



<b>Office Use Only</b> Application Number:
---

**APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT**

**(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))**

**(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)**

*Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.*

**1. Pre-Lodgement Meeting**

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes /  No

**2. Type of Consent being applied for (more than one circle can be ticked):**

- Land Use                       Fast Track Land Use\*                       Subdivision                       Discharge
- Extension of time (s.125)     Change of conditions (s.127)     Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) \_\_\_\_\_

**\*The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

**3. Would you like to opt out of the Fast Track Process?                       Yes / No**

**4. Applicant Details:**

Name/s: Geoff Harnett

Electronic Address for Service (E-mail): \_\_\_\_\_

Phone Numbers: \_\_\_\_\_

Postal Address: \_\_\_\_\_  
(or alternative method of service under section 352 of the Act)

Post Code: \_\_\_\_\_

**5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).**

Name/s: Shauna Huddart

Electronic Address for Service (E-mail): ShaunaH@barker.co.nz

Phone Numbers: Work: 027 315 0843 Home: \_\_\_\_\_

Postal Address: PO Box 37, Whangārei 0140  
(or alternative method of service under section 352 of the Act)

Post Code: \_\_\_\_\_

**All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.**

**6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)**

Name/s: Motu Roa Island Limited

Property Address/  
Location: Moturoa Island

**7. Application Site Details:**

Location and/or Property Street Address of the proposed activity:

Site Address/  
Location: Moturoa Island

Legal Description: Moturoa Island Val Number: NA42A/1073

Certificate of Title: \_\_\_\_\_  
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes /  No

Is there a dog on the property? Yes /  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

The site is on an island and access can only be made by boat, please contact the Agent (Shauna Huddart) in the first instance to arrange a site visit.

**8. Description of the Proposal:**

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

To construct a 90m2 boat shed as a controlled activity as the GFA infringes the permitted threshold of 25m2 by 65m2

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

**9. Would you like to request Public Notification** Yes  No

**10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):**

- Building Consent (BC ref # if known)                       Regional Council Consent (ref # if known)
- National Environmental Standard consent                       Other (please specify)

**11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:**

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)  yes  no  don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).  yes  no  don't know

- Subdividing land                       Changing the use of a piece of land
- Disturbing, removing or sampling soil                       Removing or replacing a fuel storage system

**12. Assessment of Environmental Effects:**

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

**Please attach your AEE to this application.**

**13. Billing Details:**

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)                      Geoff Harnett

Email: \_\_\_\_\_

Postal Address: \_\_\_\_\_

Phone Numbers: \_\_\_\_\_

**Fees Information:** An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20<sup>th</sup> of the month following invoice date. You may also be required to make additional payments if your application requires notification.

**Declaration concerning Payment of Fees:** I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: Geoff Harnett \_\_\_\_\_ (please print)

Signat \_\_\_\_\_ (signature of bill payer – **mandatory**)                      Date: \_\_\_\_\_

## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

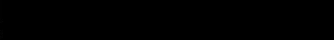
Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

**Declaration:** The information I have supplied with this application is true and complete to the best of my knowledge.

Name: Shauna Huddart (please print)

Signature:  (signature)

Date: 06/12/2023

(A signature is not required if the application is made by electronic means)

### Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

**Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:**

**UNBOUND**

**SINGLE SIDED**

**NO LARGER THAN A3 in SIZE**

**10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):**

- Building Consent (BC ref # if known)                       Regional Council Consent (ref # if known)
- National Environmental Standard consent                       Other (please specify)

**11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:**

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)  yes  no  don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).  yes  no  don't know

- Subdividing land                       Changing the use of a piece of land
- Disturbing, removing or sampling soil                       Removing or replacing a fuel storage system

**12. Assessment of Environmental Effects:**

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

**Please attach your AEE to this application.**

**13. Billing Details:**

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full)

Email:

Postal Address:

Phone Numbers:

**Fees Information:** An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20<sup>th</sup> of the month following invoice date. You may also be required to make additional payments if your application requires notification.

**Declaration concerning Payment of Fees:** I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name \_\_\_\_\_ (please print)

Signature \_\_\_\_\_ (signature of bill payer – **mandatory**)

Date: 6/12/23



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** NA42A/1073  
**Land Registration District** North Auckland  
**Date Issued** 29 May 1978

**Prior References**  
NA29A/1266

---

**Estate** Fee Simple  
**Area** 146.9919 hectares more or less  
**Legal Description** Moturoa Island

**Registered Owners**

---

**Interests**

- C137295.1 Lease of Flat 11 DP 119141 Term 999 years as from and including the 1st May 1988 Leasehold CT NA68C/78 issued - 9.5.1990 at 2.39 pm
- C311894.1 Lease of Flat 2 DP 147174 Term 999 years as from and including 1st September 1991 Leasehold CT NA87C/948 issued - 8.10.1991 at 2.57 pm
- C522028.1 Lease of Flat 2 Plan 148037 Term 999 years as from and including the 1st May 1993 Leasehold CT NA88A/550 issued - 30.9.1993 at 2.57 pm
- C522028.3 Lease of Flat 4 Plan 148037 Term 999 years as from and including 1 May 1993 Leasehold CT NA88A/551 issued - 30.9.1993 at 2.57 pm
- C522028.5 Lease of Flat 1 DP 147174 Term 999 years as from and including 1 May 1993 Leasehold CT NA87C/947 issued - 30.9.1993 at 2.57 pm
- 7358778.2 Lease of Flats 3-4 Deposited Plan 85703 Term 999 years as from and including 17.4.2007 CT 352387 issued - 8.5.2007 at 9:00 am
- 9314702.17 Lease of Area 8 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482384 issued - 6.9.2013 at 3:48 pm
- 9314702.18 Lease of Area 9 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482385 issued - 6.9.2013 at 3:48 pm
- 9314702.19 Lease of Area 7 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482383 issued - 6.9.2013 at 3:48 pm
- 9314702.20 Lease of Area 4 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482380 issued - 6.9.2013 at 3:48 pm
- 9314702.21 Lease of Area 1 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482377 issued - 6.9.2013 at 3:48 pm
- 9314702.22 Lease of Area 2 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482378 issued - 6.9.2013 at 3:48 pm
- 9314702.23 Lease of Area 3 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482379 issued - 6.9.2013 at 3:48 pm

9515845.2 Lease of Area 5 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482381 issued - 27.9.2013 at 1:24 pm

9539207.2 Lease of Area 6 Deposited Plan 420530 Term 999 years as from and including the 1st day of February 2013 CT 482382 issued - 14.10.2013 at 2:46 pm

9612782.3 Lease of Flat 1-2 Deposited Plan 85957 Term 999 years as from and including 1 February 2013 CT 609395 issued. - 6.1.2014 at 3:28 pm

Appurtenant hereto is a right to convey electricity created by Easement Instrument 9636270.1 - 9.4.2014 at 9:50 am

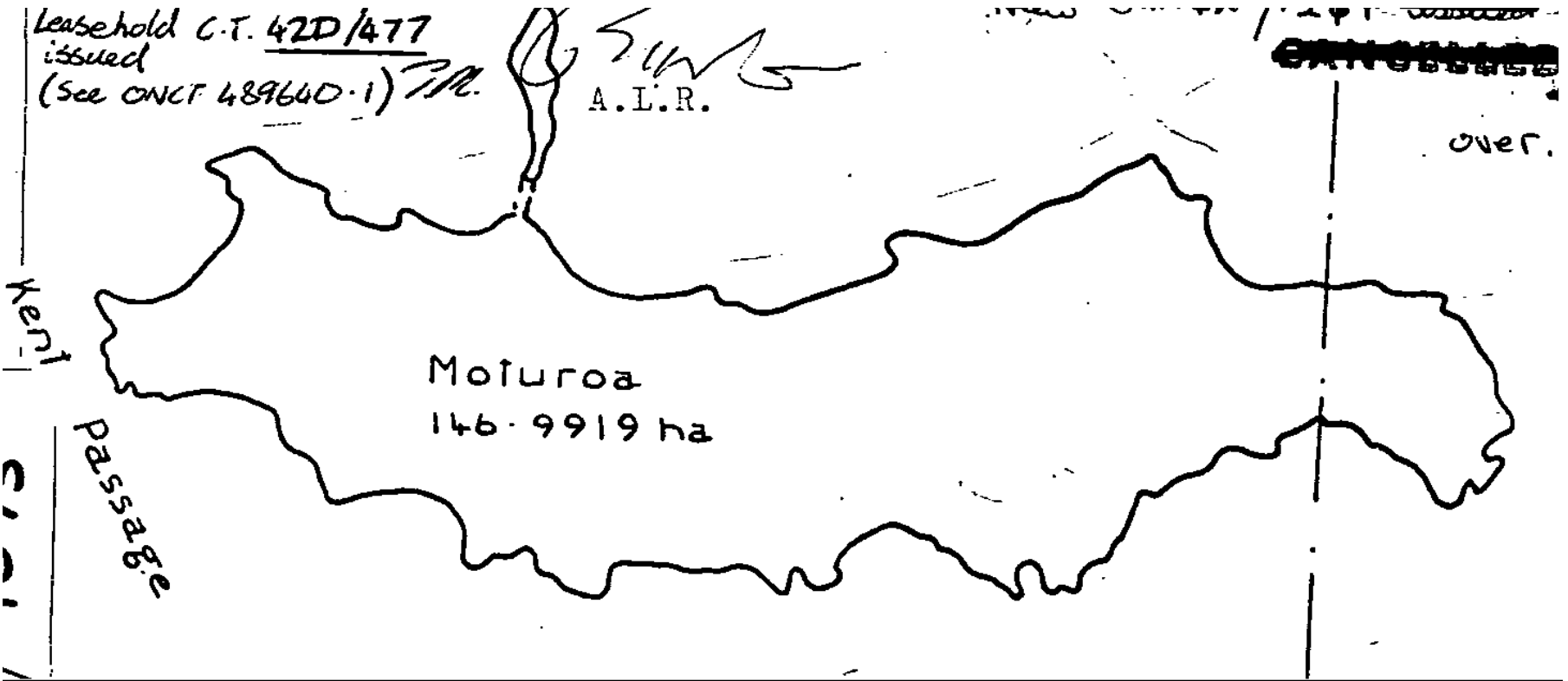
9701145.2 Lease of Flat 7 Deposited Plan 85703 and Flat 8 Deposited Plan 85703 Term 999 years as from and including the 1st day of February 2013 CT 652270 issued - 16.4.2014 at 4:21 pm

10106932.1 Conservation Covenant pursuant to Section 77 Reserves Act 1977 - 13.7.2015 at 3:35 pm

10314848.1 STATUTORY LAND CHARGE PURSUANT TO SECTION 87 LOCAL GOVERNMENT (RATING) ACT 2002 - 25.1.2016 at 7:00 am

11824432.1 Notice pursuant to Section 195(2) Climate Change Response Act 2002 - 7.8.2020 at 5:38 pm

12341454.1 Lease of Area 10 Deposited Plan 561738 Term 999 years as from and including the 1st day of July 2021 Record of Title 1003856 issued - 15.9.2022 at 11:52 am



Leasehold C.T. 42D/477  
 issued  
 (See CNCT 48964D.1) P.M.

A.L.R.

Moturoa  
 146.9919 ha

Keri Keri

Passage

over.



# View Instrument Details



**Instrument No** 11824432.1  
**Status** Registered  
**Date & Time Lodged** 07 August 2020 17:38  
**Lodged By** Carey, Richard Anthony  
**Instrument Type** Climate Change Response Act 2002 - Notice of status under s195(2)



Affected Records of Title	Land District
270218	Hawkes Bay
427445	Wellington
432134	Wellington
544162	Gisborne
544163	Gisborne
548650	Wellington
563803	Taranaki
568612	South Auckland
648831	South Auckland
681773	Wellington
886896	Taranaki
CB22F/193	Canterbury
GS5A/1072	Gisborne
HBE1/303	Hawkes Bay
HBP4/577	Hawkes Bay
NA15D/1478	North Auckland
NA42A/1073	North Auckland
NA63D/426	North Auckland
NA67B/325	North Auckland
NA67B/327	North Auckland
NA73B/871	North Auckland
NA785/240	North Auckland
NA895/227	North Auckland
NA90C/563	North Auckland
NL45/266	Nelson
TN129/130	Taranaki
TNB4/1394	Taranaki
TNG1/967	Taranaki
TNJI/1058	Taranaki
TNJ2/341	Taranaki
TNK3/144	Taranaki
WN111/252	Wellington
WN269/32	Wellington
WN33D/565	Wellington
WN41D/631	Wellington
WN46D/366	Wellington
WN675/33	Wellington
WN80/214	Wellington
WN902/60	Wellington

**Annexure Schedule** Contains 2 Pages.

---

**Signature**

Signed by Dong-On Lee as Crown Representative on 07/08/2020 03:41 PM

**\*\*\* End of Report \*\*\***



## Te Uru Rākau

### Forestry New Zealand

### Notice of status of forest land

#### Section 195, Climate Change Response Act 2002

To the Register-General of Land,

Part of the following land is post-1989 forest land that forms part of a carbon accounting area in respect of which a person is a participant under the Climate Change Response Act 2002.

#### Description of land

Legal Description	Region	Title Reference
Part Lot 5 DP 50235	North Auckland	NA15D/1478
Moturoa Island	North Auckland	NA42A/1073
Section 7A Block II Tutamoe SD	North Auckland	NA67B/325
Part Section 22 Block II Tutamoe SD	North Auckland	NA67B/325
Part Section 3A Block II Tutamoe SD	North Auckland	NA67B/325
Lot 4 DP 113403	North Auckland	NA63D/426
Lot 1 DP 32473	North Auckland	NA67B/327
Part Section 12 Block I Tutamoe SD	North Auckland	NA67B/327
Section 13 Block I Tutamoe SD	North Auckland	NA895/227
Lot 1 DP 125824	North Auckland	NA73B/871
Lot 1 DP 30619	North Auckland	NA785/240
Section 10 Block XI Huiroa SD	Taranaki	TNJ2/341
Lot 7-8 DP 408718	Wellington	432134
Lot 2 DP 535741	Taranaki	886896
Lot 2 DP 17110	Taranaki	TNJ1/1058
Lot 1 DP 449022	South Auckland	568612
Section 22 Block II Ohura SD	Taranaki	TNG1/967
Section 24 Block II Ohura SD	Taranaki	TNB4/1394
Section 25 Block II Ohura SD	Taranaki	TNK3/144
RS 31681 and RS 34384	Canterbury	CB22F/193
Lot 118 DP 426	Nelson	NL45/266
Lot 2 DP 439253	Gisborne	544162
Lot 3 DP 439253	Gisborne	544163
Lot 65 DP 1323	Gisborne	544163
Part Lot 1 DP 3039	Gisborne	544163
Part Lot 71 DP 1323	Gisborne	544163
Section 2 Block XVI Uawa SD	Gisborne	GS5A/1072
Section 1 Block V Upper Waitara SD	Taranaki	TN129/130
Section 2 Block V Upper Waitara SD	Taranaki	563803
Part Section 10 Block XII Mangahao SD	Wellington	WN80/214
Part Section 13 Block XII Mangahao SD	Wellington	427445
Section 16 Block XII Mangahao SD	Wellington	WN111/252
Section 8 Block VIII Norsewood SD	Hawkes Bay	HBE1/303
Section 9 SO 3298	Hawkes Bay	HBP4/577

Lot 4 DP 152133	North Auckland	NA90C/563
Section 4 SO 464420	South Auckland	648831
Part Section CIII Rangitikei DIST	Wellington	WN46D/366
Lot 2 DP 483359	Wellington	681773
Part Section 11 Block XII Oroua SD	Wellington	681773
Section 18 Block XII Oroua SD	Wellington	WN902/60
Part Section 1 Block VI Owahanga SD	Wellington	WN33D/565
Section 1 SO 36257	Wellington	WN41D/631
Lot 2 DP 426466	Wellington	548650
Lot 3 DP 427108	Wellington	548650
Part Section 52 Whareama Block	Wellington	WN269/32
Part Section 55 Whareama Block	Wellington	WN269/32
Section 54 Whareama Block	Wellington	WN675/33
Lot 2 DP 366590	Hawkes Bay	270218

Date: 06/08/2020

Signature:  Date: 06/08/2020

Alice Scahill  
Acting Team Leader Climate Change Operations  
Forestry and Land Management  
Te Uru Rākau – Forestry New Zealand

Acting under delegated authority

# View Instrument Details



**Instrument No** 10106932.1  
**Status** Registered  
**Date & Time Lodged** 13 July 2015 15:35  
**Lodged By** Hakiwai, Tanya-Marie  
**Instrument Type** Covenant (All types except Land covenants)



---

**Affected Computer Registers**    **Land District**  
NA42A/1073                              North Auckland

---

**Annexure Schedule:** Contains 22 Pages.

---

## Signature

Signed by Richard James Beca as Grantor/Grantee Representative on 11/08/2015 12:52 PM

\*\*\* End of Report \*\*\*

**CONSERVATION COVENANT**  
(Section 77 Reserves Act 1977)

BETWEEN **MOTU ROA ISLAND LIMITED**  
              ("Landowners")

AND **FAR NORTH DISTRICT COUNCIL**  
         ("Council")

**INTRODUCTION:**

A. Section 77 of the Reserves Act 1977 provides that:

- (i) The Minister, any local authority, or any other body approved by the Minister, is satisfied that any private land or any Crown land held under Crown lease should be managed so as to preserve the natural environment, or landscape amenity, or wildlife or freshwater-life or marine-life habitat, and that the particular purpose or purposes can be achieved without acquiring the ownership of the land, or, as the case may be, of the lessee's interest in the land, for a reserve, may treat and agree with the owner or lessee for a covenant to provide for the management of that land in a manner that will achieve the particular purpose or purposes of conservation.
- (ii) Any covenant under this section may be in perpetuity or for any specific term.

B. The Far North District Council's Rates Postponement Policy provides that:

Land that has been set aside to protect particular outstanding landscape, historical, ecological or cultural values, under a formal protection agreement, in a form acceptable to Council and for a term of not less than ten years will be eligible to receive a postponement of rates for the period during which the protection remains in place.

C. The Landowners are the registered proprietors of the land described in the schedule ("Land"), consisting of regenerating coastal forest; Manuka, Kanuka, and Pohutukawa. Reintroduced avifauna including Banded Rail, Bellbird, Brown Kiwi, North Island Robin, Pateke (Brown Teal), Red-Crowned Parakeet (Kakariki, Saddleback, and Whitehead are also identified on the Island.

D. The Landowners and the Council have agreed that parts of the Land be managed with the following conservation objectives:

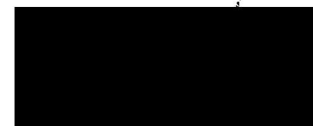
- (i) (Landscape) To preserve and protect the regenerating bush and native forest, and
- (ii) (Ecological) To protect native birds and other native wildlife and plants present on the land.

E. Council has sought advice and as a result, is satisfied that the Land is suitable for a Conservation Covenant. A copy of the Report is attached as Appendix 1.

F. The Landowners and the Council have agreed that:

(i) the Landowners may reside on, occupy or use an area of 88.9919ha, being the residual area remaining from the covenanting of areas marked "A-F" on LT 486206 found in Appendix Two. ("**Excluded Area**"). The Excluded Area will not receive any benefit of rates relief and will be defined as a separate division of the Rating Unit pursuant to Section 45(3) of the Local Government (Rating) Act.

(ii) Areas marked "A-F" on the attached plan: LT 486206 found in Appendix Two are the areas to be covenantated by this deed ("**Covenantated Area**").  
*For the purposes of this Covenant, the definition of "use" is taken from the Local Government (Rating) Act 2002. It means a person who, alone or with others: –*



- (a) *Leases the land; or*
- (b) *Does one (1) or more of the following things on the land for profit or other benefit:*
  - (i) *Resides on the land;*
  - (ii) *De-pastures or maintains livestock on the land;*
  - (iii) *Stores anything on the land;*
  - (iv) *Uses the land in any other way.*

*Notes: Notwithstanding the above, work undertaken to preserve or enhance the features covenanted on the land, including weed control, will not impact the "unused" status of the land.*

*The removal of traditional medicinal tree and plant material for personal use will not constitute actual use of the land.*

**IT IS AGREED** that in accordance with Section 77 of the Reserves Act 1977 the Landowners (to the intent that his Covenant will bind the Landowners successors in title and assigns in perpetuity) and the Council **MUTUALLY COVENANT** that the Covenanted Area shall be managed for the purposes and objectives listed in recital D above, and in particular on the following conditions:

1. The Landowners covenant in relation to the Covenanted Area that:
  - (a) The living indigenous vegetation on the Covenanted Area shall not be cut down, damaged or destroyed (except for the maintenance of roadways and walking tracks, and tracks for pest control operations) without prior written consent of Council. The Landowners shall be deemed not to be in breach of this prohibition if any such vegetation dies from natural causes, which are not attributable to any act or default by or on behalf of the Landowners or for which the Landowners are responsible.
  - (b) There shall be no intentional intrusion of grazing stock (including cows, sheep, goats and pigs) into any areas of indigenous vegetation on the Covenanted Area.
  - (c) No occupier of the Land shall keep or introduce on to the site carnivorous or omnivorous exotic animals (such as ferrets, cats or dogs) which have the potential to be Kiwi predators.
  - (d) Exotic vegetation which could adversely affect natural regeneration or local forest health is not to be introduced onto the Land. This includes the introduction of invasive plant species, including those currently listed on the nationally-banned-for-sale list (see Northland Regional Pest Management Strategy) and species described as 'pest plants' in the "National Pest Plant Accord (August 2001)", any Northland Regional Pest Management Strategy or in the leaflet produced jointly by the Department of Conservation and the Northland Regional Council titled "Environmental Weeds Delightful But Destructive" (1984) and any revised versions of these publications.
  - (e) Dead wood and vegetation may be removed from the Covenanted Area by the Landowners for the Landowners' own use on the Land.
  - (f) Any predator/pest control work on the Land will be carried out in the best possible interests of and for the protection and long term survival of Kiwi and other indigenous fauna and flora.
2. Subject to Council continuing to provide for the postponement of rates pursuant to a policy adopted in terms of Section 110 of the Local Government Act 2002, Council shall postpone the rates on all of the Covenanted Area so long as this Covenant remains in force.
3. The duration of this covenant is for a period of ten years. It is understood that it is the intention of the parties to renew this covenant every ten years on the anniversary of its initial signing.

- 4. As provided for in Section 88 of the Local Government Rating Act 2002, Council will add a postponement fee to the accumulated postponed rates each year. This postponement fee will not exceed the administrative cost together with the cost of financing the postponed rates.
- 5. Subject to this covenant remaining in force, Council will remit any postponed rates together with any accumulated postponement fees upon the tenth anniversary of those rates and fees being assessed on the Land, at the rate of one year for each complete year which elapses after such tenth anniversary.
- 6. The Covenanted Area will be monitored from time to time (for Council at the cost of Council) and a site visit, preferably by the organisation which undertook the initial assessment, will ensure, inter alia, that the purposes for which this covenant was created still apply. The Landowners will be advised on the site visit request form that there is an enforcement process.
- 7. In the event that the scheduled site visit identifies that conditions of the covenant are not being met, the following enforcement rules will apply:

Council will give written notice of the breach to the Landowners with a copy of a report specifying the nature of the breach and the time during which the breach is to be remedied to the Council's satisfaction.

Council will advise that if the breach is not remedied during the specified time, there is a risk of no longer qualifying for rates relief and of the cancellation of the covenant at the Landowners expense.

There will be a follow-up monitoring visit in order to confirm whether the breach has been remedied and if it has, then no further action is required.

If the breach has not been remedied the Landowners will be advised that a further specified period will be given for compliance and the Rating Department will be informed.

In the absence of full compliance within the further specified period, the Council will require all the postponed rates to be paid within one calendar month and this covenant will be cancelled.

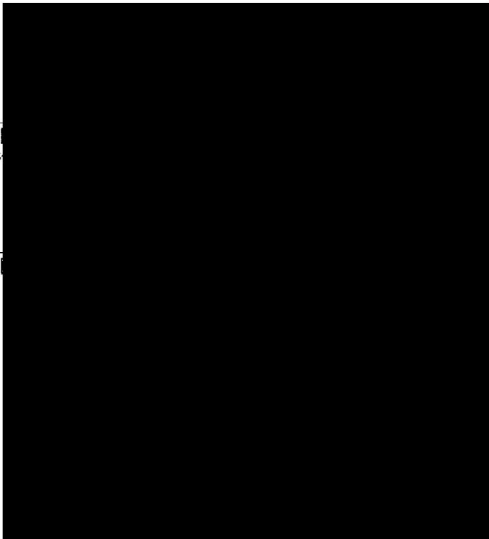
In the event of cancellation of this covenant, the removal thereof from the register will be applied for at the Landowners expense.

**SCHEDULE**

*Certificate of Title NA42A/1073 (North Auckland Registry)*

DATED this *20th* day of *June* 2015

SIGNED by MOTU ROA ISLAND LIMITED  
by its directors



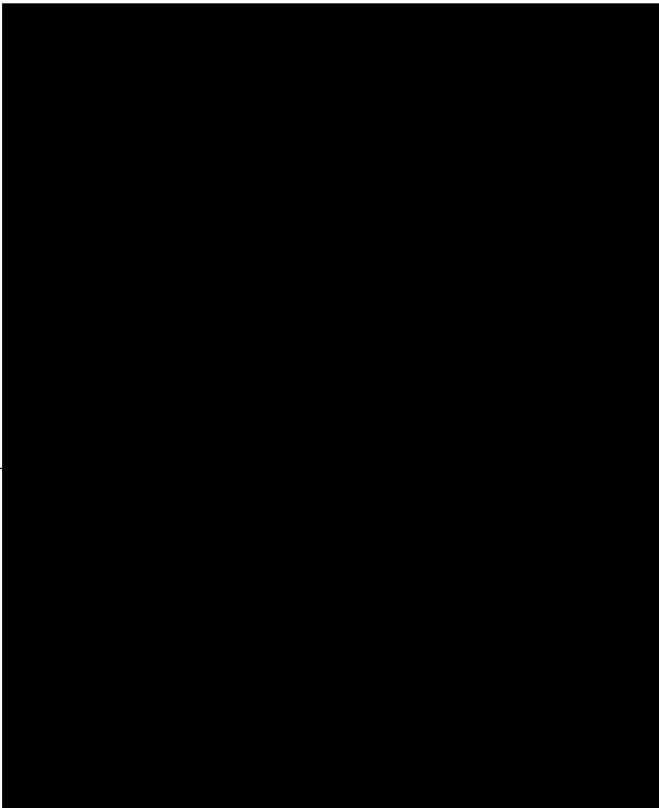


SIGNED ON BEHALF OF THE FAR NORTH DISTRICT COUNCIL

COUNCILLOR  
(AUTHORISED OFFICER)

COUNCILLOR  
(AUTHORISED OFFICER)

in the presence of:



A handwritten signature or set of initials, possibly 'JH', is written in the bottom right corner of the page.

APPENDIX ONE

**Biodiversity Management Limited**

**Dr Greg Blunden**

339 Kohukohu Road

RD1 Kohukohu

09 405 5360

021 710 441

[nz.kiwi.foundation@gmail.com](mailto:nz.kiwi.foundation@gmail.com)

25<sup>th</sup> November 2014

Steven Sanson  
Far North District Council  
Private Bag  
Kerikeri  
By PDF to [steven.sanson@fndc.govt.nz](mailto:steven.sanson@fndc.govt.nz)

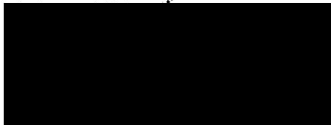
**Reference: Inspection of natural areas of Moturoa Island, Kerikeri**

I visited this property on 24<sup>th</sup> October 2014. The bush and landscape to be protected is included in a significant natural area, is of good quality and is fenced already to exclude stock. This block contains threatened avifauna which have been re-introduced over the past 35 years; banded rail, bellbird, brown kiwi, North Island Robin, pateke (brown teal), red-crowned parakeet (kakariki), saddleback, and whitehead.

