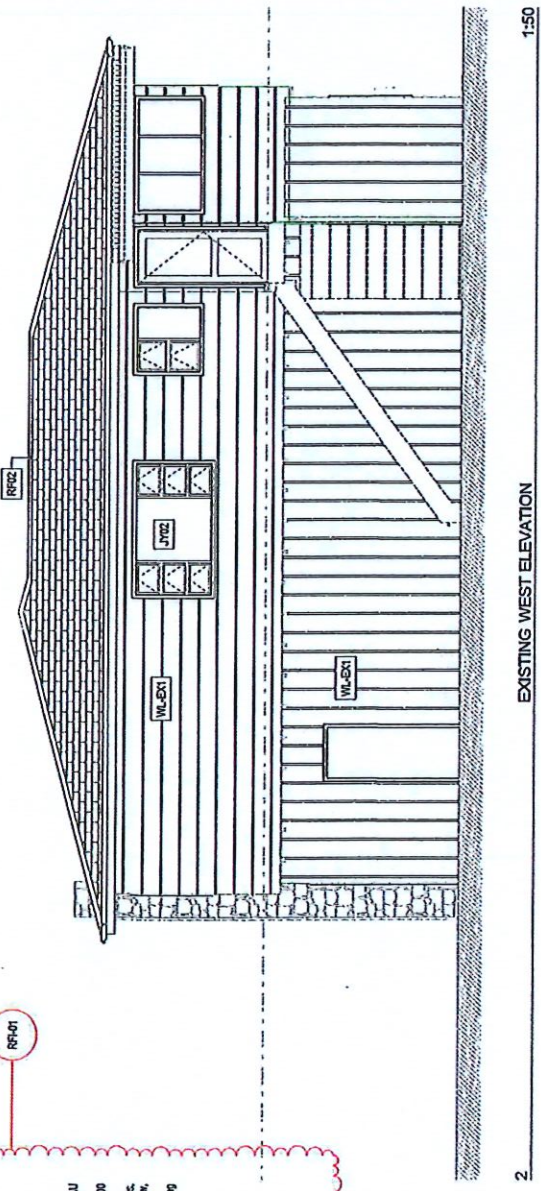
 <b>Permit Shop</b> Do it right & Confiscate the rest!	PROJECT NAME: 4508VE 4508VE		PROJECT TITLE ALTERNATIONS TO EXISTING DWELLING 45 RIVERVIEW ROAD KERIKERI		SHEET TITLE SOUTH ELEVATIONS		PROJECT NUMBER 2.2		REGION 03	
	1. DESIGN: 15/01/2022		2. DRAWING: 15/01/2022		3. CHECKED: 15/01/2022		4. APPROVED: 21/02/2022		5. SCALE: 1:100	
	6. DATE: 15/01/2022		7. DATE: 15/01/2022		8. DATE: 15/01/2022		9. DATE: 15/01/2022		10. DATE: 15/01/2022	
	11. DATE: 15/01/2022		12. DATE: 15/01/2022		13. DATE: 15/01/2022		14. DATE: 15/01/2022		15. DATE: 15/01/2022	
	16. DATE: 15/01/2022		17. DATE: 15/01/2022		18. DATE: 15/01/2022		19. DATE: 15/01/2022		20. DATE: 15/01/2022	



KEYNOTES

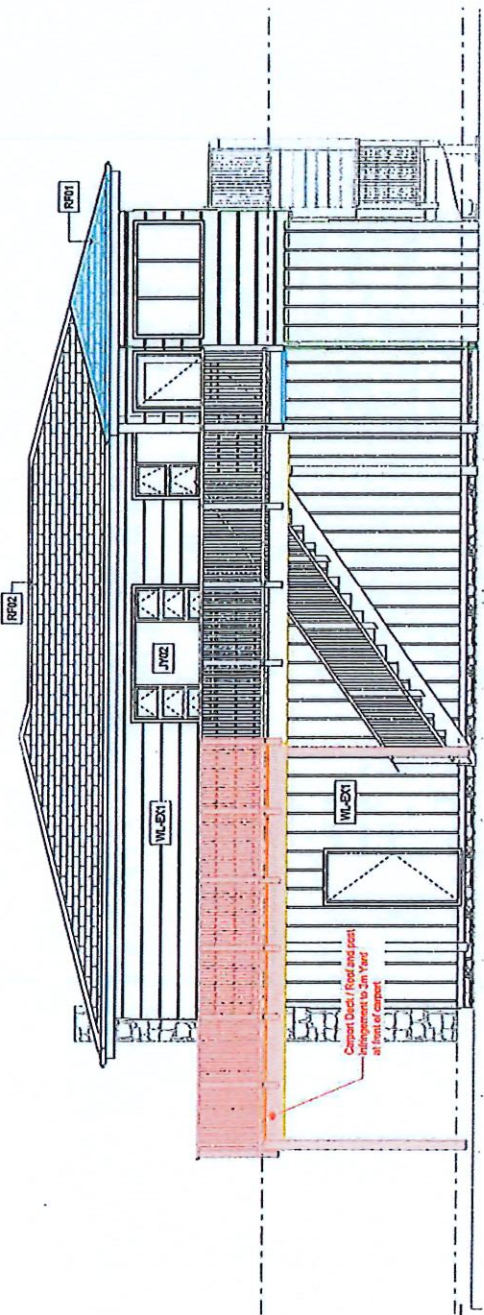
EXISTING STUD WALL  
WL-EXT  
Existing timber stud wall to remain.

ROOFS  
RF-01  
ROOF - PROFILED METAL  
ROOFING: METALCLIMA CHATEAU  
metal tiles. 75x45 purlins @ 900 o.c.  
UNDERLAY: PROCLIMA MENTO1000  
Roofing underlay  
PURLINS: 75x45 purlins @ 900 o.c.  
FILING: Type 1, 110g Self-drilling screw,  
60mm long or 2.4m long.  
STRUCTURE: Rear to Roof Framing  
Rear to Roof Framing  
RF-02  
ROOFING: Existing roofing to remain  
EXTERIOR JOINERY  
JY-02  
EXISTING JOINERY  
Existing timber joinery to remain



EXISTING WEST ELEVATION  
1:50

APPROVED PLAN  
Planner: GQuinn-Foster  
RC: 2230414  
Date: 06/04/2023

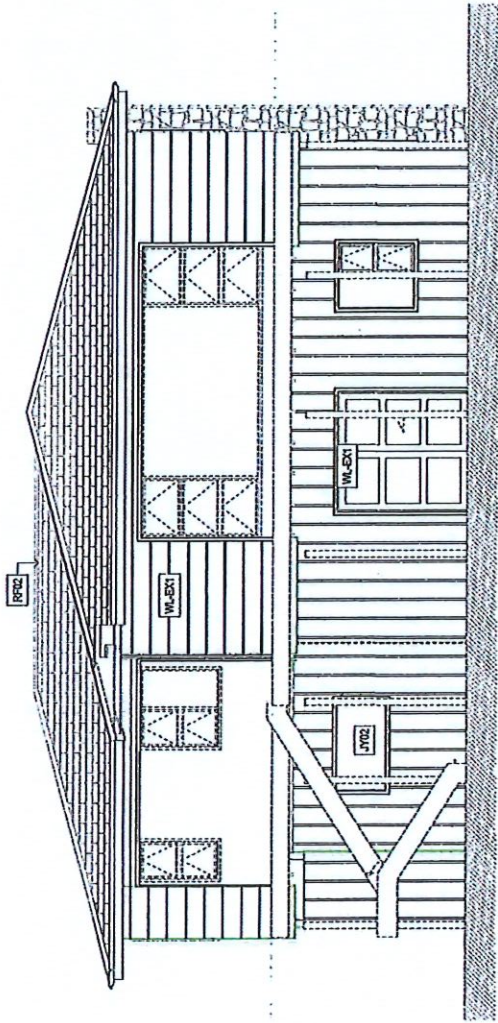


PROPOSED WEST ELEVATION  
1:50

PROJECT NO 45RVE	PROJECT NAME ALTERATIONS TO EXISTING DWELLING 45 RIVERVIEW ROAD KERIKER	SHEET TITLE WEST ELEVATIONS	DESIGN: DRAWN: CHECKED: APPROVED:	DATE: 21/09/2022	SHEET NUMBER 2.3	SECTION 03
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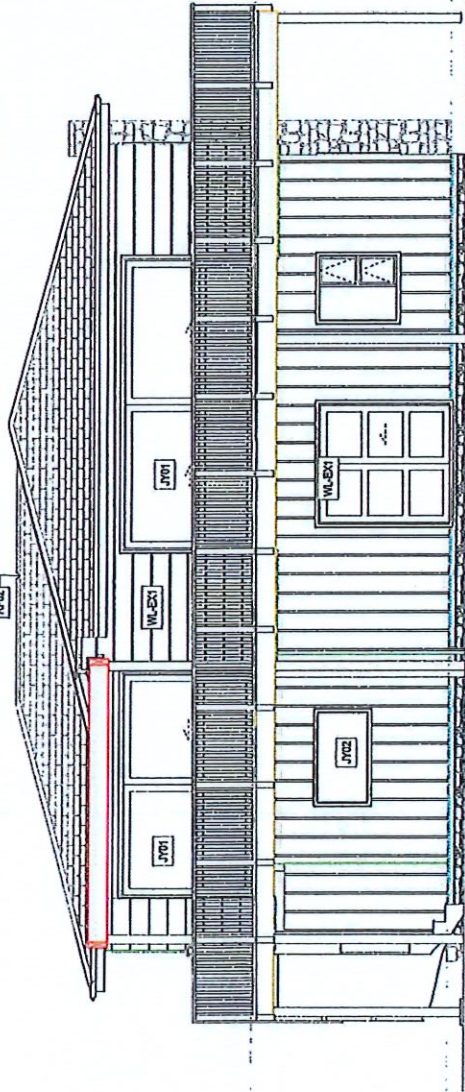
- KEYNOTES
- EXISTING STUD WALL
  - WL-EXT Existing timber stud wall to remain.
  - ROOFS
  - RF-EXT Existing roofline to remain
  - ROOFING Existing roofline to remain
  - EXTERIOR JOINERY
  - JY-EXT Existing timber joinery to remain
  - JY-INT Existing timber joinery to remain
  - EXTERIOR JOINERY
  - JY-EXT Existing timber joinery to remain
  - JY-INT Existing timber joinery to remain
  - EXTERIOR JOINERY
  - JY-EXT Existing timber joinery to remain
  - JY-INT Existing timber joinery to remain



EXISTING EAST ELEVATION

1:50

1



PROPOSED EAST ELEVATION

1:50

2

## APPROVED PLAN

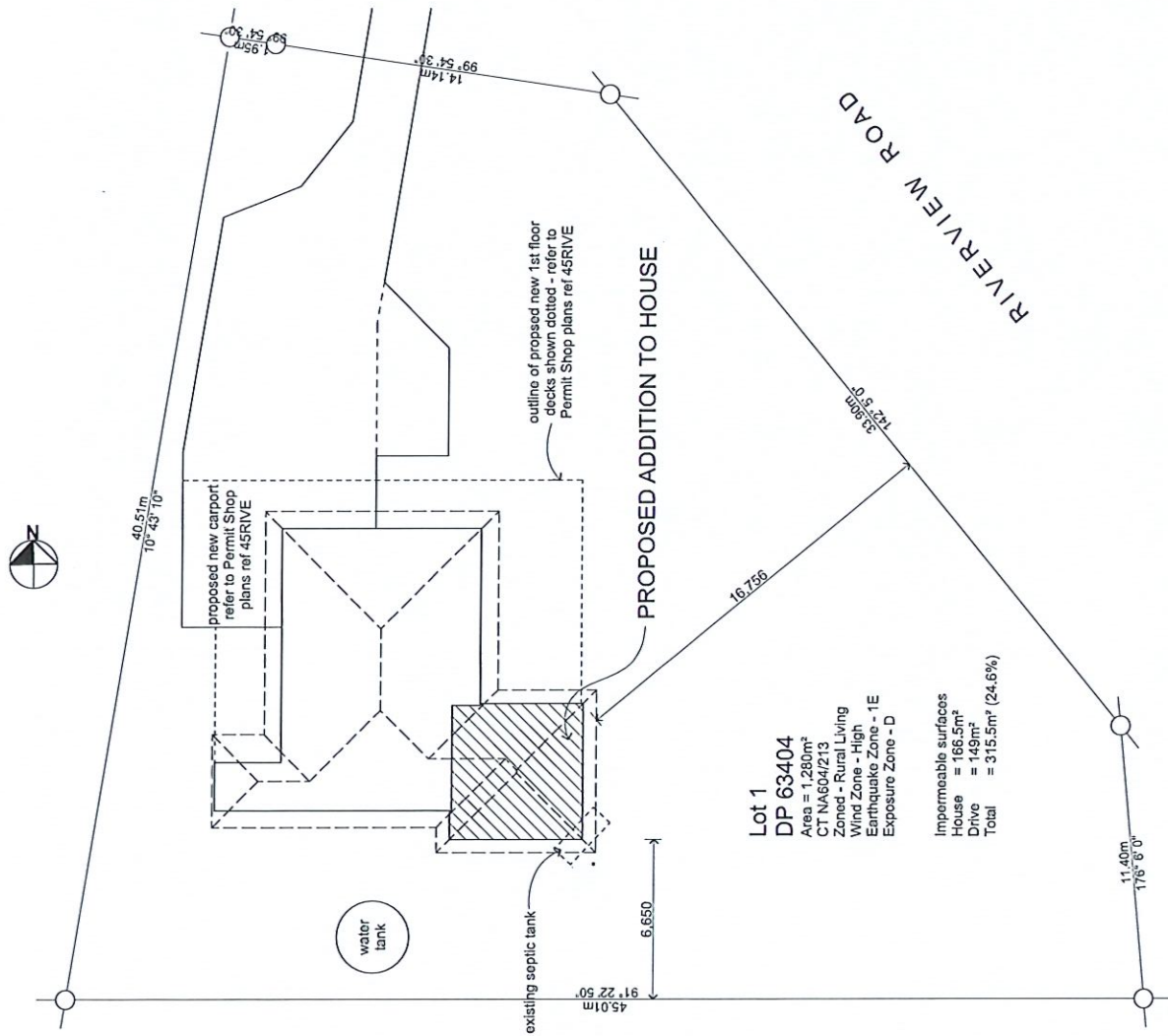
Planner: GQuinn-Foster  
RC: 2230414  
Date: 06/04/2023

REFER TO ENGINEERING FOR ALL  
STRUCTURAL CONNECTIONS AND  
ENGINEERING

PROJECT NO	43RVE	PROJECT NAME	ALTERATIONS TO EXISTING DWELLING 45 RIVERVIEW ROAD KERikeri	SHEET TITLE	EAST ELEVATIONS	DESIGN	DRWN	CHKD	APPRD	DATE	21/09/2022	SHEET NUMBER	2.4	03
------------	-------	--------------	--	-------------	-----------------	--------	------	------	-------	------	------------	--------------	-----	----

## **Appendix 2**

Updated Plans – EBC-2023-132/0/A



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No.	Date	Description/Detail
-----	------	--------------------

Check all dimensions on site before construction. All dimensions are given in metres to the nearest millimetre. All dimensions to room centres unless stated otherwise.

**PROJECT**  
**Proposed Additions & Alterations to House**  
**W Fraser**

**PROJECT ADDRESS:**  
**45 Riverview Road**  
**Kerikeri**  
**DRAWING**  
**Site Plan**

Drawn:	BH	Date:	1/07/2025
Scale:	1:200	Drawing No:	1
Product No:	1801/B	of 19	

**Total Design**  
 BUILDING & LANDSCAPE DESIGN  
 90 Karam Road,  
 Kerikeri, New Zealand  
 Tel: 09 437 7909  
 Mobile: 0274 741 1879  
 Email: info@totaldesign.co.nz



## GROUND FLOOR WALL BRACING

Wind Zone = High  
Earthquake Zone = 1E

### DEMAND - WIND

Additional Building length =  $1.21\text{m} \times 80 = 96.8\text{ BU's}$   
Additional Building width =  $4.3\text{m} \times 80 = 344\text{ BU's}$

### DEMAND - EARTHQUAKE

Additional floor area =  $30.9\text{m}^2 \times 7.5 = 232\text{ BU's}$

### PROVIDED - WIND ACROSS (96.8 required)

$1.25\text{m} \times \text{GS1-N (70)} = 87.5$   
 $3.48\text{m} \times \text{GS1-N (70)} = 243.7$

$2.06\text{m} \times \text{GS1-N (70)} = 144.2$   
TOTAL = 475.4 BU's

### PROVIDED - WIND ALONG (344 required)

$1.16\text{m} \times \text{BL1-H (90)} = 104.4$   
 $1.09\text{m} \times \text{BLG-H (110)} = 119.9$

$0.9\text{m} \times \text{BL1-H (90)} = 81$   
 $0.6\text{m} \times \text{BL1-H (90)} = 54$   
TOTAL = 359.3 BU's

### PROVIDED - EARTHQUAKE ACROSS (232 required)

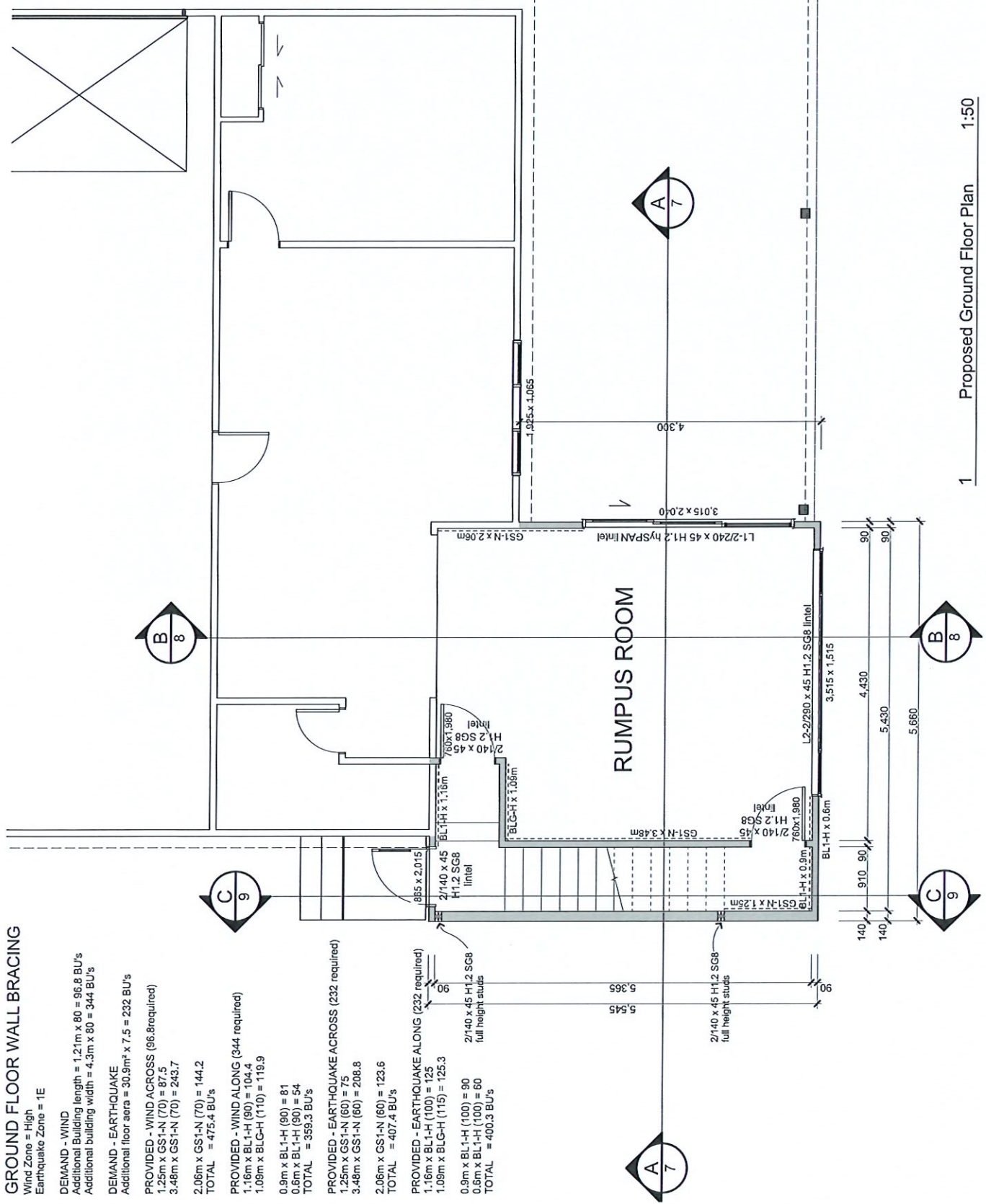
$1.25\text{m} \times \text{GS1-N (60)} = 75$   
 $3.48\text{m} \times \text{GS1-N (60)} = 208.8$

$2.06\text{m} \times \text{GS1-N (60)} = 123.6$   
TOTAL = 407.4 BU's

### PROVIDED - EARTHQUAKE ALONG (232 required)

$1.16\text{m} \times \text{BL1-H (100)} = 125$   
 $1.09\text{m} \times \text{BLG-H (115)} = 125.3$

$0.9\text{m} \times \text{BL1-H (100)} = 90$   
 $0.6\text{m} \times \text{BL1-H (100)} = 60$   
TOTAL = 400.3 BU's



1 Proposed Ground Floor Plan 1:50



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No.	Date	Revision	Detail
-----	------	----------	--------

Check all dimensions on site before construction.  
Use metric dimensions for all measurements.  
All construction to comply with NZS 3604: 2011 unless NZBC

## Proposed Additions & Alterations to House

W Fraser

PROJECT ADDRESS

45 Riverview Road

Kerikeri

DRAWING

Proposed Ground Floor Plan

Date: 1/07/2025  
Drawing No: 2

Scale: 1:50

PROJECT No: 1801/B  
of 19

Total Design  
BUILDING & LANDSCAPE DESIGN

National Design Building  
90 Kerikeri Road  
Kerikeri 501  
Tel: (09) 427 7949  
Mobile: (021) 241 1879  
Email: info@totaldesign.co.nz

# FIRST FLOOR WALL BRACING

Wind Zone = High  
Earthquake Zone = 1E

## DEMAND - WIND

Additional Building length = 1.21m x 40 = 48.4 BU's  
Additional building width = 4.3m x 40 = 172 BU's

## DEMAND - EARTHQUAKE

Additional floor area = 30.9m<sup>2</sup> x 4.5 = 139.1 BU's

## PROVIDED - WIND ACROSS (48.4 required)

1.25m x GS1-N (70) = 87.5

1.46m x GS1-N (70) = 102.2

TOTAL = 189.7 BU's

## PROVIDED - WIND ALONG (172 required)

1.57 x BL1-H (120) = 188.4

TOTAL = 188.4 BU's

## PROVIDED - EARTHQUAKE ACROSS (139.1 required)

1.25m x GS1-N (60) = 75

1.46m x GS1-N (60) = 87.6

TOTAL = 162.6 BU's

## PROVIDED - EARTHQUAKE ALONG (139.1 required)

1.57m x BL1-H (105) = 164.8

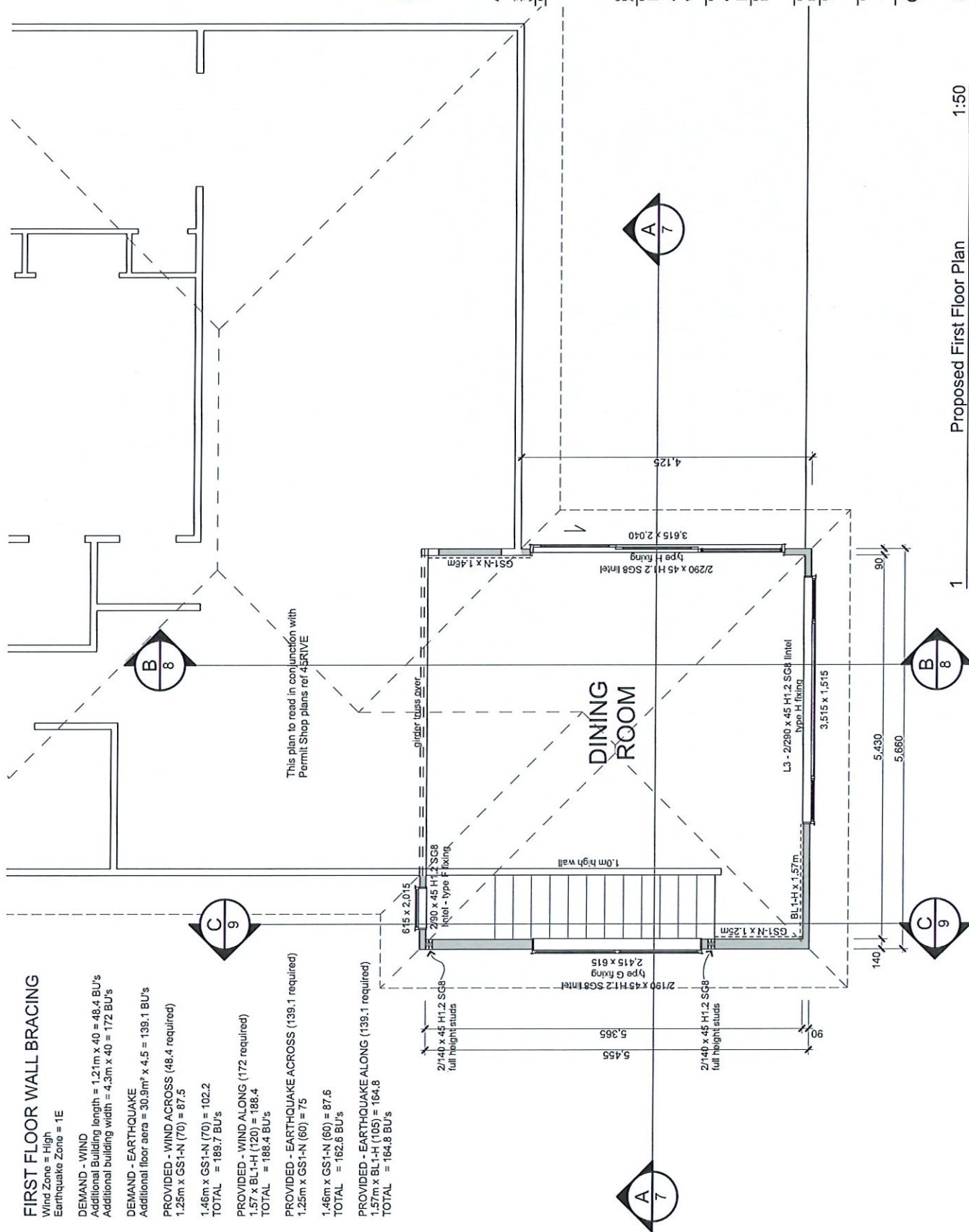
TOTAL = 164.8 BU's

This plan to read in conjunction with  
Permit Shop plans ref 45RIVE



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W Fraser and are not to be reproduced  
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No.	Date	Revision	Drawn
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Proposed First Floor Plan

1:50

Check all dimensions on site before construction.

At construction to comply with NZS 3604: 2011 and/or NZBC

PROJECT:  
Proposed Additions &  
Alterations to House

W Fraser

PROJECT ADDRESS:

45 Riverview Road

Kerikeri

DRAWING:

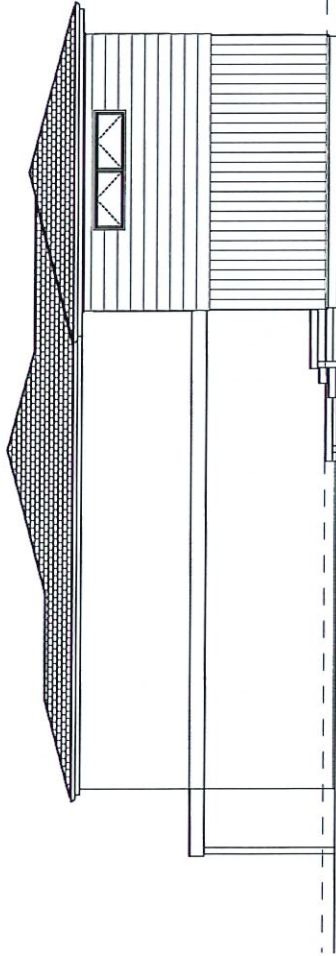
Proposed First Floor Plan

Drawn:	Date:
BH	1/07/2025
SCALE:	DRAWING No:
1:50	

PROJECT No:	3
1801/B	of 19

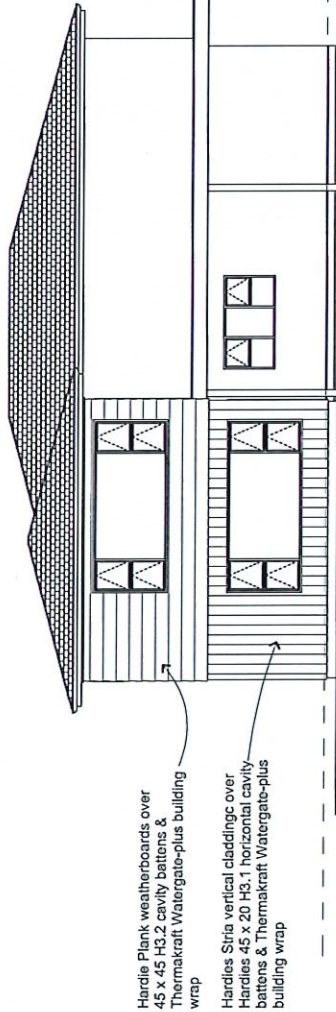
**Total Design**  
BUILDING & LANDSCAPE DESIGN

National Bank Building  
90 Kent Road  
Kerikeri 5045  
Tel: (01) 437 7949  
Mobile: (021) 241 1879  
E-mail: [info@totaldesign.co.nz](mailto:info@totaldesign.co.nz)



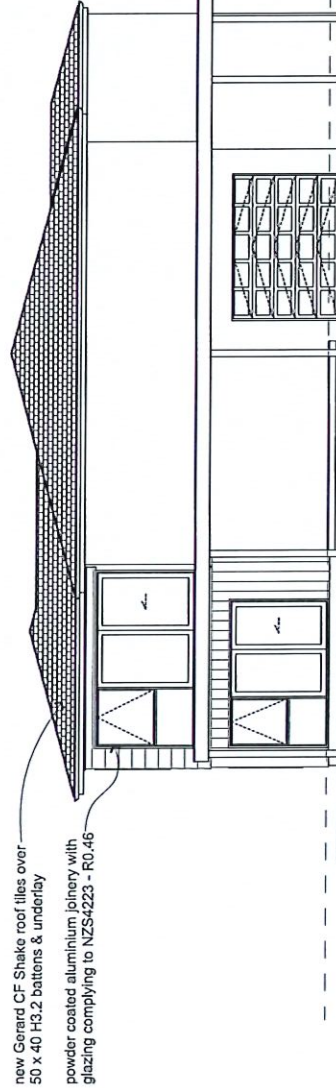
BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3804)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Medium risk	2
Total Risk Score:		8

E-04 South Elevation 1:100



BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3804)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Medium risk	2
Total Risk Score:		8

E-03 East Elevation 1:100



BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3804)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Medium risk	2
Total Risk Score:		8

E-02 North Elevation 1:100



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No.	Date	Revision	Detail
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All construction is to comply with NZS 3602:2011 and/or NZBC

## Proposed Additions & Alterations to House

W Fraser

45 Riverview Road  
Kerikeri

DRAWING

Drawn: BH

Date: 1/07/2025

DRAWING No:

4 of 10

PROJECT No:

1801/B

Total Design  
BUILDING & LANDSCAPE DESIGN

Registered Building Practitioner  
90 Kerikeri Road  
Kerikeri, Tairāwhiti  
New Zealand  
Tel: (09) 407 7500  
Mobile: (027) 241 1879  
Email: info@totaldesign.co.nz



new Gerard CF Shake roof tiles over  
50 x 40 H3.2 battens & underlay  
powder coated aluminium joinery with  
glazing complying to NZS4223 - R0.46

BUILDING ENVELOPE RISK MATRIX		
West Elevation		Risk Severity Risk Score
Risk Factor	Wind zone (per NZS 3604)	High risk 1
	Number of storeys	High risk 2
	Roof/wall intersection design	Low risk 0
	Eaves width	High risk 2
	Envelope complexity	Medium risk 1
	Deck design	Medium risk 2
Total Risk Score:		8

1:100

West Elevation

E-01



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Check all dimensions on site before construction.  
All dimensions are to be taken from the finished  
AS construction to comply with NZS 3604: 2011 under NZBC

PROJECT  
**Proposed Additions &  
Alterations to House**

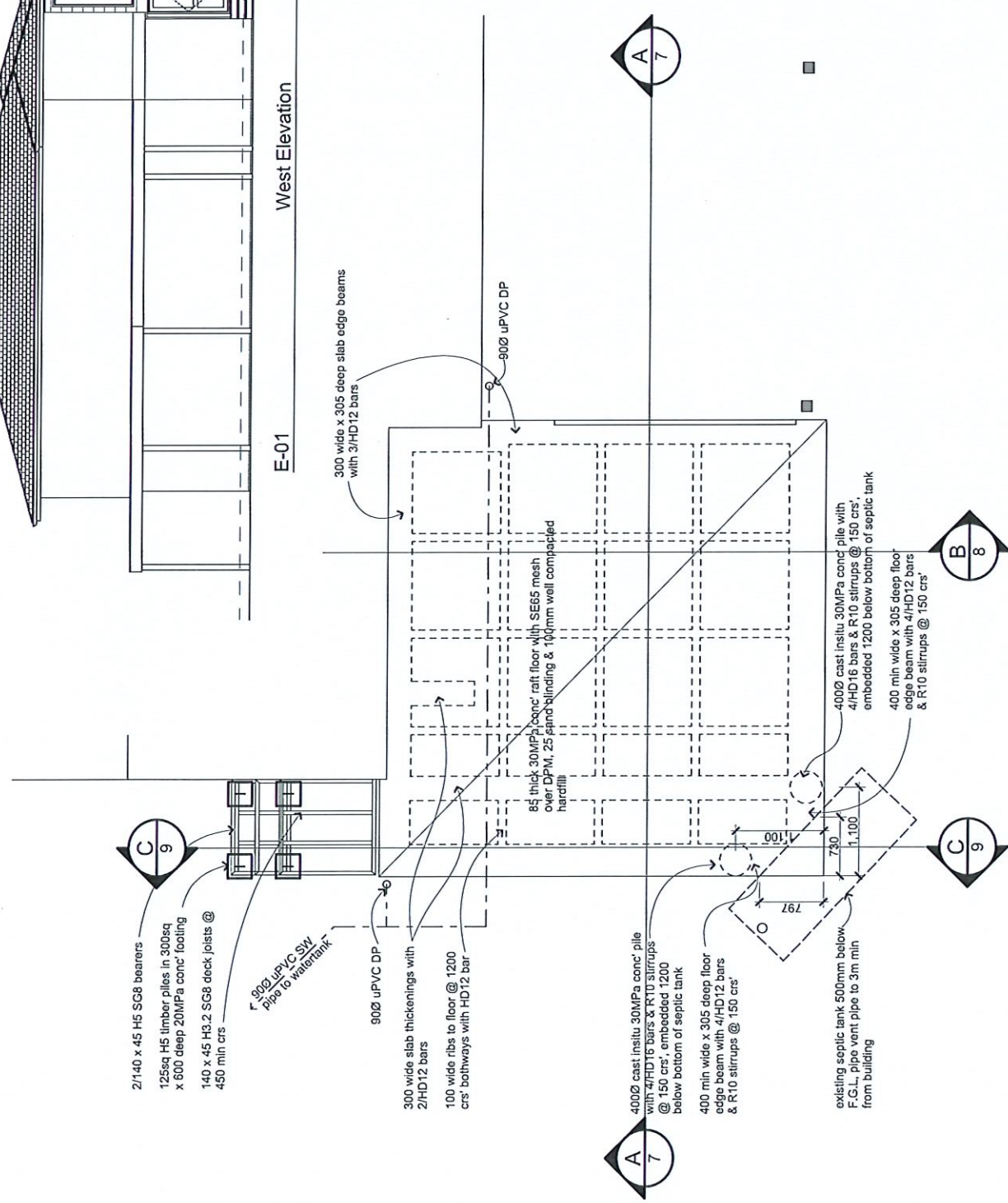
W Fraser

PROJECT ADDRESS:  
**45 Riverview Road  
Kerikeri**

DRAWING:  
**West Elevation, Foundation Plan**

Drawn:	BH	Date:	1/07/2025
SCALE:	1:50, 1:100	DRAWING No:	<b>5</b>
PROJECT No:	1801/B	of 19	

**Total Design**  
BUILDING & LANDSCAPE DESIGN  
National Bank Building  
90 Kerikeri Road,  
Kerikeri (07) 241 9879  
Email: [brong@totaldesign.co.nz](mailto:brong@totaldesign.co.nz)



Foundation Plan

1:50



## **Appendix 3**

### **Form 4**



11 July 2025

Warren Thomas Raymond Fraser  
45 Riverview Road  
Kerikeri 0230

Dear Sir / Madam,

**Building consent number:** EBC-2023-132/0/A  
**Property ID:** 3314701  
**Address:** 45 Riverview Road, Kerikeri 0230  
**Description:** Exterior alterations

**Requirement for Resource Consent**

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

**NB:** As of 27<sup>th</sup> July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules  
[Far North Proposed District Plan \(isoplan.co.nz\)](https://isoplan.co.nz)

The site is zoned **Rural Living** under the Operative District Plan and Resource Consent is required for breach of the following:

<b>Rule:</b>	This application proposes to increase the impermeable surface on site and is not in accordance with 2230414-RMALUC approved 06/04/2023.
<b>Reason:</b>	Variation to 2230414-RMALUC required.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from [www.fndc.govt.nz](http://www.fndc.govt.nz) and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on [Duty.Planner@fndc.govt.nz](mailto:Duty.Planner@fndc.govt.nz) or 0800 920 029.

Yours faithfully

A handwritten signature in black ink, appearing to read 'L. Tane'.

Leeanne Tane  
PIM Officer  
**Delivery and Operations**

Emailed to: [brian@totaldesign.co.nz](mailto:brian@totaldesign.co.nz); [shakeywf@hotmail.com](mailto:shakeywf@hotmail.com)

**FORM 4**  
**Certificate attached to**  
**PROJECT INFORMATION MEMORANDUM**  
Section 37, Building Act 2004

**Building Consent Number: EBC-2023-132/0/A**

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER  
RESOURCE MANAGEMENT ACT 1991**

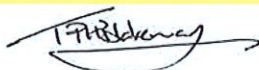
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

- **Variation to Resource Consent 2230414-RMALUC – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman  
Manager - Building Services –  
Delivery and Operations  
Far North District Council (Building Consent Authority)  
11 July 2025

Position:

On behalf of:

Date:

## **Appendix 4**

### Updated Stormwater Management Report





# **STORMWATER MANAGEMENT REPORT**

FOR  
PROPOSED ALTERATIONS  
  
AT  
45 RIVERVIEW ROAD,  
KERIKERI  
  
LOT 1 DP 63404  
  
FOR  
WARREN FRASER FAMILY TRUST

Job No: 21-085  
Date: December 2022  
Amended February 2023  
Amended REV 2 July 2025 Attenuation calcs and report amended to reflect additional  
impermeable surfaces as per Total Design Plans 1/07/2025

Level 1 ANZ Bank Building 90 Kerikeri Road, Kerikeri, New Zealand  
Telephone: 09 407 3255 Email: [teampk@pkengin.co.nz](mailto:teampk@pkengin.co.nz)



## **1. INTRODUCTION**

This report was requested by Warren Fraser Family Trust and has been prepared to assess proposed site suitability aspects of Lot 3 DP 539045, 98 Access Road, Kerikeri for future alterations specifically in regard to sustainable stormwater management.

This report assesses the Lot regarding stormwater management and has been prepared for the sole use of our client. It shall not be used, reproduced, or copied in any manner or form without the permission of P K Engineering Limited.

## **2. GENERAL SITE DESCRIPTION**

The lot encompasses a land area of approximately 1,278.80m<sup>2</sup> and is located on 45 Riverview Road, Kerikeri. The lot is a wedge-shaped corner section. The ground is sloping very gently to the northeast at grades of 2-3%. The lot is predominantly developed for residential with a combination of kept lawn and 3 bedroom dwelling and associated impermeable surfaces. The proposed alterations are to create pitched roof over the entry a carport with deck roof.

## **3. NATURAL HAZARD**

The site falls within the tsunami hazard zone – *“Yellow Inundation Zone. This zone should also be evacuated in an official warning for larger than a 3 – 5 m threat level (2,500-year return period) or in the case of a natural or informal warning where the potential wave height is unknown. The Yellow Zone encompasses the Orange Zone and Shore Evacuation Zone.”* Northland Regional council – *Tsunami hazard zones.*

## **4. GEOLOGY**

*Soil type- Kerikeri Friable Clay. Formed on basalt lava low in silica and rich in iron and aluminium and part of the Kiripaka soil suite. Generally free draining, requiring few drainage structure improvements. Some soils have boulders created as a result of long periods of erosion on the edges of old basalt flows. Managing Northland Soils 8.1.2 Mature Basalt Volcanic Soils, Northland Regional Council.*

*Rock Type- “Basalt: flows and cones of very fine to medium grained crystalline basalt. Dense and moderately fractured; hard to very hard. Surfaces form terraces and plateaus generally without rocky outcrops. Weathered to soft red brown or dark grey brown clay to depths of 20m with many rounded corestones.” NZMS 290, Sheet P04/05, Whangaroa-Kaikohe soil and rock maps.*

## 5. STORMWATER MANAGEMENT.

This site is zoned Rural Living under the Far North District Plan. To constitute a permitted activity, a maximum of 12.5% of the total site area should only be used for impermeable surfaces (roofs, driveway & sealed areas). It is recommended that low impact design principles e.g., buffer strips along driveway, are used to mitigate runoff volumes and to protect the receiving environment from adverse effects of stormwater discharges. As the new alterations exceed the permitted activity, the controlled activity, a maximum of 20% or 3,300m<sup>2</sup> whichever is the lesser. As a controlled activity the new alterations are subject to attenuation back to predevelopment flows for the 10% & 1% AEP for the extra impermeable surfaces created by the alteration.

The rainfall data used for the attenuation calculations is based on NIWA HIRDS version 4.0 from weather station Kerikeri 1. Predevelopment has used historical rainfall data. Post development has used RCP6.0 Conditions for the years 2081-2100. Predevelopment Coefficient of 0.59 and post developed coefficient of 0.96 has been used. Existing driveway 112m<sup>2</sup>, existing dwelling and decks 130m<sup>2</sup> total existing 242m<sup>2</sup>. Proposed driveway 149m<sup>2</sup>, proposed dwelling incl. addition 149m<sup>2</sup> Total proposed impermeable surfaces 315.5m<sup>2</sup>. The difference in impermeable area between pre alteration construction and developed alteration amounts to 73.5m<sup>2</sup>. Refer accompanying attenuation calculations.

There is an existing 25,000l water tank that can be used for attenuation. Option A. Table1 below gives the attenuation parameters for a 25,000ltr tank.

*Table 1 Attenuation Parameters for 25,000ltr tank*

	Orifice diameter	Orifice invert location	
<b>ARI 10</b>	<b>21 mm</b>	<b>540 mm</b>	<b>below overflow invert</b>
<b>ARI 100</b>	<b>19 mm</b>	<b>290 mm</b>	<b>below overflow invert</b>
<b>Tank Size</b>	<b>1 x</b>	<b>25,000</b>	<b>litres @ 3.6 m Ø</b>
<b>ARI 10</b>		<b>2,590.2</b>	<b>litres</b>
<b>ARI 100</b>		<b>5,389.1</b>	<b>litres</b>
<b>Reuse</b>		<b>19,610.9</b>	<b>litres</b>

10-year event – Attenuated Flow – 0.55l/sec

- Predeveloped flow – 1.1l/sec
- Attenuated diameter – 21mm
- Attenuated height below overflow pipe – 0.54m
- Volume Stored- 2.59m<sup>3</sup>

100-year event – Attenuated Flow – 0.67l/sec

- Predeveloped flow – 1.5l/sec
- Attenuated diameter – 19mm
- Attenuated height below overflow pipe – 0.29m
- Volume Stored- 5.39m<sup>3</sup>

There is an existing soak pit onsite with capacity of 4m<sup>3</sup> filled with scoria which is currently performing effectively. We can assume a rate of 150mm/hr is consistent with Kerikeri Friable Clay and exfiltrated into the groundwater table. Therefore, the surface area allowed for soakage is 12.277m<sup>2</sup>.

Using a 1:100 RCP 6.0 2081-2100 Depth of 1 hour (86.4mm) of which 73m<sup>2</sup> is attenuated at 0.04m<sup>3</sup>/hr. 34.8m<sup>2</sup> of the roof is 3.006m<sup>3</sup>/hr totalling 3.046m<sup>3</sup>/hr.

The soak pit has an exfiltration rate of 1.84m<sup>3</sup>/hr,

Live storage of 4m<sup>3</sup> at 50% void ratio (2m<sup>3</sup>).

Total Storage = 3.84m<sup>3</sup>/hr

Required Storage/capacity = 3.046m<sup>3</sup>/hr

The above attenuation design will result in the status quo being maintained as far as stormwater management is concerned



## **6. RECOMMENDATIONS**

I recommend that:

- This site be considered suitable for the sustainable management of post-development stormwater flows provided that measures to reduce post development flows outlined in section 5 are followed diligently.
- The existing 25,000ltr storage tank to be used for stormwater attenuation purposes
- The existing soak pit to be used for discharge from the attenuation tank

## **7. CONCLUSION**

The stormwater management plan detailed above will result in negligible impact on existing infrastructure and will reduce stormwater flows to comply with the Far North District Council District Plan.



Pradeep Kumar.  
B.E hons, NZCE, MIPENZ,  
IntPE, CP Eng.  
(Structural, Geotechnical)  
Chartered Professional Engineer.

## APPENDIX A

- STORMWATER PLAN
- ATTENUATION TANK DETAIL
- ATTENUATION CALCS

'SW1'

'SW2'

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IN THE EVENT THAT THERE IS ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATION THEN THE REQUIREMENTS OF THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATION. ALL ORIGINAL DRAWINGS TAKING PRECEDENCE OVER THE GENERAL NOTES.



ISSUED TO CLIENT



LEVEL 1, ANZ BANK  
10 KERIKERI ROAD, KERIKERI  
PO BOX 464, KERIKERI  
Phone Number: 09 407 3255  
Email: leampk@pkengd.co.nz

**WARREN FRASER FAMILY TRUST**  
45 RIVERVIEW ROAD  
KENNER

45 RIVERVIEW ROAD  
LOT 1 DP 63404

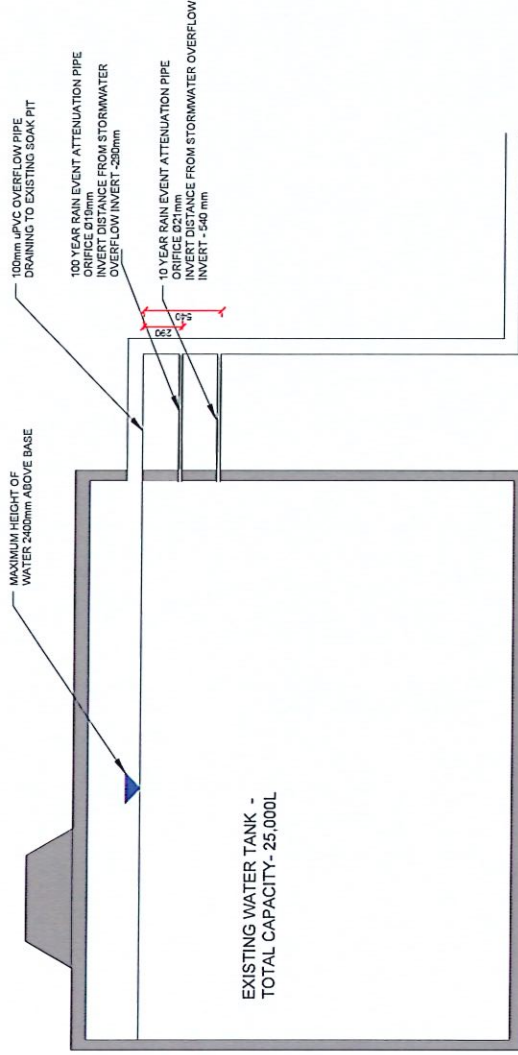
PROPOSED ALTERATION  
STORMWATER PLAN

SCALE AT A3:	DATE:	DESIGN:	CHECKED:
1:250	10/07/2025	RD	PK
PROJECT NO:	DRAWING NO:	REVISION:	
21-085	A3/SW1	2	



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2. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS SET OUT IN THE DRAWINGS AND THE RELEVANT STANDARDS.
3. THE DRAWING IS TO BE USED IN CONJUNCTION WITH ALL RELEVANT SPECIFICATIONS, SPECIFICATIONS, CIVIL AND OTHER PROJECT DRAWINGS AND ANY OTHER DOCUMENTS REFERRED TO IN THE DRAWINGS.
4. IN THE EVENT THAT THERE IS ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS, THE REQUIREMENTS OF THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.
5. THE DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE RELEVANT STANDARDS AND SPECIFICATIONS.



REV	DESCRIPTION	BY	DATE
ISSUED TO CLIENT			



LEVEL 1, ANZ BANK  
90 KERIKER ROAD, KERIKER  
PO BOX 484, KERIKER  
Phone Number: 09 407 3255  
Email: [enquiries@pkeng.co.nz](mailto:enquiries@pkeng.co.nz)

CLIENT	WARREN FRASER FAMILY TRUST 45 RIVERVIEW ROAD KERIKER
--------	--

SITE	45 RIVERVIEW ROAD LOT 1 DP 63404
------	-------------------------------------

TITLE	PROPOSED ALTERATION SW ATTENUATION DETAIL
SCALE	A3
DATE	10/07/2025
DESIGNED BY	NTS
CHECKED BY	RD
PROJECT NO	21-085
DRAWING NO	A3/SW2
REVISION	2

1b		Rational method		48hr					
Total catchment pre-development flow									
		Roof & decks 1 (m <sup>2</sup> )	Concrete & smooth seal 2 (m <sup>2</sup> )	Metalled area Or rough seal 3 (m <sup>2</sup> )	Other Impervious 4 (m <sup>2</sup> )	Vegetation 5 (m <sup>2</sup> )	Bush 6 (m <sup>2</sup> )		
Total area.	Area (m <sup>2</sup> )	73.50	0	0	0	73.5	0		
Runoff coefficient		Ci (coefficient)	Ci (coefficient)	Ci (coefficient)	Ci (coefficient)	Ci (coefficient)	Ci (coefficient)		
Use "C" values from FNDIC TR55 chart		FALSE	FALSE	FALSE	FALSE	0.59	FALSE		
Generally do not use slope adjustment Ci factor if using TR55		0.96	0.96	0.8	0.8	0.59	0.59		
Rainfall Intensity		I (mm/hr)	I (mm/hr)	I (mm/hr)	I (mm/hr)	I (mm/hr)	I (mm/hr)		
Rainfall Data from NIWA, Hinds 4, RCP6, 2081-2100		4.13	4.13	4.13	4.13	4.13	4.13		
Use an appropriate event for the situation									
Flow rate of surface water		Qc (m <sup>3</sup> /sec)	Qc (m <sup>3</sup> /sec)	Qc (m <sup>3</sup> /sec)	Qc (m <sup>3</sup> /sec)	Qc (m <sup>3</sup> /sec)	Qc (m <sup>3</sup> /sec)		
		0.000	0.000	0.000	0.000	0.000	0.000		
Catchment area pre - development flow		Qcap (m <sup>3</sup> /sec)	Qcap (l/sec)						
		0.0000	0.09						

Pre-development
Slope %
10
Ci correction
0.00

Post-development
Slope %
10
Ci correction
0.00

[illegible]Page 1



Pre - Development water flow		Rational method		48hr		Pre-development	
(Original water flow)		Roof & decks 1 (m <sup>2</sup> )		Concrete & smooth seal 2 (m <sup>2</sup> )		Metalled area or rough seal 3 (m <sup>2</sup> )	
Total area		Area (m <sup>2</sup> )		Other Impervious 4 (m <sup>2</sup> )		Vegetation 5 (m <sup>2</sup> )	
73.50		0		0		73.5	
Runoff coefficient		Ci (coefficient)		Ci (coefficient)		Ci (coefficient)	
Use "C" values from FNDC TR55 chart		FALSE		FALSE		FALSE	
Generally do not use slope adjustment Ci factor if using TR55		0.96		0.96		0.96	
Rainfall intensity		I (mm/hr)		I (mm/hr)		I (mm/hr)	
Rainfall Data from NIWA, Hirds 4, RCP6, 2081-2100		6.32		6.32		6.32	
Use an appropriate event for the situation		6.32		6.32		6.32	
Flow rate of surface water		Qc (m <sup>3</sup> /sec)		Qc (m <sup>3</sup> /sec)		Qc (m <sup>3</sup> /sec)	
Pre - development flow of developed area		0.000		0.000		0.000	
Pre - development flow of undeveloped area		Qp (m <sup>3</sup> /sec)		Qp (m <sup>3</sup> /sec)		Qp (m <sup>3</sup> /sec)	
0.0001		0.007		0.0001		0.007	
Post - Development water flow		Roof & decks 1 (m <sup>2</sup> )		Concrete & smooth seal 2 (m <sup>2</sup> )		Metalled area or rough seal 3 (m <sup>2</sup> )	
Total area		Area (m <sup>2</sup> )		Other Impervious 4 (m <sup>2</sup> )		Vegetation 5 (m <sup>2</sup> )	
73.50		0		0		73.5	
Runoff coefficient		Ci (coefficient)		Ci (coefficient)		Ci (coefficient)	
Use "C" values from FNDC TR55 chart		FALSE		FALSE		FALSE	
Generally do not use slope adjustment Ci factor if using TR55		0.96		0.96		0.96	
Rainfall intensity		I (mm/hr)		I (mm/hr)		I (mm/hr)	
Rainfall Data from NIWA, Hirds 4, RCP6, 2081-2100		6.32		6.32		6.32	
Use an appropriate event for the situation		6.32		6.32		6.32	
Flow rate of surface water		Qc (m <sup>3</sup> /sec)		Qc (m <sup>3</sup> /sec)		Qc (m <sup>3</sup> /sec)	
Pre - development flow of developed area		0.000		0.000		0.000	
Pre - development flow of undeveloped area		Qp (m <sup>3</sup> /sec)		Qp (m <sup>3</sup> /sec)		Qp (m <sup>3</sup> /sec)	
0.0001		0.007		0.0001		0.007	
Total included in attenuation system calc's post - development flow		Qa (m <sup>3</sup> /sec)		Qa (m <sup>3</sup> /sec)		Qa (m <sup>3</sup> /sec)	
0.000		0.007		0.000		0.007	
Post - Pre development flow		Qop (m <sup>3</sup> /sec)		Qop (m <sup>3</sup> /sec)		Qop (m <sup>3</sup> /sec)	
0.0001		0.007		0.0001		0.007	
Total post development flow Developed flow + undeveloped flow		Qout (m <sup>3</sup> /sec)		Qout (m <sup>3</sup> /sec)		Qout (m <sup>3</sup> /sec)	
0 to 10min		0.0001		0.014		0.0001	
0 to 10min		0.0001		0.014		0.0001	

1b		Rational method		48hr		Pre-development	
Total catchment pre-development flow		Roof & decks 1 (m <sup>2</sup> )		Concrete & smooth seal 2 (m <sup>2</sup> )		Metalled area or rough seal 3 (m <sup>2</sup> )	
Total area		Area (m <sup>2</sup> )		Other Impervious 4 (m <sup>2</sup> )		Vegetation 5 (m <sup>2</sup> )	
73.50		0		0		73.5	
Runoff coefficient		Ci (coefficient)		Ci (coefficient)		Ci (coefficient)	
Use "C" values from FNDC TR55 chart		FALSE		FALSE		FALSE	
Generally do not use slope adjustment Ci factor if using TR55		0.96		0.96		0.96	
Rainfall intensity		I (mm/hr)		I (mm/hr)		I (mm/hr)	
Rainfall Data from NIWA, Hirds 4, RCP6, 2081-2100		6.32		6.32		6.32	
Use an appropriate event for the situation		6.32		6.32		6.32	
Flow rate of surface water		Qc (m <sup>3</sup> /sec)		Qc (m <sup>3</sup> /sec)		Qc (m <sup>3</sup> /sec)	
Pre - development flow of developed area		0.000		0.000		0.000	
Pre - development flow of undeveloped area		Qp (m <sup>3</sup> /sec)		Qp (m <sup>3</sup> /sec)		Qp (m <sup>3</sup> /sec)	
0.0001		0.007		0.0001		0.007	
Catchment area pre - development flow		Qap (m <sup>3</sup> /sec)		Qap (m <sup>3</sup> /sec)		Qap (m <sup>3</sup> /sec)	
0.0001		0.007		0.0001		0.007	

2		Rational method		48hr		Pre-development	
Select 1 for type of tank/area, 0 for other		Roof & decks 1 (m <sup>2</sup> )		Concrete & smooth seal 2 (m <sup>2</sup> )		Metalled area or rough seal 3 (m <sup>2</sup> )	
Estimate storage volume		Area (m <sup>2</sup> )		Other Impervious 4 (m <sup>2</sup> )		Vegetation 5 (m <sup>2</sup> )	
Adjust to match max Votred		0		0		73.5	
Round area		Ci (coefficient)		Ci (coefficient)		Ci (coefficient)	
Square/rectangular area		FALSE		FALSE		FALSE	
Short tube,							



Fixed value		100yr	10yr
u	g	Desc hrs	Desc hrs
0.76	9.8067	1.6	1.7

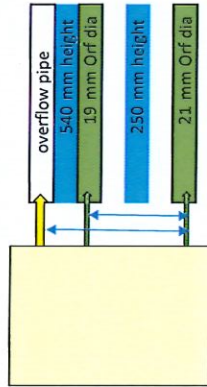
Change orifice factor "u" to suit, short tube 0.76 & thin sharp edge 0.62

0.54
0.021
0.25
0.019

Or10yr Size of lower orifice (fitted 150mm above)

0.29 Height from overflow outlet invert to Ortop invert

Ortop Size of second orifice (fitted at ho10yr above lower orifice Or10yr)



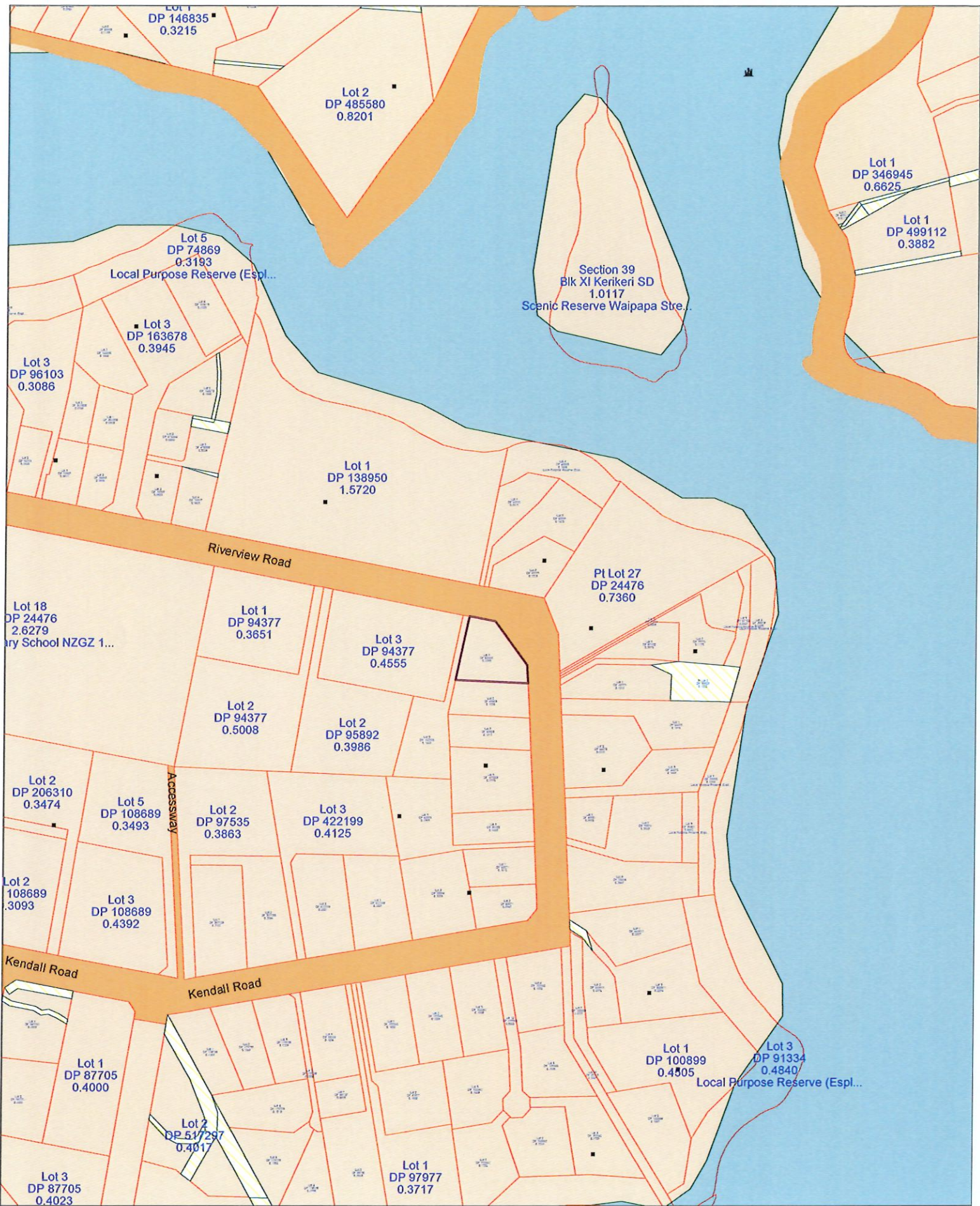
	Vocomb	Qav	hchart	hav	
10yr cor.	3.25	0.0005	0.40	0.20	OK
					Area

	Orifice diameter	Orifice invert location
ARI 10	21 mm	540 mm below overflow invert
ARI 100	19 mm	290 mm below overflow invert
Tank Size	1 x	25,000 litres @ 3.6 m Ø
ARI 10		2,590.2 litres
ARI 100		5,389.1 litres
Reuse		19,610.9 litres

## **Appendix 5**

### Location Map








## **Appendix 6**

### Record of Title



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA20A/1099**  
**Land Registration District** **North Auckland**  
**Date Issued** 26 February 1971

**Prior References**  
NA640/213

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<b>Estate</b>	Fee Simple
<b>Area</b>	1280 square metres more or less
<b>Legal Description</b>	Lot 1 Deposited Plan 63404

**Registered Owners**  
Warren Thomas Raymond Fraser, Susanne Rae Osbaldiston and Gordon Trevor Osbaldiston

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**Interests**

11040473.3 Mortgage to Westpac New Zealand Limited - 4.4.2018 at 10:22 am

# RIVERVIEW ROAD

