

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with?

2. Type of consent being applied for

(more than one circle can be ticked):

- Land Use Discharge
 Fast Track Land Use* Change of Consent Notice (s.221(3))
 Subdivision Extension of time (s.125)
 Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
 Other (please specify)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

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5. Applicant details

Name/s:

Benjamin Gadsby

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? Yes No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning and Development 2020 Ltd c/o Rochelle Jacobs

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

--

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Benjamin Gadsby

Property address/
location:

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:	Benjamin Gadsby		
Site address/ location:	61 Wiroa Road, Kerikeri		

	Postcode	_____	
Legal description:	Lot 1 DP 188984	Val Number:	_____
Certificate of title:	NA118D/649		

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

driveway is accessable yard is not

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Change in use of existing building to a dwelling where the proposal infringes the permitted standard for setback

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

<input checked="" type="radio"/> Building Consent	EOA-2026-56 here (if known)
<input type="radio"/> Regional Council Consent (ref # if known)	Ref # here (if known)
<input type="radio"/> National Environmental Standard Consent	Consent here (if known)
<input type="radio"/> Other (please specify)	Specify 'other' here

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Benjamin Douglas Gadsby

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Benjaming Douglas Gadsby

Signature:

(signature of bill payer)

Date 8/4/26

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Rochelle Jacobs

Signature

Date 20-Mar-2026

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

**Land-Use Consent for
Benjamin Gadsby
61 Wiroa Road, Kerikeri**

Date: 20 March 2026

Attention: Liz Searle, Jo Graham & Nick Williamson (Team Leaders – Resource Consents)

Please find attached:

- an application form for a Land-use Resource Consent where the change of use from a pack house to a residential dwelling necessitates a review of setback from boundaries on a site within the **Rural Production zone** and
- an Assessment of Environmental Effects indicating the potential and actual effects of the proposal on the environment.

The application has been assessed as a **Restricted Discretionary Activity** under the Far North Operative District Plan and a **Permitted Activity** under the Proposed District Plan.

If you require further information, please do not hesitate to contact me.

Regards,

Rochelle Jacobs



Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED

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Attachments:

1. **Far North District Council Application**
2. **Record of Title - LINZ**
3. **Plan Set – *O'Brien Design Consulting***
4. **Form 4 - FNDC**



Assessment of Environment Effects Report

1. DESCRIPTION OF THE PROPOSED ACTIVITY

- 1.1. COA-2026-56 was recently lodged with the Far North District Council (FNDC) to change the use of an old packing shed to a residential unit. Upon review of this application, it was noted that the existing building infringed the permitted 10m setback requirement. This consent seeks to legalise this situation.
- 1.2. The site is located at 61 Wiroa Road, Kerikeri and contains the converted pack house and shed. The site is located within the Rural Production zone under the Operative District Plan (ODP). Resource consent is sought as a **Restricted Discretionary Activity** under the ODP.

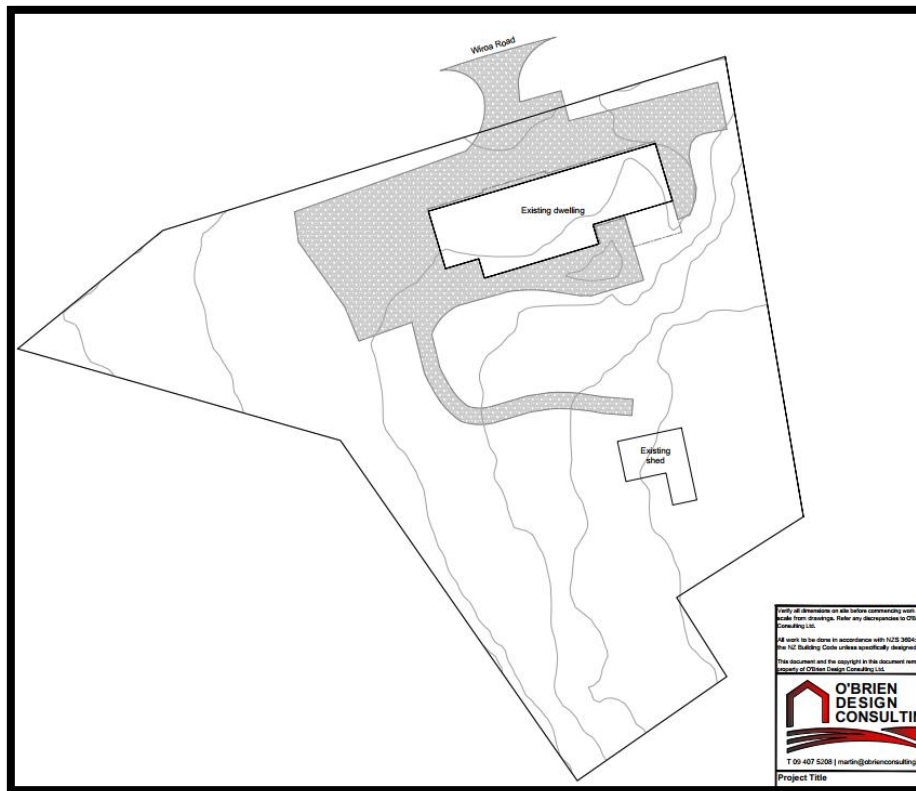


Figure 1: Site Plan showing approx. location of converted dwelling to Wiroa Road and shed on site





Figure 2 – Dwelling setback from road

2. DESCRIPTION OF THE SITE AND SURROUNDING ENVIRONMENT

- 2.1. The property is located at 61 Wiroa Road, Kerikeri. The site is developed with the converted dwelling at the northern boundary, parking and manoeuvring to the West of the site, and shed and other garden amenities to the rear.



Figure 3 - Aerial of site and development

- 2.2. The surrounding environment consists of a range of allotments, and uses ranging from smaller rural residential lots, through to larger productive orchard and farmland blocks. Immediately adjacent to the site is Marsden Estate Vineyard and restaurant and further afield is the Bay of Islands Airport.
- 2.3. The site is located within the Kiwi Present zone and is located within the area of interest under negotiation for Ngapuhi. The site has soils mapped as classification 2s1.
- 2.4. The proposal is to change the use of an old packhouse which was used in association with an orchard to the rear of the property. A review of aerials indicates that while the wider site was in productive orchard the pack house and its curtilage was not in production.



Figure 4 - 1953 Aerial showing as mown paddock



Figure 5 - 1968 aerial with orchard and packhouse established



Figure 6 - 1977 aerial with pack house, driveway and neighbouring house established



Figure 7 - 2000 aerial



Figure 8 – 2014 – 2016 aerial with residential development occurring on site

Site Photos



Figure 9 - Site frontage



Figure 10 - Water tank within 10m setback, less than 2.7m



Figure 11 – Vehicle crossing looking East to area V



Figure 12 - Vehicle crossing looking West with vegetation in Area W visible.

Record of Title

2.5. The subject site is held within Record of Title NA118D/649 and is legally described as Lot 1 DP 188984. The subject site has an area of 4100m² and the title is dated 20th July 1998.

2.6. There are 2 existing fencing agreements a consent notice and a water right registered on the title. Of interest to this application is the consent notice.

Consent Notice

2.7. The following consent notice applies to the site –

3. REASONS FOR CONSENT

Operative District Plan

3.1. The subject site is zoned Rural Production within the Operative District Plan. An assessment of the relevant permitted District Plan rules is outlined below:

Assessment of the Permitted Section 8.6.5.1 Rural Production		
Plan Reference	Rule	Performance of Proposal
8.6.5.1.1	Residential Intensity	<p>There is one dwelling on site.</p> <p>Permitted</p>
8.6.5.1.2	Sunlight	<p>The existing building on site can all comply with the sunlight standards.</p> <p>Permitted.</p>
8.6.5.1.3	Stormwater Management	<p>The site is 4100m² which enables 615m² of the site to be covered in an impermeable surface.</p> <p>The existing site coverage exceeds permitted standards, however, these have all previously been legally established. As no changes are sought, nor any increases being made, the proposal is considered to have existing use rights.</p> <p>Existing Use Rights</p>
8.6.5.1.4	Setback from Boundaries	<p>As detailed above, the building is located approx. 7.3m from the road boundary. As the proposal involves the change of use of the building to a habitable structure consideration of the setback must be taken into account</p>



		<p>rather than rely on existing use rights. The proposal is unable to meet the permitted setback standard.</p> <p>Restricted Discretionary</p>
8.6.5.1.5	Transportation	<p>Permitted.</p> <p>For further assessment please see below table.</p>
8.6.5.1.6	Keeping of Animals	Not applicable.
8.6.5.1.7	Noise	<p>The activity will be residential and as such noise standards are anticipated to be complied with.</p> <p>Permitted.</p>
8.6.5.1.8	Building Height	<p>All heights are within the permitted threshold.</p> <p>Permitted.</p>
8.6.5.1.9	Helicopter Landing Area	Not applicable.
8.6.5.1.10	Building Coverage	<p>The site is 4100m² which enables 410m² of the site to be covered in buildings.</p> <p>The existing site coverage appears to be around 300m² which is within the permitted standards.</p> <p>Permitted.</p>
8.6.5.1.11	Scale of Activities	<p>Not applicable.</p> <p>No non-residential activities are proposed.</p>



District Wide Matters

Assessment of the District Wide Matters		
Plan Reference	Rule	Performance of Proposal
12.1	LANDSCAPES AND NATURAL FEATURES	Not applicable
12.2	INDIGENOUS FLOR AND FAUNA	Not applicable
12.3	EXCAVATION AND/OR FILLING	No earthworks / filling is sought. Permitted.
12.4	HAZARDS	The dwelling is not within 20m of bush. Permitted.
12.5	HERITAGE	Not applicable
12.6	AIR	Not applicable
12.7	SETBACK FROM LAKES, RIVERS & CMA	There are no waterbodies within proximity to the site. Permitted.
12.8	HAZARDOUS SUBSTANCES	Not applicable
12.9	RENEWABLE ENERGY	Not applicable
Assessment of the Chapter 15 Transportation		
15.1.6A	Traffic Intensity	The permitted TIF for the Rural Production zone is 60 for a site which is not accessed via a State Highway. The proposal will result in one dwelling. The first dwelling is exempt from this rule, such that the total TIF for the site as a result of this proposal will be 0. Permitted



15.1.6B	Parking	The parking standards have been removed from the district plan. Permitted
15.1.6C	Access	Access to the site will be via the existing crossing place. Permitted

Operative District Plan Infringements

- 3.2. The assessment above has identified the following infringement to the District Plan Rules:
- 8.6.5.1.1 Setback from boundaries
- 3.3. The proposal can comply with all other rules within 8.6.5.1 as well as 8.6.5.2 and 8.6.5.3 and the relevant standards within the District Wide Provisions. The proposal is therefore assessed as a **Restricted Discretionary Activity** in accordance with Section 8.6.5.3. The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent. In assessing an application for a restricted discretionary activity, the Council will restrict the exercise of its discretion to the specific matters listed for each rule, or where there is no rule, to the specific matters listed below under the appropriate heading.

Proposed District Plan

- 3.4. The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned Horticulture. An assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	The following rules have immediate legal effect:	Not applicable.



	<p>Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource</p> <p>Rules HS-R5, HS-R6, HS-R9</p>	<p>The site does not contain any hazardous substances to which these rules would apply.</p>
<p>Heritage Area Overlays</p>	<p>All rules have immediate legal effect (HA-R1 to HA-R14)</p> <p>All standards have immediate legal effect (HA-S1 to HA-S3)</p>	<p>Not applicable.</p> <p>The site is not located within a Heritage Area Overlay.</p>
<p>Historic Heritage</p>	<p>All rules have immediate legal effect (HH-R1 to HH-R10).</p> <p>Schedule 2 has immediate legal effect.</p>	<p>Permitted</p> <p>The site does not contain any historic heritage.</p>
<p>Notable Trees</p>	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any notable trees.</p>
<p>Sites and Areas of Significance to Māori</p>	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any sites or areas of significance to Māori.</p>
<p>Ecosystems and Indigenous Biodiversity</p>	<p>All rules have immediate legal effect (IB-R1 to IB-R5)</p> <p>IB-R1 – Indigenous vegetation pruning, trimming and clearance and any associated land</p>	<p>Permitted.</p> <p>No vegetation clearance is proposed.</p>



	disturbance for specified activities within and outside a Significant Natural Area.	
Subdivision	The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17	Not applicable. The proposal is not for subdivision.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Not applicable. The proposal does not involve activities on the surface of water.
Earthworks	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Permitted. No earthworks are sought.
Signs	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area	Not applicable. No signs are proposed as part of this application.
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not applicable. The site is not located in the Orongo Bay Zone.

3.5. The proposal is **Permitted** within the Proposed District Plan.



National Environmental Standards

National Environment Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011

- 3.6. The site is not identified as HAIL on the Council database of HAIL sites. A review of historic aerials has illustrated that the dwelling and its curtilage were not previously planted in crops. The building on site was used to pack the fruit grown on site and at some point, has changed use to a dwelling. The aerials do not indicate any other activities that have previously occurred or are currently occurring on the site that are registered as HAIL Activities.
- 3.7. For this reason, the NESCS (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) is not a consideration of this application. The proposal is considered **Permitted** in terms of this regulation.
- 3.8. There are no other National Environmental Standards relevant to this application.

4. STATUTORY ASSESSMENT

Section 104C of the Act

- 4.1. Section 104C governs the determination of applications for Restricted Discretionary Activities. When considering an application for resource consent, a consent authority must consider only those matters over which a discretion is restricted in national environmental standards or other regulations, or it has restricted the exercise of its discretion in its plan or proposed plan. The consent authority can grant or refuse the application. If the application is granted, the consent authority may impose conditions under Section 108 only for those matters listed above.

Section 104(1) of the Act

- 4.2. Section 104(1) of the Act states that when considering an application for resource consent –
- “the consent authority must, subject to Part II, have regard to –*
- (a) any actual and potential effects on the environment of allowing the activity; and*



- (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and*
- (b) any relevant provisions of –*
- i. a national environmental standard:*
 - ii. other regulations:*
 - iii. a national policy statement:*
 - iv. a New Zealand Coastal Policy Statement:*
 - v. a regional policy statement or proposed regional policy statement:*
 - vi. a plan or proposed plan; and*
- (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”*

- 4.3. Actual and potential effects arising from the development as described in 104(1)(a) can be both positive and adverse (as described in Section 3 of the Act). Positive effects arising from this development include the legalisation of an existing structure for the purposes of residential living, whilst ensuring the dwelling is not objectionable within the site or surrounding environment.
- 4.4. Section 104(1)(ab) requires that the consent authority consider ‘any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity’. In this case, the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment.
- 4.5. Section 104(1)(b) requires that the consent authority consider the relevant provisions of the above listed documents. An assessment of the relevant statutory documents that corresponds with the scale and significance of the effects that the activity may have on the environment has been provided in Section 8 below.



- 4.6. Section 104(1)(c) states that consideration must be given to ‘any other matters that the consent authority considers relevant and reasonable, necessary to determine the application.’ There are no other matters relevant to this application.

Environmental Effects Assessment

- 4.7. Having reviewed the relevant plan provisions and taking into account the matters to be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects warrant consideration as part of this application.
- 4.8. The proposal is to be assessed as a Restricted Discretionary Activity as per *8.6.5.3 Restricted Discretionary Activities*. The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent. In assessing an application for a restricted discretionary activity, the Council will restrict the exercise of its discretion to the specific matters listed for each rule, or where there is no rule, to the specific matters listed below under the appropriate heading.

Setback from Boundaries

- 4.9. The proposal results in a breach of the permitted standard for Setback from boundaries and as such, the criteria within the Restricted Discretionary provisions, Rule 8.6.5.3.4, will be undertaken below.

When considering an application under this provision the Council will restrict the exercise of its discretion to matters relating to:

(a) the extent to which the building(s) reduces outlook and privacy of adjacent properties;

(b) the extent to which the buildings restrict visibility for access and egress of vehicles;

(c) the ability to mitigate any adverse effects on the surrounding environment, for example by way of planting;

(d) for sites having a frontage with Kerikeri Road (between its intersection with SH10 and Cannon Drive:



- (i) the scale of the buildings;*
- (ii) the extent of set back from Kerikeri Road;*
- (iii) the visual appearance of the site from the Kerikeri Road frontage;*
- (iv) the extent to which the building(s) are in harmony with landscape plantings and shelter belts;*

(e) for residential buildings located within 100m of Minerals Zone:

- (i) the position of the building platform(s) in relation to the mine or quarry;*
- (ii) the likelihood of the mine or quarry causing environmental effects, especially noise and loss of amenity values, that will impact adversely on the occupiers of the proposed residential building;*
- (iii) the effectiveness of any mitigation measures proposed;*

Where an application is required under this rule, the owner and/or operator of any mine or quarry within the adjacent Minerals Zone shall be considered an affected party. Where the written approval of the owner and the mine or quarry operator has been obtained, the application will be non-notified.

(f) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.

- 4.10. The building has been sited in this location since the 60s. The setback infringement is to the road boundary, and the infringement is by some 2.7m (approx.). The change in use from a packhouse to a dwelling occurred some years ago, but through the sale of the property is only now being legalised. The change in use does not result in any outlook or privacy impacts on the road.
- 4.11. There is adequate space for manoeuvring to and from the site. As a packhouse trucks would have navigated in and out of the site. The building does not restrict visibility to Wiroa Road.
- 4.12. No planting is necessary. The site is already subject to hedge requirements through the subdivision which created the property.
- 4.13. Items (d) and (e) are not applicable.



- 4.14. The setback infringement does not impact any public use and enjoyment of esplanade strips and/or the coastal marine.

Policy Documents

- 4.15. In accordance with Section 104(1)(b) of the Act, the following documents are considered relevant to this application.

National Environmental Standards

National Environment Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011

- 4.16. As mentioned earlier in this report, there have been no previous or current activities listed as HAIL, undertaken on the site. The proposal is therefore considered permitted in terms of the National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011.

National Environment Standard for Freshwater 2020

- 4.17. There are no areas on the site which are considered to meet the definition of a natural inland wetland, the proposal does not involve reclamation of a river, nor will the passage of fish be affected and therefore the NES for Freshwater is not considered applicable.

Other National Environmental Standards

- 4.18. No other National Environmental Standards are considered applicable to this development.

National Policy Statements

- 4.19. There are currently 10 National Policy Statements in place. These are as follows:
- National Policy Statement on Urban Development
 - National Policy Statement for Freshwater Management
 - National Policy Statement for Renewable Electricity Generation
 - National Policy Statement on Electricity Transmission



- New Zealand Coastal Policy Statement
- National Policy Statement for Highly Productive Land.
- National Policy Statement for Indigenous Biodiversity.
- National Policy Statement for Greenhouse Gas Emissions from industrial Process Heat
- National Policy Statement for Infrastructure
- National Policy Statement for Natural Hazards

4.20. In this case, the only National Policy Statement which is relevant to this site is the National Policy Statement for Highly Productive Land.

National Policy Statement for Highly Productive Land

4.21. As per the Land Guide to Implementation for the National Policy Statement for Highly Productive Land (NPS-HPL), consideration on the productive capacity of the land is not provided for within the discretion for activities with Controlled or Restricted Discretionary Activity statuses. However, consideration of the effect of the activity on existing land use activities must be provided for.

4.22. As has been discussed within this report, the proposal is to legalise a change of use of the existing building. All infrastructure associated with the change of use can be catered for on site. There will be no change on the impact of soils, given there will be no additional building activities undertaken on the site. There is adequate separation distance between the dwelling location and adjacent productive activities given the approved subdivision which created the site enabling residential use. Any reverse sensitivity effects were anticipated at time of subdivision.

4.23. As such, it is considered that the proposal will not create any additional reverse sensitivity effects or incompatible land uses which were not contemplated at the time the site was created for residential purposes and the change is consistent with the productive intent for the zone.



Regional Policy Statement for Northland

- 4.24. The relevant policy statement applicable to the application is the Operative Regional Policy Statement for Northland (RPSN). The activity is not located within any areas identified as having High Natural Character; the site is not known to be located within an area of Outstanding Landscape or within the Coastal Environment.
- 4.25. The relevant objectives and policies relate to Economic Wellbeing, Tangata Whenua, Natural character, Indigenous Ecosystems and Species, Historic Heritage, Infrastructure, and Water quality management.
- 4.26. The proposal is considered to create any effects on the character of the locality. The proposal is considered to have negligible effects on the life supporting capacity of air, water, soil and ecosystems. As such, it is considered the proposal is compatible with the intent of the RPS.
- 4.27. As per the assessment above, the proposal is not considered to create any adverse effects in relation to the above-mentioned themes.
- 4.28. It is considered that with the imposition of the recommendations of this report, the activity is not contrary to the RPSN.

Far North Operative District Plan

- 4.29. The relevant objectives and policies of the Plan are those related to the Rural Environment, in particular Chapter 8.6 Rural Production Zone. The proposal is considered to create less than minor adverse effects on the surrounding environment. The proposal is considered to be consistent with the character of the surrounding area and is considered to have negligible effects on the amenity value of the area. The proposal is considered to be consistent with the objectives and policies of the Plan.

Proposed Far North District Plan

- 4.30. As discussed in the sections above, the site is located within the Horticulture zone under the PDP. Through the hearings process, this has been revised to a Rural Production zone with a



horticulture precinct overlay. The proposal is consistent with the character of the surrounding area and is considered to have nil effects on the amenity value of the area. Although the site is proposed to be within the Horticulture Precinct, it is worth noting that the site size combined with the existing development would render the site not suitable for productive use.

Summary

- 4.31. The above assessment of the relevant policy documents demonstrates that the proposal will be consistent with the relevant objectives and policies of those statutory documents.

5. NOTIFICATION ASSESSMENT – SECTIONS 95A TO 95G OF THE ACT

- 5.1. Section 95A-95G sets out the public and limited notification criteria for resource consent applications.

Section 95A – Public Notification Assessment

- 5.2. Section 95A requires a council to follow specific steps when deciding whether to publicly notify an application for resource consent. These steps are set out and commented on as follows.

Step 1: Mandatory public notification in certain circumstances

S95A(3)(a)	The applicant requests public notification
S95A(3)(b)	Public notification is required under section 95C
S95A(3)(c)	The application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

- 5.3. The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.
- 5.4. The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.



Step 2: If not required by step 1, public notification in certain circumstances

S95A(5)(a)	Is the application for a resource consent for one or more activities and each activity is subject to a rule or national environmental standard that precludes public notification.
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but not other, activities; a controlled activity; a restricted discretionary, discretionary or non-complying activity, but only if the activity is a boundary activity.

- 5.5. The activity is a restricted discretionary boundary activity such that it is precluded by step 2 and step 3 does not require consideration.

Step 4: Public notification in special circumstances

S95(9)	Do special circumstances exist in relation to the application that warrant the application being publicly notified?
--------	---

- 5.6. When considering public notification, current caselaw has defined ‘special circumstances’ as those outside the common run of things which are exceptional, abnormal or unusual, but they may be less than extraordinary or unique. The proposed activity is to change the use of an existing packhouse to a dwelling. Enabling a single dwelling on a site is anticipated by the District Plan. There are no extraordinary or unique circumstances.
- 5.7. Potential adverse effects beyond the immediate site boundary are less than minor. Public notification of the application is not deemed necessary, nor is it required.