I recommend that a covenant be approved for Moturoa Island. The area to be included in the covenant is identified approximately in Figure 1 including the two (green) basins which do not have the heavy white line defining them.

My report follows. Upon approval, I will visit this property again to set-up photopoints for ecological monitoring of the covenant.

*Yours sincerely*

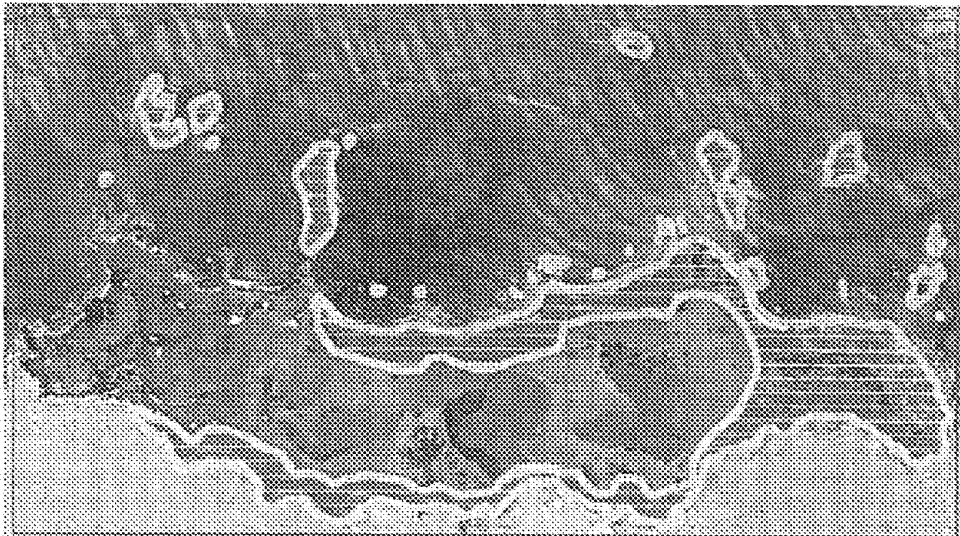


*Dr Greg Blunden*

**INSPECTION OF PROPOSED FNDC COVENANT AT MOTUROA ISLAND,  
NEAR KERIKERI**

Site Address	Moturoa Island, Kerikeri
Legal Description	Areas 1-9 DP 420530 on Moturoa Island DP 85957
Title and Valuation Number	NA42A/1073 00221-02500
Owners	Motu Roa Island Limited
Contact name and telephone number	Paul Asquith <a href="mailto:p_e_asquith@xtra.co.nz">p_e_asquith@xtra.co.nz</a>
Area of protection	c.56 hectares
Ecological District	Kerikeri
Follow up visit to create photopoints upon approval of covenant	Before 28 <sup>th</sup> February 2015
This site visit and who did it	Dr. Greg Blunden of Biodiversity Management Limited, 24 <sup>th</sup> October 2014

**Figure 1: Suggested areas for covenant on Moturoa Island = those outlined in heavy white and the two additional “green” inland basins**



### 1. Ecological references to Moturoa Island

---

Biodiversity Management Ltd report to FNDC viz possible covenant for Moturoa Island 25/11/14

Moturoa Island is contained within P05/112 Moturoa Island Group (pp.180-182, in Conning & Miller 1999). It is a representative site for coastal manuka/kanuka forest, and it has had a large-scale revegetation and pest management programme in place for over 30 years.

Moturoa Island is also unusual in that has its own special category in the Far North District Plan: Wildlife Refuge – private land of 157 hectares.

The land cover looks relatively modest from the sea, and is dominated by manuka, kanuka and pohutukawa with scattered pine trees and a line of gum trees planted as a shelterbelt. Its best description is “regenerating coastal forest” but this hides a significant re-vegetation programme on many parts of the island with over 54,000 plants since the establishment of the Moturoa Island Partnership. Many plant species have been re-established on the island. Wetlands have been created, some of which have been in place for 20 years or more and now add dramatically to the ecological value of Moturoa.

Weed control and eradication has also been and continues to be a feature of the administration of Moturoa. Large areas of gorse used to exist, many pine trees have been felled and chipped and laid to rest in situ, especially in the two “green” inland basins shown in Figure 1. Great care has been taken in removing old wilding pines from the cliffs and tops because erosion is a major and ever-present risk.

Sheep breeding and fattening is the main pastoral land use adjacent to the forested and re-vegetated areas. This land use activity is an intrinsic part of preventing the return of noxious weeds such as gorse and in maintaining Moturoa Island as an increasingly important natural place. It should not be viewed as a commercial activity.

Part and parcel of the Moturoa Island partnership has been the re-introduction of threatened, locally extinct avifauna as set out in Table 1 below.

A good indicator of success in the re-introduction programmes for avifauna is the number of kiwi calls heard – increasing from seven in 1990 to 47 in 2012. This does not mean there are 47 kiwi on Moturoa but indicates that there has been a major “natural” increase.

Moturoa Island is within easy reach of rats and stoats because less than 200 metres separates the island from the mainland via Kent Passage. Pest management has been in place since 1990, with 93 rats, 14 stoats and 35 magpies recorded as trapped over this period. 4,673 tracking tunnel nights during this time have helped keep track of these and other animal invaders. Three aerial bait drops took place, in 1993, 2006 and 2014, to limit severely the effect of pests not trapped or poisoned on Moturoa.

**Table 1: Re-introductions of threatened avifauna to Moturoa Island**

Year	Specie	Number re-introduced	Success or failure
1983	Bellbird	7	Failed
	North Island Robin	8	Failed
	Brown teal (pateke)	3 pair	Success
1985	Brown teal (pateke)	3 pair	Success
	North Island brown kiwi	3 pair	Success
1986 to 1995	Red-crowned parakeets	50	Success until 2009
1987	North Island brown kiwi	1	Success
1996	Banded rail	7	Success
1997	Saddleback	26	Success for 4 years
1999	North Island Robin	19	Success
2011	Whiteheads	40	Success
2011	Gannet reconlonisation pgm		Success

**2. Site visit with owner if possible to establish ecological baseline and management system**

I visited Moturoa on 24<sup>th</sup> October 2014. Paul Asquith guided me around and we checked-out all the areas proposed for covenant protection. No additional fencing is required for this covenant and all the fencing is a of a standard that is sufficient to keep sheep out of the proposed protected areas.

**3. Establishment of photo-points**

Photopoints can be established after the covenant goes through the acceptance and approval stages. However, it is likely that an historical series of aerial photographs can be assembled from the Northland Regional Council and/or Far North District Council archives. This may be preferable to using photopoints in this case. Photographs from sea may provide the best check of progress in coastal regeneration over the period of this covenant.

**4. Special conditions requested by the owner = nil**

*Yours sincerely*



*Dr Greg Blunden*

**MOTUROA ISLAND GROUP**

Survey no. P05/112  
 Survey date 06 April 1998  
 Grid reference P05 092 658  
 P05 096 656  
 P05 105 650 - Moturoa Island  
 Q05 112 657  
 Area 166 ha  
 Altitude sea level to 82 m

***Ecological unit***

- (a) Kanuka coastal forest on moderate and steep hillslope
- (b) Flax-grass species coastal association on hillslope
- (c) Kanuka/manuka-sweet pea shrubland on steep hillslope

***Landform/geology***

Moturoa Island and P05/096656 and Q05/108657 and Q05/113657 are formed of Torlesse Terrane, greywacke and argillite; P05/091659 and P05/092659 are eroded remnants of a Kerikeri Volcanics basaltic lava flow.

***Vegetation***

Type (a) Kanuka forest is the common canopy cover of the two small atolls off the north western end of Moturoa Island. Pohutukawa, karaka, coastal tussock, coastal astelia, and flax are also present.

Kanuka forest is dominant on the northern side of Moturoa Island. Gorse and tobacco weed are frequent. Pohutukawa, houpara, mamaku, *Pseudopanax* sp., puriri, and towai are occasional. *Pinus* sp. and the sweet pea shrub are also present.

Type (a) also occurs along the southern side of Moturoa island. Other species of scattered occurrence include pohutukawa, houpara, *Pittosporum umbellatum*, hangehange, kohekohe, puriri, kowhai, mamaku, cabbage tree, rengarenga lily, and flax.

The north eastern outlying cluster of islands (Q05 109 657 & 113 657) are also dominated by kanuka. Hangehange, *Coprosma* sp., houpara, and sweet pea shrub are sited infrequently on the stacks and pohutukawa is occasional.

Type (b) The island to the east of the two atolls is sparsely vegetated. Flax and grass species are the most common species. Pohutukawa is frequent and pine occasional.

Type (c) Kanuka/manuka-sweet pea shrub

This association is the common canopy cover on the northern side of the eastern end of Moturoa Island. Bracken, wattle and tobacco weed are frequent in this area. Pohutukawa, flax, and houpara are occasional.

**Significant flora**

*Calystegia marginata* (Vulnerable), *Pittosporum pimeleoides* subsp. *pimeleoides* (Rare).

Tawapou, coastal maire, *Psilotum nudum*. (uncommon); *Cassytha paniculata* (possibly southern limit of natural occurrence - see Cameron 1995).

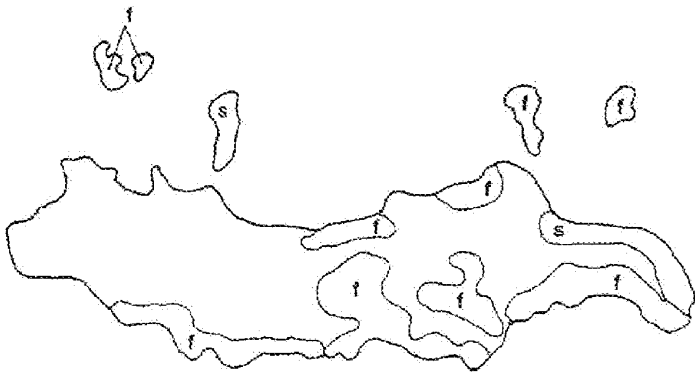
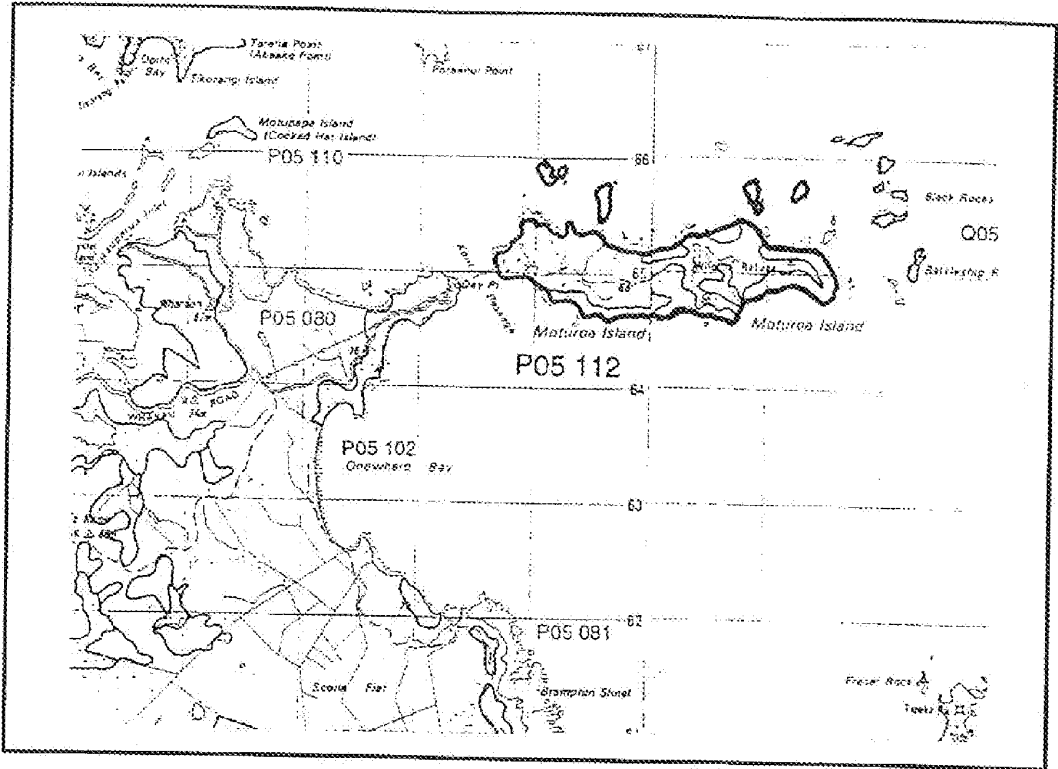


FIGURE 85. NOTUROA ISLAND GROUP, P05/112.  
EACH GRID IS 1000 M x 1000 M AND EQUALS 100 HA.  
s = SHRUBLAND; f = FOREST.

**Fauna**

Reef heron (Category O threatened species), black-backed gull, blue penguin, variable oystercatcher (Category C threatened species), NZ dotterel (Category B threatened species), brown teal (Category C threatened species), white-fronted tern (Category C threatened species), Caspian tern (Category O threatened species), grey-faced petrel, pied shag, little shag, NI brown kiwi (Category A threatened species), morepork, fantail, tui, NZ kingfisher, welcome swallow, grey warbler, silvercye, NI saddleback (Category C threatened species), paradise shelduck, banded rail (regionally significant species), Australasian harrier.

Banded kokopu (Category C threatened species), red-finned bully, long-finned eel

Several native land snail species, mainly *Rhytida* sp.

**Significance**

A representative site for coastal manuka/kanuka and kanuka forest.

The two atolls located at the north western end of Moturoa Island are breeding sites for the threatened reef heron. The western island of the two has records of the white-fronted tern.

The island to the east of the two small atolls is attached to Moturoa Island at low tide and although this island has been severely modified its value would develop with active restoration.

Moturoa Island is an island of outstanding habitat for many threatened fauna and flora species, notably the NI brown kiwi whose populations have been reduced severely over the years and whose conservation is of the highest priority. The threatened NI saddleback was released on to Moturoa Island in 1997. Banded rail are also present on the island. Northland is a stronghold for the banded rail but nationally this bird species does have a limited distribution.

The threatened NZ dotterel, reef heron and Caspian tern have been recorded on the northeastern clusters off the island.

The northeast and northwest clusters are Scenic Reserve administered by the Department of Conservation (9 ha).

Moturoa Island is a Wildlife Refuge - Private Land (157 ha).



## APPENDIX TWO



## Title Plan - LT 486206

Survey Number	LT 486206
Surveyor Reference	8774 Moturoa Island Covenant
Surveyor	Graeme William Kettle
Survey Firm	Thomson Survey Limited
Surveyor Declaration	

### Survey Details

Dataset Description	Covenant on Moturoa Island	Survey Class	Class C
Status	Initiated	Survey Approval Date	
Land District	North Auckland	Deposit Date	
Submitted Date			

### Territorial Authorities

Far North District

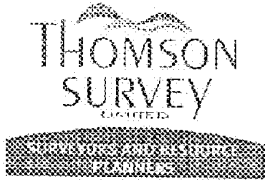
### Comprised In

CT NA42A/1073

### Created Parcels

Parcels	Parcel Intent	Area	CT Reference
Area A Deposited Plan 486206	Land Covenant		
Area B Deposited Plan 486206	Land Covenant		
Area C Deposited Plan 486206	Land Covenant		
Area D Deposited Plan 486206	Land Covenant		
Area E Deposited Plan 486206	Land Covenant		
Area F Deposited Plan 486206	Land Covenant		
<b>Total Area</b>		<b>0.0000 Ha</b>	

Schedule / Memorandum



Plan Number

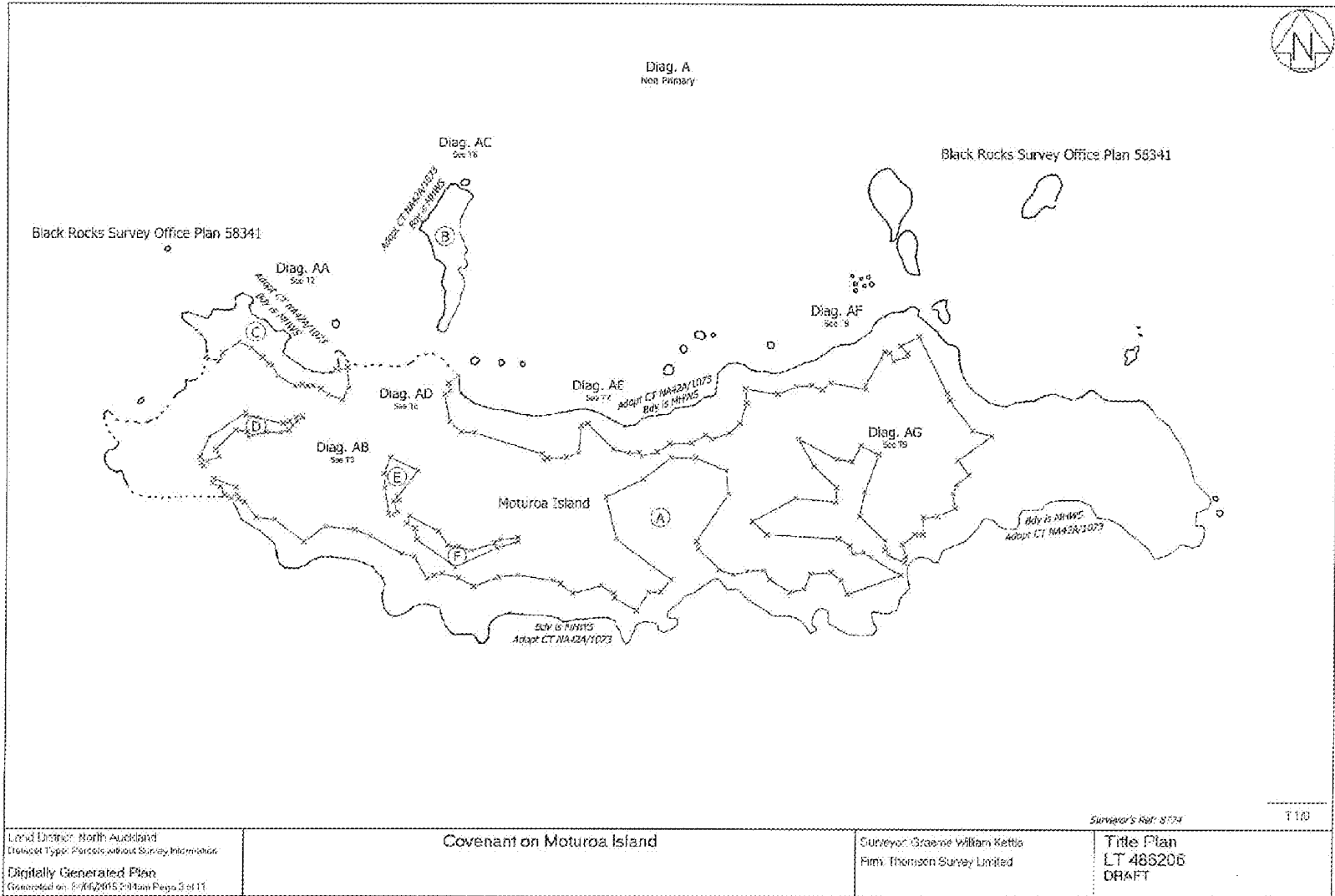
DP 486206

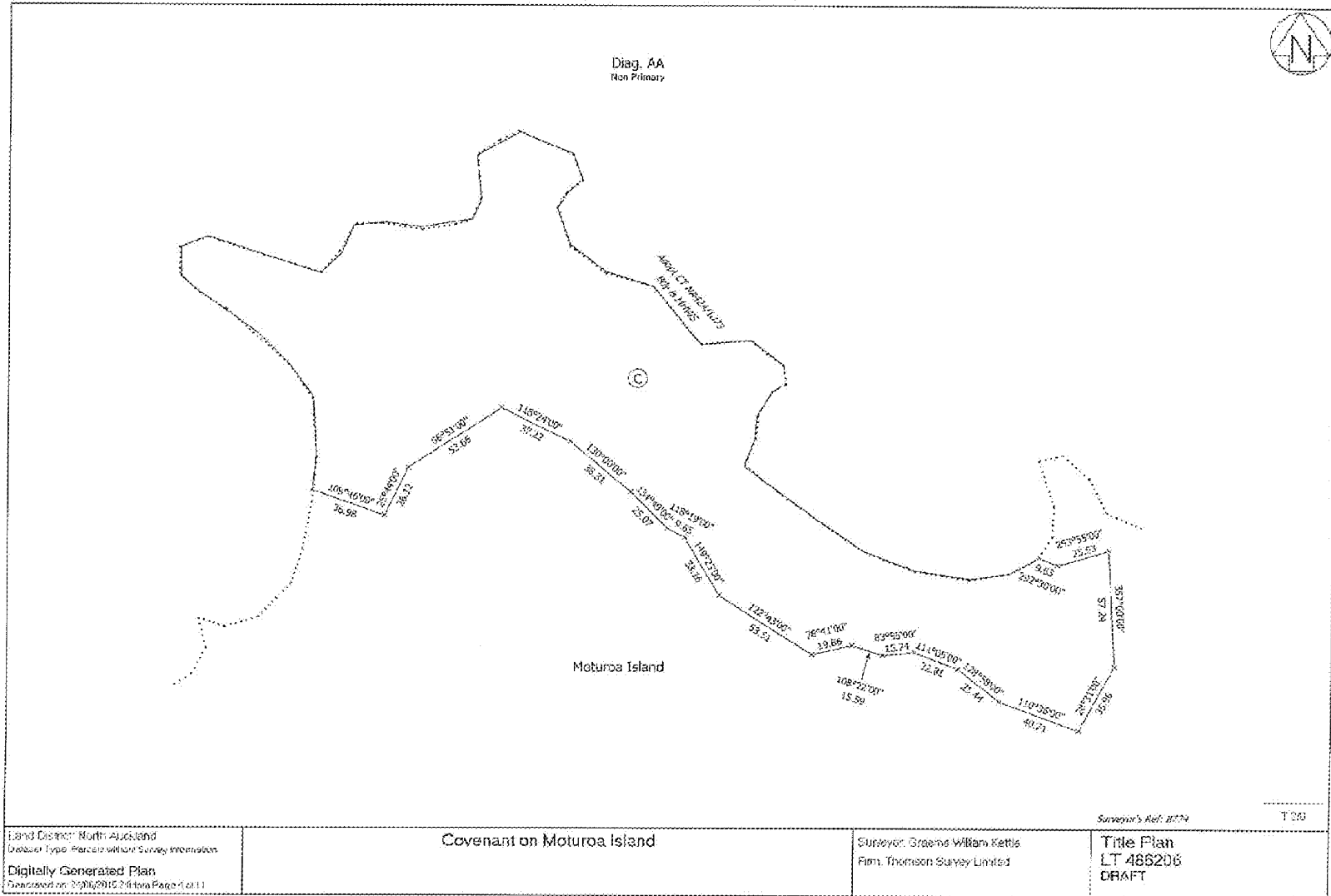
Areas shown as A to F hereon are to be subject to proposed Land Covenants.

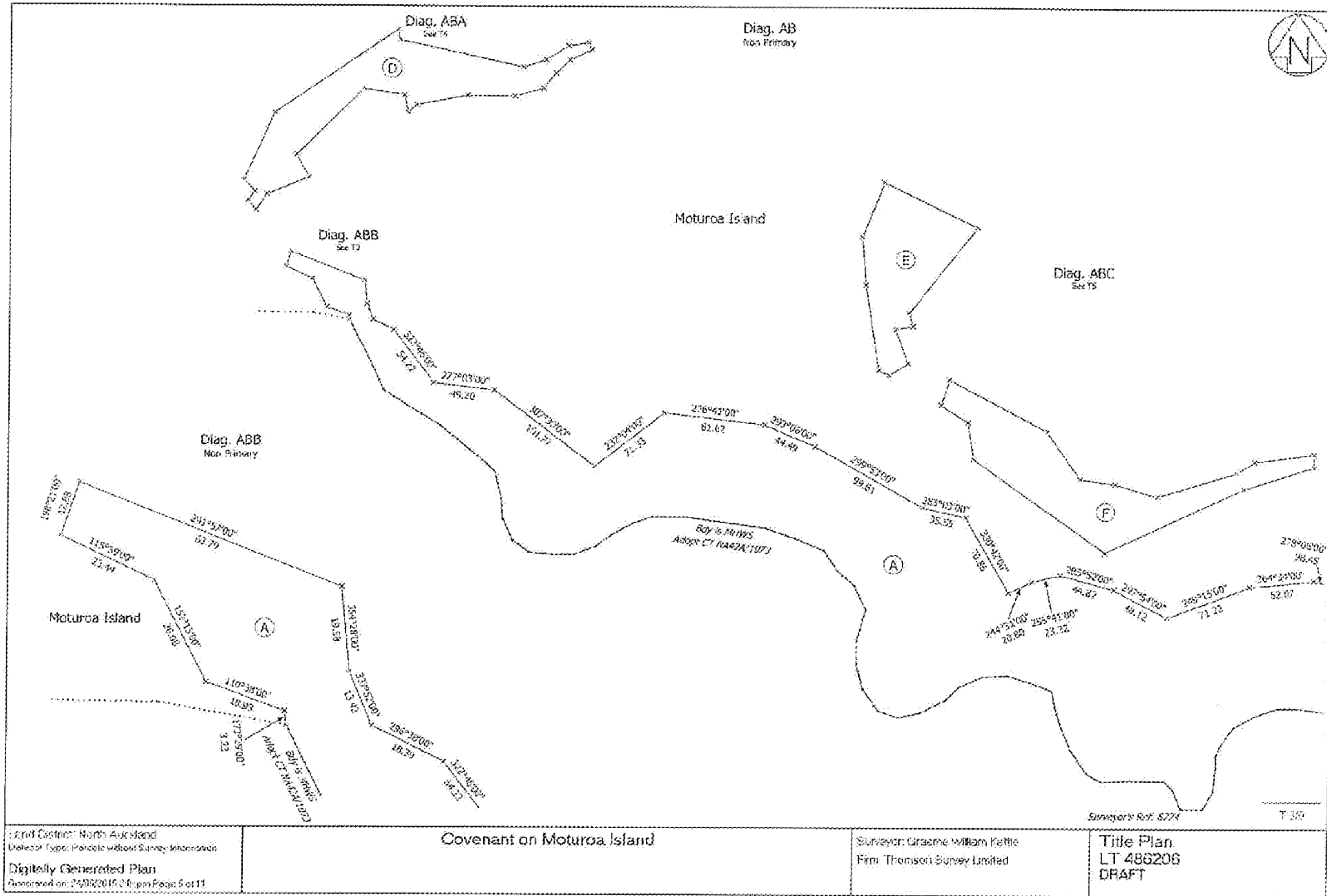
Thomson Survey Ltd  
315 Kerikeri Road, Kerikeri  
P.O. Box 377, Kerikeri 0245, New Zealand.  
Email: Kerikeri@tsurvey.co.nz

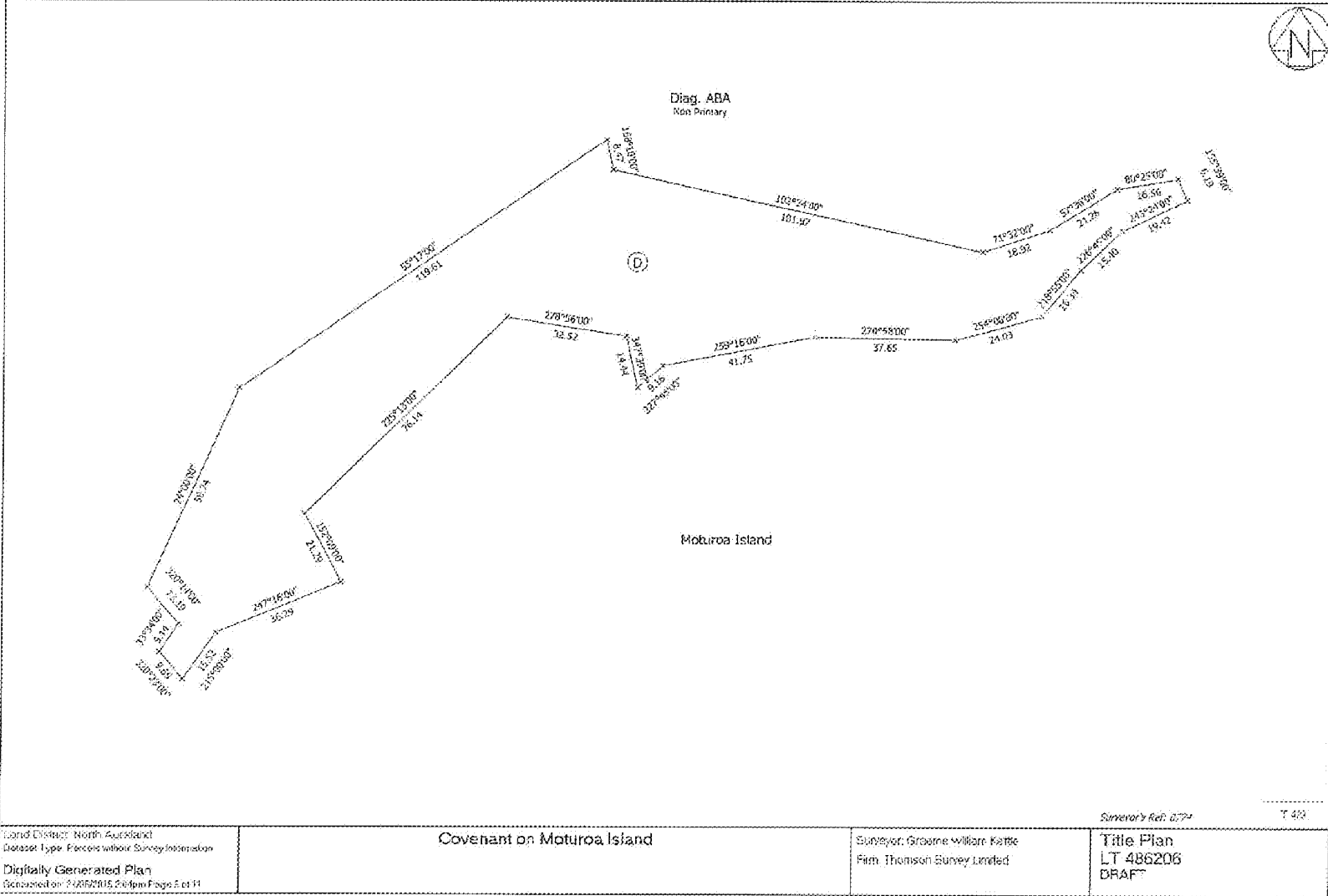
Telephone: 09 4077360  
Facsimile: 09 4077322

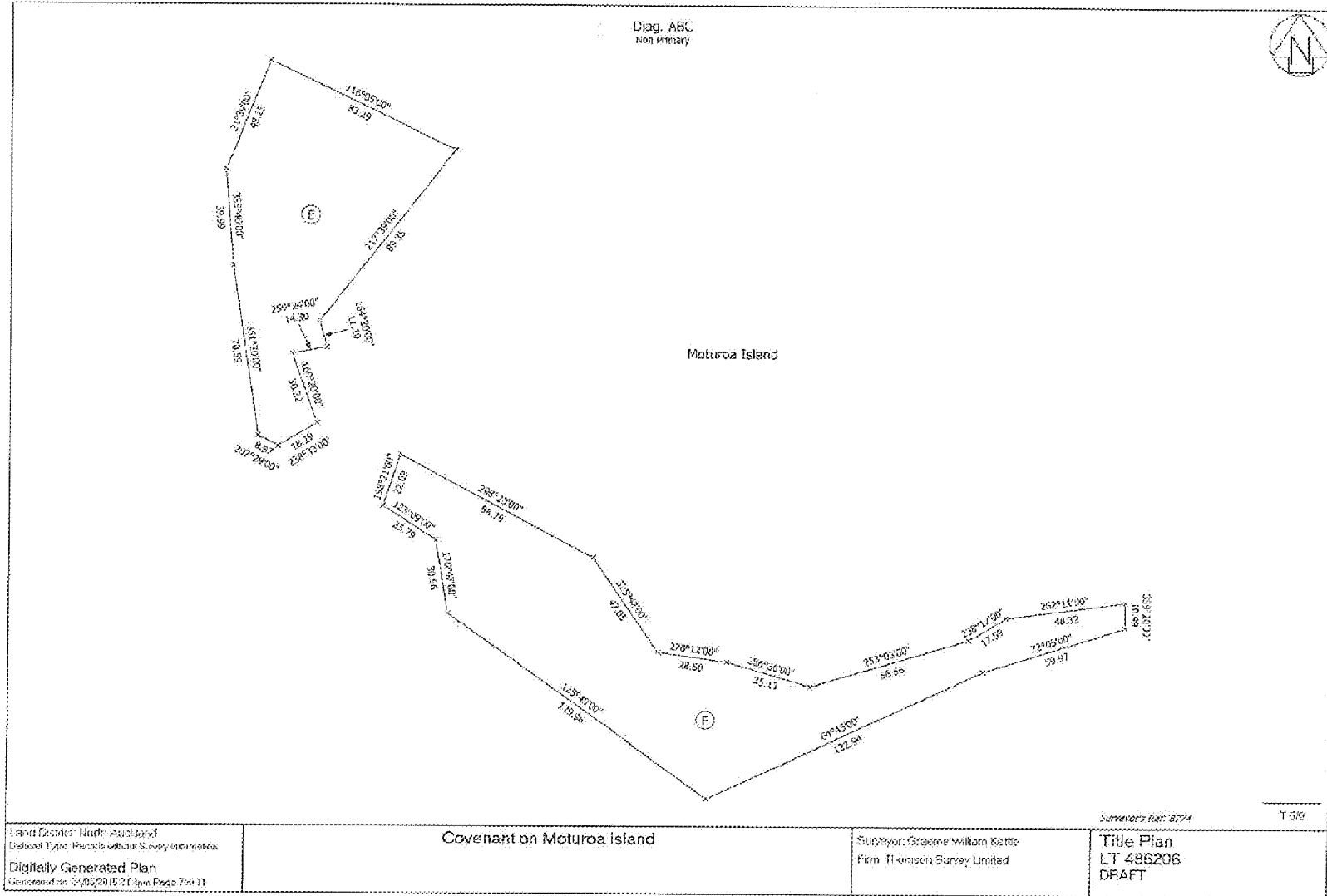
Vertical text on the right edge of the page, possibly a page number or reference code.

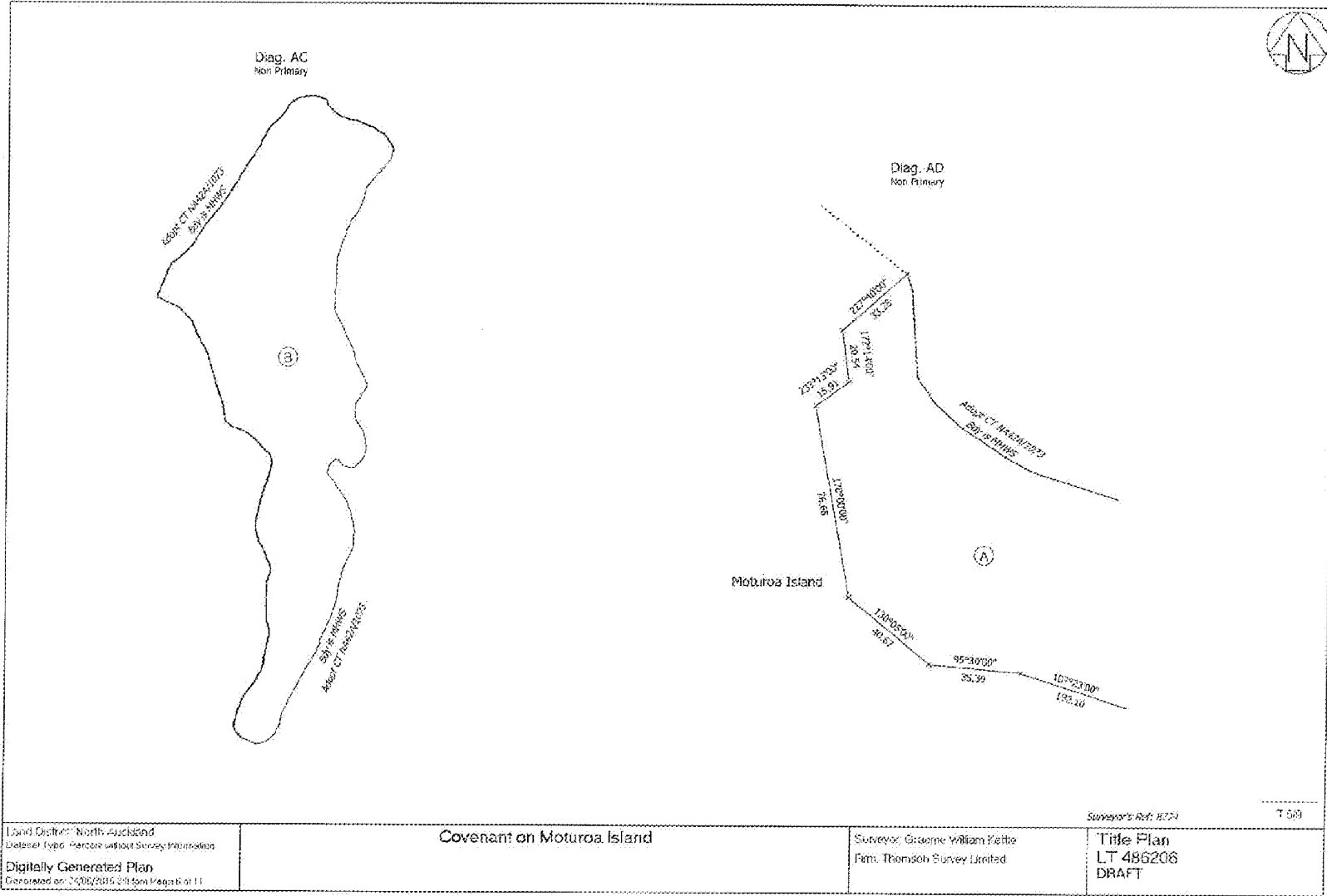




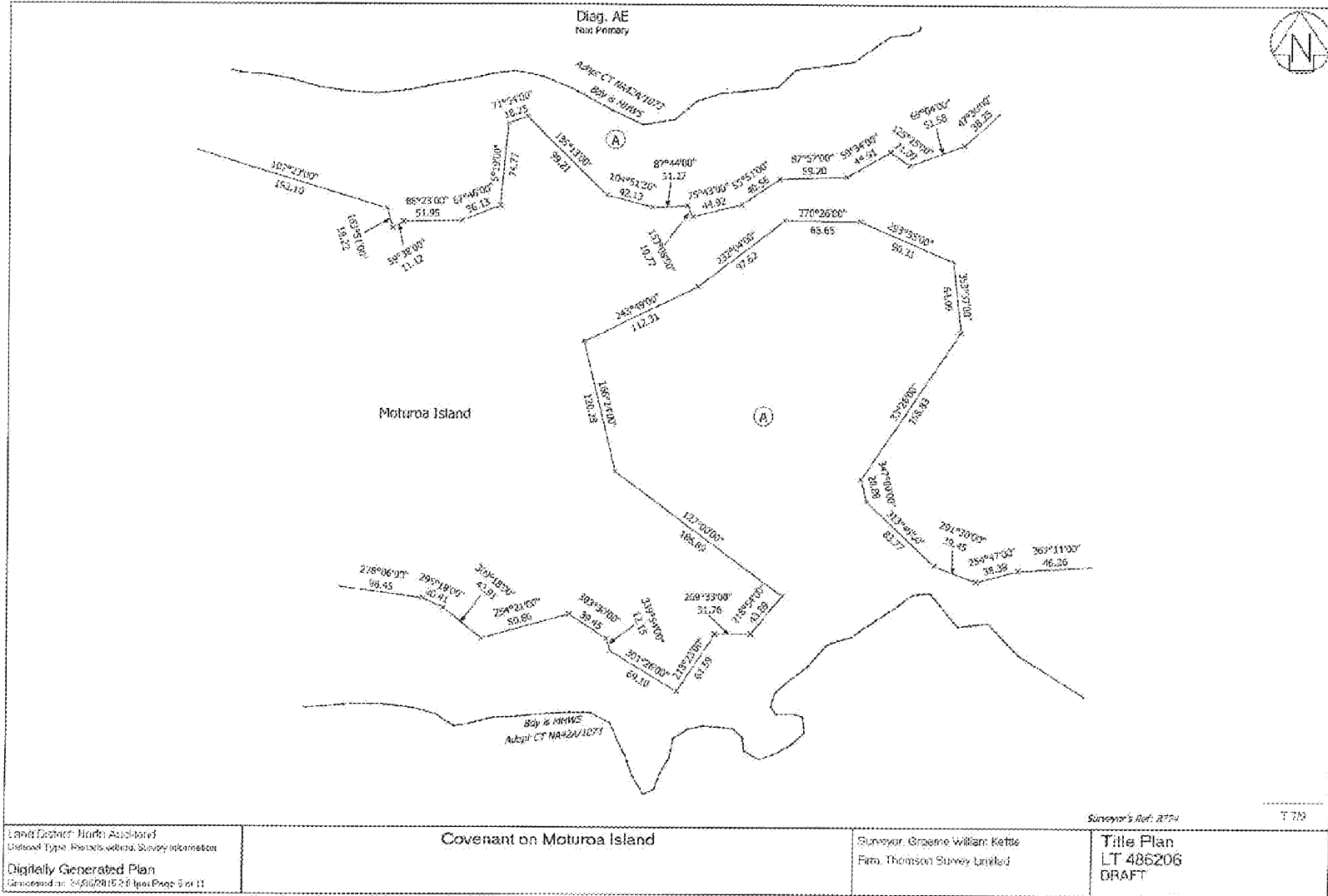


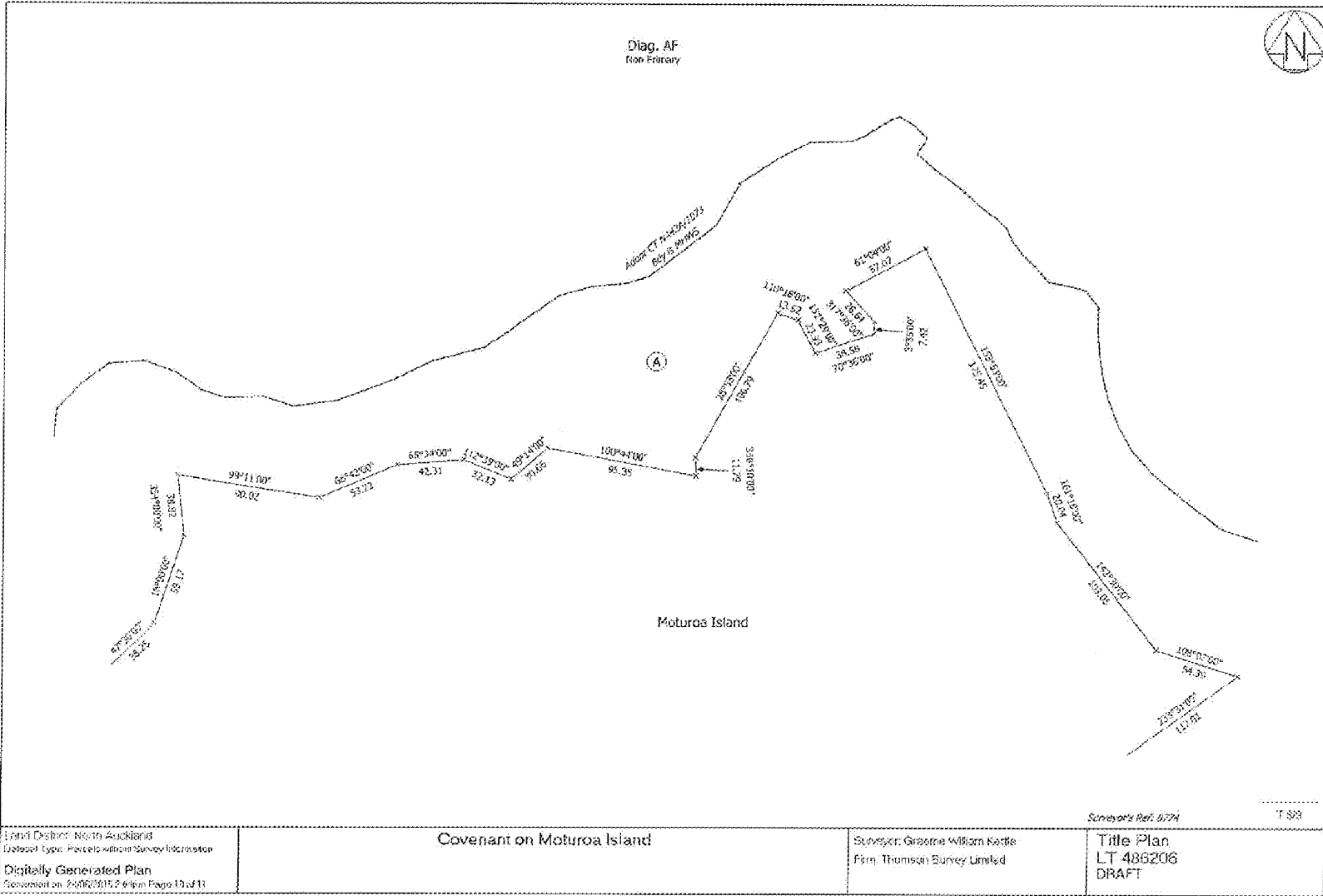




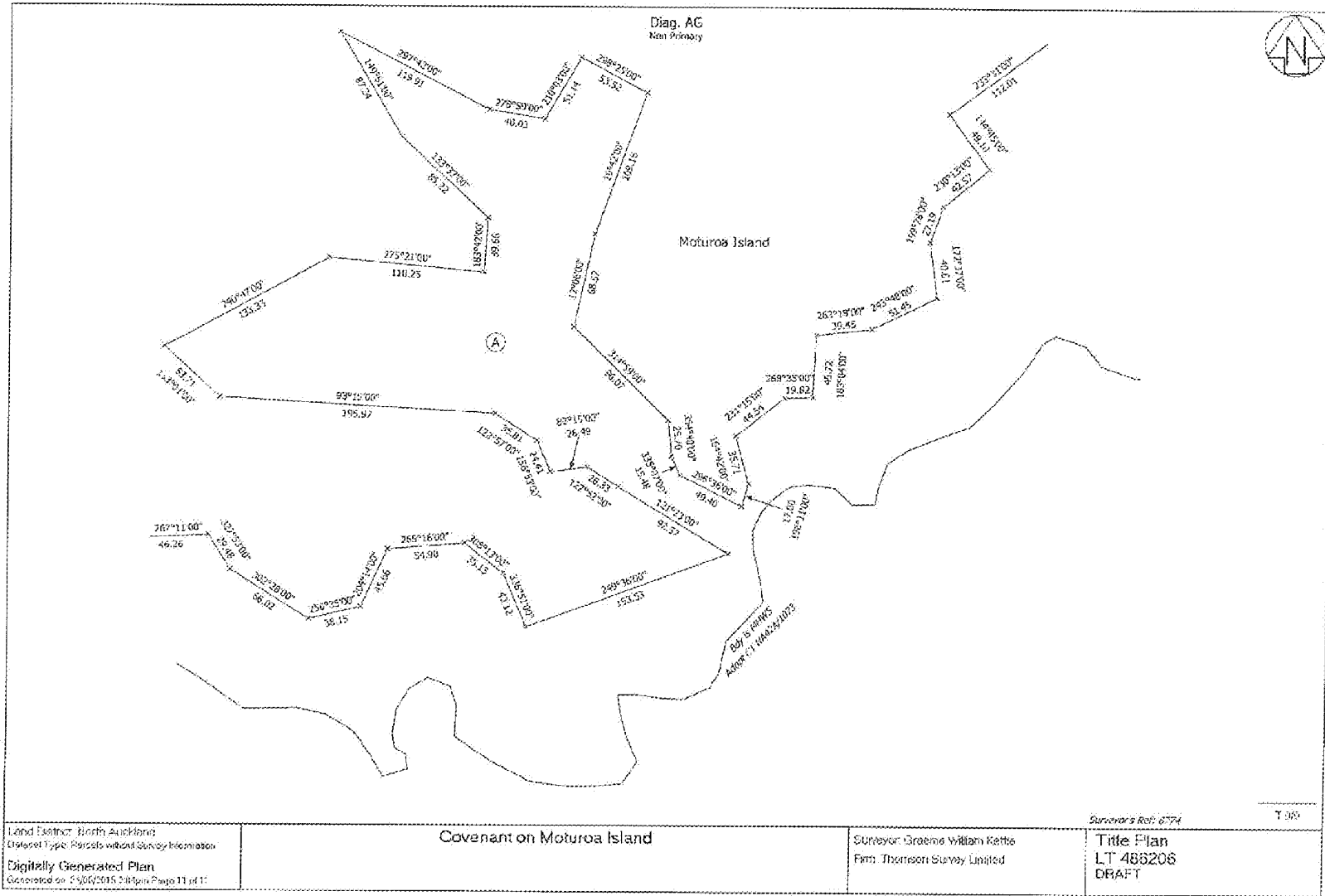








100% 90% 80% 70% 60% 50% 40% 30% 20% 10% 0% 10% 20% 30% 40% 50% 60% 70% 80% 90% 100%



# View Instrument Details



**Instrument No** 9636270.1  
**Status** Registered  
**Date & Time Lodged** 09 April 2014 09:50  
**Lodged By** Hakiwai, Tanya-Marie  
**Instrument Type** Easement Instrument



---

Affected Computer Registers	Land District
NA42A/1073	North Auckland
NA80D/606	North Auckland

---

**Annexure Schedule:** Contains 6 Pages.

---

## Grantor Certifications

- I certify that I have the authority to act for the Grantor and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period
- I certify that the Charge Holder under Statutory Land Charge 8820400.10 has consented to this transaction and I hold that consent, or the Statutory Land Charge does not prevent registration

## Signature

Signed by Christopher Luke Green as Grantor Representative on 09/04/2014 08:59 AM

---

## Grantee Certifications

- I certify that I have the authority to act for the Grantee and that the party has the legal capacity to authorise me to lodge this instrument
- I certify that I have taken reasonable steps to confirm the identity of the person who gave me authority to lodge this instrument
- I certify that any statutory provisions specified by the Registrar for this class of instrument have been complied with or do not apply
- I certify that I hold evidence showing the truth of the certifications I have given and will retain that evidence for the prescribed period

## Signature

Signed by Richard James Beca as Grantee Representative on 10/02/2014 03:58 PM

\*\*\* End of Report \*\*\*

**Form B****Easement instrument to grant easement or *profit à prendre*, or create land covenant**

(Sections 90A and 90F Land Transfer Act 1952)

**Land Registration District**

North Auckland

**Grantor**

James Hendry DOWELL, Hamish Leslie DOWELL and Arthur William YOUNG

**Grantee**

MOTU ROA ISLAND LIMITED

**Grant of Easement or *Profit à prendre* or Creation of Covenant**

**The Grantor** being the registered proprietor of the servient tenement(s) set out in Schedule A **grants to the Grantee** (and, if so stated, in gross) the easement(s) or *profit(s) à prendre* set out in Schedule A, **or creates** the covenant(s) **set out** in Schedule A, with the rights and powers or provisions set out in the Annexure Schedule(s).

**Schedule A***Continue in additional Annexure Schedule, if required*

Purpose (Nature and extent) of easement; <i>profit(s) à prendre</i> or covenant	Shown (plan reference)	Servient Tenement (Computer Register)	Dominant Tenement (Computer Register or in gross)
Right to Convey Electricity	G on Deposited Plan 454936	NA80D/606 (North Auckland Registry)	NA42A/1073 (North Auckland Registry)

**Form B - continued**

**Easements or profits à prendre rights and powers (including terms, covenants and conditions)**

*Delete phrases in [ ] and insert memorandum number as required; continue in additional Annexure Schedule, if required*

Unless otherwise provided below, the rights and powers implied in specified classes of easement are those prescribed by the Land Transfer Regulations 2002 and/or Schedule Five of the Property Law Act 2007

The implied rights and powers are hereby ~~[varied]~~ ~~[negatived]~~ ~~[added to]~~ or ~~[substituted]~~ by:

~~[Memorandum number \_\_\_\_\_, registered under section 155A of the Land Transfer Act 1952]~~

The provisions set out in Annexure Schedule.

**Covenant provisions**

*Delete phrases in [ ] and insert Memorandum number as required; continue in additional Annexure Schedule, if required*

~~The provisions applying to the specified covenants are those set out in:~~

~~[Memorandum number \_\_\_\_\_, registered under section 155A of the Land Transfer Act 1952]~~

~~[Annexure Schedule]~~

## Annexure Schedule

## Insert type of instrument

Easement Dated  Page  of  Pages

**1 Interpretation**

1.1 In this instrument, unless the context otherwise requires:

- (a) *Easement Area* means that/those part(s) of the Servient Land marked on Deposited Plan 454936 with the letter "G";
- (b) *Servient Land* means the land owned by the Grantor and contained in CFR NA80D/606 (North Auckland Registry);
- (c) *Transmission Line* means underground electricity transmission wires and cables and/or conductors of any other kind (including fibre optic or coaxial cables) used or intended to be used for the transmission of electricity and/or telecommunication signals, waves or impulses; and includes any insulators, foundations, casings, tubes, tunnels, minor fixtures and other items, equipment or material used or intended to be used for supporting, securing, enclosing, surrounding and protecting electricity transmission wires and cables and also includes any fuses, fuse holders, automatic switches, voltage regulators, capacitors or other instruments, apparatus or devices used in association with electricity transmission wires and cables and anything in replacement or substitution of any of the foregoing;
- (d) words importing the singular include the plural and vice versa; and
- (e) references to the Grantor and Grantee include their respective heirs, executors, transferees, administrators, successors and assigns.

**2 Grant of easements**

2.1 The Grantor grants to the Grantee a right to convey electricity, telecommunications and computer media through electricity transmission lines and cables under the surface of the easement area at a minimum depth of 1.2 metres with the following rights and powers:

- (a) to convey, send, transmit and transport electricity and telecommunications signals, waves or impulses, without interruption or impediment and in any quantity by means of the Transmission Line;
- (b) to survey, investigate, lay, install and construct the Transmission Line laid under the Easement Area, at a depth and along a line determined by the Grantee;
- (c) to inspect, operate, use, maintain, repair, renew, upgrade, replace, change the size of and remove the Transmission Line;
- (d) with the Grantee's agents, contractors and employees, and with any vehicles, equipment, tools and materials, to enter and remain for a reasonable time on the Servient Land for any purposes necessary or convenient for the Grantee

**Annexure Schedule****Insert type of instrument**

Easement Dated  Page  of  Pages

to exercise its rights under this instrument (including the right to extinguish fires) with the Grantee to give notice of its intention to exercise its rights under this clause unless it is impracticable by reason of an emergency to do so;

- (e) to construct on the Servient Land whatever roads, tracks, access ways, fences, gates and other works are deemed necessary by the Grantee for it to exercise its rights under this instrument and which are approved by the Grantor; and
- (f) to keep the Easement Area cleared of all fences, trees and vegetation where such items:
  - (i) breach any statutory or regulatory requirements or standards or codes of practice or otherwise breach generally accepted engineering standards as to the minimum clearance of the Transmission Line;
  - (ii) impede the exercise by the Grantee of its rights under this instrument or the Grantee's access over the Servient Land or the Easement Area or to the Transmission Line; or
  - (iii) inhibit the safe and efficient operation of the Transmission Line.

2.2 The Grantee has no obligation to construct the Transmission Line or convey electricity through it continuously or at all.

### 3 **Ownership of the Transmission Line**

The Transmission Line will at all times remain the property of the Grantee.

### 4 **Restrictions on Grantee's use**

4.1 The Grantee must, in exercising its rights under this Instrument, cause as little disturbance as is reasonably possible to the Grantor, the Servient Land and the Grantor's stock and other property and must ensure that, where applicable, all gates on the Servient Land are left as the Grantee finds them.

4.2 The Grantee must restore any part of the surface of the Servient Land that is affected by the Grantee exercising any of its rights under this instrument to a condition equivalent, as far as reasonably practicable, to that existing before the Grantee exercised those rights.

### 5 **Grantor's Continued Use of Servient Land**

Subject to clause 6, the Grantor may use the Servient Land as long as that use does not unreasonably interfere with the enjoyment of the Grantee's rights and interests granted under this instrument.



## Annexure Schedule

## Insert type of instrument

Easement Dated  Page  of  Pages

**6 Restrictions on Grantor's use**

- 6.1 The Grantor must not do or allow any act which may interfere with or affect the rights of the Grantee or the operation of the Transmission Line and, in particular, the Grantor must not, without the consent in writing of the Grantee:
- (a) on the Easement Area, or within the minimum distance from the Transmission Line as advised by the Grantee (having regard to relevant statutory or regulatory requirements codes of practice and engineering standards applicable from time to time), erect or permit the erection of any buildings or structures, or alter or allow to be altered the overall dimensions of existing buildings or structures, or carry out any earthworks or stockpiling, or construct or permit the construction of any roads, dams, walls or driveways, or allow any vegetation to become established, or remove or permit the removal of any soil, sand, gravel or other substance;
  - (b) disturb the soil of the easement area below the depth of 0.3 metres;
  - (c) cause flooding of the Easement Area;
  - (d) burn off crops, trees or undergrowth on the Servient Land;
  - (e) operate or permit to be operated any machinery or equipment (including any cranes, drilling-rigs, pile-drivers and excavators) within the Easement Area in close proximity to any part of the Transmission Line;
  - (f) disturb any survey pegs or markers placed on the Easement Area by the Grantee;
  - (g) impede the Grantee's access over the Servient Land or the Easement Area or to the Transmission Line where such access was exercised in terms of the grants contained in this instrument; and
  - (h) do anything on or in the Easement Area which would or could damage or endanger the Transmission Line.
- 6.2 The consent of the Grantee required under clause 6.1 will not be unreasonably withheld, but may be given subject to reasonable conditions. By way of example, but not in limitation, the Grantee will provide its consent to the Grantor spreading gravel on the existing driveway and spreading such gravel with machinery.
- 6.3 Before exercising any right under this instrument to remove a fence, the Grantee must consult with the Grantor so the Grantor is given a reasonable opportunity to co-ordinate the erection of any necessary replacement fence. The cost of any replacement fence will be borne by the Grantee and the Grantee must comply with any reasonable directions of the Grantor as to the height, materials used and location of such replacement fence.

## Annexure Schedule

## Insert type of instrument

Easement Dated  Page  of  Pages

6.4 If the Grantor does not meet its obligations under this instrument within such reasonable timeframe as is specified in a notice from the Grantee requiring it to do so then the Grantee may meet those obligations (and enter the Servient Land for that purpose) and the Grantor is liable to pay to the Grantee the costs incurred in doing so.

7 **Indemnity**

During the Term of this Easement, the Grantee will indemnify and keep indemnified the Grantor against all claims, proceedings, losses, damages, costs and other liabilities of any nature, direct or indirect, for which the Grantor may become liable and caused by any act or omission of the Grantee on the Land and whether permitted by the Easement Instrument or not to the extent that the Grantor has not caused or contributed to the event.

8 **Licence and assignment**

The Grantee may assign, licence or otherwise grant any right of all or any part of any estate or interest conferred by this instrument provided that such assignee, grantee or licensee is bound by and subject to the terms of this instrument.

9 **Perpetual easement**

There is no power implied in this instrument for the Grantor to terminate the easement for any breach of this instrument or for any other reason. It is the intention of the parties that the easement created by this instrument will continue forever unless surrendered.

10 **Arbitration**

If any dispute arises between the parties in relation to this instrument or any matter arising under it and that dispute cannot be resolved by negotiation, then the parties must submit the dispute to arbitration in accordance with the Arbitration Act 1996 (and its amendments or any statute which replaces it). The arbitration will be commenced by either party giving written notice to the other of the details of the dispute and that party's desire to have the matter referred to arbitration. The arbitration will be by one arbitrator, if the parties can agree upon one, and, if not, then by two arbitrators, one to be appointed by each party, and their umpire to be appointed by the arbitrators before they begin to consider the dispute. The award in the arbitration will be final and binding on the parties.

11 **Trustee limitation of liability**

The liability of Arthur William Young under or in connection with this Easement (including liability for negligence) will be limited to the assets of the JH Dowell Trust which are, or but for any breach of trust would be, for the time being in Arthur William Young's hands as trustee.

NOTICE OF LAND CHARGE FOR POSTPONED RATES

**SLC 10314848.1 Statutor**

Cpy - 01/03, Pgs - 003, 22/01/16, 09:41



DocID: 516260951

TO: Land Information New Zealand

TAKE NOTICE that the land hereinafter described is subject to a charge on account of the total amount of rates from time to time payable to the Far North District Council, the payment of which has been postponed by the local authority pursuant to Section 87 & 90 of the Local Government (Rating) Act 2002 and that you are hereby required to register the charge.

DESCRIPTION OF LAND AFFECTED BY CHARGE:

Name of Registered Proprietor: **Moturoa Island Limited**  
Situation of Land: **Moturoa Island, Moturoa Island, Paihia 0271**  
Area of Land: **146.9919 hectares more or less**  
Legal Description of Land: **Moturoa Island**  
Computer Freehold Register No: **NA42A/1073**

**Postponement of rates on land subject to protection for outstanding landscape, cultural, historic or ecological purposes (policy # P04/01)**

**Termination and repayment of postponed rates**

1. The repayment of postponed rates will not be required merely because of a change of ownership of the land provided that the land continues to comply with the criteria.
2. Council will not seek repayment of postponed rates where future postponement is revoked due to Council changing its criteria for postponement.
3. At the conclusion of the 10 year term, the rates for the first year of the covenant period will be remitted together with all charges for that year. In subsequent years, an additional year of the postponed rates will be remitted so that at any time there is a maximum of 10 years of postponed rates held against that rate account.
4. If, at the conclusion of the 10 year term, the owner does not renew the covenant or other agreement for a further term, the postponement will cease to apply to the land in respect of future rates. Any rates that are postponed against the land at that time will not become payable unless the land ceases to comply with the criteria as set out in 5 below.
5. If the land ceases to comply with the criteria set out in the covenant or other agreement, due to a change in use or action by the ratepayer(s), all postponed rates that have not been otherwise remitted, will become immediately due and payable.

**DATED** at Kaikohe this 20<sup>th</sup> day of **January** 2016.

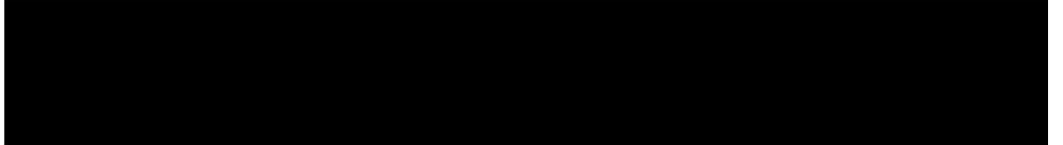
SIGNED for and on behalf of the  
FAR NORTH DISTRICT COUNCIL

By:



**COLIN DALE,**  
Acting Chief Executive Officer

Witnessed By:



Witness Occupation:

Witness Address: C/- Far North District Council  
Private Bag 752  
Memorial Avenue  
Kaikohe 0440

## MANUAL DEALING LODGEMENT FORM

Landonline Firm Code: wmatene001

LODGING FIRM: Far North District Council

Private Individual: \_\_\_\_\_

Address: Private Bag 752

Kaikohe 0440

Phone: (09) 401 5366 DDI

ASSOCIATED FIRM: \_\_\_\_\_

Client Code / Ref: Charge: farndcfau

Contract Date: \_\_\_\_\_

Tax Statement included

Dealing/SUD Number:  
(LINZ use only)

Priority Barcode/Date Stamp  
(LINZ use only)

Plan Number Pre-Allocated or  
to be Deposited: \_\_\_\_\_

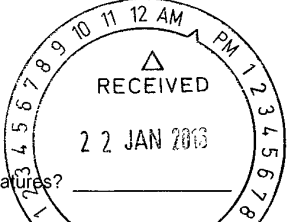
Rejected Dealing Number: \_\_\_\_\_

**SLC 10314848.1 Statutor**

Cpy - 03/03.Pgs - 003.22/01/16.09:41

**Copies**  
**(inc. original)**

DocID: 516260951

Priority Order	CT Ref	Type of Instrument	Names of Parties	Document Fees	Resubmission	Notices	Priority Capture*	FEES \$ GST INCLUSIVE	
1	NA42A/1073	SLC	Moturoa Island Limited	\$0.00					
2				\$0.00					
3				\$0.00					
4				\$0.00					
Land Information New Zealand Manual Dealing Lodgement Form  Fees Receipt and Tax Invoice  GST Registered Number 17-022-895  LINZ Form P005 September 2015				Annotations (LINZ use only).    Original Signatures? _____			Subtotal <b>\$0.00</b>  Total for this dealing <b>\$0.00</b>  Less fees paid on Dealing # _____ Debit my Landonline account for <small>(Only available for Landonline customers)</small> <b>or Cash / Cheque enclosed for</b> <b>\$0.00</b> <small>(Only pay in cash if depositing in drop box at a LINZ processing centre)</small> <b>or Eft-pos payment due for</b> <small>(Eft-pos only available if lodging the dealing in person at a LINZ processing centre)</small>		

\* Making a priority lodgement ensures the lodgement is entered into the LINZ work queue at the time and date it was handed over at the counter. Priority does not provide urgency in processing the dealing. For further details please reference the manual dealing user guide.



# Landuse Consent

Construction of a Boat Shed

Moturoa Island, Bay of Islands

Assessment of Environmental Effects and Statutory Analysis

6 December 2023

**B&A**

Urban & Environmental

Prepared for:  
Geoff Harnett

**B&A Reference:**

WNG20439

**Status:**

Final Revision

**Date:**

6 December 2023

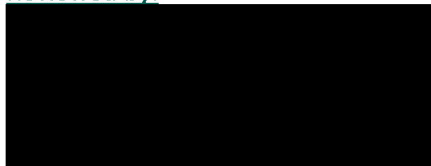
**Prepared by:**



**Shauna Huddart**

Planner, Barker & Associates Limited

**Reviewed by:**



**Sarah Trinder**

Associate, Barker & Associates Limited

# Contents

---

<b>1.0</b>	<b>Applicant and Property Details</b>	<b>5</b>
<b>2.0</b>	<b>Background</b>	<b>6</b>
2.1	Moturoa Island Board Committee Consultation	6
<b>3.0</b>	<b>Site Context</b>	<b>6</b>
3.1	Site Description and Locality	6
<b>4.0</b>	<b>Proposal</b>	<b>8</b>
<b>5.0</b>	<b>Reasons for Consent</b>	<b>8</b>
5.1	Operative Far North District Plan	8
5.2	Activity Status	8
<b>6.0</b>	<b>Public Notification Assessment (Sections 95A, 95C and 95D)</b>	<b>8</b>
6.1	Assessment of Steps 1 to 4 (Sections 95A)	8
6.2	Public Notification Conclusion	9
<b>7.0</b>	<b>Limited Notification Assessment (Sections 95B, 95E to 95G)</b>	<b>10</b>
7.1	Assessment of Steps 1 to 4 (Sections 95B)	10
7.2	Limited Notification Conclusion	10
<b>8.0</b>	<b>Consideration of Applications (Section 104)</b>	<b>11</b>
8.1	Statutory Matters	11
8.2	Weighting of Proposed Plan Changes: Far North District Plan	11
<b>9.0</b>	<b>Effects on the Environment (Section 104(1)(A))</b>	<b>11</b>
9.1	Positive Effects	11
9.2	Visual Amenity Effects	11
9.3	Effects Summary	12
<b>10.0</b>	<b>District Plan and Statutory Documents (Section 104(1)(B))</b>	<b>13</b>
10.1	Objectives and Policies of the Operative Far North District Plan	13
10.2	Objectives and Policies of the Proposed Far North District Plan	13
10.3	Summary	15
<b>11.0</b>	<b>Matters of Control</b>	<b>15</b>
<b>12.0</b>	<b>Part 2 Matters</b>	<b>16</b>
<b>13.0</b>	<b>Other Matters (Section 104(1)(C))</b>	<b>17</b>
13.1	Record of Title Interests	17
<b>14.0</b>	<b>Conclusion</b>	<b>17</b>



## Appendices

---

- Appendix 1: Record of Title and Interests
- Appendix 2: Shed Plans
- Appendix 3: Shed Site Plan
- Appendix 4: ODP Rules Assessment
- Appendix 5: PDP Rules Assessment
- Appendix 6: Moturoa Island Approval

## 1.0 Applicant and Property Details

---

To:	Far North District Council
Site Address:	Moturoa Island, Bay of Islands
Applicant Name:	Geoff Harnett
Address for Service:	Barker & Associates Ltd PO Box 414, Kerikeri 0230 Level 1, 62 Kerikeri Road Kerikeri 0230 Attention: Shauna Huddart
Legal Description:	Moturoa Island (NA42A/1073) (refer to Record of Title as <b>Appendix 1</b> )
Site Area:	146.9919ha
Site Owner:	Motu Roa Island Limited
District Plan:	Operative Far North District Plan 'ODP' Proposed Far North District Plan 'PDP'
Zoning:	<b>ODP:</b> Moturoa Island <b>PDP:</b> Moturoa Island
Overlays & Controls:	<b>ODP:</b> None <b>PDP:</b> Coastal Environment, Outstanding Natural Landscape '36' and High Natural Character '307', '309', '312', '313' and '318'.
Designations:	None
Additional Limitations:	None
Locality Diagram:	Refer to <b>Figure 1</b> and <b>Appendix 2</b>
Brief Description of Proposal:	It is proposed to construct a new boat shed on Moturoa Island that will have a GFA of 90m <sup>2</sup> .
Summary of Reasons for Consent:	<b>ODP:</b> Resource consent as a <b>Controlled Activity</b> is required pursuant to Rule 18.1.6.1.3 Visual Amenity.

## 2.0 Background

---

Barker and Associates (**B&A**) have been engaged by Geoff Harnett to prepare a land use application to Far North District Council (**FNDC**) on his behalf. Our client seeks to establish a new boat shed within the application site located at Moturoa Island. The proposed shed is in keeping with the nature of the surrounding environment.

This Assessment of Environmental Effects (**AEE**) has been prepared in accordance with the requirements of Section 88 and Schedule 4 of the Resource Management Act 1991 (**RMA**) and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual and potential effects the proposal may have on the environment.

### 2.1 Moturoa Island Board Committee Consultation

---

Moturoa Island is held in a company ownership Motu Roa Island Limited that was established in 1968. Motu Roa Island Limited has a board of directors, wildlife committee and building committee that steward the island. They also employ farm managers to maintain the working sheep farm and caretakers that manage pests and weeds plus maintain infrastructure such as fencing and shared facilities.

Each shareholder of the Island has an attached right to their shareholding to build a dwelling in a pre-selected location plus erect a boat shed nearer to the boat ramp. All buildings are subject to the design approval of the building committee. Prior to lodging this application, the Applicant provided the Committee with the proposed shed plans, site plan and AEE and it was approved by the Board. Please refer to **Appendix 6** for approval.

## 3.0 Site Context

---

### 3.1 Site Description and Locality

---

The location of which the proposed shed (**shed site**) is to be built is shaded red in **Figure 1** below. The shed site is located approximately 160m north of the jetty on the south western portion of the island amongst the existing boat and storage sheds.

The shed site is relatively flat as shown in **Figure 2** below. As mentioned above, the immediate surrounding area of the shed site comprises existing boat and storage sheds (refer to **Figure 3** below) which comprise the same design of the proposed shed.

Moturoa Island is privately owned by approximately 24 shareholders, there is an island committee board that approve both shed and house plans (the committee approval for the shed plans and location is included as **Appendix 6**). The island is located between Paihia, Russell and Kerikeri, approximately a 20-minute boat ride away.



**Figure 1: Locality plan. Source: Emap**



**Figure 2: Shed Site location. Photo taken 18/10/2023.**



**Figure 3: Immediate surrounding area of the shed site. Photo taken 18/10/2023.**

## 4.0 Proposal

---

It is proposed to construct a new 90m<sup>2</sup> shed for the purposes of boat storage and building supplies.

## 5.0 Reasons for Consent

---

A rules assessment against the provisions of the Operative Far North District Plan (ODP) is attached as **Appendix 4**.

A rules assessment against the rules in the Proposed Far North District Plan (PDP) that have immediate legal effects are included as **Appendix 5**.

The site is zoned as Moturoa Island under both the ODP and PDP. The proposal requires consent for the matters outlined below.

### 5.1 Operative Far North District Plan

---

#### Special Areas – Moturoa Island

- **18.1.6.1.3 Visual Amenity:** the proposed shed will have a gross floor area (GFA) of 90m<sup>2</sup>, infringing the permitted GFA of 25m<sup>2</sup> by 65m<sup>2</sup>.

### 5.2 Activity Status

---

Overall, this application is for a **controlled activity**.

## 6.0 Public Notification Assessment (Sections 95A, 95C and 95D)

---

### 6.1 Assessment of Steps 1 to 4 (Sections 95A)

---

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

#### 6.1.1 Step 1: Mandatory public notification is required in certain circumstances

Step 1 requires public notification where this is requested by the applicant; or the application is made jointly with an application to exchange of recreation reserved land under section 15AA of the Reserves Act 1977.

The above does not apply to the proposal.

#### 6.1.2 Step 2: If not required by step 1, public notification precluded in certain circumstances.

Step 2 describes that public notification is precluded where all applicable rules and national environmental standards preclude public notification; or where the application is for a controlled activity; or a restricted discretionary, discretionary or non-complying boundary activity.

In this case, the proposal is a controlled activity or a boundary activity. Therefore, public notification is precluded.

### 6.1.3 Step 3: If not required by step 2, public notification required in certain circumstances.

Step 3 describes that where public notification is not precluded by step 2, it is required if the applicable rules or national environmental standards require public notification, or if the activity is likely to have adverse effects on the environment that are more than minor.

As noted under step 2 above, public notification is precluded, and an assessment under section 95A is not required.

### 6.1.4 Step 4: Public notification in special circumstances

If an application is not required to be publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified.

Special circumstances are those that are:

- Exceptional or unusual, but something less than extraordinary; or
- Outside of the common run of applications of this nature; or
- Circumstances which make notification desirable, notwithstanding the conclusion that the adverse effects will be no more than minor.

It is considered that there is nothing noteworthy about the proposal, the shed is proposed to be built in an area that anticipates this kind of development and activity. It is therefore considered that the application cannot be described as being out of the ordinary or giving rise to special circumstances.

## 6.2 Public Notification Conclusion

---

Having undertaken the section 95A public notification tests, the following conclusions are reached:

- Under step 1, public notification is not mandatory;
- Under step 2, public notification is precluded;
- Step 3, does not apply as public notification is precluded under Step 2; and
- Under step 4, there are no special circumstances.

Therefore, this application is not required to be publicly notified.

## 7.0 Limited Notification Assessment (Sections 95B, 95E to 95G)

---

### 7.1 Assessment of Steps 1 to 4 (Sections 95B)

---

If the application is not publicly notified under section 95A, the council must follow the steps set out in section 95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

#### 7.1.1 Step 1: Certain affected protected customary rights groups must be notified

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups; or affected persons under a statutory acknowledgement affecting the land.

The above does not apply to this proposal.

#### 7.1.2 Step 1: Certain affected protected customary rights groups must be notified

Step 2 describes that limited notification is precluded where all applicable rules and national environmental standards preclude limited notification; or the application is for a controlled activity (other than the subdivision of land).

In this case, the proposal is a controlled activity (other than the subdivision of land). Therefore, limited notification is precluded.

#### 7.1.3 Step 3: If not precluded by step 2, certain other affected persons must be notified

Step 3 requires that, where limited notification is not precluded under step 2 above, a determination must be made as to whether any of the following persons are affected persons:

- In the case of a boundary activity, an owner of an allotment with an infringed boundary;
- In the case of any other activity, a person affected in accordance with s95E.

As outlined above, notification is precluded by step 2, and therefore step 3 is irrelevant.

#### 7.1.4 Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

In this instance, having regard to the assessment in section 6.1.4 above, it is considered that special circumstances do not apply.

### 7.2 Limited Notification Conclusion

---

Having undertaken the section 95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory;

- Under step 2, limited notification is precluded;
- As notification is precluded under step 2, step 3 is irrelevant; and
- Under step 4, there are no special circumstances.

Therefore, it is recommended that this application be processed without limited notification.

## 8.0 Consideration of Applications (Section 104)

---

### 8.1 Statutory Matters

---

Subject to Part 2 of the Act, when considering an application for resource consent and any submissions received, a council must, in accordance with section 104(1) of the Act have regard to:

- Any actual and potential effects on the environment of allowing the activity;
- Any relevant provisions of a national environmental standard, other regulations, national policy statement, a New Zealand coastal policy statement, a regional policy statement or proposed regional policy statement; a plan or proposed plan; and
- Any other matter a council considers relevant and reasonably necessary to determine the application.

As a controlled activity, section 104A of the Act states that a council:

- (a) must grant the resource consent, unless it has insufficient information to determine whether or not the activity is a controlled activity; and
- (b) may impose conditions on the consent under section 108 only for those matters over which it has reserved its control in its plan.

### 8.2 Weighting of Proposed Plan Changes: Far North District Plan

---

On the 27th July 2022 Far North District Council (**FNDC**) notified their Proposed District Plan (**PDP**). At the time of preparing this AEE, only rules identified as having immediate legal effect have been considered. This will remain the case until FNDC releases a decision on the PDP (this will occur once hearings have been completed).

## 9.0 Effects on the Environment (Section 104(1)(A))

---

### 9.1 Positive Effects

---

The proposal will result in positive effects including the Applicant being able to utilise the shed for storage purposes.

### 9.2 Visual Amenity Effects

---

As mentioned in Section 3 above, the immediate existing environment comprises existing boat and storage sheds. The proposed shed is in keeping with the character and scale of existing buildings



within the surrounding environment and can comply with all the required provisions apart from the GFA of the shed.

As shown in **Figure 2** above, the new proposed shed is situated along a fence that is lined with various bush, trees and plants species that will help soften any adverse amenity views when viewed from the ocean. It is considered that the design of the proposed shed is of a similar nature of the existing environment (refer to **Figure 4** below).



**Figure 4: Existing sheds that are the same design as the proposed shed. Refer to Appendix 2 for full set of shed plans. Photo taken 18/10/2023.**

The proposed shed has been reviewed by the building committee and its location selected to mitigate environmental effects. The selected location has been chosen for several reasons. It is set back from the waterline to a considerable distance and screened by existing agricultural sheds and various vegetation, this is to mitigate any visual effects from the coastline. The building finishes have been selected as Karaka Green corrugate iron coloursteel. This is so the building sits well in the environment adjacent to natural plantings and buildings.

The site location selected is away from any ridgelines and screened from coastal sightlines. Building materials have been chosen to mitigate visual effects on the island and ensure the building sits well alongside the other agricultural style buildings.

Taking into account the above, it is considered that any adverse effects would not be noticeable in the wider environment, and therefore will be less than minor.

### 9.3 Effects Summary

---

Having regard to the actual and potential effects on the environment of the activity resulting from the proposal, it was concluded in the assessment above that any adverse effects relating to the proposal will be less than minor.

Further, it is considered that the proposal will also result in significant positive effects as mentioned above. Overall, it is considered that when taking into account the positive effects, any actual and potential adverse effects on the environment of allowing the activity are acceptable.

## 10.0 District Plan and Statutory Documents (Section 104(1)(B))

---

### 10.1 Objectives and Policies of the Operative Far North District Plan

---

#### 10.1.1 Chapter 18 – Special Areas Moturoa Island

*18.1.3.1 To provide for development and activity on Moturoa Island including additions and external alterations to dwellings and ancillary buildings and facilities for the storage of pleasure craft.*

**Comment:** It is considered that Objective 18.1.3.1 is met as the proposed shed will be located within existing built development of other storage and boat sheds.

*18.1.3.2 To ensure that development upon Moturoa Island is carried out in a manner that recognises the attractive, unspoilt nature of the Island as a prominent landscape feature, and the natural character of the coastal environment.*

**Comment:** It is considered that Objective 18.1.3.2 is met as the proposed shed will be located within existing built development of other storage and boat sheds. Further, it is located away from any ridgelines and screened from coastal sightlines. Building materials have been chosen to mitigate visual effects on the island and ensure the building sits well alongside the other agricultural style buildings.

*18.1.4.3 That future building additions to the existing dwellings and the building of future proposed dwellings and accessory buildings, including facilities for the storage of pleasure craft, be controlled by way of the Development Plan and by way of controlled activity consideration over the siting, scale and design of building activities and future dwellings.*

**Comment:** It is considered that Policy 18.1.4.3 is met as the scale and design of the proposed shed is consistent with the immediate surrounding area and is consistent with the matters of control for Visual amenity as outlined in Section 11 below.

### 10.2 Objectives and Policies of the Proposed Far North District Plan

---

#### 10.2.1 Special Purpose Zones – Moturoa Island Zone

*MIZ-O1 Land use on Moturoa Island is of a scale and type that compliments and is consistent with the values of the island.*

*MIZ-P2 Provide for additions and external alterations to residential units, accessory buildings and facilities for the storage of pleasure craft where any significant adverse effects are avoided and any other adverse effects can be avoided, remedied or mitigated.*

*MIZ-P7 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:*

- a. compliance with the Council approved Moturoa Island Development Plan;*
- b. the natural character of the coastal environment;*
- c. the presence or absence of structures, buildings or infrastructure;*
- d. the location, scale and design of any proposed development;*

- e. the temporary or permanent nature of any adverse effects;*
- f. the need for and location of earthworks or vegetation clearance;*
- g. effects from natural hazards;*
- h. satisfactory disposal of wastewater and stormwater;*
- i. effects on ecological values; and*
- j. the provision for a potable and firefighting water supply.*

**Comment:** As mentioned above, the objective and policies area considered to be met as the proposed shed is located away from any ridgelines and screened from coastal sightlines. Building materials have been chosen to mitigate visual effects on the island and ensure the building sits well alongside the other agricultural style buildings.

### 10.2.2 Coastal Environment

*CE-O2 Land use and subdivision in the coastal environment:*

- a. preserves the characteristics and qualities of the natural character of the coastal environment;*
- b. is consistent with the surrounding land use;*
- c. does not result in urban sprawl occurring outside of urban zones;*
- d. promotes restoration and enhancement of the natural character of the coastal environment; and*
- e. recognises tangata whenua needs for ancestral use of whenua Māori.*

*CE-P3 Avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of land use and subdivision on the characteristics and qualities of the coastal environment not identified as:*

- a. outstanding natural character;*
- b. ONL;*
- c. ONF.*

*CE-P4 Preserve the visual qualities, character and integrity of the coastal environment by:*

- a. consolidating land use and subdivision around existing urban centres and rural settlements; and*
- b. avoiding sprawl or sporadic patterns of development.*

*CE-P10 Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:*

- a. the presence or absence of buildings, structures or infrastructure;*
- b. the temporary or permanent nature of any adverse effects;*
- c. the location, scale and design of any proposed development;*
- d. any means of integrating the building, structure or activity;*
- e. the ability of the environment to absorb change;*

- f. the need for and location of earthworks or vegetation clearance;*
- g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location;*
- h. any viable alternative locations for the activity or development;*
- i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;*
- j. the likelihood of the activity exacerbating natural hazards;*
- k. the opportunity to enhance public access and recreation;*
- l. the ability to improve the overall quality of coastal waters; and*
- m. any positive contribution the development has on the characteristics and qualities.*

**Comment:** The proposal is considered to be in keeping with the surrounding built form of the area, being predominantly boat and storage sheds. There are no mapped features that are considered sensitive and no natural hazards that will be exacerbated by the proposed works. The above objectives and policies are met as the proposal is consistent with the surrounding area and is consistent with the built form.

While the proposed objectives and policies have little relevance as they do not have any immediate effect, it is considered that the proposal achieves the anticipated outcomes sought by the zone.

### 10.3 Summary

It is considered that the proposed development is generally in accordance with the objectives and policies of the ODP and PDP.

## 11.0 Matters of Control

Under section 104A of the Act, as a controlled activity, the consent authority must consider only those matters over which it has reserved its control in its plan.

The ODP specifies the relevant matters of control to be considered in assessing this application. These are outlined and assessed below with regard to the application:

18.1.6.2.1 Matters of Control	Assessment
(i) the size, height, bulk and siting of the structure in relation to ridgelines and natural features;	The proposed shed complies with the permitted height and bulk standards. It does however, infringe the permitted 25m <sup>2</sup> GFA. It is considered that the size of the proposed shed is consistent with the immediate surrounding environment and does not compromise the/any ridgeline and natural features.

(ii) the colour and reflectivity of the structure;	The proposed shed is proposed to be Karaka Green corrugate iron coloursteel.
(iii) the extent to which planting can mitigate visual effects;	It is considered that planting is not necessary for the proposal as the shed will be screened from existing vegetation and other existing sheds as shown in <b>Figures 2 and 3</b> above.
(iv) the location and design of associated vehicle access, manoeuvring and parking areas;	The island uses ATV to get around, there is an existing farm track that will be utilised and there is plenty of space for manoeuvring and parking if needed.
(v) the extent to which the structure will be visually obtrusive;	The proposed shed will not be visually obtrusive to the coastal environment as you cannot see the proposed shed site from the coastline.
(vi) the degree to which the landscape will retain the qualities that give it naturalness and visual value.	The proposed shed site is located amongst existing sheds and within the developed area of the island.

Overall, it is considered that the proposal meets the matters of control criteria of the ODP.

## 12.0 Part 2 Matters

Section 5 of Part 2 identifies the purpose of the RMA as being the sustainable management of natural and physical resources. This means managing the use, development and protection of natural and physical resources in a way that enables people and communities to provide for their social, cultural and economic well-being and health and safety while sustaining those resources for future generations, protecting the life supporting capacity of ecosystems, and avoiding, remedying or mitigating adverse effects on the environment.

Section 6 of the Act sets out a number of matters of national importance including (but not limited to) the protection of outstanding natural features and landscapes and historic heritage from inappropriate subdivision, use and development.

Section 7 identifies a number of “other matters” to be given particular regard by Council and includes (but is not limited to) Kaitiakitanga, the efficient use of natural and physical resources, the maintenance and enhancement of amenity values, and maintenance and enhancement of the quality of the environment.

Section 8 requires Council to take into account the principles of the Treaty of Waitangi.

Overall, as the effects of the proposal are considered to be less than minor, and the proposal accords with the relevant ODP objectives, policies and assessment criteria, it is considered that the proposal will not offend against the general resource management principles set out in Part 2 of the Act.

## 13.0 Other Matters (Section 104(1)(C))

### 13.1 Record of Title Interests

The Record of Title for the site are subject to a number of interests (refer **Appendix 1**). None of these are anticipated to affect the resource consent application as discussed in **Table 1** below:

**Table 1: Record of Title interests**

Interest	Comment
10106932.1 Conservation Covenant	Pursuant to Section 77 of the Reserves Act 1977, the eastern side of Moturoa Island is subject to a Conservation Covenant, the proposed shed site is not located within the Conservation covenant.
11824432.1 Notice	Pursuant to Section 195(2) Climate Change Response Act 2002, it is highlighted that Moturoa Island forms part of a carbon accounting area. This Notice does not affect the proposed shed.
Easement Instrument 9636270.1	This interest pertains to a Right to Convey Electricity. The proposed shed will not affect this easement.

## 14.0 Conclusion

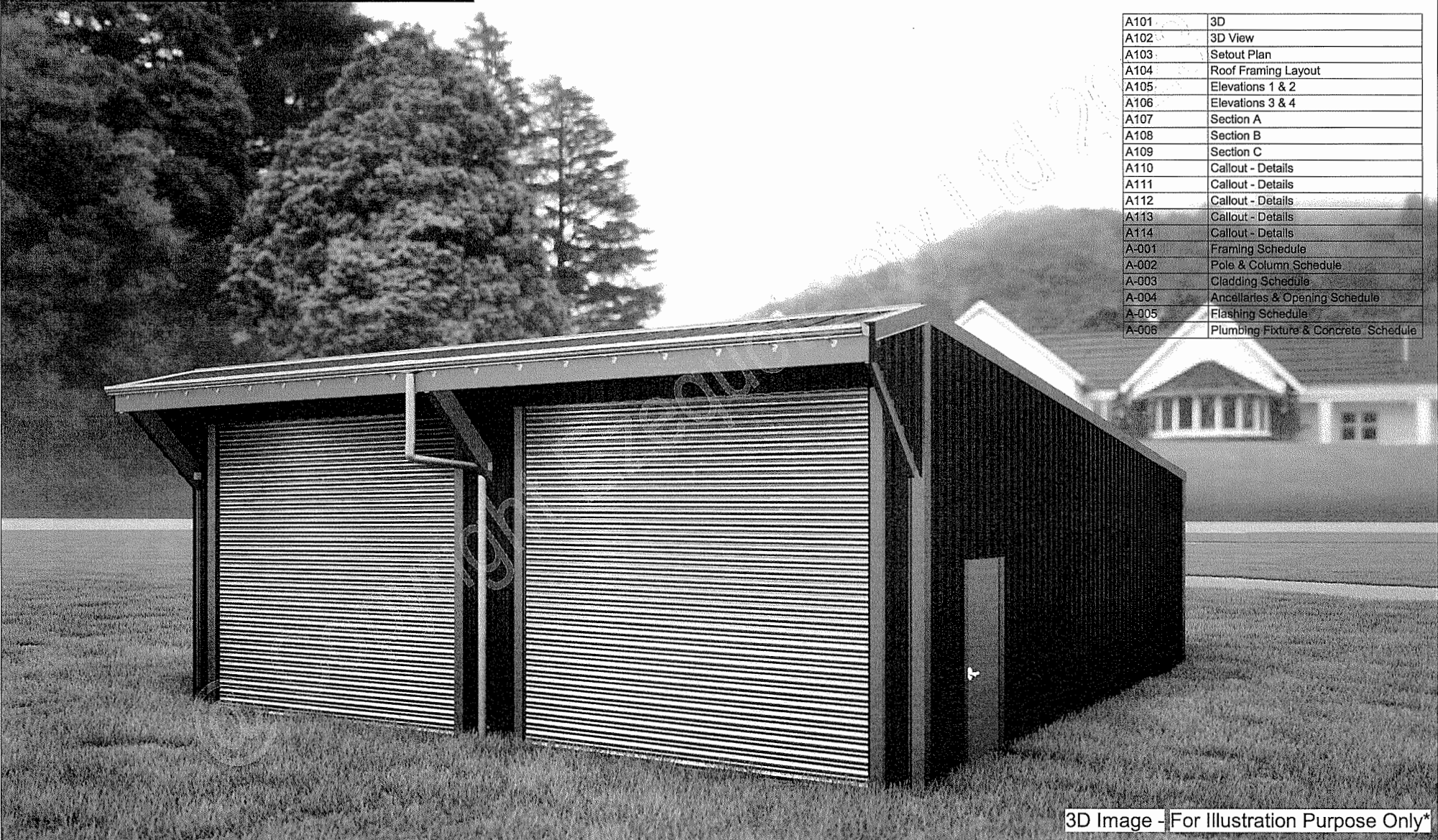
The proposal involves the construction of a shed for boat and storage purposes at Moturoa Island.

Based on the above report it is considered that:

- Public notification is not required as it is for a controlled activity;
- Limited notification is not required as it is for a controlled activity;
- The proposal accords with the relevant ODP objectives, policies and assessment criteria; and
- The proposal is considered to be consistent with Part 2 of the Act.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that it can be granted on a non-notified basis.


# BAY OF ISLANDS

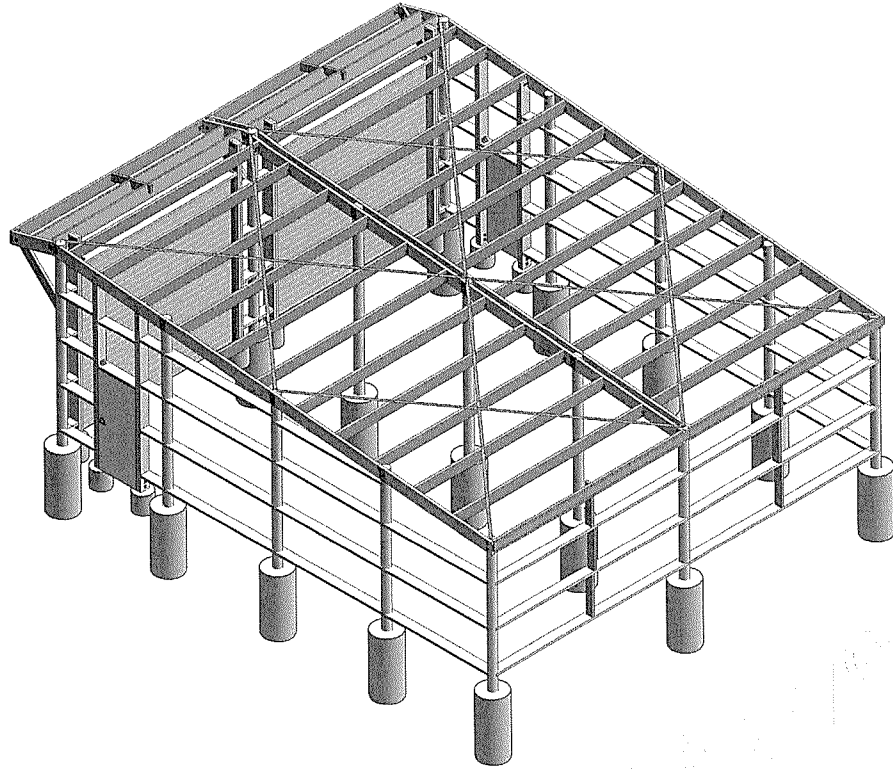


Sheet List	
Sheet Number	Sheet Name
A101	3D
A102	3D View
A103	Setout Plan
A104	Roof Framing Layout
A105	Elevations 1 & 2
A106	Elevations 3 & 4
A107	Section A
A108	Section B
A109	Section C
A110	Callout - Details
A111	Callout - Details
A112	Callout - Details
A113	Callout - Details
A114	Callout - Details
A-001	Framing Schedule
A-002	Pole & Column Schedule
A-003	Cladding Schedule
A-004	Ancillaries & Opening Schedule
A-005	Flashing Schedule
A-006	Plumbing Fixture & Concrete Schedule

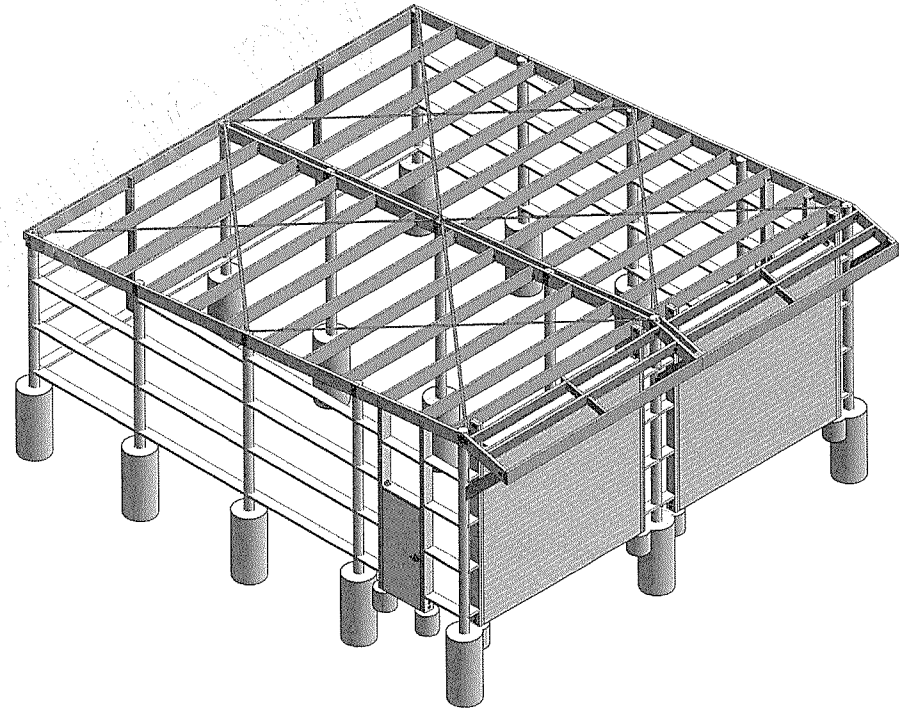
3D Image - For Illustration Purpose Only\*

© Copyright Ezequote Pty Ltd 2023

Designed by  YOUR ADVANTAGE	PROJECT <b>586133</b>	Drawing Title <b>3D</b>	Notes 1. All dimensions are in millimetres. 2. All dimensions are to be checked on site. 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.	Project Status Concept Drawings	Rev. 1	Drawn Tamoor	Checked Sameer	Dwg. No. <b>A101</b>
	Site Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand			Rev 1 Working Drawing	Date 12-07-23			



① View 1



② View 2.

© Copyright Ezequote Pty Ltd 2023

Designed by  
**ezequote**  
 YOUR ADVANTAGE

PROJECT  
**586133**

Site  
**Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

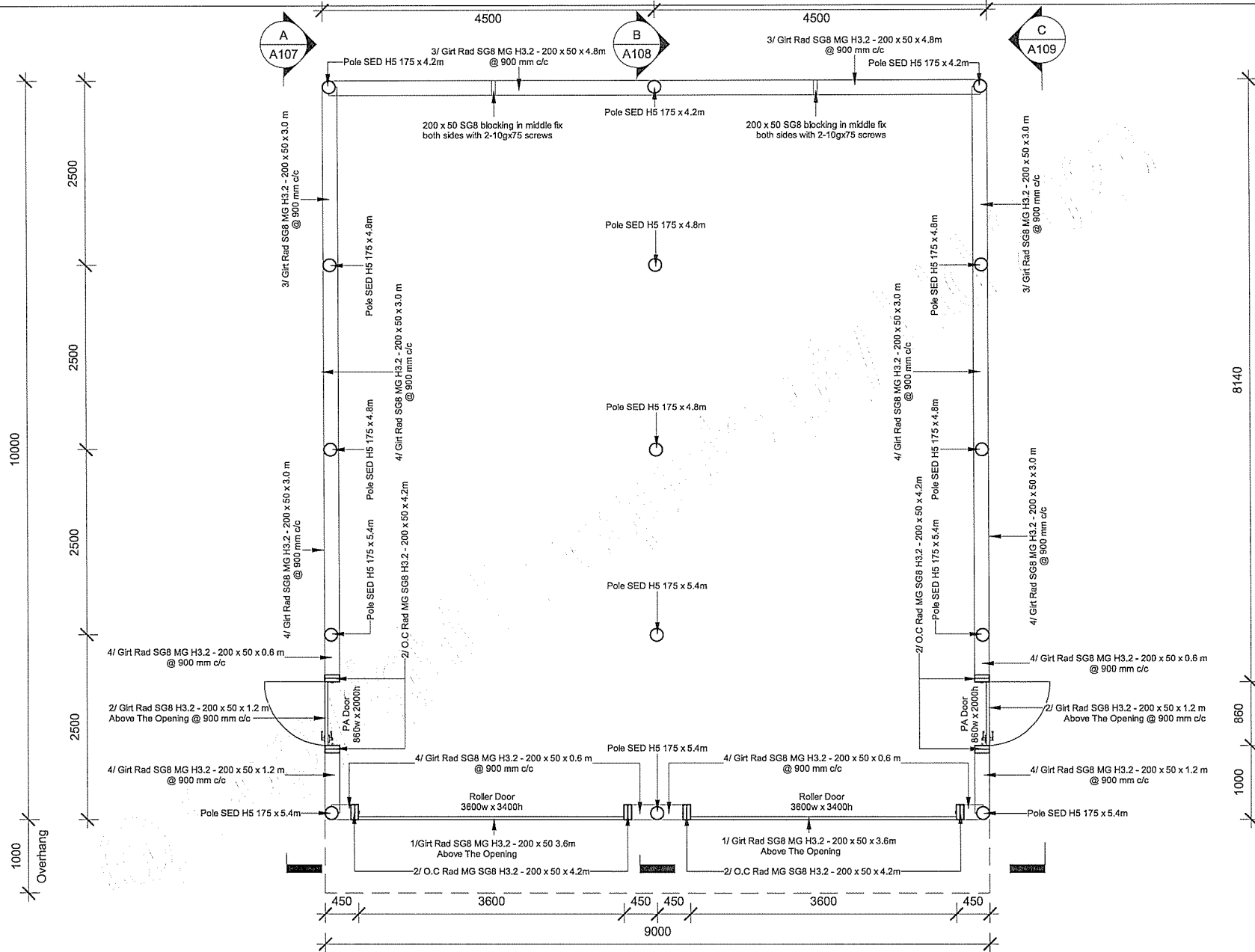
Drawing Title  
**3D View**

Notes

1. All dimensions are in millimetres.
2. All dimensions are to be checked on site.
3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status	Rev.	Drawn	Tamoor	Dwg. No.
Concept Drawings	1			<b>A102</b>
Rev	Description	Date	Checked	
1	Working Drawing	12-07-23	Sameer	
			Scale	1 : 50 on A3





© Copyright Ezequote Pty Ltd 2023

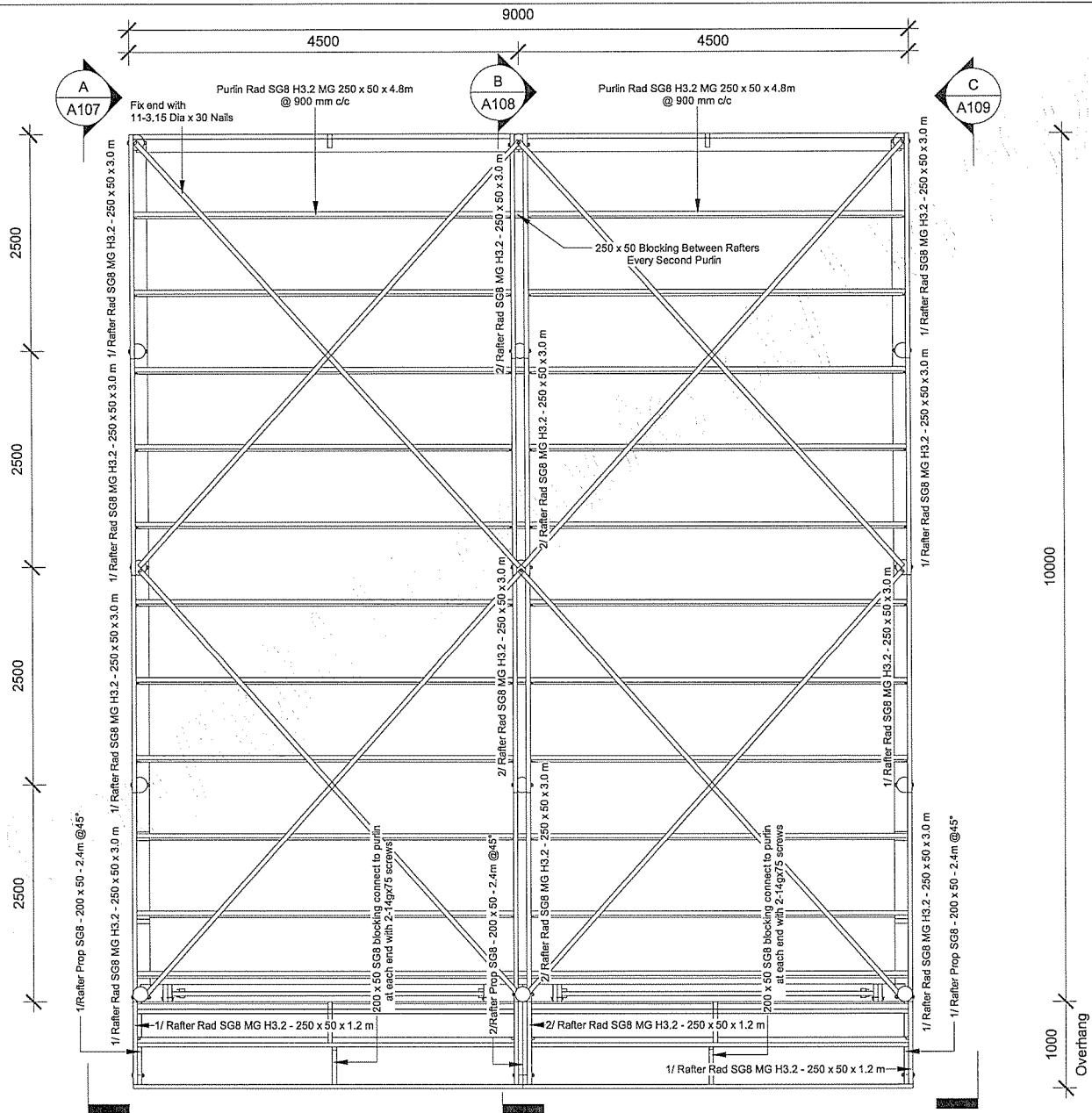
Designed by  
**ezequote**  
 YOUR ADVANTAGE

PROJECT	586133
Site	Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

Drawing Title	Setout Plan
---------------	-------------

- Notes
- All dimensions are in millimetres.
  - All dimensions are to be checked on site.
  - Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status	Concept Drawings	Rev. 1	Drawn	Tamoor	Dwg. No.
Rev	Description	Date	Checked	Sameer	<b>A103</b>
1	Working Drawing	12-07-23	Scale	1 : 50 on A3	



© Copyright Ezequote Ply Ltd 2023

Designed by  
**ezequote**  
 YOUR ADVANTAGE

PROJECT  
**586133**

Site  
**Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

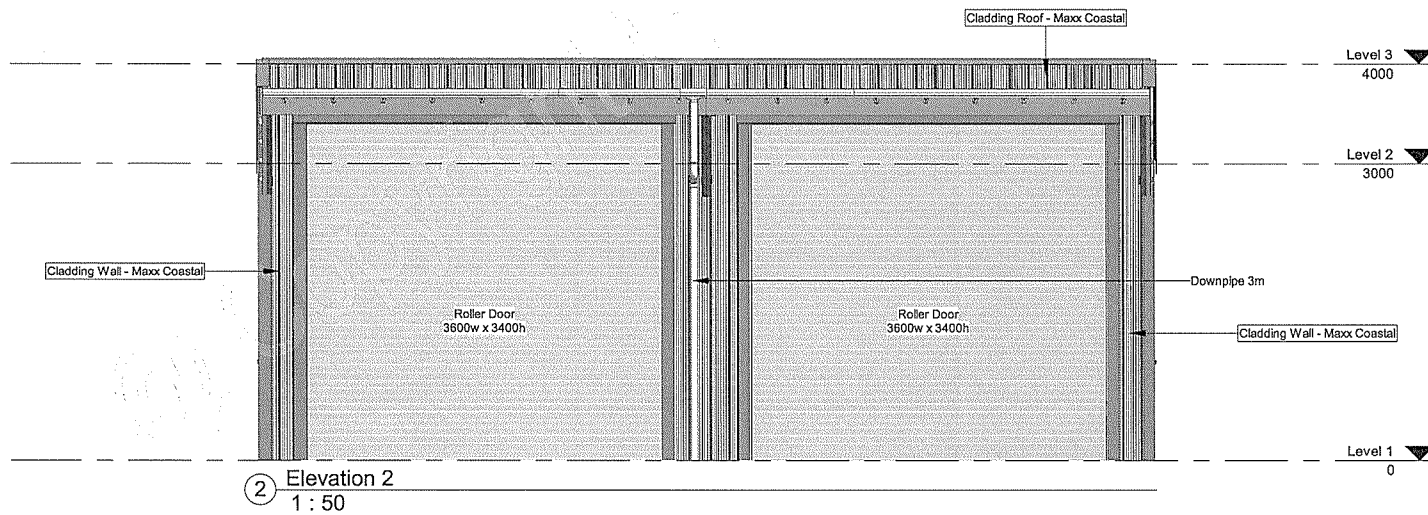
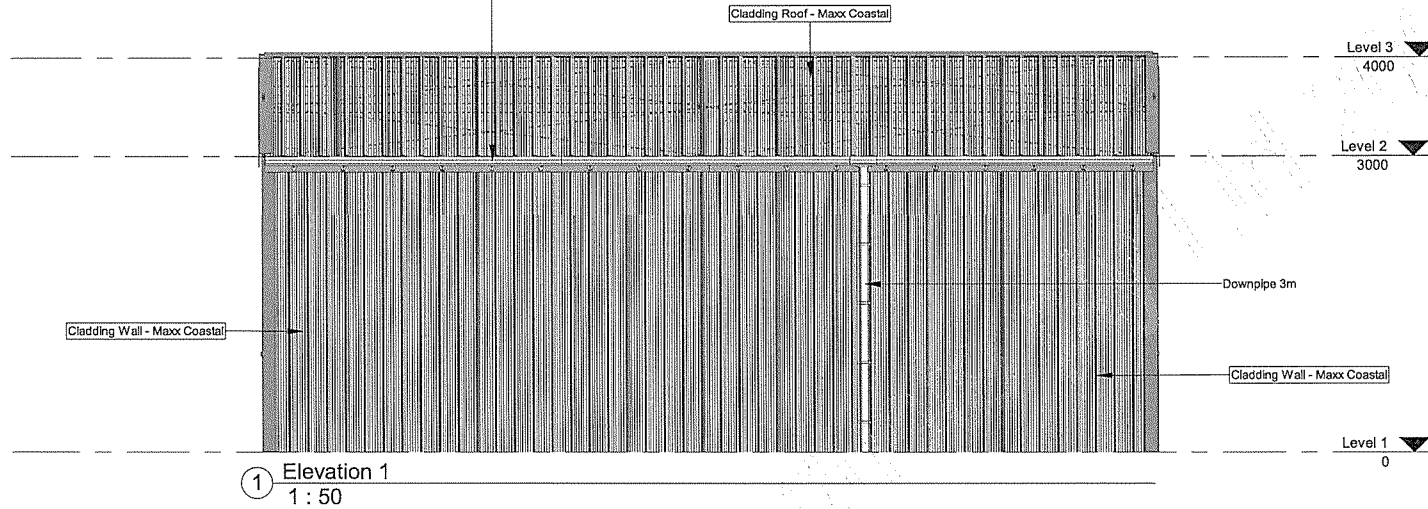
Drawing Title  
**Roof Framing Layout**

Notes

- All dimensions are in millimetres.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status		Rev.	Drawn	Tamoor	Dwg. No.
Concept Drawings		1			
Rev	Description	Date	Checked	Sameer	
1	Working Drawing	12-07-23			
			Scale	1 : 50 on A3	

GUTTER SIZE: Maximum Plan Area of Roof Discharging to Section of Gutter = 65m<sup>2</sup>, Minimum Gutter Size Required for 0 - 25 Degree Roof Pitch = 6800 mm<sup>2</sup>, Marley Gutter Type/ Size - Classic / 6700 mm<sup>2</sup>  
<https://www.marley.co.nz/wp-content/uploads/2013/11/What-size-spouting-and-downpipes-do-I-need-Full-article.pdf>



Note: - Roof and wall cladding to be supplied by roofing supplier to suit roofing profile.  
 - All notes and measurements are intended as a guide only.  
 - Please refer to your builder, roofer, supplier product literature and/or local territorial authority for further information and advice.  
 - All cladding is for reference only and supplied following a site measure by the builder.

© Copyright Ezequote Pty Ltd 2023

Designed by  
**ezequote**  
 YOUR ADVANTAGE

PROJECT	586133
Site	Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

Drawing Title	Elevations 1 & 2
---------------	------------------

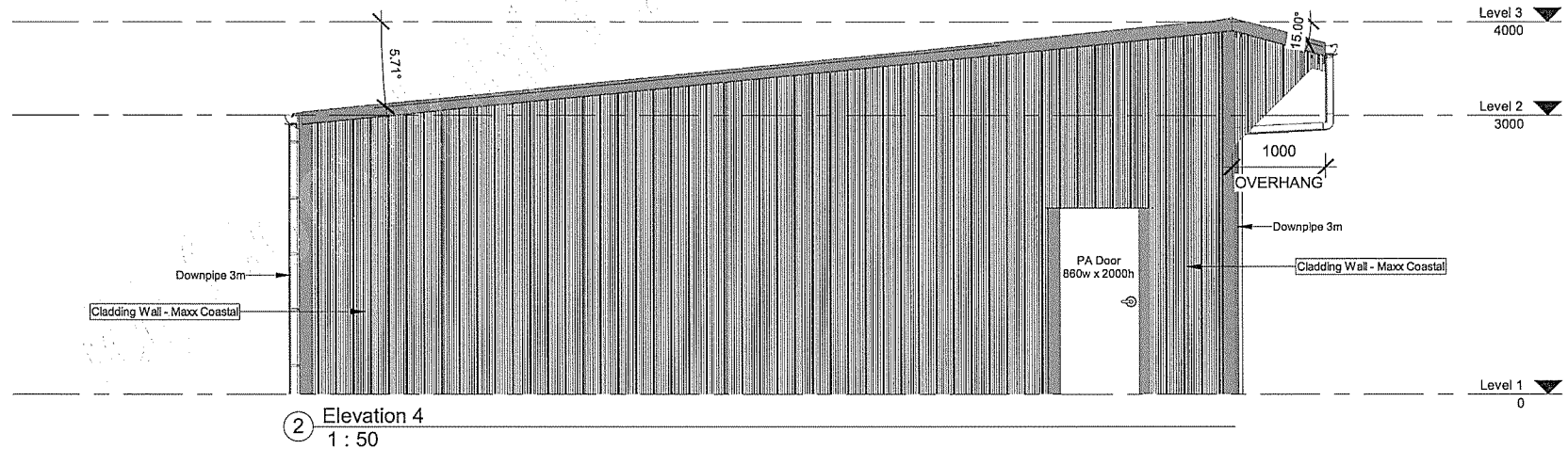
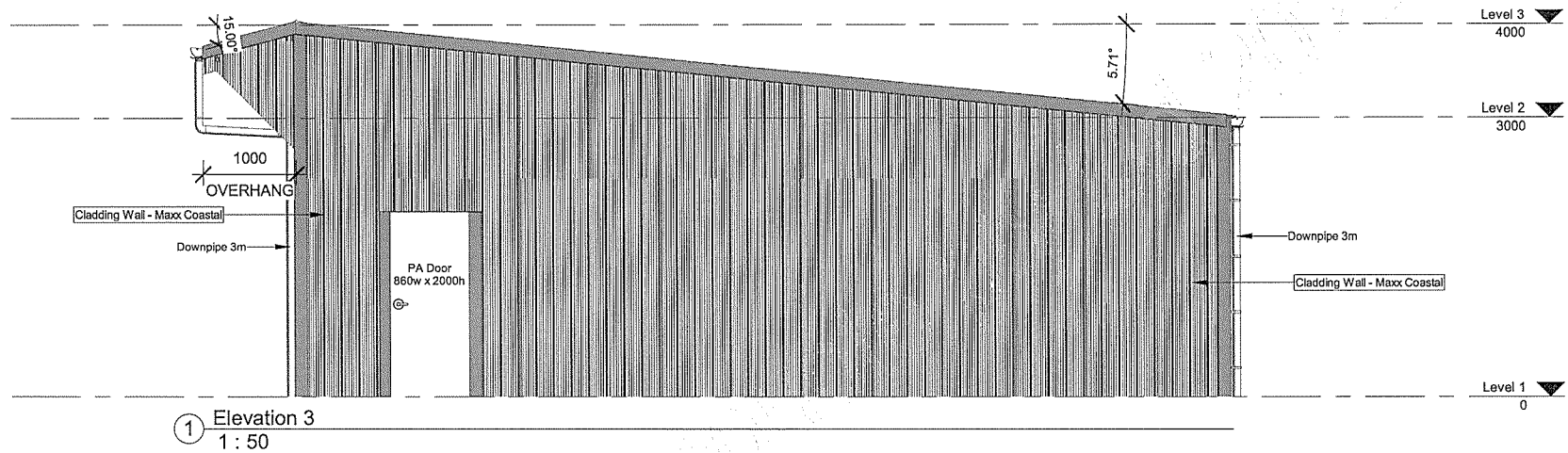
Notes

- All dimensions are in millimetres.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status	Concept Drawings	Rev.	1
Rev.	Description	Date	
1	Working Drawing	12-07-23	


Drawn	Tamoor
Checked	Sameer
Scale	1 : 50 on A3

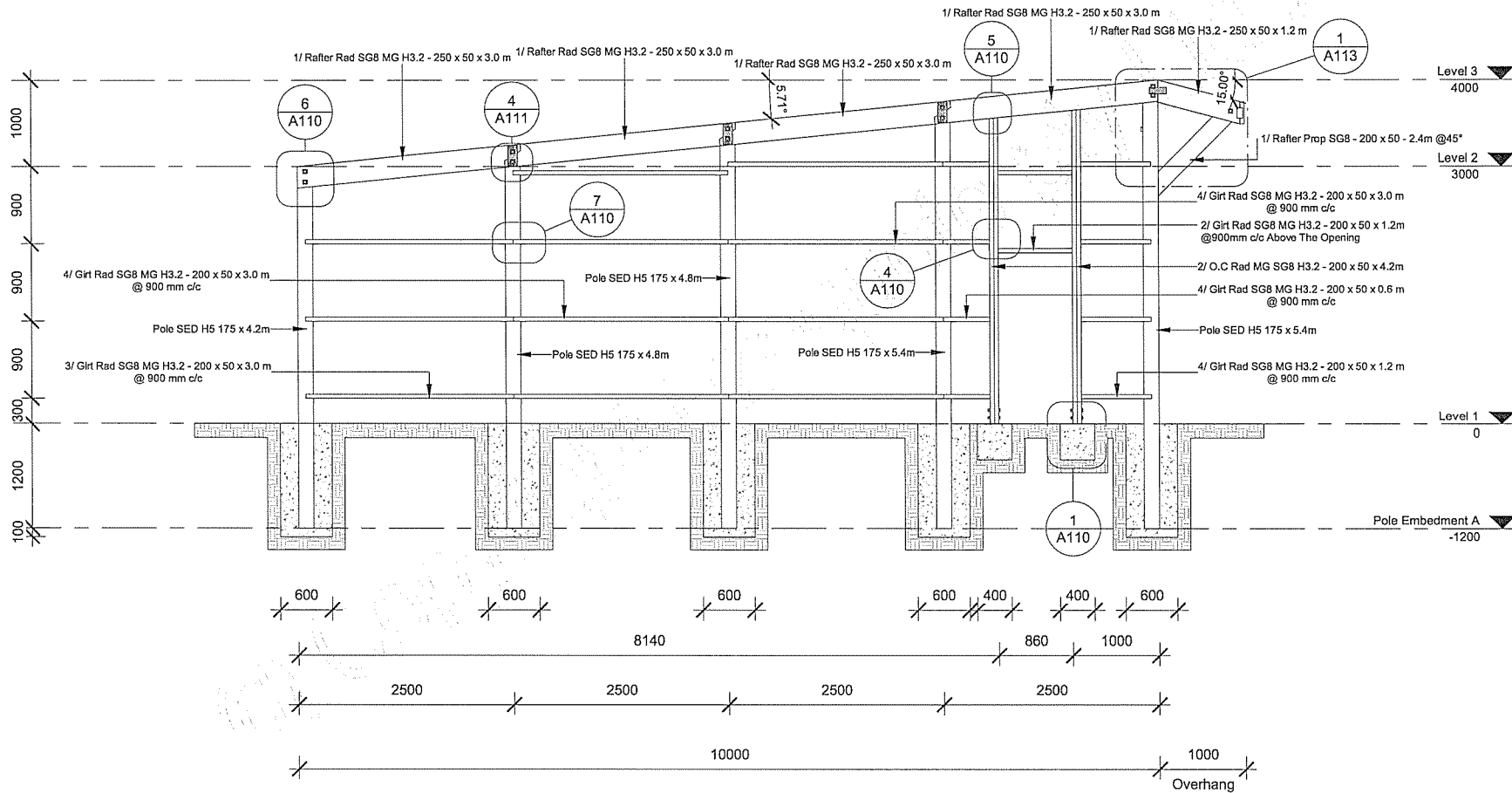
Dwg. No.  
**A105**



Note: - Roof and wall cladding to be supplied by roofing supplier to suit roofing profile.  
 - All notes and measurements are intended as a guide only.  
 - Please refer to your builder, roofer, supplier product literature and/or local territorial authority for further information and advice.  
 - All cladding is for reference only and supplied following a site measure by the builder.

© Copyright Ezequote Pty Ltd 2023

Designed by  YOUR ADVANTAGE	PROJECT <b>586133</b>	Drawing Title <b>Elevations 3 &amp; 4</b>	Notes 1. All dimensions are in millimetres. 2. All dimensions are to be checked on site. 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.	Project Status Concept Drawings	Rev. 1	Drawn Tamoor	Dwg. No. <b>A106</b>								
	Site <b>Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand</b>			<table border="1"> <thead> <tr> <th>Rev</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Working Drawing</td> <td>12-07-23</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	Rev	Description		Date	1	Working Drawing	12-07-23				
Rev	Description	Date													
1	Working Drawing	12-07-23													



© Copyright Ezequote Pty Ltd 2023

Designed by  
**ezequote**  
 YOUR ADVANTAGE

PROJECT  
**586133**

Site  
**Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

Drawing Title  
**Section A**

Notes

- All dimensions are in millimetres.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

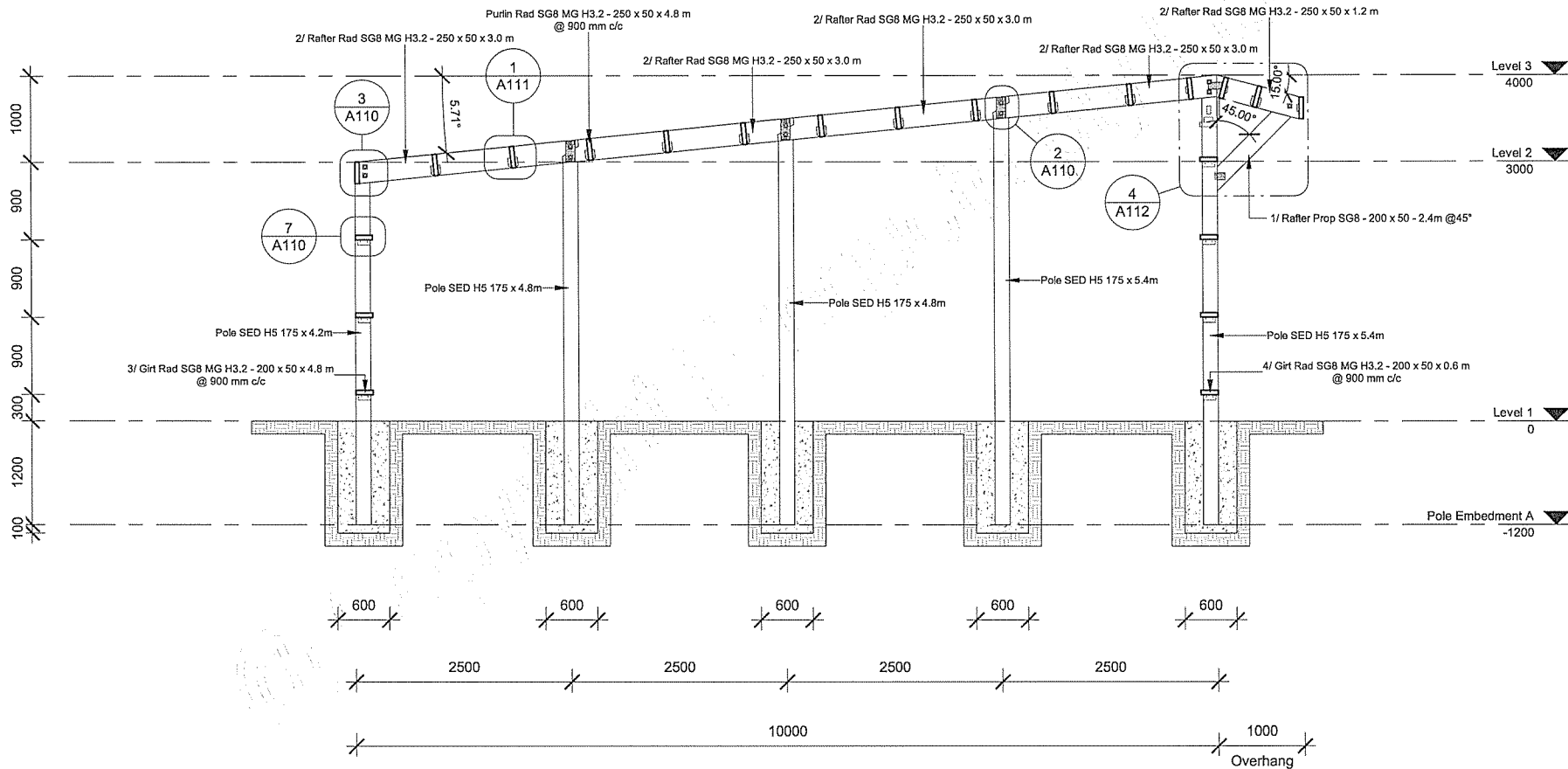
Project Status		Rev.
Concept Drawings		1
Rev	Description	Date
1	Working Drawing	12-07-23

Drawn  
 Tamoor

Checked  
 Sameer

Scale  
 1 : 50 on A3

Dwg. No.  
**A107**



© Copyright Ezequote Pty Ltd 2023

Designed by  
**ezequote**  
 YOUR ADVANTAGE

PROJECT  
**586133**

Site  
**Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

Drawing Title  
**Section B**

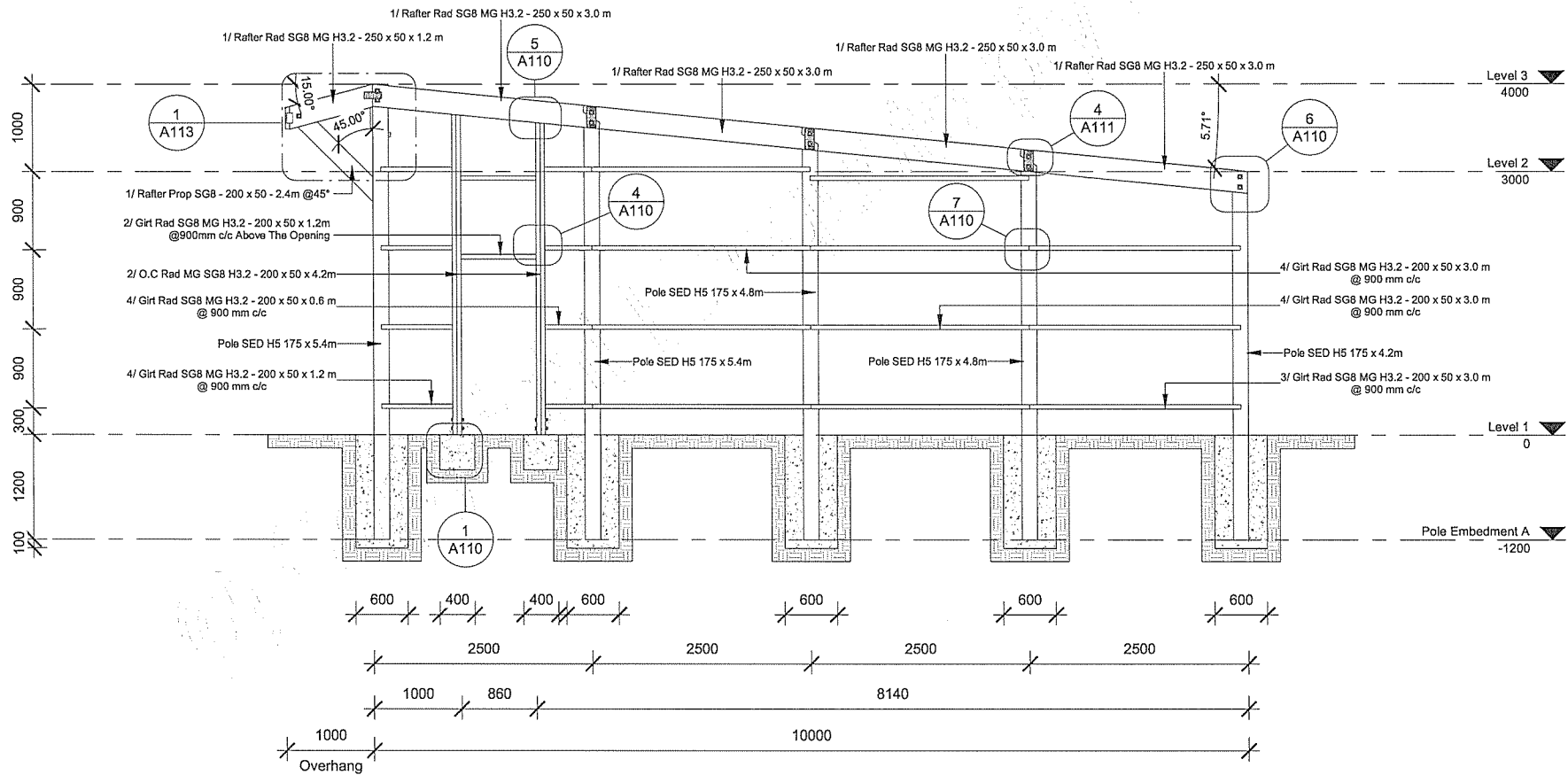
Notes

- All dimensions are in millimetres.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status	Concept Drawings	Rev. 1
Rev	Description	Date
1	Working Drawing	12-07-23

Drawn: Tamoor  
 Checked: Sameer  
 Scale: 1 : 50 on A3

Dwg. No.  
**A108**



© Copyright Ezequote Pty Ltd 2023

Designed by  
**ezequote**  
 YOUR ADVANTAGE

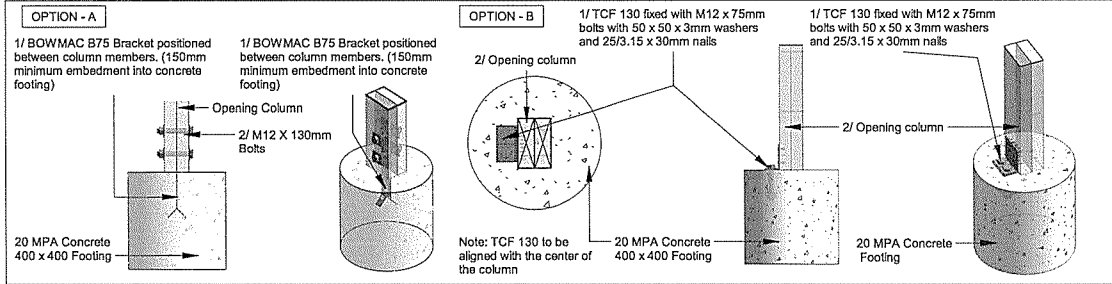
PROJECT  
**586133**

Site  
**Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

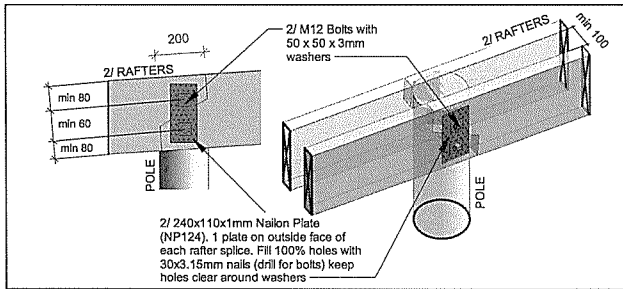
Drawing Title  
**Section C**

- Notes
- All dimensions are in millimetres.
  - All dimensions are to be checked on site.
  - Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

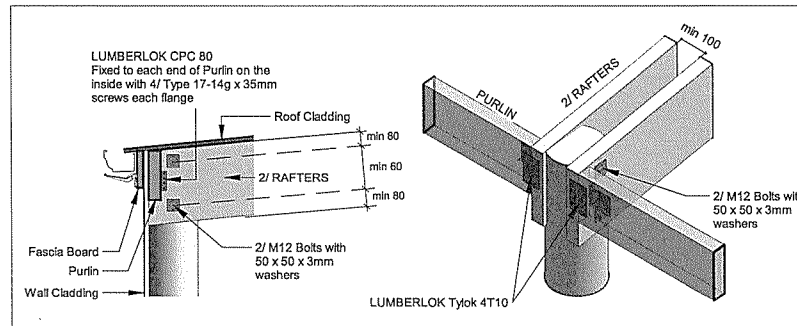
Project Status		Rev. 1	Drawn	Tamoor	Dwg. No.
Concept Drawings					
Rev	Description	Date	Checked	Sameer	<b>A109</b>
1	Working Drawing	12-07-23			
			Scale	1 : 50 on A3	



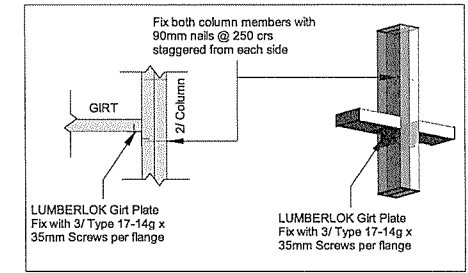
① Door Columns - Piers Detail  
 1 : 20



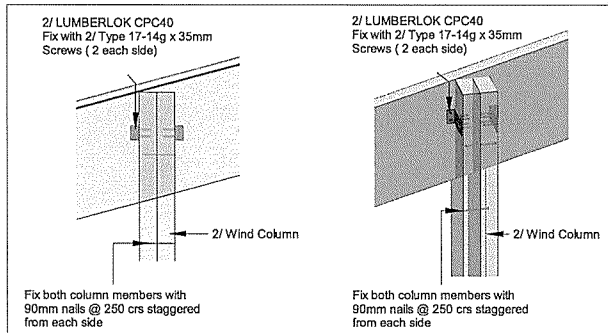
② Rafter Splice (2 Bolts) - Center  
 1 : 20



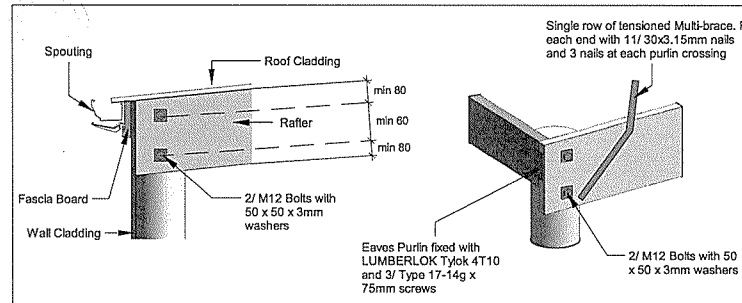
③ Rafter and Purlin Fixing - Center  
 1 : 20



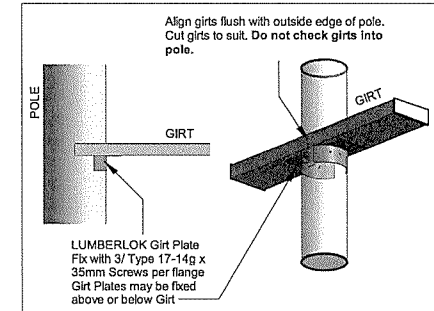
④ Girt & Column Fixing  
 1 : 20



⑤ Wind & Opening Column Fixing 2 CPC  
 1 : 20



⑥ Rafter and Purlin Fixing -End  
 1 : 20

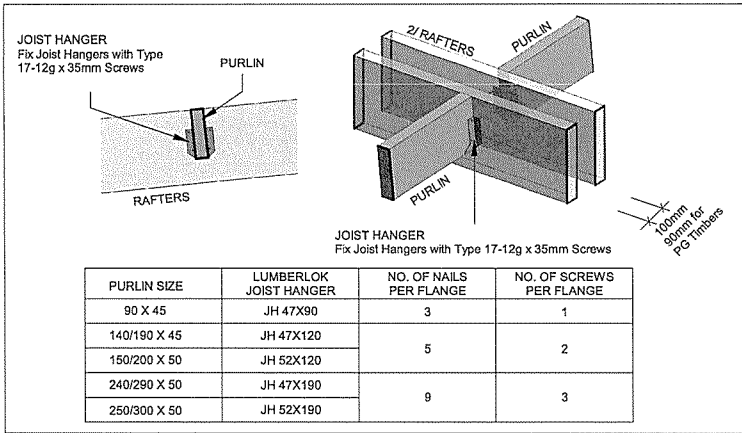


⑦ Girt & Pole Fixing  
 1 : 20

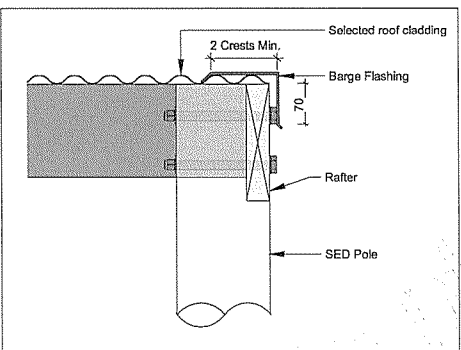
© Copyright Ezequote Pty Ltd 2023

Designed by <b>ezequote</b> YOUR ADVANTAGE	PROJECT <b>586133</b>	Drawing Title <b>Callout - Details</b>	Notes 1. All dimensions are in millimetres. 2. All dimensions are to be checked on site. 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.	Project Status Concept Drawings	Rev. 1	Drawn Tamoor	Dwg. No. <b>A110</b>
	Site <b>Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand</b>			Rev. 1	Description Working Drawing	Date 12-07-23	
						Scale As indicated on A3	

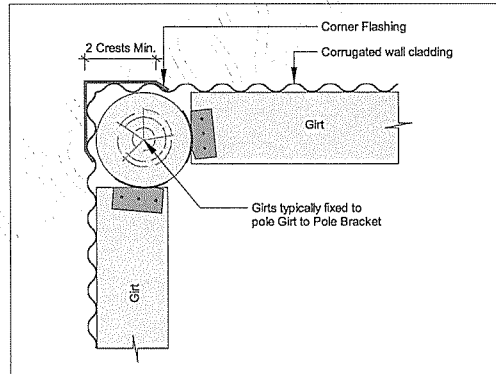




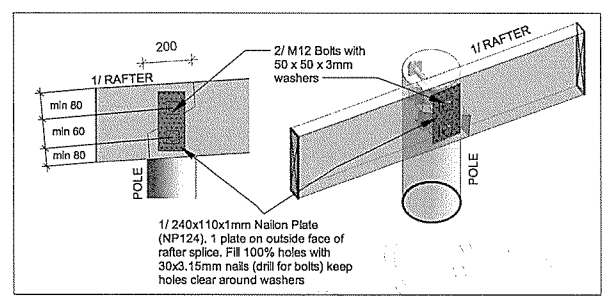
① Purlin to Rafter Detail  
1 : 20



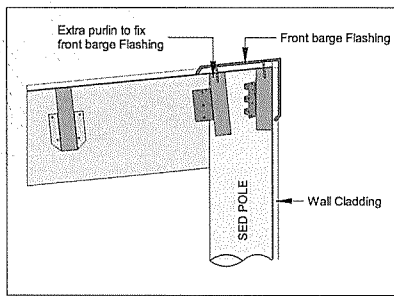
② Barge  
1 : 20



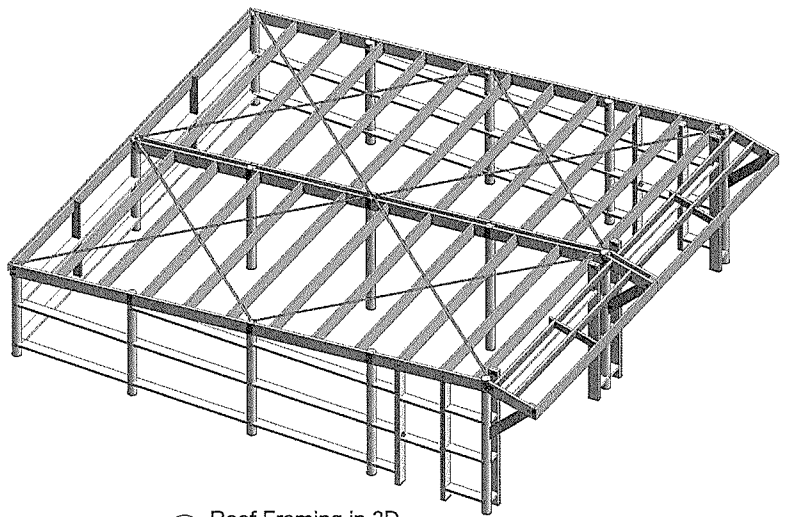
③ Corner Detail  
1 : 20



④ Rafter Splice (2 Bolts) - End  
1 : 20



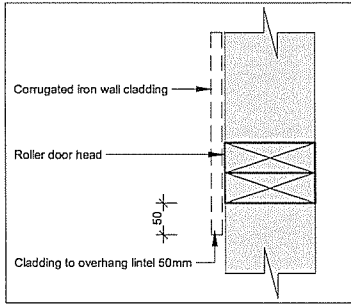
⑤ Front barge Flashing Detail  
1 : 20



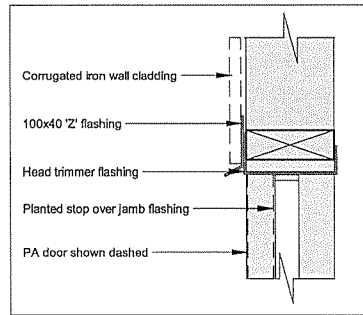
⑥ Roof Framing in 3D

© Copyright Ezequote Ply Ltd 2023

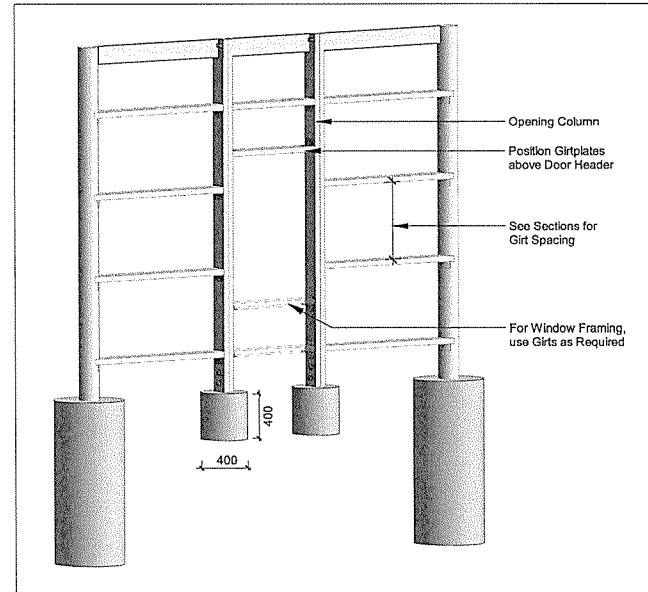
Designed by 	PROJECT <b>586133</b>	Drawing Title <b>Callout - Details</b>	Notes 1. All dimensions are in millimetres. 2. All dimensions are to be checked on site. 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.	Project Status Concept Drawings	Rev. 1	Drawn Tamoor	Dwg. No. <b>A111</b>
	Site <b>Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand</b>			Rev 1	Description Working Drawing	Date 12-07-23	
						Scale As indicated on A3	



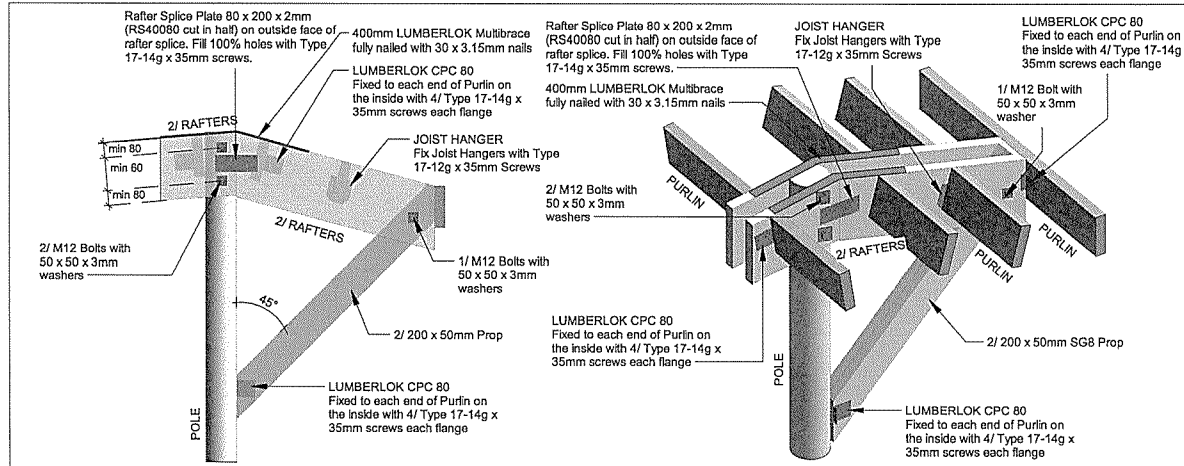
① Roller Door Head Detail  
1 : 20



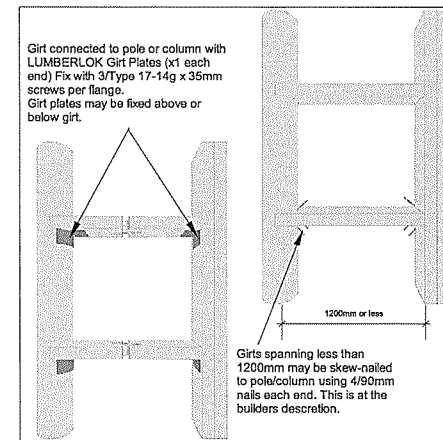
② PA Door Head Detail  
1 : 20



③ Opening Framing  
1 : 50




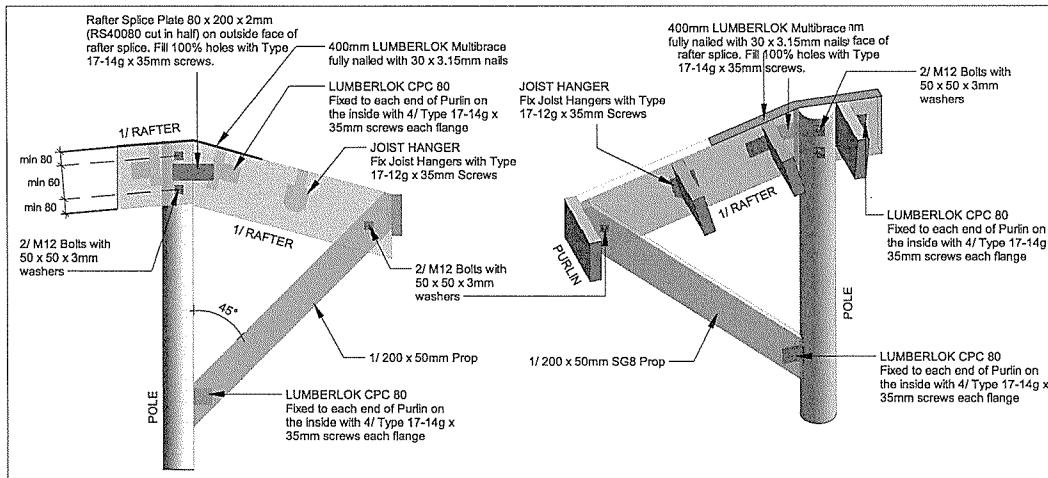
④ Canopy Overhang - Center  
1 : 20



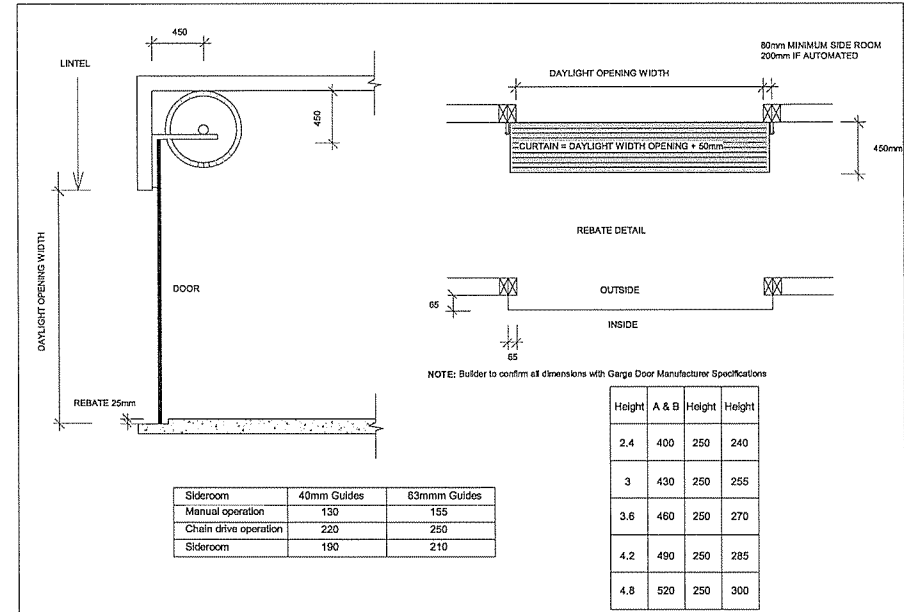
⑤ Opening Framing Fixing  
1 : 20

© Copyright Ezequote Pty Ltd 2023

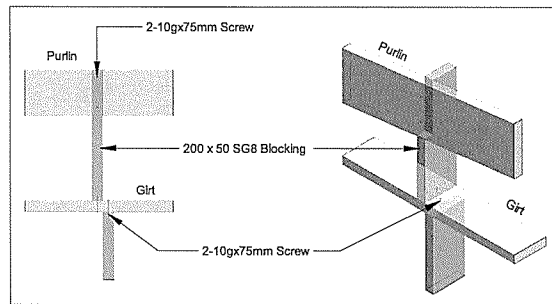
Designed by  YOUR ADVANTAGE	PROJECT <b>586133</b>	Drawing Title <b>Callout - Details</b>	Notes 1. All dimensions are in millimetres. 2. All dimensions are to be checked on site. 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.	Project Status <b>Concept Drawings</b>	Rev. <b>1</b>	Drawn Tamoor	Dwg. No. <b>A112</b>
	Site <b>Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand</b>			Rev <b>1</b>	Description <b>Working Drawing</b>	Date <b>12-07-23</b>	
				Scale	As indicated on A3		



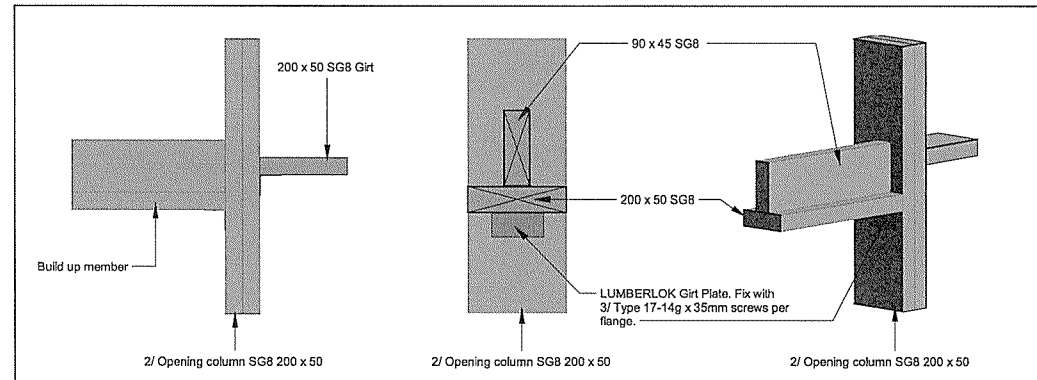
① Canopy Overhang - End  
1 : 20



② Roller Door Framing Instructions  
1 : 20



③ Blocking Girt and Purlin Fixing - End  
1 : 20



④ Build-up member to columns connection  
1 : 20

© Copyright Ezequote Pty Ltd 2023

Designed by  
**ezequote**  
YOUR ADVANTAGE

PROJECT  
**586133**

Site  
**Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

Drawing Title  
**Callout - Details**

Notes

- All dimensions are in millimetres.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status		Rev.	Drawn	Tamoor	Dwg. No.
Concept Drawings		1			
Rev	Description	Date	Checked	Sameer	
1	Working Drawing	12-07-23			
			Scale	1 : 20 on A3	

**Simple 100mm Concrete Floor (Non-habitable building)**

**Foundations and Slabs**

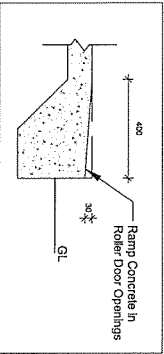
- Remove any topsoil and organic material from the foundation excavation.
- 75-100mm min compacted hardfill.
- 5-25mm fine metal/sand blinding.
- Damp Proof Membrane – Black polythene (minimum 0.25mm thickness). Lapped 150mm and sealed with polythene tape.

**Concrete:**

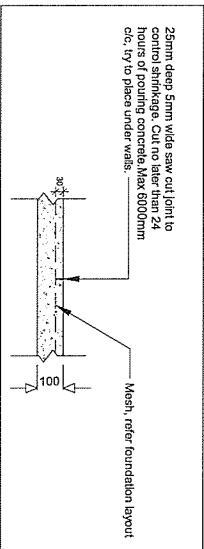
- Design certification, construction and performance of the formwork is the responsibility of the contractor.
- All concrete work described on the structural drawings shall be constructed in accordance with the requirements of NZS 3101' and NZS 3109'.
- Concrete shall be as per NZS 3104:2003, 17.5MPa concrete for corrosion zone B, 20MPa concrete for corrosion zone C, 25MPa concrete for corrosion zone D (Coastal).
- Minimum Strength specified as 28 day specified compressive strengths as defined in NZS 3109'.
- Slab thickness: 100mm slump (according to NZS3109)
- Concrete thickening 200mm x 200mm recommended to vehicle door openings.
- Control Joints: Max. shrinkage-control joints for steel mesh reinforced slabs is 6m, with length and width ratio between 1:1 and 2:1. Cutting depth is to be ¼ of the slab thickness.

**Reinforcing:**

- All reinforcement bars shall be in accordance with AS/NZS 4671'.
  - D12 bars across vehicle openings. Tied to mesh.
  - Reinforcing mesh 665/668 or equivalent. Lapped one mesh square plus min 50mm.
  - 50/65 bar chairs.
  - Reinforcement shall be clean and free from mud, loose rust/ mill scale etc at the time of placement.
  - All reinforcement shall be adequately secured by approved clips or wire ties.
- Concrete cover:**
- 30mm minimum top cover (50mm minimum top cover if exposed to weather).
  - 75 mm to the outside edge of the slab.



1 Roller Door Rebate  
1 : 20



2 Saw Cut Detail  
1 : 20

Designed by



PROJECT

586133

Site

Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

Drawing Title

Callout - Details

Notes

- All dimensions are in millimetres.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Project Status

Concept Drawings

Rev. 1

Date

12-07-23

Checked

Sameer

Drawn

Sameer

Dwg. No.

A114

Scale

1 : 20 on A3

Rev. 1

Date

12-07-23

Checked

Sameer

Checked

Sameer

Drawn

Sameer

Dwg. No.

A114

Scale

1 : 20 on A3

Framing Schedule				
Location	Description	Count	Supply Length	Supply Quantity

<b>Girl Rad SG8 MG H3.2 - 200 x 50 x 6.0m</b>				
Wall A	200 x 50 - Radiala SG8 MG H3.2 - 6.0m	8	6000	4.0
Wall C	200 x 50 - Radiala SG8 MG H3.2 - 6.0m	8	6000	4.0
Wall A	200 x 50 - Radiala SG8 MG H3.2 - 6.0m	3	6000	1.5
Wall C	200 x 50 - Radiala SG8 MG H3.2 - 6.0m	3	6000	1.5
11.0				

<b>Girl Rad SG8 MG H3.2 - 200 x 50 x 4.8m</b>				
Bay A-B Rear	200 x 50 - Radiala SG8 MG H3.2 - 4.8m	3	4800	3.0
Bay B-C Rear	200 x 50 - Radiala SG8 MG H3.2 - 4.8m	3	4800	3.0
Wall A	200 x 50 - Radiala SG8 MG H3.2 - 4.8m	2	4800	0.5
Wall C	200 x 50 - Radiala SG8 MG H3.2 - 4.8m	2	4800	0.5
Wall A	200 x 50 - Radiala SG8 MG H3.2 - 4.8m	4	4800	1.0
Wall C	200 x 50 - Radiala SG8 MG H3.2 - 4.8m	4	4800	1.0
9.0				

<b>Girl Rad SG8 MG H3.2 - 200 x 50 x 3.6m</b>				
Bay A-B Front	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	3600	1.0
Bay B-C Front	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	3600	1.0
Wall A	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	4	3600	0.7
Wall C	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	4	3600	0.7
Bay A-B Front	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	4	3600	0.7
Bay B-C Front	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	4	3600	0.7
Bay A-B Front	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	4	3600	0.7
Bay B-C Front	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	4	3600	0.7
6.0				

<b>Rafter Prop Rad SG8 H3.2 - 200 x 50 x 3.6m</b>				
Wall A	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	3600	0.5
Wall B	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	2	3600	1.0
Wall C	200 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	3600	0.5
2.0				

<b>Purlin Rad SG8 H3.2 MG 250 x 50 x 4.8m</b>				
Bay A-B	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	1	4800	1.0
Bay B-C	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	1	4800	1.0
Bay A-B	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	14	4800	14.0
Bay B-C	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	14	4800	14.0
30.0				

Framing Schedule				
Location	Description	Count	Supply Length	Supply Quantity

<b>Built-up Member Rad SG8 MG H3.2 - 90 x 45 x 4.8m</b>				
Bay A-B	90 x 45 - Radiala SG8 MG H3.2 - 4.8m	1	3600	1.0
Bay B-C	90 x 45 - Radiala SG8 MG H3.2 - 4.8m	1	3600	1.0
2.0				

<b>Blocking Rad SG8 H3.2 - 250 x 50 x 3.6m</b>				
Bay A-B	250 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	2400	0.3
Bay B-C	250 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	2400	0.3
Bay B-C	250 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	2400	0.3
Bay A-B	250 x 50 - Radiala SG8 MG H3.2 - 3.6m	1	2400	0.3
1.0				

<b>Blocking Rad SG8 H3.2 - 200 x 50 x 4.2m</b>				
Bay A-B Rear	200 x 50 - Radiala SG8 MG H3.2 - 4.2m	4	4200	1.1
Bay B-C Rear	200 x 50 - Radiala SG8 MG H3.2 - 4.2m	3	4200	0.9
2.0				

<b>Rafter Rad SG8 H3.2 MG 250 x 50 - 6.0m</b>				
Wall A	250 x 50 - Radiala SG8 MG H3.2 - 6.0m	2	6000	1.0
Wall B	250 x 50 - Radiala SG8 MG H3.2 - 6.0m	4	6000	2.0
Wall C	250 x 50 - Radiala SG8 MG H3.2 - 6.0m	2	6000	1.0
Wall A	250 x 50 - Radiala SG8 MG H3.2 - 6.0m	2	6000	1.0
Wall B	250 x 50 - Radiala SG8 MG H3.2 - 6.0m	4	6000	2.0
Wall C	250 x 50 - Radiala SG8 MG H3.2 - 6.0m	2	6000	1.0
8.0				

<b>Rafter Rad SG8 H3.2 MG 250 x 50 - 4.8m</b>				
Wall A	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	1	4800	0.3
Wall B	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	2	4800	0.5
Wall C	250 x 50 - Radiala SG8 MG H3.2 - 4.8m	1	4800	0.3
Grand total: 133				
72.0				

Designed by **ezequote** YOUR ADVANTAGE

PROJECT 586133

Site Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

Drawing Title **Framing Schedule**

Notes  
 1. All dimensions are in millimeters.  
 2. All dimensions are to be checked on site.  
 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Rev	Description	Date	Checked	Scale
1	Working Drawing	12-07-23		1 : 50 on A3

Project Status: Concept Drawings

Drawn: Tamoor

Checked: Sameer

Dwg. No. **A-001**

Pole Schedule						
Description	Normal Density	Cut Length	Count	Supply Length	Supply Quantity	

Pole SED H5 175 x 5.4m						
Wall A	Pole 175 x 5.4m H5 Plain End	Normal Density	5200	1	5400	1
Wall B	Pole 175 x 5.4m H5 Plain End	Normal Density	5200	1	5400	1
Wall D	Pole 175 x 5.4m H5 Plain End	Normal Density	4920	1	5400	1
Wall A	Pole 175 x 5.4m H5 Plain End	Normal Density	4920	1	5400	1
Wall B	Pole 175 x 5.4m H5 Plain End	Normal Density	4920	1	5400	1
Wall D	Pole 175 x 5.4m H5 Plain End	Normal Density	4920	1	5400	1

Pole SED H5 175 x 4.8m						
Wall A	Pole 175 x 4.8m H5 Plain End	Normal Density	4670	1	4800	1
Wall B	Pole 175 x 4.8m H5 Plain End	Normal Density	4670	1	4800	1
Wall D	Pole 175 x 4.8m H5 Plain End	Normal Density	4670	1	4800	1
Wall A	Pole 175 x 4.8m H5 Plain End	Normal Density	4420	1	4800	1
Wall B	Pole 175 x 4.8m H5 Plain End	Normal Density	4420	1	4800	1
Wall D	Pole 175 x 4.8m H5 Plain End	Normal Density	4420	1	4800	1

Pole SED H5 175 x 4.2m						
Wall A	Pole 175 x 4.2m H5 Plain End	Normal Density	4200	1	4200	1
Wall B	Pole 175 x 4.2m H5 Plain End	Normal Density	4200	1	4200	1
Wall D	Pole 175 x 4.2m H5 Plain End	Normal Density	4200	1	4200	1

Column Schedule						
Location	Description	Cut Length	Count	Supply Length	Supply Quantity	

O.C Rad MG SG8 H3.2 - 200 x 50 x 4.2m						
Bay A-B Front	200 x 50 - Radiata SG8 MG H3.2 - 4.2m	4000	2	4200	4	
Bay B-C Front	200 x 50 - Radiata SG8 MG H3.2 - 4.2m	4000	2	4200	4	
Wall A	200 x 50 - Radiata SG8 MG H3.2 - 4.2m	3785	2	4200	2	
Wall C	200 x 50 - Radiata SG8 MG H3.2 - 4.2m	3785	2	4200	2	
Wall A	200 x 50 - Radiata SG8 MG H3.2 - 4.2m	3689	2	4200	2	
Wall C	200 x 50 - Radiata SG8 MG H3.2 - 4.2m	3689	2	4200	2	

16

**Designed by**

YOUR ADVANTAGE

**PROJECT**

586133

**Site**

Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

**Drawing Title**

Pole & Column Schedule

**Notes**

1. All dimensions are in millimeters.  
 2. All dimensions are to be checked on site.  
 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Rev	Description	Date	Checked	Scale
1	Working Drawing	12-07-23		Scale

**Project Status**

Concept Drawings

**Rev. 1**

Date

12-07-23

**Drawn**

Checked

**Tamoor**

Samner

**Scale**

1 : 50 on A3

**Dwg. No.**

A-002

Cladding Schedule			
Description	Sheet Length	Sheet Width	Count

<b>Cladding Roof - Maxx Coastal</b>			
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	10150	760	12
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	1005	760	12

<b>Elevation 1</b>			
<b>Cladding Wall - Maxx Coastal</b>			
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3000	760	12

<b>Elevation 2</b>			
<b>Cladding Wall - Maxx Coastal</b>			
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	4000	760	4
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	500	760	8

<b>Elevation 3</b>			
<b>Cladding Wall - Maxx Coastal</b>			
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3998	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3929	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3860	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3791	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3712	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3643	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3534	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3476	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3376	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3296	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3227	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3138	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3069	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	1400	760	2

Cladding Schedule			
Description	Sheet Length	Sheet Width	Count

<b>Elevation 4</b>			
<b>Cladding Wall - Maxx Coastal</b>			
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3998	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3929	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3860	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3791	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3712	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3643	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3534	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3476	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3376	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3296	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3227	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3138	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	3069	760	1
SHED Clad Maxx Coastal .40 Colour Endura G550 760 cover	1400	760	2

Type	Description	Sheet Width	Cut Length	Count	No. of Rolls
------	-------------	-------------	------------	-------	--------------

<b>Roofing Extras Schedule</b>					
Roofing Underlay	Driftlud RU24 1250mm x 40mm White/Black-faced SS Roof Underlay	1250	1005	8	1
Roofing Underlay	Driftlud RU24 1250mm x 40mm White/Black-faced SS Roof Underlay	1250	10050	9	2
Safety Netting	Netting Kivmesh Roof 1800x300x150x2.0mm @ 50m (90m2)	1800	1005	5	1
Safety Netting	Netting Kivmesh Roof 1800x300x150x2.0mm @ 50m (90m2)	1800	10050	5	1

**Note:**  
 - Roof and wall cladding to be supplied by roofing supplier to suit roofing profile.  
 - All notes and measurements are intended as a guide only.  
 - Please refer to your builder, roofer, supplier product literature and/or local territorial authority  
 - for further information and advice.  
 - All cladding is for reference only and supplied following a site measure by the builder or roofer

Designed by **ezequole** YOUR ADVANTAGE

PROJECT **586133**

Site **Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

Drawing Title **Cladding Schedule**

Notes

- All dimensions are in millimeters.
- All dimensions are to be checked on site.
- Any discrepancy between the architectural drawing and other drawings relevant for construction should be noted before commencement.

Project Status	Rev.	Date	Drawn	Tamoor	Dwg. No.
Concept Drawings	1	12-07-23	Checked	Sameer	<b>A-003</b>
Working Drawing					

Scale 1:50 on A3

Type	Description	Count	Supply Quantity
------	-------------	-------	-----------------

Type	Description	Count	Supply Quantity
Lumberlok Tylok 4T10	4T10 Tylok Plate S/S 120mm x 68mm	6	6
Bowmac B75 - Opening Column	B75G Rag Strap S/S	8	8
Lumberlok CPC 40	Concealed Purlin Cleat S/S CPC40 2mm x 40mm	16	16
Lumberlok CPC 80	Concealed Purlin Cleat S/S CPC80 2mm x 80mm	16	16
LUMBERLOK Girt Plate	Girplate S/S (16 Nails per bracket)	44	44
LUMBERLOK Girt Plate - Pole	Girplate S/S (16 Nails per bracket)	88	88
Joist Hanger 52 x 190	Joist Hanger S/S 52 x 190 3 screws per flange, 12 per hanger	44	44
M12 x 130mm	M12 x 75 S/S Eng. Bolt & Nut Bolt & Nut	16	16
M12 x 140mm - Single Rafter	M12 x 140 S/S Eng. Bolt & Nut - Single Rafters to Corner Poles	2	2
M12 x 220mm - Single Rafter	M12 x 220 S/S Coach Bolt & Nut - Single Rafters to Corner Poles	20	20
M12 x 220mm - Double Rafter	M12 x 220 S/S Eng. Bolt & Nut - Double Rafters and Mid Section	1	1
M12 x 240mm - Double Rafter	M12 x 240 S/S Coach Bolt & Nut - Double Rafters and Mid Section	10	10
Nailon Plate	Nailon Plate S/S 1mm x 110mmW x 240mmL NP-124	12	12
Column Nails	Nails 90x3.55 Flat S/S 5kg	122	1
Screw Multi-brace	Product Nails S/S 30x3.15mm 500gm (220 nails approx)	316	2
Screw Nailon Plate	Product Nails S/S 30x3.15mm 500gm (220 nails approx)	864	4
Rafter Splice Plate 200x80x2mm	Rafter Splice S/S 2x80x400mm RS40080	4	4
Screw Type 17-14g x 75mm	Screw Fxkn S/S Electro 14x 75 T17 (100)	42	4
Screw Joist Hanger	Screw Fxkn S/S 12x 35 T17 [100] Joist	528	6
Screws Rafter Splice Plate	Screw Fxkn S/S 12x 35 T17 [100] Joist	32	1
Screw Type 2-10g x 75mm	Screw Fxkn S/S Electro 10x 75 T17 (100)	30	1
Screw CPC	Screw Fxkn S/S Electro 14x 35 T17 (100)	160	2
Screw Girt Plate	Screw Fxkn S/S Electro 14x 35 T17 (100)	792	8
Screw Type 2-14g x 75mm	Screw Fxkn S/S Electro 14x 75 T17 (100)	20	1
Screw Cladding Roof	Timberite C5 12x65mm Colour (each)	820	820
Screw Cladding Wall	Timberite C5 12x65mm Colour (each)	930	930
Washer 50x50x3mm	Washer S/S 3x50x50mm	98	98

Multibrace Schedule				
4	Description	Length	Count	Supply Quantity

Multibrace	Multi Brace Galv Punched 15m Coil 1mm x 53mm wide	7320	8	4
Tensioner	Strap Brace Galv Tensioner		8	8

Door Schedule				
Type	Description	Door Width	Door Height	Count
PA Door	Hinged Door, 860w x 2000h	860	2000	2
Roller Door	Roller Door 3400H x 3600W	3600	3400	2



Designed by

586133

PROJECT  
Site  
Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

Drawing Title

**Ancillaries & Opening Schedule**

Notes

- 1. All dimensions are in millimetres.
- 2. All dimensions are to be checked on site.
- 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be noted under comments.

Project Status

Concept Drawings

Rev. 1

Date

12-07-23

Description

Working Drawing

Rev. 1

Date

Checked

Scale

1 : 50 on A3

Drawn

Tanner

Checked

Scale

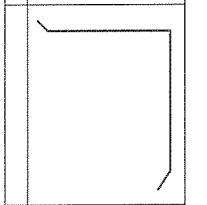
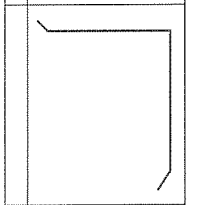
1 : 50 on A3

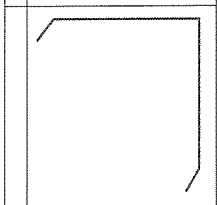
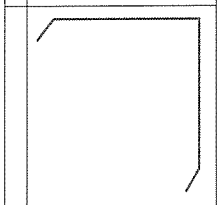
Dwg. No.

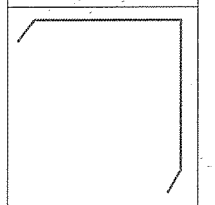
**A-004**

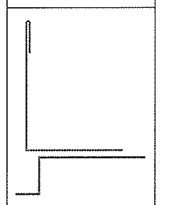


Flashing Schedule			
Description	Length	Supply Quantity	Image

Flashing Barge Flashing Colour 3 Fold ENDURA - Side barges	5.40	4	
Flashing Colour 3 Fold ENDURA - Side barges	1.10	2	
		6	

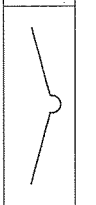
Flashing Corner Flashing Colour 3 Fold ENDURA - Corners	4.00	2	
Flashing Colour 3 Fold ENDURA - Corners	3.00	2	
		4	

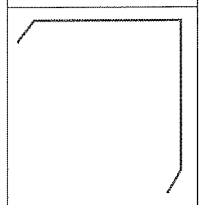
Flashing Door Column Flashing Colour 3 Fold ENDURA - door column	2.00	4	
		4	

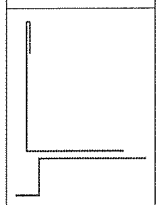
Flashing Door Head Shed Flashing PA Head & Trim Colorsteel per metre	1.20	2	
		2	

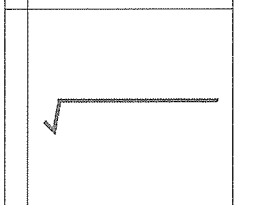
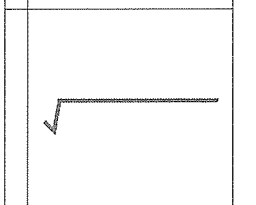
**Note:**  
 -Roof and wall flashing to be supplied by roofing supplier to suit roofing profile.  
 - All notes and measurements are intended as a guide only.  
 - Please refer to your builder, roofer, supplier product literature and/or local territorial authority  
 - for further information and advice.  
 - All flashing is for reference only and supplied following a site measure by the builder or roofer.

Flashing Schedule			
Description	Length	Supply Quantity	Image

Flashing Ridge Roof Ridding R Top Colour ENDURA 200leaf inc:Soft Edge per metre	4.50	2	
		2	

Flashing Roller Door Column Shed Flashing RD Trim Colorsteel per metre	3.50	4	
		4	

Flashing Roller Door Head Shed Flashing RD Head Colorsteel per metre	3.90	2	
		2	

Flashing Verrin Flashing Colour 2 Fold ENDURA - verrin	5.00	4	
Flashing Colour 2 Fold ENDURA - verrin	4.50	4	
		8	

Designed by PROJECT 586133


ezequote YOUR ADVANTAGE  
 Site Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand

Drawing Title Notes

Flashing Schedule  
 1. All dimensions are in millimeters.  
 2. All dimensions are to be checked on site.  
 3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be noted before commencement.

Rev.	Concept Drawings	Date	Checked	Scale
1	Working Drawing	12-07-23	Samner	1 : 50 on A3

Dwg. No. **A-005**



**ezequote**  
YOUR ADVANTAGE

PROJECT **5861 133**

Site **Moturoa Island, Kerikeri Inlet, Kerikeri, New Zealand**

Drawing Title

**Plumbing Fixture & Concrete Schedule**

Notes

1. All dimensions are in millimetres.  
2. All dimensions are to be checked on site.  
3. Any discrepancy between the architectural drawing and other drawings relevant for construction should be notified before commencement.

Rev.	Concept Drawings	Date
1	Working Drawing	12-07-23

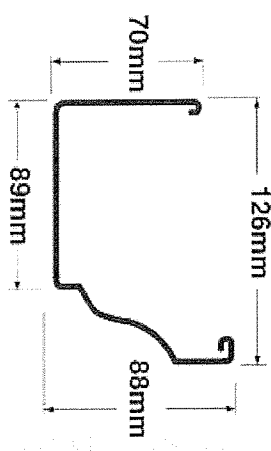
Rev.	Drawn	Tamoor
1	Checked	Sameer

Scale **1 : 50 on A3**

Dwg. No. **A-006**

**Important**

- The materials and quantities listed have been estimated based on standard industry practice and are provided as a reference only for the customer.
- Actual products or quantities supplied may vary based on the inclusions within the client's project estimate and current material availability but in all cases materials supplied will be compliant with the engineered drawings and Building Code.
- It is the customer's responsibility to check all items and quantities are correct and to advise any discrepancies or variations as soon as possible.

Type	Description	Count	Image
Marley Classic 3m	MC1.5 Marley Classic Spouting 3.0m White	6	
Socket Band 95 deg.	95deg.Socket Band	2	
Spouting Bracket	MC2 Marley Classic Bracket White	36	
LH Stopend	MC3 Marley Classic LH Stopend White	2	
RH Stopend	MC4 Marley Classic RH Stopend White	2	
Spouting Joiner	MC5 Marley Classic Spouting Joiner White	2	
Dropper Outlet	MC1180 Marley Classic Dropper Outlet 90mm White	2	
Marley Nails	MCN Marley Nails 150 bag	2	
Marley Solvent	MCS Marley Waling Solvent 180g tube White	2	
Pipe Clip	RC80 Marley Pipe Clip White	5	
Downpipe 3m	RP80 Marley 80mm Downpipe 3.0m White	4	

Structural Foundation Schedule				
Type	Description	Volume	Count	Total Volume
Concrete Readymix 20 MPa		0.03 m³	2	0.06 m³
Concrete Readymix 20 MPa		0.04 m³	2	0.08 m³
Concrete Readymix 20 MPa		0.05 m³	4	0.20 m³
Concrete Readymix 20 MPa		0.37 m³	15	5.51 m³
<b>Grand total</b>				<b>5.86 m³</b>

Fascia Schedule				
Type	Description	Cut Length	Supply Length	Supply Quantity
Fascia Board 150 x 25	150 x 25 Radiata Dress/Grade H3.2 KD D4S fs135x19	4500	4800	2



0 25 50 m

IMAGE SCALE APPROXIMATE  
0 6 12 18 m

IMAGE COURTESY OF FAR NORTH CONSORTIUM

DRAWN:	HM
CHECKED:	HM
DATE:	9/08/2023
PROJECT:	J15478
SHEET:	1 of 1
SCALE A3:	1:200

# Appendix 4 - Rules Assessment

Proposal: The construction of Shed

Address: Moturoa Island

District Plan: Operative Far North District Plan - ODP

Site Zoning	
Zone	<b>Moturoa Island Zone</b>
Overlays/Controls	None
Designations	None

Rule	Compliance	Non-Compliance
<b>18.1.6 – Moturoa Island Zone</b>		
<p><b>18.1.6.1.1 LOCATION OF RESIDENTIAL ACTIVITIES</b></p> <p>No residential activities may be located outside the building sites defined on the Moturoa Island Development Plan (Appendix 6A).</p>	N/A – No residential activity is proposed.	
<p><b>18.1.6.1.2 RESIDENTIAL INTENSITY</b></p>	N/A – No residential unit is proposed.	
<p><b>18.1.6.1.3 VISUAL AMENITY</b></p> <p>The following are permitted activities in the Moturoa Island Zone:</p> <p>(a) any new building with a gross floor area of less than 25m<sup>2</sup>; or</p> <p>(b) any alteration/addition to an existing building which does not exceed 20% of the gross floor area of the building which is being altered or added to, provided that any alteration/addition does not exceed the height of the existing building, and that any alteration/addition is to a building that existed at 28 April 2000.</p> <p><i>Note:</i> New buildings with a gross floor area of more than 25m<sup>2</sup> are not a permitted activity.</p>	(b) N/A – new building is proposed.	<p><b>Does Not Comply</b></p> <p>(a) the shed will have a GFA of 90m<sup>2</sup>.</p> <p><b>Controlled Activity</b></p>
<p><b>18.1.6.1.4 BUILDING HEIGHT</b></p> <p>The maximum building height of any building shall be 5m</p>	<p><b>Complies</b></p> <p>As shown on the building plans, states a maximum height of 4m.</p> <p><b>Permitted Activity.</b></p>	
<p><b>18.1.6.1.5 WATER SETBACK</b></p> <p>No new buildings shall be erected within 30m of the line of MHWS.</p>	<p><b>Complies</b></p> <p>The proposed shed will be setback approximately 100m from the coastline.</p>	

Rule	Compliance	Non-Compliance
<p><b>18.1.6.1.6 SCALE OF FARM BUILDINGS</b> The maximum site coverage of buildings associated with the farming use of Moturoa Island shall not exceed 400m<sup>2</sup>.</p>	<p><b>Permitted Activity.</b> N/A – The shed is not for farming activities – it is for storing boats.</p>	
<p><b>18.1.6.1.7 NOISE</b> All activities shall be so conducted as to ensure that noise from the site shall not exceed the following noise limits at or within the notional boundary of any dwelling not on the same site within the Moturoa Island Zone, or at or within the notional boundary of any dwelling in the General Coastal Zone: 0700 to 2200 hrs 55 dBA L10 2200 to 0700 hrs 45 dBA L10 and 70 dBA Lmax</p>	<p>Will comply as the only noise that will occur is from construction noise. <b>Permitted Activity.</b></p>	
<p><b>18.1.6.1.8 HELICOPTER LANDING AREA</b></p>	<p>N/A – no helicopter landing area is proposed.</p>	

# Appendix 5 - Rules Assessment

District Plan: Proposed Far North District Plan 'PDP'

Site Zoning	
Zone	<b>Moturoa Island</b>
Overlays/Controls	Coastal Environment, Outstanding Natural Landscape '36' and High Natural Character '307', '309', '312', '313' and '318'.
Designations	None

Rule	Compliance	Non-Compliance
<b>Rules and Standards That Have Immediate Legal Effect under the PDP</b>		
<b>Part 2 – District Wide Matters /Hazards and Risks / Hazardous Substances</b>		
<b>HS-R2</b> Establishment of a New Significant Hazardous Facility	N/A	
<b>HS-R5</b> Significant Hazardous facility Within a Scheduled Site and Area of Significance to Māori	N/A	
<b>HS-R6</b> Significant Hazardous facility Within a Significant Natural Area	N/A	
<b>HS-R9</b> Significant Hazardous facility Within a Scheduled Heritage Resource	N/A	
<b>Part 2 – District Wide Matters / Historical and Cultural Values / Heritage Area Overlays</b>		
<b>HA-R1</b> Maintenance and Repair of Buildings or Structures	N/A	
<b>HA-R2</b> Additions or Alterations to Existing Buildings or Structures	N/A	
<b>HA-R3</b> Strengthening or Fire Protection of Scheduled Heritage Resource	N/A	
<b>HA-R4</b> New buildings or Structures	N/A	
<b>HA-R5</b> Earthworks	N/A	
<b>HA-R6</b> Infrastructure and Renewable Electricity Generation Infrastructure	N/A	
<b>HA-R7</b> Buildings or Structures (including additions and alterations) Located within the Alderton Park Development	N/A	
<b>HA-R8</b> New Buildings or Structures	N/A	
<b>HA-R9</b> New Buildings or Structures	N/A	
<b>HA-R10</b> Infrastructure and Renewable Electricity Generation Infrastructure	N/A	
<b>HA-R11</b> Activities Not Otherwise Listed in this chapter	N/A	
<b>HA-R12</b> Relocation of a Scheduled Heritage Resource	N/A	

Rule	Compliance	Non-Compliance
<b>HA-R13</b> Demolition of a scheduled Heritage resource not otherwise listed in Rule HA-R13	N/A	
<b>HA-R14</b> Demolition or relocation of a scheduled Heritage Resource	N/A	
<b>HA-S1</b> Setback From a scheduled heritage resource	N/A	
<b>HA-S2</b> Heritage Colours	N/A	
<b>HA-S3</b> Accidental Discovery Protocol	N/A	
<b>Part 2 – District Wide Matters / Historical and Cultural Values / Historic Heritage</b>		
<b>HH-R1</b> Maintenance and Repair of Scheduled Heritage Resources Buildings or Structures	N/A	
<b>HH-R2</b> Additions or Alterations of Scheduled Heritage Resources Buildings or Structures	N/A	
<b>HH-R3</b> Strengthening or Fire Protection of Scheduled Heritage Resource Buildings or Structures	N/A	
<b>HH-R4</b> New Buildings or Structures, Extensions or Alterations to Existing Buildings or Structures	N/A	
<b>HH-R5</b> Earthworks	N/A	
<b>HH-R6</b> Infrastructure and Renewable Electricity Generation Infrastructure Within a Site Containing a Scheduled Heritage Resource	N/A	
<b>HH-R7</b> Relocation of a Scheduled Heritage Resource	N/A	
<b>HH-R8</b> Activities Not Otherwise Listed in this Chapter	N/A	
<b>HH-R9</b> Demolition of a scheduled Heritage resource not otherwise listed in Rule HH-R10	N/A	
<b>HH-R10</b> Demolition or relocation of a scheduled Heritage Resource	N/A	
<b>Part 2 – District Wide Matters / Historical and Cultural Values / Notable Trees</b>		
<b>NT-R1</b> Gardening, Mowing and Cultivation Within the Rootzone Area of a Notable Tree	N/A	
<b>NT-R2</b> Maintenance, Pruning and Trimming of Branches of a Notable Tree	N/A	
<b>NT-R3</b> Removal or Pruning of an Unsafe or Dead Notable Tree	N/A	

Rule	Compliance	Non-Compliance
<b>NT-R4</b> Pruning of a Notable Tree Close to Existing Electricity Lines	N/A	
<b>NT-R5</b> New Underground Infrastructure (including customer connections) and Upgrading of Existing Underground Infrastructure in the Rootzone Area of a Notable Tree	N/A	
<b>NT-R6</b> Alterations to the Rootzone Area of a Notable Tree or Trees	N/A	
<b>NT-R7</b> Earthworks, Impermeable Surfaces, Buildings or Structures within a Rootzone Area of a Notable Tree or Trees	N/A	
<b>NT-R8</b> Removal or Relocation of a Notable Tree	N/A	
<b>NT-R9</b> Activities Not Otherwise Listed in This Chapter	N/A	
<b>NT-S1</b> Qualified Arborist – Level 4	N/A	
<b>NT-S1</b> Qualified Arborist – Level 6	N/A	
<b>Part 2 – District Wide Matters / Historical and Cultural Values / Sites and Areas of Significance to Māori</b>		
<b>SASM-R1</b> New Buildings or Structures, Extensions or Alterations to Existing Buildings or Structures, Earthworks or Indigenous Vegetation Clearance	N/A	
<b>SASM-R2</b> New Buildings or Structures, Extensions or Alterations to Existing Buildings or Structures, Earthworks or Indigenous Vegetation Clearance	N/A	
<b>SASM-R3</b> Activities Not Otherwise Listed in this Chapter	N/A	
<b>SASM-R4</b> Commercial Activity	N/A	
<b>SASM-R5</b> Plantation Forestry and Plantation Forestry Activity	N/A	
<b>SASM-R6</b> Mineral Extraction Activity	N/A	
<b>SASM-R7</b> Destruction or Demolition of a Scheduled Site and Area of Significance to Māori	N/A	
<b>Part 2 – District Wide Matters / National Environment Values / Ecosystems and Indigenous Biodiversity</b>		
<b>IB-R1</b> Indigenous Vegetation Pruning, Trimming and Clearance and Any Associated Land Disturbance for Specified Activities Within and Outside a Significant Natural Area	N/A	
<b>IB-R2</b> Indigenous Vegetation Clearance and Any Associated Land Disturbance	N/A	



Rule	Compliance	Non-Compliance
within a Significant Natural Area for Papakāinga		
<b>IB-R3</b> Indigenous Vegetation Clearance and Any Associated Land Disturbance Within a Significant Natural Area	N/A	
<b>IB-R4</b> Indigenous Vegetation Clearance and Any Associated Land Disturbance Outside a Significant Natural Area	N/A	
<b>IB-R5</b> Plantation Forestry and Plantation Forestry Activities Within a Significant Natural Area	N/A	
<b>Part 2 – District Wide Matters / Subdivision</b>		
<b>SUB-R6</b> Environmental Benefit Subdivision	N/A	
<b>SUB-R13</b> Subdivision of a Site Within a Heritage Area Overlay	N/A	
<b>SUB-R14</b> Subdivision of a Site That Contains a Scheduled Heritage Resource	N/A	
<b>SUB-R15</b> Subdivision of a Site Containing a Scheduled Site and Area of Significance to Māori	N/A	
<b>SUB-R17</b> Subdivision of a Site Containing a Scheduled SNA	N/A	
<b>Part 2 – District Wide Matters / General District Wide Matters / Activities on the Surface of Water</b>		
<b>ASW-R1</b> The Use of Non-Motorised Craft	N/A	
<b>ASW-R2</b> The Use of Motorised Craft	N/A	
<b>ASW-R3</b> Structures	N/A	
<b>ASW-R4</b> Any Activity Not Provided for as a Permitted or Discretionary in This Chapter	N/A	
<b>Part 2 – District Wide Matters / General District Wide Matters / Earthworks</b>		
<b>EW-R12</b> Earthworks and the Discovery of Suspected Sensitive Material	<b>Complies</b>	
<b>EW-R13</b> Earthworks and Erosion and Sediment Control	<b>Complies</b>	
<b>EW-S3</b> Accidental Discovery Protocol	<b>Complies</b> – it is standard practice that an ADP condition or advice note will be within the decision.	
<b>EW-S5</b> Erosion and Sediment Control	<b>Complies</b> – as above.	
<b>Part 2 – District Wide Matters / General District Wide Matters / Signs</b>		
<b>SIGN-R9</b> Signs on or Attached to a Scheduled Heritage Resource	N/A	

Rule	Compliance	Non-Compliance
<b>SIGN-R10</b> Signs in the Kororāreka Russell and Kerikeri Heritage Areas	N/A	
<b>SIGN-S1</b> Maximum Sign Area Per Site	N/A	
<b>SIGN-S2</b> Maximum Height of Signage	N/A	
<b>SIGN-S3</b> Maximum Number of Signs	N/A	
<b>SIGN-S4</b> Traffic Safety	N/A	
<b>SIGN-S5</b> Sign Design and Content	N/A	
<b>SIGN-R6</b> Sign Setback and Design	N/A	
<b>Part 3 – Area Specific Matters / Special Purpose Zones / Orongo Bay</b>		
<b>OBZ-R14</b> Comprehensive Development Plan	N/A	

Far North District Council

Private Bag 752

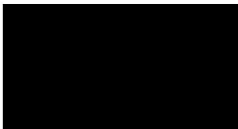
Kaikohe, 0440

Dear Sir/Madam,

**Re: Lodgment of Consent for Construction of a Boat Shed – Moturoa Island**

Geoff Harnett (shareholder) has advised us he wishes to lodge a Resource Consent and possibly Building Consent, if required, for a new boat shed in the paddock behind the woolshed. We write to confirm on behalf of Motu Roa Island Limited (the registered landowner on the Title) that we approve of the lodgment for necessary Consent(s).

Yours Sincerely

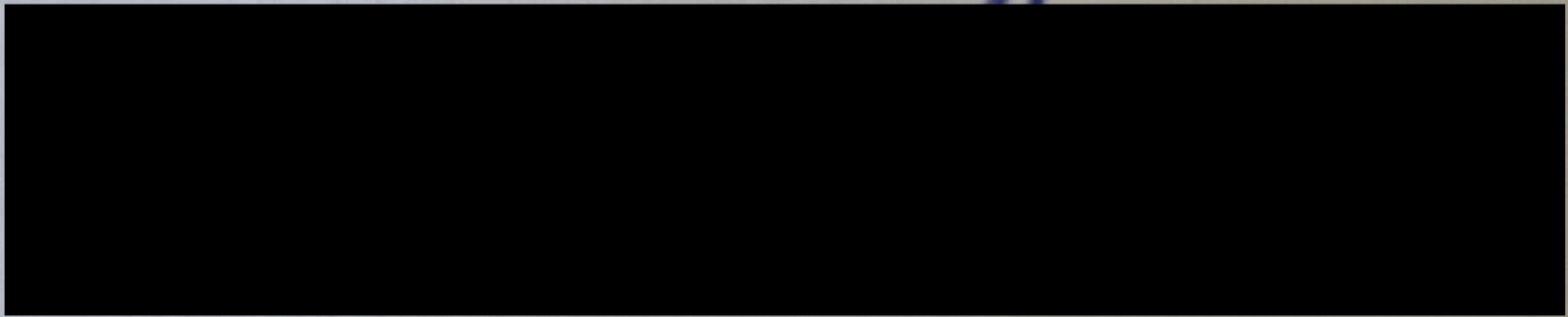


**James Bundy** *BSc (Hons) FRICS MNZIBS MInstD BOHS IP405*

t +64 21 343 034

Company Director / Chairman

For and on behalf of Motu Roa Island Limited



Details of Property Owner/s and Occupier/s: Name and Address  
application relates (where there are multiple owners or occupiers)

MOTU KOA ISLAND L...

---

---

Moturoa Island

---

---

---

Address:

Other Details: