

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☒ No

2. Type of consent being applied for

(more than one circle can be ticked):

- ☒ Land Use ☐ Discharge
- ☐ Fast Track Land Use* ☐ Change of Consent Notice (s.221(3))
- ☐ Subdivision ☐ Extension of time (s.125)
- ☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- ☐ Other (please specify) _____

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☒ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:	Audrey Harris	
Email:	[REDACTED]	
Phone number:	Work [REDACTED]	Home [REDACTED]
Postal address: (or alternative method of service under section 352 of the act)	34c Te Whahapu Road Russell Postcode 7020	

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:	Katie Denley	
Email:	[REDACTED]	
Phone number:	Work [REDACTED]	Home [REDACTED]
Postal address: (or alternative method of service under section 352 of the act)	1/203 Queen Street Richmond Postcode 7020	

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:	Audrey Harris	
Property address/ location:	34c Te Whahapu Road Russell Postcode 0272	

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:	Audrey Harris		
Site address/ location:	34c Te Wahanu Road		
	Russell		
	Postcode 0272		
Legal description:	Lot 2 DP 569778	Val Number:	
Certificate of title:			

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Resource Consent required for 10.7.5.1.1 Visual Amenity. 10.7.5.1.7 Setback From Boundaries.
12.2.6.1.1 Indigenous Vegetation Clearance Permitted throughout the district. 12.3.6.1.2 Excavation and/or filling
12.4.6.1.2 Fire Risk to Residential Units. 15.1.6B.1.5 Car Parking Standards

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☒ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent	Enter BC ref # here (if known)
☐ Regional Council Consent (ref # if known)	Ref # here (if known)
☐ National Environmental Standard Consent	Consent here (if known)
☐ Other (please specify)	Specify 'other' here

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☒ Yes ☐ No ☐ Don't know

☐ Subdividing land

☒ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Katie Denley

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

4/203 Queen Street

Richmond

Postcode

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Katie Denley

Signature:

(signature of bill payer)

Date 14/11/25

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Katie Denley

Signature

Date 14/11/25

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☒ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

LAND USE CONSENT APPLICATION

34C TE WAHAPU ROAD, RUSSELL

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APPENDIX 4

DISTRICT PLAN ASSESSMENT

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AFFECTED PARTIES

1.0 INTRODUCTION

This application for land use consent is made pursuant to section 88 of the Resource Management Act 1991 (RMA). This report and the supporting information present an assessment of effects on the environment as required by the RMA.

The site is located at 34C Te Wahapu Road, Russell. It is legally described as Lot 2 Deposited Plan 569778 and has a total area of 5532m². The site is located within Coastal Living Zone under the Operative Far North District Plan (ODP) and Rural Lifestyle within the Proposed Far North District Plan (PDP).

The applicant is seeking to construct a new single storey dwelling and deck as per attached plans in Appendix 2.

An assessment against both the ODP and PDP has identified that the proposal will only fail to comply with the following Rules:

- **10.7.5.1.1 Visual Amenity:** allows for a maximum gross floor area (GFA) of 50m².
- **10.7.5.1.7 Setback From Boundaries:** requires buildings to be set back a minimum of 10m from any site boundary.
- **12.2.6.1.1 Indigenous Vegetation Clearance Permitted throughout the district:** Permits vegetation clearance where clearance is for any of the purposes stated in clauses (a) – (o).
- **12.3.6.1.2 Excavation and/or filling:** allows for a maximum of 300m³ in any 12 month period per site, and a cut or filled face under 1.5m in height.
- **12.4.6.1.2 Fire Risk to Residential Units:** required residential units to be located at least 20m away from the drip line of any trees.
- **15.1.6B.1.5 Car Parking Standards:** stipulates the requirements for size, manoeuvring space and vehicle circulation routes providing access to them.

The proposal can meet all other relevant performance standards under the ODP and PDP. A copy of the District Plan Assessment is provided in Appendix 4.

As a result of the above non-compliances, the proposal triggers the need for land use consent and obtains a Non-complying Activity status. It is maintained that any actual or potential adverse environmental effects that may result from Council granting consent to this application will be no more than minor and acceptable.

2.0 LEGAL DESCRIPTION

2.1 RECORD OF TITLE & REGISTERED INTERESTS

Relevant information regarding the title is identified in the table below:

Legal Address	Legal Description	Area	Registered Interests
34C Te Wahapu Road, Russell 0272	Lot 2 Deposited Plan 569778	5532m2	<i>Land Covenant in Deed B111039.2 - 22.9.1982 at 2.40 pm</i> <i>Land Covenant in Deed B145395.2 - 2.2.1983 at 2.40 pm</i> <i>Land Covenant in Deed B145396.2 - 2.2.1983 at 2.40 pm</i> <i>Land Covenant in Deed B152192.2 - 25.2.1983 at 11.14 am</i> <i>Land Covenant in Deed B167577.2 - 21.4.1983 at 11.01 am</i> <i>Land Covenant in Deed B167577.3 - 21.4.1983 at 11.01 am</i> <i>Land Covenant in Deed B191736.2 - 5.7.1983 at 11:29 am</i> <i>Appurtenant hereto is a right of way specified in Easement Certificate C352830.3 - 5.3.1992 at 10.07 am</i> <i>The easements specified in Easement Certificate C352830.3 are subject to Section 309 (1) (a) Local Government Act 1974</i> <i>12290198.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 23.3.2022 at 9:48 am</i> <i>Subject to a right to drain water over part marked B on DP 569778 created by Easement Instrument 12290198.3 - 23.3.2022 at 9:48 am</i> <i>Appurtenant hereto is a right of way and rights to convey electricity, water and telecommunications created by Easement Instrument 12290198.3 - 23.3.2022 at 9:48 am</i>

			<i>The easements created by Easement Instrument 12290198.3 are subject to Section 243 (a) Resource Management Act 1991</i>
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It is confirmed that the registered interests in place will not impact on the proposal from proceeding under the RMA. It is confirmed that the proposed development will be located clear of all easements and will be in accordance with the consent notice conditions. A copy of the Record of Title and registered interests are attached in Appendix 1.

3.0 SITE DESCRIPTION

3.1 LOCATION, SURROUNDS AND ZONING

The site is located at 34C Te Wahapu Road, Russell 0272. The site has vehicular access from Te Wahapu Road via an existing right of way driveway over the neighbouring property. The site forms an irregular shape and is currently vacant of any development onsite. The area consists of mainly rural lifestyle lots.

The site is zoned Coastal Living under the ODP planning maps as seen in Figure 1. No overlays are noted under the planning maps as seen from Figure 1.



Figure 1 Identifies the site selected in red and within the Coastal Living Zone (ODP).

3.2 BUILT DEVELOPMENT

The site development is currently vacant of development and has access via a private right of way from Te Wahapu Road.



Figure 3 View of the site and the wider area.

3.3 TOPOGRAPHY AND NATURAL FEATURES

The site has a predominantly north facing aspect with views over Orongo Bay. The ground is sloping moderately toward the north-east at grade of 21-25°. The site is mostly covered with mature native bush with stands of manuka, kanuka and punga trees. A house platform has been levelled in the central portion, and the topsoil has been stripped from the platform.

3.4 ACCESS

The site has access via a private right of way from Te Wahapu Road. No changes to the current access provisions are proposed as part of this application. Reference images of existing driveway access in Appendix 2.

3.5 UTILITY SERVICES

No changes to the existing service connections are proposed as part of this application.

4.0 PROPOSAL

4.1 LAND USE

The applicant is wanting to construct a new single storey dwelling and deck onsite. The dwelling will have a total floor area of 79m² in area, with a deck comprising of 109m². The dwelling is positioned within the central are of the site and will be used as the applicant's primary residence.

The site plan and the elevation plans are located in Appendix 2 along with details of materials for roofing and cladding.

An assessment against both the ODP and PDP has identified that the proposal will only fail to comply with the following Rules.

- **10.7.5.1.1 Visual Amenity:** allows for a maximum gross floor area (GFA) of 50m².
- **10.7.5.1.7 Setback From Boundaries:** requires buildings to be set back a minimum of 10m from any site boundary.
- **12.2.6.1.1 Indigenous Vegetation Clearance Permitted throughout the district:** Permits vegetation clearance where clearance is for any of the purposes stated in clauses (a) – (o).
- **12.3.6.1.2 Excavation and/or filling:** allows for a maximum of 300m³ in any 12 month period per site, and a cut or filled face under 1.5m in height.
- **12.4.6.1.2 Fire Risk to Residential Units:** required residential units to be located at least 20m away from the drip line of any trees.
- **15.1.6B.1.5 Car Parking Standards:** stipulates the requirements for size, manoeuvring space and vehicle circulation routes providing access to them.

No other non-compliances with the standards of the ODP and PDP result, with the proposal able to comply with all other relevant rules. Overall, the proposal obtains Non-complying Activity Status. A copy of the District Plan Assessment is attached as Appendix 5.

5.0 PROPOSED SERVICES AND INFRASTRUCTURE

5.1 VEHICLE ACCESS

No changes to the existing vehicle access provisions onsite are proposed as part of this application.

5.2 THREE WATERS

All storm and wastewater will be designed in line with the recommendations from PK Engineering.

5.3 UTILITY SERVICES

The new dwelling will be provided with a separate electricity connection which is provided at the boundary of the allotment.

5.4 EARTHWORKS

It is estimated that the earthworks associated with the proposed dwelling and deck will involve an area of 34.41m³ of cut and 528.68m³ of fill.

For further information refer to PK Engineering Geotech Report in Appendix 3.

6.0 ASSESSMENT OF EFFECTS

6.1 OPERATIVE/ PROPOSED FAR NORTH DISTRICT PLAN

An assessment against the Operative and Decisions Version of the FNDP has identified that the proposal will fail to comply with the following Rules:

- **10.7.5.1.1 Visual Amenity:** allows for a maximum gross floor area (GFA) of 50m².
- **10.7.5.1.7 Setback From Boundaries:** requires buildings to be set back a minimum of 10m from any site boundary.
- **12.2.6.1.1 Indigenous Vegetation Clearance Permitted throughout the district:** Permits vegetation clearance where clearance is for any of the purposes stated in clauses (a) – (o).
- **12.3.6.1.2 Excavation and/or filling:** allows for a maximum of 300m³ in any 12 month period per site, and a cut or filled face under 1.5m in height.
- **12.4.6.1.2 Fire Risk to Residential Units:** required residential units to be located at least 20m away from the drip line of any trees.
- **15.1.6B.1.5 Car Parking Standards:** stipulates the requirements for size, manoeuvring space and vehicle circulation routes providing access to them.

NON-COMPLIANCE RULE 10.7.5.1.1 - VISUAL AMENITY

Rule 10.7.5.1.1 Visual Amenity allows for a maximum gross floor area (GFA) of 50m². The proposed dwelling will be 79m² in area which exceeds the maximum GFA by 29m².

It is considered that the adverse effects as a result of the above non-compliance will not have an adverse effect on the environment that is more than minor considering the following:

- It is noted that maximum site coverage for the subject site is still below the maximum permitted area of 10% in the Coastal Living zone as such the exceedance of the GFA for the proposed dwelling is considered to be offset by the lack of development onsite. It is considered that the increase in the GFA for the proposed dwelling will not be readily noticeable from the transport corridor.
- The proposed dwelling can comply with majority of the other relevant performance standards and will not result on any shading or privacy issues for any other neighbouring property;

- The proposal is able to comply with all other relevant performance standards including (but not limited to) height, site coverage, height in relation to boundary, etc. therefore the proposal is considered to be designed to be in keeping with that expected within the zone. The PDP also does not have maximum GFA requirements for buildings within the Rural Living Zone which would indicate that the proposal is also encouraged and expected within the RLZ provided the other relevant performance standards can be met. Considering the above it is concluded that any adverse effects as a result of the GFA exceedance of the proposed dwelling is unlikely to result in any adverse effects beyond the boundaries of the site.

Overall, considering the above it is considered that the breach in maximum GFA will not result in any adverse impacts on the surrounding environment and any adverse effects are considered to be insignificant and less than minor given the location of the dwelling where existing built form and separation is utilized onsite to provide excellent screening and separation from neighboring properties.

NON-COMPLIANCE RULE 10.7.5.1.7 SETBACK FROM BOUNDARIES

Under Rule 10.7.5.1.7 of the Operative Far North District Plan, all buildings within the Coastal Environment Zone are required to be set back a minimum of 10 metres from any site boundary.

As the site has a total area of 5,542 m², the 10-metre setback standard applies. The proposed retaining walls, and dwelling are all located within 10 metres of the nearest site boundary, resulting in a non-compliance with this rule.

The encroachment is limited in scale and does not result in any significant adverse effects on adjoining properties or the wider environment. The affected boundary adjoins an unoccupied area of natural bush, ensuring that the reduced setback does not compromise privacy, outlook, or the open character of the area. The proposed structures are of a small domestic scale, finished in recessive tones, and are visually integrated with existing landform and planting.

Given the large overall site area, the development maintains generous separation from neighbouring dwellings and the road frontage, and the reduced setback will not create visual dominance or over-shadowing effects. The proposal is therefore considered to be consistent with the objectives and policies of the Coastal Living Zone, which provide for residential use where adverse effects on amenity and landscape character are appropriately managed.

On this basis, the infringement is minor in extent and will have less than minor adverse effects on neighbouring properties and the coastal environment.

NON-COMPLIANCE RULE 12.2.6.1.1 INDIGENOUS VEGETATION CLEARANCE PERMITTED THROUGHOUT THE DISTRICT

Under Rule 12.2.6.1.1 of the Operative Far North District Plan, the clearance of indigenous vegetation is a permitted activity where the clearance is for any of the purposes listed in clauses (a)–(o), such as maintenance of existing buildings and accessways, hazard removal, or minor domestic use. The proposed vegetation clearance associated with the formation of the building platform, driveway and retaining works does not fall within the specified purposes and therefore constitutes a breach of this rule.

Although the activity technically requires resource consent, the extent of clearance is limited to that necessary to establish the proposed dwelling, access, and associated infrastructure. The vegetation to be removed comprises regenerating scrub and low-stature native species that are not part of a significant ecological area. The clearance will not result in fragmentation of indigenous habitat, loss of notable trees, or adverse effects on ecological connectivity.

All disturbed areas will be stabilised and revegetated with appropriate native species to ensure long-term integration with the surrounding landscape. Erosion and sediment control measures will be implemented during construction to prevent sediment discharge to adjacent land or waterways.

Given the small scale of vegetation removal, its location within an already modified area, and the proposed mitigation measures, the ecological and landscape effects are considered to be less than minor. The proposal remains consistent with the objectives and policies of the District Plan, which enable reasonable use of land while safeguarding the natural character and ecological values of the district.

NON-COMPLIANCE RULE 12.3.6.1.2 EXCAVATION AND/OR FILLING

Rule 12.3.6.1.2 of the Operative Far North District Plan permits excavation and/or filling within the Coastal Living Zone, provided the total volume does not exceed 300 m³ in any 12-month period per site and no cut or filled face exceeds 1.5 m in height (i.e. a combined maximum of 3 m for cut and fill).

According to the Geotechnical Report submitted with this application, the proposed earthworks involve approximately 34.41 m³ of cut and 528.68 m³ of fill, exceeding the permitted 300 m³ volume standard. As such, the proposal represents a non-compliance with Rule 12.3.6.1.2 and requires resource consent.

The additional fill is required to establish a stable, level building platform and accessway on an undulating site. All earthworks have been designed in accordance with the geotechnical recommendations to ensure long-term stability and minimise off-site effects. The works will be undertaken in a single construction phase using appropriate erosion and sediment control measures in accordance with best-practice guidelines (e.g., *Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region*, TP90).

All finished surfaces will be re-contoured to blend with the surrounding landform and revegetated with locally appropriate species to restore the natural appearance of the site. Stormwater runoff will be managed to avoid sediment discharge to adjacent land or waterways. Given the controlled extent of the works, the stability design, and the mitigation measures proposed, any potential effects relating to landform modification, erosion, or visual impact are considered to be less than minor.

The proposal remains consistent with the objectives and policies of the District Plan, which seek to enable reasonable use and development of land while ensuring that earthworks are undertaken in a manner that maintains land stability, minimises environmental effects, and protects amenity and natural character.

NON-COMPLIANCE RULE 12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS

Rule 12.4.6.1.2 of the Operative Far North District Plan requires that residential units be located at least 20 metres from the dripline of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest. This rule is intended to reduce the risk of fire spreading between vegetation and dwellings.

A review of current aerial imagery and site plans indicates that the proposed dwelling will be located within 20 metres of existing vegetation, which includes areas of regenerating native scrub and shelter trees. Accordingly, the proposal does not comply with Rule 12.4.6.1.2 and requires resource consent for this infringement.

The risk of fire has been considered and can be effectively managed through appropriate mitigation measures. These include maintaining a managed defensible space of low flammability planting and lawn around the dwelling, removal of highly combustible vegetation immediately adjacent to the building site, and use of non-combustible exterior materials such as metal roofing and fire-resistant cladding. Access to the site is via an existing formed driveway suitable for emergency vehicle access, and on-site water storage will include a dedicated supply for firefighting purposes, consistent with Fire and Emergency New Zealand (FENZ) guidelines.

With these measures in place, the potential fire risk is reduced to an acceptable level. The proposed dwelling will not increase the overall fire hazard in the locality, and the effects of the setback infringement are considered to be less than minor. The proposal remains consistent with the objectives and policies of the District Plan, which seek to protect life and property from fire hazard while enabling reasonable residential development within rural and coastal environments.

NON-COMPLIANCE RULE 15.1.6B.1.5 CAR PARKING STANDARDS

Rule 15.1.6B.1.5 of the Operative Far North District Plan sets out the standards for the size of parking spaces, manoeuvring areas, and vehicle circulation routes providing access to them. The rule requires that all parking and associated manoeuvring areas be contained within the site, and that vehicles can enter and exit the site in a forward direction without reversing to or from the road.

Due to the topography of the site and the requirement for substantial retaining walls (as per PK Engineering report) to provide vehicular access to the dwelling, it is proposed that parking be located at the top of the driveway, near the entrance to the property. A small area will be cleared, with low retaining walls constructed to form a parking and turning space.

The proposal does not fully comply with this standard, as the required manoeuvring space extends partially onto the shared private right-of-way rather than being wholly contained within the site boundary. This constitutes a technical non-compliance with Rule 15.1.6B.1.5.

Despite this, the arrangement achieves the underlying intent of the standard by providing a safe and practical outcome. The shared right-of-way is legally established for vehicle access, formed to an all-weather surface, and of sufficient width to accommodate both access and limited turning movements without impeding other users.

As shown in the vehicle tracking diagram (Area C on the site plan, Appendix 2), vehicles can enter and exit the site safely in a forward direction. The proposal will not result in adverse safety, congestion, or amenity effects.

Written approvals have been obtained from all affected neighbours (Appendix 5) who hold joint legal rights to the shared access, confirming that they have no objection to the proposed manoeuvring arrangement. This demonstrates that the proposal is acceptable to those most directly affected and that any potential effects on shared access users are less than minor.

Accordingly, while the manoeuvring area is not entirely contained within the site, the proposal achieves the functional and safety outcomes sought by Rule 15.1.6B.1.5. The effects of this non-compliance are considered to be less than minor, and the proposal remains consistent with the transport objectives and policies of the District Plan.

6.2 FAR NORTH DISTRICT PLAN – POLICIES AND OBJECTIVES

OPERATIVE FAR NORTH DISTRICT PLAN (ODP)

CHAPTER 10 – COASTAL ENVIRONMENT

Objective 10.3.1

To protect the natural character, landscape, ecological and amenity values of the coastal environment from inappropriate subdivision, use and development.

Policy 10.4.1.1

Encourage development and use within the coastal environment that maintains or enhances natural character and visual amenity.

Policy 10.4.1.2

Ensure buildings are located and designed to avoid adverse visual effects on the coastal landscape through scale, form, colour and materials that are compatible with the natural setting.

Assessment:

The proposed dwelling, lake cabin, and associated works have been designed to integrate with the natural coastal landscape. Building materials are recessive in tone, and the structure maintains a low profile that follows the existing landform. Vegetation clearance is limited to that necessary for construction and access, and replanting will use locally sourced native species to restore the natural character of the site. The development retains generous separation from the coastal edge and avoids dominance within the landscape. The proposal therefore achieves Objective 10.3.1 and is consistent with Policies 10.4.1.1 and 10.4.1.2, maintaining the natural and visual character of the coastal environment.

CHAPTER 12 – NATURAL AND PHYSICAL RESOURCES (EARTHWORKS AND VEGETATION CLEARANCE)

Objective 12.3.1

To ensure that earthworks and land modification activities do not result in adverse effects on land stability, water quality, visual amenity, or the natural character of the environment.

Policy 12.3.2.1

Limit the scale and extent of earthworks to what is necessary for the intended use of the land.

Policy 12.3.2.3

Encourage rehabilitation and replanting of disturbed areas to restore visual and environmental quality.

Assessment:

The proposed earthworks total approximately 34.41 m³ of cut and 528.68 m³ of fill, exceeding the permitted 300 m³ volume under Rule 12.3.6.1.2. These works are necessary to establish a safe and stable building platform and accessway on an undulating site. All works will be carried out in accordance with geotechnical recommendations, and erosion and sediment controls will be implemented to prevent off-site effects. Disturbed areas will be re-contoured and replanted with indigenous species to blend with the natural landform. The proposal is consistent with Objective 12.3.1 and Policies 12.3.2.1 and 12.3.2.3, as effects on stability, water quality, and visual amenity are less than minor.

CHAPTER 12 – FIRE RISK

Objective 12.4.1

To reduce the risk of loss of life or damage to property by fire.

Policy 12.4.2.1

Ensure that residential units are adequately separated from flammable vegetation and that landscaping and building materials minimise fire risk.

Assessment:

The proposed dwelling is located within 20 metres of existing vegetation, triggering Rule 12.4.6.1.2. Fire risk will be effectively managed through maintaining a defensible area of low-flammability planting, use of non-combustible materials (metal roofing and fire-resistant cladding), and provision of on-site firefighting water storage. Access for emergency services is provided via the existing formed driveway. The proposal achieves the intent of Objective 12.4.1 and Policy 12.4.2.1 by ensuring that the residual fire risk remains low and appropriate for the coastal environment.

CHAPTER 15 – TRANSPORTATION

Objective 15.3.1

To ensure that the transport network provides for the safe and efficient movement of people and goods.

Policy 15.4.1.2

Ensure vehicle access, parking, and manoeuvring areas are designed to provide for safe movement of vehicles and pedestrians within sites.

Assessment:

The proposal involves a technical non-compliance with Rule 15.1.6B.1.5, as manoeuvring space extends into a shared private right-of-way. Despite this, vehicle tracking confirms that vehicles can enter and exit the site in a forward direction, and the shared accessway is legally established, formed, and wide enough to safely accommodate manoeuvring movements. Written approvals have been obtained from all affected neighbours confirming no objection to this arrangement. The design therefore meets the intent of Objective 15.3.1 and Policy 15.4.1.2, ensuring safety and efficiency while maintaining good neighbour relationships and amenity.

PROPOSED FAR NORTH DISTRICT PLAN (PDP)

COASTAL ENVIRONMENT ZONE

Objective CE-O1

The natural character, landscape and amenity values of the coastal environment are maintained and enhanced.

Policy CE-P2

Enable appropriate development that is compatible with the surrounding landscape and maintains coastal character.

Policy CE-P4

Ensure buildings and structures are located and designed to minimise visual intrusion and integrate with the natural landform.

Assessment:

The proposal is modest in scale and uses natural colours and materials that integrate with the existing landscape. Vegetation clearance is limited and will be offset by native replanting. The proposal avoids dominance, retains the site's coastal form, and is consistent with Objective CE-O1 and Policies CE-P2 and CE-P4 by maintaining the natural character and visual amenity of the coastal environment.

TRANSPORT CHAPTER (TRAN)

Objective TRAN-O1

A safe, efficient, and integrated transport network that provides for the movement of people and goods.

Policy TRAN-P3

Ensure that access, parking, and loading facilities are designed and located to function effectively and safely.

Assessment:

While the manoeuvring area extends onto a shared private access, the design functions safely and efficiently. Forward entry and exit can be achieved, and all affected parties have provided written approval. The proposal maintains a safe transport environment consistent with Objective TRAN-O1 and Policy TRAN-P3.

EARTHWORKS CHAPTER (EWK)

Objective EWK-O1

Earthworks maintain land stability, natural character, and water quality.

Policy EWK-P1

Restrict earthworks to the extent necessary for development and require erosion and sediment controls to avoid adverse effects.

Assessment:

Although the volume of fill exceeds the permitted threshold, the earthworks are designed and managed to maintain slope stability and prevent sedimentation. The works are necessary to provide a safe and functional building platform, and all areas will be stabilised and replanted. The proposal is consistent with Objective EWK-O1 and Policy EWK-P1.

OVERALL POLICY CONSISTENCY

The proposal achieves a high level of consistency with both the Operative and Proposed District Plans. It provides for reasonable residential use of the site while maintaining the character and amenity of the coastal environment, managing landform modification and fire risk, and ensuring vehicle access and manoeuvring are safe and functional.

The design respects the natural landscape, integrates mitigation planting, and minimises environmental effects. Accordingly, the proposal gives effect to the objectives and policies of the Operative and Proposed Far North District Plans and represents a sustainable and appropriate use of land consistent with the purpose and principles of the Resource Management Act 1991 (Sections 5–7).

7.0 NATIONAL ENVIRONMENTAL STANDARD

In January 2012, the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCSC) came into effect.

Regulation 5(5) of the NESCSC describes that subdivision or land use is an activity to which the NESCSC may apply. The site is not a registered HAIL site, and is not known to have historically been used for any recognised HAIL activities. The site is therefore not a ‘piece of land’ to which the NESCSC applies, and the proposed land use is a permitted activity in this regard.

No other National Environmental Standards are considered relevant to this proposal.

8.0 NATIONAL POLICY STATEMENTS

There are currently eight National Policy Statements (NPS) being:

- National Policy Statement on Electricity Transmission
- National Policy Statement for Renewable Electricity Generation
- New Zealand Coastal Policy Statement
- National Policy Statement for Freshwater Management 2020
- National Policy Statement on Urban Development
- National Policy Statement for Highly Productive Land
- National Policy Statement for Greenhouse Gas Emissions from Industrial Process Heat
- National Policy Statement for Indigenous Biodiversity

None of the above NPS are considered relevant in this instance.

The National Policy Statement for Highly Productive Land (NPS-HPL) is not considered relevant in this instance due to the site not being zoned Rural or General Rural Zone.

9.0 RESOURCE MANAGEMENT ACT 1991

9.1 SECTION 88 – APPLICATION

This application for land use consent is submitted pursuant to Section 88 of the RMA. This report and the attached supporting information provide an assessment of effects on the environment as required by the RMA.

9.2 SECTION 95 – NOTIFICATION

Pursuant to Section 95A (3) of the Resource Management Act 1991, Council must publicly notify an application if it decides that the activity will have or is likely to have adverse effects on the environment, and that Council must not publicly notify an application if a rule precludes notification of the application.

This application for land use consent is defaults to consideration as a Non- complying Activity. For reasons outlined in this report it is submitted that any adverse effects resulting from the proposal use will be less than minor.

Pursuant to Section 95B of the RMA, if Council does not publicly notify an application, it must decide if there are any affected persons in relation to the activity. The consent authority must give limited notification of the application to any affected person unless a rule precludes limited notification of the application. It is submitted that no other person has the potential to be adversely affected by the land use consent application (other than those person/s who have provided their written approval) and therefore notification is not warranted.

9.3 SECTION 104B – DETERMINATION FOR DISCRETIONARY OR NON-COMPLYING ACTIVITIES

After considering an application for a resource consent for a Discretionary Activity or Non-Complying Activity, a consent authority:

- a) may grant or refuse the application; and
- b) if it grants the application, may impose conditions under Section 108.

9.4 SECTION 104D PARTICULAR RESTRICTIONS FOR NON-COMPLYING ACTIVITIES

Despite any decision made for the purpose of notification in relation to adverse effects, a consent authority may grant a resource consent for a non-complying activity only if it is satisfied that either—

(a) the adverse effects of the activity on the environment (other than any effect to which section 104(3)(a)(ii) applies) will be minor; or

(b) the application is for an activity that will not be contrary to the objectives and policies of—

(i) the relevant plan, if there is a plan but no proposed plan in respect of the activity; or

(ii) the relevant proposed plan, if there is a proposed plan but no relevant plan in respect of the activity; or

(iii) both the relevant plan and the relevant proposed plan, if there is both a plan and a proposed plan in respect of the activity.

(2) To avoid doubt, section 104(2) applies to the determination of an application for a non-complying activity.

9.5 PART 2 – PURPOSE AND PRINCIPLES

The purpose of the Resource Management Act 1991 (RMA) is to promote the sustainable management of natural and physical resources. Section 5(2) defines sustainable management as managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety while avoiding, remedying, or mitigating adverse effects of activities on the environment.

The proposed land use — the construction of a dwelling, lake cabin, and associated retaining walls and access works — represents an efficient and appropriate use of the land in a manner consistent with the purpose of the Coastal Living Zone. The development will provide for the applicant's residential and lifestyle needs, contributing to their social and economic wellbeing while avoiding, remedying, and mitigating any potential adverse effects through careful design, erosion and sediment controls, and revegetation.

The proposal will not adversely affect the natural character, amenity, or ecological values of the coastal environment and is therefore considered to be consistent with Section 5 of the RMA.

Section 6 of the RMA identifies matters of national importance that must be recognised and provided for. The following are potentially relevant to the proposal:

- Section 6(a): The preservation of the natural character of the coastal environment and its protection from inappropriate subdivision, use, and development; and
- Section 6(d): The maintenance and enhancement of public access to and along the coastal marine area.

The proposed development is small in scale, located within an already modified area, and will not affect public access to or along the coast. The design respects the natural topography, uses recessive materials, and includes native replanting to maintain the natural character of the site.

Accordingly, the proposal recognises and provides for the relevant matters of Section 6 of the RMA.

Section 7 of the RMA requires particular regard to be given to the following matters that are relevant to this proposal:

- The efficient use and development of natural and physical resources;
- The maintenance and enhancement of amenity values; and
- The maintenance and enhancement of the quality of the environment.

The proposal represents the efficient use and development of an existing coastal site for residential purposes in a manner that is compatible with surrounding development and the existing landscape character. It maintains and enhances amenity values through appropriate siting, building design, and landscaping that integrate with the natural environment. The proposed earthworks and vegetation clearance will be managed to maintain land stability and protect the quality of the environment. Accordingly, the proposal gives appropriate regard to Section 7(b), (c), and (f) of the RMA.

Section 8 requires that all persons exercising functions and powers under the Act shall take into account the principles of the Treaty of Waitangi. The proposal does not raise any issues relating to Treaty principles, nor does it affect sites of known cultural significance.

The proposal provides for the reasonable and sustainable use of the site while managing any potential effects on the environment. It is consistent with the purpose and principles of the RMA as expressed in Sections 5–8, achieving sustainable management of natural and physical resources through appropriate design, mitigation, and environmental safeguards.

Accordingly, the proposal achieves Part 2 of the Resource Management Act 1991.

10.0 CONCLUSION

The site is located at 34C Te Wahapu Road, Russell. It is legally described as Lot 2 Deposited Plan 569778 and has a total area of 5532m². The site is located within Coastal Living Zone under the Operative Far North District Plan (ODP) and Rural Lifestyle within the Proposed Far North District Plan (PDP). An assessment against both the ODP and the PDP has identified that the proposal will only fail to comply with the following Rules:

- **10.7.5.1.1 Visual Amenity:** allows for a maximum gross floor area (GFA) of 50m².
- **10.7.5.1.7 Setback From Boundaries:** requires buildings to be set back a minimum of 10m from any site boundary.
- **12.2.6.1.1 Indigenous Vegetation Clearance Permitted throughout the district:** Permits vegetation clearance where clearance is for any of the purposes stated in clauses (a) – (o).
- **12.3.6.1.2 Excavation and/or filling:** allows for a maximum of 300m³ in any 12 month period per site, and a cut or filled face under 1.5m in height.
- **12.4.6.1.2 Fire Risk to Residential Units:** required residential units to be located at least 20m away from the drip line of any trees.
- **15.1.6B.1.5 Car Parking Standards:** stipulates the requirements for size, manoeuvring space and vehicle circulation routes providing access to them.

The proposal can meet all other relevant performance standards under the ODP and PDP.

As a result of the identified non-compliances with the relevant standards of the Operative Far North District Plan, the proposal requires land use consent and is classified as a Non-Complying Activity.

It is considered that any actual or potential adverse environmental effects arising from the proposal will be no more than minor and can be appropriately avoided, remedied, or mitigated through the proposed design measures and conditions of consent. The proposal has been assessed against the relevant objectives and policies of both the Operative and Proposed Far North District Plans and is found to be consistent with their overall intent.

Accordingly, the proposal represents an appropriate and sustainable use of the land, and it is considered that the application meets the purpose and principles of the Resource Management Act 1991.

APPENDIX 1

RECORD OF TITLE



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

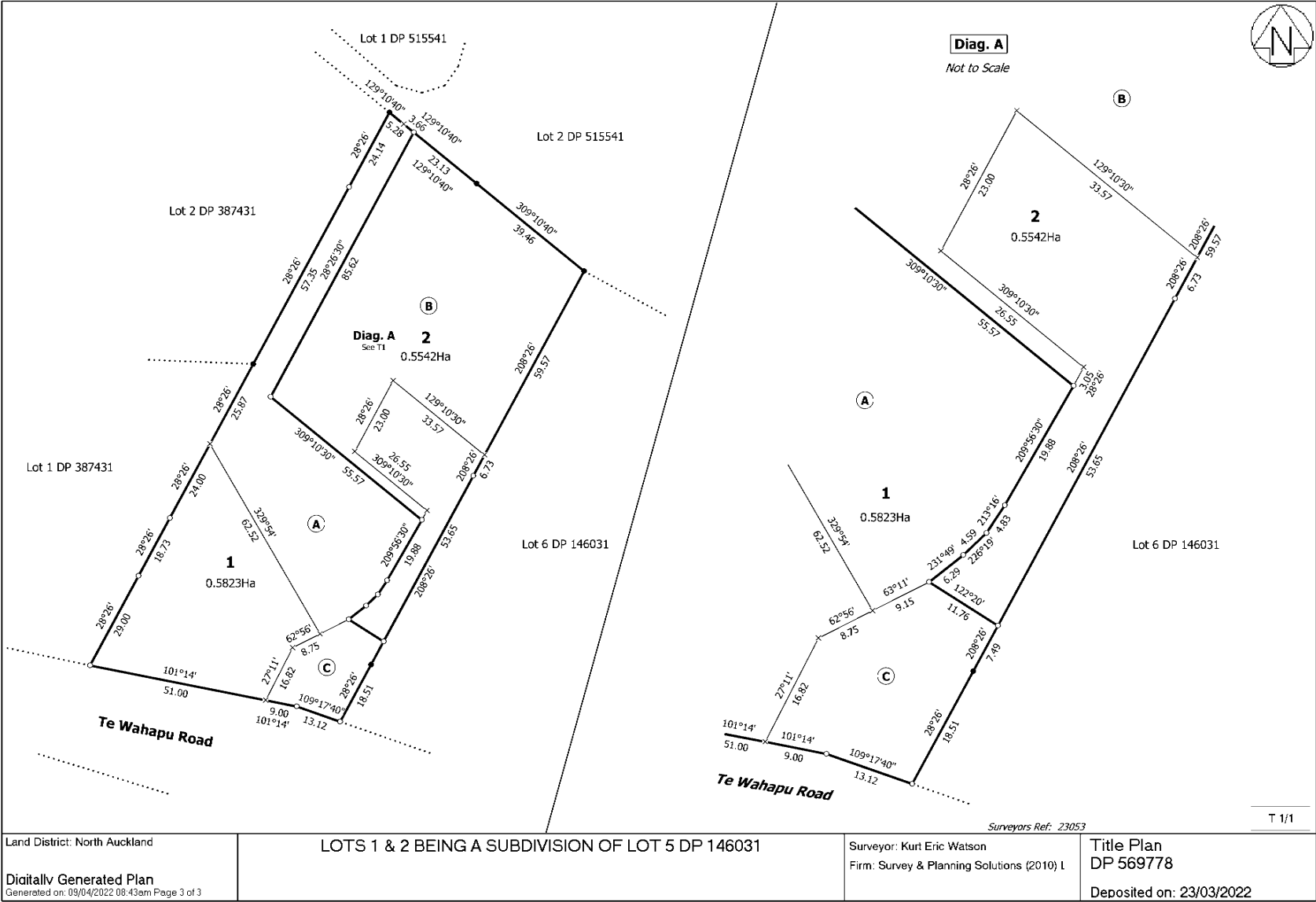
Identifier **1027944**
Land Registration District **North Auckland**
Date Issued 23 March 2022

Prior References
NA86C/529

Estate Fee Simple
Area 5542 square metres more or less
Legal Description Lot 2 Deposited Plan 569778
Registered Owners
Audrey Mavis Harris

Interests

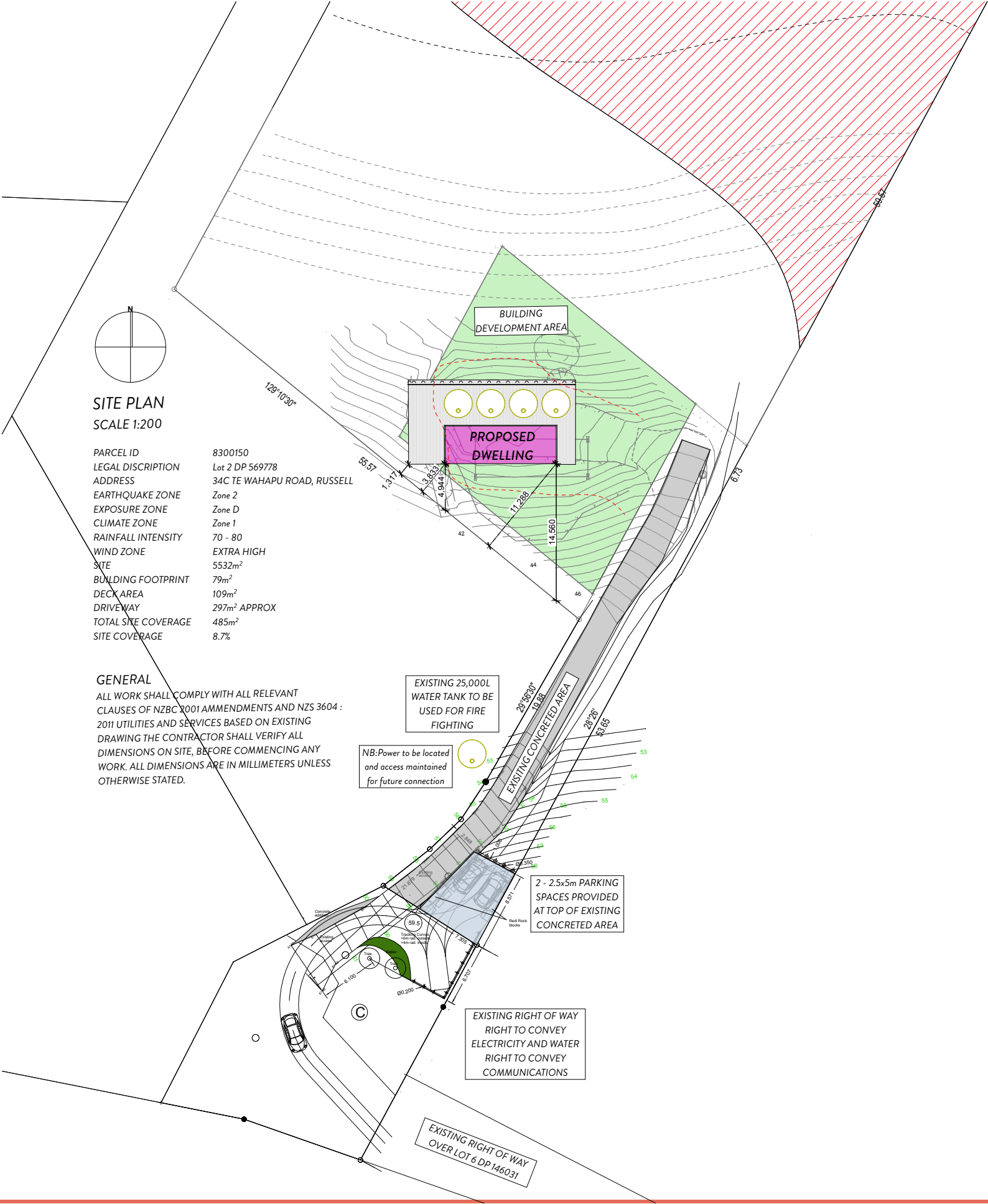
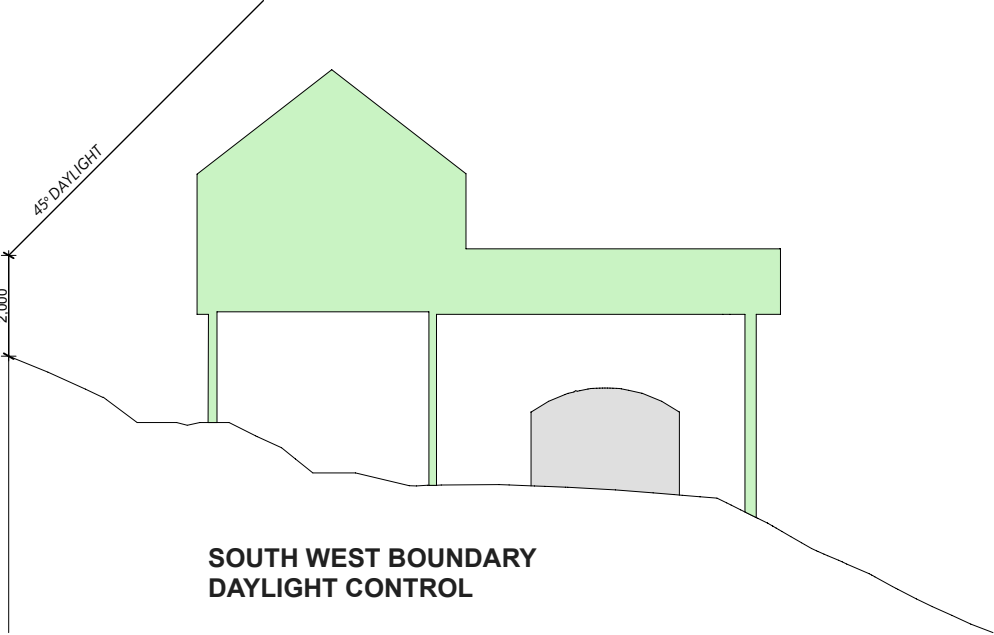
Land Covenant in Deed B111039.2 - 22.9.1982 at 2.40 pm
Land Covenant in Deed B145395.2 - 2.2.1983 at 2.40 pm
Land Covenant in Deed B145396.2 - 2.2.1983 at 2.40 pm
Land Covenant in Deed B152192.2 - 25.2.1983 at 11.14 am
Land Covenant in Deed B167577.2 - 21.4.1983 at 11.01 am
Land Covenant in Deed B167577.3 - 21.4.1983 at 11.01 am
Land Covenant in Deed B191736.2 - 5.7.1983 at 11:29 am
Appurtenant hereto is a right of way specified in Easement Certificate C352830.3 - 5.3.1992 at 10.07 am
The easements specified in Easement Certificate C352830.3 are subject to Section 309 (1) (a) Local Government Act 1974
12290198.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 23.3.2022 at 9:48 am
Subject to a right to drain water over part marked B on DP 569778 created by Easement Instrument 12290198.3 -
23.3.2022 at 9:48 am
Appurtenant hereto is a right of way and rights to convey electricity, water and telecommunications created by Easement
Instrument 12290198.3 - 23.3.2022 at 9:48 am
The easements created by Easement Instrument 12290198.3 are subject to Section 243 (a) Resource Management Act 1991



APPENDIX 2

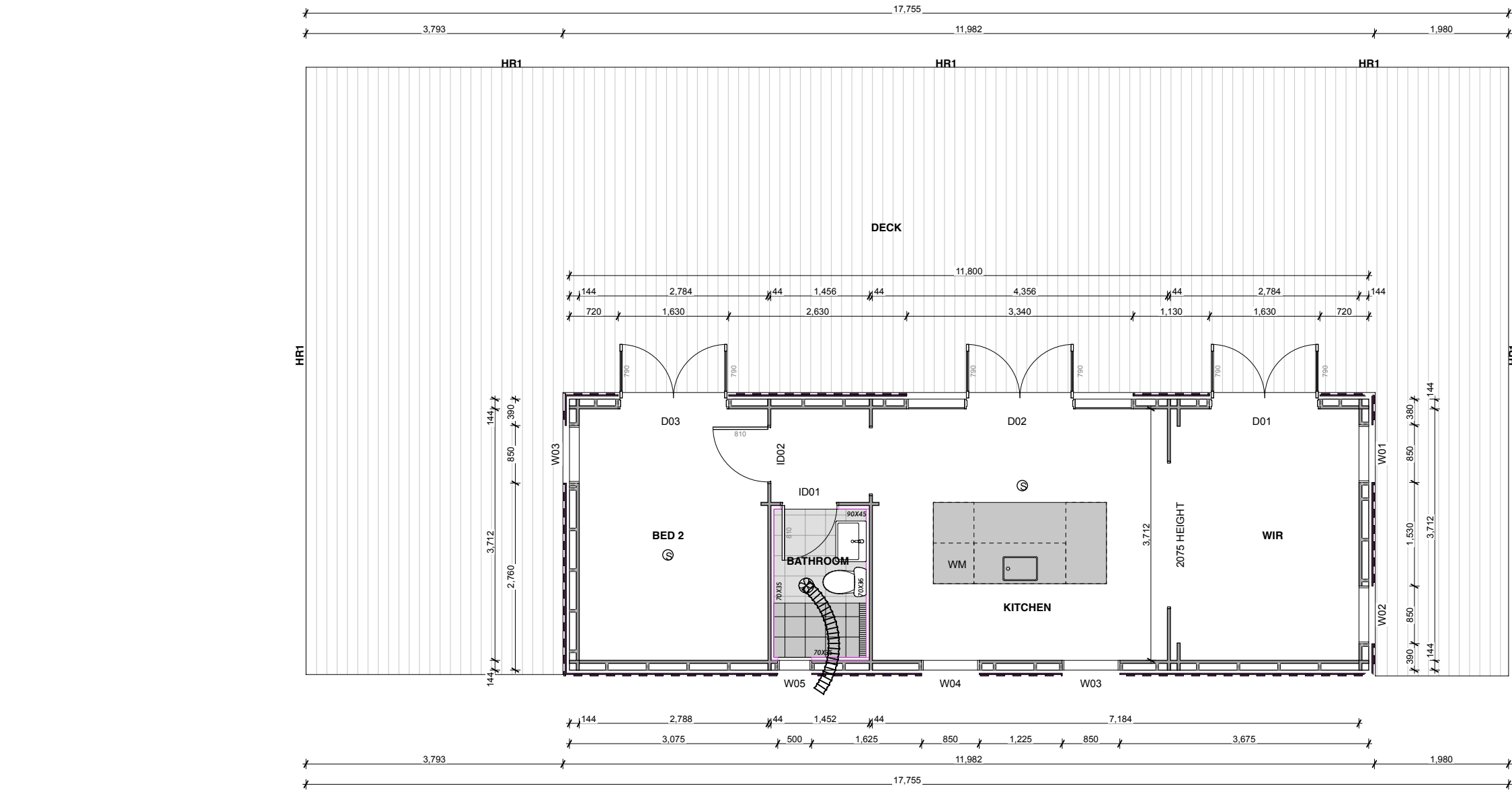
SITE PLANS AND IMAGES

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



REV	DATE	DESCRIPTION
A	11.11.25	RESOURCE CONSENT

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



3

FLOOR PLAN

3.0

EXTERNAL WALLS
144 x 45 H1.2 SG8 SPRUCE WALL BOARDS + 100x40mm H1.2 SG8 TIMBER WIND POSTS FIXED TO WALL BOARDS WITH 2/ CPC40 AT 600CRS UP WALL. 2/14G x 35mm SCREWS EACH FACE. BASE BEAM TO BE FIXED AS PER BELOW AND ENGINEER DETAILS. REMAINING WALL BOARDS TO BE INTERLOCKED AS PER KITSET INSTRUCTIONS.

LONG SIDES - HALF BOARD BASE BEAM FIXED TO BEARER WITH 14G x 110mm SCREW AT 250 CRS. REFER TO ENGINEER DETAILS.

3.1

INTERNAL WALLS
144 x 45 H1.2 SG8 SPRUCE WALL BOARDS + 100x40mm BASE BEAM TO BE FIXED AS PER BELOW AND ENGINEER DETAILS. REMAINING WALL BOARDS TO BE INTERLOCKED AS PER KITSET INSTRUCTIONS.

3.2

FULL BOARD BASE BEAM FIXED TO BEARER WITH 14G x 200mm SCREW AT 250 CRS. REFER TO ENGINEER DETAILS.

BATHROOM WALLS
144 x 45 H1.2 SG8 SPRUCE WALL BOARDS

3.3

10mm GIB AQUALINE TO ALL BATHROOM WALLS AND CEILING. EITHER 70x35mm OR 90x45mm H1.2 SG8 TIMBER BATTENS REFER TO PLAN FOR BATTEN SIZE LOCATION.

EXTRACT FAN
150mm EXTRACT FAN CONNECTED TO LIGHT SWITCH, DUCTED TO EXTERNAL WALL.

3.4

COOKTOP
MIN 50mm BETWEEN BACK OF BENCH TOP AND HOB CUTOUT, GLASS OR TILES TO BE INSTALLED TO A MINIMUM OF 150mm ABOVE BENCH TOP AND WIDTH OF COOKTOP.

3.5

KITCHEN
BENCHTOP - TO BE STAINLESS STEEL, HIGH-PRESSURE LAMINATE, ENGINEERED STONE

3.6

CABINETS - MDF WITH MELAMINE COVER

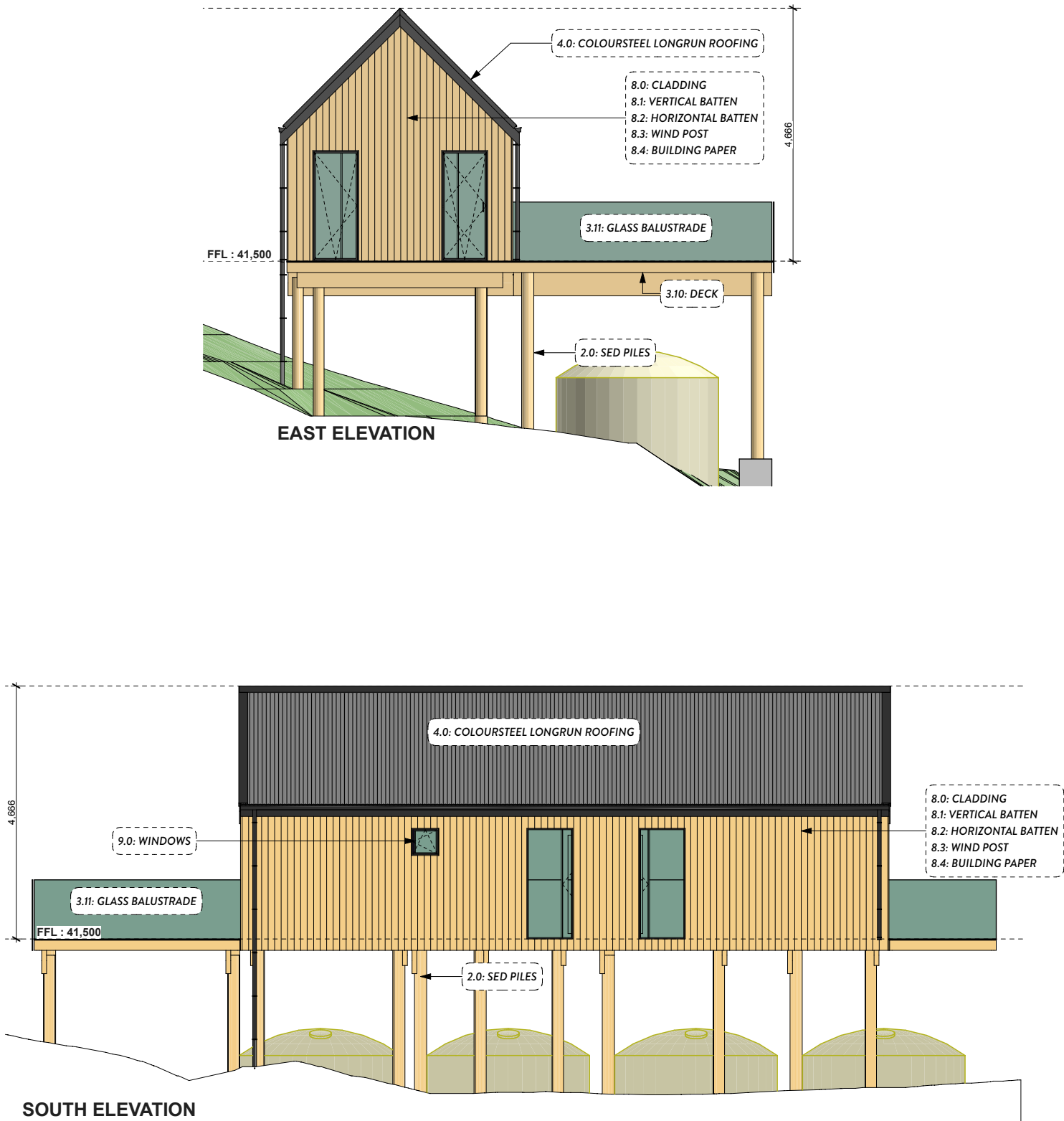
INTERIOR LIGHTING
INTERIOR LIGHTING TO COMPLY WITH NZS:6703
ALL ELECTRICAL WORK TO COMPLY WITH NZBC G9/AS1
DOWNLIGHTS TO BE CATEGORY IC-F

3.7

RANGEHOOD
BOSCH SERIES 2 WALL MOUNTED COOKER HOOD 90cm STAINLESS STEEL (OR SIMILAR PRODUCT WITH SAME EXTRACTION RATE) WITH DUCTING TO EXT. WALL
VENTILATION RATE: 222L/S, 800m3/HR. OR SIMILAR MODEL WITH THE SMAE SPECIFICATIONS.

REV	DATE	DESCRIPTION
A	11.11.25	RESOURCE CONSENT

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



HOUSE - SUBFLOOR FRAMING
REFER TO AMK ENGINEERING DETAILS FOR SUBFLOOR CALCUALTIONS AND DETAILS. REFER TO PK ENGINEERING DRAWINGS FOR BEARER AND PILE CALCUALTATIONS AND DETAILS

SED PILES
REFER TO PK ENGINEERING DRAWINGS FOR PILE AND BEARER CALCUALTIONS AND DETAILS.

FLOOR PLAN

DECK
OUTDURE - CASADECK DECKING
138x23mm COMPOSITE DECKING FIXED TO DECK JOISTS AS PER MANUFACTURERS DETAILS

GLASS BALUSTRADE
UNEX PANORAMA FRAMELESS GLASS BALUSTRADE - LAMINATED GLASS - TBC CONFIRMED BY CLIENT

ROOFING

COLOURSTEEL LONGRUN ROOFING
SELECTED 5 RIB OR CORRUGATED PROFILED 0.55 COLOURSTEEL ENDURA ROOFING FIXED OVER THERMAKRAFT 215 BUILDING PAPER OVER SLEF SUPPORTING MESH TO PURLINS.

FIXING PATTERN - T2 HIT 1 MISS 1

CLADDING

CLADDING
120 x 20mm H3.2 SG8 VERTICAL BOARD AND BATTEN CLADDING. REFER TO ENG DETAILS FOR FIXING.

VERTICAL BATTEN
50 x 20mm VERTICAL H3.1 CAVITY BATTEN + CAVIT CLOSURE STRIP. REFER TO ENG DETAILS FOR FIXING.

HORIZONTAL BATTEN
50 x 20mm HORIZONTAL H3.1 BATTEN AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.

WIND POST
90 x 32 H1.2 WIND POST AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.

BUILDING PAPER
THERMAKRAFT WATERGATE PLUS BUILDING PAPER.

CONTINUOUS AROUND EXTERNAL CORNERS.

TURNED INTO OPENINGS, FLASHING TAPE TO TO ALL CORNERS AND TO EXTEND ALONG SILL.

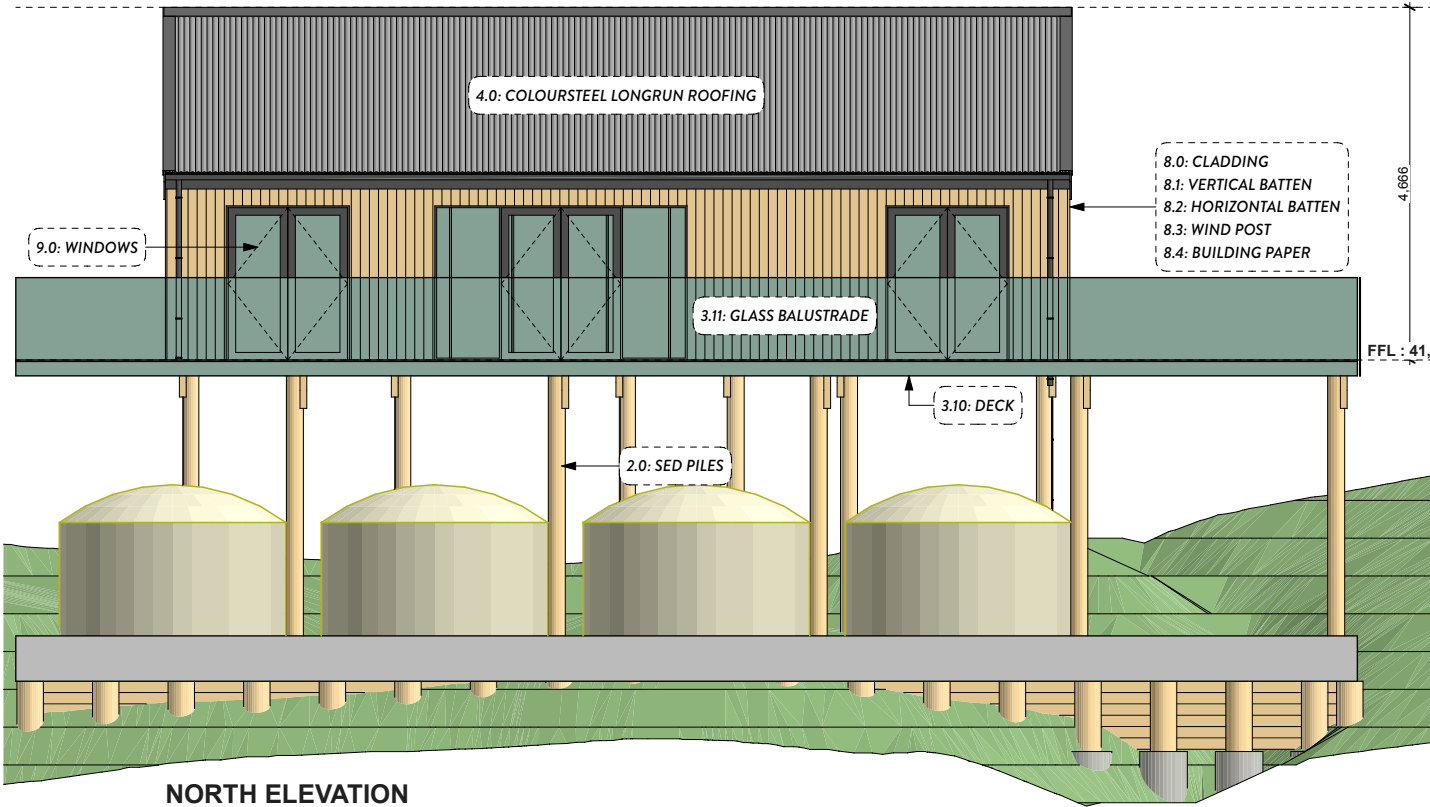
RIGID AIR BARRIER
CHCH ECO-PLY-BARRIER 7MM PLYWOOD. INSTALLED AS PER MANUFACTURES DETAILS. REFER TO ENGINEERING DOCUMENTS FOR ADDITIONAL NOGS REQUIRED FOR FIXING.

WINDOWS

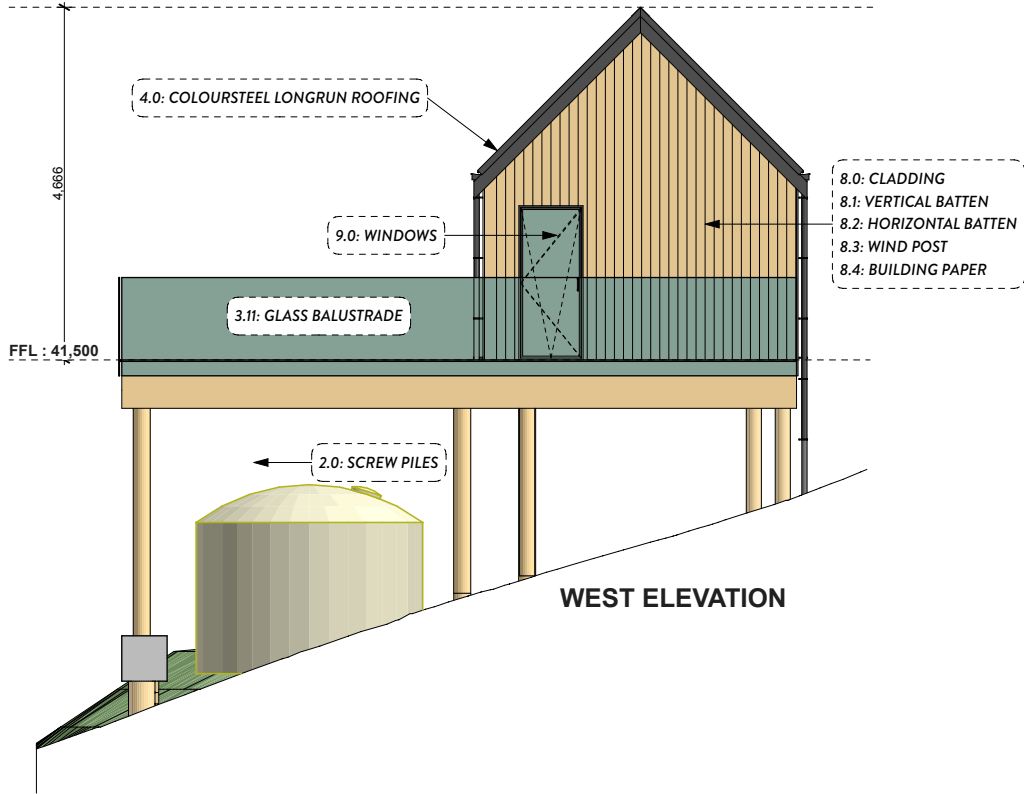
WINDOWS
UPVC EXTERIOR DOORS AND WINDOWS
GLASS - AGC GLASS EUROPE - 4mm PLANILBEL CLEARLITE. 6mm ARGON, THERMALLY TOUGHENED,

E2/AS1 COMPLIANCE RISK MATRIX - WORST CASE SCENARIO		
WIND ZONE	E HIGH	2
NUMBER OF STORIES	LOW	0
ROOF / WALL INTERSECTION	HIGH	1
EAVES WIDTH	HIGH	5
ENVELOPE COMPLEXITY	LOW	0
DECK DESIGN	LOW	0
TOTAL		8

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



NORTH ELEVATION



WEST ELEVATION

- 2

HOUSE - SUBFLOOR FRAMING

REFER TO AMK ENGINEERING DETAILS FOR SUBFLOOR CALCUALTIONS AND DETAILS. REFER TO PK ENGINEERING DRAWINGS FOR BEARER AND PILE CALCUALTATIONS AND DETAILS
- 2.0

SED PILES

REFER TO PK ENGINEERING DRAWINGS FOR PILE AND BEARER CALCUALTIONS AND DETAILS.
- 3

FLOOR PLAN
- 3.10

DECK

OUTDURE - CASADECK DECKING

138x23mm COMPOSITE DECKING (FIXED TO DECK JOISTS AS PER MANUFACTURERS DETAILS
- 3.11

GLASS BALUSTRADE

UNEX PANORAMA FRAMELESS GLASS BALUSTRADE - LAMINATED GLASS - TBC CONFIRMED BY CLIENT
- 4

ROOFING
- 4.0

COLOURSTEEL LONGRUN ROOFING

SELECTED 5 RIB OR CORRUGATED PROFILED 0.55 COLOURSTEEL ENDURA ROOFING FIXED OVER THERMAKRAFT 215 BUILDING PAPER OVER SLEF SUPPORTING MESH TO PURLINS.

FIXING PATTERN - T2 HIT 1 MISS 1
- 8

CLADDING
- 8.0

CLADDING

120 x 20mm H3.2 SG8 VERTICAL BOARD AND BATTEN CLADDING. REFER TO ENG DETAILS FOR FIXING.
- 8.1

VERTICAL BATTEN

50 x 20mm VERTICAL H3.1 CAVITY BATTEN + CAVIT CLOSURE STRIP. REFER TO ENG DETAILS FOR FIXING.
- 8.2

HORIZONTAL BATTEN

50 x 20mm HORIZONTAL H3.1 BATTEN AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.
- 8.3

WIND POST

90 x 32 H1.2 WIND POST AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.
- 8.4

BUILDING PAPER

THERMAKRAFT WATERGATE PLUS BUILDING PAPER.

CONTINUOUS AROUND EXTERNAL CORNERS.

TURNED INTO OPENINGS, FLASHING TAPE TO TO ALL CORNERS AND TO EXTEND ALONG SILL.
- 9

WINDOWS
- 9.0

WINDOWS

UPVC EXTERIOR DOORS AND WINDOWS

GLASS - AGC GLASS EUROPE - 4mm PLANILBEL CLEARLITE. 6mm ARGON, THERMALLY TOUGHENED,

E2/AS1 COMPLIANCE RISK MATRIX - WORST CASE SCENARIO		
WIND ZONE	E HIGH	2
NUMBER OF STORIES	LOW	0
ROOF / WALL INTERSECTION	HIGH	1
EAVES WIDTH	HIGH	5
ENVELOPE COMPLEXITY	LOW	0
DECK DESIGN	LOW	0
TOTAL		8







APPENDIX 3

SITE SUITABILITY REPORT



SITE SUITABILITY REPORT

FOR
PROPOSED NEW SUBDIVISION
AT
34 TE WAHAPU ROAD
RUSSELL
LOT 5 DP 146031

FOR
STEVE HARDCASTLE

Job No: 21-025
Date: March 2021
Revised May 2021

Level 1 ANZ Bank Building 90 Kerikeri Road, Kerikeri, New Zealand
Telephone: 09 407 3255 Email: teampk@pkengin.co.nz



1. INTRODUCTION

This report was requested by Steve Hardcastle and has been prepared to assess the suitability of Lot 5 DP 146031, 34 Te Wahapu Road, Russell for future development.

This report assesses the proposed Lot 5 regarding land stability, foundation requirements, ground retention requirements, wastewater disposal and stormwater flows and has been prepared for the sole use of our client. It shall not be used, reproduced, or copied in any manner or form without the permission of P K Engineering Limited.

2. GENERAL SITE DESCRIPTION

The proposed Lot 5 encompasses an area of approximately 11,360m² and is located on a right of way off Te Wahapu Road. The proposed subdivision will split the parcel into two lots. Lot 1 6300m² (for the existing dwelling) and Lot 2 5065m² for the proposed new dwelling. The section has a predominately north facing aspect with views over Orongo Bay. The ground is sloping moderately toward the north-west at grades of 21-25°. The lot is predominantly covered with mature native bush with stands of manuka, kanuka and punga trees. A house platform has been levelled and the topsoil has been stripped from the platform.

This Lot is proposed to be located as indicated on Site plan Sheet SG1, Appendix A.

A current site topographic survey has not been conducted and the locations and dimensions of all features as shown on the accompanying plans and discussed in this report are from a survey conducted in 2007 by a registered surveyor and tape measurements made onsite and as such are indicative.

The subsurface conditions discussed in this report have been determined at very specific locations and will not identify any variations in ground strength or composition at other locations on the site. During construction should ground conditions be found to vary significantly from those described in this report PK Engineering is to be notified immediately.

3. NATURAL HAZARDS

The Northern end of the proposed lot falls within the tsunami hazard zone – *“Yellow Inundation Zone. This zone should be evacuated in an official warning for larger than the 3 – 5 m threat level (2,500-year return period) or in*

the case of a natural or informal warning where the potential wave height is unknown. The Yellow Zone encompasses the Orange Zone and Shore Evacuation Zone.” Northland Regional council – Tsunami hazard zones. The proposed building platform is inside the safe zone.

4. SITE INVESTIGATIONS

4.1 VISUAL INSPECTION

A thorough walkover of the proposed building site and surrounding slopes was undertaken and geotechnical features relating to site stability and stormwater flows were noted. A note has been made that the cleared building platform appears to have been created with fill excavated from the uphill slope as indicated on SG1.

4.2 SUBSURFACE INVESTIGATIONS

Four subsurface exploratory auger holes were drilled at the locations shown on the attached plan as AH1- AH4. In situ undrained shear strength readings were taken at regular intervals in each hole. These holes were drilled to depths of 3.0m. Scala penetrometer tests were then undertaken from the base of both auger holes to a target depth of 5.0m below existing ground level or to termination where impenetrable ground was discovered.

Auger holes AH1 - AH4 all encountered predominantly firm, undisturbed silty and sandy clays with in-situ undrained shear strength in excess of 100kPa. AH1, AH2 and AH3 all encountered a lens of clay which exhibited poor resistance to shear force at approximately 0.6m to 1.6m below existing ground level. Scala penetrometer tests were taken from the base of each auger hole (PT1 – PT4). All PT results displayed weak to moderate ground at 3.0m – 3.5m. From 3.5m to a minimum of 4.05m firm clays were found. Ground conditions progressively increasing the resistance to penetration with increasing depth. Firm clays transitioning to semi weathered rock or boulders are inferred at depths in excess of 4.05m below ground level.

Cross sections A – A & B – B shown on Sheet SG2 gives an illustration of the inferred sub-soil profile.

The groundwater table was not intercepted during field investigations.

The logs of these auger holes and Scala Penetrometer tests are given in Appendix A.

4.3 SOAKAGE TESTS

Two Soakage tests (SH1 & SH2) were undertaken for this lot to assist in wastewater disposal design. These tests were located as shown on the accompanying Site Plan SG1. These tests were conducted in accordance with the TP 58 guidelines. The test results are given in Appendix A.

The tests revealed the sub-soil to have moderate to slow drainage rates. We recommend that the sub-soil for this lot be categorised as a Category 5 type soil.

5. GEOLOGY

The local soil type has been classified as “*Rangiora clay, clay loam and silty clay loam*” overlying “*Sandstone and mudstone (greywacke and argillite.....*”NZMS 290, Sheet Q04/05, Bay of Islands soil and rock maps.

6. SITE STABILITY

6.1 GENERAL

The sub soils on this site are predominantly of high strength, with strong bedrock located at 4.05 – 4.90m beneath existing ground level.

A timber pole platform type of foundation is ideal for this site with poles embedded a minimum of 0.5m into the semi weathered rock due to the steep nature of the site, weak clay layers intercepted, and to reduce loading into soil layers thus reducing the risk of instability. This type of foundation will also assist in maintaining the stability by providing resistance to slippage by acting as soil nailing. It is recommended that any such pile design incorporate the lateral soil loads acting upon the upper 2.0m layer of the embedment, as a passive force ($K_p = 3.0$)

All foundation design should be conducted by a suitably experienced Chartered Professional Engineer.

Ground retaining may be required at the northern edge of the cleared platform. Refer to Site Plan Sheet SG1 for location. Timber pole retaining walls should be utilised. Any retaining of greater than 1.0m height or subject to surcharge loading (buildings, driveways or backslope exceeding 15°) should be designed by a suitably experienced Chartered Professional Engineer.

6.2 BUILDING FOUNDATIONS

The following parameters should be utilized for the design of footings and piled foundations:

IN STIFF CLAY :

Bulk Density	= 18 kN/m ³
Ultimate Bearing Capacity	= 300kPa
Allowable Bearing Capacity (F.O.S = 3)	= 100kPa
Dependable Bearing Capacity ($\phi = 0.5$)	= 150kPa

IN WEAK CLAY:

Bulk Density	= 18 kN/m ³
Ultimate Bearing Capacity	= 150kPa
Allowable Bearing Capacity (F.O.S = 3)	= 50kPa
Dependable Bearing Capacity ($\phi = 0.5$)	= 75kPa

IN SEMI-WEATHERED ROCK:

Bulk Density	= 25 kN/m ³
Ultimate Bearing Capacity	= 6MPa
Allowable Bearing Capacity (F.O.S = 3)	= 2MPa
Dependable Bearing Capacity ($\phi = 0.5$)	= 3MPa

The upper 1.0m layer of this clay is highly expansive in nature and prone to large volumetric changes upon variations in moisture content. Therefore, shallow foundations are not suitable for this building site. All exposed banks should be suitably retained to eliminate any potential for slope regression and instability.

6.3 CUT BATTER SLOPES

No cut batter on this site should be left unretained. Fill should not be placed upon any slopes north of the house site as this has potential to initiate circular slip type failures due to the additional surcharge loads. Ground cover must be maximised to maintain the upper clay layer in its natural state of moisture content.

7. STORMWATER

Proposed Lot 2

The careful management of stormwater runoff is vital to the continued stability of the proposed building platform. All stormwater flows should be piped away from the building platform and steep slopes.

This site is zoned as Coastal Living Zone under the Far North District Plan. All stormwater runoff off the roof, driveway and hard surfaces must be collected into an attenuation chamber and released in a controlled manner to the existing natural flow paths well away from the chosen house-site. A minimum setback of 20m from the edge of foundations is recommended.

We have undertaken some preliminary analysis of the stormwater attenuation to achieve hydraulic neutrality. We would recommend using half the volume (12,000l) of a 25,000l detention tank with a 40mm constricted outflow for any further development for the purposes of controlling stormwater outflow.

The stormwater roof runoff is to be piped into 2x 25,000l water tanks located on the western edge of the excavated building platform. A half of one of these tanks to be used for attenuation. Overflows from the tanks to be directed via a

150mm diameter pipe to a suitable dispersal system to provide sheet flow to natural flow paths as illustrated on Sheets SG1 and SG3. Detail of the dispersal system can be found in Appendix A Stormwater Discharge Sheet SG4.

Proposed Lot 1

As the Lot is being split into two, Attenuation calculations are required for the existing impermeable roof surfaces and include adequate provisions for climate change. To achieve hydraulic neutrality the following information in Table 1 is to be adhered to.

Table 1- Stormwater attenuation for the existing Lot 1.

Total Impermeable Area	1,168m ²
Total Roof Area to Be Attenuated	519m ²
10 Year Storm Event Required Attenuation for Roof	19.0m ³
100 Year Storm Event Required Attenuation for Roof	32.6m ³
Orifice 10 Year Storm Event	41mm
Orifice 100 Year Storm Event	47mm
Invert Level 10 Year Orifice depth from Overflow IL	1,550mm
Invert Level 100 Year Orifice depth from Overflow IL	650mm

Analysis of the stormwater attenuation for Lot 1 requires ~32,000ltr of stormwater to be attenuated via a 150mm diameter pipe to a suitable dispersal system to provide sheet flow to natural flow paths. We recommend

that an additional 30,000ltr detention tank be installed on Lot 1 and that the overflow from the existing 25,000ltr tanks is directed to the detention tank for

storage and slow release utilising the orifices listed in Table 1 above. The orifices to discharge to the overflow of the detention tank. The detention tank overflow to discharge to a suitable dispersal system providing sheet flow to natural flow paths. The location of the 30,000ltr detention tank is to be confirmed. The above attenuation design will result in a substantially slower rate of discharge than is currently the case.

8. WASTEWATER DISPOSAL

The soils that exist on this site exhibit slow drainage rates. It has been classified as a category 5 type of earth as per the recommendations set by Technical Publication No. TP58.

To achieve a secondary level of treatment it is recommended to use an aerated treatment plant for this site. For this purpose, an Innoflow plant or similar, capable of treating at least 800l/day of wastewater flow is recommended. The maintenance programme for the treatment system should be strictly followed as per the supplier's recommendations.

We believe that a dosing rate of 3mm per day is quite conservative for this site since there is a healthy forest eco-system to utilise this wastewater resource and the bulk of the uptake will be via evapo-transpiration.

We recommended using a Pressure Compensating drip irrigation system for the disposal field. The disposal field to consist of 267 lineal metres of surface

irrigation lines with emitters at 1m centres and 1m spacing between lines, to give a total area of 267m². This design is based on a 3-bedroom dwelling with a 5-person occupancy using 160ltrs/day per person giving a total wastewater production of 800ltrs/day and a loading rate of 3ltrs/m²/day. Surface irrigation lines are recommended to enable minimal ground disturbance in the native bush below the house site.

If any dwelling on this site is to have more than 3 bedrooms the wastewater system and TP58 will need to be amended accordingly.

A 30% reserve area is available if required. Refer Site Plan Sheet SG1, Appendix A

It must be ensured that the wastewater disposal field and reserve area maintain the following minimum setback distances:

- 1.5m from property boundary
- 3m from buildings
- 15m from surface water and open drains
- 5m from identified flow path down slope from disposal field.
- 0.6m above the winter groundwater table.
- 3m from the retaining walls.

- additional 10m buffer zone below drip lines for slopes greater than 10°

The disposal field to be fenced to prevent children and animals coming into contact with the leachate. A swale surface water interceptor to be constructed

on the uphill side of the disposal field to prevent surface water entering the field.

Only Bio-Degradable detergents and cleaning agents are to be used in any water discharging to the wastewater system.

9. ACCESS

Access to the site is currently provided via a concrete access way (69m approximately) in the south-eastern corner of the proposed lot up the eastern boundary to the proposed building platform. This access way will need to be upgraded to provide a suitable turn around area for the proposed dwelling as illustrated on the Site Plan, Sheet SG1. The existing driveway profile does not meet the maximum gradient (1 in 4) of the Far North District Council Engineering Standards. A robust timber pole retaining wall will be required at the northern end to provide a means of mitigating the gradient and providing a suitable turning area for the proposed building site. This should be carefully designed by a suitably qualified and experienced Chartered Professional Engineer.

The access way has a drain running the length of the driveway between the access way and the eastern boundary. There is a small culvert installed for a vehicle crossing at the bottom of the accessway for the potential subdivision of the eastern neighbouring Lot 6 DP 146031.

10. RECOMMENDATIONS

I recommend that:

- This site is considered suitable for proposed new dwelling.
- The dwelling foundation be a timber pole platform type of foundation.
- Foundation design should be conducted by a suitably experienced Chartered Professional Engineer.
- Ground retaining will be required on the northern edge of the building platform and at the lower end of the driveway
- Any retaining subject to surcharge loading (buildings, driveways or backslope exceeding 10°) should be designed by a suitably experienced Chartered Professional Engineer.

- All earthworks are to be inspected and approved by an engineer. All hardfill over 600mm depth is to be inspected and approved by an engineer.
- No stormwater flows from the developments may discharge onto the slopes surrounding the building platform.
- The water tank overflow and driveway run off from Lot 2 be carried by a minimum 150mm uPVC pipe and discharged by way of a disperser or similar into the existing flow path as indicated on the accompanying Site Plan, Sheet SG1. This discharge point should be located a minimum of 20m away from any building foundations.
- Wastewater be treated to a secondary level by an aerated treatment plant and disposed of by 267 lineal metres of PCDI lines as outlined in section 8 of this report. A 100% reserve area is to be provided.
- The required setbacks for the wastewater system are maintained as per section 8 of this report.
- Only Bio-Degradable detergents and cleaning agents are to be used in any water discharging to the wastewater system.

11. CONCLUSION

This site is suitable for the proposed developments and a stable sustainable building platform can be made available provided that the recommendations in this report are followed diligently.

All foundation design and retaining wall design should be conducted by a Chartered Professional Engineer.

All Earthworks will need to be inspected and approved by a Chartered Professional Engineer.

Pradeep Kumar.
B.E hons, NZCE, MIPENZ,
IntPE, CP Eng.
(Structural, Geotechnical)
Chartered Professional Engineer.

APPENDIX A

- AUGER HOLE LOGS
- SCALA PENETROMETER LOGS
- SOAKAGE TEST RESULTS
- PS1 PRODUCER STATEMENT
- TP-58 APPENDIX E
- LIST OF PLANT SPECIES
- LOCATION PLAN 'SG1'
- SITE PLAN 'SG2'
- CROSS SECTIONS 'SG3'
- DISPERSAL SYSTEM DETAIL 'SG4'
- STORMWATER ATTENUATION CALCULATIONS

BOREHOLE LOG NO - AH1

Project: 34 Te Wahapu Road

Client: Steve Hardcastle

Job No: 21-025



Graphic Symbol	@@@	#####	%%%	000	++++		DDDD	In situ shear vane reading	
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	
								Scale Penetrometer	•

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
300	#####	Ground Water Level not intercepted	Rangiora Clay, Clay Loam and Silty Clay Loam	Silty CLAY, yellow mottled white & black, slightly moist, weak, slightly plastic.	67 162	
	#####			becoming more plastic, white and black rock inclusions	44 122	
600	#####			transitioned to yellow mottled light brown.	38 87	
	#####				29 84	
900	#####					
	#####					
1200	#####					
	#####			Transitioned to moist, very cohesive		203
1500	#####				84 191	
	#####				90 145	
1800	#####			Transitioned to yellow with fine red streaks		203
	#####			Transitioned to yellow with white streaks		203
2100	#####					203
	#####			Transitioned to Orange with white streaks		203
2400	#####					203
	#####			Transitioned to yellow mottled brown/white/pink.		
2700	#####					
	#####					
3000	#####					
	#####					
3300	#####					
	#####					
3600	#####					
	#####					
3900	#####					
	#####					
4200	#####					
	#####					
4500	#####					
	#####					
4800	#####					
	#####					
5100	#####					
	#####					
5400	#####					

Drill Methods	50-100 mm hand auger	Note:
Test Location	Refer to site plan	1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location.
Test Date	9/03/2021	2. UTP - Unable to penetrate.
Inspector	TY & DF	

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 Telephone: 09 407 3255 Fax: 09 407 3256 Email: TeamPK@pkengin.co.nz

BOREHOLE LOG NO - AH2

Project: 34 Te Wahapu Road

Client: Steve Hardcastle

Job No: 21-025



Graphic Symbol	@@@	#####	%%%	000	++++		DDDD	In situ shear vane reading
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading
								Scale Penetrometer

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
300	@@@@	Ground Water Level not intercepted	Rangiora Clay, Clay Loam and Silty Clay Loam	Silty CLAY, yellow mottled black, weak, slightly moist, slightly plastic (overburden from uphill slope used to create level building platform)	17 116	
	@@@@				29 174	
600	@@@@				23 93	
	@@@@				35 81	
900	@@@@				38 87	
1200	@@@@			Silty CLAY, yellow mottled black (80%/20%), weak, slightly moist, slightly plastic	61 128	
1500	#####				55 122	
1800	#####				75 145	
2100	#####				78 151	
2400	#####				75 145	
2700	#####			Transitioned to yellow with small streaks of brown		
3000	#####					
3300				Transitioned to orange with yellow laminations		
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Drill Methods	50-100 mm hand auger	Note:
Test Location	Refer to site plan	1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location.
Test Date	9/03/2021	
Inspector	TY & DF	2. UTP - Unable to penetrate.

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BOREHOLE LOG NO - AH3

Project: 34 Te Wahapu Road

Client: Steve Hardcastle

Job No: 21-025



Graphic Symbol	@@@	#####	%%%	000	++++		DDDD	In situ shear vane reading	
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	
								Scale Penetrometer	•

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
				TOPSOIL, Brown , Non-cohesive, dry firm	17 116	
300	#####					
	#####			Silty CLAY, brown, dry, crumbly, slightly plastic	15 73	
600	#####					
	#####					
900	#####			Silty CLAY, brown, dry, crumbly, slightly plastic, rootlets		203
	#####					
1200	#####			Silty CLAY, yellow, dry, crumbly, slightly plastic		203
	#####					
1500	#####					
	#####					
1800	#####			Transitioned from crumbly to stiff		203
	#####					
2100	#####					
	#####					
2400	#####			Silty CLAY, orange, moist, crumbly, slightly plastic.	44 177	
	#####					
2700	#####				26 133	
	#####					
3000	#####			Silty CLAY, white mottled orange, moist, crumbly, slightly plastic.	38 162	
3300						
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Drill Methods	50-100 mm hand auger	Note:
Test Location	Refer to site plan	1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location.
Test Date	9/03/2021	
Inspector	TY & DF	2. UTP - Unable to penetrate.

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BOREHOLE LOG NO - AH4

Project: 34 Te Wahapu Road

Client: Steve Hardcastle

Job No: 21-025



Graphic Symbol	@@@	#####	%%%	000	++++		DDDD	In situ shear vane reading	
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	
								Scale Penetrometer	•

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
				TOPSOIL, Brown / yellow, crumbly, dry, weak	41 162	
300	#####					
	#####					
	#####					
600	#####			Silty CLAY, yellow, slightly plastic, slightly moist, weak, black rock inclusions.	73 183	
	#####					
	#####				17 162	
900	#####					
	#####				46 142	
1200	#####			Transitioned to yellow mottled orange		
	#####				38 162	
1500	#####			Transitioned to orange mottled white		
	#####				46 189	
1800	#####			Silty CLAY, light yellow mottled orange, slightly plastic, slightly moist, weak, black rock inclusions.		
	#####				203	
2100	#####					
	#####				32 145	
2400	#####			Transitioned to orange, light yellow and white, weak, crumbly.		
	#####				203	
2700	#####					
	#####				203	
3000	#####			Transitioned to orange, white & pink.		
3300						
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Drill Methods	50-100 mm hand auger	Note:
Test Location	Refer to site plan	1. The subsurface data described above has been determined at a specific borehole location. The data
Test Date	9/03/2021	will not identify any variations away from the location.
Inspector	TY & DF	2. UTP - Unable to penetrate.

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 Telephone: 09 407 3255 Fax: 09 407 3256 Email: TeamPK@pkengin.co.nz

P K ENGINEERING LIMITED														PENETROMETER HOLE No.					
90 KERIKERI RD Phone (09) 4073255 EMAIL pk.engin@pkengin.co.nz														SHT. 1 of 1					
Location: 34 Te Wahapu Road, Russell														Job No. 21-025					
Driven by: TY & DF														Date: 9/03/2021					
R.L at Ground Level: n/a												GWL:							
Depth	PT1	PT2	PT3	PT4	Depth	PT1	PT2	PT3	PT4	Depth	PT1	PT2	PT3	PT4	Depth	PT1	PT2	PT3	PT4
50					2550					5050					7550				
100					2600					5100					7600				
150					2650					5150					7650				
200					2700					5200					7700				
250					2750					5250					7750				
300					2800					5300					7800				
350					2850					5350					7850				
400					2900					5400					7900				
450					2950					5450					7950				
500					3000					5500					8000				
550					3050	2				5550					8050				
600					3100	2	2	4	1	5600					8100				
650					3150	2	1	3	2	5650					8150				
700					3200	2	2	2	2	5700					8200				
750					3250	2	3	2	2	5750					8250				
800					3300	3	4	2	2	5800					8300				
850					3350	3	4	2	1	5850					8350				
900					3400	2	4	3	3	5900					8400				
950					3450	3	6	2	3	5950					8450				
1000					3500	3	5	2	3	6000					8500				
1050					3550	2	6	3	3	6050					8550				
1100					3600	3	6	3	4	6100					8600				
1150					3650	3	7	3	4	6150					8650				
1200					3700	4	8	4	4	6200					8700				
1250					3750	3	8	2	3	6250					8750				
1300					3800	3	8	2	2	6300					8800				
1350					3850	3	9	3	3	6350					8850				
1400					3900	3	8	2	2	6400					8900				
1450					3950	4	8	3	2	6450					8950				
1500					4000	3	9	4	2	6500					9000				
1550					4050	4	10	4	2	6550					9050				
1600					4100	5	11	4	3	6600					9100				
1650					4150	5	13	4	3	6650					9150				
1700					4200	4	11	5	1	6700					9200				
1750					4250	5	11	5	4	6750					9250				
1800					4300	5	11	4	3	6800					9300				
1850					4350	6	10	4	3	6850					9350				
1900					4400	5	10	4	5	6900					9400				
1950					4450	5	9	6	5	6950					9450				
2000					4500	5	10	8	6	7000					9500				
2050					4550	5		6	5	7050					9550				
2100					4600	5		6	5	7100					9600				
2150					4650	5		6	6	7150					9650				
2200					4700	6		6	6	7200					9700				
2250					4750	7		5	5	7250					9750				
2300					4800	6		5	5	7300					9800				
2350					4850	6		5	6	7350					9850				
2400					4900					7400					9900				
2450					4950					7450					9950				
2500					5000					7500					10000				

PRODUCER STATEMENT

DESIGN: ON-SITE EFFLUENT DISPOSAL SYSTEM (T.P.58)

ISSUED BY: PRADEEP KUMAR (Approved qualified design professional)

TO: Hardcastle Steve (Owner)

TO BE SUPPLIED TO: FAR NORTH DISTRICT COUNCIL

PROPERTY LOCATION: 34 Te Wahapu Road, Russell

LOT: LOT 5..... **DP:** 146031.....

VALUATION NUMBER:

TO PROVIDE: Design an on-site effluent disposal system in accordance with Technical Publication 58 and provide a schedule to the owner for the system maintenance.

THE DESIGN: has been in accordance with G13 (Foul Water) G14 (Industrial Liquid Waste) B2 (durability 15 years) of the Building Regulations 1992.

As an independent approved design professional covered by a current policy of Professional Indemnity Insurance (Design) to a minimum value of \$2000,000.00,

I BELIEVE ON REASONABLE GROUNDS that subject to:

- (1) The site verification of the soil types.
- (2) All proprietary products met the performance requirements.

The proposed design will meet the relevant provisions of the Building Code and 8.15 of The Far North District Council Engineering Standards.

_____ 

(Signature of approved design professional)

BE hons, NZCE, MIPENZ, IntPE, CPEng (Professional Qualifications)

IPENZ No. 203058 (Licence Number or Professional Registration Number)

Address: Level 1 ANZ Bank Building, 90 Kerikeri Road, Kerikeri,
New Zealand

Date: April 2021

Telephone: 09 407 3255

Email: teampk@pkengin.co.nz

Note: This form is to accompany every application for a Building Consent incorporating a T.P.58. Approval as a design professional is at councils discretion.

On-site Wastewater Disposal Site Evaluation Investigation Checklist**PART A: CONTACT DETAILS****1. Applicant Details:**

Applicant Name	Hardcastle Steve
Company Name	n/a

Property Owners Name(s)	Hardcastle Steve

Nature of Applicant*	Owner
----------------------	--------------

(* i.e. Owner, Lessee, Prospective Purchaser, Developer)

2. Consultant/Site Evaluator Details

Consultant/Agent Name	PK Engineering Ltd		
Site Evaluator Name			
Postal Address	P O Box 464, Kerikeri.		
Phone Number	Business	09 4073255	Private
	Mobile		Fax
Name of Contact Person	PK		
E-mail Address	teampk@pkengin.co.nz		

OFFICE USE ONLY**3. Are there any previous existing discharge consents relating to this proposal or other waste discharge/disposal on the site?**

yes		no	
-----	--	----	--

if yes, give reference numbers and description

4. List any other consents in relation to this proposal site and indicate whether or not they have been applied for or granted.

If so, specify application details and consent No:

(e.g. Land use, Water intake, Subdivision, Earthworks, or Stormwater Consents)

PART B: PROPERTY DETAILS**1. Property for which this application relates:**

Physical Address of Property	
Territorial Local Authority	FAR NORTH DISTRICT COUNCIL
Regional Council	NORTHLAND REGIONAL COUNCIL
Legal Status of Activity	☐ Permitted ☐ Controlled ☐ Discretionary
Relevant Regional Rules (Note 1)	
Total Property Area (m ²)	
Map Grid Reference of Property if known	

2. Legal description of land (as shown on Certificate of Title)

Lot No.	2	DP No.	360473	CT No.	245857
Other (specify)					

Please ensure copy of Certificate of title is attached

PART C: SITE ASSESSMENT - SURFACE EVALUATION

(Refer TP58 - Sn 5.1 General Purpose of Site Evaluation and Sn 5.2.2(a) Site Surface Evaluation)

Note: Underlined terms defined in Table 1, attached

1. Has a relevant property history study been conducted?

yes		no	
-----	--	----	--

if yes please specify the findings of the history study, and if not please specify why this was not considered necessary.

Previously undeveloped site

2. Has a Slope Stability Assessment been carried out on the property?

yes		no	
-----	--	----	--

If No, why not?

If yes, please give details of report (and if possible, please attach report):

Author	Evan Bucherer
Company/Agency	Geoconsult
Date of Report	Sep-18

3. Site Characteristics (see table 1 attached):

Provide descriptive details below:					
Performance of Adjacent Systems:	Not established				
Estimated Rainfall and Seasonal Variation: Information available from N.I.W.A. MET RESEARCH					
Annual Rainfall:1800-2000mm	Annual Potential Evapotranspiration: 1200mm				
Typical sub-tropical climate - short duration intense Rainfalls					
Vegetation/Tree Cover:					
Mature natives and small scale gorse					
Slope Shape: (please provide diagrams)					
Slope Angle: 21 degrees					
Surface Water Drainage Characteristics:					
Slow draining clay loam					
Flooding Potential:	<table border="1"><tr><td>yes</td><td></td><td>no</td><td></td></tr></table>	yes		no	
yes		no			
If yes, specify relevant flood levels on appended site plan, i.e. 1 in 5 years and/or 20 year and/or 100 year return period flood level, relative to disposal area.					
Surface Water Separation:					
15m+					
Site Characteristics: or any other limitation influencing factors					
NIL					

4. Site Geology**Check Rock Maps**

Strongly leached northern yellow brown earths		
The local soil type has been classified as Rangiora clay, clay loam and silty clay loam.		
The underlying rock has been classified as sandstone and mudstone (greywacke and argillite)		
geological map reference number	Department of Lands and Survey NZMS 29C	(Q04/05)

5. What Aspects does the proposed disposal system face?

North		West	
North-West		South-West	
North-East		South-East	
East		South	

6. Site Clearances, (Indicate on site plan where relevant)**Check Council Requirements**

Separation distance from	Treatment Separation Distance	Disposal Field Separation Distance
Boundaries	1.5m minimum	1.5m minimum
Surface Water, rivers, creeks, drains etc.	15m minimum	15m minimum
Groundwater		600mm minimum
Stands of Trees/Shrubs		
Wells, water bores	N/A	N/A
Embankments /retaining walls	3m minimum	3m minimum
Buildings	3m minimum	3m minimum
Other (specify)		

PART D: SITE ASSESSMENT - SUBSOIL INVESTIGATION

(Refer TP58 - Sn 5.1 General Purpose of Site Surface Evaluation, and Sn 5.2.2(a) Site Surface Evaluation and Sn 5.3 Subsurface Investigations)

Note: Underlined Terms Defined in Table 2, attached

1. Please identify the soil profile determination method:

Test Pit		Depth	m	No of test pits	
Bore Hole		Depth	3 m	No of Bore Holes	4
Other (specify):					

Soil Report attached?

yes		no	
------------	--	----	--

2. Was fill material intercepted during the subsoil investigation?

yes		no	
------------	--	-----------	--

If yes, please specify the effect of the fill on wastewater disposal

3. percolation testing (mandatory and site specific for trenches an soil type 4 to 7)

As per TP58 guidelines for percolation tests

test report attached?

yes		no	
------------	--	----	--

4. are surface water interception/diversion drains required?

yes		no	
------------	--	----	--

Shown on attached site plan

4a. Are subsurface drains required

yes		no	
------------	--	-----------	--

Shown on attached site plan

5. Please state depth of the seasonal water table:

Winter	3 m	Measured		Estimated	
Summer	>3.5 m	Measured		Estimated	

6. Are there any potential stormwater short circuit paths?

yes		no	
-----	--	----	--

If the answer is yes, please explain how these have been addressed

7. Based on the results of subsoil investigation above, please indicate the disposal field soil category (refer TP58 Table 5.1)

Is Topsoil Present?	yes	no	If so, Topsoil Depth?	200 mm
---------------------	-----	----	-----------------------	--------

Soil Category	Description	Drainage
1	Gravel, Coarse sand	Rapid draining
2	Coarse to medium sand	Free draining
3	Medium-fine and loamy sand	good drainage
4	Sandy loam, loam and silt loam	Moderate drainage
5	sandy clay-loam, clay loam and silty clay loam	Moderate to slow drainage
6	Sandy clay, non-swelling clay and silty clay	slow draining
7	swelling clay, grey clay, hardpan	poorly or non-draining

Reasons for placing in stated category results of bore holes and percolation tests.

PART E: DISCHARGE DETAILS

1. Water supply source for the property:

Rainwater (roof collection)	Yes
Bore/well	
Public Supply	

2. Calculate the maximum daily volume of wastewater to be discharged, unless accurate water meter readings are available (Refer Table 6.1 & 6.2):

Number of Bedrooms	3	
Design Occupancy	5	(number of people)
Per capita Wastewater Production	160	(litres per person per day)
Other - Specify		
Total Daily Wastewater Production	800	(litres per day)

3. Do you propose to install:

a) Full Water Conservation Devices?	Yes		No	
b) Water Recycling - what %?	%		No	

The disposal area is based on a 3 bedroom dwelling, total 5 persons (800 litres/day) using roof water tank supply type B water source for Households with standard fixtures.

4. Is Daily Wastewater Discharge Volume more than 2000 Litres:

no

if answer to above is yes, an NRC wastewater discharge permit may be required

5. Gross Lot Area to Discharge Ratio:

Gross Lot Area	5,035	m ²
Total Daily Wastewater Production	800	(Litres per Day)
Lot Area to Discharge Ratio	6.29	

7. Does this proposal comply with the Northland Regional Council Gross Lot Area to Discharge Ratio of Greater than 3

yes

8. Is a Northland Regional Council Discharge Consent Required?

No

**1. Please indicate below the no. and capacity (litres) of all septic tanks including type (single/dual chamber grease traps) to be installed or currently existing:
if not 4500 dual chambered explain why not**

2. Is a Septic Tank Outlet Filter to be Installed?

If Yes, please state the type

(refer TP58 Section 7.3, 7.4, 7.5 & 7.6)

Specify

1. Please indicate the proposed loading disposal method:

2. Is a high water level alarm being installed in pump chambers?

if not to be installed, explain why

3. If a pump is being used, please provide the following information:

4. Please identify the type(s) of land disposal method proposed for the site (refer TP58 Sections 9 & 10)

5. Please Identify the loading rate you propose for the option selected in part H, Section 4 above stating reasons for selecting this loading rate:

Loading Rate	Basal	3 (Litres/m ² /day)
	Areal	(Litres/m ² /day)
Disposal Area	Design	266.7 (m ²)
	Reserve	88.89 (m ²)

Explanation (Refer TP58 Sections 9 & 10)

Conservative loading rate due to soil category and 80% plus canopy cover.

Most wastewater disposal will be via evapotranspiration through existing bush cover

6. What is the available reserve wastewater disposal area (Refer TP58 Table 5.3)

Reserve Disposal Area (m ²)	89
Percentage of Primary Disposal Area (%)	30%

7. Please provide a detailed description of the design and dimensions of the disposal field and attach a detailed plan of the field relative to the property site:

Description and Dimensions of Disposal Field:

267 lineal metres of surface dripper irrigation lines at with emitters at 1m centres. Laid level and evenly dosed 1m spacing between lines. Covered over with minimum 50mm bark / topsoil and firmly fixed to the ground.

Plan Attached

Yes

if not explain why not

PART I: MAINTENANCE & MANAGEMENT (Refer TP58 section 12.2)

1. Has a maintenance agreement been made with the treatment and disposal system suppliers?

yes Not known no Not known

Name of Suppliers tbc

PART J: ASSESSMENT OF ENVIRONMENTAL EFFECTS

1. Is an assessment of environmental effects (AEE) included with this application?

(refer TP58 Section5. Ensure all issues concerning potential effects addressed)

yes no

If yes, list and explain possible effects

PART K: IS YOUR APPLICATION COMPLETE?

1. In order to provide a complete application you have to remember to:

Fully Complete this Assessment Form	Yes
Include a Location Plan and Site Plan (with scale bars)	Yes
Include a Property Title (Certificate of Title)	
Attach an Assessment of Environmental Effects (AEE)	

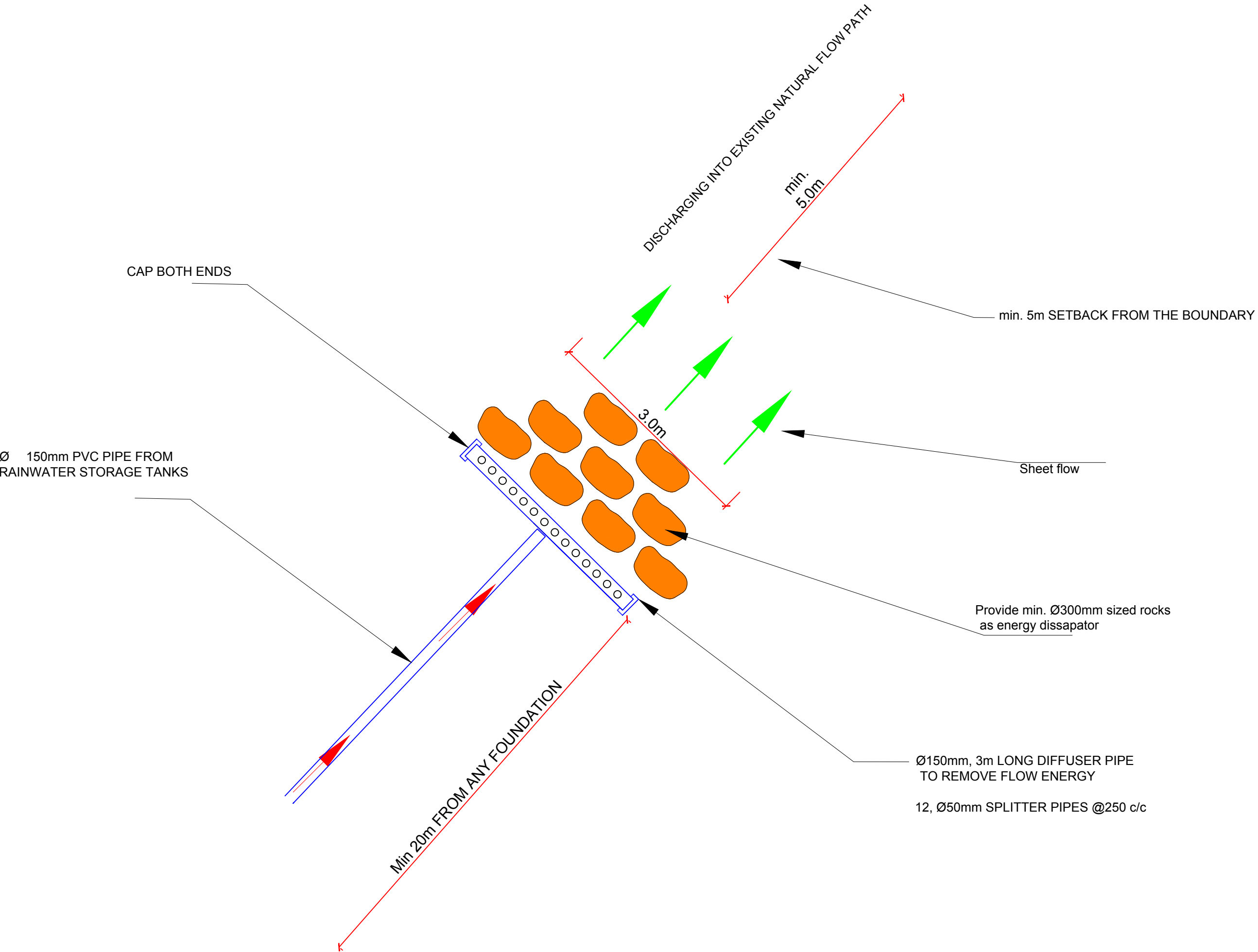
2. Declaration

I hereby certify that to the best of my knowledge and belief, the information given in this application is true and complete.

Name	Pradeep Kumar	Signature	
Position	Professional Chartered Engineer	Date	Mar-21

Note

Any alteration to the site plan or design after approval will result in non compliance.



Notes:

1. THE COPYRIGHT OF THIS DRAWING IS VESTED IN PK ENGINEERING AND IT MAY NOT BE REPRODUCED IN WHOLE OR PART OR USED FOR THE MANUFACTURE OF ANY ARTICLE WITHOUT THE EXPRESS PERMISSION OF THE COPYRIGHT HOLDERS.
2. VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING WORK. USE WRITTEN DIMENSIONS IN PREFERENCE TO SCALING THESE DRAWINGS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, SERVICES, CIVIL AND OTHER PROJECT DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER FOR RESOLUTION.
4. IN THE EVENT THAT THERE IS ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATION THEN THE REQUIREMENTS OF THE DRAWINGS SHALL TAKE PRECEDENCE, WITH THE DETAIL DRAWINGS TAKING PRECEDENCE OVER THE GENERAL NOTES.

REV:	DESCRIPTION:	BY:	DATE:
STATUS: ISSUED TO CLIENT			
PK ENGINEERING CHARTERED PROFESSIONAL ENGINEERS LEVEL 1, ANZ BANK 90 KERIKERI ROAD, KERIKERI PO BOX 464, KERIKERI Phone Number: 09 407 3255 Email: teampk@pkengin.co.nz			
CLIENT: HARDCASTLE STEVE 34 TE WAHAPU ROAD RUSSELL			
SITE: 34 TE WAHAPU ROAD LOT 5 DP 146031			
TITLE: PROPOSED NEW DWELLING SW DISPERSAL SYSTEM DETAIL			
SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:50	MAR 2021	TY	PK
PROJECT NO:	DRAWING NO:	REVISION:	
21-025	A3/SG4	0	

Plant Species

Astelia grandis

Wide olive green leaves with a silvery sheen beneath and reddish purple midribs, the clump can be up to 2m high. It is an inhabitant of swampy ground from lowland to montane altitudes throughout the North Island and to Southern Canterbury. Preferring a damp soil, it is able to withstand permanently wet feet.

1.5-2m

***Alocasia nigrescens* (Black Taro)**

Large black green blunt arrow shaped leaves on dark purple stalks from loose clumps in damp part shaded areas.

0.5/0.5m

***Apodasmia similis* (Oioi)**

An extremely elegant native reed with blueish green foliage with brown bract at the joins. Grows up to 1m and has a creeping rhizome. Thrives in marshlands and estuaries. Will grow in most conditions. Is very hardy.

1.5/2.0m

***Arthropodium Cirratum* (Rengarenga Lily)**

An attractive perennial plant, known as the Rengarenga Lily. A clump forming plant with drooping fleshy strap leaves. Masses of white starry flower heads throughout summer. It can grow in a wide range of conditions, including coastal and shade. Will not tolerate severe frosting.

1.0/1.0m

Blechnum Novae Zealandiae

An attractive creeping fern with drooping fronds. New growth is always reddish. An easy to grow fern which looks most attractive when grown on a bank, or as a ground cover, provided there is ample moisture.

0.8-1m

Carex Dispacea

This sedge is densely tufted. The narrow leaves are light green and make an attractive contrast to darker foliage. In the garden it should have a sunny or semi-shaded site. Prefers damp conditions.

0.7/0.6m

Carex dissita

An attractive sedge with an arching habit. The ribbed leaves are a fresh bright green and contrast with the very dark seed heads that are carried on the stems. It can be grown in quite shady areas, such as under trees, or in an open situation, but it requires a moist soil.

0.7/0.7m

Carex maorica

This sedge grows into upright clumps with ribbed light green leaves. The foliage is fragile and can snap easily making it an unattractive garden specimen. It is best suited to environmental plantings.

0.7/0.6m

Carex secta

This is a common plant of swampy areas throughout New Zealand. It forms large tussocks with weeping yellowish green leaves. At its best beside water, it will grow in any moist soil in sun or semi-shade. Old specimens in moist to wet sites often form thick sturdy trunks from the matted roots and old stem bases.

1.0/0.6m

Carex tenuiculmis

This species is a common plant of swampy areas it is of a reddish bronze colour and is at its best beside water. It will grow in any moist soil in the sun or semi-shade. This species does not form a trunk.

0.7/0.6m

Carex virgata

A vigorous sedge that has narrow arching bright green leaves. It is a useful species for waterside planting and very damp soils but will also grow on dry sites and in sun or semi-shade.

0.7/0.6m

Carpodetus serratus (Marble leaf)

An attractive tree with upright spreading branches, found throughout New Zealand on forest margins and stream banks. The juvenile form has tangled growth.

3-5m

Cordyline australis (Cabbage Tree)

One of NZs best known and most distinctive plants. The young tree has long narrow, mid green leaves which arise directly from a single trunk, having an effect similar to ornamental grasses. The creamy and fragrant flowers are a stunning feature, appearing in large densely packed panicles during late spring and summer. An excellent plant for landscaping, being suitable for group and specimen planting.

7.5/2.0m

Cordyline Midnight Star

A variety of the red or maroon Cabbage Tree. A good selection for a visual impact within the garden.

7.5/2.0m

Cortaderia fulvida (Toi toi)

This is one of the smaller toetoe, with a height of 1.5 – 2.5m when flowering. The blueish green leaves are shiny beneath and up to 4 cm wide and 2m long. Its golden flower plumes sometimes have a pinkish tinge.

2.0/2.0m

Coprosma Rugosa

A tough colourful and interesting alpine shrub with very tangled bright orange new growth. Bears berries attractive to birds. Can be clipped into an interesting hedge or allowed to grow freely will become a medium sized shrub.

1.5-3m

Coprosma Grandfolia

It is a good coloniser or shelter species tolerating a wide range of soils, and shade to full sun. Its clusters of orange/red fruits are attractive to birds, though to have fruits you may need to grow several, as coprosma plants bear flowers of only one sex. Flowers appear in late autumn and winter, and are pale but quite conspicuous.

up to 6m

Cyperus ustulus

This is a plant of damper areas. It is very vigorous, growing into a clump with deep olive-green, very sharp edged leaves. The flowering stems are up to 1.2 m or more, with a ruff of leafy bracts below the spikelets. A useful plant for revegetation in wet areas, but it is generally considered too vigorous for most garden situations.

0.8/1.2m

Dianella King Alfred

An attractive form of Dianella. This selected form has an ability to survive a wide range of conditions. It has a small flax like appearance.

0.8/0.6m

Dianella nigra

This is a hardy tufted plant resembling a small fine leaved flax. It grows to about 60cm high and bears insignificant flowers from late spring to summer. These are followed by the plants most ornamental feature, its berries. In the best form these are a glossy dark blue, but can vary to quite pale colours. Grows in sun or semi-shade and in a range of soil conditions. Looks good planted as a ground cover.

0.6/0.6m

Elatostema Rugosum

Naturally inhabiting damp shady streamsides and gullies; it has dark stems with pinnate leaves that are rough and wrinkled and have serrated margins.

The leaves are dark bronzy green with purple tonings. An interesting foliage plant that makes a very good groundcover for a wet shady position.

0.5-1m

Fuchsia Excorticate

The largest *Fuchsia* in the world. A small tree with stunning orange-brown papery bark and interesting twisted shape. Purple-red flowers early spring to summer. The edible fleshy Konini fruit from January to March is sweet and tasty. It was made into jams and desserts by early settlers.

Attractive to bees. Prefers a moist soil. Deciduous. Hardy.

5m

Hebe Stricta

Hebe stricta is an open branching shrub found throughout New Zealand. Its long narrow leaves are deep green and glossy. The white mauve-tinged flowers appear on 7-15cm spikes during summer. Pruning is important to maintain a good shape. It is also a hardy landscape plant. Depth of colour and handsome foliage places this hebe in a class of its own.

1-3m

Juncus Gregiflorus

A rush of swampy areas throughout New Zealand. It grows into a tight clump 1-2m tall with bright green stems. It is ideal for revegetation of wetlands and riparian areas and is useful for damp landscaping areas.

1-2m

Leptospermum Burgundy Queen (Flowering Ti Tree)

Exquisite double flowers of deep burgundy red late winter and spring, Dark reddish bronze foliage.

2.0/1.5m

Libertia Grandiflora

Larger flowered species found in damp situations. Brownish green linear leaves to 90x1.5cm tapering to a point. Attractive white 3-5 cm flowers with olive or bronze keel are carried on 90cm lightly branched stems in early summer, followed in autumn by decorative golden brown seed capsules.

0.9/0.7m

Leptospermum scoparium

It is a primary species which provides a natural habitat that allows other New Zealand native species to become established. It naturally dies out after 20-25 years. It is often found growing at the margins of a mature forest. Manuka has small narrow sharply pointed dark green leaves, and bears masses of small white or pale pink flowers from spring into early summer. It is tolerant of practically any conditions and is used in most revegetation projects nation wide.

4-8m

Libertia peregrinans

Simple but interesting plant. Sword like leaves to 25-2cm, brownish green or khaki with well defined orange yellow midrib, tapering to a sharp point, arranged in fans. The plant is sustained by underground rhizomes from which new fans of leaves appear. Small white 3 petalled flowers on short stems in spring, followed by bronze yellow capsules.

0.3/1.0m

Melicytus Ramiflorus

The pointed oval leaves are a bright green, with fresh growth being quite soft and an even brighter green. The bark is grayish white and becomes attractively mottled with lichens. The tiny flowers are produced abundantly in spring and are followed by numerous purple black berries.

5m

Phormium Tenax

The foliage is khaki green coloured and up to 3m long. The nectar from the flowers, borne on tall slender flower stalks, is a great attractor to native birds such as Tui. Harakeke is abundant throughout New Zealand particularly in wetland areas. Perfect for revegetation, riparian plantings, and for landscaping.

2-3m

Phormium Surfer

Flax. An excellent compact dwarf clump forming perennial, producing olive green weeping leaves with bronze margins. Excellent all round garden specimen growing anywhere from dry to damp conditions. Withstands strong coastal winds and is frost hardy. Use in mass landscape with other natives.

0.5/0.5m

Schefflera Digitata

The large deep green, rather soft leaves are composed of up to 9 oval leaflets arising from a single point. They get progressively bigger as they radiate outwards, with the biggest leaflet being up to 20cm. The margins are finely serrated and tinged with pinkish red, as are the veins and midribs. Large panicles of tiny greenish white flowers hang below the leaves in summer and are followed by white to purple berries. Plant should be given a shady and sheltered position in good moist soil. Could be used to good effect in a tropical planting or as a background plant.

APPENDIX 4

DISTRICT PLAN ASSESSMENT

DISTRICT PLAN RULE ASSESSMENT – OPERATIVE AND PROPOSED FAR NORTH DISTRICT PLANS

The following tables provide a comprehensive assessment of the proposal against the relevant provisions of both the Operative Far North District Plan (ODP) and the Proposed Far North District Plan (PDP).

Each rule has been reviewed to determine its applicability, compliance status, and the associated commentary. This assessment confirms the overall activity status of the proposal as Non-Complying, due to several technical infringements, with effects assessed as less than minor.

10 COASTAL ENVIRONMENT

10.7.5.1.1 – Visual Amenity

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.1 VISUAL AMENITY	10.7.5.1.1 The following are permitted activities in the Coastal Living Zone: (a) any new building(s), provided that the gross floor area of any new building(s) permitted under this rule does not exceed 50m²; or (b) any alteration/addition to an existing building which does not exceed 30% of the gross floor area of the building, which is being altered or added to, provided that any alteration/addition does not exceed the height of the existing building and that any alteration/addition is to a building that existed at 28 April 2000. (c) replacement of any building so long as the replacement does not exceed the building envelope occupied by the previous building; or (d) renovation or maintenance of any building.	10.7.5.1.1 The effect of this rule is that a resource consent is needed for any new building(s) not for human habitation with a gross floor area of greater than 50m² or any building(s) for human habitation with a gross floor area of greater than 25m²	Does not Comply: The proposed dwelling will result in a total gross floor area of 79m² which exceeds the maximum permitted baseline by 29m².

10.7.5.1.2 RESIDENTIAL INTENSITY

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.2 RESIDENTIAL INTENSITY	10.7.5.1.2 Residential development shall be limited to one unit per 4ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 3,000m² for its exclusive use surrounding the unit plus a minimum of 3.7ha elsewhere on the property. Except that this rule shall not limit the use of an existing site or a site created pursuant to Rule 13.7.2.1 (Table 13.7.2.1) for a single residential unit for a single household. Note: There is a separate residential activity rule applying to Papakainga Housing (refer to Rule 10.7.5.2.1)	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity.	Complies .

10.7.5.1.3 SCALE OF ACTIVITIES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.3 SCALE OF ACTIVITIES	The total number of people engaged at any one period of time in activities on a site, including employees and persons making use of any facilities, but excluding people who normally reside on the site or are members of the household shall not exceed 1 person per 2,000m² of net site area. Provided that: (a) this number may be exceeded for a period totalling not more than 60 days in any 12 month period where the increased number of persons is a direct result of activities ancillary to the primary activity on the site; and (b) this number may be exceeded where persons are engaged in constructing or establishing an activity (including environmental enhancement) on the site; and	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity.	Not Applicable – residential dwelling proposed .

	(c) this number may be exceeded where persons are visiting marae. In determining the total number of people engaged at any one period of time, the Council will consider the maximum capacity of the facility (for instance, the number of beds in visitors accommodation, the number of seats in a restaurant or theatre), the number of staff needed to cater for the maximum number of guests, and the number and nature of the vehicles that are to be accommodated on site to cater for those engaged in the activity. Exemptions: The foregoing limits shall not apply to activities of a limited duration required by normal farming and plantation forestry activities, provided that the activity shall comply with the requirements of s16 of the Act.		
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10.7.5.1.4 BUILDING HEIGHT

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.4 BUILDING HEIGHT	10.7.5.1.4 The maximum height of any building shall be 8m.	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity. When considering a restricted discretionary activity under this rule the Council will restrict the exercise of its discretion to matters relating to: (a) the extent to which adjacent properties will be adversely affected in terms of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight; (b) the ability to mitigate any adverse effects by way of increased separation distances	Complies – height of building is under 8m .

		between buildings or the provision of landscaping and screening.	
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10.7.5.1.5 SUNLIGHT

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.5 SUNLIGHT	10.7.5.1.5 No part of any building shall project beyond a 45 degree recession plane as measured inwards from any point 2m vertically above ground level on any site boundary (refer to definition of Recession Plane in Chapter 3 - Definitions), except where a site boundary adjoins a legally established entrance strip, private way, access lot, or access way serving a rear site, the measurement shall be taken from the farthest boundary of the entrance strip, private way, access lot, or access way.	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity. When considering a restricted discretionary activity under this rule the Council will restrict the exercise of its discretion to matters relating to: (a) the extent to which adjacent properties will be adversely affected in terms of visual domination, overshadowing, loss of privacy and loss of access to sunlight and daylight; (b) the location and proximity of adjacent residential units, and the outdoor space used by those units; (c) the ability to mitigate any adverse effects of loss of sunlight.	Complies.

10.7.5.1.6 STORMWATER MANAGEMENT

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
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10.7.5.1.6 STORMWATER MANAGEMENT	10.7.5.1.6 The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m² whichever is the lesser	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity. The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 15% or 1,500m², whichever is the lesser. In assessing an application under this provision the Council will restrict the exercise of its discretion to: (a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment; (b) the extent to which Low Impact Design principles have been used to reduce site impermeability; (c) any cumulative effects on total catchment impermeability; (d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water; (e) (f) (g) the physical qualities of the soil type; any adverse effects on the life supporting capacity of soils; the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites; (h) (i) (j) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity; the extent to which	Complies – site coverage less than 10%
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		landscaping and vegetation may reduce adverse effects of run-off; any recognised standards promulgated by industry groups; (k) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold; (l) the extent to which the proposal has considered and provided for climate change.	
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10.7.5.1.7 SETBACK FROM BOUNDARIES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.7 SETBACK FROM BOUNDARIES	10.7.5.1.7 Buildings shall be set back a minimum 10m from any site boundary, except that on any site with an area less than 5,000m² this set back shall be 3m from any site boundary. Attention is also drawn to the setback from <i>Lakes, Rivers, Wetlands and the Coastline</i> provisions in Chapter 12.7. Note 1: Rules in Chapter 12.4 Natural Hazards control the location of buildings in the Coastal Hazard Areas. Note 2: This rule does not apply to the below ground components of wastewater disposal systems. However, provisions in Chapter 12.7 – Lakes Rivers Wetlands and the Coastline still apply to below ground components of wastewater treatment systems. Attention is also drawn to the <i>TP58 On-site Wastewater Systems: Design and Management Manual and the Regional Water and Soil Plan for Northland</i>, as consent may be required.	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity. In assessing an application resulting from a breach of Rule 10.7.5.1.7 Setback from Boundaries the matters to which the Council will restrict its discretion are: (a) (b) (c) the extent to which the building(s) reduces outlook and privacy of adjacent properties; the extent to which the buildings restrict visibility for access and egress of vehicles; the ability to mitigate any adverse effects on the surrounding environment, for example by way of planting; (d) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.	Does not comply – dwelling is within 10m of boundary .

10.7.5.1.8 SCREENING FOR NEIGHBOURS NON-RESIDENTIAL ACTIVITIES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
10.7.5.1.8 SCREENING FOR NEIGHBOURS NON- RESIDENTIAL ACTIVITIES	10.7.5.1.8 Except along boundaries adjoining a Commercial or Industrial zone, outdoor areas providing for activities such as parking, loading, outdoor storage and other outdoor activities associated with non-residential activities on the site shall be screened from adjoining sites by landscaping, wall/s, close boarded fence/s or trellis/es or a combination thereof. They shall be of a height sufficient to wholly or substantially separate these areas from the view of neighbouring properties. Structures shall be at least 1.8m in height, but no higher than 2.0m, along the length of the outdoor area. Where such screening is by way of landscaping it shall be a strip of vegetation which has or will attain a minimum height of 1.8m for a minimum depth of 2m.	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity.	Complies

PART 3 – DISTRICT WIDE PROVISIONS

12.2 INDIGENOUS FLORA AND FAUNA

12.2.6.1.1 INDIGENOUS VEGETATION CLEARANCE PERMITTED THROUGHOUT THE DISTRICT

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
12.2.6.1.1 INDIGENOUS VEGETATION CLEARANCE PERMITTED THROUGHOUT THE DISTRICT	12.2.6.1.1 Notwithstanding any rule in the Plan to the contrary but subject to Rules 12.5.6.1.1, 12.5.6.1.3 and 12.5.6.2.2 in the Heritage section of this Plan, indigenous vegetation clearance is permitted throughout the District where the clearance is for any of the following purposes: (a) clearance of indigenous vegetation 10 years old or less to establish new exotic plantation forest; (b) to provide clearance for existing overhead power and telephone lines, provided that no more vegetation is cleared or trimmed than is necessary for the safe operation of the utility service; or the removal of trees and other vegetation which, as a result of old age or a natural event such as a storm or erosion, are a risk to the safety of people or property; or the maintenance of existing roads, and private accessways and walkways including for the purposes of visibility and road safety; or (e) the formation and maintenance of walking tracks less than 1.2m wide using manual methods which do not require the removal of any tree over 300mm in girth; or the maintenance of existing open space within 20m of an existing building; or the removal of dead trees, provided that no more vegetation is cleared or trimmed than	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity.	Does not comply - Vegetation clearance required for the building platform and access does not meet the listed purposes.

	is necessary for safe removal; or the sustainable harvest of plant material for rongoa Maori (customary medicine); or the maintenance of existing fence lines, provided that the clearance does not exceed 3.5m in width either side of the fence line; or normal gardening activities which result from the maintenance of lawn and gardens; or the removal is in accordance with an existing use right; or the removal is for a new fence where the purpose of the new fence is to exclude stock and/or pests from the area provided that the clearance does not exceed 3.5m in width either side of the fence line; or (m) creation and maintenance of firebreaks provided that no more vegetation is cleared than is necessary to achieve the practical purpose of the firebreak; or (n) vegetation clearance of land which has been previously cleared and where the vegetation to be cleared is less than 10 years old. (o) it involves the felling, trimming, damaging or removal of a tree or group of trees in an (c) (d) (f) (g) (h) (i) (j) (k) (l) urban environment unless the tree or group of trees is— (A) specifically identified in the plan (refer to Chapter 12.5 and Appendix 1D); or (B) located within an area in the district that— (i) is a reserve (within the meaning of section 2(1) of the Reserves Act 1977); or (ii) is subject to a conservation management plan or conservation management strategy prepared in accordance with the Conservation Act 1987 or the Reserves Act 1977. Where urban environment means an allotment no greater than 4000 m² —		
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	(a) that is connected to a reticulated water supply system and a reticulated sewerage system; and (b) on which is a building used for industrial or commercial purposes, or adwelling house. Note 1: Plan users should refer to Regulations 93 and 94 of the National Environmental Standards for Plantation Forestry that provide for permitted activities for the removal of indigenous vegetation. . Note 2: For the purposes of part (g) above, it should be noted that the milling of fallen trees is subject to the provisions of the Forests Act 1949. Note 3: For the purpose of part (o) above, reference can be made to Chapter 3 Definitions, which provides a definition of 'sewered'.		
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12.3 SOILS AND MINERALS

12.3.6.1.2 EXCAVATION AND/OR FILLING, INCLUDING OBTAINING ROADING MATERIAL BUT EXCLUDING MINING AND QUARRYING, IN THE RURAL LIVING, COASTAL LIVING, SOUTH KERIKERI INLET, GENERAL COASTAL, RECREATIONAL ACTIVITIES, CONSERVATION, WAIMATE NORTH AND POINT VERONICA ZONES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
12.3.6.1.2 EXCAVATION AND/OR FILLING, INCLUDING OBTAINING ROADING MATERIAL BUT EXCLUDING MINING AND QUARRYING, IN THE RURAL LIVING,	12.3.6.1.2 Excavation and/or filling, excluding mining and quarrying, on any site in the Rural Living, Coastal Living, South Kerikeri Inlet Zone, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones is permitted, provided that: (a) (b) it does not exceed 300m³ in any 12 month period per site; and it does not involve a cut or filled face exceeding 1.5m in height i.e. the	Excavation and/or filling, excluding mining and quarrying, on any site in the Rural Living, Coastal Living, South Kerikeri Inlet Zone, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones is a restricted discretionary activity, provided that: (a) it does not exceed 2,000m³ in any 12 month period per site; and	Does not comply - the proposed earthworks involve approximately 34.41 m³ of cut and 528.68 m³ of fill, exceeding the permitted 300 m³ volume standard.

COASTAL LIVING, SOUTH KERIKERI INLET, GENERAL COASTAL, RECREATIONAL ACTIVITIES, CONSERVATION, WAIMATE NORTH AND POINT VERONICA ZONES	maximum permitted cut and fill height may be 3m. Exemptions: (i) The normal rural practice of obtaining roading material for use on the same production unit, where the volume does not exceed 5,000m³ in any 12 month period and the activity is not visible from a public viewing point, public reserve, or a part of the coastal marine area that is within 2km of the activity. (ii) Forestry quarrying is subject to the provisions of Regulations 93 and 94 of the National Environmental Standards for Plantation Forestry (NES PF) Note 1: When undertaking any excavation (including cellar construction), or filling, compliance with Council's earthworks bylaw (Bylaw 22) is required. Note 2: Where a site is within an Outstanding Landscape Feature or Outstanding Natural Feature (as listed in Appendices 1A and 1B and/or shown on the Resource Maps), more restrictive excavation and/or filling thresholds apply (refer to Rules in Section 12.1). Note 3: Where a site is within a Coastal Hazard 1 or Coastal Hazard 2 Area (as shown on the Coastal Hazard Maps), more restrictive excavation and filling rules apply (refer to Rules in 12.4). Note 4: When excavation and/or filling, including mining and quarrying is within the National Grid Yard, more restrictive excavation and/or filling thresholds apply (refer to Rule 12.3.6.1.5).	(b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the maximum permitted cut and fill height may be 3m. Note 1: When undertaking any excavation (including cellar construction), or filling, compliance with Council's earthworks bylaw (Bylaw 22) is required. Note 2: Where a site is within an Outstanding Landscape, Outstanding Landscape Feature or Outstanding Natural Feature (as listed in Appendices 1A and 1B and/or shown on the Resource Maps), rules in Section 12.1 apply. Note 3: Where a site is within a Coastal Hazard 1 or Coastal Hazard 2 Area (as shown on the Coastal Hazard Maps), more restrictive excavation and filling rules apply (refer to rules in 12.4). Note 4: Some normal rural practices that involve excavation or filling, such as the maintenance of rural tracks, dams, fences and fence lines; land cultivation; clearing of drains; and obtaining of roading material for use on the same production unit, are excluded from the definitions of excavation and filling (refer to Chapter 3 Definitions). Note 5: When excavation and/or filling, including mining and quarrying is within the National Grid Yard, more restrictive excavation and/or filling thresholds apply (refer to Rule 12.3.6.1.5). The Council will restrict the exercise of its discretion to: (i) (ii) (iii) the effects of the area and volume of soils and other materials to be excavated; and	
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		the effects of height and slope of the cut or filled faces; and the time of the year when the earthworks will be carried out and the duration of the activity; and (iv) the degree to which the activity may cause or exacerbate erosion and/or other natural hazards on the site or in the vicinity of the site, particularly lakes, rivers, wetlands and the coastline; and (v) (vi) the extent to which the activity may adversely impact on visual and amenity values; and the extent to which the activity may adversely affect cultural and spiritual values; and (vii) the extent to which the activity may adversely affect areas of significant indigenous vegetation or significant habitats of indigenous fauna; and (viii) the number, trip pattern and type of vehicles associated with the activity; and (ix) the location, adequacy and safety of vehicular access and egress; and	
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12.3.6.1.4 NATURE OF FILLING MATERIAL IN ALL ZONES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
12.3.6.1.4 NATURE OF FILLING MATERIAL IN ALL ZONES	12.3.6.1.4 Filling in any zone shall meet the following standards: (a) the fill material shall not contain putrescible, pollutant, inflammable or hazardous components; and (b) the fill shall not consist of material other than soil, rock, stone, aggregate, gravel, sand, silt, or demolition material; and (c) the fill material shall not comprise more than 5% vegetation (by volume) of any load. Exemptions: The foregoing limits shall not apply to plantation forestry. Refer to Regulation 30 of the National Environmental Standards for Plantation Forestry (NES PF).	Any activity that does not comply with a condition for a permitted activity is a restricted discretionary activity.	Complies .

12.4 NATURAL HAZARDS

12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS	12.4.6.1.2 (a) Residential units shall be located at least 20m away from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest; (b) Any trees in a deliberately planted woodlot or forest shall be planted at least 20m away from any urban environment zone, Russell Township or Coastal Residential Zone	An activity is a discretionary activity if: (a) it does not comply with one or more of the standards for permitted or controlled activities as set out under Rules 12.4.6.1 and 12.4.6.2; but (b) it complies with Rule 12.4.6.3.1 Coastal Hazard 1 Areas below; and (c) it complies with the relevant standards for permitted,	Does not comply - proposed dwelling will be located within 20 metres of existing vegetation, which includes areas of regenerating native scrub and shelter trees. .

	boundary, excluding the replanting of plantation forests existing at July 2003.	controlled, restricted discretionary and discretionary activities in the zone in which it is located, set out in Part 2 of the Plan - Environment Provisions; and (d) it complies with the other relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in Part 3 of the Plan - District Wide Provisions. The Council may impose conditions of consent on a discretionary activity or it may refuse consent to the application. When considering a discretionary activity application, the Council will have regard to the assessment criteria set out under Section 12.4.7. If an activity does not comply with the standards for a discretionary activity, it will be a non-complying activity.	
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15 TRANSPORTATION

15.1.6B PARKING

15.1.6B.1.1 ON-SITE CAR PARKING SPACES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
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15.1.6B.1.1 ON-SITE CAR PARKING SPACES	15.1.6B.1.1 Where: (i) an activity establishes; or (ii) the nature of an activity changes; or (ii) buildings are altered to increase the number of persons provided for on the site; the minimum number of on-site car parking spaces to be provided for the users of an activity shall be determined by reference to Appendix 3C, unless an activity complies with the exemptions below. Exemption: (a) In the Commercial Zone, no additional on-site car parking spaces are required where the nature of a legally established activity changes, provided that: (i) (ii) the gross business area of the site is not increased; and activities are not identified as residential or casual accommodation in Appendix 3C. Note: Additional parking requirements apply in Kerikeri and Paihia in accordance with Rules 15.1.6B.1.2 and 15.1.6B.1.3 below. Note: Accessible car parking spaces are required for people with disabilities in accordance with Rule 15.1.6B.1.4 below.	An activity is a restricted discretionary activity if: (a) it does not comply with Rule 15.1.6B.1.1 Onsite Car Parking Spaces; but (b) it complies with all other standards for permitted activities in 15.1.6B.1 above; and (c) it complies with Rules 15.1.6B.2.1 Cycling Facilities or 15.1.6B.2.2 Green Space below; and (d) it complies with the relevant standards for permitted, controlled or restricted discretionary activities in the particular zone in which it is located set out in Part 2 of the Plan - Environment Provisions; and (e) it complies with all other relevant standards for permitted, controlled or restricted discretionary activities set out in Part 3 of the Plan - District Wide Provisions. The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent. In assessing an application for a restricted discretionary activity, the Council will restrict the exercise of its discretion to the matters specified in the relevant rule. Where an application is made for development adjoining or accessible from a State Highway (including those State Highways with a Limited Access Road classification) the New Zealand Transport Agency may be considered an affected party.	Complies – two onsite parking spaces proposed
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15.1.6B.1.4 ACCESSIBLE CAR PARKING SPACES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
15.1.6B.1.4 ACCESSIBLE CAR PARKING SPACES	15.1.6B.1.4 Where onsite parking is provided or is to be provided for all buildings and activities in accordance with Rule 15.1.6B.1.1, except dwellings, car parking spaces for those with disabilities will be provided as follows: (a) Accessible car parking spaces shall be provided at the following ratio: 20 or less car parking spaces provided One accessible car parking space 21 – 50 car parking spaces provided Two accessible car parking spaces Every additional 50 car parking spaces where more than 50 spaces are provided One additional accessible car parking space (b) Accessible car parking spaces shall connect to an accessible route at the closest building entrance. (c) Accessible car parking spaces shall have clear ground marking in accordance with the international symbol of access. (d) All accessible car parking spaces must have a minimum width of 3.5m and a minimum depth of 5m, Note: The Building Code may require car parking spaces for people with disabilities. The size and location requirements for these spaces may be found in the Building Code or NZS 4121. Note: The number of car parking spaces required in (a) above are in accordance with NZS 4121.	An activity is a discretionary activity if: (a) it does not comply with one or more of the standards for permitted and restricted discretionary activities set out in Rules 15.1.6B.1 and 15.1.6B.2 above; and (b) it complies with the relevant standards for permitted, controlled, restricted discretionary or discretionary activities in the particular zone in which it is located set out in Part 2 of the Plan - Environment Provisions; and (c) it complies with all other relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in Part 3 of the Plan - District Wide Provisions.	Not Applicable

15.1.6B.1.5 CAR PARKING SPACE STANDARDS

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
15.1.6B.1.5 CAR PARKING SPACE STANDARDS	15.1.6B.1.5 (a) The required size of off-street car parking spaces, the manoeuvring space between, and the vehicle circulation routes providing access to them, shall be as set out in Appendix 3D. (b) Stacked parking will be permitted for one of two spaces associated with a specific residential unit. In determining the extent of area required for manoeuvring space, the Council will be guided by the Tracking Curve diagrams as shown in Appendix 3E. (c) All parking, loading, access drives and manoeuvring areas shall be formed and provided with an all weather surface, drained, marked out and maintained to the satisfaction of the Council, and shall be kept free and available for the uses intended. Where a parking area provides four or more car parking spaces is adjacent to a road, a kerb or a barrier shall be provided to prevent direct access except at the designated vehicle access point.	An activity is a discretionary activity if: (a) it does not comply with one or more of the standards for permitted and restricted discretionary activities set out in Rules 15.1.6B.1 and 15.1.6B.2 above; and (b) it complies with the relevant standards for permitted, controlled, restricted discretionary or discretionary activities in the particular zone in which it is located set out in Part 2 of the Plan - Environment Provisions; and (c) it complies with all other relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in Part 3 of the Plan - District Wide Provisions.	Does not comply - manoeuvring space extends onto the shared private right-of-way rather than being fully contained within the site boundary

15.1.6B.1.6 LOADING SPACES

ITEM	PERMITTED	RESOURCE CONSENT	COMMENT
15.1.6B.1.6 LOADING SPACES	15.1.6B.1.6 Loading spaces are required where activities established within a Commercial or Industrial Zone at the following ratio: Building Gross Floor Area Number of Loading spaces required No greater than 200m² No loading space Between 200m² and 500m² One loading space Between 500m² and 5,000m² Two loading spaces Exceeding 5,000m² Three loading spaces (b) Where buildings are serviced only by courier vans, loading spaces shall be no less than 6m long by 3m wide and 3.2m high. Other loading spaces shall be designed to accommodate the largest size of truck expected to use them. (c) All loading areas shall be formed and provided with an all weather surface, drained, marked out and maintained to the satisfaction of the Council, and shall be kept free and available for the uses intended.	An activity is a discretionary activity if: (a) it does not comply with one or more of the standards for permitted and restricted discretionary activities set out in Rules 15.1.6B.1 and 15.1.6B.2 above; and (b) it complies with the relevant standards for permitted, controlled, restricted discretionary or discretionary activities in the particular zone in which it is located set out in Part 2 of the Plan - Environment Provisions; and (c) it complies with all other relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in Part 3 of the Plan - District Wide Provisions.	Not applicable

TRANSPORT RULES

TRAN-R1	Parking
All zones	

Activity status: Permitted Where: PER-1 With the exception of PER-2, parking spaces and loading spaces are located on site and they shall not be located over any footpaths, access, manoeuvring, or outdoor living areas. PER-2 Stacked parking is permitted for one of two spaces associated with a specific residential unit, and may include a parking space on the access in front of a garage or carport. PER-3 Parking spaces and loading spaces are permanently marked or delineated, except when they are: 1. associated with a residential unit which is not a multi-unit development; or 2. associated with the fuel refill and pumps at service stations. PER-4 All parking and loading spaces comply with: TRAN-S1 Requirements for parking. Where an assessment results in a fractional space, any fraction under half shall be disregarded and any fraction of a half or more shall be counted as one space.	Activity status where compliance not achieved with PER-4: Restricted Discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard; b. the streetscape and amenity of the surrounding area; c. screening, planting, landscaping and stormwater mitigation; and d. topographical or other site constraints making compliance with the standard impractical. Activity status where compliance not achieved with PER-1, PER-2 or PER-3: Discretionary	Complies Two on-site parks provided to required standard onsite Parking not required to be stacked. Parking not located over footpaths or outdoor living areas. TRAN-S1 requirement met.
TRAN-R2 All zones	Vehicle crossings and access, including private accessways	

Activity status: Permitted Where: PER-1 Where the private accessway serves a maximum of 8 household equivalents Note: 1 household equivalent is represented by 10 vehicle movements. One vehicle movement is a single movement to or from a property. PER-2 The vehicle crossing and access for fire appliances comply with SNZ PAS 4509:2008 New Zealand Fire Fighting Water Supplies Code of Practice. PER-3 The vehicle crossing is not off a State Highway, or off a road classified arterial or higher under the One Network Road Classification. PER-4 Any unused vehicle crossings are reinstated to match the existing footpath and kerbing, or the shoulder and berm are reinstated where there is no footpath or kerbing, with all works to be undertaken as per any required traffic management plan and corridor access request. PER-5 Private accessways shall be designed and constructed in accordance with TRAN-Table 9 - Requirements for private accessways. PER-6 The vehicle crossing, access, or private accessway complies with standards: TRAN-S2 Requirements for vehicle crossings; and TRAN-S3 Requirements for passing bays.	Activity status where compliance not achieved with PER-1, PER-2, PER-3, PER-4, PER-5 or PER-6: Discretionary	Complies Shared ROW serves ≤ 8 HEQs. Existing crossing not on SH/arterial. Access meets width/gradient per Table 9 for rural context. Fire appliance access achievable; reinstatement not applicable. Passing bay standard checked; low volumes acceptable. Assessment:
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TRAN-R3 All zones	Maintenance or upgrading of existing transport infrastructure within the existing road corridor	
Activity status: Permitted Where: PER-1 The maintenance or upgrade is wholly within the existing road corridor (and is subject to an existing designation for a road). PER-2 The upgrade complies with standards: TRAN-S4 Requirements for road design; and TRAN-S5 Requirements for streetlighting.	Activity status where compliance not achieved with PER-1 or PER-2: Discretionary	No upgrades proposed within road corridor – Not Applicable.
TRAN-R4 All zones	Electric vehicle charging stations	
Activity status: Permitted Where: PER-1 Where the minimum number of parking spaces are provided in accordance with: TRAN-S1 Requirements for parking. Note: Any electric vehicle parking space associated with charging stations contributes towards the total number of required parking spaces in TRAN-Table 1 - Minimum number of parking spaces.	Activity status where compliance not achieved with PER-1: Restricted Discretionary Matters of discretion are restricted to: a. b. c. the matters of discretion of any infringed standard; location, size and design of parking and loading areas; and the number of parking spaces that can accommodate electric vehicle charging stations.	No EV chargers proposed – Not Applicable.
TRAN-R5 All zones	Trip generation	

Activity status: Permitted Where: PER-1 The use or development is no greater than the thresholds in TRAN-Table 11 - Trip generation. Notes: Dependent upon the trip generation over a shared access, TRAN-R2 may require private access to vest as road or resource consent will be required to waive this requirement. Where there are multiple activities on a site, the trip generation is calculated separately for each activity, then added together. For multiple on site uses and other activities not listed within TRAN-Table 11 - Trip generation, equivalent car movements (ECM) should be incorporated into the 200 trips per day or 40 trips per hour trip generation threshold as per below: 1 car trip (to or from the property) = 1 equivalent car movement 1 truck trip (to or from the property) = 3 equivalent car movements 1 truck and trailer trip (to or from the property) = 5 equivalent car movements	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. b. c. d. e. any recommendations in a transport assessment approved by a suitably qualified and experienced transport professional; whether the use or development compromises the safety and efficiency of the transport network, including future transport connections; the extent to which vehicle access, parking and manoeuvring areas associated with the activity are provided; the nature of the activity and compatibility with the function and purpose of the underlying zone; and the extent to which the design and layout of the site maximise opportunities for alternative transport modes.	Complies The single-dwelling proposal is well below the TRAN-Table 11 thresholds
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TRANSPORT STANDARDS

TRAN-RS1 All zones	Requirements for parking
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1. The minimum number of on-site car parking and bicycle spaces are provided for each activity in accordance with TRAN-Table 1 – Minimum number of parking spaces, except that: for sites in the Mixed Use zone, no additional on-site parking spaces are required where the nature of a lawfully established activity changes, provided that: i. the gross business area of the site is not increased; and ii. it is not a residential activity or visitor accommodation activity; 2. Where on-site parking is provided in accordance with (1) above, additional accessible car parking spaces must be provided in accordance with TRAN-Table 2 - Minimum number of accessible car parking spaces; 3. Loading spaces for commercial activities, offices, industrial activities, commercial service activities, hospital activities, and educational facilities are provided on site in accordance with TRAN-Table 3 - Minimum on-site loading bay requirements; 4. End-of-trip facilities for commercial activities, offices, industrial activities, commercial service activities, hospital activities and educational facilities are provided for staff use in accordance with TRAN-Table 4 - End of trip facility requirements; 5. All on-site car parking and manoeuvring areas are provided in accordance with TRAN-Table 5 - Parking and manoeuvring dimensions; and 6. If any activity is not represented within TRAN-Table 1 - Minimum number of parking spaces then the activity closest in nature to the	Where the standard is not met, matters of discretion are restricted to: a. b. c. d. e. any recommendations in a transport assessment approved by a chartered professional engineer; the potential for adverse effects on the safety and efficiency of the transport network, including effects on vehicles, pedestrians and cyclists; the scale, management and operation of the activity as it relates to its demand for parking; the use of low impact design techniques to minimise stormwater run off; and the ability for persons with a disability or limited mobility to park, enter and exit a vehicle and manoeuvre around a parking area safely and effectively.	Does not Comply - Two on-site spaces provided for single dwelling; residential thresholds well below HTGA triggers. - Not applicable - Not applicable - Not applicable - Occurs partly within the shared private right-of-way, not within the site boundary – therefore breaches the site boundary therefore breaches the “on-site manoeuvring” requirement of TRAN-S1(5).
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proposed activity shall apply, provided that where there are two or more similar activities in the table, the activity with the higher parking rate shall apply.		
TRAN-S2 All zones	Requirements for vehicle crossings	
1. No more than the maximum number of vehicle crossings shall be provided per site in accordance with TRAN-Table 6 – Maximum number of vehicle crossings per site; 2. New vehicle crossings shall be located at least 8m from a dedicated pedestrian crossing facility; 3. Where a site has frontage to more than one road, the vehicle crossing shall be prioritised to be provided onto the road that has the lower road classification; 4. New vehicle crossings shall meet the minimum separation distance requirements from intersections as set out in TRAN-Table 7 - Minimum distance of vehicle crossings from intersections; and 5. New vehicle crossings shall be located to meet the minimum sight distance requirements as set out in TRAN-Table 8 - Minimum sight distances for vehicle crossings. Note: Minimum vehicle crossing widths to the State Highway network may be greater than those above. All access to the State Highway network requires the approval of Waka Kotahi under the Government Roding Powers Act 1989.	Not applicable.	Existing crossing numbers/separations satisfied in rural context; sight distances adequate. Complies.
TRAN-S3 All zones	Requirements for passing bays	

1. Where required, passing bays on private accessways are to be at least 15m long and provide a minimum usable access width of 5.5m; 2. Passing bays are required: i. in Rural Production, Rural Lifestyle, Horticulture, and Māori Purpose Rural zones at spacings not exceeding 100m; ii. on all blind corners in all zones at locations where the horizontal and vertical alignment of the private accessway restricts visibility; and 3. All accesses serving 2 or more sites shall provide passing bays and a double width vehicle crossing to allow for vehicles to queue within the site.	Where the standard is not met, matters of discretion are restricted to: a. b. c. d. e. any adverse effects on the ease and safety of vehicle manoeuvres; the extent to which the safety and efficiency of road operations will be adversely affected; any adverse effects on character and amenity of the surrounding environment; any impacts on public waste collection; and any characteristics of the proposed use that will make compliance unnecessary.	Complies ROW width/length and low traffic volumes indicate passing can be managed; provide a passing indented area if required by conditions.
TRAN-S4 All zones	Requirements for road design	

1. All new roads and upgrades to existing roads shall be designed and constructed in accordance with Far North District Council Engineering Standards April 2022 and must be supported by an Integrated Transport Assessment approved by a suitably qualified and experienced transport professional; and 2. Cul-de-sacs must meet the Local Road requirements in Far North District Council Engineering Standards April 2022 and the following additional requirements: it must not exceed a maximum length of 150m; and ii. there must be a shared-use path link for pedestrians, cyclists and mobility devices at the end of the cul-de-sac in the General Residential and Mixed Use zones to existing adjacent public road, open spaces, recreational facilities, schools or other neighbourhood facilities and where these facilities do not currently exist provision should be made to reserve a shared-use corridor for future connection; and iii. iv. there must be no more than one private accessway at the end of the cul-de-sac; and it must incorporate a turning head meeting the following requirements: 25m diameter with on-street parking in the General Residential zone; or 30m diameter with on-street parking in all other zones.	Where the standard is not met, matters of discretion are restricted to: a. b. safety implications of the non-compliance with engineering standards; and layout or topographical constraints that prevent cul-de-sacs meeting the design standards.	No new road or upgrade proposed – Not Applicable.
TRAN-S5 All zones	Requirements for streetlighting	

1. i. Any land use or subdivision which creates a new road or extends the requirement for street lighting, must: include a street lighting plan that is designed and constructed in accordance with Far North District Council Engineering Standards April 2022.	Where the standard is not met, matters of discretion are restricted to: a. the potential for adverse effects on the safety and efficiency of the road network; and b. consideration of crime prevention through environmental design (CPTED) principles.	No new road/lighting proposed – Not Applicable.
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EARTHWORKS

EW-R1	Earthworks for buildings or structures, and extensions to existing buildings or structures	
Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Earthworks for dwelling + lake cabin = 34.41 m ³ cut and 528.68 m ³ fill > EW-S1 threshold (1000 m ³ Rural Living). Depth < 1.5 m. Triggers Restricted Discretionary consent for volume breach only. Effects on stability and amenity < minor.
EW-R2 All zones	Earthworks for creating fence lines, poles, piles and service connections	

Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Minor trenching for services within site < thresholds. Complies.
EW-R3 All zones	Earthworks for rural industry activity	
Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R4 Rural Production zone, Māori Purpose zone -Rural Horticulture zone Ngawha Innovation and Technology Park zone	Earthworks for a farming activity where sites are 8 hectares or greater	
Activity status: Permitted Where: PER-1 The earthworks complies with standards:	Activity status where compliance not achieved with PER-1: Restricted discretionary	Not Applicable

EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards.	Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	
EW-R5 All zones	Earthworks for farming a activity on sites less than 8ha and for sites in zones not listed in Rule EW-R4	
Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R6 All zones	Earthworks for the formation of unformed roads and the formation or upgrade of private roads and private accessways	
Activity status: Permitted Where: PER-1 The earthworks for formation of an unformed road is located within the legal road corridor. PER-2 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards.	Activity status where compliance not achieved with PER-2: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard. Activity status where compliance not achieved with PER-1: Discretionary	Not Applicable

EW-S1 does not apply to Motoura Island or Orongo Bay zones NOTE: Approval from Council is required to undertake work on legal road, where they are the landowner irrespective of complying with rules in a district plan.		
EW-R7	Earthworks for new infrastructure or repair and upgrades	
Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R8	Earthworks for new infrastructure or repair and upgrades of existing infrastructure owned by network utility providers or requiring authority	
Activity status: Permitted Where: PER-1 The activity is undertaken by the network utility operator or requiring authority. PER-2 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and	Activity status where compliance not achieved with PER-2: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard. Activity status where compliance not achieved with PER-1: Discretionary	Not Applicable

EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones		
EW-R9	Earthworks for sport and recreation activity	
Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R10	Earthworks for the construction, or upgrade of walkways, cycle tracks and leisure activity	
Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R11	Earthworks for conservation activity	

Activity status: Permitted Where: PER-1 The earthworks complies with standards: EW-S1 Maximum earthworks thresholds; EW-S2 Maximum depth and slope; EW-S4 Site reinstatement; EW-S6 Setbacks; EW-S7 Land stability; EW-S8 Nature of filling material; and EW-S9 Flood and coastal hazards. EW-S1 does not apply to Motoura Island or Orongo Bay zones	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R12	Earthworks and the discovery of suspected sensitive material	
Activity status: Permitted Where: PER-1 The earthworks complies with standard EW-S3 - Accidental Discovery Protocol.	Activity status where compliance not achieved: Discretionary	Not Applicable
EW-R13	Earthworks and erosion and sediment control	
Activity status: Permitted Where: PER-1 The earthworks complies with standard EW-S5 Erosion and sediment control.	Activity status where compliance not achieved with PER-1: Restricted discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard.	Not Applicable
EW-R14	Activities not otherwise listed in this chapter	
Activity status: Discretionary	Activity status where compliance not achieved: Not applicable	Not Applicable
EW-R15	110kV Transmission lines and National Grid Yard	

Activity status: Non-complying Where: PER-1 Earthworks around Top Energy or Transpower 110kV or greater electricity transmission line poles must: 1. be no deeper than 300mm within 2.2m of a transmission pole support structure or stay wire; or 2. be no deeper than 750mm within 2.2. to 5m of a transmission pole support structure or stay wire; except that vertical holes not exceeding 500mmdiameter beyond 1.5m from the outer edge of a pole support structure or stay wire are exempt from Standards EW - REQ 10(a) and EW - REQ10(b) above. PER-2 Earthworks around Top Energy or Transpower 110kV or greater electricity transmission line towers must: 1. be no deeper than 300mm within 6m of the outer visible edge of a transmission tower support structure; or 2. be no deeper than 3m between 6-12m from the outer visible edge of a transmission tower support structure. PER-3 Earthworks within 12m of a Top Energy or Transpower 110kV or greater electricity transmission line pole or tower must not: 1. create an unstable batter that will affect a transmission support structure; or 2. result in a reduction in the ground to conductor clearance distances as required by New Zealand	Activity status where compliance not achieved: Not applicable	Not applicable
---	--	-----------------------

Electrical Code of Practice for Electrical Safe Distances NZECP34:2001. This rule does not apply to the network utility operator.		
---	--	--

RURAL LIFESTYLE ZONE RULES

RLZ-R1 Rural Lifestyle zone	New buildings or structures, or extensions or alterations to existing buildings or structures	
Activity status: Permitted Where PER-1 The new building or structure, or extension or alteration to an existing building or structure, will accommodate a permitted activity. PER-2 The new building or structure, or extension or alteration to an existing building or structure complies with standards: RLZ-S1 Maximum height; RLZ-S2 Height in relation to boundary; RLZ-S3 Setback (excluding from MHWS or wetland, lake and river margins); RLZ-S4 Setback from MHWS; RLZ-S5 Building or structure coverage; and RLZ-S6 Buildings or structures used to house, milk or feed stock (excluding buildings or structures used for an intensive indoor primary production activity)}.	Activity status where compliance not achieved with PER-2: Restricted Discretionary Matters of discretion are restricted to: a. the matters of discretion of any infringed standard	Dwelling is residential uses (permitted) but setback <10 m (RLZ-S3) ⇒ Restricted Discretionary. Height & coverage within limits. Design and materials consistent with rural character.
	Activity status where compliance not achieved with PER-1: Discretionary	
RLZ-R2	Impermeable surface coverage	

Activity status: Permitted Where PER-1 The impermeable surface coverage of any site is no more than 12.5% or 2,500m², whichever is lesser.	Activity status where compliance not achieved with PER-1: Restricted Discretionary Matters of discretion are restricted to: a. the extent to which landscaping or vegetation may reduce adverse effects of run-off, b. the effectiveness of the proposed method for controlling stormwater on site; c. the availability of land for disposal of effluent and stormwater on the site without adverse effects on adjoining waterbodies (including groundwater and aquifers) or on adjoining sites; and d. whether low impact design methods and use of green spaces can be used; e. any cumulative effects on total catchment impermeability; and f. natural hazard mitigation and site constraints.	Impermeable area well below limit (<5%). Complies.
RLZ-R3	Residential activity	
Activity status: Permitted Where: PER-1 The site area per residential unit is at least 2ha. PER-1 does not apply to: a single residential unit located on a site less than 2ha.	Activity status where compliance not achieved with PER-1: Discretionary	Site = 5,542 m² (<2 ha) but contains a single dwelling explicitly exempt for one unit. Complies
RLZ-R4	Visitor accommodation	
Activity status: Permitted Where: PER-1 The visitor accommodation is within a residential unit, accessory building or minor residential unit. PER-2 The occupancy does not exceed 10 guests per night.	Activity status where compliance not achieved with PER-1, PER-2 or PER-3: Discretionary	No visitor accommodation proposed. Not Applicable.

PER-3 The site does not share access with another site.		
RLZ-R5	Home business	
Activity status: Permitted Where: PER-1 The home business is undertaken within: 1. a residential unit; or 2. an accessory building that does not exceed 40m GFA; or 3. a minor residential unit. PER-2 There is no more than one full-time equivalent person engaged in the home business who resides off-site. PER-3 All manufacturing, altering, repairing, dismantling or processing of any material or articles associated with an activity is carried out within a building or screened from residential units on adjoining sites. PER-4 Hours of operation are between: 1. 7am-8pm Monday to Friday. 2. 8am-8pm Weekends and public holidays.	Activity status where compliance not achieved with PER-1, PER-2, PER-3 or PER- 4: Discretionary	None proposed. Not Applicable.
RLZ-R6	Educational facility	
Activity status: Permitted Where: PER-1 The educational facility is within a residential unit, accessory building or minor residential unit. PER-2 Hours of operation are between; 1. 7am-8pm Monday to Friday.	Activity status where compliance not achieved with PER-1, PER-2 or PER-3: Discretionary	None proposed. Not Applicable.

2. 8am-8pm Weekends and public holidays. PER-3 The number of students attending at one time does not exceed four, excluding those who reside onsite.		
RLZ-R7	Farming activity	
Activity status: Permitted	Activity status where compliance not achieved: Not applicable	Not Applicable
RLZ-R8	Conservation activity	
Activity status: Permitted	Activity status where compliance not achieved: Not applicable	Not Applicable
RLZ-R9	Rural produce retail	
Activity status: Permitted Where: PER-1 The activity does not exceed GBA of 50m and is set back a minimum of 30m from any internal boundary. PER-2 The number of rural produce retail operations does not exceed one per site.	Activity status where compliance not achieved with PER-1 or PER: Discretionary	Not Applicable
RLZ-R10	Plantation forestry activity and plantation forestry activity	

Activity status: Permitted Where: PER-1 It is not located on versatile soils.	Activity status where compliance not achieved: Discretionary	Not Applicable
RLZ-R11	Minor residential unit	
Activity status: Permitted Where: PER-1 The number of minor residential units on a site does not exceed one. PER-2 The site area per minor residential unit is at least one hectare. PER-3 The minor residential unit shares vehicle access with the principal residential unit. PER-4 The separation distance between the minor residential unit and the principal residential unit does not exceed 15m. PER-5 The minor residential unit: 1. does not exceed a GFA of 65m ; and 2. with an optional attached garage or carport that does not exceed GFA of 18m , where the garage or carport is used for vehicle storage, general storage and laundry facilities.	Activity status where compliance not achieved with PER-1, PER-2, PER-3 or PER-4:	Not Applicable
	Activity status where compliance not achieved with PER-5: Non-complying	

APPENDIX 5
AFFECTED PARTIES

LAND USE CONSENT APPLICATION

34C TE WAHAPU ROAD, RUSSELL

James
[Signature]

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APPENDICES

APPENDIX 1

RECORD OF TITLE AND REGISTERED INTERESTS

APPENDIX 2

SITE PLANS

APPENDIX 3

PK ENGINEERING SITE SUITABILITY REPORT

APPENDIX 4

DISTRICT PLAN ASSESSMENT

APPENDIX 5

AFFECTED PARTIES

Stewart
SLQ



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy




R.W. Muir
Registrar-General
of Land

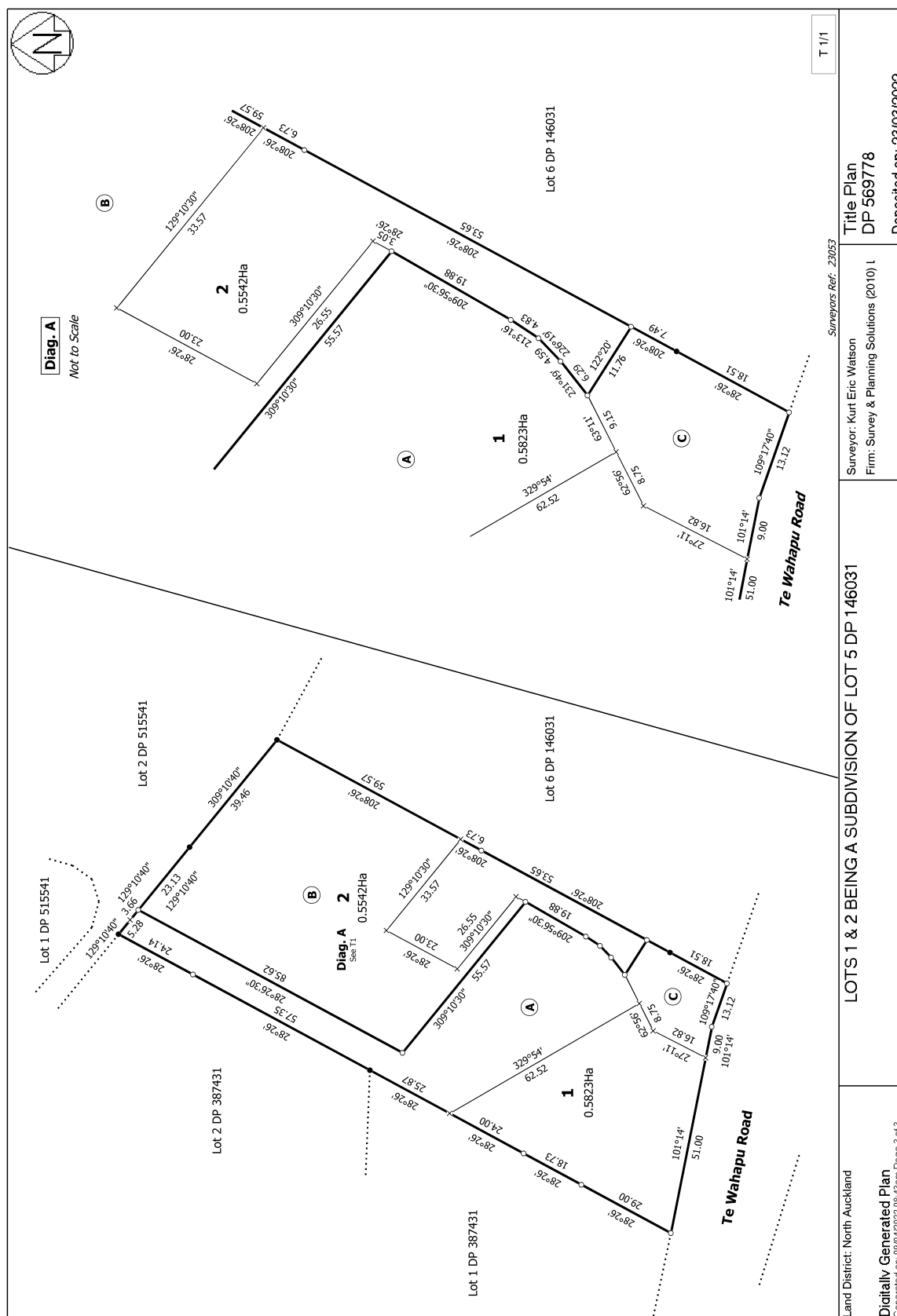
Identifier **1027944**
Land Registration District **North Auckland**
Date Issued 23 March 2022

Prior References
NA86C/529

Estate Fee Simple
Area 5542 square metres more or less
Legal Description Lot 2 Deposited Plan 569778
Registered Owners
Audrey Mavis Harris

Interests

Land Covenant in Deed B111039.2 - 22.9.1982 at 2.40 pm
Land Covenant in Deed B145395.2 - 2.2.1983 at 2.40 pm
Land Covenant in Deed B145396.2 - 2.2.1983 at 2.40 pm
Land Covenant in Deed B152192.2 - 25.2.1983 at 11.14 am
Land Covenant in Deed B167577.2 - 21.4.1983 at 11.01 am
Land Covenant in Deed B167577.3 - 21.4.1983 at 11.01 am
Land Covenant in Deed B191736.2 - 5.7.1983 at 11:29 am
Appurtenant hereto is a right of way specified in Easement Certificate C352830.3 - 5.3.1992 at 10.07 am
The easements specified in Easement Certificate C352830.3 are subject to Section 309 (1) (a) Local Government Act 1974
12290198.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 23.3.2022 at 9:48 am
Subject to a right to drain water over part marked B on DP 569778 created by Easement Instrument 12290198.3 -
23.3.2022 at 9:48 am
Appurtenant hereto is a right of way and rights to convey electricity, water and telecommunications created by Easement
Instrument 12290198.3 - 23.3.2022 at 9:48 am
The easements created by Easement Instrument 12290198.3 are subject to Section 243 (a) Resource Management Act 1991



View Instrument Details



Instrument No	12290198.2
Status	Registered
Date & Time Lodged	23 March 2022 09:48
Lodged By	McAra, John Anthony
Instrument Type	Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Records of Title	Land District
1027943	North Auckland
1027944	North Auckland

Annexure Schedule Contains 3 Pages.

Signature

Signed by John Anthony McAra as Territorial Authority Representative on 23/03/2022 09:46 AM

***** End of Report *****



Private Bag 752, Memorial Ave
Kaitiaki 6440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fnidc.govt.nz
Website: www.fnidc.govt.nz

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THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC2300655

Being the subdivision of LOT 5 DP 146031 BLK I RUSSELL
North Auckland Registry

PURSUANT to section 221 and for the purpose of section 224 (c) (ii) of the Resource Management Act 1991, this consent notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lot 2 DP 569778

- i. Reticulated power and telecommunication services are not a requirement of subdivision consent RC2300655. The responsibility for providing power and telecommunication services will remain the responsibility of the property owner.

- ii. The location and foundations of proposed building/s shall be certified by a suitably experienced Chartered Professional Engineer.

Design and earthworks should follow any of the recommendations identified in the PK Engineering site suitability report submitted in support of subdivision consent RC2300655 (referenced 21-025 and revised May 2021) unless an alternative design is submitted by a Chartered Professional Engineer.

- iii. Any ground retaining that may be required of greater than 1.0 metre height or is subject to surcharge loading (buildings, driveways or backslope exceeding 15°) shall be designed by a suitably experienced Chartered Professional Engineer prior to issue of any building consent.





Private Bag 752, Memorial Ave
Kaitake 0440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
E-mail: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

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- iv. At the time of lodging a building consent for any habitable dwelling, provide a TP58 report prepared by a Chartered Professional Engineer or a Council approved TP58 report writer.

The report shall confirm that all of the treatment and disposal system can be fully contained within the lot boundary and comply with the Regional Water and Soil Plan permitted activity standards.

Design should follow any of the recommendations identified in the PK Engineering site suitability report submitted in support of subdivision consent RC2300655 (referenced 21-025 and revised May 2021).

The installation shall include an agreement with the system supplier or its authorised agent for the ongoing operation and maintenance. This maintenance contract shall be in place at all times, which includes inspections and maintenance of both the wastewater treatment and disposal systems.

The area identified as a reserve disposal area for the disposal of treated effluent shall remain free of built development and available for its designated purpose.

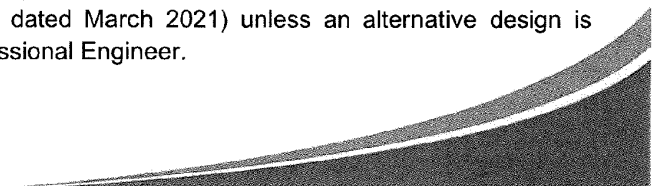
- v. Upon construction of any habitable dwelling, sufficient water supply for firefighting purposes is to be provided by way of tank storage or other approved means. This water supply shall be accessible by firefighting appliances in accordance with the 'New Zealand Fire Service Fire Fighting Water Supplies Code of Practice SNZ PAS 4509:2008'.

Tank storage is required to be situated at the top of the panhandle driveway for fire appliance accessibility.

- vi. At the time of lodging a building consent, provide a stormwater attenuation design to illustrate that stormwater disposal will not exceed that which existed pre-development for storm events up to and including the 10% annual exceedance probability plus allowance for climate change.

The stormwater attenuation design shall follow the recommendations identified in the PK Engineering site suitability report submitted in support of subdivision consent RC2300655 (referenced 21-025 and revised May 2021).

- vii. Surface water disposal shall follow the stormwater dispersal system design detailed in the PK Engineering Site Suitability report submitted in support of subdivision consent RC2300655 (drawing A3/SG4, dated March 2021) unless an alternative design is submitted by a Chartered Professional Engineer.





**Far North
District Council**

Private Bag 752, Memorial Ave
Kaitake 0440, New Zealand
Tresphone: 0800 920 029
Phone: (09) 431 5200
Fax: (09) 431 2137
Email: ext.us@fnhc.govt.nz
Website: www.fnhc.govt.nz

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- viii. The owner shall preserve the areas of bush identified as 'A' and 'B' on the survey plans and shall not without the prior written consent of Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of such trees or bush.

The owner shall be deemed not to be in breach of this prohibition if any of such trees or bush shall die from natural causes not attributable to any act or default by or on behalf of the owner or for which the owner is responsible.

Lots 1 and 2 DP 569778

- ix. No occupier of the land shall keep or introduce onto the site carnivorous or omnivorous exotic animals such as mustelids, cats or dogs.

Note: This does not apply to the dog existing on site at the time of consent being granted to subdivision consent RC2300655, as per details provided to Council in an email dated 2 August 2021 and kept on the subdivision file.

SIGNED:

A handwritten signature in black ink, reading "PJ Killalea".

Mr Patrick John Killalea - Authorised Officer

By the FAR NORTH DISTRICT COUNCIL

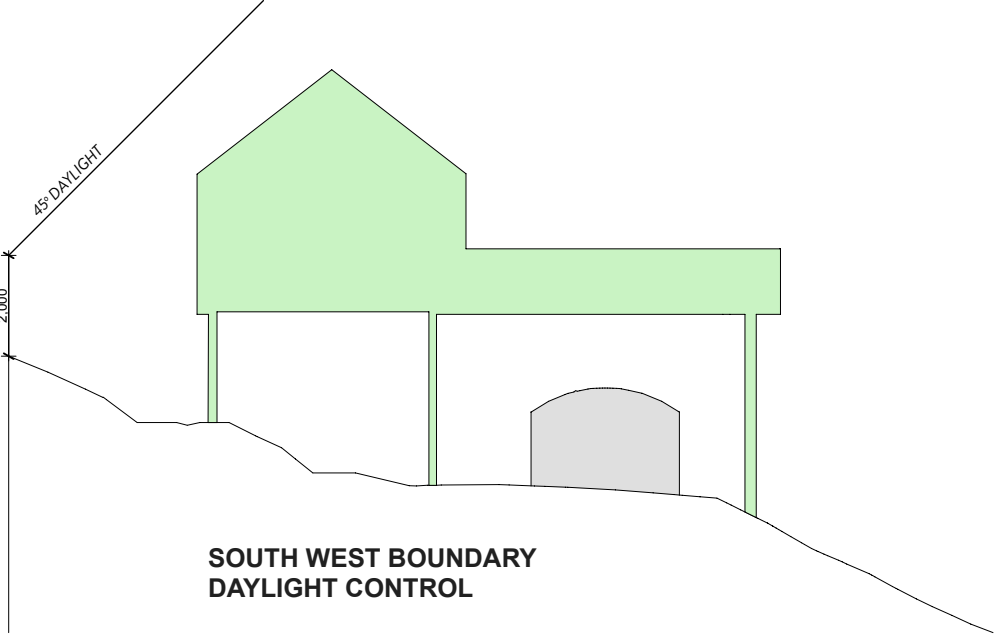
Under delegated authority:

PRINCIPAL PLANNER – RESOURCE MANAGEMENT

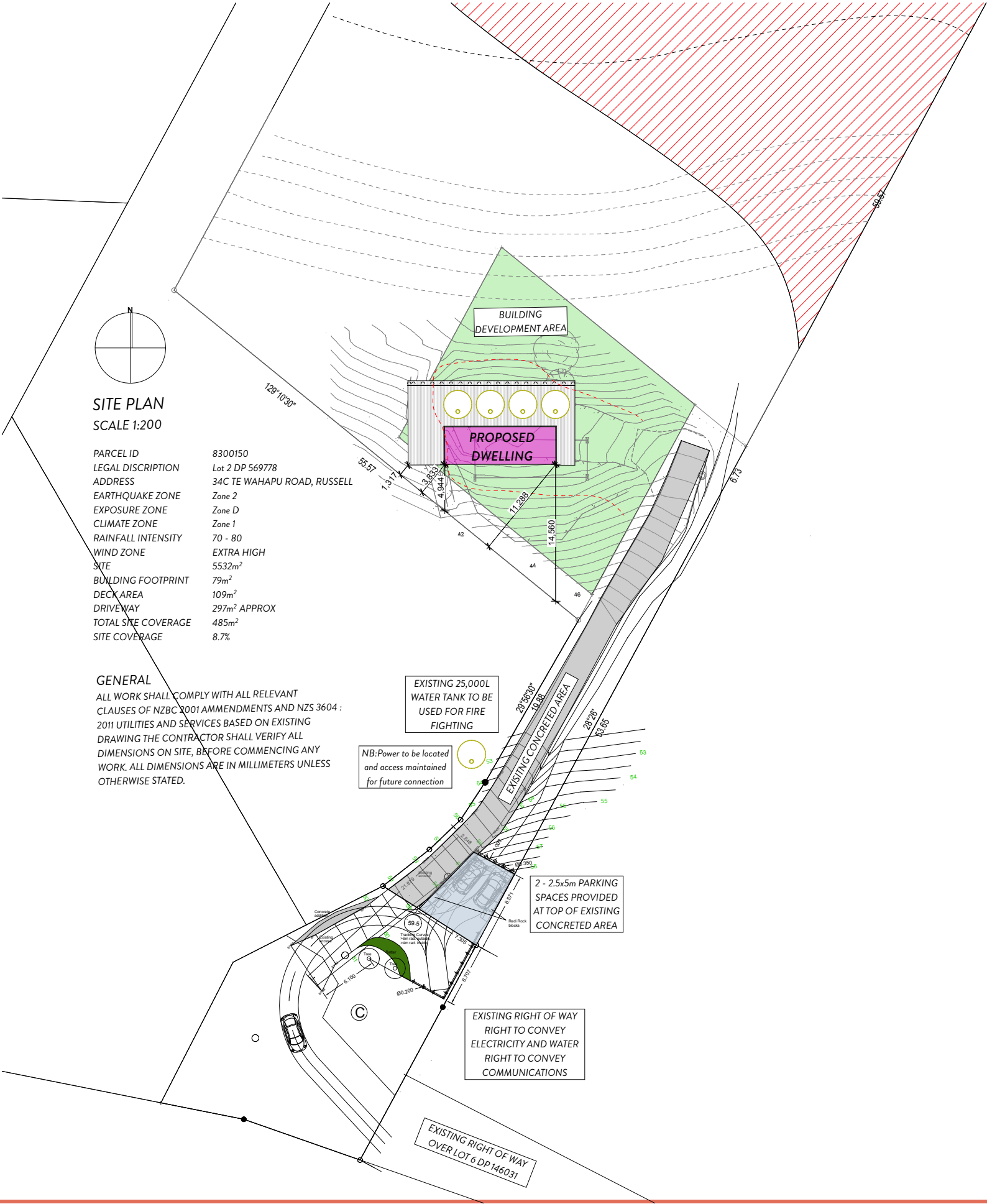
DATED at **KERIKERI** this 24th day of January 2022



ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.

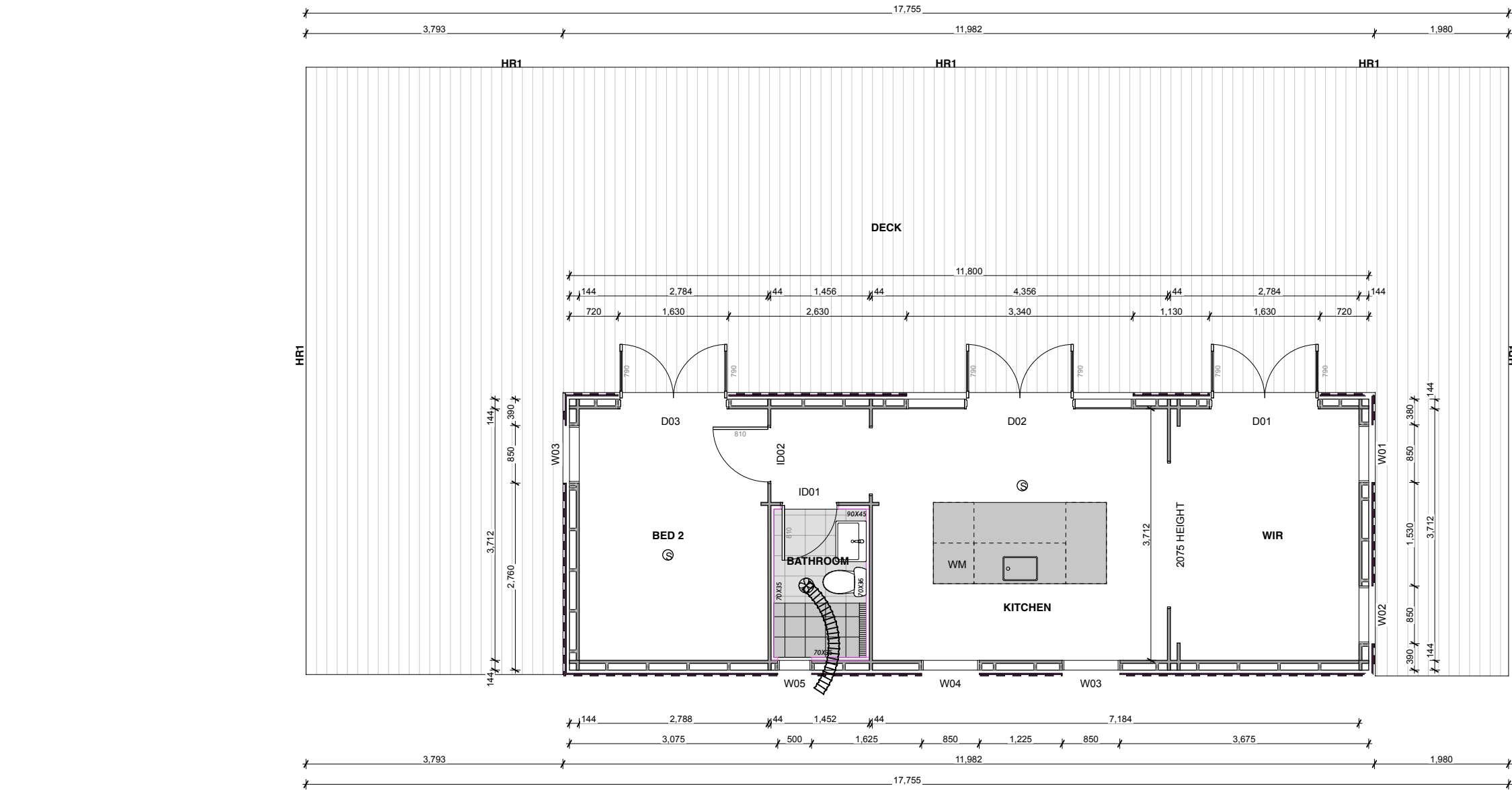


SOUTH WEST BOUNDARY
DAYLIGHT CONTROL



REV	DATE	DESCRIPTION
A	11.11.25	RESOURCE CONSENT

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



3

FLOOR PLAN

3.0

EXTERNAL WALLS
144 x 45 H1.2 SG8 SPRUCE WALL BOARDS + 100x40mm H1.2 SG8 TIMBER WIND POSTS FIXED TO WALL BOARDS WITH 2/ CPC40 AT 600CRS UP WALL. 2/14G x 35mm SCREWS EACH FACE. BASE BEAM TO BE FIXED AS PER BELOW AND ENGINEER DETAILS. REMAINING WALL BOARDS TO BE INTERLOCKED AS PER KITSET INSTRUCTIONS.

LONG SIDES - HALF BOARD BASE BEAM FIXED TO BEARER WITH 14G x 110mm SCREW AT 250 CRS. REFER TO ENGINEER DETAILS.

SHORT SIDES - FULL BOARD BASE BEAM FIXED TO BEARER WITH 14G x 200mm SCREW AT 250 CRS. REFER TO ENGINEER DETAILS.

3.1

INTERNAL WALLS
144 x 45 H1.2 SG8 SPRUCE WALL BOARDS + 100x40mm BASE BEAM TO BE FIXED AS PER BELOW AND ENGINEER DETAILS. REMAINING WALL BOARDS TO BE INTERLOCKED AS PER KITSET INSTRUCTIONS.

FULL BOARD BASE BEAM FIXED TO BEARER WITH 14G x 200mm SCREW AT 250 CRS. REFER TO ENGINEER DETAILS.

3.2

BATHROOM WALLS
144 x 45 H1.2 SG8 SPRUCE WALL BOARDS

10mm GIB AQUALINE TO ALL BATHROOM WALLS AND CEILING. EITHER 70x35mm OR 90x45mm H1.2 SG8 TIMBER BATTENS REFER TO PLAN FOR BATTEN SIZE LOCATION.

3.3

EXTRACT FAN
150mm EXTRACT FAN CONNECTED TO LIGHT SWITCH, DUCTED TO EXTERNAL WALL.

3.4

COOKTOP
MIN 50mm BETWEEN BACK OF BENCH TOP AND HOB CUTOUT, GLASS OR TILES TO BE INSTALLED TO A MINIMUM OF 150mm ABOVE BENCH TOP AND WIDTH OF COOKTOP.

3.5

KITCHEN
BENCHTOP - TO BE STAINLESS STEEL, HIGH-PRESSURE LAMINATE, ENGINEERED STONE

CABINETS - MDF WITH MELAMINE COVER

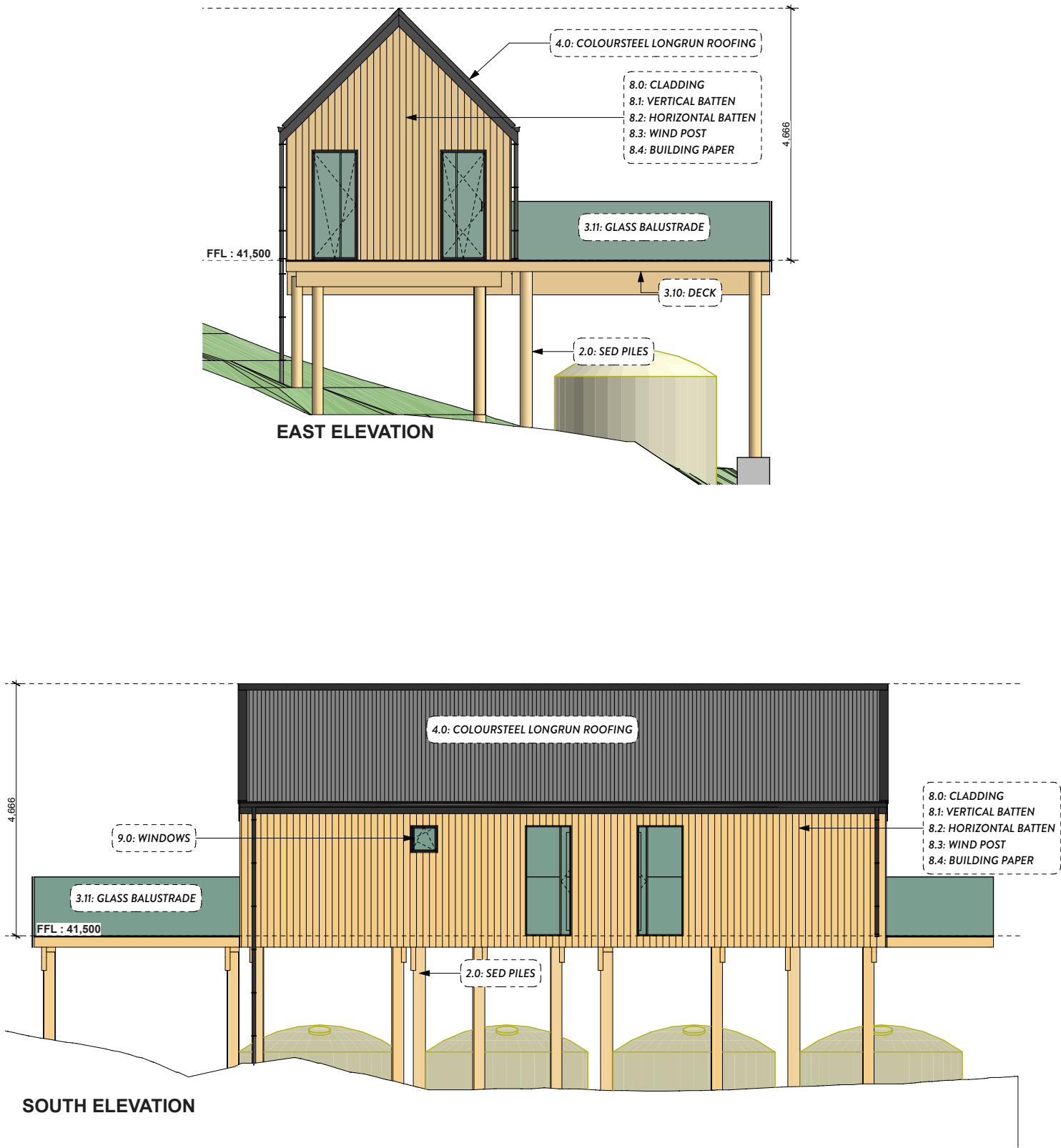
3.6

INTERIOR LIGHTING
INTERIOR LIGHTING TO COMPLY WITH NZS:6703
ALL ELECTRICAL WORK TO COMPLY WITH NZBC G9/AS1
DOWNLIGHTS TO BE CATEGORY IC-F

3.7

RANGEHOOD
BOSCH SERIES 2 WALL MOUNTED COOKER HOOD 90cm STAINLESS STEEL (OR SIMILAR PRODUCT WITH SAME EXTRACTION RATE) WITH DUCTING TO EXT. WALL
VENTILATION RATE: 222L/S, 800m3/HR. OR SIMILAR MODEL WITH THE SMAE SPECIFICATIONS.

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



HOUSE - SUBFLOOR FRAMING
REFER TO AMK ENGINEERING DETAILS FOR SUBFLOOR CALCUALTIONS AND DETAILS. REFER TO PK ENGINEERING DRAWINGS FOR BEARER AND PILE CALCUALTIONS AND DETAILS

SED PILES
REFER TO PK ENGINEERING DRAWINGS FOR PILE AND BEARER CALCUALTIONS AND DETAILS.

FLOOR PLAN

DECK
OUTDURE - CASADECK DECKING
138x23mm COMPOSITE DECKING FIXED TO DECK JOISTS AS PER MANUFACTURERS DETAILS

GLASS BALUSTRADE
UNEX PANORAMA FRAMELESS GLASS BALUSTRADE - LAMINATED GLASS - TBC CONFIRMED BY CLIENT

ROOFING

COLOURSTEEL LONGRUN ROOFING
SELECTED 5 RIB OR CORRUGATED PROFILED 0.55 COLOURSTEEL ENDURA ROOFING FIXED OVER THERMAKRAFT 215 BUILDING PAPER OVER SLEF SUPPORTING MESH TO PURLINS.

FIXING PATTERN - T2 HIT 1 MISS 1

CLADDING

CLADDING
120 x 20mm H3.2 SG8 VERTICAL BOARD AND BATTEN CLADDING. REFER TO ENG DETAILS FOR FIXING.

VERTICAL BATTEN
50 x 20mm VERTICAL H3.1 CAVITY BATTEN + CAVIT CLOSURE STRIP. REFER TO ENG DETAILS FOR FIXING.

HORIZONTAL BATTEN
50 x 20mm HORIZONTAL H3.1 BATTEN AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.

WIND POST
90 x 32 H1.2 WIND POST AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.

BUILDING PAPER
THERMAKRAFT WATERGATE PLUS BUILDING PAPER.

CONTINUOUS AROUND EXTERNAL CORNERS.

TURNED INTO OPENINGS, FLASHING TAPE TO TO ALL CORNERS AND TO EXTEND ALONG SILL.

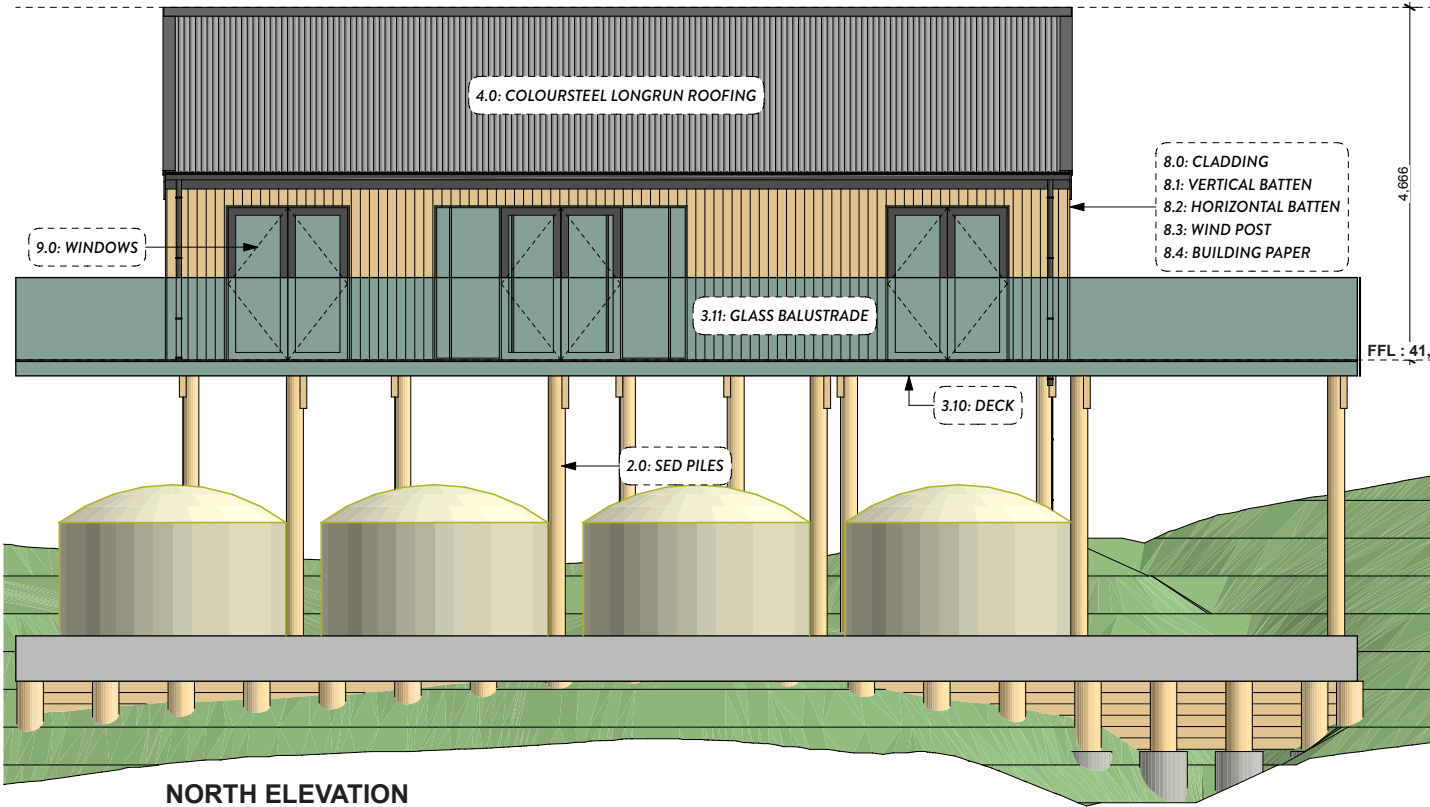
RIGID AIR BARRIER
CHCH ECO-PLY-BARRIER 7MM PLYWOOD. INSTALLED AS PER MANUFACTURES DETAILS. REFER TO ENGINEERING DOCUMENTS FOR ADDITIONAL NOGS REQUIRED FOR FIXING.

WINDOWS

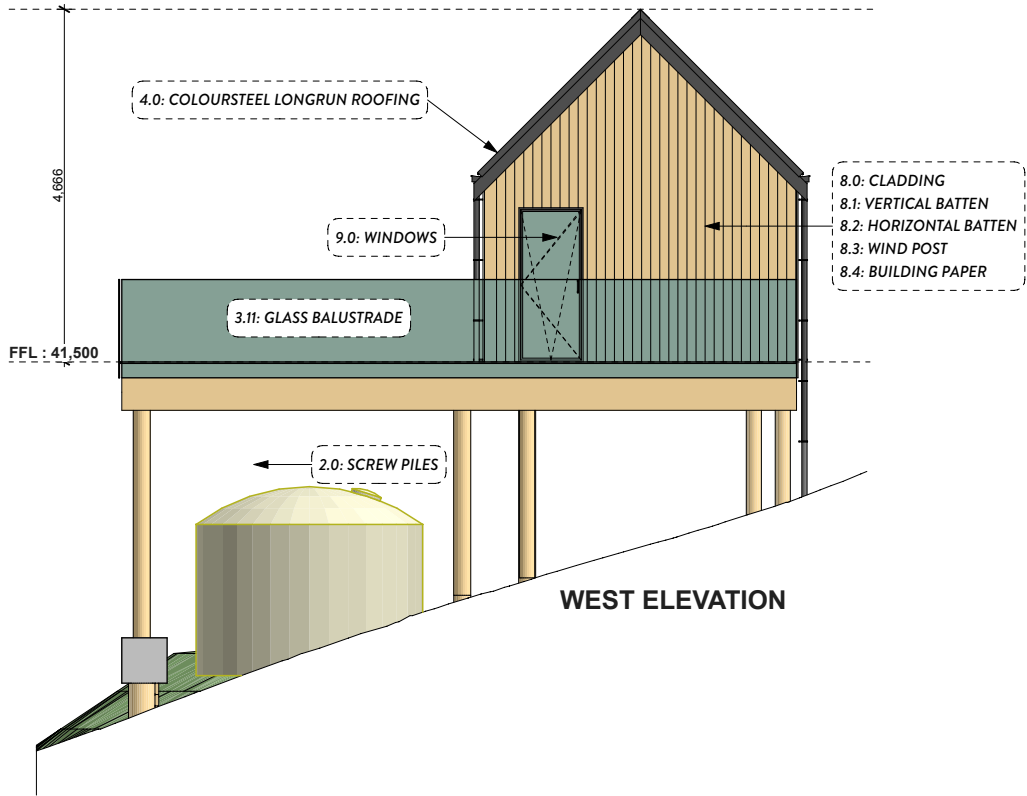
WINDOWS
UPVC EXTERIOR DOORS AND WINDOWS
GLASS - AGC GLASS EUROPE - 4mm PLANILBEL CLEARLITE. 6mm ARGON, THERMALLY TOUGHENED,

E2/AS1 COMPLIANCE RISK MATRIX - WORST CASE SCENARIO		
WIND ZONE	E HIGH	2
NUMBER OF STORIES	LOW	0
ROOF / WALL INTERSECTION	HIGH	1
EAVES WIDTH	HIGH	5
ENVELOPE COMPLEXITY	LOW	0
DECK DESIGN	LOW	0
TOTAL		8

ALL PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS. WHERE THERE IS A DISCREPANCY ENGINEERING PLANS ARE TO BE FOLLOWED.



NORTH ELEVATION



WEST ELEVATION

- 2

HOUSE - SUBFLOOR FRAMING
REFER TO AMK ENGINEERING DETAILS FOR SUBFLOOR CALCUALTIONS AND DETAILS. REFER TO PK ENGINEERING DRAWINGS FOR BEARER AND PILE CALCUALTATIONS AND DETAILS
- 2.0

SED PILES
REFER TO PK ENGINEERING DRAWINGS FOR PILE AND BEARER CALCUALTIONS AND DETAILS.
- 3

FLOOR PLAN
- 3.10

DECK
OUTDURE - CASADECK DECKING
138x23mm COMPOSITE DECKING (FIXED TO DECK JOISTS AS PER MANUFACTURERS DETAILS
- 3.11

GLASS BALUSTRADE
UNEX PANORAMA FRAMELESS GLASS BALUSTRADE - LAMINATED GLASS - TBC CONFIRMED BY CLIENT
- 4

ROOFING
- 4.0

COLOURSTEEL LONGRUN ROOFING
SELECTED 5 RIB OR CORRUGATED PROFILED 0.55 COLOURSTEEL ENDURA ROOFING FIXED OVER THERMAKRAFT 215 BUILDING PAPER OVER SLEF SUPPORTING MESH TO PURLINS.

FIXING PATTERN - T2 HIT 1 MISS 1
- 8

CLADDING
- 8.0

CLADDING
120 x 20mm H3.2 SG8 VERTICAL BOARD AND BATTEN CLADDING. REFER TO ENG DETAILS FOR FIXING.
- 8.1

VERTICAL BATTEN
50 x 20mm VERTICAL H3.1 CAVITY BATTEN + CAVIT CLOSURE STRIP. REFER TO ENG DETAILS FOR FIXING.
- 8.2

HORIZONTAL BATTEN
50 x 20mm HORIZONTAL H3.1 BATTEN AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.
- 8.3

WIND POST
90 x 32 H1.2 WIND POST AT 600 CRS. REFER TO ENG DETAILS FOR FIXING.
- 8.4

BUILDING PAPER
THERMAKRAFT WATERGATE PLUS BUILDING PAPER.

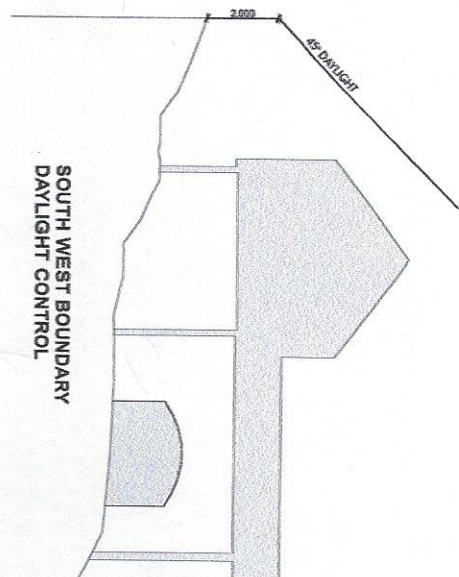
CONTINUOUS AROUND EXTERNAL CORNERS.

TURNED INTO OPENINGS, FLASHING TAPE TO TO ALL CORNERS AND TO EXTEND ALONG SILL.
- 9

WINDOWS
- 9.0

WINDOWS
UPVC EXTERIOR DOORS AND WINDOWS
GLASS - AGC GLASS EUROPE - 4mm PLANILBEL CLEARLITE. 6mm ARGON, THERMALLY TOUGHENED,

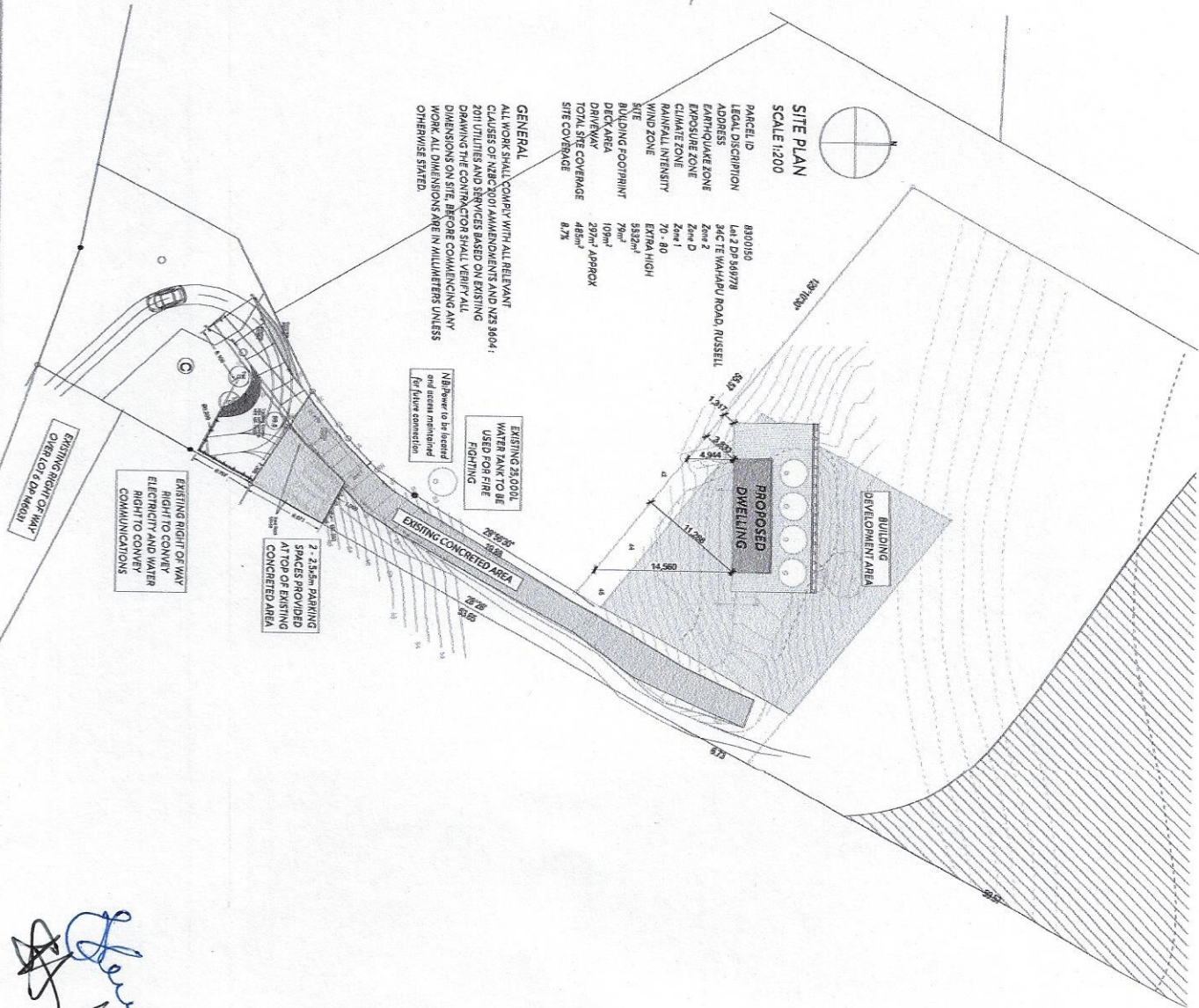
E2/AS1 COMPLIANCE RISK MATRIX - WORST CASE SCENARIO		
WIND ZONE	E HIGH	2
NUMBER OF STORIES	LOW	0
ROOF / WALL INTERSECTION	HIGH	1
EAVES WIDTH	HIGH	5
ENVELOPE COMPLEXITY	LOW	0
DECK DESIGN	LOW	0
TOTAL		8



SITE PLAN
SCALE 1:200

PACEL ID	8800155
LEGAL DESCRIPTION	Lot 2 DP 566779
ADDRESS	34C TE WAHAPU ROAD, RUSSELL
EARTHQUAKE ZONE	Zone 2
EROSION ZONE	Zone D
CLIMATE ZONE	Zone 1
MAINTENANCE ZONE	TO - B0
WIND ZONE	EXTRA HIGH
SITE	5532m ²
BUILDING FOOTPRINT	75m ²
DECK AREA	109m ²
DRIVEWAY	297m ² APPROX
TOTAL SITE COVERAGE	485m ²
SITE COVERAGE	8.7%

GENERAL
ALL WORK SHALL COMPLY WITH ALL RELEVANT CLAUSES OF NZBC2001 AMENDMENTS AND NZS 3604: 2011 UTILITIES AND SERVICES BASED ON EXISTING DRAWING THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE, BEFORE COMMENCING ANY WORK. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED.



Handwritten signature



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	AUDREY HARRIS
Address of proposed activity:	34 C TE WAHAPU ROAD, RUSSEL
Legal description:	LOT 2 DP569778
Description of the proposal (including why you need resource consent):	PLEASE REFER TO THE DESCRIPTION OF WORKS -(1.0 INTRODUCTION) IN THE ATTACHED DOCUMENTS.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	1. <u>ARCHITECTURAL PLANS-SITE, FLOOR, ELEVATIONS</u> 2. <u>LAND USE APPLICATION - AEE</u> 3. _____ 4. _____ 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Stephen Roy & Annette Bernice HARDCASTLE

Address of affected property including legal description

34 ATE WAHAPU ROAD - LOT 1 DP569778

Contact Phone Number/s and email address

Daytime: 0274415307

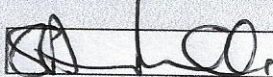
email: hardcastleengineering@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of **all** the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

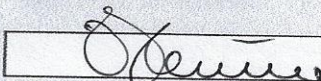
Signature



Date

12-11-25

Signature



Date

12.11.25

Signature

Date

Signature

Date



frankly
architecture + design