Section 95B – Limited Notification Assessment

- 5.8. If an application is not publicly notified, a consent authority must follow the steps of section 95B to decide if limited notification is required. A Section 95B assessment requires a decision about whether there are any specified affected groups or affected persons (under section 95E).

Step 1: Certain affected groups and affected persons must be notified


S95B(2)(a)	Are there any affected protected customary rights groups
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?
S95B(3)(a)	Is the proposed activity adjacent to, or may affect land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?

- 5.9. The proposed activity would not affect any protected customary rights groups or marine title groups. The proposed activity is not adjacent to and would not affect land (or persons) that are the subject of a statutory acknowledgement.

Step 2: If not required by step 1, limited notification precluded in certain circumstances

S95B(6)(a)	The application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification.
S95B(6)(b)	The application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 5.10. The proposed activity is not subject to a rule or national environmental standard that precludes limited notification. The application activity status is not 'controlled'.

Step 3: If not precluded by step 2, certain other affected persons must be notified

S95B(7)	In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.
S95B(8)	In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.



- 5.11. The proposed activity is a boundary activity. The proposal seeks to change the use of a legalised packhouse to a dwelling. In terms of the impact on the setback infringement on the Council Road, there will be no change in effect. The infringement is such that the dwelling is 2.7m closer to the boundary in comparison to the now permitted activity status. The impact of the change in use to a dwelling will be indiscernible.
- 5.12. There are no other activities being sought where consideration of effects on other persons is warranted.
- 5.13. The Applicant requests that the application be processed on a non-notified basis.

6. PART 2 ASSESSMENT

- 6.1. The application must be considered in relation to the purpose and principles of the Resource Management Act 1991 which are contained in Section 5 to 8 of the Act inclusive.
- 6.2. The proposal will meet Section 5 of the RMA as the proposal will sustain the potential of natural and physical resources whilst meeting the foreseeable needs of future generations as the site is being used for its intended use. In addition, the proposal will avoid adverse effects on the environment and will maintain the character of the site and surrounding environment.
- 6.3. Section 6 of the Act sets out a number of matters of national importance. The subject site is not located within the coastal environment under the RPS. The site does not contain any areas of indigenous vegetation. Public access is not considered relevant to this application. The proposal has taken into account the relationship of Māori and their culture and traditions. The subject site is not known to contain any archaeological sites. The proposal is not considered to exacerbate natural hazards.
- 6.4. Section 7 identifies a number of “other matters” to be given particular regard by a Council in the consideration of any assessment for resource consent, including the maintenance and enhancement of amenity values. The proposal maintains amenity values in the area as the proposal is in keeping with the existing character of the surrounding environment. The proposal also maintains and enhances the quality of the environment.



- 6.5. Section 8 requires Council to take into account the principals of the Treaty of Waitangi. It is considered that the proposal raises no Treaty issues. The subject site is not located within an area of significance to Māori. The proposal has taken into account the principals of the Treaty of Waitangi and is not considered to be contrary to these principals.
- 6.6. Overall, the application is considered to be consistent with the relevant provisions of Part 2 of the Act, as expressed through the objectives, policies and rules reviewed in earlier sections of this application. Given that consistency, we conclude that the proposal achieves the purposes of sustainable management set out by section 5 of the Act.

7. CONCLUSION

- 7.1. This application includes provision for a change of use from a packhouse to a dwelling. The proposed development is considered consistent with the surrounding environment.
- 7.2. No significant adverse effects are anticipated, and no consideration of alternatives has been undertaken. Overall, it is considered that the proposal will result in no more than minor effects on the environment.
- 7.3. In terms of section 104(1)(a) of the Act, the actual and potential effects of the proposal will be less than minor. The relevant provisions within Part 2 of the Act have been addressed as part of this application. The overall conclusion from the assessment of the statutory considerations is that the proposal is considered to be consistent with the sustainable management purpose of the Resource Management Act 1991.
- 7.4. It is also considered that the proposal will have less than minor adverse effects on the wider environment; no persons will be adversely affected by the proposal and there are no special circumstances.
- 7.5. In terms of section 104(1)(b) of the Act, the proposal is found to be generally consistent with the objectives, policies and assessment criteria of the relevant statutory documents as set out in this report.



- 7.6. As a Restricted Discretionary Activity, the application has been assessed under the matters specified under Section 104 and 104C of the Resource Management Act 1991. It is considered that the proposal results in no more than minor effects on the environment. It is considered appropriate for consent to be granted on a non-notified basis, subject to fair and reasonable conditions.

8. LIMITATIONS

- 8.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 8.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 8.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 8.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier NA118D/649
Land Registration District North Auckland
Date Issued 20 July 1998

Prior References

NA112D/406

Estate Fee Simple
Area 4100 square metres more or less
Legal Description Lot 1 Deposited Plan 188984

Registered Owners

Benjamin Douglas Gadsby

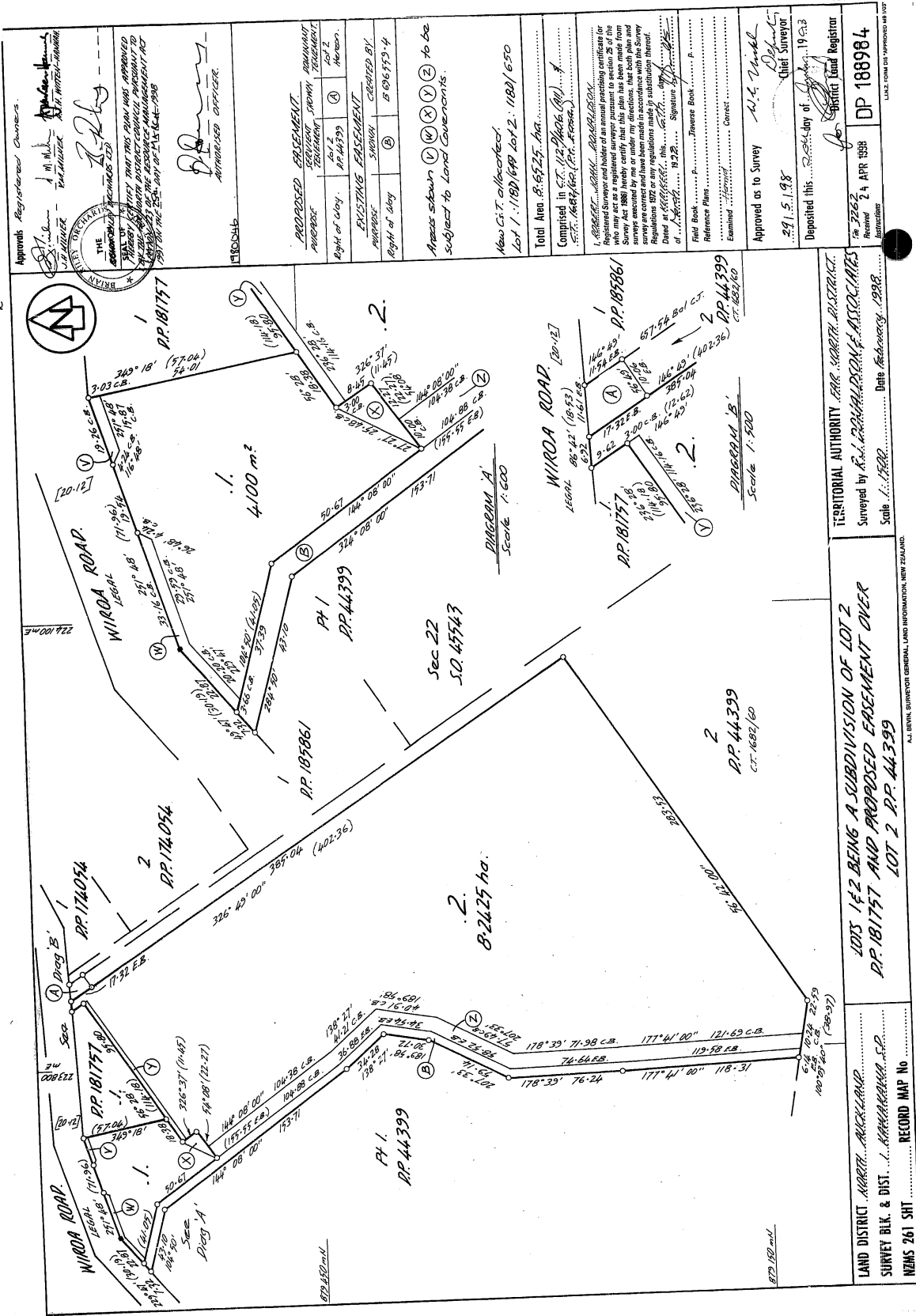
Interests

Fencing Agreement in Transfer 144098

Fencing Agreement in Transfer 236226

D293216.2 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 20.7.1998 at 11.24 am

Appurtenant hereto is a water right created by Transfer D334005.2 - 25.11.1998 at 3.38 pm



Registered Owners: *M. G. ...*

THE SURVEYOR GENERAL'S OFFICE

APPROVED AS TO SURVEY: *M. G. ...*

DEPOSITED THIS: *29.1.1988*

REGISTERED: *24 APR 1988*

RECORD MAP NO: *DP 188984*

DATE: *1988*

TERITORIAL AUTHORITY: *FOR ... ASSOCIATES*

Surveyed by: *R. J. ... ASSOCIATES*

Scale: *1:1000*

LOTS 1 & 2 BEING A SUBDIVISION OF LOT 2
PP. 181757 AND PROPOSED EASEMENT OVER
LOT 2 P.P. 44399

LAND DISTRICT: *HAUWAIKI*

SURVEY BLK. & DIST.: *100/100*

NZMS 261 SHET

RECORD MAP NO

DATE

13 AUG 1988

D293216.2 CONO

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

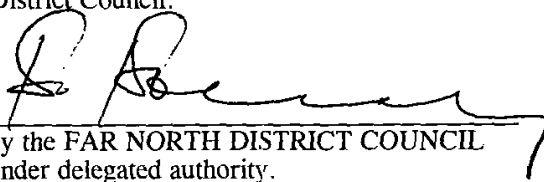
REGARDING The subdivision of Lot 2 DP
181752171003 Kawakawa S.D North Auckland
Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate new titles.

SCHEDULE

- (1) The operation of agricultural and horticultural equipment including sprays and chemicals (subject to compliance with any relevant legislation) may be a permitted activity. Accordingly where rainwater is collected from exposed surfaces for human consumption in connection with any residential development on the site, the occupiers of any such dwelling shall install an approved water filtration system."
- (2) That the existing hedges and trees shown on the scheme plan as areas V and W be retained and in the event of any removal or destruction that such hedges will be replaced with suitable vegetation to the satisfaction of the Manager of Environmental Services Far North District Council. That the hedges be maintained & trimmed back to the satisfaction of the Manager of Environmental Services Far North District Council to allow for safe access to the proposed Lot 1.
- (3) That the existing shelter hedges and trees shown on the scheme plan as areas X, Y and Z be retained and maintained and in the event of any removal or destruction that such hedges will be replaced with suitable vegetation to the satisfaction of the Manger of Environmental Services Far North District Council.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority.

DATE: 8 May 1998

RC 1980046

LINZ COPY



11.24 20.JUL 98 D 293216:2

ARTICLE 117 REPORT
APR 1998



[Handwritten signature]
11/10/98

CONFIDENTIAL



Proposed Building Consent for COA

Benjiman Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

Sheet Index		
Sheet No.	Sheet Title	Rev
A01a	Site Plan	C
A01b	Site Location Plan	C
A02	Existing Lower Floor Plan	C
A03	Existing Upper Floor Plan	C
A04	Existing Elevations	C
A05	Proposed Lower Floor Plan	C
A06	Proposed Upper Floor Plan	C
A07	Proposed Elevations	C
A08	Drainage Plan	C
A09	Roof Plan	C
A10	Section A	C
A11	Section B	C
A12	Foundation Details	C
A13	Hold Down Details	C
A14	Balustrade Details	C
A15	Cladding Details	C
A16	Roof Details	C
A17	Roof Details	C
A18	Drainage Details	C
Revisions		
-	-	-

Construction Drawings

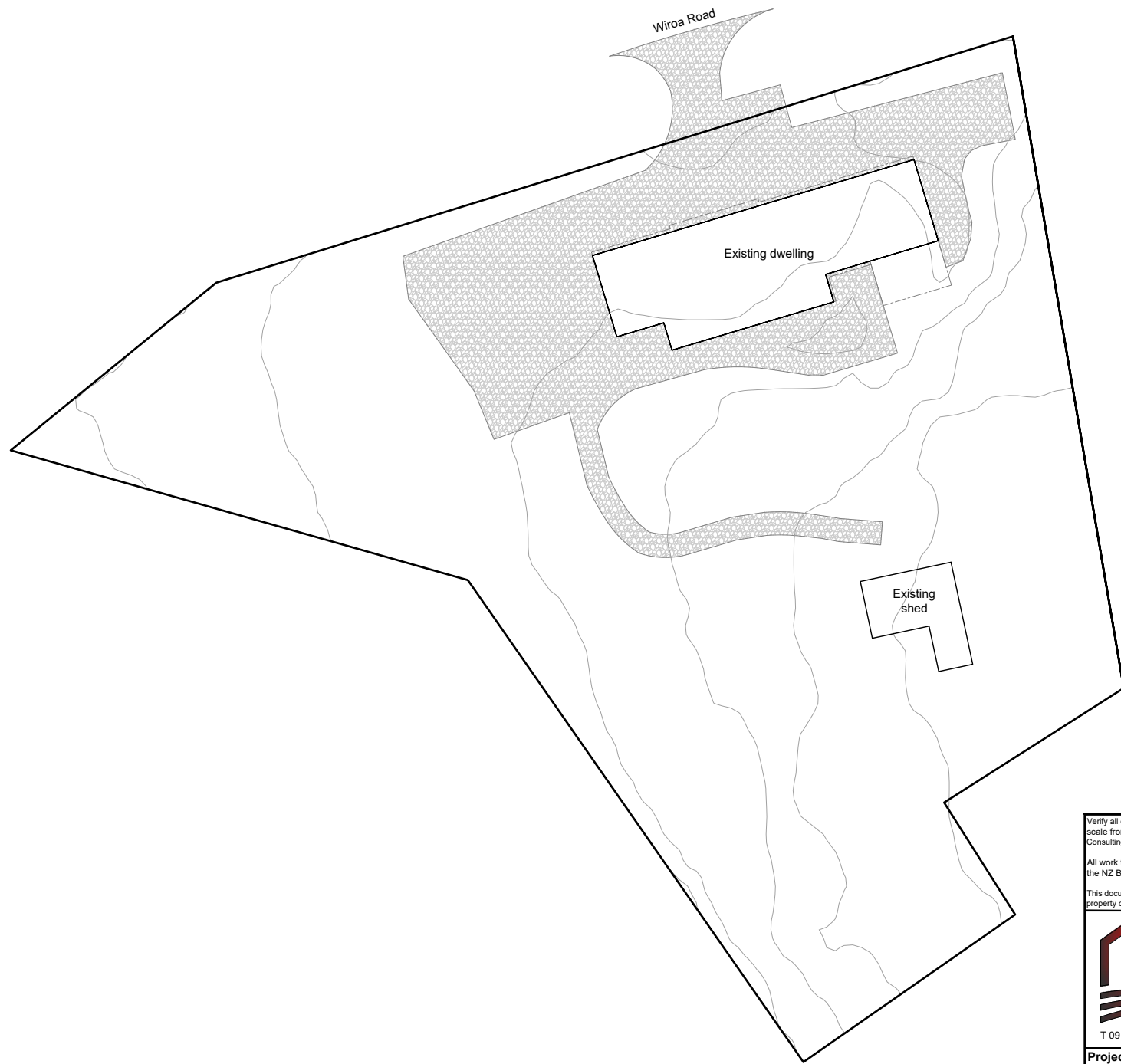
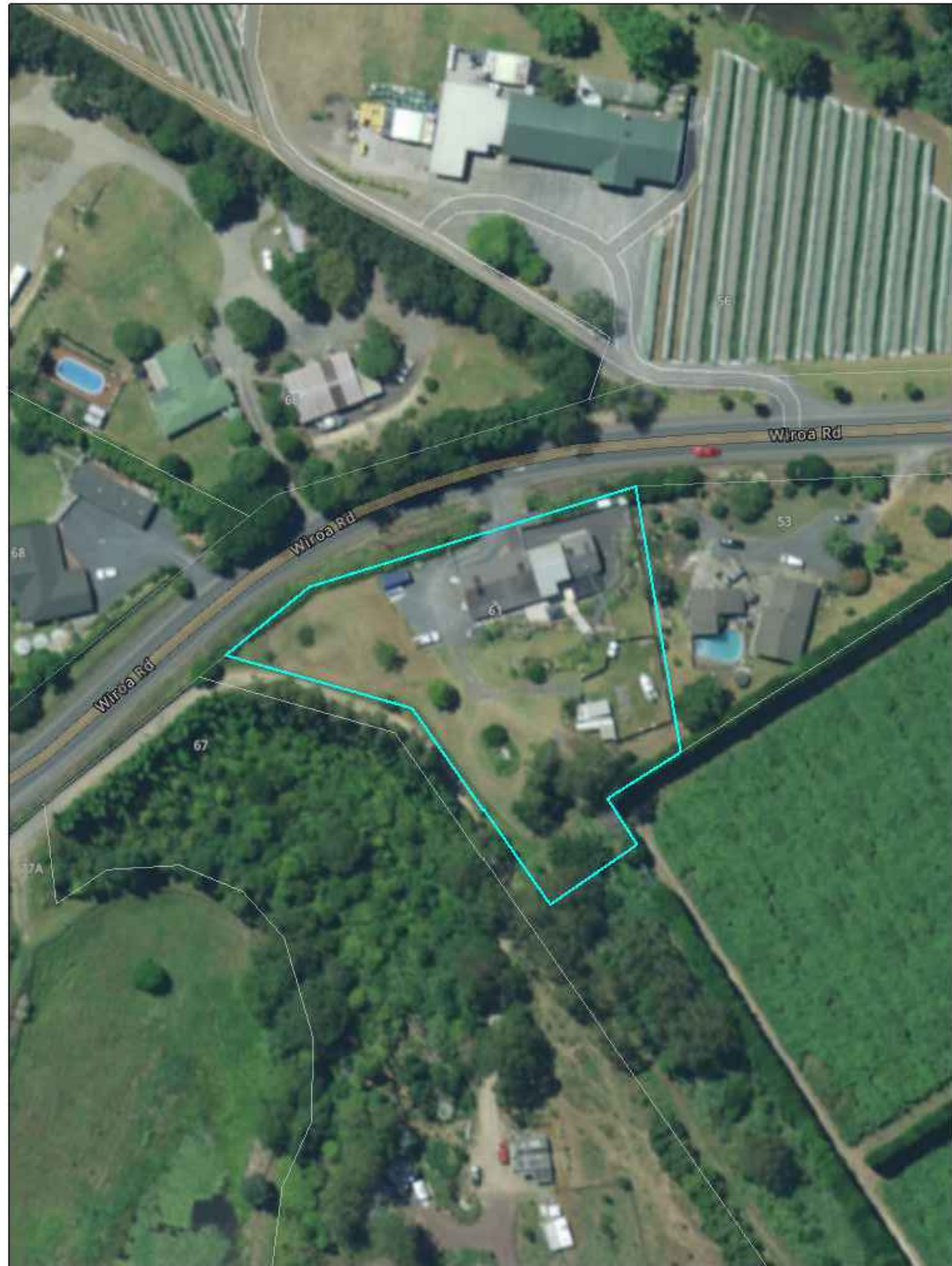
Date: 27 January 2026

Job Number: 4249

Drawn by:



T 09 407 5208 | martin@obrienconsulting.co.nz



Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

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Project Title
 Benjiman Gadsby
 61 Wiroa Road
 Kerikeri
 Lot 1 DP 188984

Sheet Title
 Site Location Plan

Drawn 27 January 2026

Project No 4249

Rev	Sheet
C	A01a

Scale (A3 Original) 1: 500

Lot 1 DP 188984
 Lot area: 4,100m²
 Corrosion zone: C
 Wind zone: High
 Rural Production Zone
 District plan compliance:

Residential intensity: Complies

Sunlight rule: Complies

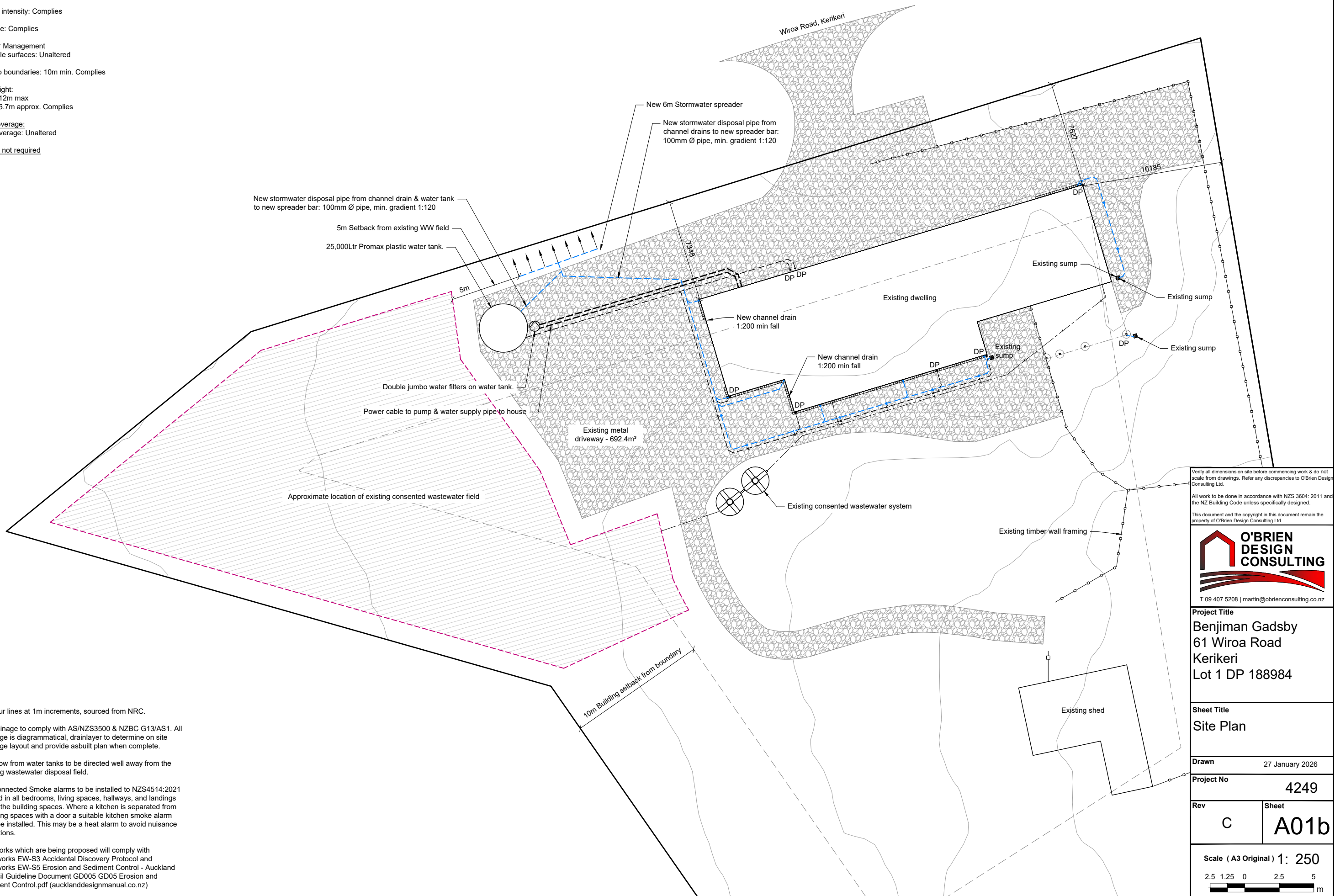
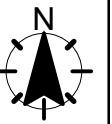
Stormwater Management
 Impermeable surfaces: Unaltered

Setbacks to boundaries: 10m min. Complies

Building height:
 Permitted: 12m max
 Proposed: 6.7m approx. Complies

Building Coverage:
 Building coverage: Unaltered

Earthworks not required



NOTES

1. Contour lines at 1m increments, sourced from NRC.
2. All drainage to comply with AS/NZS3500 & NZBC G13/AS1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
3. Overflow from water tanks to be directed well away from the existing wastewater disposal field.
4. Interconnected Smoke alarms to be installed to NZS4514:2021 located in all bedrooms, living spaces, hallways, and landings within the building spaces. Where a kitchen is separated from the living spaces with a door a suitable kitchen smoke alarm shall be installed. This may be a heat alarm to avoid nuisance activations.
5. The works which are being proposed will comply with Earthworks EW-S3 Accidental Discovery Protocol and Earthworks EW-S5 Erosion and Sediment Control - Auckland Council Guideline Document GD005 GD05 Erosion and Sediment Control.pdf (aucklanddesignmanual.co.nz)

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Project Title
 Benjiman Gadsby
 61 Wiroa Road
 Kerikeri
 Lot 1 DP 188984

Sheet Title
 Site Plan

Drawn 27 January 2026

Project No 4249

Rev	Sheet
C	A01b

Scale (A3 Original) 1: 250
 2.5 1.25 0 2.5 5 m



BUILDING AREA:

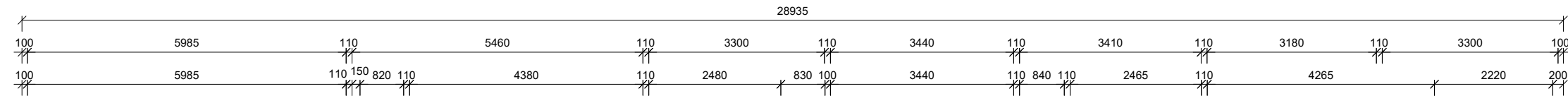
Lower Floor Area: 257.2m²
Lower Roof Area: 235.9m²

Upper Floor Area: 59.5m²
Upper Roof Area: 59.5m²

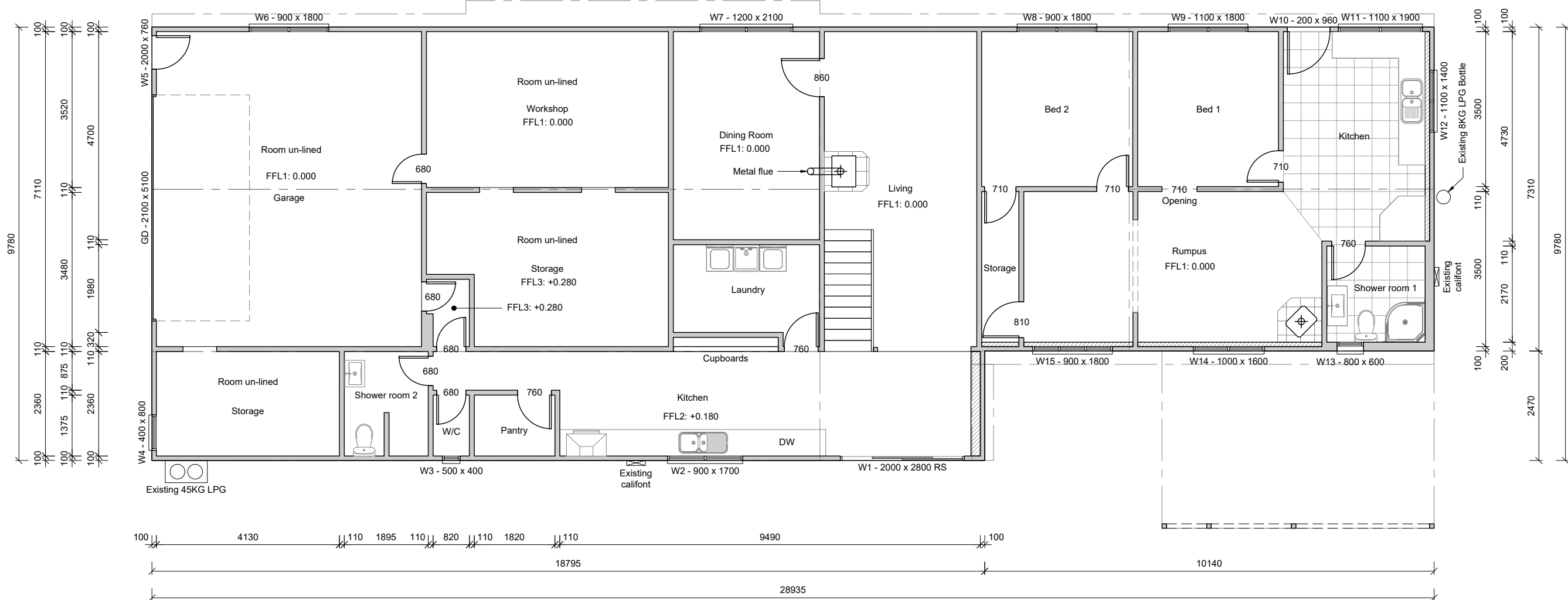
Total Floor Area: 316.7m²
Total Roof Area: 295.5m²

FIXINGS:

Exposure Zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1



FFL1: 0.000



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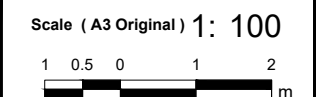
Project Title
Benjiman Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

Sheet Title
Existing Lower Floor
Plan

Drawn 27 January 2026

Project No 4249

Rev	Sheet
C	A02



LEGEND

- Smoke Detector
- Roof Line
- 90 x 45 SG8 H1.2 Timber framing walls
- Existing floor tiles

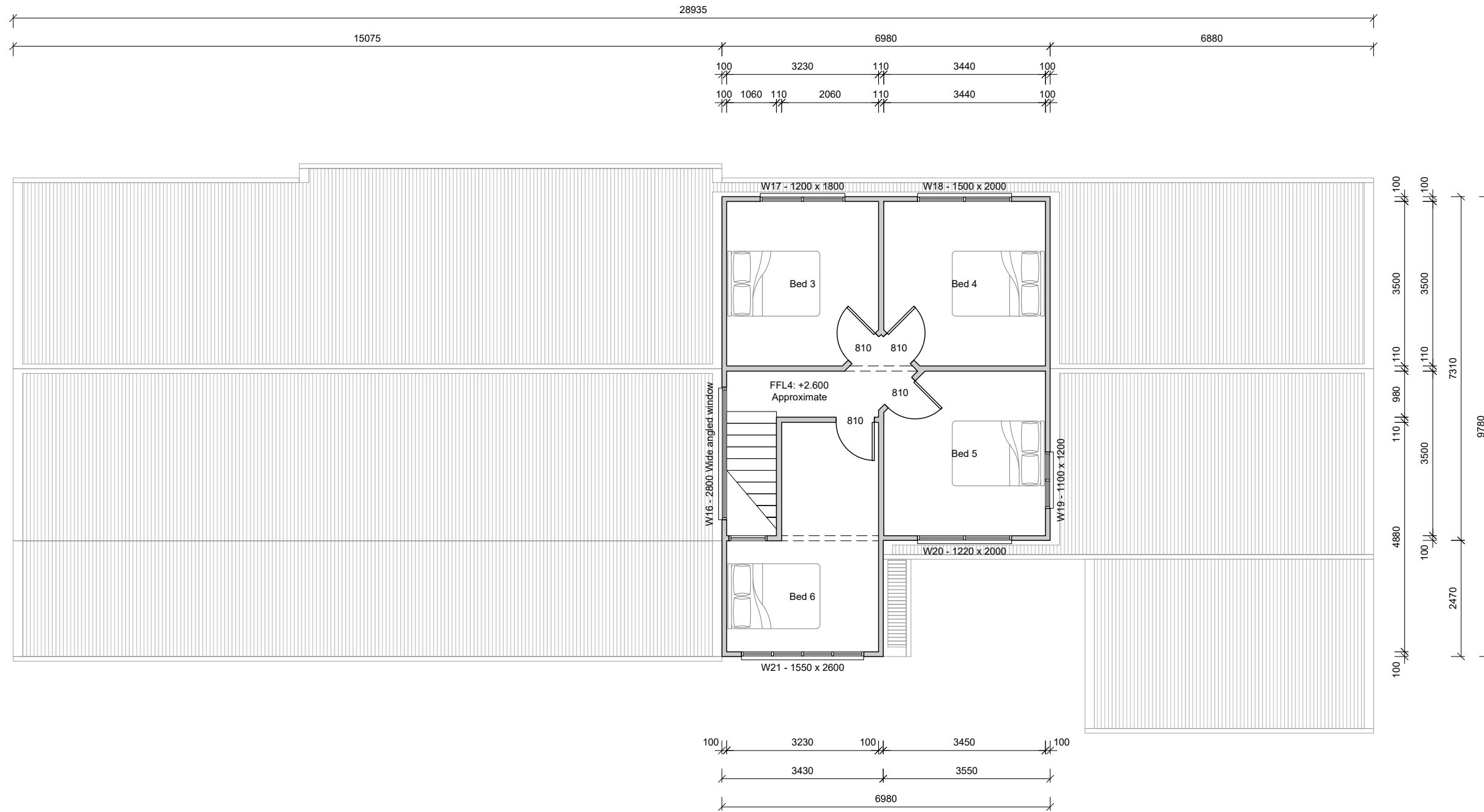


BUILDING AREA:

Lower Floor Area: 257.2m²
 Lower Roof Area: 235.9m²
 Upper Floor Area: 59.5m²
 Upper Roof Area: 59.5m²
 Total Floor Area: 316.7m²
 Total Roof Area: 295.5m²

FIXINGS:

Exposure Zone: C
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1



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Project Title

Benjiman Gadsby
 61 Wiroa Road
 Kerikeri
 Lot 1 DP 188984

Sheet Title

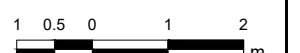
Existing Upper Floor
 Plan

Drawn 27 January 2026

Project No 4249

Rev	Sheet
C	A03

Scale (A3 Original) 1: 100

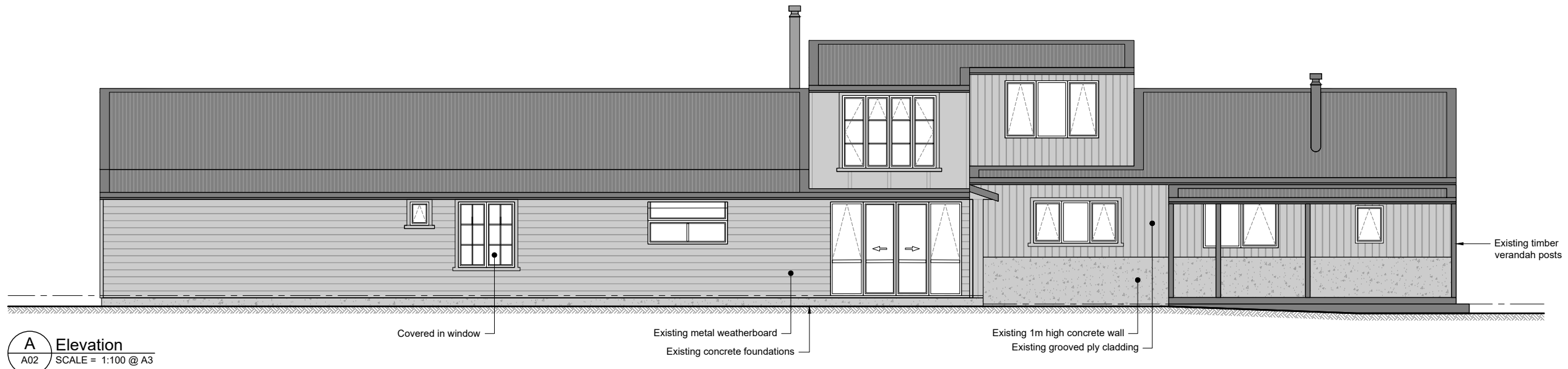


LEGEND

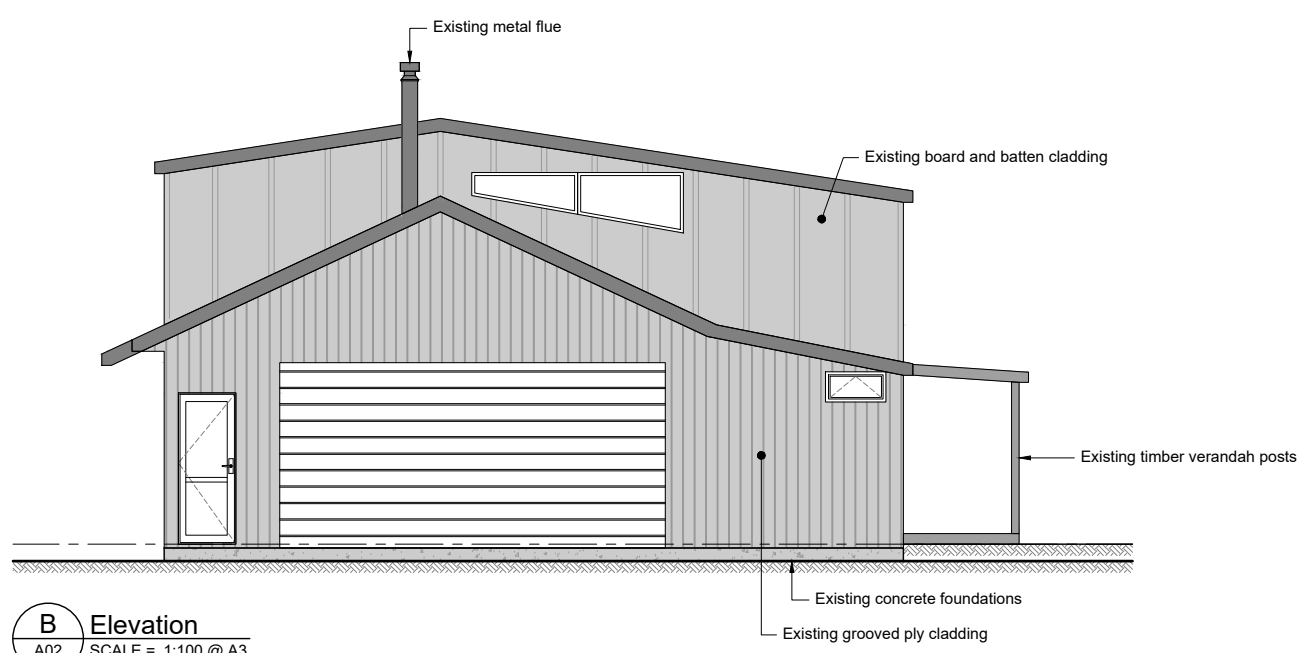
- Smoke Detector
- Roof Line
- 90 x 45 SG8 H1.2 Timber framing walls
- Existing floor tiles

- NOTE:**
1. All heights shown are existing ground heights.
 2. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 3. All windows and doors double glazed other than the garage joinery.
 4. Grade A safety glazing in bathrooms & tall windows and sliders inline with NZS 4223.

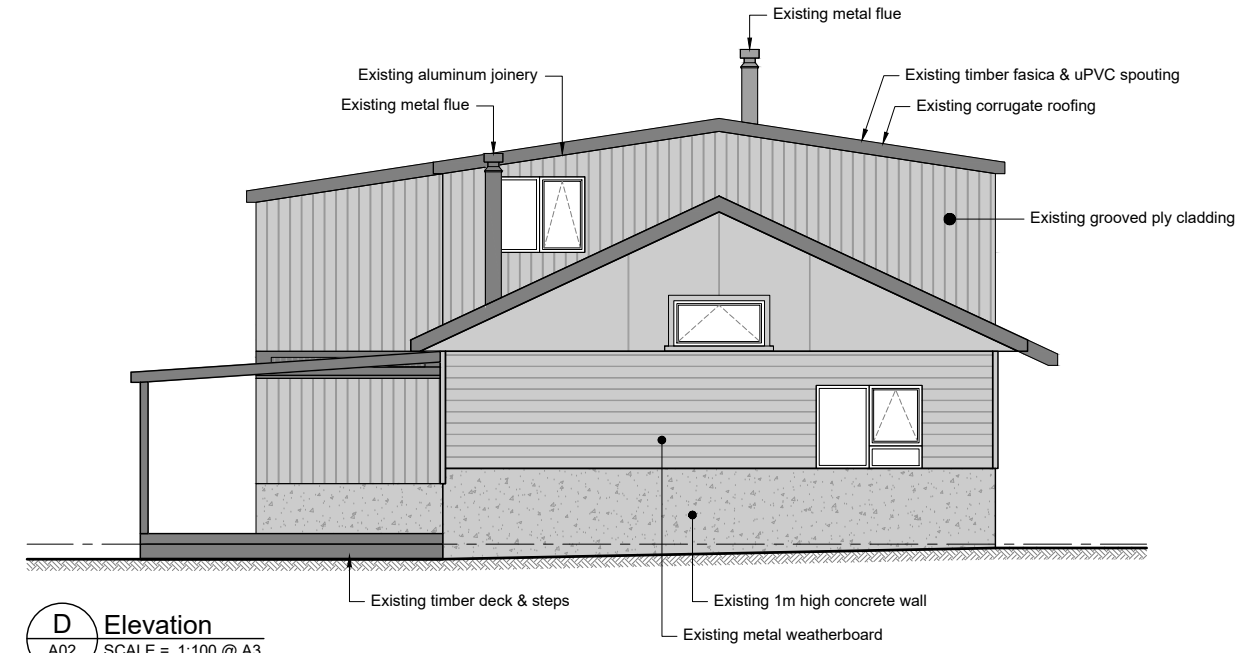
FIXINGS:
 Exposure Zone: C
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1



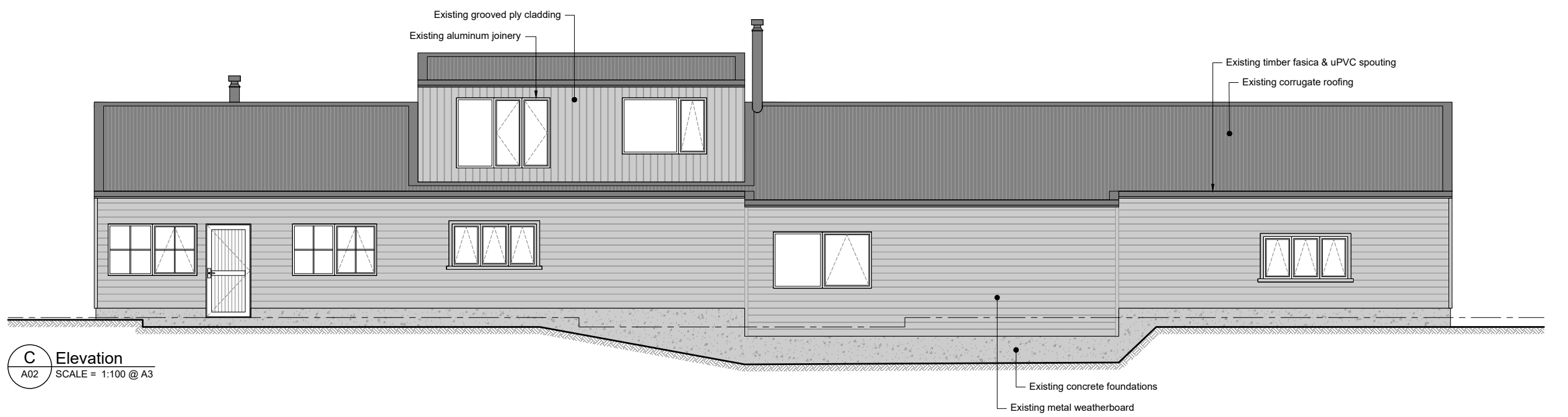
A Elevation
 A02 SCALE = 1:100 @ A3



B Elevation
 A02 SCALE = 1:100 @ A3



D Elevation
 A02 SCALE = 1:100 @ A3



C Elevation
 A02 SCALE = 1:100 @ A3

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 All work to be done in accordance with NZS 3604:2011 and the NZ Building Code unless specifically designed.
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Project Title
 Benjiman Gadsby
 61 Wiroa Road
 Kerikeri
 Lot 1 DP 188984

Sheet Title
 Existing Elevations

Drawn 27 January 2026

Project No 4249

Rev	Sheet
C	A04

Scale (A3 Original) 1: 100
 1 0.5 0 1 2 m

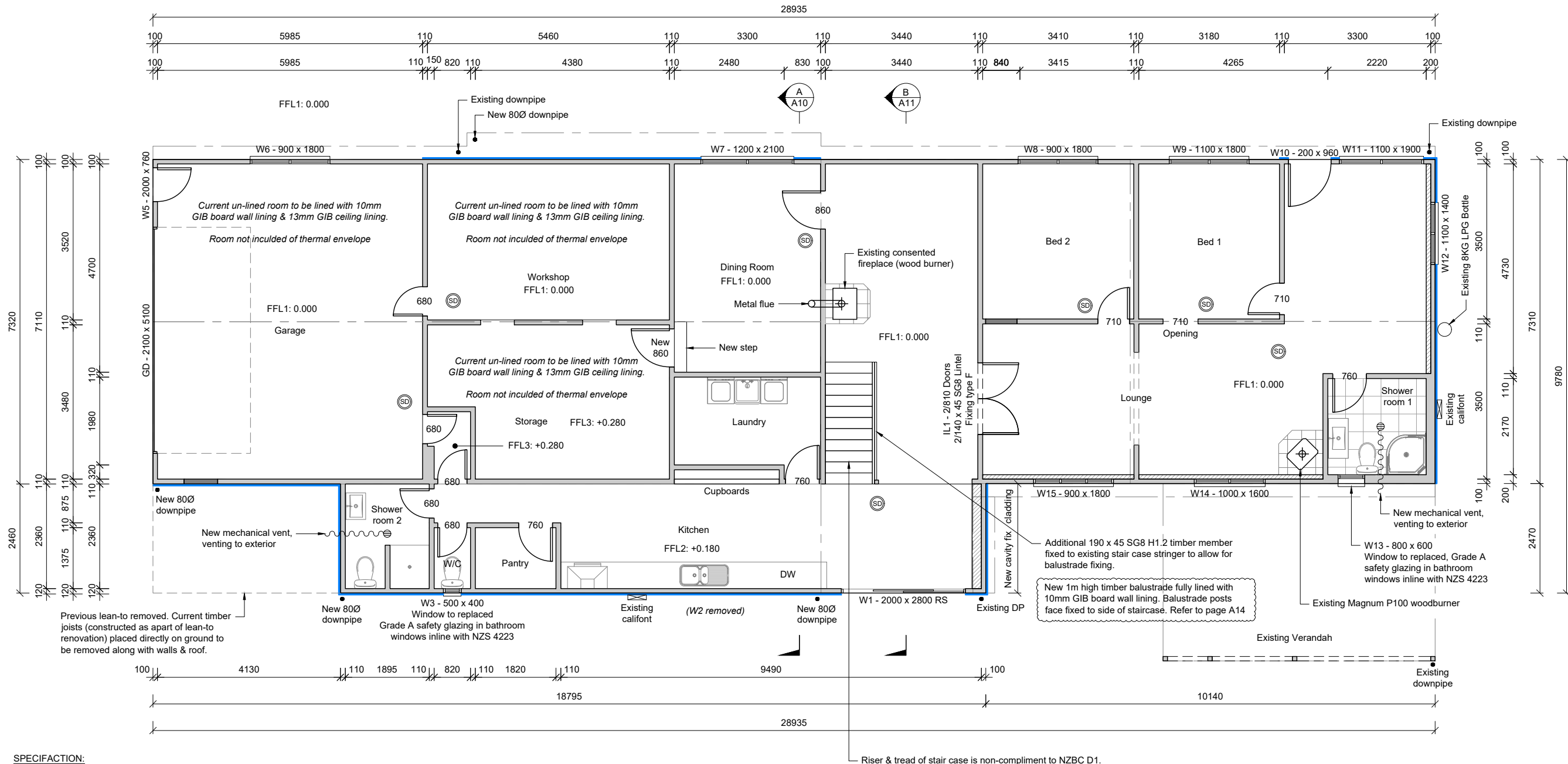
ITEMS ADDRESSED IN BUILDING CONSENT APPLICATION:
This is to be read in conjunction with the Certificate of Acceptance Report

- Unlined workshop areas to be lined.
- Internal stair case stringer to be strengthened, handrail & balustrade added.
- Replacing unsuitable / damaged cladding with new direct-fix & cavity fixed Axon cladding.
- New head flashings for windows on re-clad walls.
- New windows in bathroom areas for safety glass requirements.
- New mechanical vents in bathroom areas & new smoke detectors throughout building.
- Channel drain added for ground clearance to cladding in specific areas.
- Existing previous lean-to extension removed.
- New downpipes, watertanks & water supply to dwelling to be added.
- Lifting existing roofing to add purlins & roofing underlay, roofing to be inspected & reused where possible & replaced where where unsuitable / damaged.



BUILDING AREA:
 Lower Floor Area: 247.2m²
 Lower Roof Area: 225.9m²
 10.0m² Lower floor lean-to removed
 Upper Floor Area: 59.5m²
 Upper Roof Area: 59.5m²
 Total Floor Area: 306.7m²
 Total Roof Area: 285.5m²

- NOTE:**
1. Refer to attached sheet for cladding & roofing notes & details.
 2. All new wall framing typically H1.2 treated unless specifically stated.
 3. All new external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 4. Interconnected Smoke alarms to be installed to NZS4514:2021 located in all bedrooms, living spaces, hallways, and landings within the building spaces. Where a kitchen is separated from the living spaces with a door a suitable kitchen smoke alarm shall be installed. This may be a heat alarm to avoid nuisance activations.



FIXINGS:
 Exposure Zone: C
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Project Title
 Benjiman Gadsby
 61 Wiroa Road
 Kerikeri
 Lot 1 DP 188984

Sheet Title
 Proposed Lower
 Floor Plan

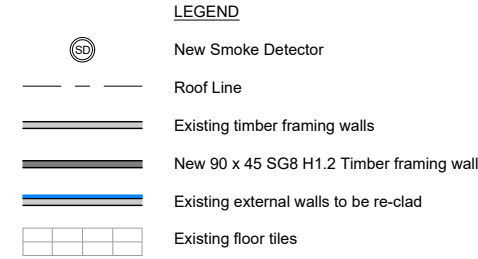
Drawn 27 January 2026

Project No 4249

Rev C **Sheet** A05

Scale (A3 Original) 1: 100
 1 0.5 0 1 2 m

- SPECIFICATION:**
- High wind zone
 - Exposure zone C
 - Existing concrete foundations & timber mid-floor
 - Existing grooved plywood cladding
 - Existing metal weatherboard cladding
 - Existing Hardie-plank cladding
 - New direct-fix Axon cladding where specified
 - Existing & proposed corrugate roofing
 - Approximately 25° Roof pitch
 - Existing GIB wall & ceiling lining
 - 10mm GIB wall lining on new walls
 - Hardieflex soffit lining
 - Existing timber fascia with uPVC spouting & uPVC downpipes, unless noted.
 - New timber fascia where fascia is damaged / missing with uPVC spouting & uPVC 80Ø downpipe, unless noted.



The building report recommends making the 'going versus rise' compliant however doing this would increase the length of the staircase. If the length of the staircase is increased head height will no longer be compliant at the bottom of the stair case.

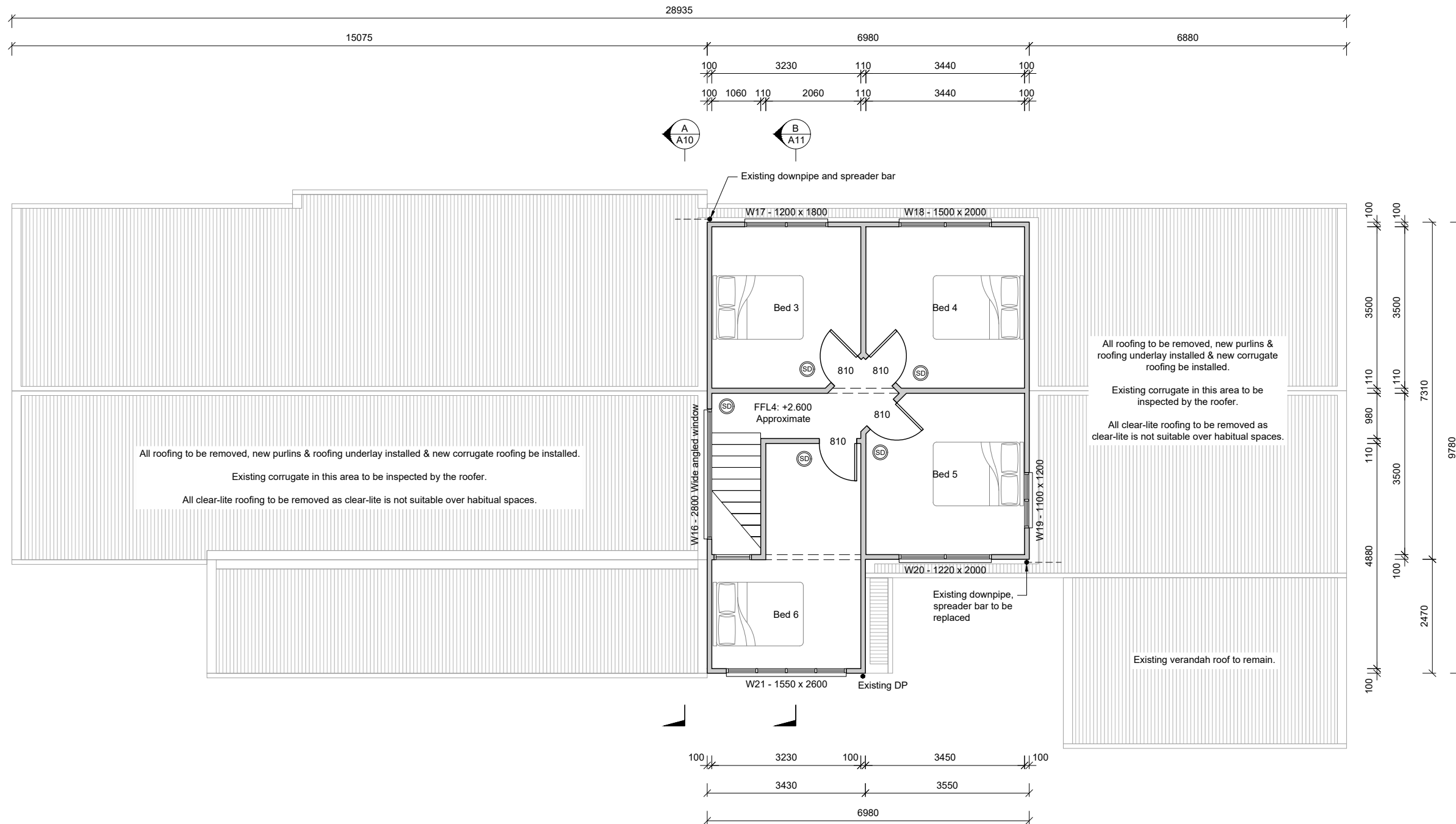
In order to make head height compliant, significant alterations to the mid-floor structure, wall structure & the room layout above.

We recommend leaving the tread of riser of the staircase unaltered. To compensate a 1m high handrail will be installed to both side of the staircase as well as a new 1m high balustrade fixed alongside the stair case.



BUILDING AREA:
 Lower Floor Area: 247.2m²
 Lower Roof Area: 225.9m²
 10.0m² Lower floor lean-to removed
 Upper Floor Area: 59.5m²
 Upper Roof Area: 59.5m²
 Total Floor Area: 306.7m²
 Total Roof Area: 285.5m²

FIXINGS:
 Exposure Zone: C
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1



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Project Title
 Benjiman Gadsby
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 Lot 1 DP 188984

Sheet Title
 Proposed Upper
 Floor Plan

Drawn 27 January 2026

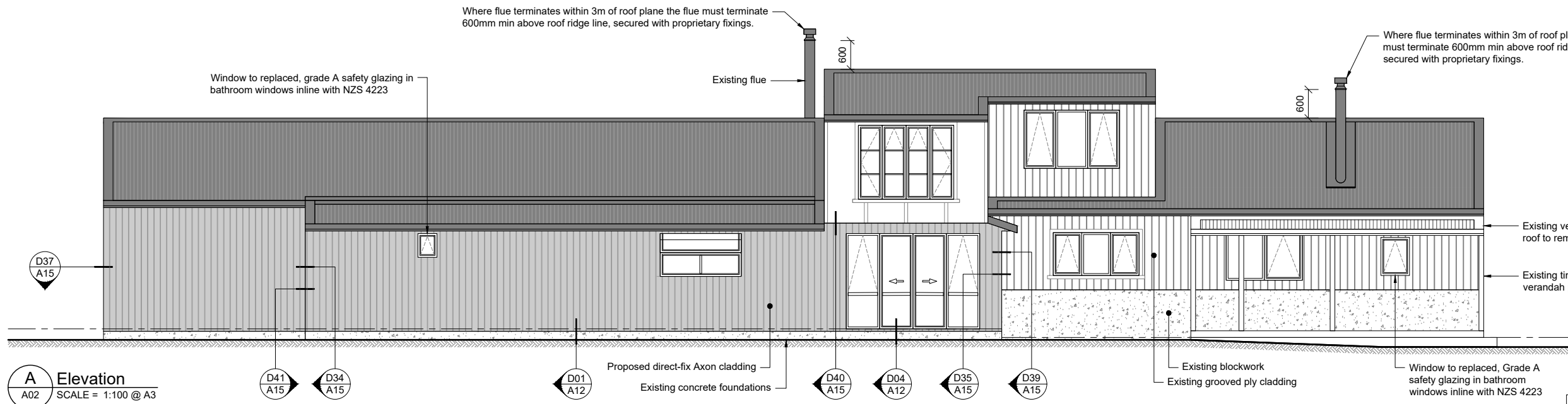
Project No 4249

Rev	Sheet
C	A06

Scale (A3 Original) 1: 100
 1 0.5 0 1 2 m

LEGEND

- New Smoke Detector
- Roof Line
- 90 x 45 SG8 H1.2 Timber framing walls
- Existing floor tiles



A Elevation
A02 SCALE = 1:100 @ A3

- NOTE:**
- All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 - Grade A safety glazing in bathrooms & tall windows and sliders inline with NZS 4223.

FIXINGS:

Exposure Zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

NOTE: Damaged direct-fix cladding to be replaced with new direct-fix cladding in line with section 112/115 (upgrading as nearly as is reasonably practicable)

SPECIFICATIONS	
Cladding Type	Metal Weatherboard, Grooved Ply cladding & Axon Cladding
Roofing Type	Corrugate
Roof Pitch	25° & 8°
Joinery	Aluminum
Wind Zone	High
Earth Quake Zone	1

RISK MATRIX					
Risk Factor	L	M	H	VH	Score
A. Wind Zone	0	0	1	2	1
B. Number of Storeys	0	1	2	4	2
C. Roof / Wall Intersection	0	1	3	5	5
D. Eave Width	0	1	2	5	5
E. Envelope Complexity	0	1	3	6	6
F. Deck Design	0	2	4	6	0
Total					19

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Lot 1 DP 188984

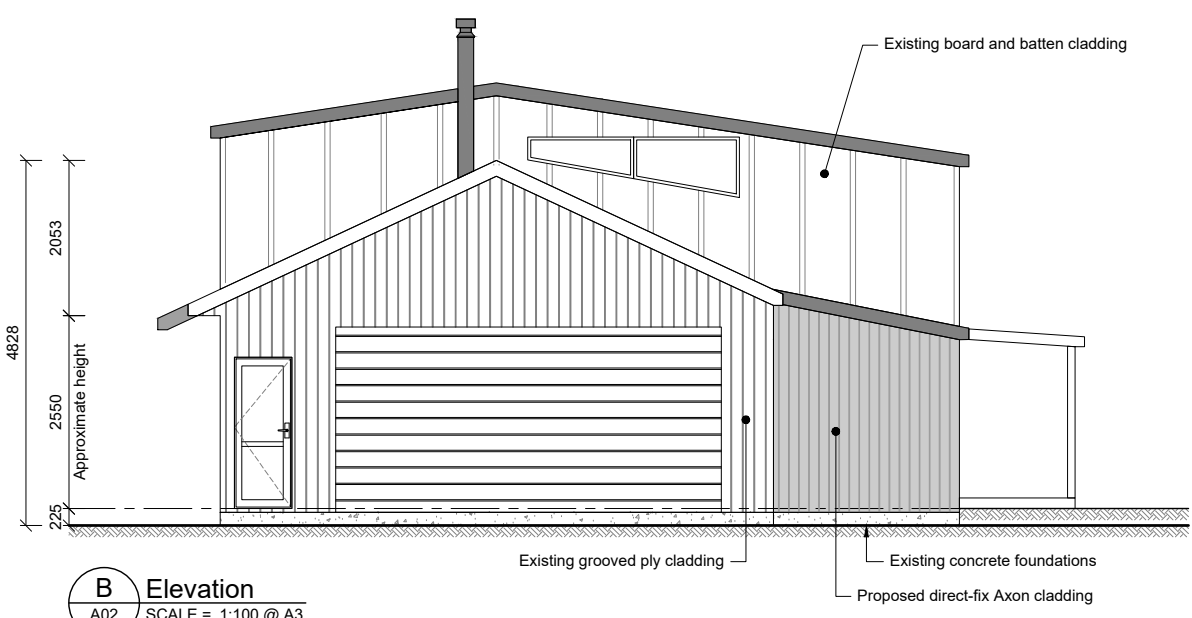
Sheet Title
Proposed Elevations

Drawn 27 January 2026

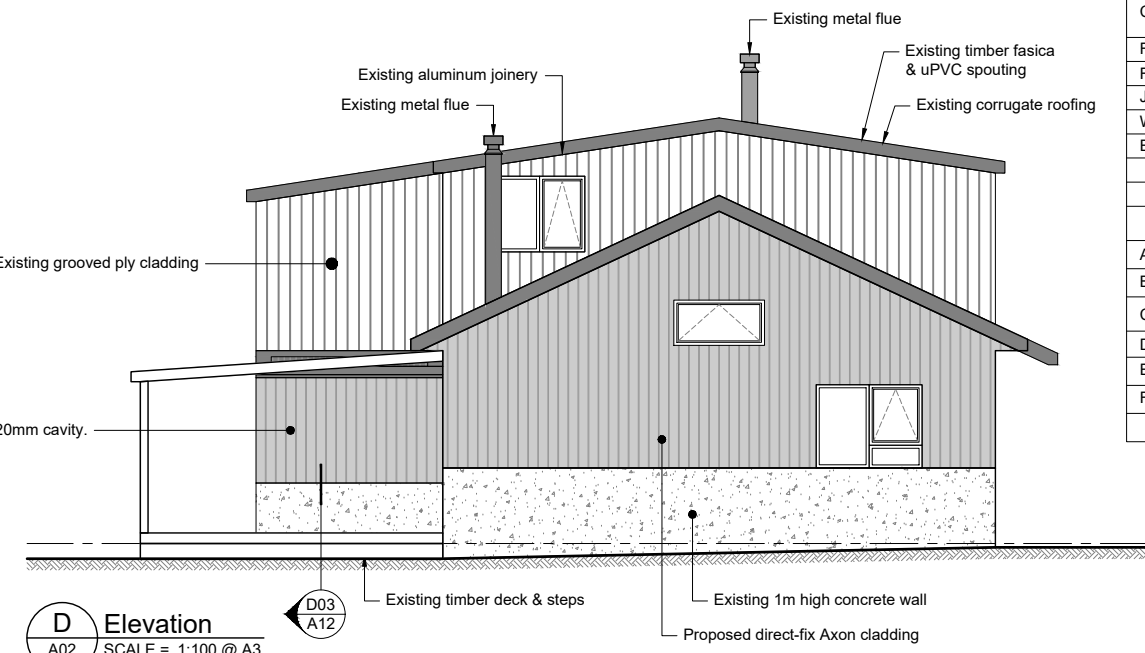
Project No 4249

Rev C **Sheet** A07

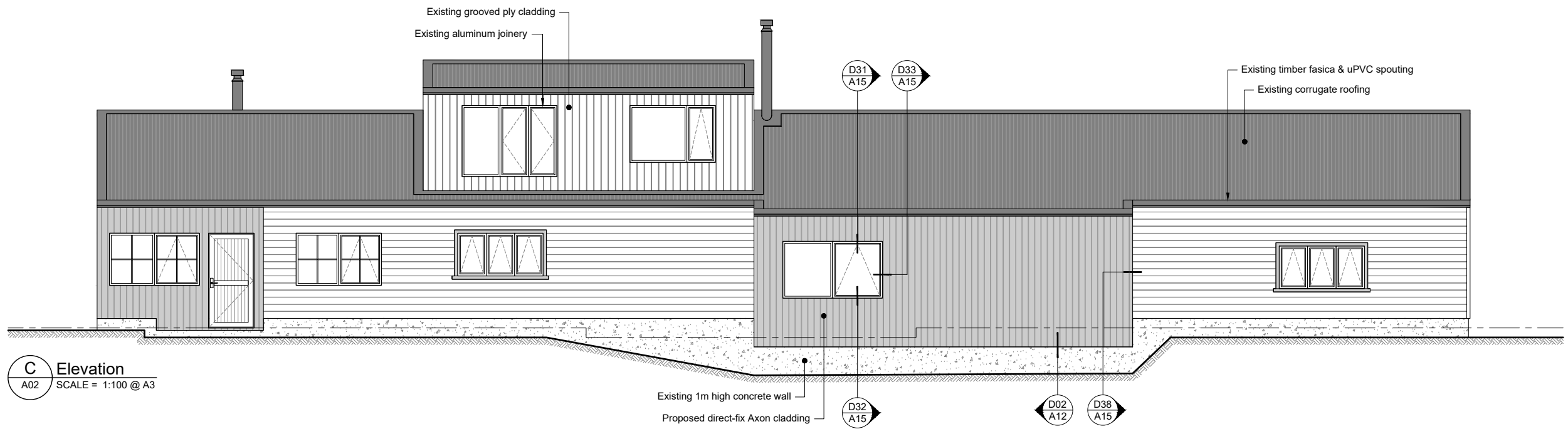
Scale (A3 Original) 1: 100



B Elevation
A02 SCALE = 1:100 @ A3



D Elevation
A02 SCALE = 1:100 @ A3

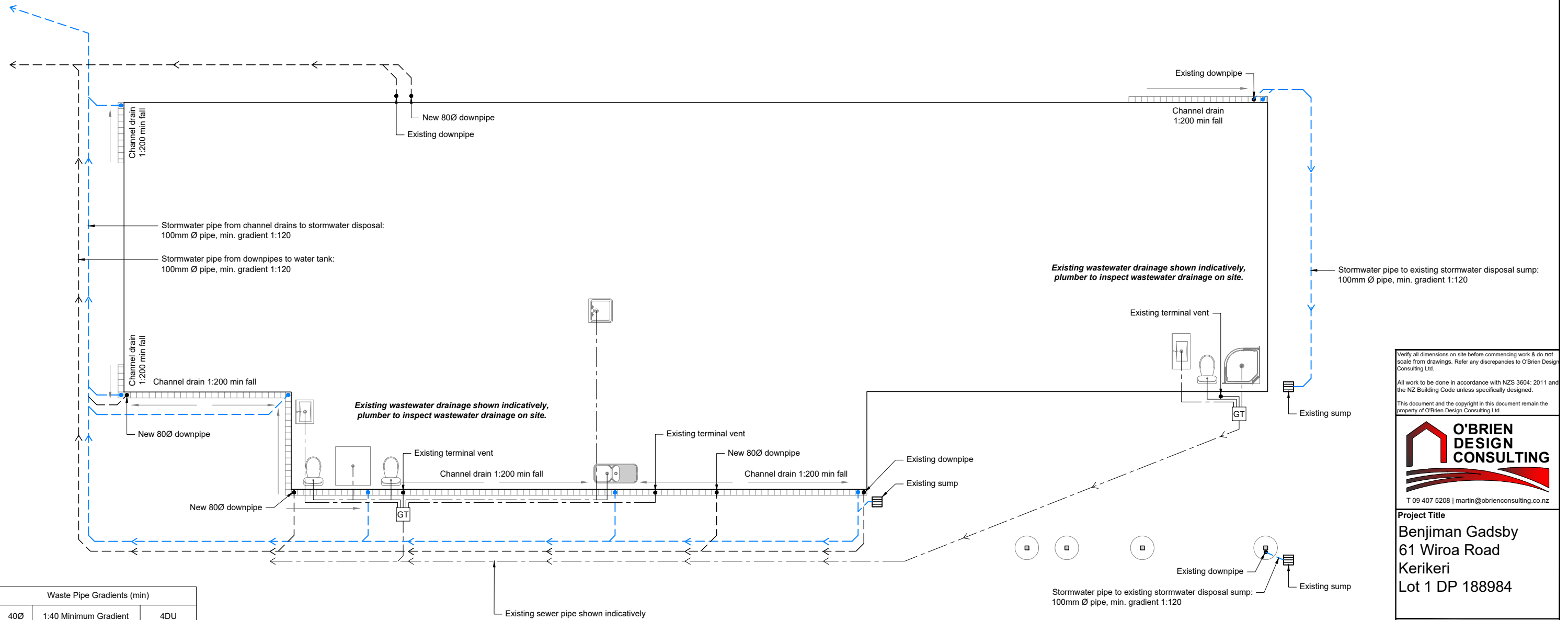


C Elevation
A02 SCALE = 1:100 @ A3



NOTE:

1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
2. Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.
3. Stormwater: 100mm Ø UPVC pipe, minimum gradient 1:120.
4. All drainage to comply with AS/NZS 3500 & NZBC G13/AS1.



Waste Pipe Gradients (min)		
40Ø	1:40 Minimum Gradient	4DU
65Ø	1:40 Minimum Gradient	21DU
100Ø	1:60 Minimum Gradient	115DU
Waste Pipe & Discharge Units		
40Ø	Hand basin	1DU
40Ø	Kitchen Sink	3DU
40Ø	Dishwasher	3DU
40Ø	Laundry Tub	3DU
40Ø	Washing Machine	5DU
40Ø	Shower	2DU
40Ø	Bath	4DU
100Ø	WC Pan	4DU
Drainage Pipe Gradient		
65Ø	1:40 Minimum Gradient	25DU
85Ø	1:60 Minimum Gradient	61DU
100Ø	1:60 Minimum Gradient	205DU
150Ø	1:60 Minimum Gradient	1310DU

● TV	Terminal Vent
● ORG	Overflow Relief Gully
+ RE	Rodding Eye
---	Drainage - Waste Pipe
---	100mm Ø Stormwater Pipe
---	HWC Copper pipe

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Lot 1 DP 188984

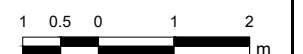
Sheet Title
Drainage Plan

Drawn 27 January 2026

Project No 4249

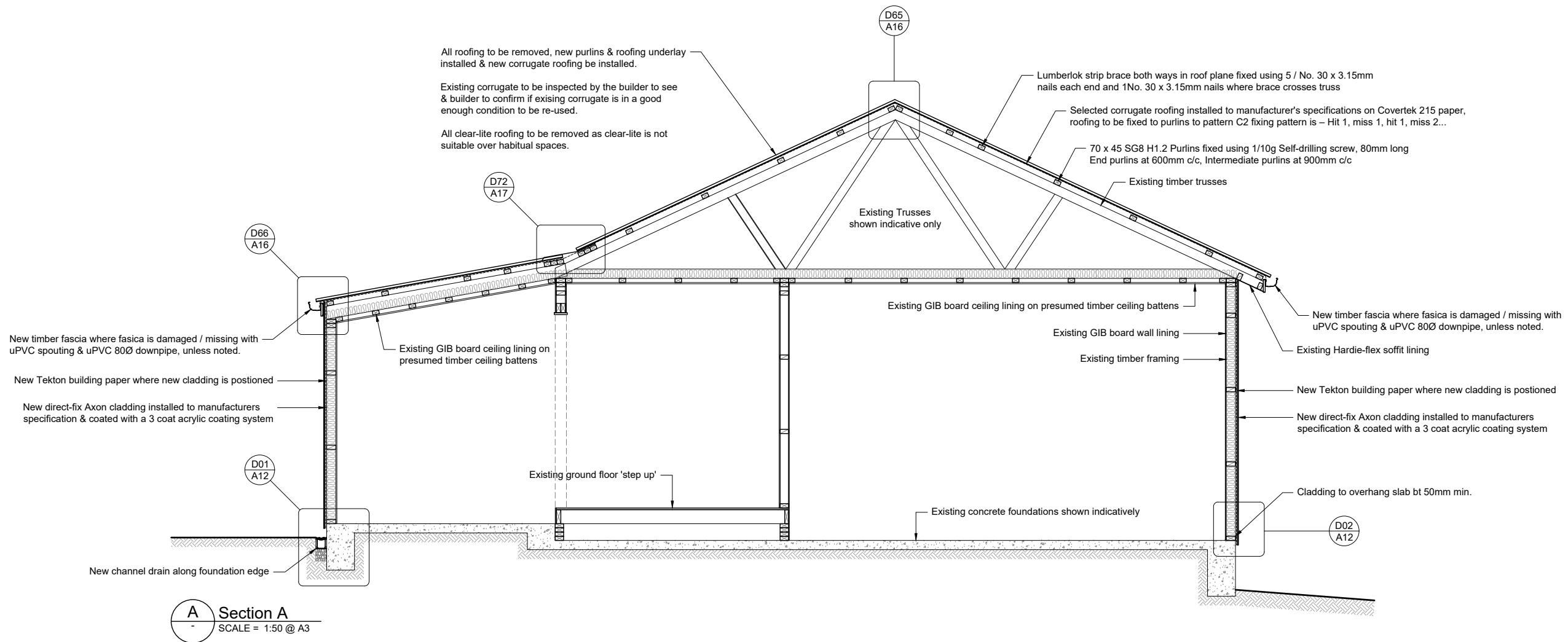
Rev C **Sheet** A08

Scale (A3 Original) 1: 100



SECTION NOTES

1. All new external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
2. All wall framing typically H1.2 treated unless specifically stated.
3. All wet areas to be provided with impervious linings as per NZBC E3/AS1.



FIXINGS

Exposure zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Fixings within 600mm of finished ground level to be 304 stainless steel. Exposed fixings to be type 304 stainless steel. Sheltered fixings to be hot-dipped galvanized. Closed in nail plates in roof space to be continuous coated galvanized steel. Closed wire dogs and bolts to be hot dipped galvanized steel. All other closed structural fixings to be mild steel (uncoated non galvanized)

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T 09 407 5208 | martin@obrienconsulting.co.nz

Project Title
Benjiman Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

Sheet Title
Section A

Drawn 27 January 2026

Project No 4249

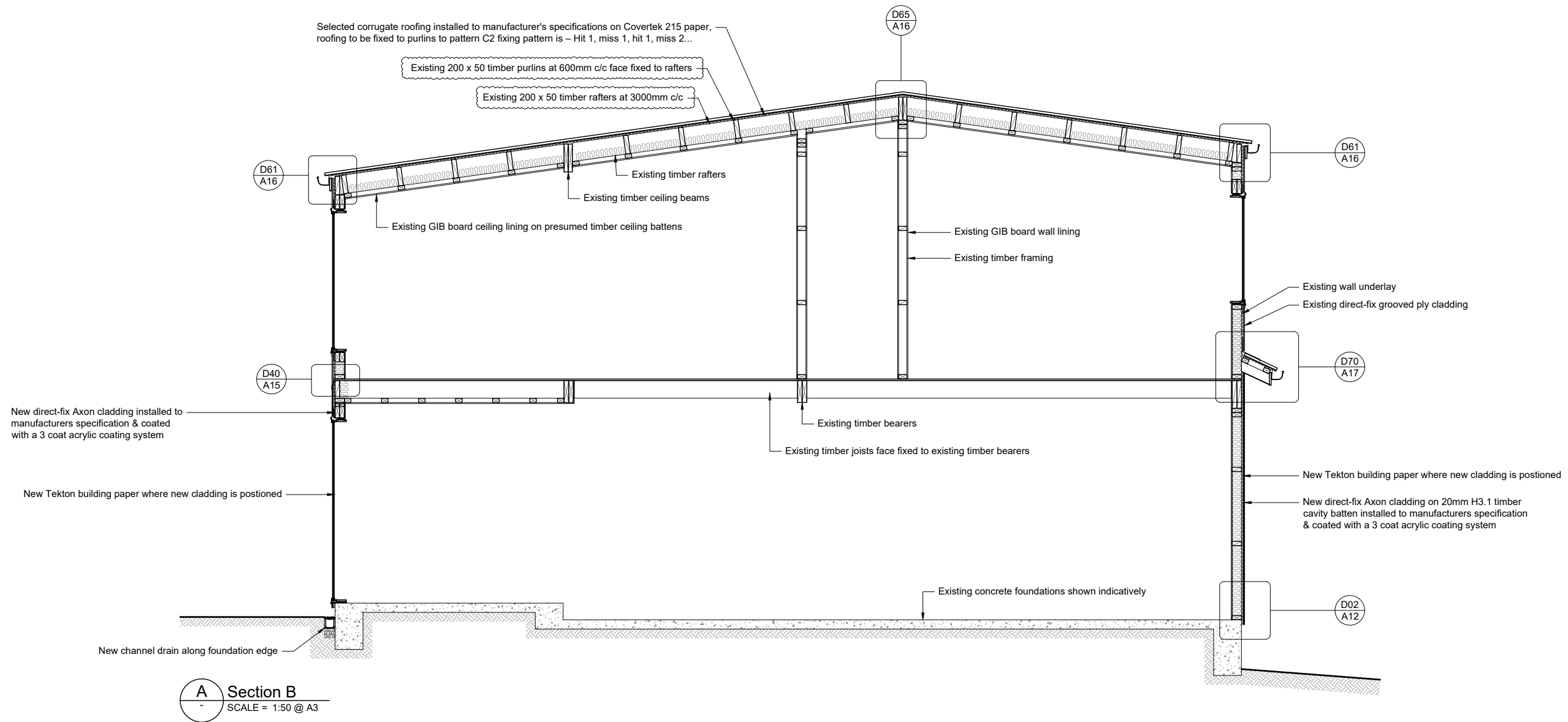
Rev	Sheet
C	A10

Scale (A3 Original) 1: 50

A Section A
SCALE = 1:50 @ A3

SECTION NOTES

1. All new external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
2. All wall framing typically H1.2 treated unless specifically stated.
3. All wet areas to be provided with impervious linings as per NZBC E3/AS1.



FIXINGS

Exposure zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Fixings within 600mm of finished ground level to be 304 stainless steel. Exposed fixings to be type 304 stainless steel. Sheltered fixings to be hot-dipped galvanized. Closed in nail plates in roof space to be continuous coated galvanized steel. Closed wire dogs and bolts to be hot dipped galvanized steel. All other closed structural fixings to be mild steel (uncoated non galvanized)

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Benjiman Gadsby
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Lot 1 DP 188984

Sheet Title
Section B

Drawn 27 January 2026

Project No 4249

Rev	Sheet
C	A11

Scale (A3 Original) 1: 50

0.5 0.25 0 0.5 1 m

NOTE:

1. All window joinery to comply with NZS 4211:2008. All glazing to comply with NZS 4223.3:2016.
2. Flashing materials must be selected based on environmental exposure, refer to NZS 3604:2012 & NZBC E2/AS1 Table 20.
3. Building underlay must comply with acceptable solution NZS 3604:2012 & NZBC E2/AS1.
4. Sill support bars conforming to BRANZ evaluation method EM6 to be installed to all windows.
5. Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact as per NZBC E2/AS1 Table 21.
6. As per NZBC E2/AS1 Section 9.1.10.8: Install windows & doors using pairs of min 75x3.15 jolt head nails through reveals into surrounding frame at:
 - a) Maximum 450mm max c/c along sills, jams & heads.
 - b) Maximum 150mm max from ends of reveal Install packers between reveals & framing at all fixing points, except between head reveals & lintels.
7. All window and door openings to be checked on site prior to manufacture, any discrepancies to be reported to Designer.
8. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
9. Details to be read in conjunction with manufacturers specifications and installation requirements.

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Project Title
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Lot 1 DP 188984

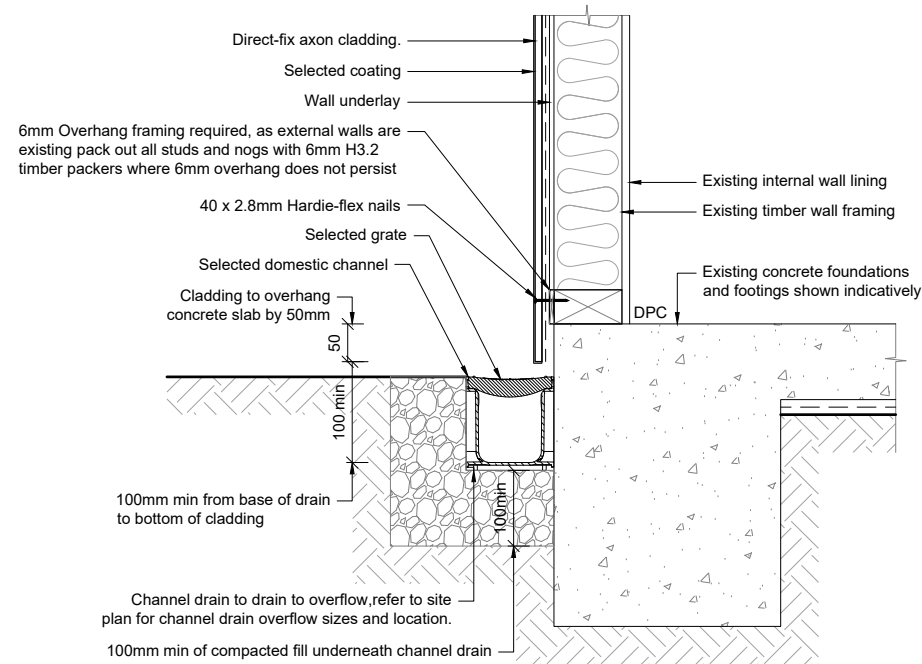
Sheet Title
Foundation Details

Drawn 27 January 2026

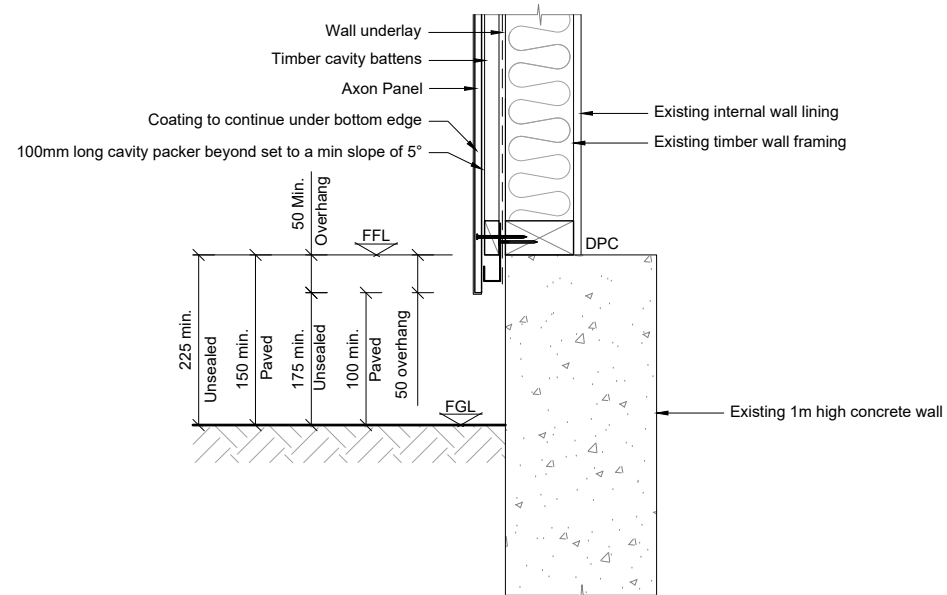
Project No 4249

Rev	Sheet
C	A12

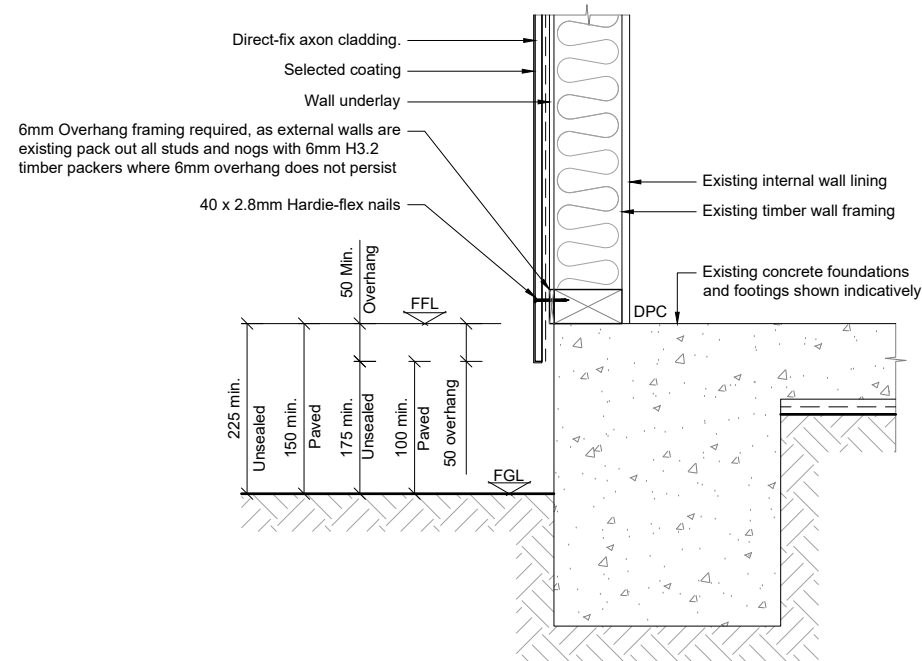
Scale (A3 Original) 1: 10



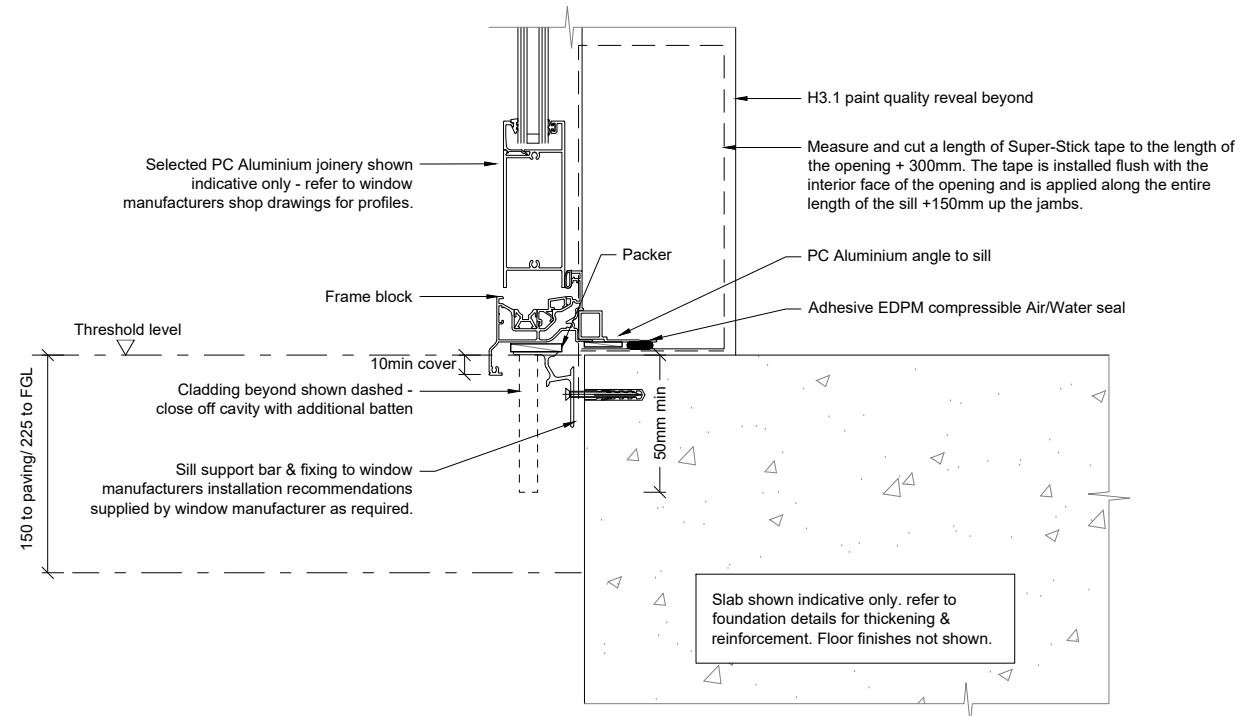
D01 Direct-Fix Axon Cladding to Channel Drain Detail
A07 SCALE = 1:10 @ A3



D03 Cavity-Fix Axon Cladding to Foundation Clearances Detail
A07 SCALE = 1:10 @ A3



D02 Direct-Fix Axon Cladding to Foundation Clearances Detail
A07 SCALE = 1:10 @ A3



D04 Standard Sill Detail
A07 SCALE = 1:5 @ A3

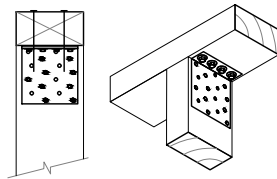
TOP PLATE CONNECTION OPTIONS:
Choose from the three connections below or refer to manufacturers information in specifications for Bowmac Stud-lok fixing

NOTE:

To calculate the number of B type fixings required, divide the wall length by the stud centres, add 1 to this figure and locate this number of fixings as evenly as possible along the wall length. This figure includes the start and end studs in each wall length.

FIXING TYPE B: 4.7KN CHOOSE ANY OF THE 3 OPTIONS BELOW

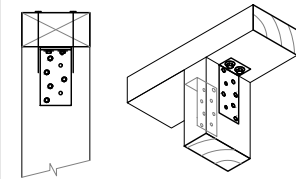
2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



Plus LUMBERLOK 6kN Stud Anchor (CPC80)

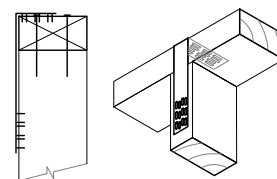
Recommended for internal wall options to avoid lining issues

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



Plus 2 x LUMBERLOK CPC40

2 x 90mm x 3.15 dia. plain steel wire nails driven vertically into stud.



Plus LUMBERLOK Stud Strap (one face only)

NOTE:

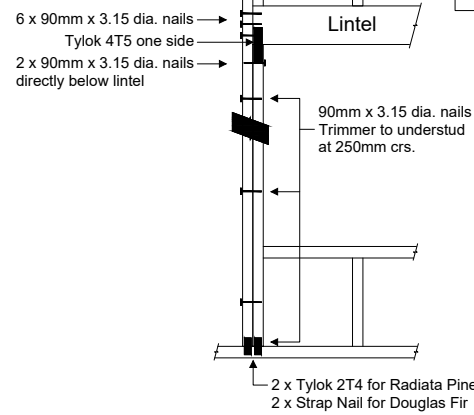
To calculate the number of B type fixings required, divide the wall length by the stud centres, add 1 to this figure and locate this number of fixings as evenly as possible along the wall length. This figure includes the start and end studs in each wall length.

LINTEL FIXING OPTIONS

TYPE F 4.0kN



For fixing of jack studs to lintel & top plate, refer to Stud to Top Plate Fixing Schedule



Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011

NOTE:

- All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.
- Refer to NZS3604:2011 Section 4 for durability requirements.
- Do not scale from drawings.
- All wall framing typically H1.2 treated unless specifically stated.

FIXINGS

Exposure zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Exposed fixings to be type 304 stainless steel.

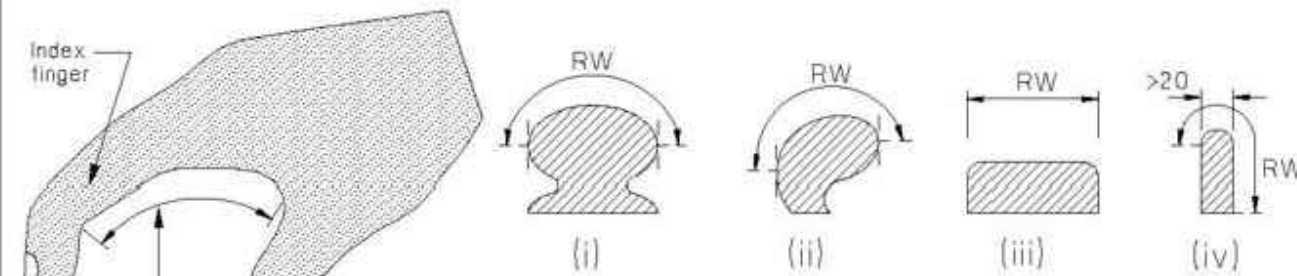
Sheltered fixings to be hot-dipped galvanize.

Closed in nail plates in roof space to be continuous coated galvanized steel.

Closed wire dogs and bolts to be hot dipped galvanized steel.

All other closed structural fixings to be mild steel (uncoated non galvanized)

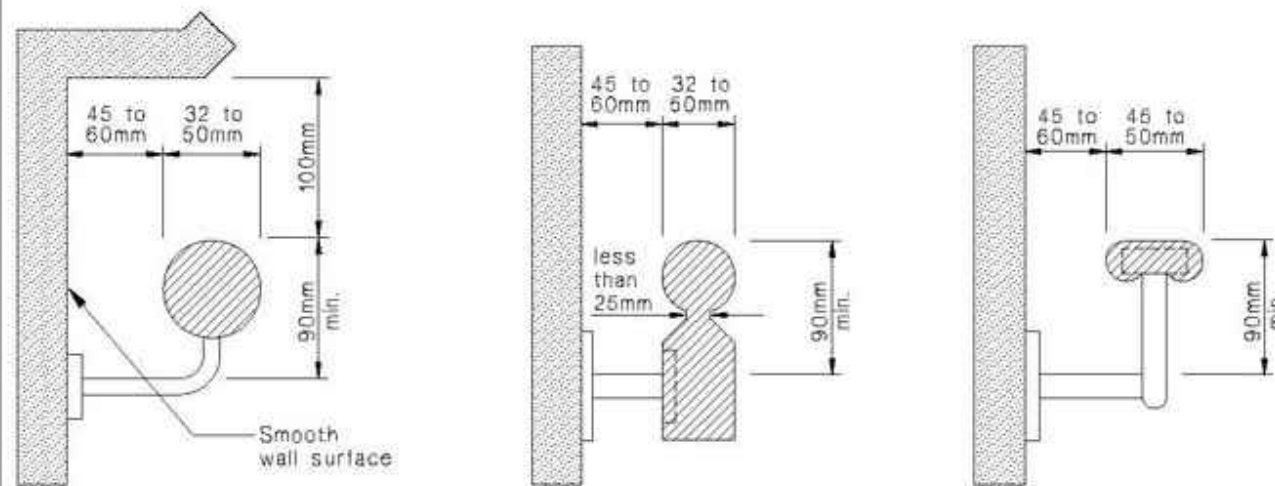
Figure 26: Handrail Profiles and Clearances
Paragraphs 6.0.8 and 6.0.9



- RW shall not exceed 80 mm.
- RW (relevant width) is measured around the upper surface perimeter of the handrail section between the vertical tangents on either side.
- Variations in shape are acceptable provided the effective grip is not reduced. For example, the side faces shown as vertical in details (iii) and (iv) are still acceptable even if slightly curved or sloped up to 5° from vertical.
- See fig. 26 (b) for wall clearances.

(a) Determination of relevant width for private and common stairways

Handrail along stair well to be at 1m High.



The profiles shown comply with the provisions for accessible handrails.

The clearances apply to all handrails and the maximum dimension must be used for rough textured wall surfaces.

(b) Acceptable profiles and clearances for accessible stairways

D10 Handrail Details
SCALE = NTS

NOTE:

- All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.
- Refer to NZS3604:2011 Section 4 for durability requirements.
- Do not scale from drawings.
- All wall framing typically H1.2 treated unless specifically stated.
- Designers connection details to be followed unless specifically design by precut manufacturer.
- Precut manufacturer to provide truss fixings and Producer Statement.

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Project Title
Benjamin Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

Sheet Title
Framing & Handrail
Details

Drawn 27 January 2026

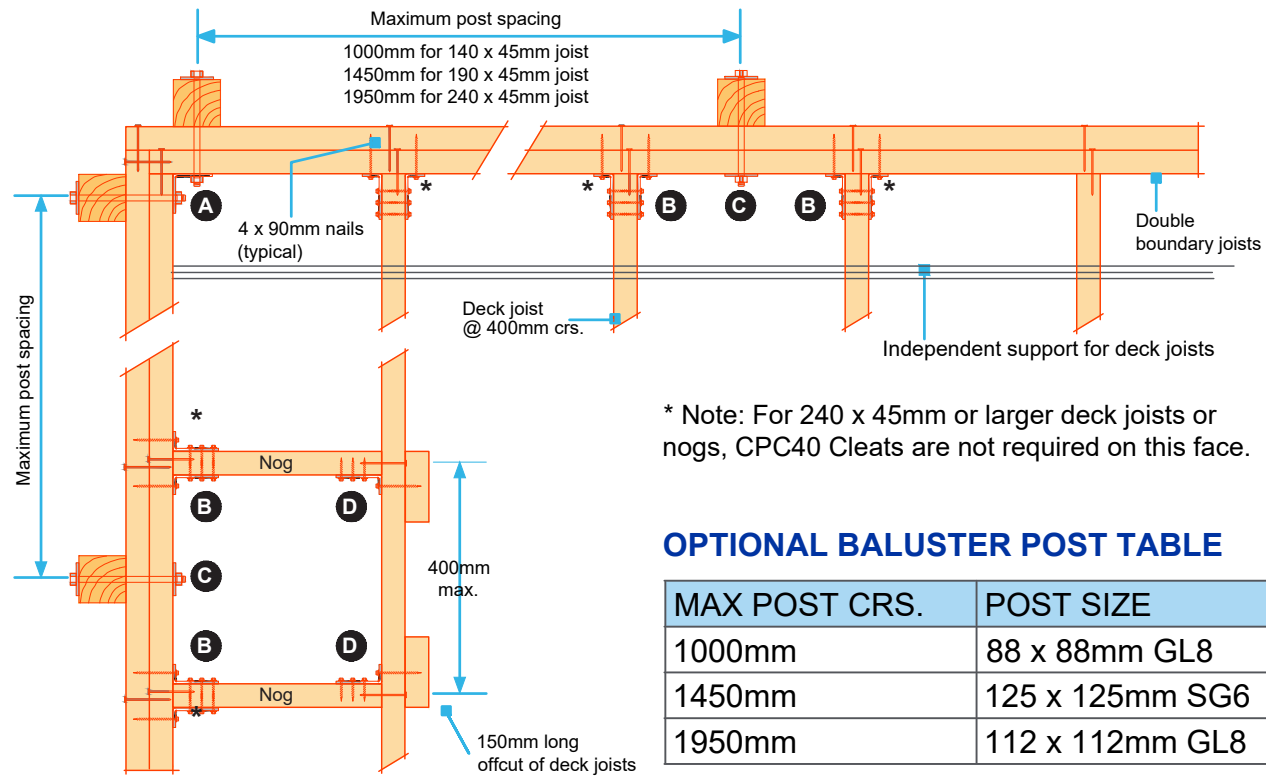
Project No 4249

Rev C **Sheet** A13

Scale (A3 Original) 1: 10
0.1 0.05 0 0.1 0.2 m

FACE FIXED BALUSTER POSTS

- Complies with Table 3.3 AS/NZS 1170.1:2002 for horizontal load of 0.75kN/m on handrail.
- All fixings are designed to provide adequate rotational stability to the handrail system to resist the horizontal load at top of baluster post.
- Assumes an approved post and balustrade system is used.



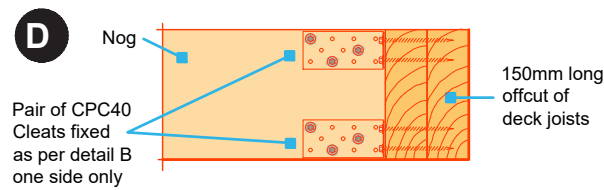
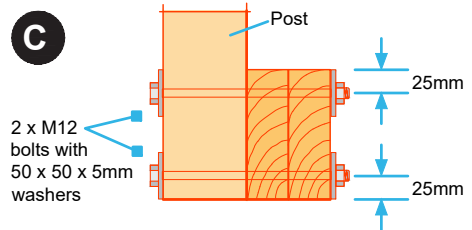
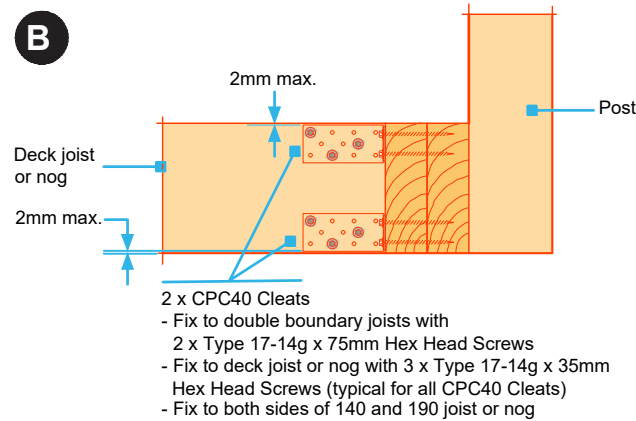
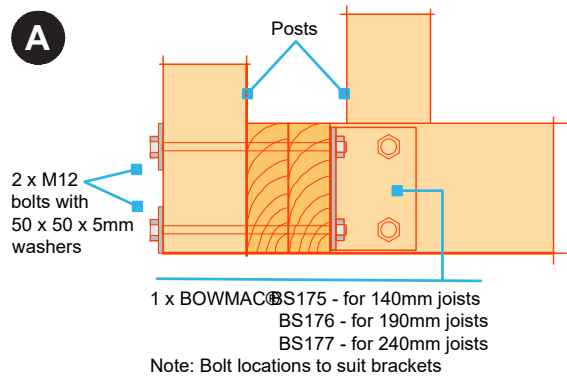
* Note: For 240 x 45mm or larger deck joists or nogs, CPC40 Cleats are not required on this face.

OPTIONAL BALUSTER POST TABLE

MAX POST CRS.	POST SIZE
1000mm	88 x 88mm GL8
1450mm	125 x 125mm SG6
1950mm	112 x 112mm GL8

Note: Post sized for wet condition H3.2 treatment

Lorem ipsum



NOTE:

- All work to be done in accordance with NZS 3604: 2011 and the NZ Building Code unless specifically designed.
- Refer to NZS3604:2011 Section 4 for durability requirements.
- All structural fixings sheltered or exposed to be stainless steel.

FIXINGS

Exposure zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Fixings within 600mm of finished ground level to be 304 stainless steel.

Exposed fixings to be type 304 stainless steel.

Sheltered fixings to be hot-dipped galvanized.

Closed in nail plates in roof space to be continuous coated galvanized steel.

Closed wire dogs and bolts to be hot dipped galvanized steel.

All other closed structural fixings to be mild steel (uncoated non galvanized)

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Project Title
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Lot 1 DP 188984

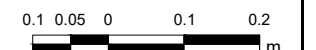
Sheet Title
Balustrade Details

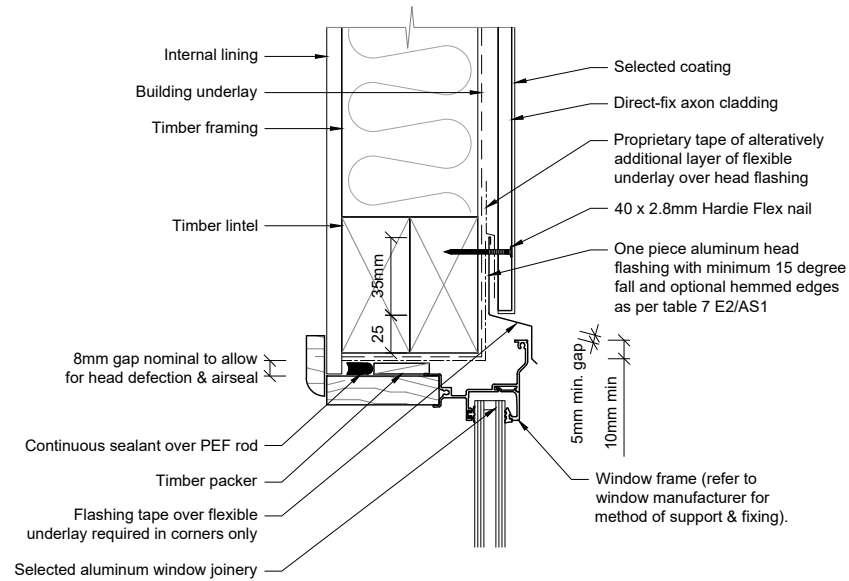
Drawn 27 January 2026

Project No 4249

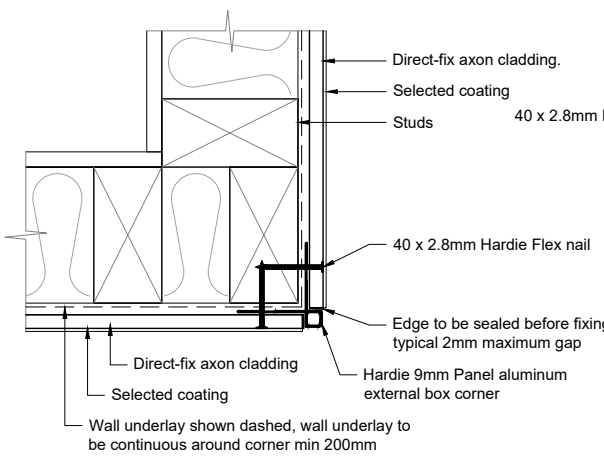
Rev C **Sheet** A14

Scale (A3 Original) 1: 10

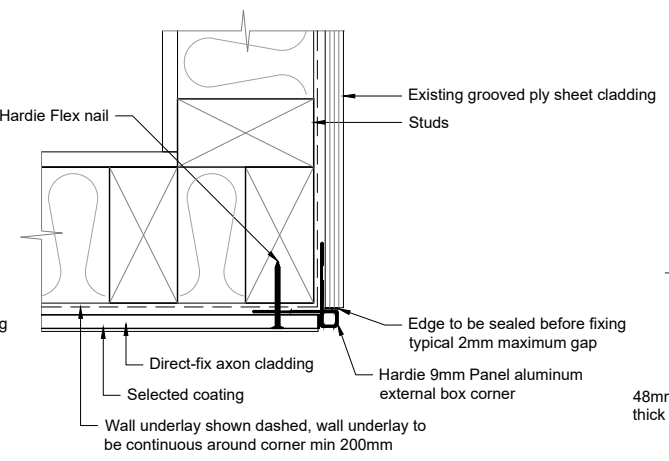




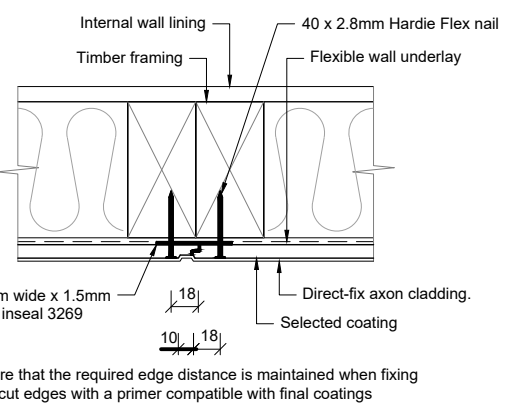
D31 Direct-Fix Axon Cladding - Head Flashing Detail
A07 SCALE = 1:5 @ A3



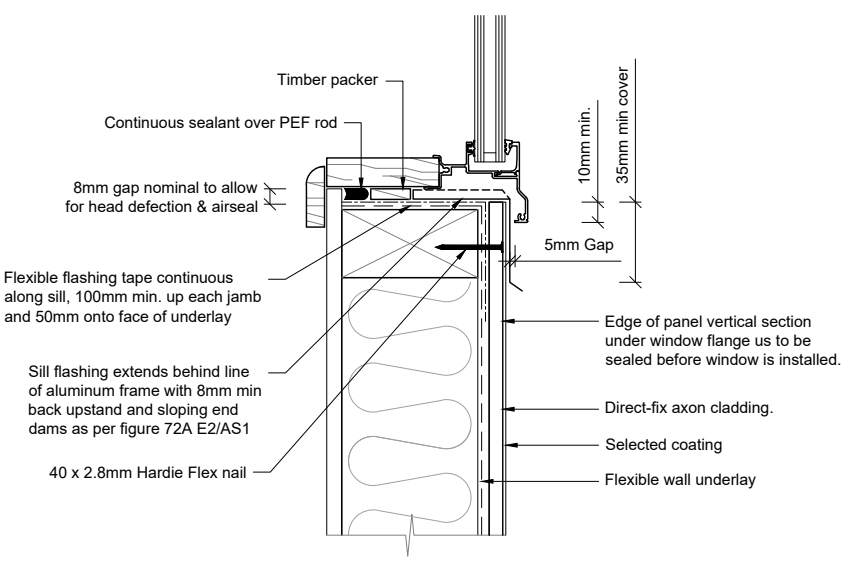
D34 Direct-Fix Axon Cladding - External Corner Detail
A07 SCALE = 1:5 @ A3



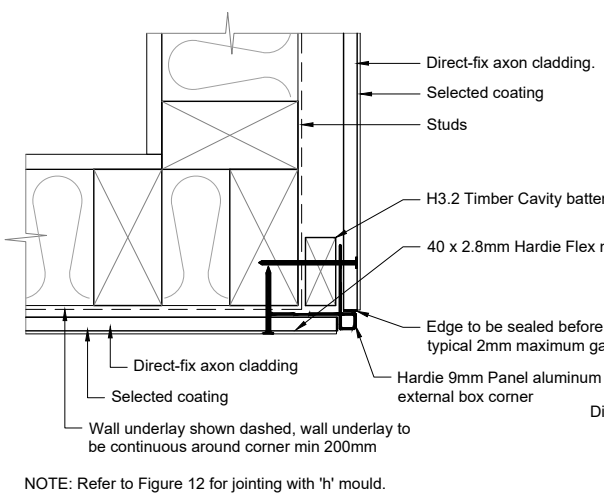
D37 Axon Cladding - External Junction Detail
A07 SCALE = 1:5 @ A3



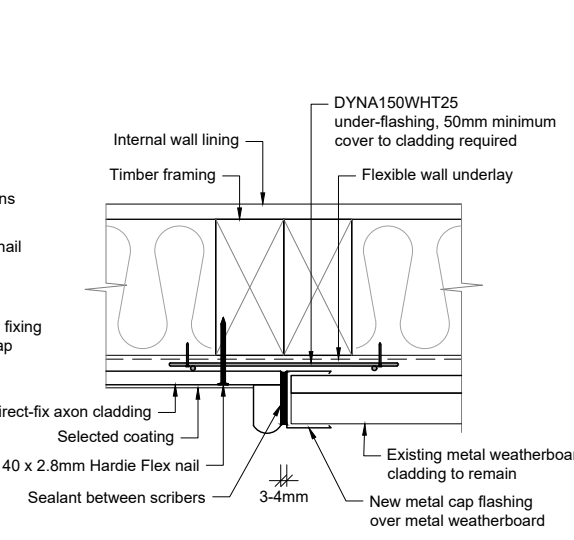
D42 Direct-Fix Axon Cladding - Joint Detail
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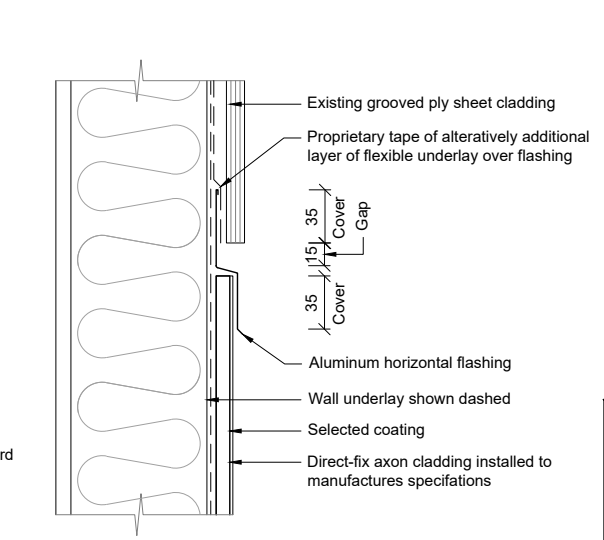
D32 Direct-Fix Axon Cladding - Sill Flashing Detail
A07 SCALE = 1:5 @ A3



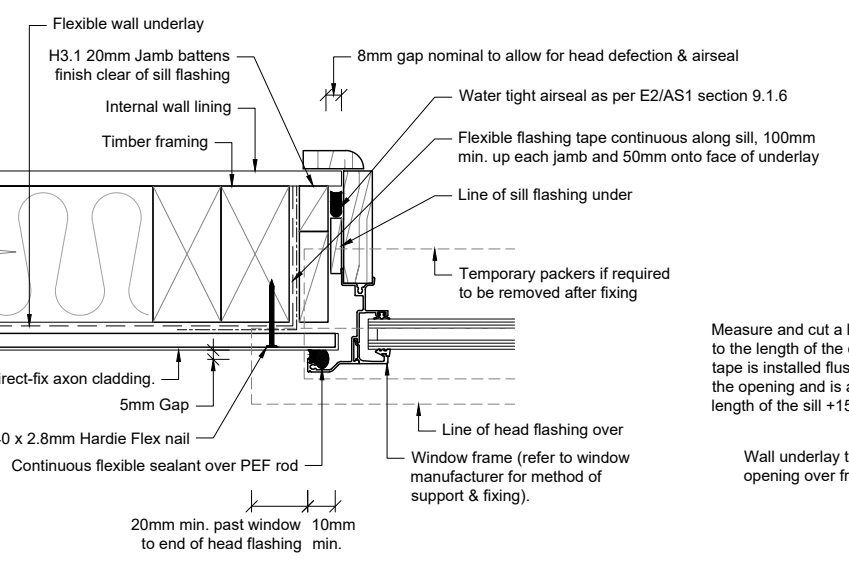
D35 Direct-Fix Axon Cladding - External Corner Detail
A07 SCALE = 1:5 @ A3



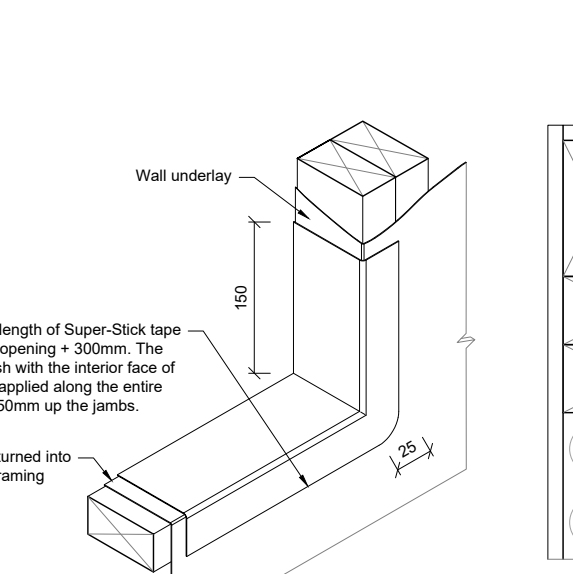
D38 Direct-Fix Axon Cladding - Junction Detail
A07 SCALE = 1:5 @ A3



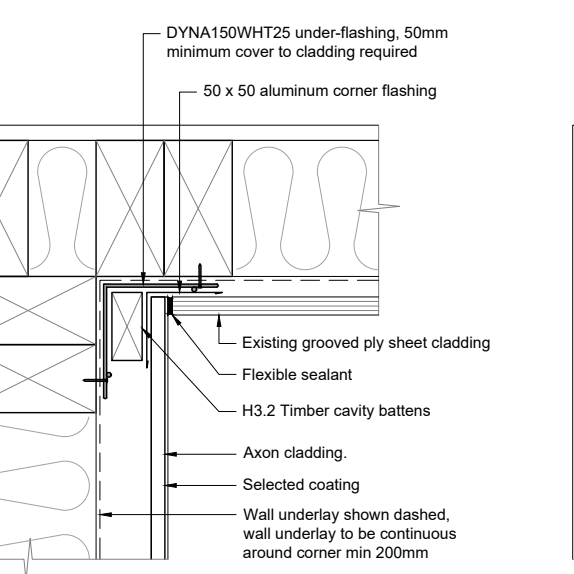
D40 Axon Cladding - Internal Corner Detail
A07 SCALE = 1:5 @ A3



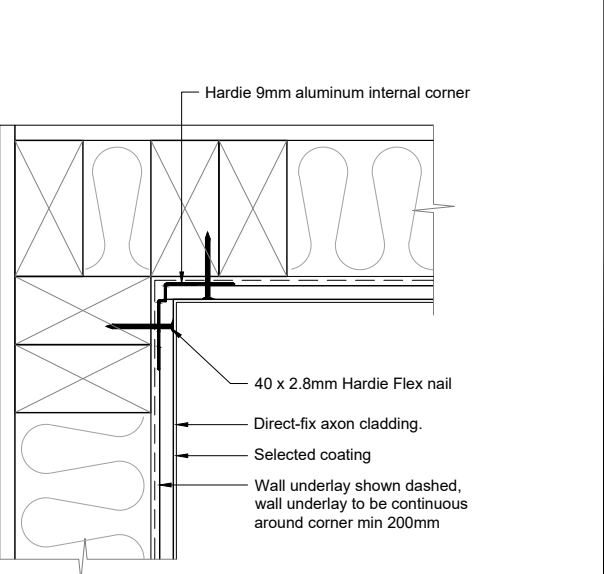
D33 Direct-Fix Axon Cladding - Jamb Detail
A07 SCALE = 1:5 @ A3



D36 Sill Flashing Detail
SCALE = 1:5 @ A3



D39 Axon Cladding - Internal Corner Detail
A07 SCALE = 1:5 @ A3



D41 Axon Cladding - Internal Corner Detail
A07 SCALE = 1:5 @ A3

- NOTE:**
- All window joinery to comply with NZS 4211:2008. All glazing to comply with NZS 4223.3:2016.
 - Flashing materials must be selected based on environmental exposure, refer to NZS 3604:2012 & NZBC E2/AS1 Table 20.
 - Building underlay must comply with acceptable solution NZS 3604:2012 & NZBC E2/AS1.
 - Sill support bars conforming to BRANZ evaluation method EM6 to be installed to all windows.
 - Flashing tape must have proven compatibility with the selected building underlay and other materials with which it comes into contact as per NZBC E2/AS1 Table 21.
 - As per NZBC E2/AS1 Section 9.1.10.8: Install windows & doors using pairs of min 75x3.15 jolt head nails through reveals into surrounding frame at:
 - Maximum 450mm max c/c along sills, jambs & heads.
 - Maximum 150mm max from ends of reveal. Install packers between reveals & framing at all fixing points, except between head reveals & lintels.
 - All window and door openings to be checked on site prior to manufacture, any discrepancies to be reported to Designer.
 - All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
 - Details to be read in conjunction with manufacturers specifications and installation requirements.

Note:
All cut edges of cladding to be painted/coated/primed

Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.
All work to be done in accordance with NZS 3604:2011 and the NZ Building Code unless specifically designed.
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Project Title
Benjamin Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

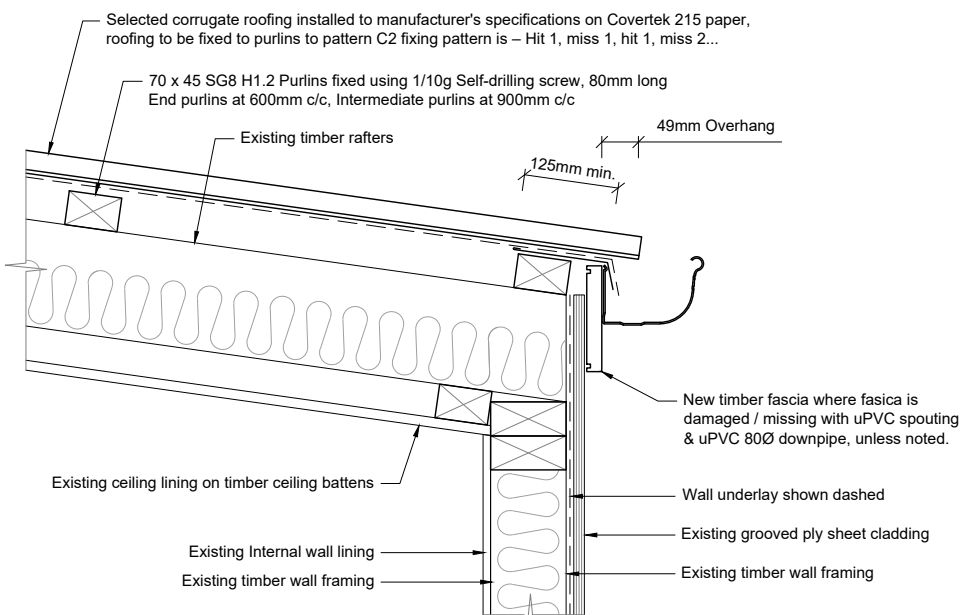
Sheet Title
Cladding Details

Drawn 27 January 2026

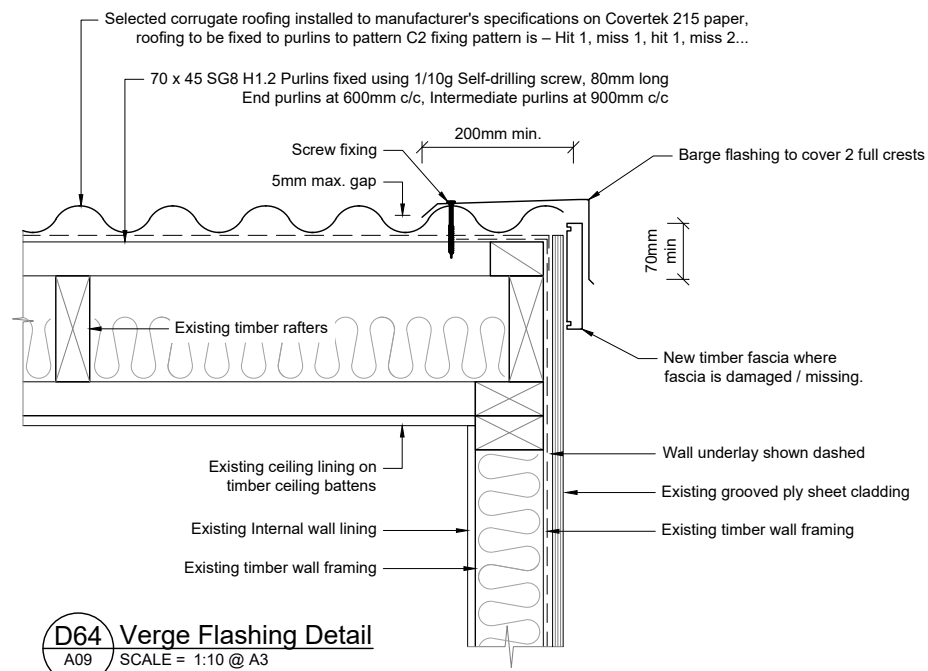
Project No 4249

Rev C **Sheet** A15

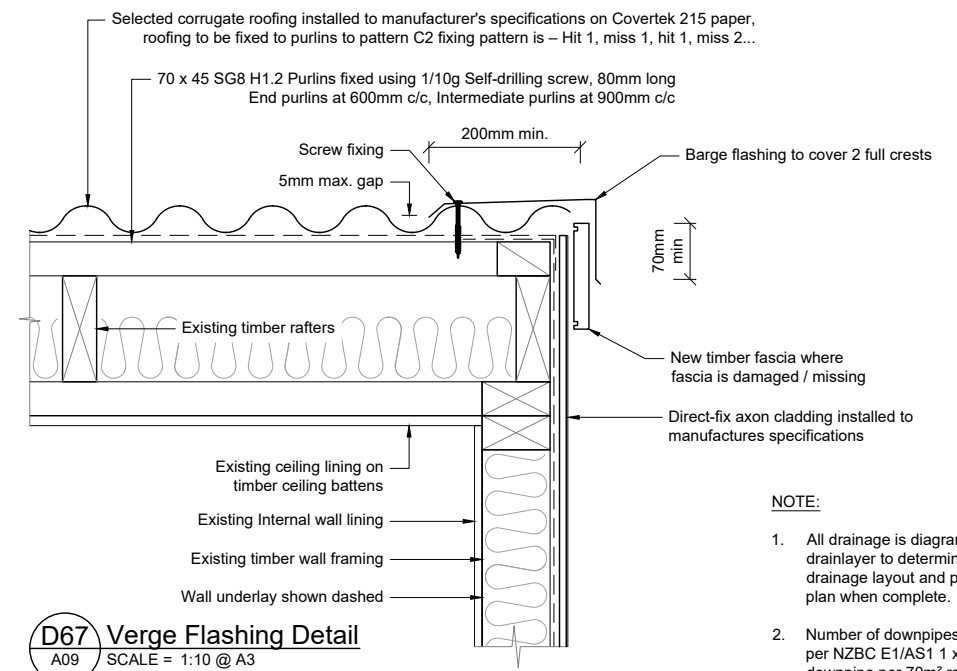
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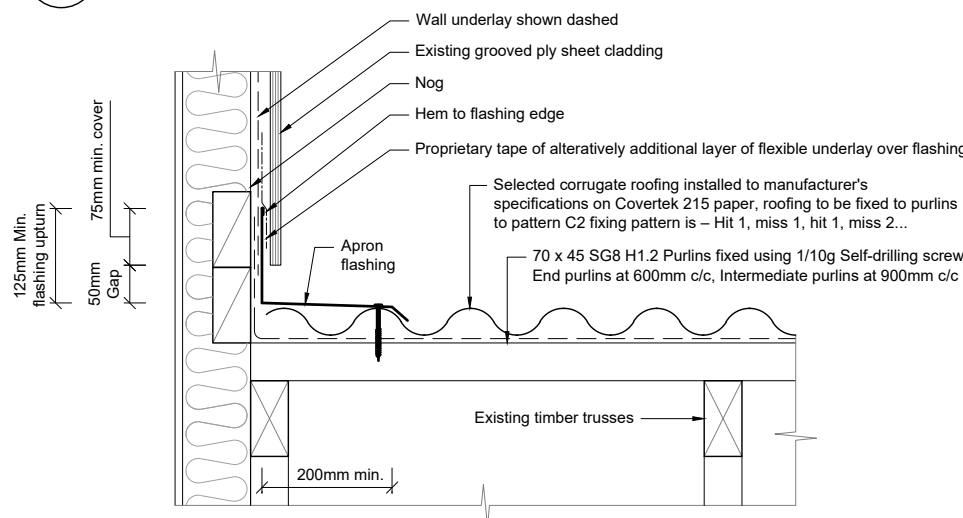
D61 Direct-Fix Axon Cladding - Spouting Detail
A09 SCALE = 1:10 @ A3



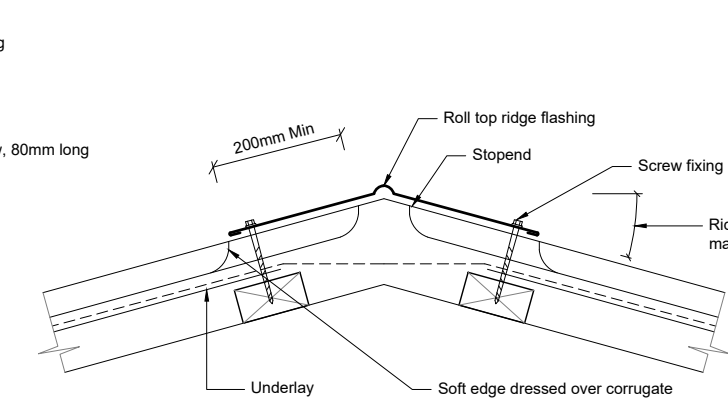
D64 Verge Flashing Detail
A09 SCALE = 1:10 @ A3



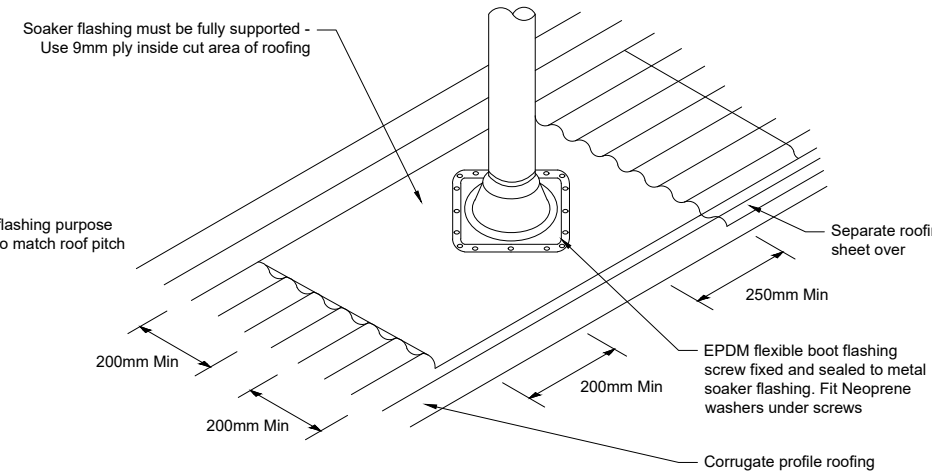
D67 Verge Flashing Detail
A09 SCALE = 1:10 @ A3



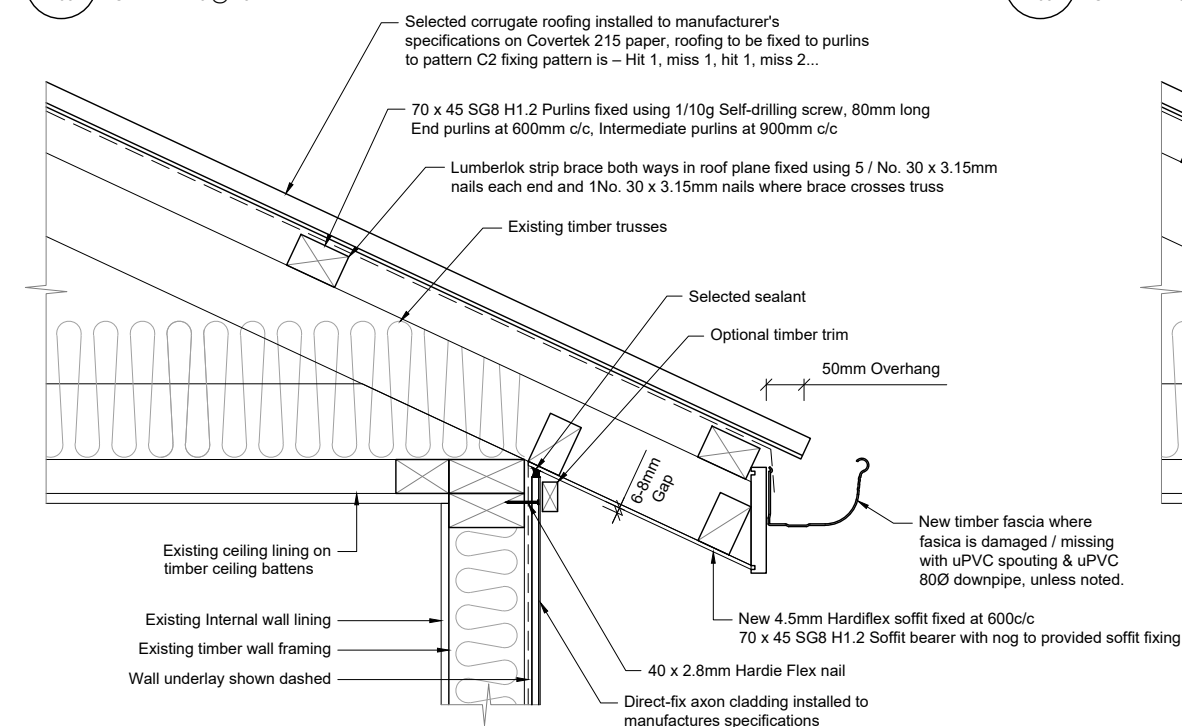
D62 Verge Flashing Detail
A09 SCALE = 1:10 @ A3



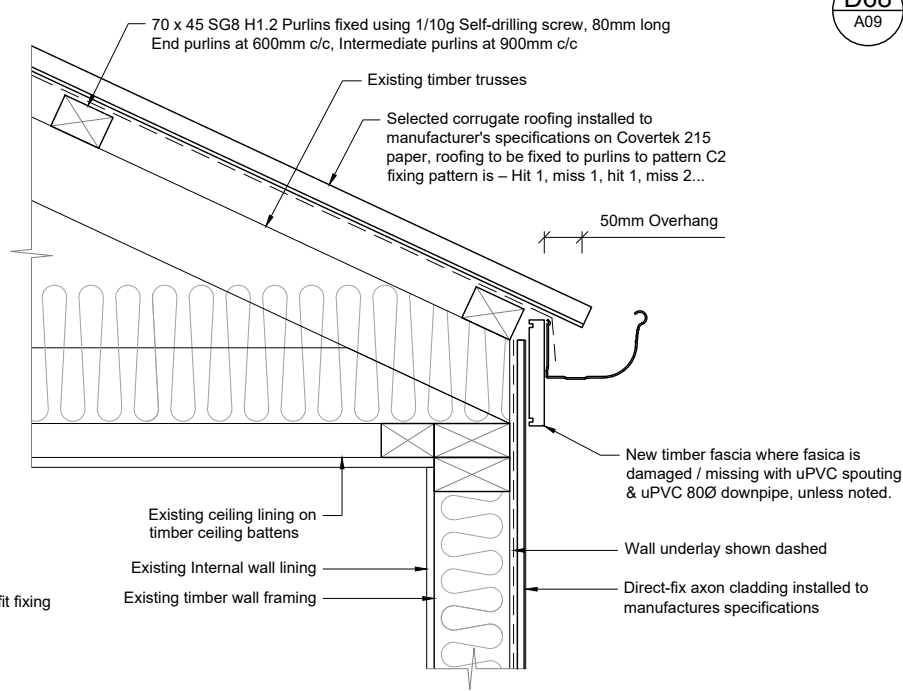
D65 Ridge Flashing Detail
A09 SCALE = 1:10 @ A3



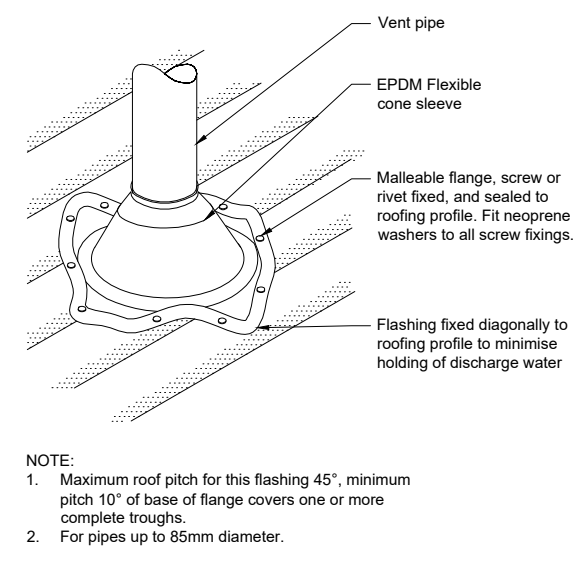
D68 Flue Flashing Detail
A09 SCALE = 1:10 @ A3



D63 Direct-Fix Axon Cladding - Eave Detail
A09 SCALE = 1:10 @ A3



D66 Direct-Fix Axon Cladding - Spouting Detail
A09 SCALE = 1:10 @ A3



NOTE:
1. Maximum roof pitch for this flashing 45°, minimum pitch 10° of base of flange covers one or more complete troughs.
2. For pipes up to 85mm diameter.

D69 Vent Flashing Detail
SCALE = 1:10 @ A3

NOTE:

1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
2. Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.
3. Stormwater: 100mm Ø UPVC pipe, minimum gradient 1:120
4. All drainage to comply with AS/NZS 3500 & NZBC G13/AS1.
5. Roofing to be installed to New Zealand Metal Roofing Code of Practice and in accordance with manufacturers installation instructions.
6. Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.

FIXINGS

Exposure zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

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Benjiman Gadsby
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Kerikeri
Lot 1 DP 188984

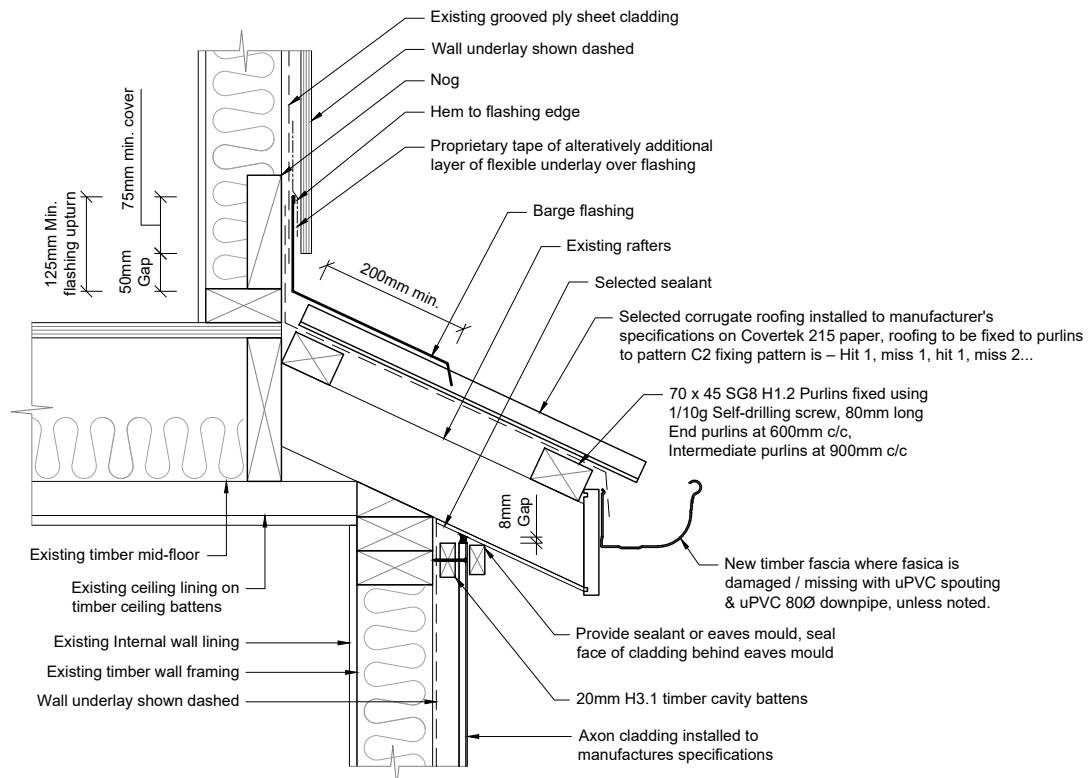
Sheet Title
Roof Details

Drawn 27 January 2026

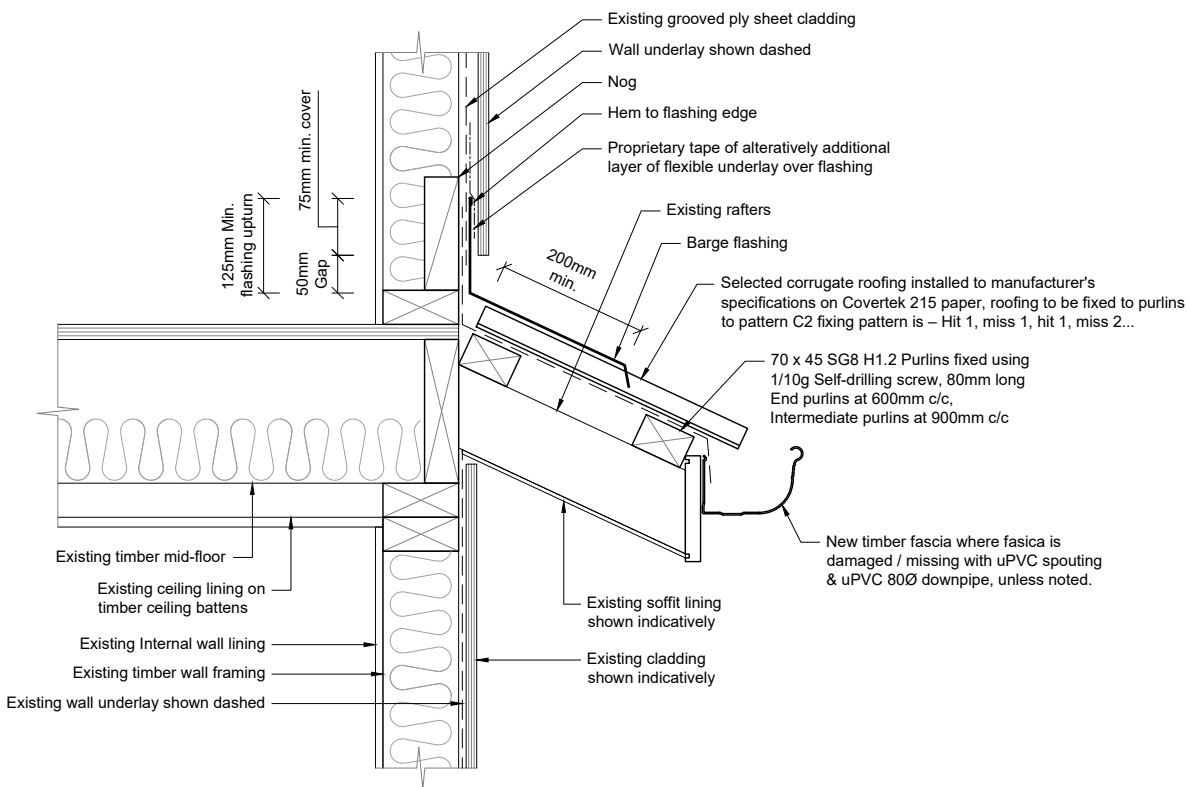
Project No 4249

Rev C **Sheet** A16

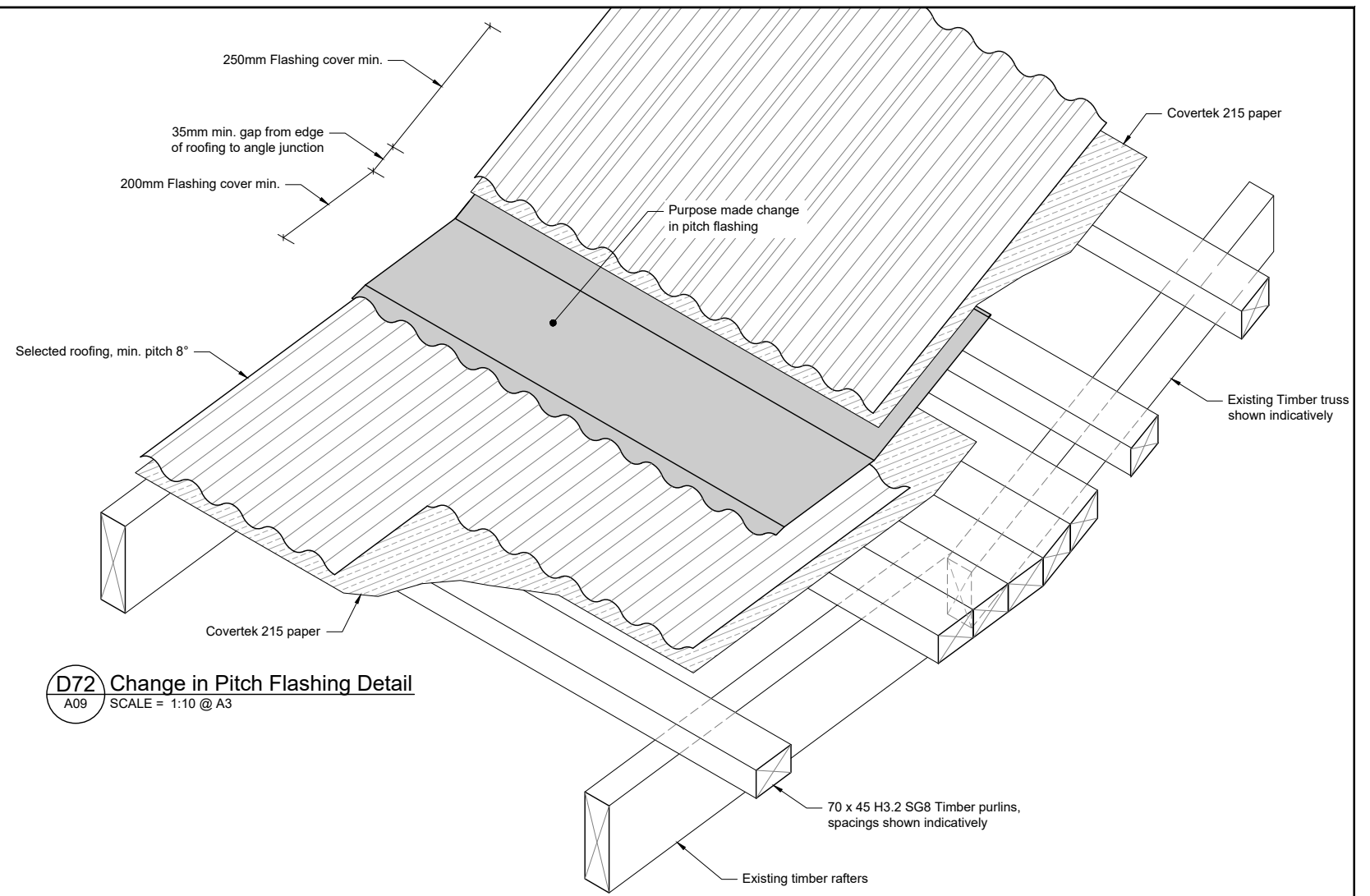
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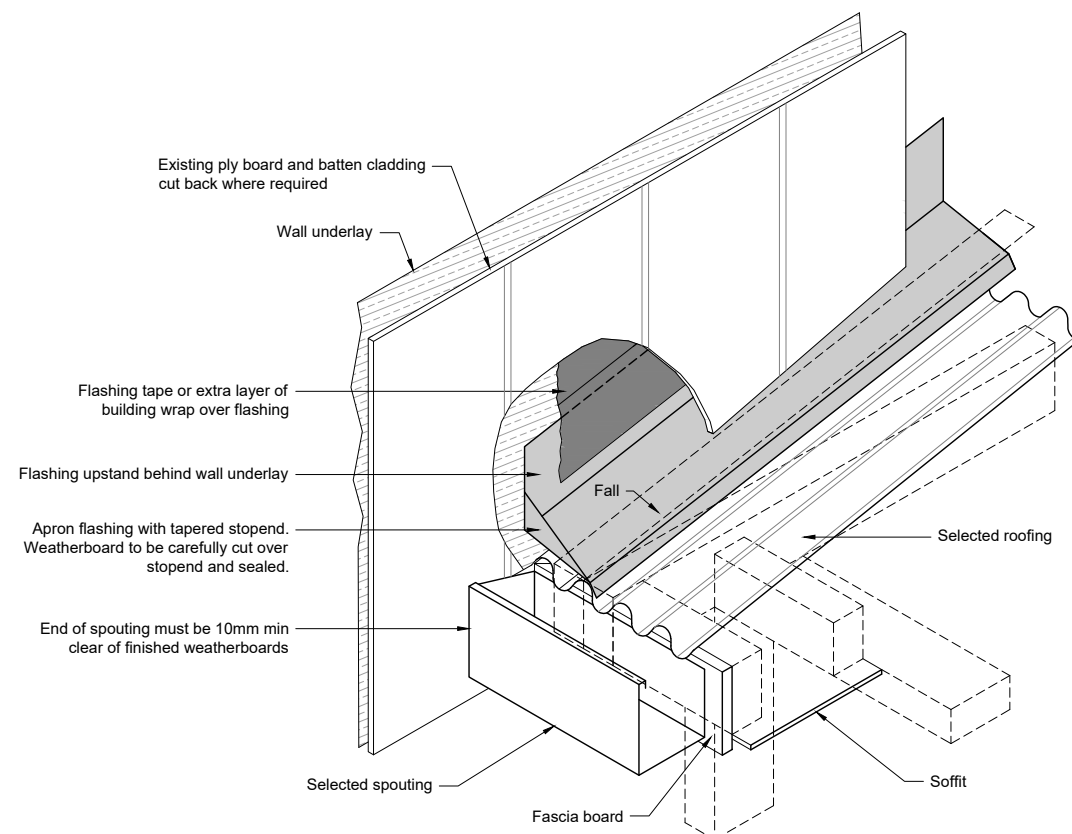
D70 Roof Step-Out Envelope Detail
A09 SCALE = 1:10 @ A3



D71 Roof Step-Out Envelope Detail
A09 SCALE = 1:10 @ A3



D72 Change in Pitch Flashing Detail
A09 SCALE = 1:10 @ A3



D73 Parallel Apron to Gutter Flashing Detail
A09 SCALE = 1:10 @ A3

NOTE:

- All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
- Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.
- Stormwater: 100mm Ø UPVC pipe, minimum gradient 1:120
- All drainage to comply with AS/NZS 3500 & NZBC G13/AS1.
- Roofing to be installed to New Zealand Metal Roofing Code of Practice and in accordance with manufacturers installation instructions.
- Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.

FIXINGS

Exposure zone: C
Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

Exposed fixings to be type 304 stainless steel.
Sheltered fixings to be hot-dipped galvanized.
Closed in nail plates in roof space to be continuous coated galvanized steel.
Closed wire dogs and bolts to be hot dipped galvanized steel.
All other closed structural fixings to be mild steel (uncoated non galvanized)

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O'BRIEN DESIGN CONSULTING
T 09 407 5208 | martin@obrienconsulting.co.nz

Project Title
Benjamin Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

Sheet Title
Roof Details

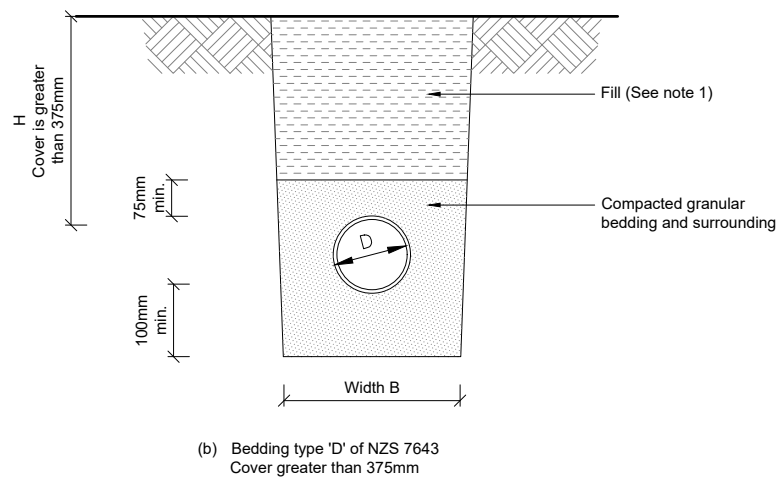
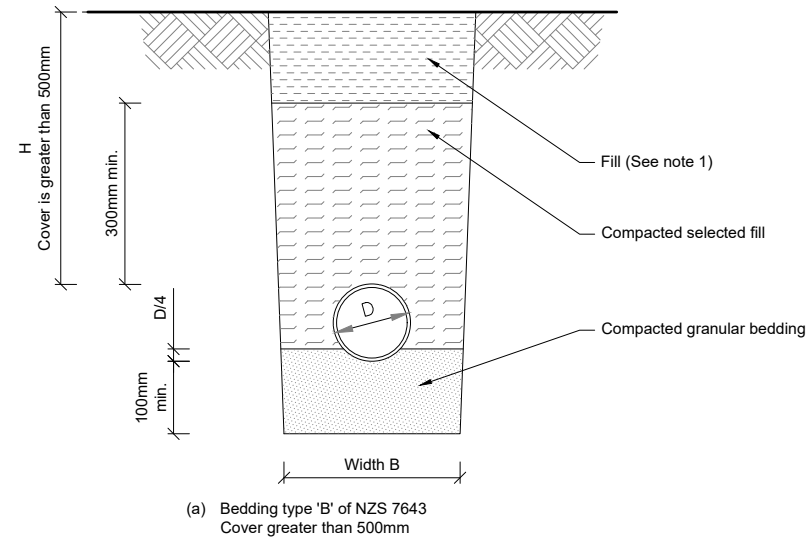
Drawn 27 January 2026

Project No 4249

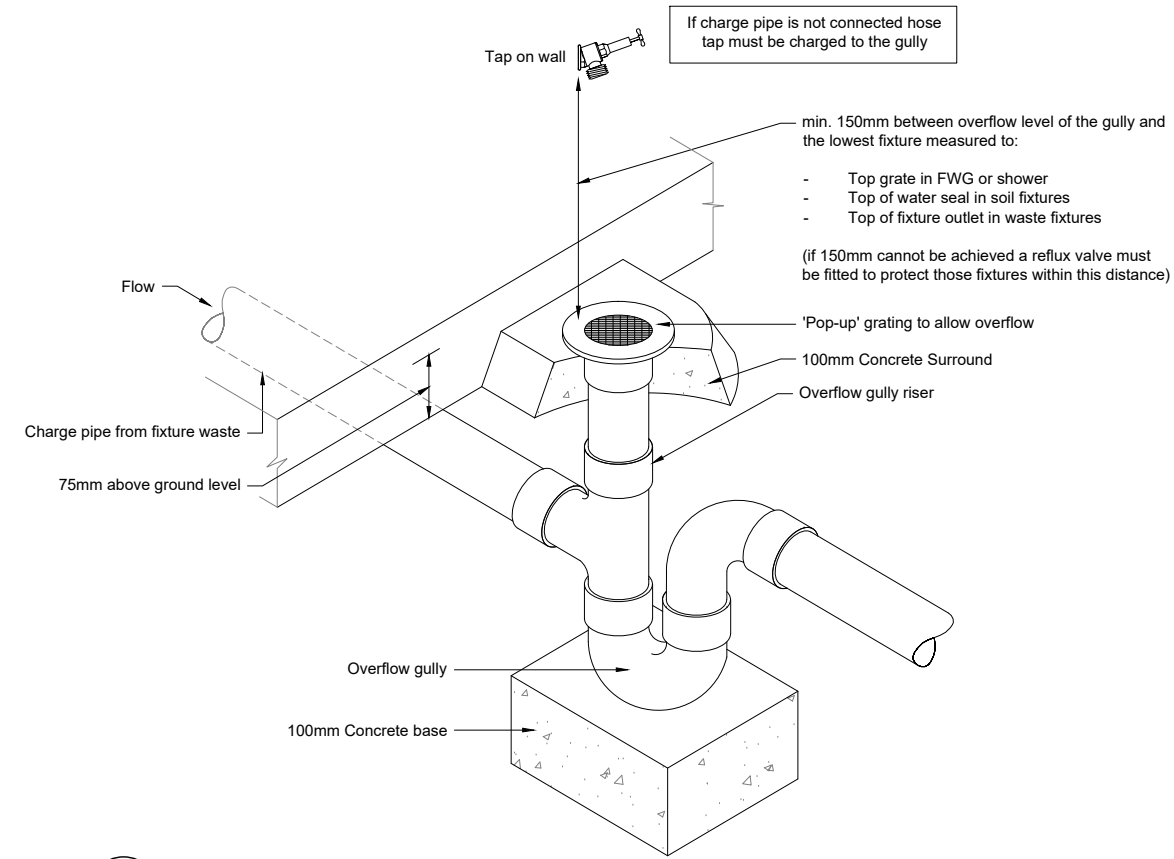
Rev C **Sheet** A17

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Figure 7: Bedding and backfilling
Paragraphs 5.2.1, 5.3.1 and 5.4.1



NOTE:
Fill shall be:
Ordinary fill where drains are located below gardens and open country.
Compacted selected fill where the drains are located below residential driveways and similar areas subject to light traffic.



102 Overflow Relief Gully (ORG) Detail
SCALE = NTS

NOTE:

- All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
- Number of downpipes required as per NZBC E1/AS1 1 x 74mmØ downpipe per 70m² roof plan area.
- Stormwater: 100mm Ø UPVC pipe, minimum gradient 1:120.
- All drainage to comply with AS/NZS 3500 & NZBC G13/AS1.

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Project Title

Benjiman Gadsby
61 Wiroa Road
Kerikeri
Lot 1 DP 188984

Sheet Title

Drainage Details

Drawn 27 January 2026

Project No 4249

Rev C Sheet A18

Scale (A3 Original) 1: 10

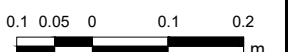
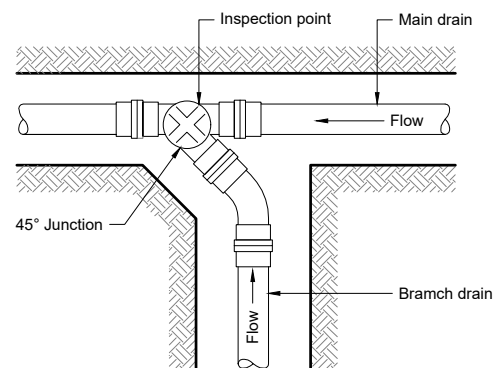
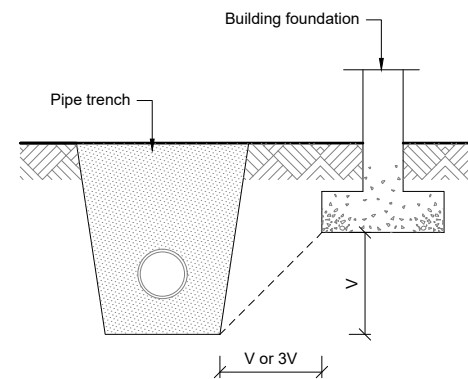


Figure 9: Inspection points
Paragraph 5.7.3



101 Trench & Inspection Joint Details
SCALE = NTS

Figure 8: Relationship of pipe trench to building foundation
Paragraph 5.6.1



Minimum horizontal separation shall be V or 3V depending on length of time trench open, see paragraph 5.6.1

4 February 2026

Benjamin Douglas Gadsby
61 Wiroa Road
RD 3
Kerikeri
0293

Dear Sir / Madam,

Building consent number: COA-2026-56/0
Property ID: 3315458
Address: 61 Wiroa Road, Kerikeri 0293
Description: without obtaining a building consent Parts of the existing dwelling were constructed without a building consent for a proposed dwelling. A Building Consent has also been applied for item which require consent. Refer to a list of the items on the Proposed Floor Plan of the attached plans.

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **Rural Production** under the Operative District Plan and Resource Consent is required for breach of the following:

Rule:	8.6.5.1.4 SETBACK FROM BOUNDARIES
Reason:	This application includes a Change of Use from a packing shed to a residential dwelling, and this building appears to be within 10m of a road boundary.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully



Lysigna Mare
PIM Officer

Delivery and Operations

Emailed to: martin@obrienconsulting.co.nz

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM
Section 37, Building Act 2004

Building Consent Number: COA-2026-56/0

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**

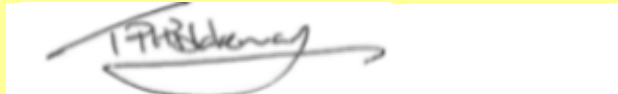
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

• **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman
Manager - Building Services –
Delivery and Operations
Far North District Council (Building Consent Authority)
4 February 2026

Position:

On behalf of:

Date: