

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

## 2. Type of Consent being applied for

(more than one circle can be ticked):

- |   |   |
|---|---|
| <input type="radio"/> Land Use  | <input type="radio"/> Discharge                           |
| <input type="radio"/> Fast Track Land Use*  | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision   | <input type="radio"/> Extension of time (s.125)           |
| <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil) |   |
| <input type="radio"/> Other (please specify) _____  |   |

\* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

## 3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

## 4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant Details

**Name/s:**

Ian and Vicki Smith

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

## 6. Address for Correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Bay of Island Planning Ltd

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

*\* All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

## 7. Details of Property Owner/s and Occupier/s

*Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

Ian Roger Smith, Vicki Anne Smith and CLM Trustees Limited

**Property Address/  
Location:**

1/14 First Ave

Tauranga

**Postcode**

3110



*Location and/or property street address of the proposed activity:*

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

\_\_\_\_\_

\_\_\_\_\_

☐ Yes ☐ No

## 11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- |   |   |
|---|---|
| <input type="radio"/> Subdividing land                    | <input type="radio"/> Disturbing, removing or sampling soil       |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

## 13. Assessment of Environmental Effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☐ Yes

## 13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No

## 14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full) Ian and Vicki Smith

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

**Signature:**

(signature of bill payer)

## 15. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 15. Important information continued...

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name:** (please write in full)

Andrew McPhee

**Signature:**

### Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



## 14. Billing Details:

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**Name/s:** (please write in full)

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of contact for service under section 358 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

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**BAY OF ISLANDS PLANNING (2022) LIMITED**

**Kerikeri House  
Suite 3, 88 Kerikeri Road  
Kerikeri**

**Email – [office@bayplan.co.nz](mailto:office@bayplan.co.nz) Website - [www.bayplan.co.nz](http://www.bayplan.co.nz)**

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22 April 2025

Dear Team Leaders

**Re: Application for Resource Consent (Land use) – Proposed extension to the existing dwelling and new boatshed at 55 Kingfisher Drive, Kerikeri**

Please find a land use consent application to extend the existing dwelling and construct a boatshed on our client's property. The proposed development is on a site which is zoned Coastal Living within the Operative District Plan (**ODP**). The site is zoned Rural Lifestyle under the Proposed District Plan (**PDP**). The application requires resource consent relating to the following matters:

- Visual Amenity.
- Stormwater Management.
- Setback from Boundaries.
- Excavation and/or Filling in the Coastal Living zone

Overall, the application is a **Discretionary Activity**.

The application is supported by the following documents:

- **Assessment of Environmental Effects [Bay of Islands Planning Ltd]**
- **Appendix A - Record of Title;**
- **Appendix B – Concept and Resource Consent Drawings [Lindholm Design Architectural Services]**
- **Appendix C – Stormwater Management Report [Haigh Workman]**
- **Appendix D – Geotechnical Investigation Report [Haigh Workman]**
- **Appendix E – Visual Amenity Report and Plan [Hawthorne Landscape Architects]**

- **Appendix F – Approved Earthworks Permit**
- **Appendix G – Approved Vehicle Crossing Permit**
- **Appendix H – Earthworks Plan**

Should you require any further information please do not hesitate to contact me.



Andrew McPhee  
Consultant Planner

## INTRODUCTION

The applicant seeks resource consent to extend the existing dwelling and construct a boatshed on their property at 55 Kingfisher Drive, Kerikeri. The site is legally described as Lot 2 DP 311542 and Lot 4 DP 317854, which comprises a total land area of 16,836m<sup>2</sup>. A copy of the Record of Title is attached at **Appendix A**.

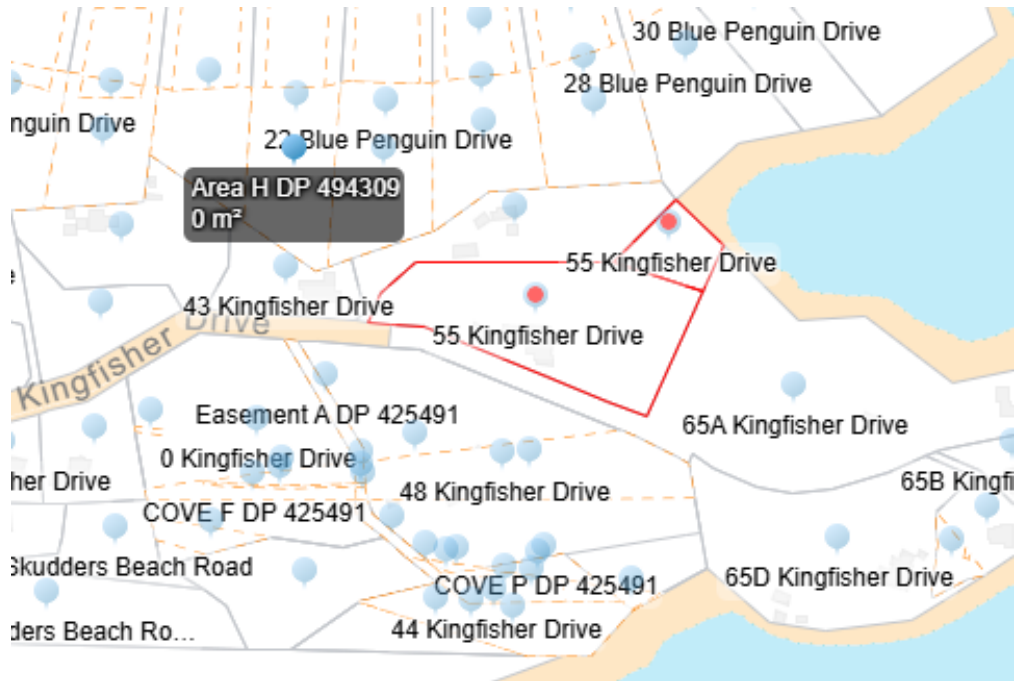
The application is supported by architectural drawings produced by Lindholm Design Architectural Services, attached at **Appendix B**.

This Assessment of Effects on the Environment (**AEE**) is prepared in accordance with Schedule 4 of the Resource Management Act 1991 (**RMA**). The AEE concludes that any potential adverse effects on the environment will be less than minor.

## DESCRIPTION OF THE SITE AND SURROUNDS

The property is located at the end of Kingfisher Drive and currently accommodates a dwelling and a garage. Access to the property is by way of a ROW easement over Lot 1 DP 317854 at the end of Kingfisher Drive. The property is surrounded by similar sized sections that have been developed in a lifestyle capacity inland from the Kerikeri Inlet.



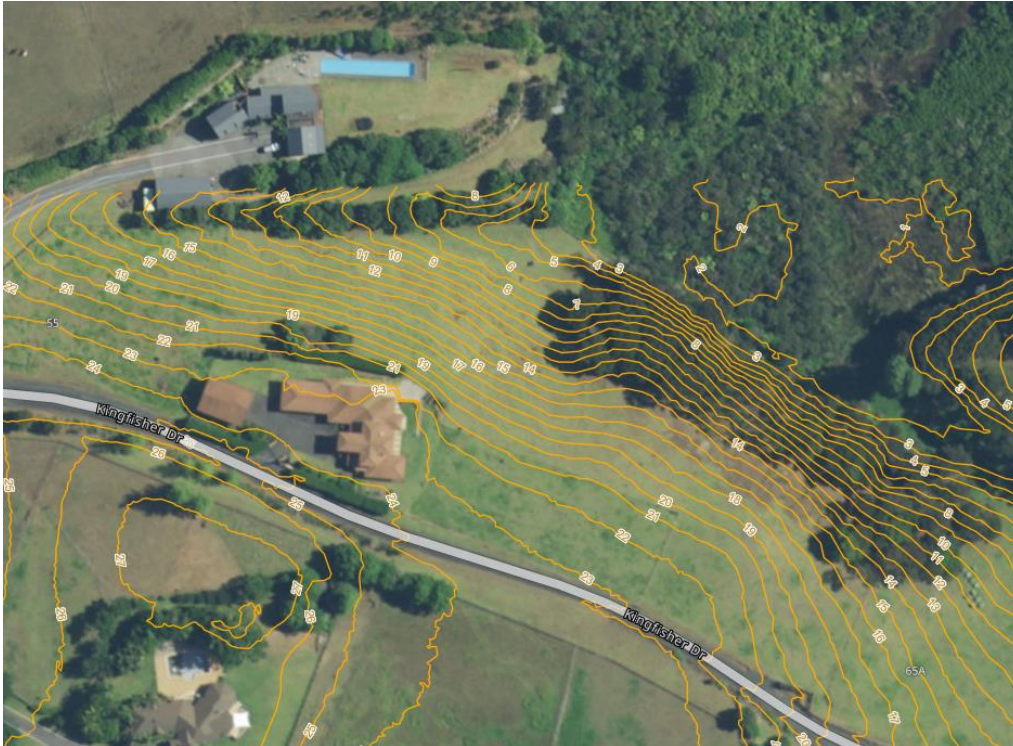


**Figure 1 – Site (Source: Prover)**



**Figure 2 – Site Aerial (Source: PDP Maps)**

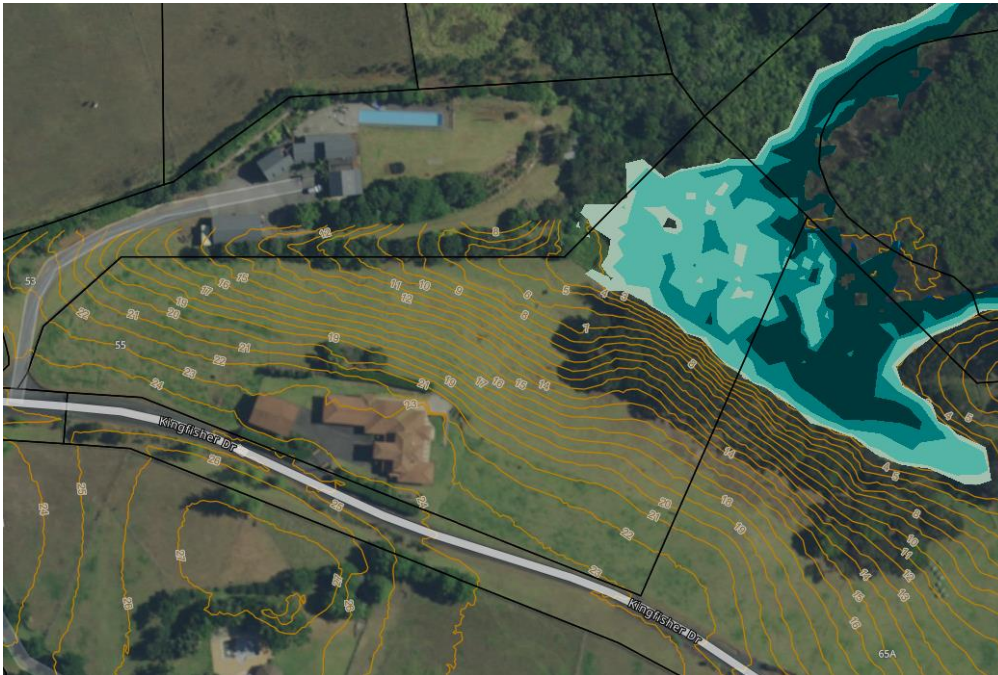
The site is predominantly lawn covered, with a vegetated area in the northeastern corner of the site. The topography of the site slopes towards the north/northeast, running toward the coastal marine area.



**Figure 3 – Contours (Source: NRC Maps)**

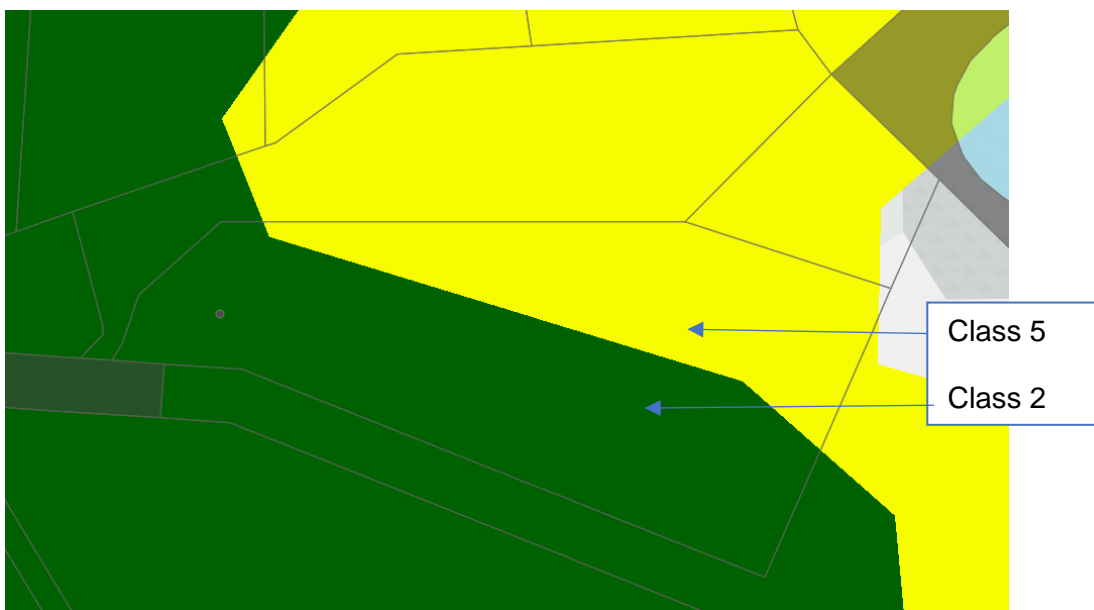
There is extensive screening in the form of vegetation on the northern boundary of the site, along with stands of vegetation and planting within the site. The house and garage are screened from the ROW by planting along the southern boundary.

Parts of the site are subject to Coastal and River Flooding. However, this is mostly restricted to the area adjoining the CMA on Lot 4 DP 317854. No development is proposed within the identified hazard areas.



**Figure 4 – Flooding hazards (Source: NRC Maps)**

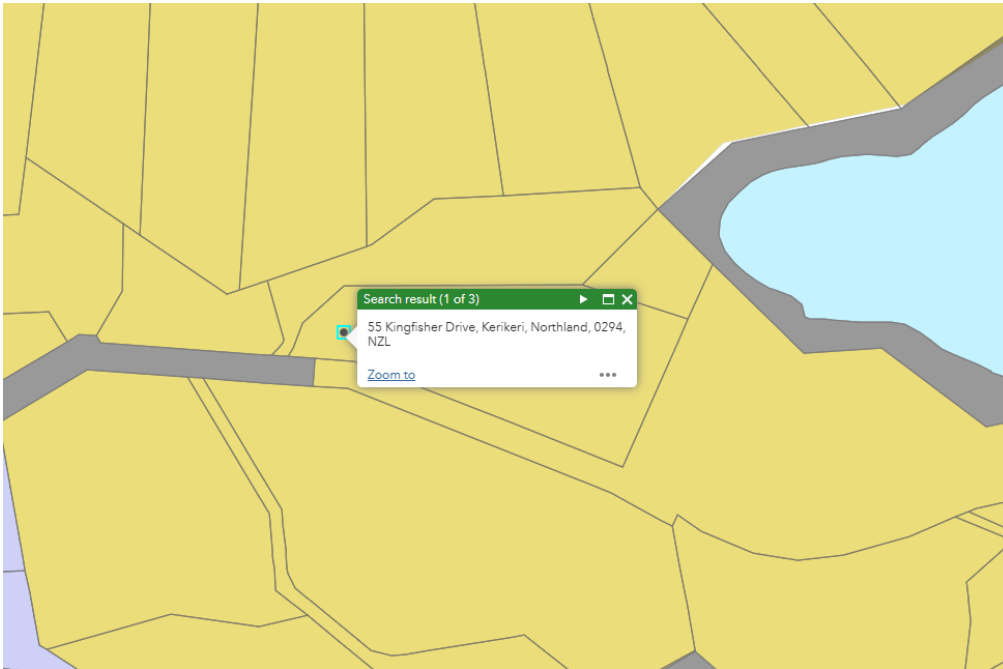
The soils are a mixture of Class 2 and Class 5. The National Policy Statement for Highly Productive Land (**NPS-HPL**) does not apply to land zoned Rural Lifestyle.



**Figure 5 – Land Use Classification (Source: FNDC Maps)**

The site is surrounded by properties also zoned Coastal Living.





**Figure 6 – Zoning (Source: Far North Maps)**

## RECORD OF TITLE (INSTRUMENTS)

The site Record of Title is attached at **Appendix A**. No consent notices apply to the title; however the property is subject to a number of Private Covenants. Private Covenants by their nature are a civil matter and not of concern for the consenting authority.

## DESCRIPTION OF THE PROPOSAL

The proposed extensions to the dwelling include additional decking areas, a cellar/storage, glass house, swimming pool, patio, roofed pergola, a future studio and garden pathways. The proposal also includes the construction of a new boat shed west of the existing garage, which will be accessed by way of a new dedicated access off Kingfisher Drive (refer plans in **Appendix B** and approval for vehicle crossing in **Appendix G**).

Earthworks are required to create a level building platform for the proposed boatshed and to create the driveway accessed from the end of Kingfisher Drive. An approved earthworks permit has been obtained from Council to undertake this component of the application (refer **Appendix F**).

Further earthworks are required for the remaining development proposed on the site. The following is a summary of the earthworks required:

***Garden area by existing shed***

- Earth fill behind retaining wall from stockpiled cut material =  $90\text{m}^3$
- Excavation for retaining wall footings =  $20\text{m}^3$

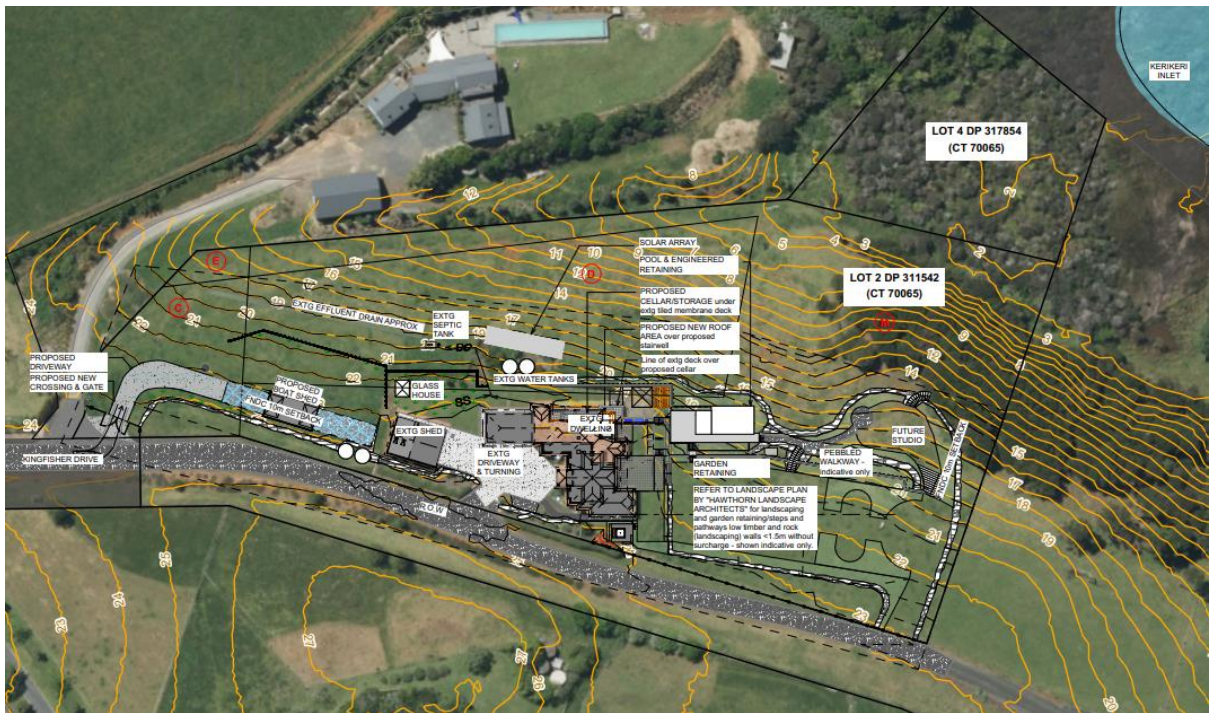
***Extension of driveway area & retaining by boatshed***

- Cut for driveway and strip topsoil and organic matter to areas to be receive fill =  $60\text{m}^3$
- Excavation for retaining wall footings =  $24\text{m}^3$
- Fill behind retaining from cut material =  $30\text{m}^3$
- Compacted fill & Metalled areas to driveway extension =  $54\text{m}^3$

***Landscaping and pool areas to east and north of dwelling***

- Cut 0.5m high batter to Spa area at 1v:3H =  $5\text{m}^3$
- Cut to form level lawn/garden area and grassed access off ROW. Cut retained by stone retaining wall <1m high =  $180\text{m}^3$
- Excavate for foundations to timber retaining wall adjacent to lawn area =  $30\text{m}^3$
- Cut for paving area and pool =  $115\text{m}^3$
- Cut for cellar floor levels and foundations =  $25\text{m}^3$
- Cut/excavate for outdoor entertainment area and foundation for timber retaining and batter to meet existing ground =  $35\text{m}^3$
- Strip organic matter and topsoil from areas to receive fill =  $80\text{m}^3$
- Earth fill to level lawn/garden area, fill behind rock retaining and retained garden fill as per extent shown =  $800\text{m}^3$
- Compacted fill to spa platform, under paving areas, pool and cellar slabs =  $135\text{m}^3$

Total earthworks to be undertaken in a 12 month period on the site totals 1,976m<sup>3</sup>.



## REASONS FOR CONSENT

The site is / was not known to be a HAIL and there is existing residential development present. The proposal is not seeking to change this use. **Table 1** below provides an assessment against

the applicable ODP performance standards (rules) and identifies the reasons for resource consent.

**Table 1 – Relevant Rules ODP**

Rule #		Assessment
<b>Rule 10.7.5.1.1</b> <b>Visual Amenity</b>	<b>Permitted Activity:</b> (a) any new building(s), provided that the gross floor area of any new building(s) permitted under this rule does not exceed 50m <sup>2</sup> .	The addition of the boat shed along with the additions to the dwelling exceed 50m <sup>2</sup> and are located outside an approved building envelope.
<b>Rule 10.7.5.3.1</b>	<b>Restricted Discretionary Activity:</b> Any new building(s) or any alteration/addition to an existing building that do not meet the permitted activity standards in Rule 10.7.5.1.1 where the new building or building alteration/addition is located partially or entirely outside a building envelope that has been approved under a resource consent.	<b>Restricted Discretionary Activity</b>
<b>Rule 10.7.5.1.2</b> <b>Residential Intensity</b>	Not applicable	Proposal is associated with the existing residential activity on site.  <b>Complies</b>
<b>Rule 10.7.5.1.3</b> <b>Scale of Activities</b>	Not applicable	Proposal is associated with the existing residential activity on site.

		<b>Complies</b>
<b>Rule 10.7.5.1.4 Building Height</b>	<b>Permitted Standard:</b> Maximum Height = 8m	All buildings are below 6m in height.  <b>Complies</b>
<b>Rule 10.7.5.1.5 Sunlight</b>	<b>Permitted Standard:</b> No part of any building to project beyond 45-degree recession plane as measured inwards from any point 2m vertically above the ground on any site boundary	Proposed development does not breach the sunlight recession plane from any of the property boundaries.  <b>Complies</b>
<b>Rule 10.7.5.1.6 Stormwater Management</b>	<b>Permitted Standard:</b> Maximum proportion of the gross site area covered by buildings is 10% or 600m <sup>2</sup> whichever is the lesser.	Proposed total impermeable surfaces coverage is estimated to be 2,326m <sup>2</sup> [13.8%].  <b>Discretionary Activity</b>
<b>Rule 10.7.5.3.8</b>	<b>Restricted Discretionary Standard:</b> The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 15% or 1,500m <sup>2</sup> , whichever is the lesser.	
<b>Rule 10.7.5.1.7 Setback from Boundaries</b>	<b>Permitted Standard:</b> Minimum setback is 10m from all boundaries except on any site less than 5,000m <sup>2</sup> the setback is 3m.	The boatshed is proposed to be 6 metres from the southern boundary. The site is larger than 5,000m <sup>2</sup> .
<b>Rule 10.7.5.3.6</b>	<b>Restricted Discretionary:</b>	<b>Restricted Discretionary</b>



	Any breach of the permitted standard.	<b>Activity</b>
<b>Rule 10.7.5.1.8 Screening for Neighbours Non- Residential Activities</b>	Not applicable	Proposal is associated with the existing residential activity on site.  <b>Complies</b>
<b>Rule 10.7.5.1.9 Transportation</b>		No change to the number of dwellings (first dwelling is exempt for traffic).  No change to parking for the existing dwelling.  No change to the access for the dwelling. A new access is proposed for the proposed boatshed. Approval has been granted subject to a number of conditions including compliance with Councils Engineering Standards. Access is wider than 3m.  <b>Complies</b>
<b>Rule 10.7.5.1.10 Hours of Operation Non- residential Activities</b>	Not applicable	Proposal is associated with the existing residential activity on site.  <b>Complies</b>
<b>Rule 10.7.5.1.11 Keeping of</b>	Not applicable	<b>Complies</b>

<b>Animals</b>		
<b>Rule 10.7.5.1.12 Noise</b>		<p>Proposal is associated with the existing residential activity on site.</p> <p><b>Complies</b></p>
<b>Rule 10.7.5.1.13 Helicopter Landing</b>	Not applicable	<b>Complies</b>
<b>12.1 Landscapes &amp; Natural Features</b>	Not applicable	<b>Complies</b>
<b>12.2 Indigenous Flora and Fauna</b>		<p>No vegetation clearance required.</p> <p><b>Complies</b></p>
<b>12.3 Soils &amp; Minerals</b>	<p><b>Permitted Standard:</b></p> <p>(a) it does not exceed 300m<sup>3</sup> in any 12 month period per site; and</p> <p>(b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the maximum permitted cut and fill height may be 3m.</p> <p><b>Restricted discretionary:</b></p> <p>(a) it does not exceed 2,000m<sup>3</sup> in any 12 month period per site; and</p> <p>(b) it does not involve a cut or filled face exceeding 1.5m in height i.e. the</p>	<p>An earthworks permit has been approved by Council for the works associated with the boatshed and associated access.</p> <p>However, total earthworks to including those associated with the extensions to the dwelling total 1,976m<sup>3</sup>.</p> <p><b>Restricted Discretionary Activity</b></p>

	maximum permitted cut and fill height may be 3m.	
<b>12.4 Natural Hazards</b>		No hazards present in the vicinity of works.  <b>Complies</b>
<b>12.5 Heritage</b>	Not applicable	Not applicable
<b>12.7 Setbacks from Waterways</b>		The site is setback sufficiently from waterways.  <b>Complies</b>

The application is a **Discretionary Activity** under the ODP as there is more than one breach under 10.7.5.3(a).

**Table 2 – Relevant Rules PDP**

<b>Proposed District Plan</b>				
<b>Matter</b>	<b>Rule/Std Ref</b>	<b>Relevance</b>	<b>Compliance</b>	<b>Evidence</b>
Hazardous Substances Majority of rules relates to development within a site that has heritage or cultural items scheduled and mapped however Rule HS-R6 applies to any development within an SNA – which is not mapped	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource  HS-R5, HS-R6, HS-R9	N/A		Not relevant as no such substances proposed.
Heritage Area Overlays	All rules have immediate legal	N/A		Not indicated on Far North

(Property specific) This chapter applies only to properties within identified heritage area overlays (e.g. in the operative plan they are called precincts for example)	effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)			Proposed District Plan
Historic Heritage (Property specific and applies to adjoining sites (if the boundary is within 20m of an identified heritage item)). Rule HH-R5 Earthworks within 20m of a scheduled heritage resource. Heritage resources are shown as a historic item on the maps) This chapter applies to scheduled heritage resources – which are called heritage items in the map legend	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	N/A		Not indicated on Far North Proposed District Plan
Notable Trees (Property specific) Applied when a property is showing a scheduled notable tree in the map	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	N/A		Not indicated on Far North Proposed District Plan
Sites and Areas of Significance to Māori	All rules have immediate legal effect (SASM-R1	N/A		Not indicated on Far North Proposed District

(Property specific) Applied when a property is showing a site / area of significance to Maori in the map or within the Te Oneroa-a Tohe Beach Management Area (in the operative plan they are called site of cultural significance to Maori)	to SASM-R7) Schedule 3 has immediate legal effect			Plan
Ecosystems and Indigenous Biodiversity SNA are not mapped – will need to determine if indigenous vegetation on the site for example	All rules have immediate legal effect (IB-R1 to IB-R5)	N/A		Not indicated on Far North Proposed District Plan. No vegetation clearance proposed.
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	N/A		Not indicated on Far North Proposed District Plan
Earthworks all earthworks (refer to new definition) need to comply with this	The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5	Yes	Complies	Proposed earthworks will be in accordance with the relevant standards including GD-05 and will have an ADP applied.
Signs (Property specific) as rules only relate to situations where a sign is on a scheduled heritage resource (heritage	The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards	N/A		Not indicated on Far North Proposed District Plan

item), or within the Kororareka Russell or Kerikeri Heritage Areas	have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area			
Orongo Bay Zone (Property specific as rule relates to a zone only)	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	N/A		Not indicated on Far North Proposed District Plan

No consents are required under the PDP.

Having considered the proposal against the Proposed Regional Plan, no regional council consents are required.

## STATUTORY CONSIDERATIONS

Section 104B governs the determination of applications for Discretionary Activities.

### **104B Determination of applications for discretionary or non-complying activities**

After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—

- (a) may grant or refuse the application; and
- (b) if it grants the application, may impose conditions under [section 108](#).

With respect to Discretionary activities, a consent authority may grant or refuse the application, and may impose conditions under section 108 of the RMA.

Section 104 of the RMA sets out matters to be considered when assessing an application for a resource consent,

#### **104 Consideration of applications**

- (1) When considering an application for a resource consent and any submissions received, the consent authority must, subject to [Part 2](#) and [section 77M](#), have regard to—
  - (a) any actual and potential effects on the environment of allowing the activity; and
  - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and
  - (b) any relevant provisions of—
    - (i) a national environmental standard;
    - (ii) other regulations;
    - (iii) a national policy statement;
    - (iv) a New Zealand coastal policy statement;
    - (v) a regional policy statement or proposed regional policy statement;
    - (vi) a plan or proposed plan; and
  - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

For this application, the following relevant RMA plans, policy statements and national environmental standard have been considered:

- National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health, 2011
- The Northland Regional Policy Statement
- Operative Far North District Plan 2009
- Proposed Far North District Plan 2022

As part of this application and Assessment of Effects, the relevant matters relevant to visual amenity, stormwater management and setback from boundaries breaches in the ODP have been considered.

The following assessment addresses all of the relevant considerations under s104 of the RMA.

#### ***Assessment of Effects on The Environment (AEE)***

The RMA (section 3) meaning of effect includes:

### 3 Meaning of effect

In this Act, unless the context otherwise requires, the term **effect** includes—

- (a) any positive or adverse effect; and
- (b) any temporary or permanent effect; and
- (c) any past, present, or future effect; and
- (d) any cumulative effect which arises over time or in combination with other effects—  
regardless of the scale, intensity, duration, or frequency of the effect, and also includes—
- (e) any potential effect of high probability; and
- (f) any potential effect of low probability which has a high potential impact.

Section 104(2) of the RMA states that:

*“when forming an opinion for the purposes of subsection (1)(a), a consent authority may disregard an adverse effect of the activity on the environment if a national environmental standard or the plan permits an activity with that effect.”*

This is referred to as the “permitted baseline”, which is based on the permitted performance standards and development controls that form part of a district plan. For an effects-based plan such as the Far North District Plan where specified activities are not regulated, determining the permitted baseline is a useful tool for determining a threshold of effects that are enabled by the zone. In this instance, an application for a building over 50m<sup>2</sup> in size requires resource consent. The maximum quantum of impermeable surface permitted on the site is 10% of the site or 600m<sup>2</sup>, setback is 10 metres as the site is over 5,000m<sup>2</sup> and earthworks cannot exceed 300m<sup>3</sup> in a 12 month period.

The focus of this AEE is on addressing the effects of the proposed extensions to the existing dwelling and the construction of a boatshed on visual amenity, stormwater management, setback from boundaries and earthworks.

#### **Visual Amenity**



A comprehensive assessment of visual amenity is undertaken in the Visual Amenity Report in **Appendix E** utilising the criteria provided in section 10.6.5.3.1 of the ODP. For that reason, I have not repeated the assessment here. The Visual Amenity report concludes the following:

- The proposed development is an appropriate and reasonable use of the site within this coastal environment and this locality.
- The proposed earthworks and retaining walls will be assimilated into the landscape and screened with landscape plantings.
- The proposed boat shed is an acceptable size, design, height and colour for its location on this site and within this coastal environment.
- The boat shed and other proposed structures will be visually absorbed into the landscape setting without generating any adverse landscape or visual effects.
- With the implementation of the landscape integration plantings this is a development that is consistent with the relevant assessment criteria, objectives and policies found within the ODP and the Northland Regional Policy Statement (RPS).

The development is therefore considered to be sensitive to the receiving environment and any potential adverse visual amenity and natural character effects are less than minor.

### ***Stormwater Management***

Any new building that does not meet the permitted activity standards in Rule 10.7.5.1.6 is a restricted discretionary activity where maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 15% or 1,500m<sup>2</sup>, whichever is the lesser.

This application takes the impermeable surface on the site to 2,326m<sup>2</sup> (13.8% of site coverage), which will be considered as a discretionary activity. The stormwater accumulated from the proposed extensions to the dwelling and introduction of a boatshed is only 3.8% more than the permitted standard in respect of percentage of coverage.

A Stormwater Management Report was prepared by Haigh Workman and is provided in **Appendix C**. The report proposes a stormwater system to ensure that flows are discharged in a controlled manner that minimises the risk of scour or erosion occurring either within the site or downstream. Controls proposed comprise:

- For the central and western portion of the site, concentrated flows from yarding cesspits, roof tank overflows, downpipes, roofed pergola, paved entertaining area and the like shall be piped to the bottom of the slope and outfall directly into the open drain. The slope exhibits shallow turf creep, by burying the pipe minimum 1m deep the risk of damage caused by ground movement can be avoided. It will be important to avoid surface water tracking down the pipeline and causing washout, this can be minimised by keep the trench narrow (300mm), compacting the trench fill in layers and overfilling so that a depression does not form should the fill material settle.
- The open drain along the northeastern boundary shall be armoured to avoid scour damage.
- At the eastern end of the property concentrated flows from future studio will be low in quantity and can be discharged directly onto the ground surface.

The Stormwater Report includes a comprehensive assessment of the criteria within section 11.3 of the ODP, for that reason I have not repeated that assessment here. To summarise the report concludes that:

- The sites' location located adjacent the Kerikeri Inlet ensures impermeable surfaces will have negligible effect on the overall catchment impermeability.
- Existing water tanks already capture roof water for domestic supply, providing a degree of attenuation. All runoff including the tank over flow will be discharged to ground in a dispersive manner within the site.
- There is no alteration to absorption properties of the soil.

- The soil is described as well to moderately well draining and there will be no adverse effects on the life supporting capacity of soils in the remaining undeveloped parts of the site.
- Stormwater runoff will be discharged downslope well away from the disposal field.
- Stormwater design is to recognised engineering standards.
- Stormwater runoff is able to exceed the permitted activity standard due the sites location adjacent to the Kerikeri Inlet, meaning there are no downstream properties that can be affected.
- The HIRDS V4 rainfall estimates have been adjusted for climate change projected out to the 2081-2100 time period.
- Stormwater pipes, open drains and outfalls have been properly sized and armoured where required to mitigate any adverse effects.

In summary, given the site's proximity to the coastline, stormwater volume control (attenuation) is not necessary, so long as the risk of scour and erosion damage is properly managed by adopting the following controls:

- For the central and western portion of the site, concentrated flows from yarding cesspits, roof tank overflows, downpipes, roofed pergola, paved entertaining area and the like shall be piped to the bottom of the slope and outfall directly into the flowpath running along the northeastern boundary.
- To minimise the risk of blockages where cesspits are connected to the system, we recommend using 200mm PVC. The end of the pipe should be fitted with a bend to direct the flow longitudinally down the flowpath and a grouted rock armour headwall and apron be formed for a minimum length of 2m to disperse the flow across the base of the flowpath.

- The flowpath along the northeastern boundary shall be shaped to ensure a minimum 1.5m wide level base (zero crossfall) and grassed. Where this cannot be achieved then apply 100-150mm rock armour to achieve the equivalent of the trapezoidal channel with minimum 0.3m base and armoured 1:2 side slopes.
- At the eastern end of the property concentrated flows from future studio will be small and can be discharged directly onto the ground surface with localised armouring at the pipe outlet.
- Trench backfill for buried services on steep slopes shall be compacted in layers and mounded to discourage surface water tracking down the pipeline and causing washout.

It is considered that the effects on stormwater management will be less than minor provided that these conditions are applied to the resource consent.

### ***Setback From Boundaries***

Any new building that does not meet the permitted activity standards in Rule 10.7.5.1.7 for setback is a restricted discretionary. The only setback breach is associated with the proposed boat shed.

*(a) the extent to which the building(s) reduces outlook and privacy of adjacent properties;*

There are not considered to be any discernible effects associated with privacy and outlook from the adjacent site. The shed reads as an extension to the existing development on the site. The proposed boatshed is located at least 70 metres from the neighbouring dwellings at 43, 48 and 53 Kingfisher Drive. The non-compliance of the boat shed is commensurate with the setback breach on the same boundary for the existing garage. The Visual Amenity Report concludes that landscape integration plantings around the boatshed will mitigate any potential adverse visual effects upon surrounding landowners (refer **Appendix E Report and Landscape Plan**).

*(b) the extent to which the buildings restrict visibility for access and egress of vehicles;*

The location of the proposed boatshed is west of the existing garage and dwelling. Access to the boatshed will be by way of a new driveway off Kingfisher Drive, which has been approved by Council (see **Appendix G**). There are not considered to be any effects associated with visibility for access and egress of vehicles.

*(c) the ability to mitigate any adverse effects on the surrounding environment, for example by way of planting;*

As detailed above, the non-compliance of the boat shed is commensurate with the setback breach on the same boundary for the existing garage. The Visual Amenity Report concludes that landscape integration plantings around the boatshed will mitigate any potential adverse visual effects upon surrounding landowners (refer **Appendix E Report and Landscape Plan**).

*(d) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.*

There are not considered to be any effects associated with the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.

If conditions are applied ensuring compliance with the Landscape Plan, the effects on neighbouring properties are considered to be less than minor.

### **Earthworks**

Any new building that does not meet the permitted activity standards in Rule 12.3.6.1.2 for excavation is a restricted discretionary. The earthwork associated with the new driveway and boatshed are addressed by way of an earthworks permit (see **Appendix F**).

The matters relevant to the consideration of excavation for the remaining earthworks are as follows:

*(i) the effects of the area and volume of soils and other materials to be excavated.*

All cut material will be stockpiled on site in the location shown on the earthworks permit for distribution to fill areas identified above. The earthworks plan in **Appendix H** identifies a silt fence that will be placed around the proposed works and these earthworks will be undertaken in accordance with the recommendations in the 'Building on small sites: Doing it right' document (**Appendix H**). Effects of earthworks associated with the proposed additions to the dwelling will be mitigated through screening views from the north through landscaping in accordance with the Visual Amenity Report and Plan (**Appendix E**).

(ii) *the effects of height and slope of the cut or filled faces.*

Effects of earthworks associated with the proposed additions to the dwelling, including retaining walls, will be mitigated through screening views from the north through landscaping in accordance with the Visual Amenity Report and Plan (**Appendix E**).

(iii) *the time of the year when the earthworks will be carried out and the duration of the activity.*

Earthworks will be carried out in accordance with the earthworks plan and in accordance with the recommendations in the 'Building on small sites: Doing it right' document (**Appendix H**).

(iv) *the degree to which the activity may cause or exacerbate erosion and/or other natural hazards on the site or in the vicinity of the site, particularly lakes, rivers, wetlands and the coastline.*

All cut material will be stockpiled on site in the location shown on the earthworks permit for distribution to fill areas identified above. The earthworks plan in **Appendix H** identifies a silt fence that will be placed around the proposed works and these earthworks will be undertaken in accordance with the recommendations in the 'Building on small sites: Doing it right' document (**Appendix H**). As such the proposed works are not considered to be a risk in terms of erosion and/or natural hazards.

(v) *the extent to which the activity may adversely impact on visual and amenity values.*

Effects of earthworks associated with the proposed additions to the dwelling, including retaining walls, will be mitigated through screening views from the north through landscaping in accordance with the Visual Amenity Report and Plan (**Appendix E**). The report concludes that the development is sensitive to the environment it is located within so that the potential adverse visual amenity and natural character effects are less than minor.

(vi) *the extent to which the activity may adversely affect cultural and spiritual values*

These are not considered to be affected.

(vii) *the extent to which the activity may adversely affect areas of significant indigenous vegetation or significant habitats of indigenous fauna.*

No areas of significant indigenous vegetation or significant habitats of indigenous fauna are considered affected.

(viii) *the number, trip pattern and type of vehicles associated with the activity.*

There is no change in residential intensity on the site.

(ix) *the location, adequacy and safety of vehicular access and egress.*

An additional access is proposed through the application providing access to the proposed boat shed. This has an approved vehicle crossing from Council (see **Appendix G**).

(x) *the means by which any adverse environmental effects of the activity will be avoided, remedied or mitigated.*

Any adverse effects from the earthworks proposed can be effectively contained on the site through appropriate management practices, and landscape planting to address amenity.

In summary, the mitigation proposed in the Visual Amenity Report and Landscape Plan and the installation of a silt fence around the development through construction will ensure that any adverse effects will be less than minor.

### ***National Policy Statements & National Environmental Standards***

When considering this activity, it is noted that:

- The site is within the Coastal Environment, therefore, the New Zealand Coastal Policy Statement is a relevant consideration. The site does not contain any areas of high or outstanding natural character. Policy 13 is relevant in so far that the direction is to avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of activities on natural character in all other areas of the coastal environment. The Visual Amenity Report and Landscape Plan (see **Attachment E**) have proposed methods to mitigate any effect on the environment to a level where it is considered that the effects are less than minor.
- The site has both class 2 and class 5 soils. The NPS-HPL only applies to land zoned Rural Production or General Rural. The site is zoned Coastal Living so does not apply.
- The site is not known to be HAIL. Therefore, the National Environmental Standard for Soil Contamination is not relevant.
- The site is not urban. The National Policy Statement for Urban Development is not relevant.
- There are no known wetlands that affect the proposal. The National Environment Standard for Freshwater Management is not relevant.

### ***Regional Policy Statement for Northland (RPS)***



The role of the RPS is to promote sustainable management of Northland's natural and physical resources by providing an overview of the regions resource management issues and setting out policies and methods to achieve integrated management of Northlands natural and physical resources. The subject site is located within the coastal environment as identified in the RPS but does not contain areas of high or outstanding natural character. The Visual Amenity Report concludes that the mitigation proposed in the report will ensure that the effects of the proposal will be less than minor, therefore it is considered that the application does not impact the aims and intents of the RPS.

### ***The Proposed Far North District Plan (PDP)***

The PDP was notified in July 2022. The subject site is zone Rural Lifestyle in the PDP. While the rules in the PDP do not apply to this application until decisions have been released, consideration of the objectives and policies are relevant.

Little weighting can be given to the relevant objectives and policies that relate to this application at this juncture as the hearing of submissions is yet to commence.

In terms of the objectives and policies in the Rural Lifestyle zone:

- The site is being used for a low density residential activity, consisting of a dwelling, garage and boatshed. It is considered to be consistent with the scale and character anticipated by the Rural Lifestyle environment.
- The activity proposed will not compromise the character and amenity of the zone or any rural production activities. The location, scale and design of the shed is sympathetic within the context of the site and wider environs.

It is considered that the application is consistent with the relevant objectives and policies in the PDP.

### ***Operative Far North District Plan (ODP) - Coastal Living Zone***

Section 104(1)(b)(vi) requires consideration of the relevant objectives and policies contained in any operative and proposed district plan. The relevant provisions contained in the ODP are contained within the Coastal Living Zone chapter.

*Objective 10.7.3.1 To provide for the well being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.*

It is considered that the intention of the Coastal Living zone is for residential use, which also anticipates buildings ancillary to residential use. The additions to the dwelling and introduction of a boatshed are commensurate with facilities ordinarily found on a lifestyle property near the coast. The density of the site does not change.

*Objective 10.7.3.2 To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.*

The subject site was created with the intention of a dwelling being located on the site, which is existing. Buildings ancillary to the residential use are also anticipated in this environment where the effects are considered and where appropriate mitigated. The Visual Amenity Report concludes that the any effects on the natural character on the coastal environment are effectively mitigated to a point where they are less than minor.

*Policy 10.7.4.1 That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.*

The subject site was created with the intention of a dwelling being located on the site, which is existing. Buildings ancillary to the residential use are also anticipated in this environment where the effects are considered and where appropriate mitigated. The Visual Amenity Report

concludes that the any effects on the natural character on the coastal environment are effectively mitigated to a point where they are less than minor.

*Policy 10.7.4.2 That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.*

The application is for extensions to the existing dwelling and a boatshed. These buildings do not require further infrastructure or services except for power, which is available on the site. Additional water tanks are being provided as part of this application in between the proposed boatshed and existing garage. Rainwater collected from the roof will be reticulated into the existing and proposed rain water tanks.

*Policy 10.7.4.3 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:...*

*...b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;...*

Visual amenity has been addressed earlier in the report and the measures proposed through the Landscape Plan will ensure that any effects from the proposed development will be less than minor.

An earthworks permit for the boatshed and associated access has been approved by Council (see **Appendix F and G**). The earthworks permit has an associated erosion and sediment control plan deemed appropriate to mitigate any effects associated with this earthwork. Similarly, an earthworks plan has been provided in **Appendix H** identifying a silt fence around the proposed additions to the dwelling, which along with the proposed planting will mitigate any potential affects from the earthworks.

*Objective 12.3.3.3 To avoid, remedy or mitigate adverse effects associated with soil excavation or filling.*

All cut material will be stockpiled on site in the location shown on the earthworks permit for distribution to fill areas identified above. The earthworks plan in **Appendix H** identifies a silt fence that will be placed around the proposed works and these earthworks will be undertaken in accordance with the recommendations in the 'Building on small sites: Doing it right' document (**Appendix H**). Effects of earthworks associated with the proposed additions to the dwelling will be mitigated through screening views from the north through landscaping in accordance with the Visual Amenity Report and Plan (**Appendix E**).

*Policy 12.3.4.1 That the adverse effects of soil erosion are avoided, remedied or mitigated.*

As above (see response to Objective 12.3.3.3).

*Policy 12.3.4.3 That where practicable, activities associated with soil and mineral extraction be located away from areas where that activity would pose a significant risk of adverse effects to the environment and/or to human health. Such areas may include those where:...(c) there is a potential for adverse effects on lakes, rivers, wetlands and the coastline;*

Earthworks are located well away from the coastline and measures have already been discussed within this application addressing any potential adverse effects. Silt fences will be in place throughout the works to ensure there is no significant risk to human health.

*Policy 12.3.4.4 That soil excavation and filling, and mineral extraction activities be designed, constructed and operated to avoid, remedy or mitigate adverse effects on people and the environment.*

As above (see response to Objective 12.3.3.3).

## **Summary**

The relevant objectives and policies of the ODP are those related to the Coastal Living Zone. The proposal, which consists of extensions to the existing dwelling and the introduction of a boatshed, ancillary to the existing residential use on the site, is considered to be consistent with the rural lifestyle character of the surrounding area. The mitigation planting proposed through the Visual Amenity Report and Plan are considered to appropriately address any effects associated with the natural character of the coastal environment. Therefore, it is considered that proposal is consistent with the objectives and policies of the ODP.

Section 104(1)(c) states that consideration must be given to any other matters that the consent authority considers relevant and reasonably necessary to determine the application. There are no other matters relevant to this application.

## **PUBLIC NOTIFICATION AND LIMITED NOTIFICATION OF APPLICATIONS**

### ***Public Notification***

Section 95A of the RMA specifies the steps to be taken to determine whether to publicly notify an application.

#### *Step 1: Mandatory public notification in certain circumstances*

- *The applicant has requested public notification*
- *Public notification is required under section 95C*
- *The application is made jointly with an application to exchange recreation reserve land.*

The applicant does not request public notification, and it is assumed that the latter two points will not apply.

#### *Step 2: If not required by step 1, public notification precluded in certain circumstances:*

- *A national environmental standard precludes public notification.*

- *The application is for a resource consent for 1 or more of the following, but no other, activities:*
- *a controlled activity:*
- *a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity:*

There is more than a boundary setback breach. None of the above apply to the activity.

*Step 3: If not precluded by step 2, public notification required in certain circumstances*

*The criteria for step 3 are as follows:*

- *the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification:*
- *the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.*

As demonstrated through this assessment, the adverse effects are considered to be less than minor.

*Step 4: Public notification in special circumstances*

- *Determine whether special circumstances exist in relation to the application that warrant the application being publicly notified*

No special circumstances have been identified to warrant public notification. The proposal is for extensions to the existing dwelling and a boatshed. These buildings are not considered to be controversial or of significant public interest, particularly given that it is private land, and the site already developed with a dwelling and garage, which is considered neither exceptional nor unusual.

### **Limited Notification**

Section 95B of the RMA specifies the steps to be taken to determine whether to limited notify an application.

*Step 1: Certain affected groups and affected persons must be notified*

- *Determine whether there are any affected protected customary rights groups or affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).*
- *Determine whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an RMA specified in Schedule 11; and whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.*

It is considered that there are no affected protected customary rights groups or affected customary marine title groups, and the proposal will not affect any land subject to a statutory acknowledgment.

*Step 2: If not required by step 1, limited notification precluded in certain circumstances*

*The criteria for step 2 are as follows:*

- *the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification:*
- *the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).*

None of the above apply to the activity

*Step 3: If not precluded by step 2, certain other affected persons must be notified*

*Determine whether, in accordance with section 95E the following persons are affected persons:*

- *in the case of a boundary activity, an owner of an allotment with an infringed boundary; and*
- *In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.*



- *Notify each affected person identified above of the application.*

The application does include an infringement of the Setback from Boundaries permitted standard. However, as demonstrated above the infringement is commensurate with the existing breach for the garage next to it and planting is proposed along the ROW boundary to mitigate visual effects. As such, it is considered minor in nature. This in combination with the setback from dwellings at 43, 48 and 53 Kingfisher Drive, any adverse effects are likely to be indiscernible and certainly no more than minor.

With respect to section 95B(8) and section 95E, the Coastal Living zone anticipates a dwelling and buildings ancillary to a residential use. It is concluded therefore that any adverse effects in relation to adjacent properties will be less than minor, and accordingly that no persons are adversely affected.

*Step 4: Further notification in special circumstances*

- *Determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons).*

No special circumstances have been identified to warrant limited notification.

Based upon the above it is considered that there is no requirement for Council to publicly notify the application.

## **PART 2 OF THE RMA**

Part 2 of the RMA sets out the purpose and principles including matters of national importance. The purpose of the RMA as outlined in section 5(1) is to promote the sustainable management of natural and physical resources. The proposal will sustain the potential of natural and physical resource whilst meeting the foreseeable needs of future generations as the site is being used for

its intended use. In addition, the proposal will avoid adverse effects on the environment and will maintain the natural character of the site and surrounding environment.

Section 6 of the RMA lists seven matters of national importance that must be recognised and provided for in the decision on this application. The natural character of the coastal environment is relevant and has been recognised and provided for within the application:

- Buildings ancillary to a residential use are anticipated on the subject site and the natural character and amenity values of the coastal environment have been considered, assessed and concluded that there will be less than minor effects.
- The proposal is not located within an identified outstanding natural feature, landscape, area containing significant indigenous vegetation or habitat of indigenous fauna.

In terms of section 7, the RMA lists eleven matters that Council must have particular regard to, including the maintenance and enhancement of amenity values. The proposal maintains amenity values in the area as the proposal is in keeping with the existing character of the surrounding environment.

Section 8 of the RMA requires that all persons exercising functions and powers under the RMA take into account the principles of the Treaty of Waitangi in managing the use, development and protection of natural and physical resources. It is considered that the proposal raises no Treaty issues. The subject site is not located within an area of significance to Māori. The proposal has taken into account the principals of the Treaty of Waitangi and is not considered to be contrary to these principals.

Overall, the application is considered to be consistent with the relevant provisions of Part 2 of the RMA, as expressed through the objectives, policies and rules reviewed in earlier sections of this application.

Given that consistency, it is concluded that the proposal achieves the purposes of sustainable management set out by section 5 of the RMA.

## **CONCLUSION**

The proposal is considered to be a suitable development in the context of the site and surrounding environment.

Overall, it is considered that the proposal will result in no more than minor effects on the environment.

While not necessary, the relevant provisions within Part 2 of the RMA have been addressed as part of this application. The overall conclusion is that the proposal is consistent with the sustainable management purpose of the RMA.

It is considered appropriate for the proposal to be granted on a non-notified basis.

We look forward to receiving acknowledgment of the application and please advise if any additional information is required.



Andrew McPhee  
Consultant Planner



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **70065**  
**Land Registration District** **North Auckland**  
**Date Issued** 02 April 2003

**Prior References**

45619                      45620

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**Estate** Fee Simple  
**Area** 1.6836 hectares more or less  
**Legal Description** Lot 2 Deposited Plan 311542 and Lot 4  
Deposited Plan 317854

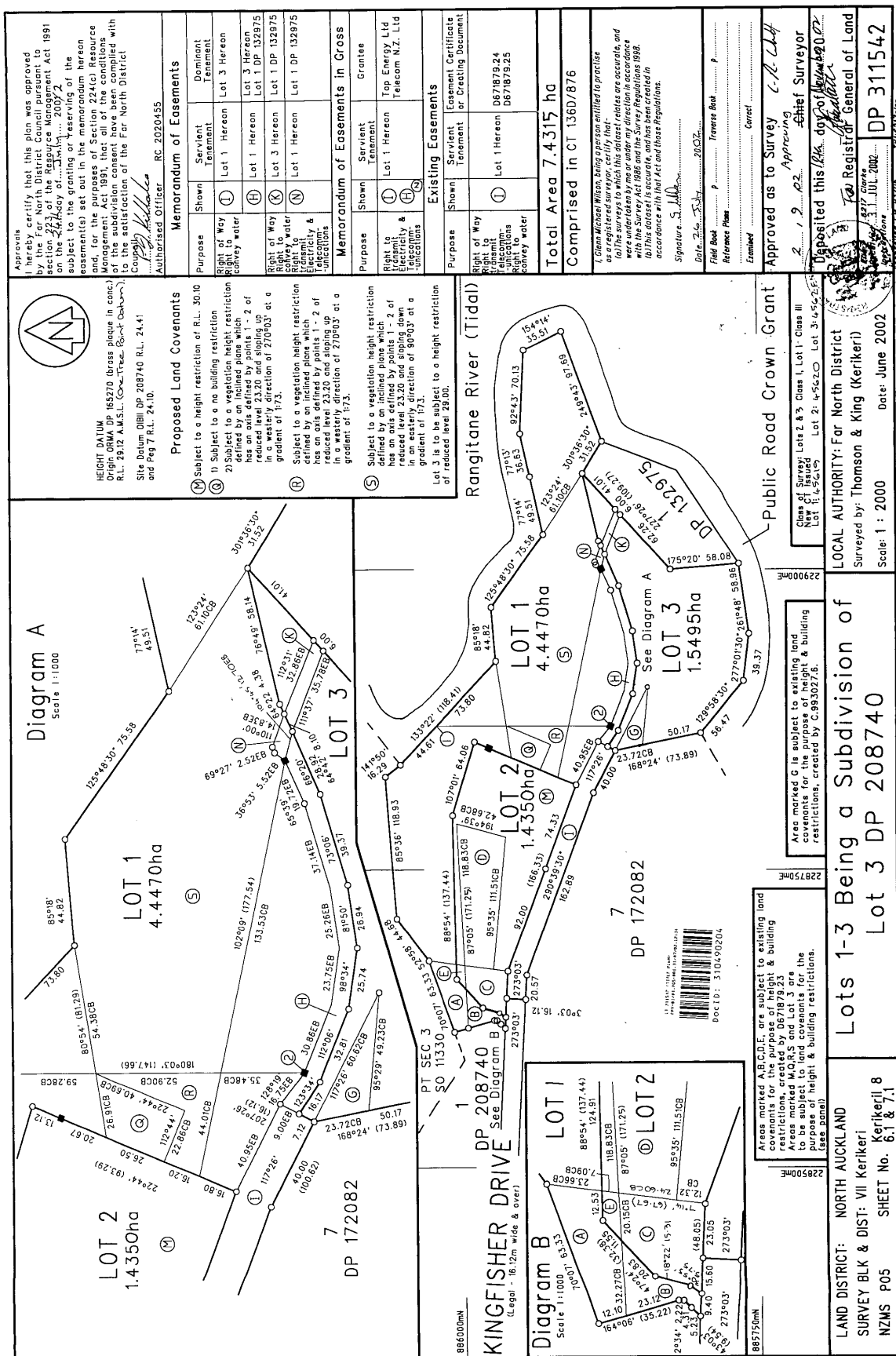
**Registered Owners**

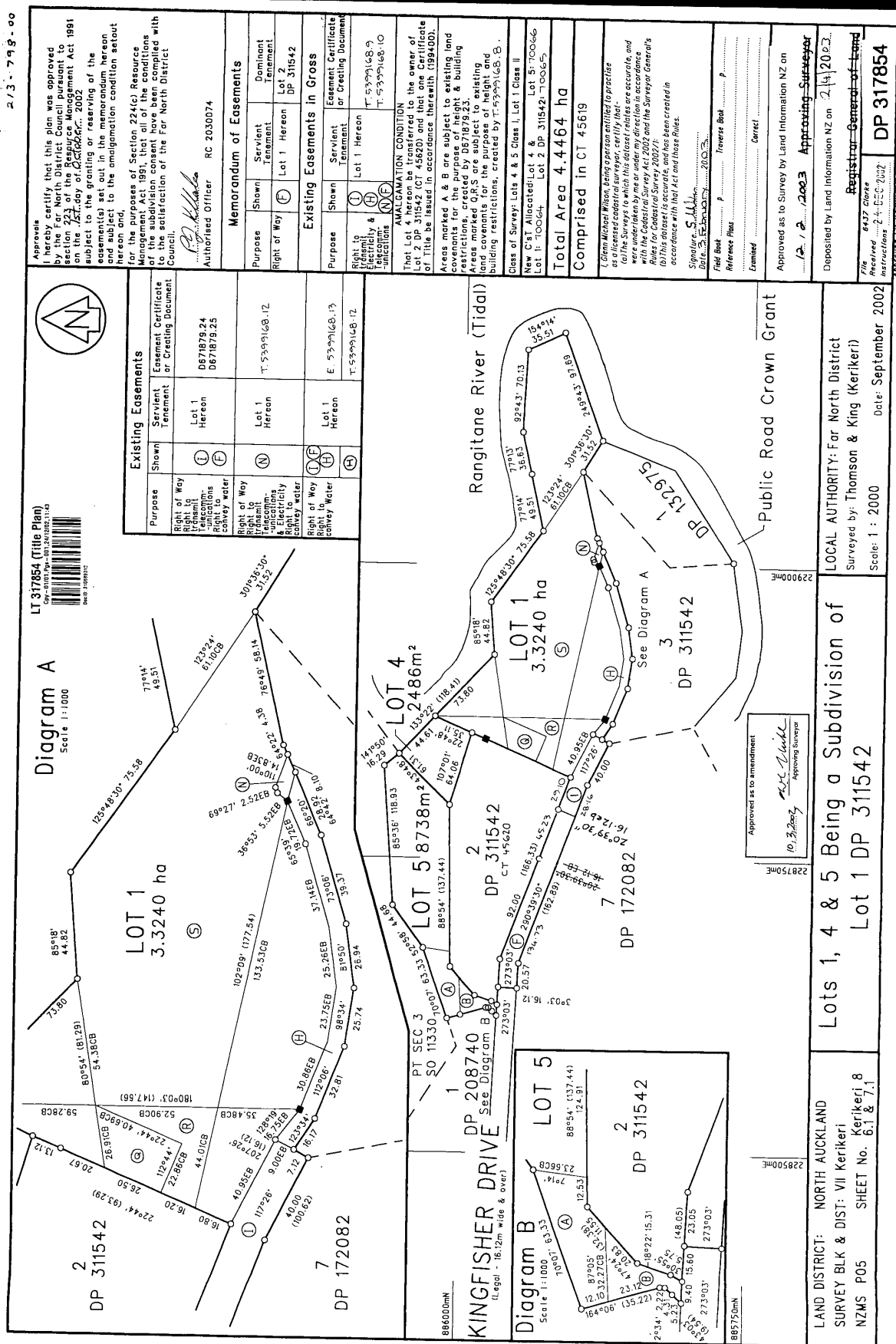
Ian Roger Smith, Vicki Anne Smith and CLM Trustees Limited

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**Interests**

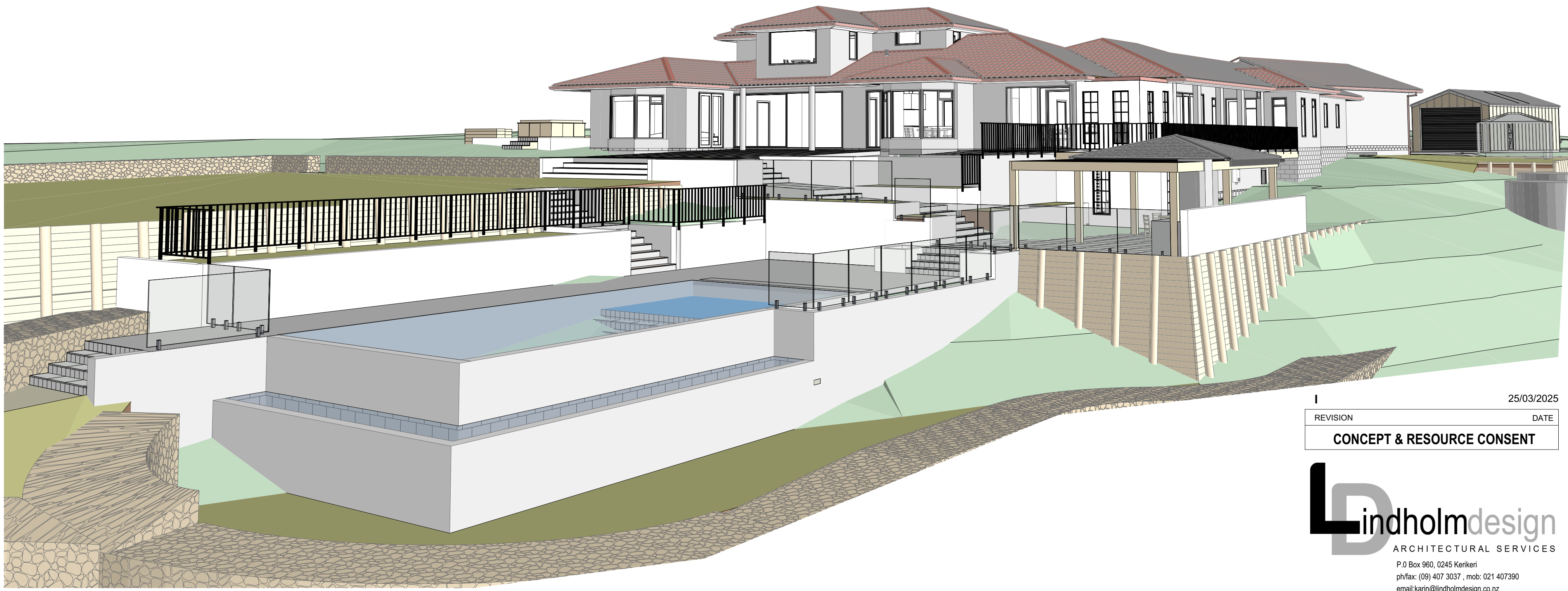
Appurtenant hereto is a right to drain water specified in Easement Certificate C913766.5  
Land Covenant in Transfer C993027.6 - 29.5.1996 at 9:00 am  
Land Covenant in Transfer D671879.23 - 15.1.2002 at 9:00 am  
Land Covenant in Transfer 5399168.8 - 12.11.2002 at 9:00 am  
Land Covenant in Transfer 5438283.2 - 17.12.2002 at 9:00 am (affects Lot 2 DP 311542)  
Fencing Covenant in Transfer 5438283.2 - 17.12.2002 at 9:00 am (affects Lot 2 DP 311542)  
5455513.1 Mortgage to The National Bank of New Zealand Limited - 13.1.2003 at 9:00 am (affects Lot 2 DP 311542)  
Land Covenant in Transfer 5539721.2 - 2.4.2003 at 9:00 am  
Subject to Section 241(2) and Sections 242(1) and (2) Resource Management Act 1991(affects DP 317854)  
Appurtenant to Lot 2 DP 311542 is a right of way created by Easement Instrument 5539721.5 - 2.4.2003 at 9:00 am  
The easements created by Easement Instrument 5539721.5 are subject to Section 243 (a) Resource Management Act 1991  
5705151.2 Variation of Covenant 5539721.2 - 25.8.2003 at 9:00 am







# PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED FOR IAN and VICKI SMITH AT 55 KINGFISHER DRIVE, KERIKERI



I	25/03/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	

**Lindholm**design  
ARCHITECTURAL SERVICES  
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Karin Lindholm Andreassen  
LBP: Design 2: 107526







NORTHPOINT

SITE DESCRIPTION:

LOT 2 DP 311542 & LOT 4 317854

SITE AREA: 1.6836ha approx

GENERAL NOTES:

PLANNING ZONE: COASTAL LIVING ZONE

WIND ZONE: HIGH (to BRANZ MAPS)

EXPOSURE ZONE: D

CLADDING WEIGHT:HEAVY (Concrete block ground floor walls) typ

ROOF WEIGHT: HEAVY (concrete tile)

PLAN AREAS:

EXISTING HOUSE ROOF AREA:=513m2a approx

PROPOSED ROOF AREA: =5.3m2 approx

TOTAL ROOF AREA:

EXISTING HOUSE FLOOR AREA: =442m2 (from LIM)

PROPOSED WINE CELLAR/BASEMENT FLOOR AREA:

Note: Non-habitable space - storage only

DISTRICT PLAN COMPLIANCE: PERMITTED ACTIVITIES  
in COASTAL LIVING ZONE

VISUAL AMENITY:

New Building area: alteration/addition to existing dwelling built after 28 April 2000  
= RESOURCE CONSENT REQUIRED

RESIDENTIAL INTENSITY: 1 unit/4ha = COMPLIES

BUILDING HEIGHT:

Permitted: = 8m max

Proposed: = 6m max approx from extg GL & below extg roof

apex = COMPLIES

SUNLIGHT: = COMPLIES

STORMWATER MANAGEMENT: (Impermeable surfaces & Building coverage)

Proposed: Total cover >600m2 = RC Required

SETBACKS to BOUNDARIES:

Permitted: =10m min

Proposed Extension: >10m & within existing building footprint = complies

Proposed Boatshed: <10m (6m proposed setback) = RC required

EARTHWORKS VOLUME:

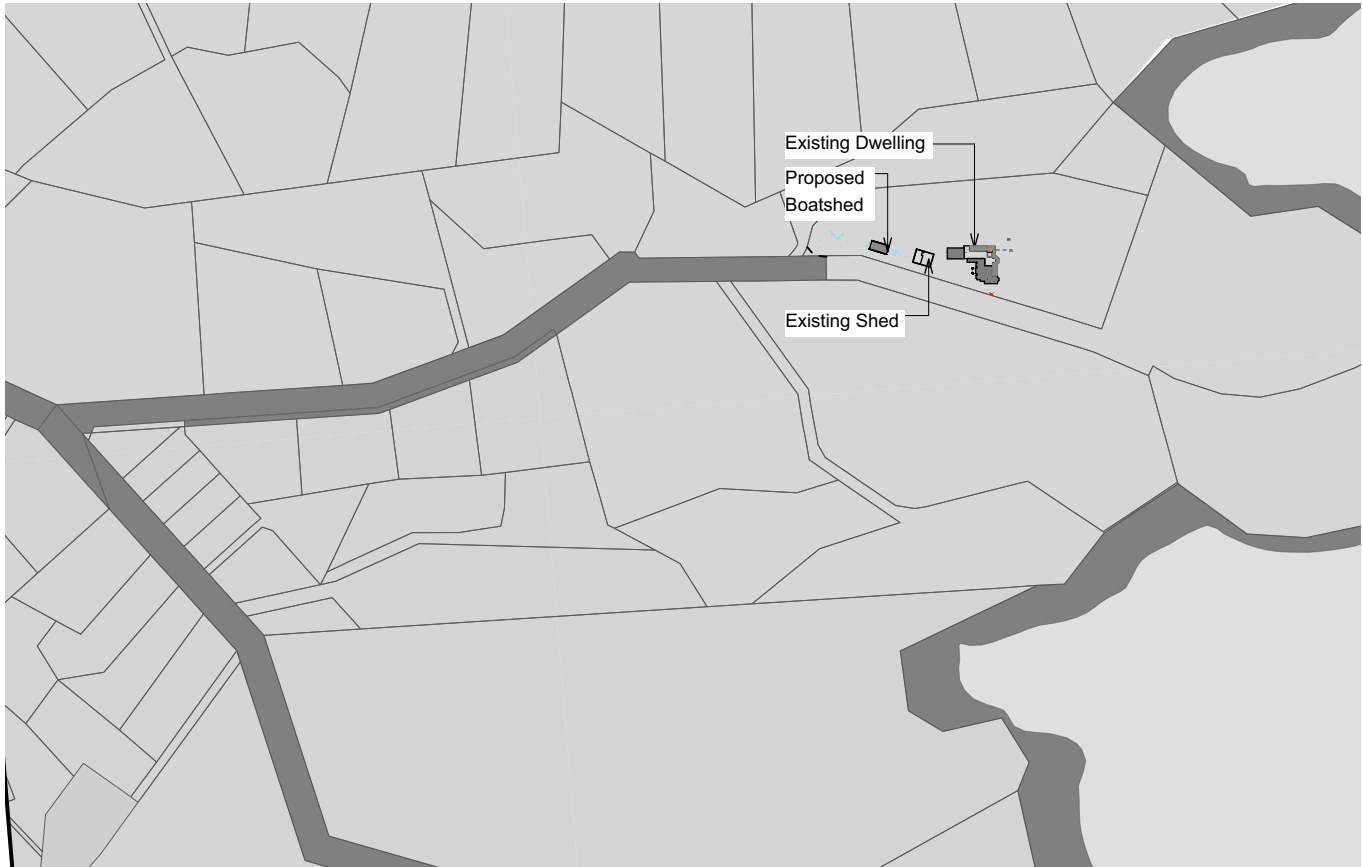
Total Permitted: =300m3 max in any 12month period

Total Proposed: = TBC

CUT/FILL FACE: = ≤1.5m max permitted = COMPLIES

SETBACK FROM COASTAL MARINE AREA: 30m min = COMPLIES

FIRE RISK TO RESIDENTIAL UNITS: >20m setback to scrub/bush lot = COMPLIES



1 Location Plan 1:5000



2 Overall Site plan - ALL 750 1:750

NOTES:

- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABULTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only
- 11) Aerial from FNDC maps - indicative only



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PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A00 OVERALL SITE & LOCATION PLAN

SCALE: (A2) 1:5000, 1:750

I	25/03/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	



NOTES:

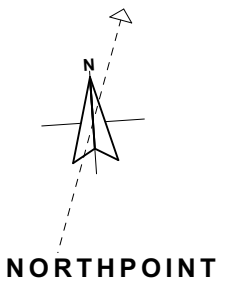
- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps as noted. Refer to survey by Williams and King for surveyed contours as noted.
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABULTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only

REFER TO LANDSCAPE PLAN BY "HAWTHORN LANDSCAPE ARCHITECTS" for landscaping and garden retaining/steps and pathways low timber and rock (landscaping) walls <1.5m without surcharge - shown indicative only.  
Overlay for information only from "HAWTHORN LANDSCAPE ARCHITECTS" concept plans

ALL LANDSCAPING and associated structures shown indicative only - CONCEPT DRAFT ONLY - NOT APPROVED /FOR INFORMATION ONLY.

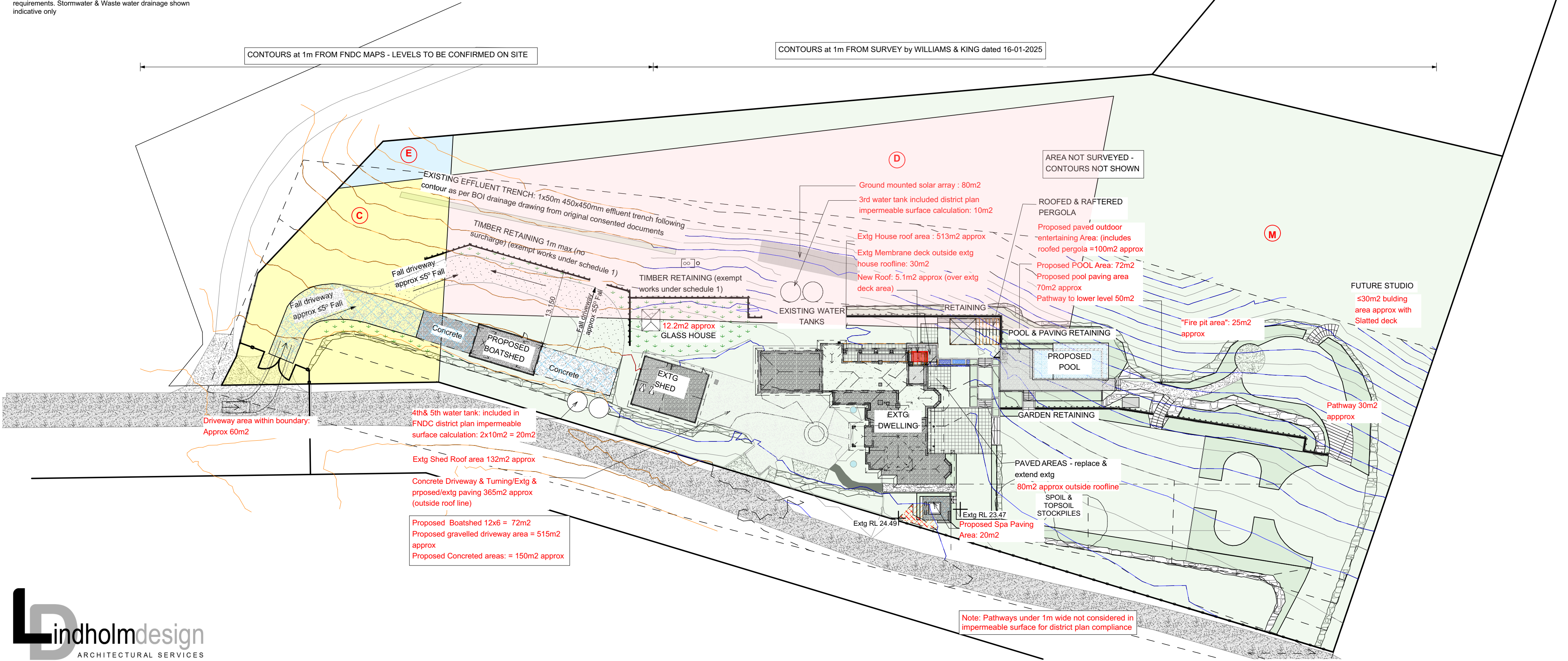
NOT FOR CONSTRUCTION until approved by owner and consented by FNDC for aspect requiring building consent

REFER TO TITLE DOCUMENTS FOR RESTRICTIVE COVENANTS ON AREAS M,C,D & E



CONTOURS at 1m FROM FNDC MAPS - LEVELS TO BE CONFIRMED ON SITE

CONTOURS at 1m FROM SURVEY by WILLIAMS & KING dated 16-01-2025



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PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

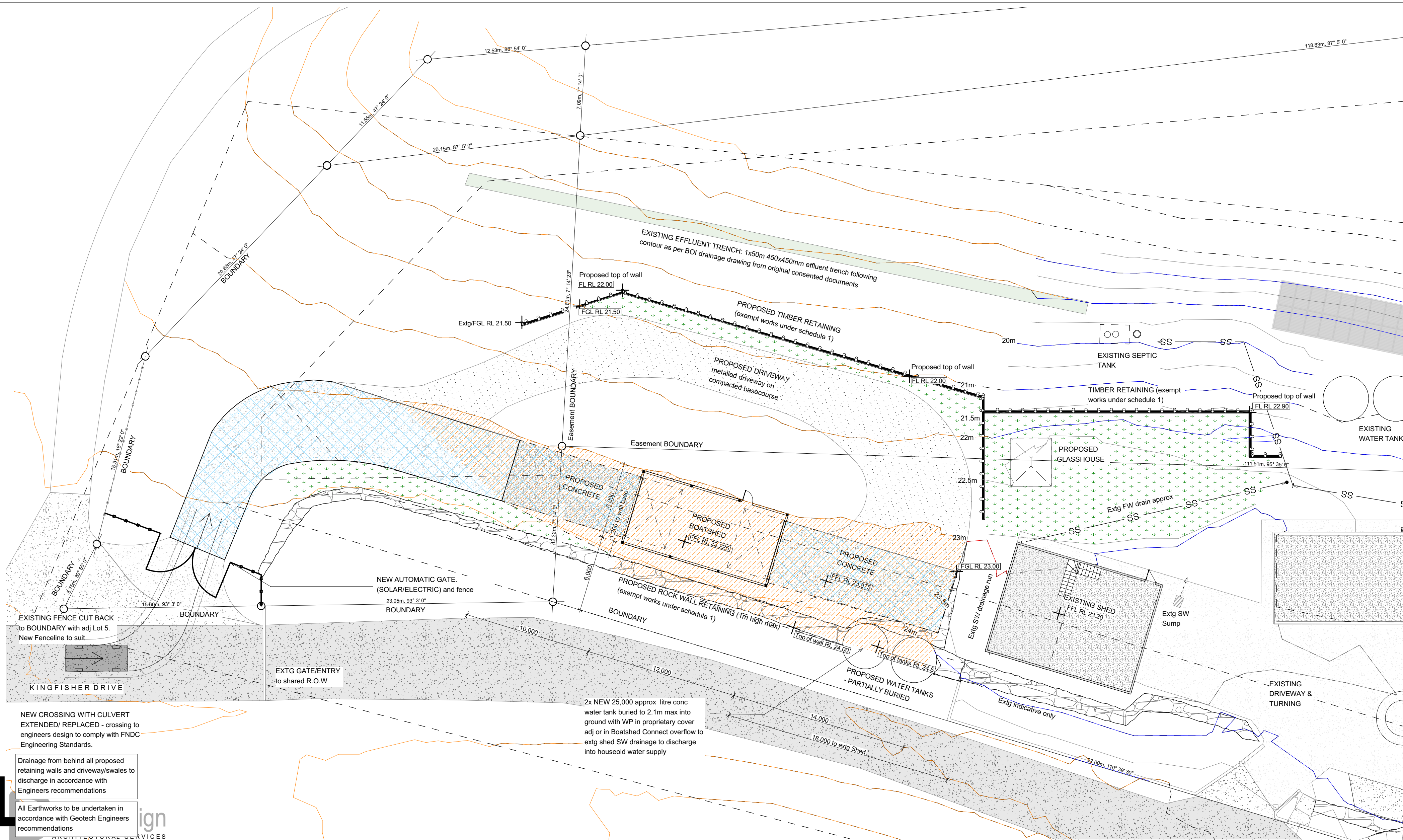
LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A00-A OVERALL SITE WITH IMPERMEABLE COVER

SCALE: (A2) 1:500

I	25/03/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	





NEW CROSSING WITH CULVERT  
EXTENDED/ REPLACED - crossing to  
engineers design to comply with FNDC  
Engineering Standards.

Drainage from behind all proposed  
retaining walls and driveway/sales to  
discharge in accordance with  
Engineers recommendations

All Earthworks to be undertaken in  
accordance with Geotech Engineers  
recommendations

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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**

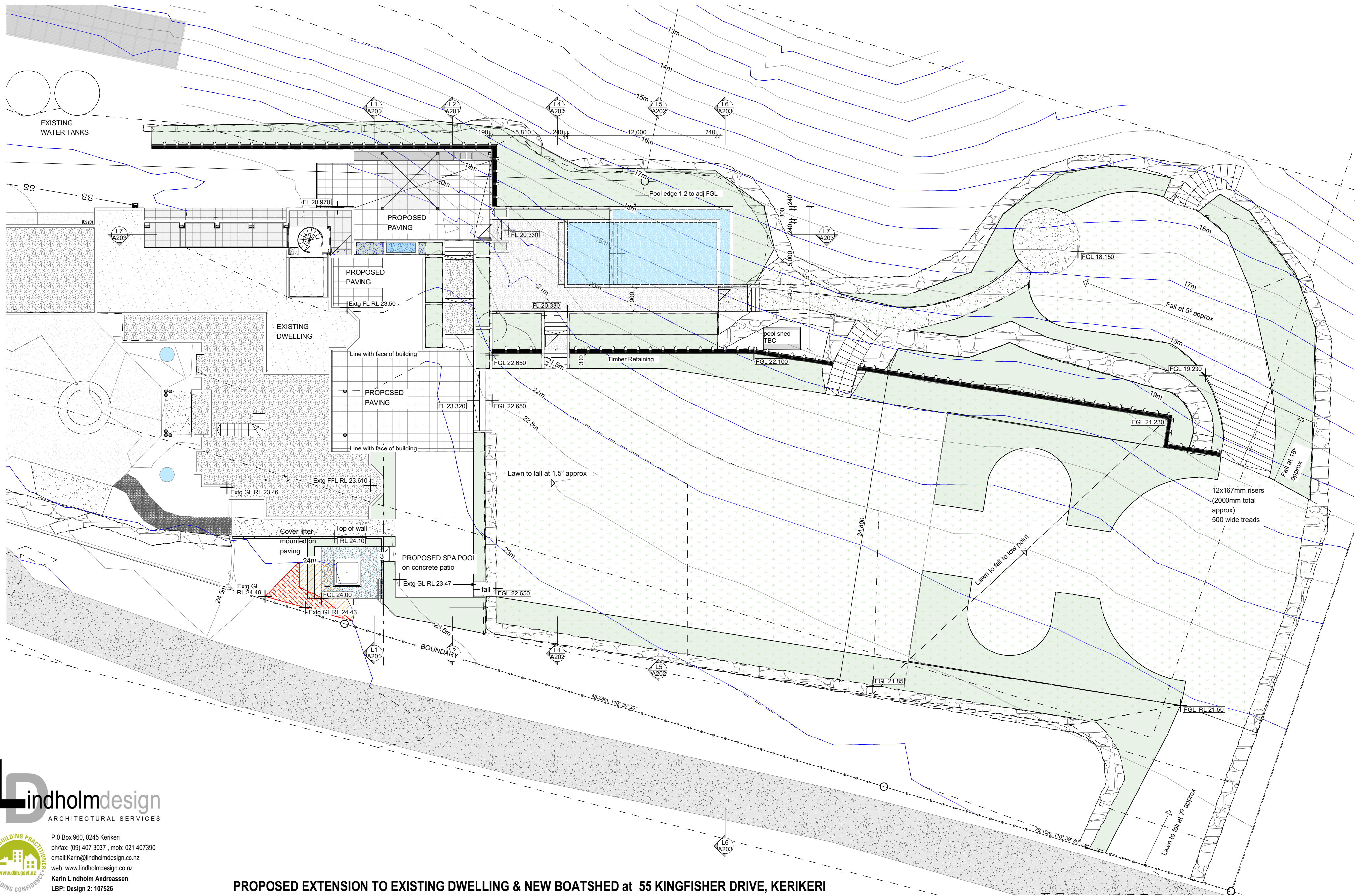
**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A101 PART SITE PLAN -PROPOSED - SHEET 1**

**SCALE: (A2) 1:200**

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CONCEPT & RESOURCE CONSENT	





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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**

**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A102 PART SITE PLAN - PROPOSED SHEET 2**

**SCALE: (A2) 1:200**

1	25/03/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	



NOTES:

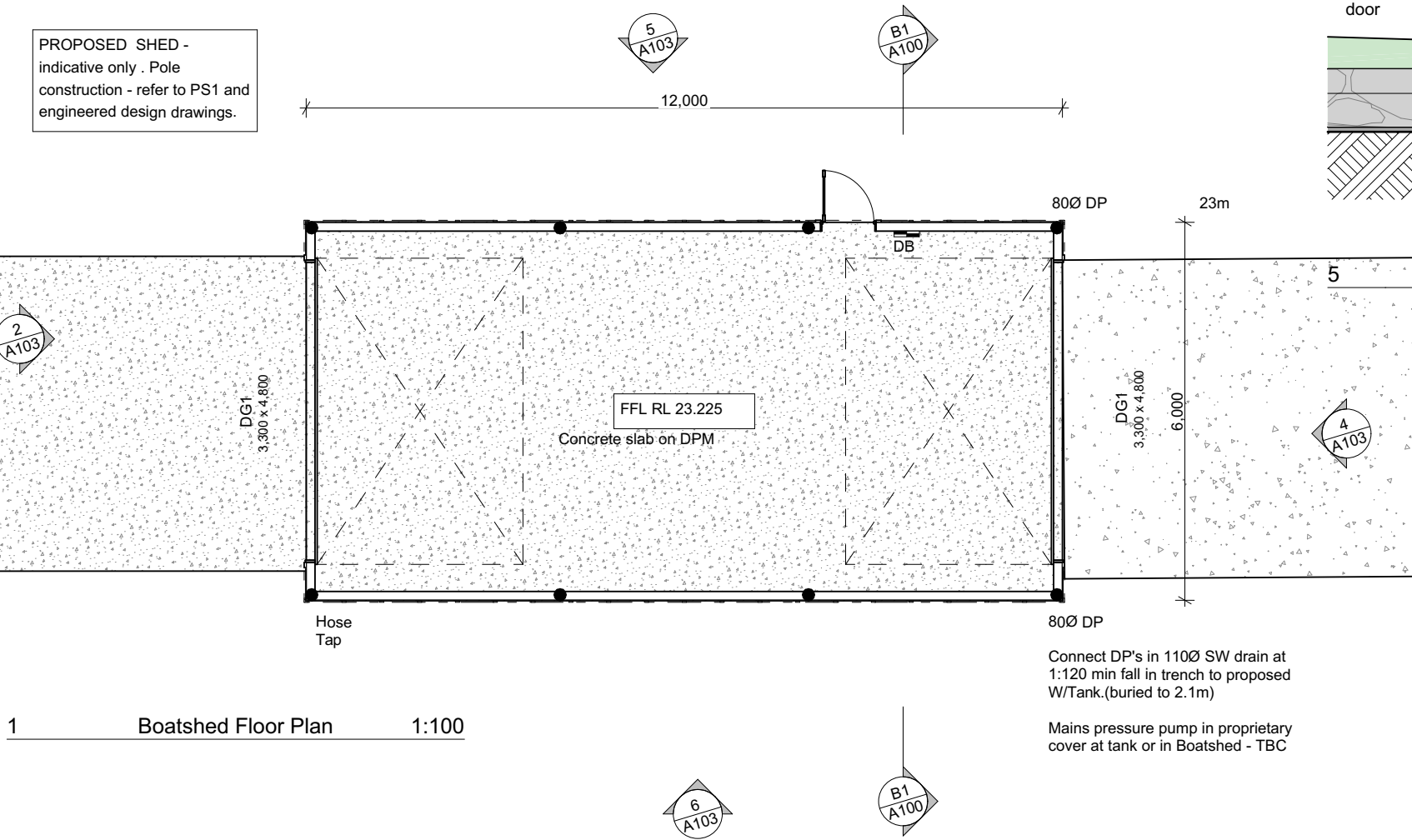
- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps as noted. Refer to survey by Williams and King for surveyed contours as noted.
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABUILTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only

NOT FOR CONSTRUCTION until consented by FNDC for aspects requiring building consent



NORTHPOINT

PROPOSED SHED -  
indicative only . Pole  
construction - refer to PS1 and  
engineered design drawings.

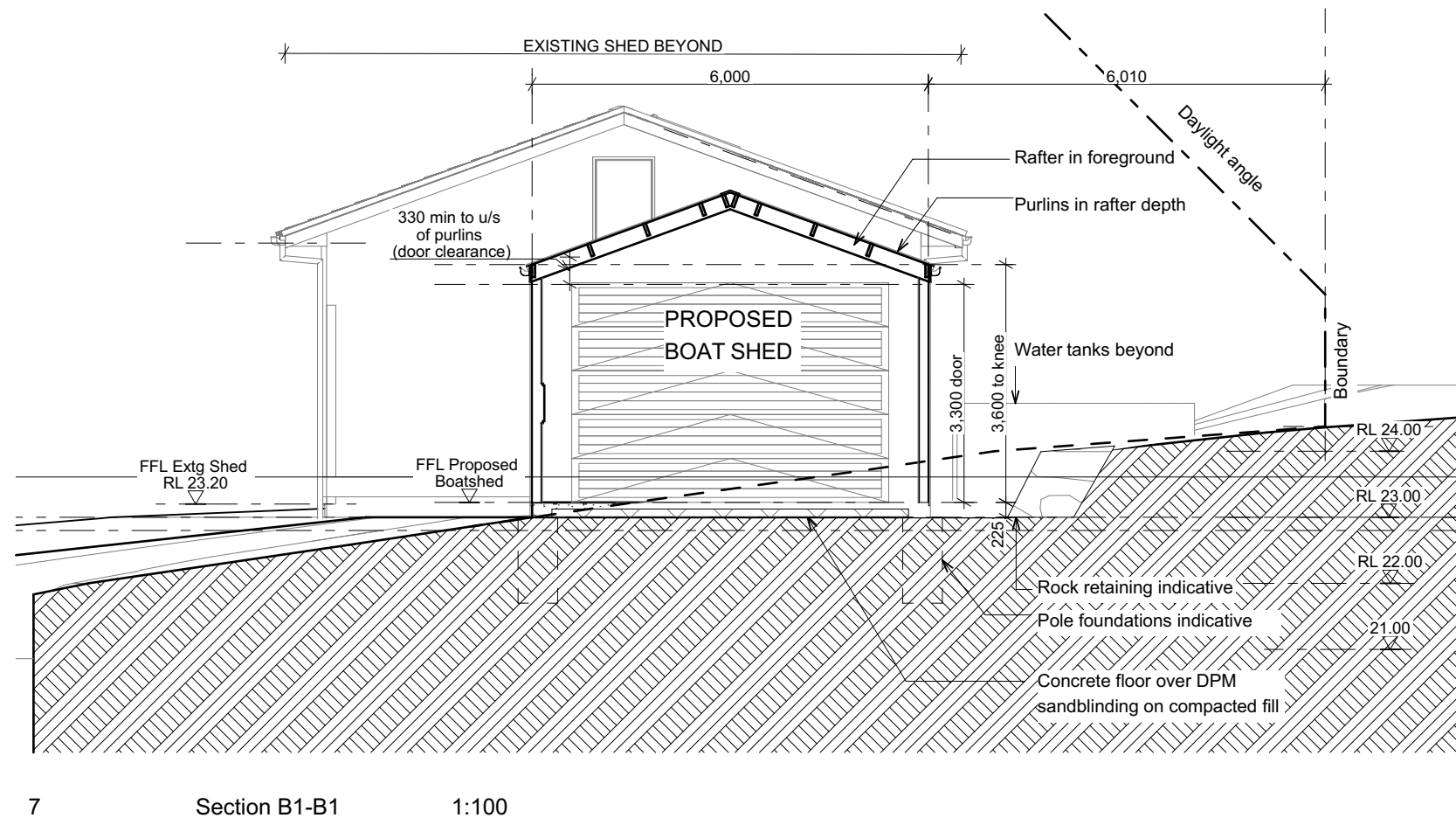
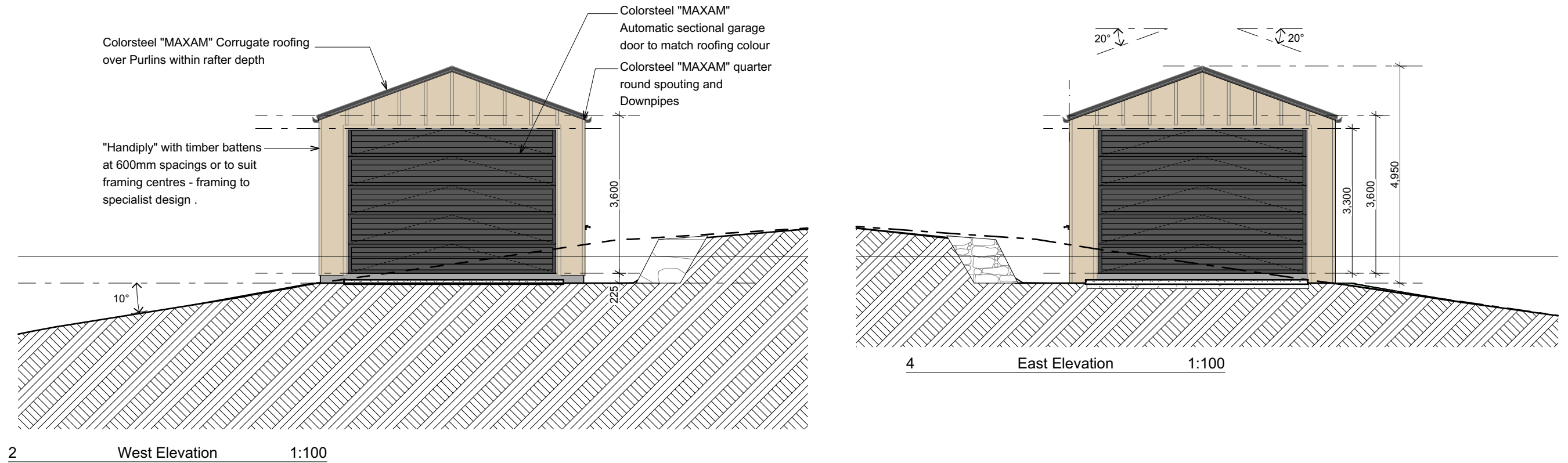


1 Boatshed Floor Plan 1:100

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7 Section B1-B1 1:100

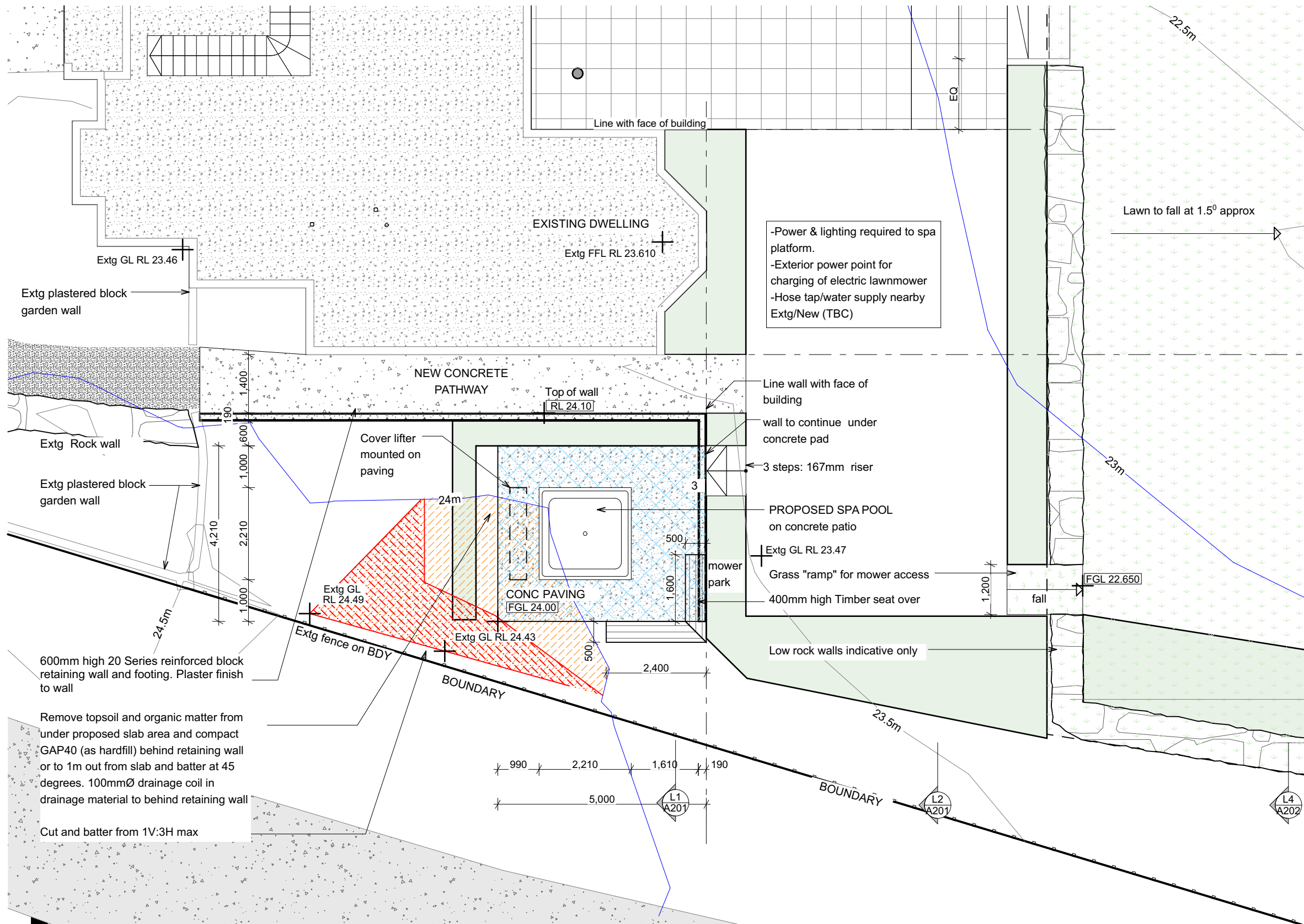
PROPOSED NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A103 PROPOSED BOATSHED

SCALE: (A2) 1:100

I	25/03/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	



#### NOTES:

- 1) All construction to be in accordance with NZS3604:2011 the NZBC acceptable solutions unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304min
- 4) Ground levels and existing contours are from survey by Williams and King dated 17-01-2025. Levels to One Tree Point (Mean Sea Level)
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABUILTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only - refer to stormwater report by HAIGHWORKMAN
- 11) Earthworks to be undertaken in accordance with Geotech recommendations - refer to GEOTECH report by HAIGHWORKMAN
- 12) REFER TO LANDSCAPE PLAN BY "HAWTHORN LANDSCAPE ARCHITECTS" for all landscaping, garen lighting and planting garden
- 13) Retaining/steps and pathways low timber and rock (landscaping) walls <1.5m without surcharge, exempt works - shown indicative only - building consent not required.
- 14) Refer to consented documents/engineers documentation for retaining walls >1.5m or supporting loads/surcharge and structures requiring building consent - shown indicative only

25/03/2025

#### CONCEPT & RESOURCE CONSENT

DO NOT SCALE. Work only to figured dimensions. All dimensions are to be checked on site prior to commencing work. Any discrepancies are to be reported to designer prior to commencing work.

All construction to comply with NZS3604:2011 and the NZBC

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## PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

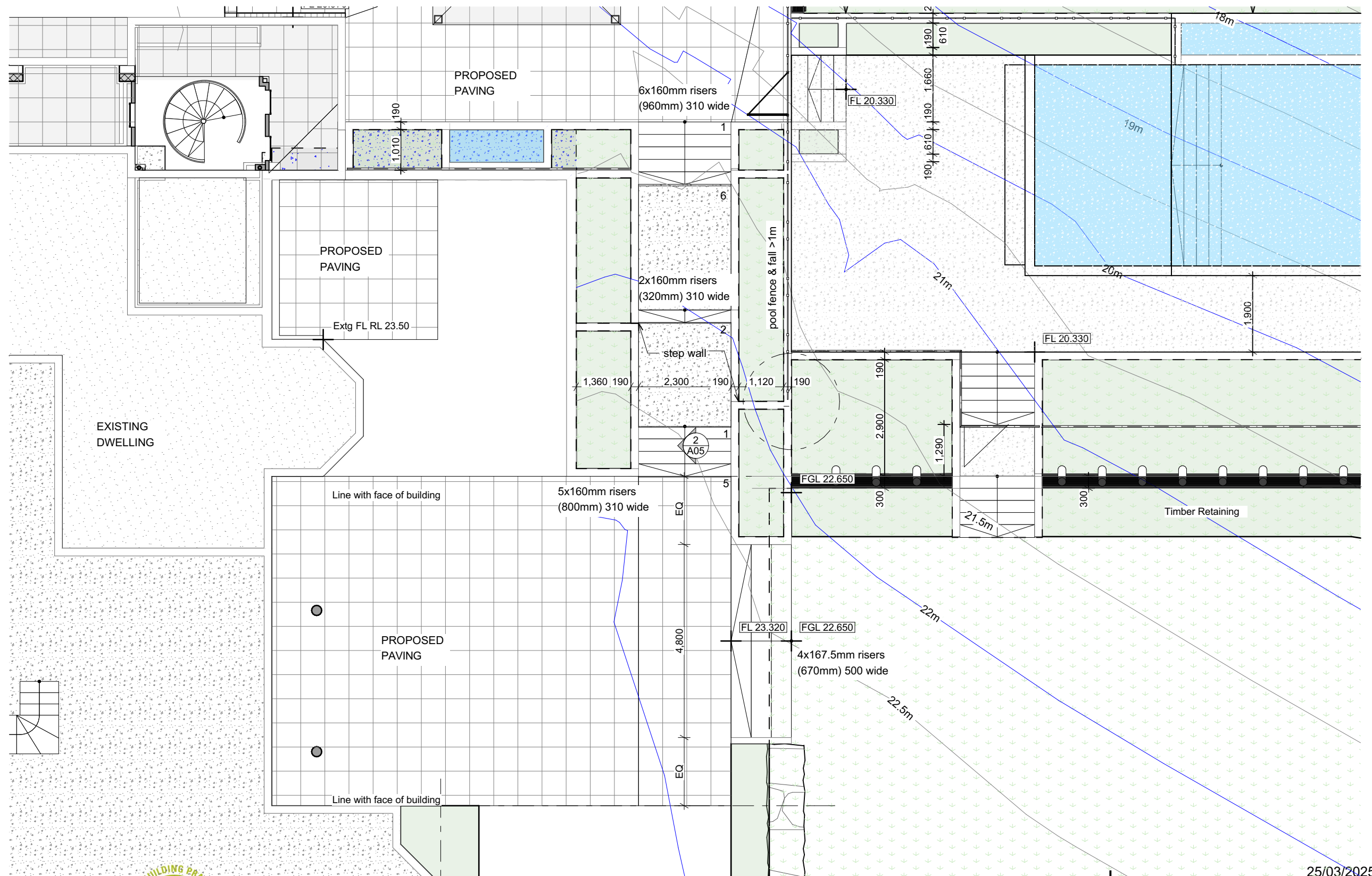
LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A102-a SPA POOL AREA

Date: Tuesday, 25 March 2025

SCALE: (A3) 1:100





25/03/2025

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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED  
at 55 KINGFISHER DRIVE, KERIKERI  
LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH  
Sheet: A102-B TASTING ROOM AREA**

**Date:** Tuesday, 25 March 2025 **SCALE:** (A3) 1:100

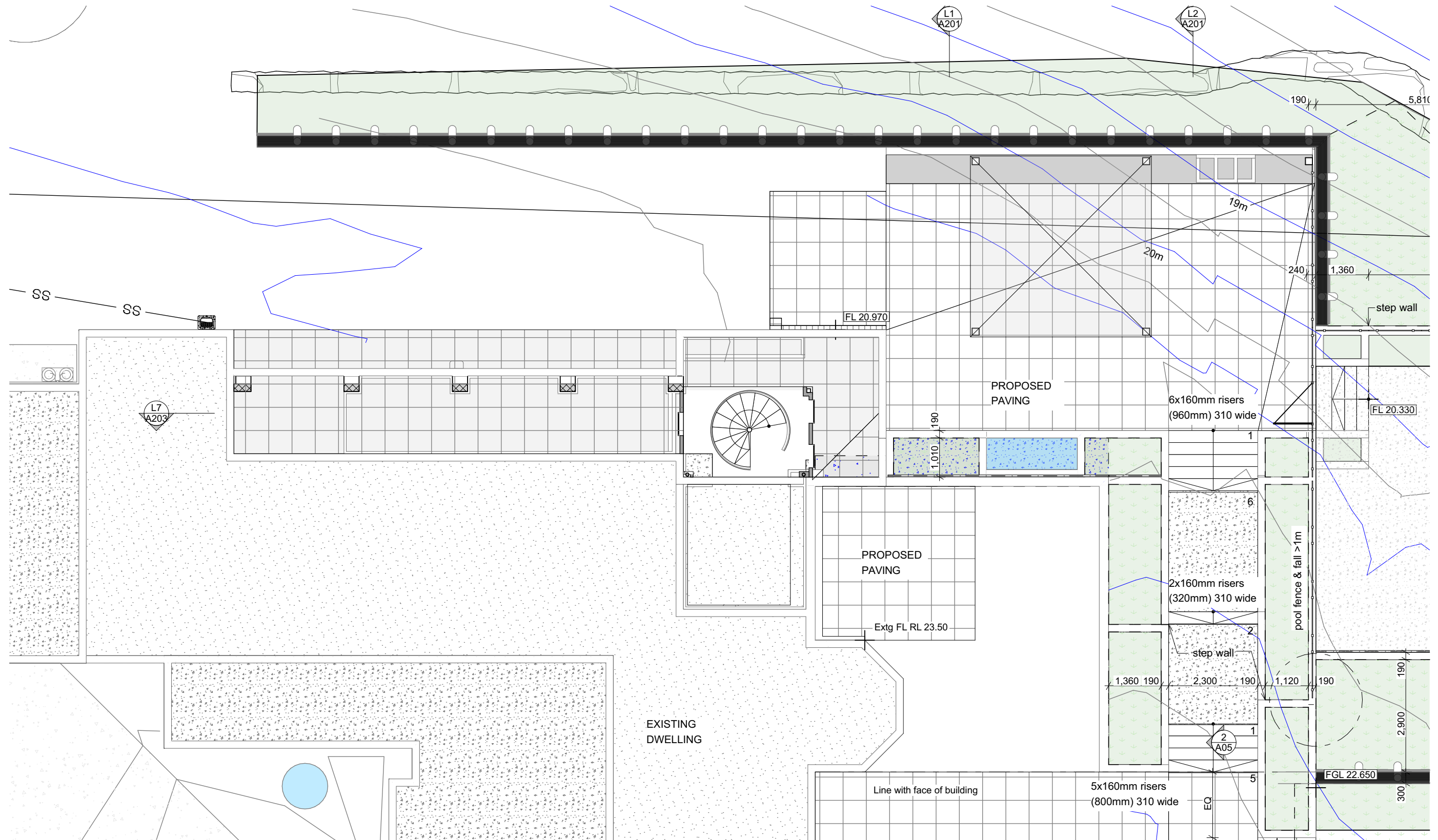
**CONCEPT & RESOURCE CONSENT**

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All construction to comply with NZS3604:2011 and the NZBC

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at 55 KINGFISHER DRIVE, KERIKERI  
LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH  
Sheet: A102-C PERGOLA & OUTDOOR KITCHEN**

**Date:** Tuesday, 25 March 2025 **SCALE:** (A3) 1:100

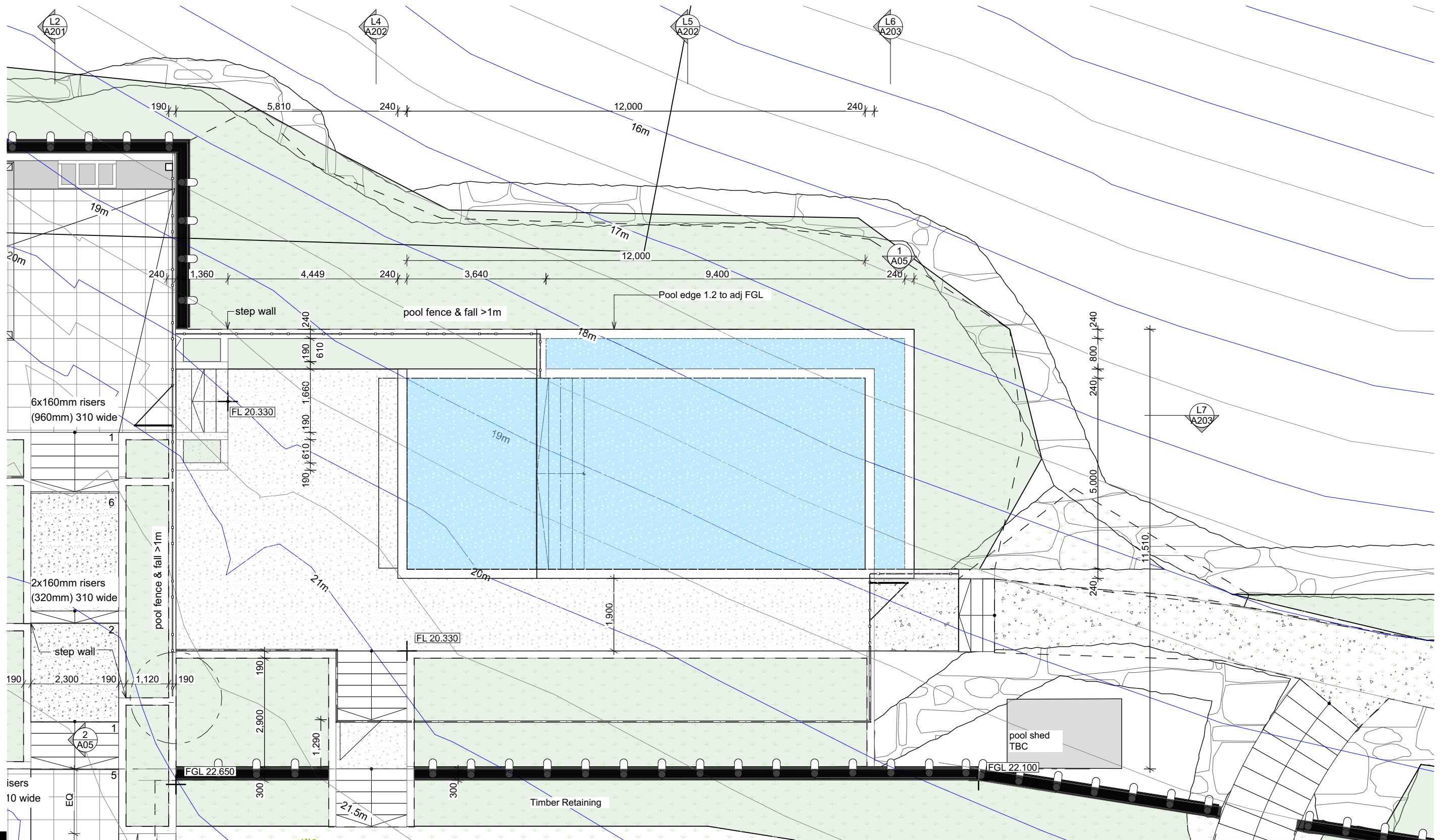
25/03/2025

**CONCEPT & RESOURCE CONSENT**

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**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A102-D POOL AREA**

**Date: Tuesday, 25 March 2025**

**SCALE: (A3) 1:100**

### CONCEPT & RESOURCE CONSENT

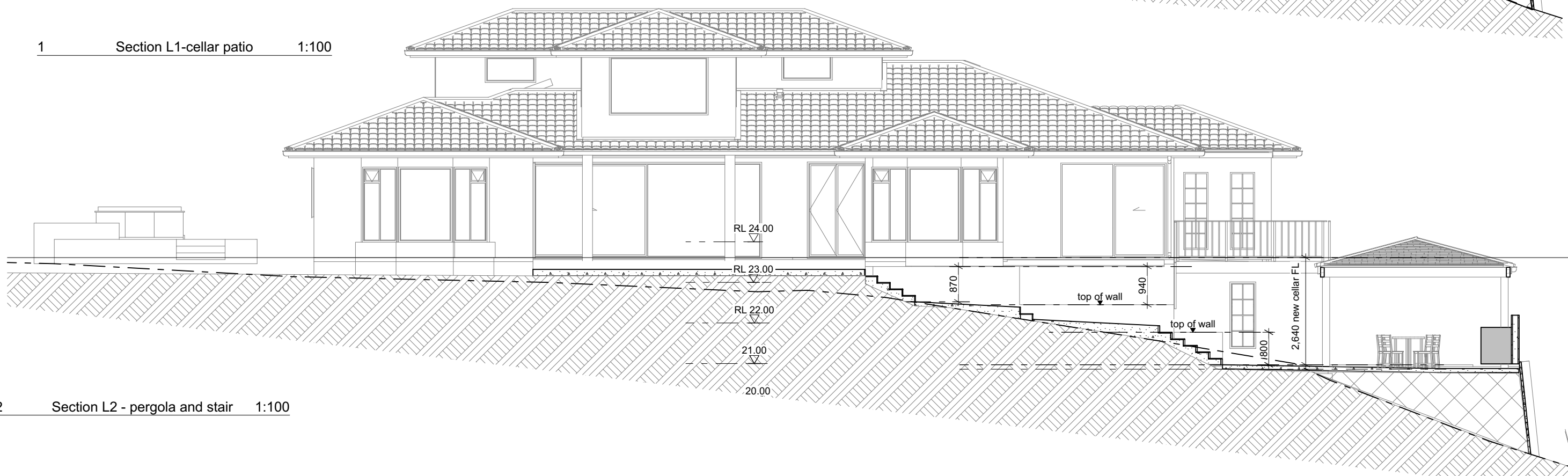
DO NOT SCALE. Work only to figured dimensions. All dimensions are to be checked on site prior to commencing work. Any discrepancies are to be reported to designer prior to commencing work.

All construction to comply with NZS3604:2011 and the NZBC

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1 Section L1-cellar patio 1:100



2 Section L2 - pergola and stair 1:100

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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED  
at 55 KINGFISHER DRIVE, KERIKERI**

**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A201 SECTIONS THROUGH CELLAR PATIO & STAIR**

**Date: Tuesday, 25 March 2025**

**SCALE: (A3) 1:100**

25/03/2025

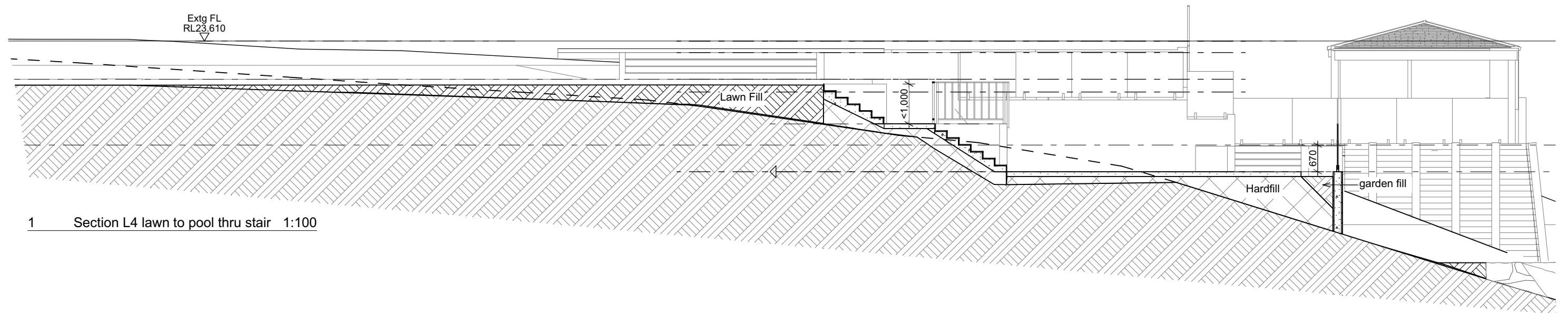
### CONCEPT & RESOURCE CONSENT

DO NOT SCALE. Work only to figured dimensions. All dimensions are to be checked on site prior to commencing work. Any discrepancies are to be reported to designer prior to commencing work.

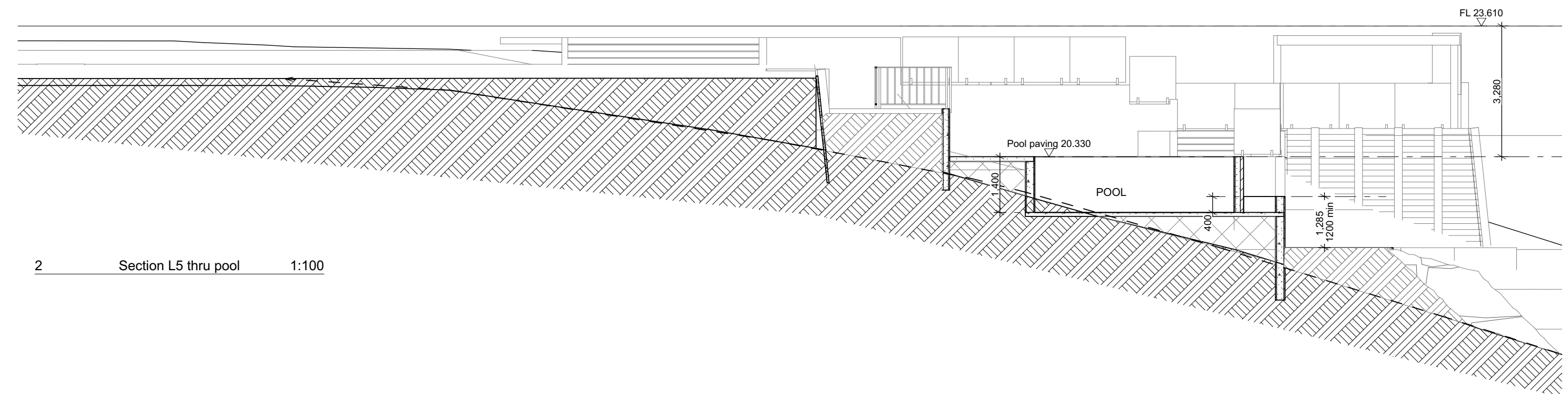
All construction to comply with NZS3604:2011 and the NZBC

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1 Section L4 lawn to pool thru stair 1:100



2 Section L5 thru pool 1:100

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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED  
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**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A202 SECTIONS THROUGH POOL AREA**

**Date:** Tuesday, 25 March 2025

**SCALE:** (A3) 1:100

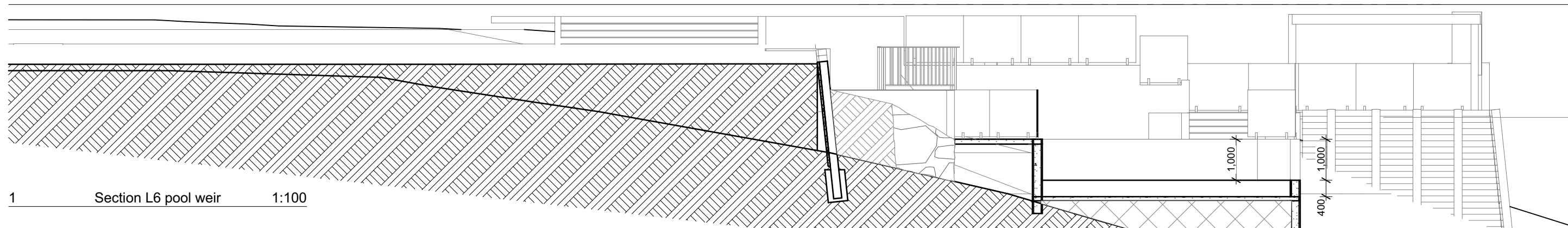
25/03/2025

### CONCEPT & RESOURCE CONSENT

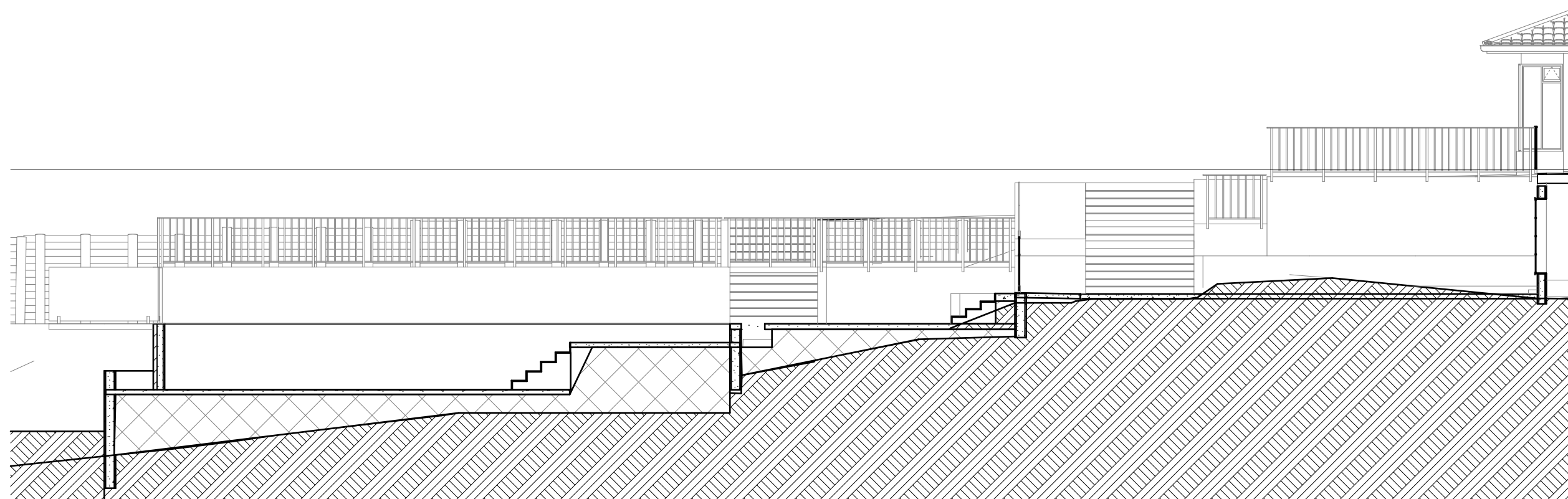
DO NOT SCALE. Work only to figured dimensions. All dimensions are to be checked on site prior to commencing work. Any discrepancies are to be reported to designer prior to commencing work.

All construction to comply with NZS3604:2011 and the NZBC

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1 Section L6 pool weir 1:100



2 Section L7 - thru pool and cellar 1:100



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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED  
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**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A203 SECTIONS THRU POOL**

**Date:** Tuesday, 25 March 2025

**SCALE:** (A3) 1:100

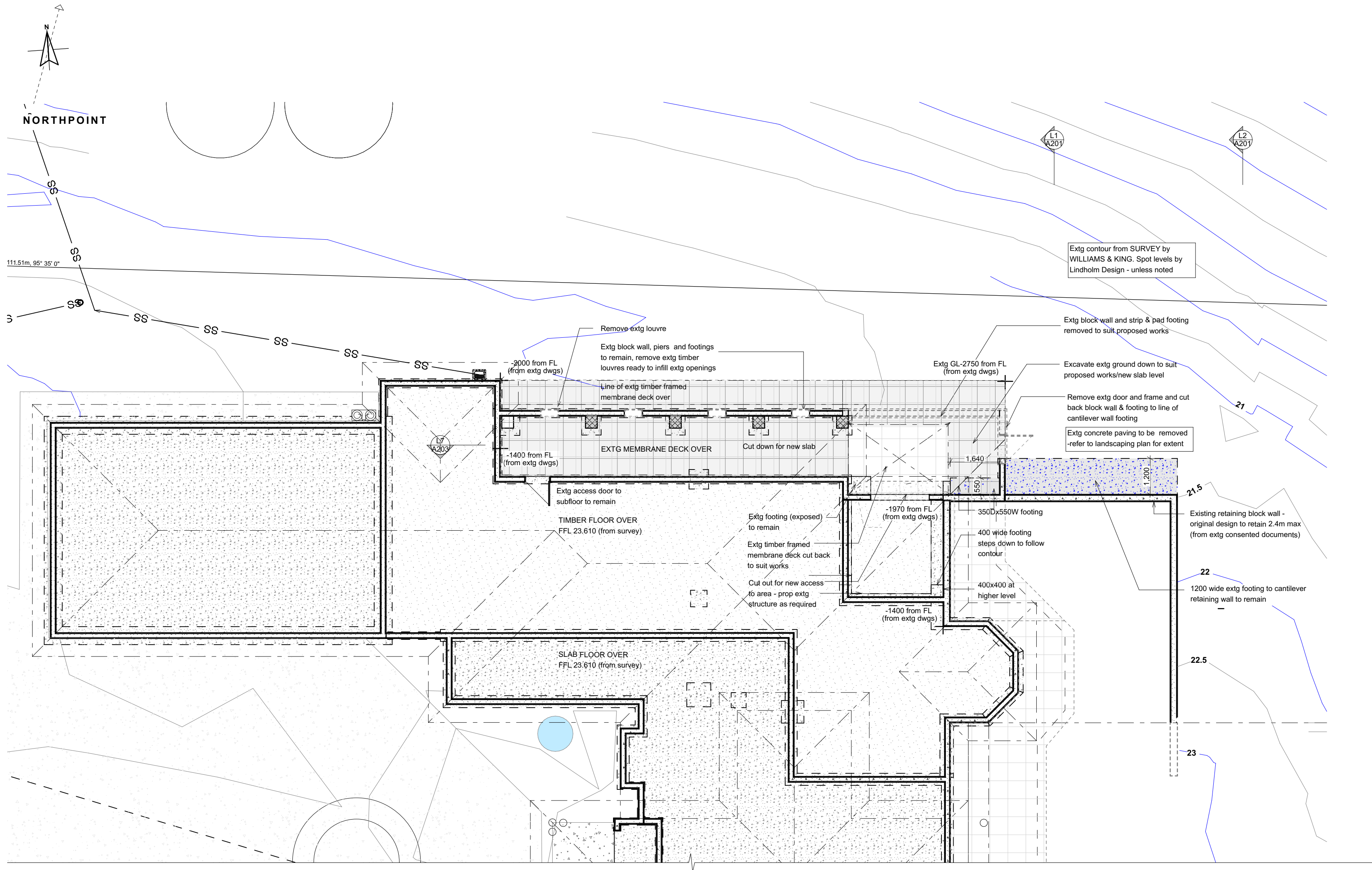
25/03/2025

### CONCEPT & RESOURCE CONSENT

DO NOT SCALE. Work only to figured dimensions. All dimensions are to be checked on site prior to commencing work. Any discrepancies are to be reported to designer prior to commencing work.

All construction to comply with NZS3604:2011 and the NZBC

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#### NOTES:

- 1) Layouts, fixtures, fittings and construction of building elements are shown indicative only from consented drawings available and check measure in part. Not all dimensions measured.
- 2) All dimensions are to be confirmed on site prior to demolition or construction
- 2) All construction to be in accordance with NZS3604:2011 & the NZBC unless specifically designed.
- 3) Builder to co-ordinate with other trades required for demolition including electrician, roofer, plumber and drainlayer.
- 4) All demolition items to be set-aside for re-use or provided to owner are to be carefully removed and set aside in a location on site - to be confirmed by owner. Protect from weather. Builder to confirm all items to be provided to owner prior to demolition.
- 5) Builder to protect extg. items to remain and extg. structure from damage during demolition.
- 6) Builder to temporarily prop/support extg. structures during demolition
- 8) Builder to repair and make good and/or replace where necessary, extg. items to remain, ready to receive new finishes.
- 9) Builder to co-ordinate with all trades for requirements for re-routing, capping off and protection of all extg. and proposed services.
- 10) Demolition plan to be read in conjunction with proposed plans and specifications
- 11) Builder and subcontractors to check all dimensions on site
- 12) Demolition plan to be read in conjunction with proposed plans, sections, elevations and details.

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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**

**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

**Sheet: A01 SUBFLOOR EXSITING AND DEMOLITION**

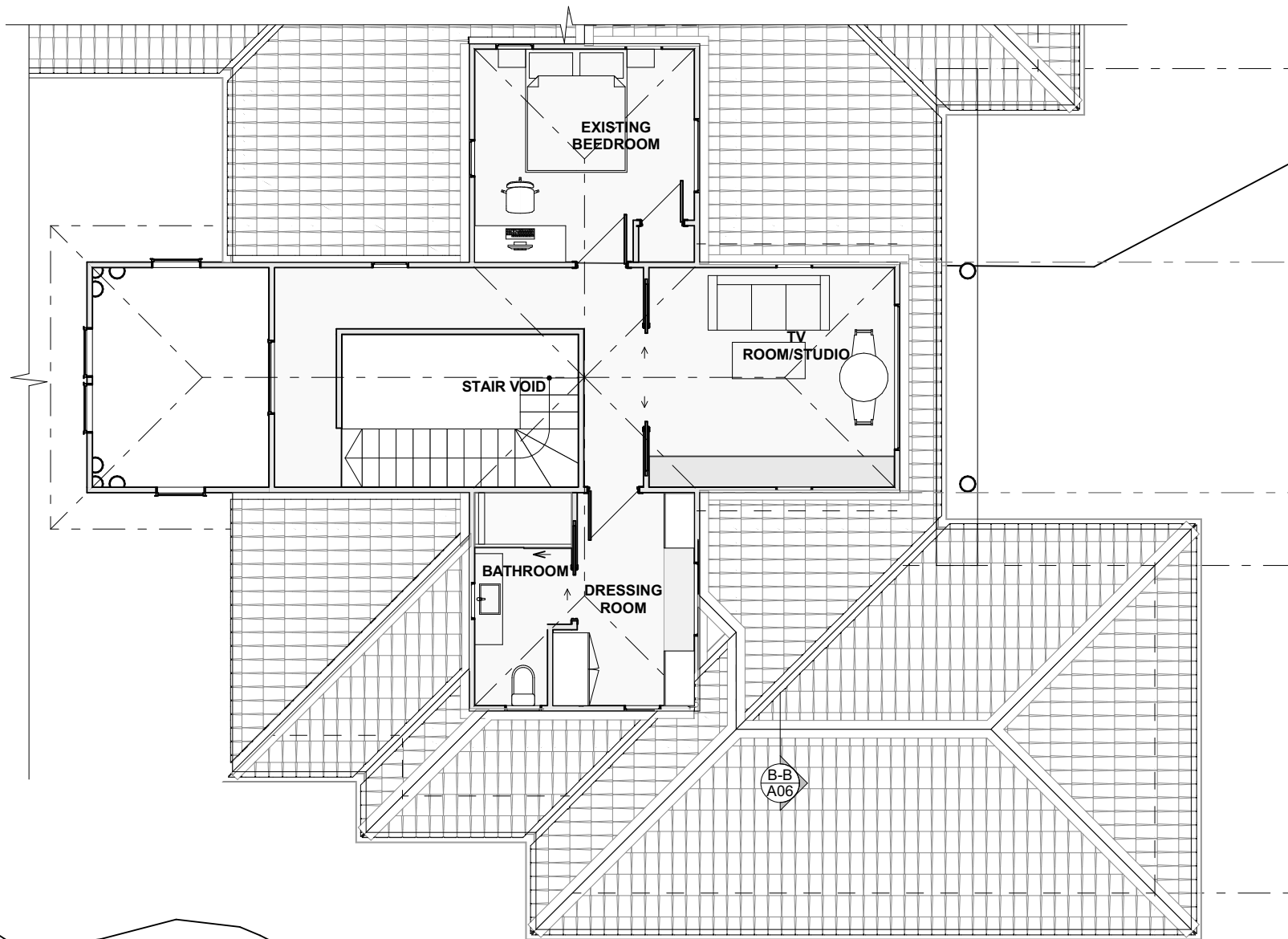
**SCALE: (A2) 1:100**

I	25/03/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	



NOTES:

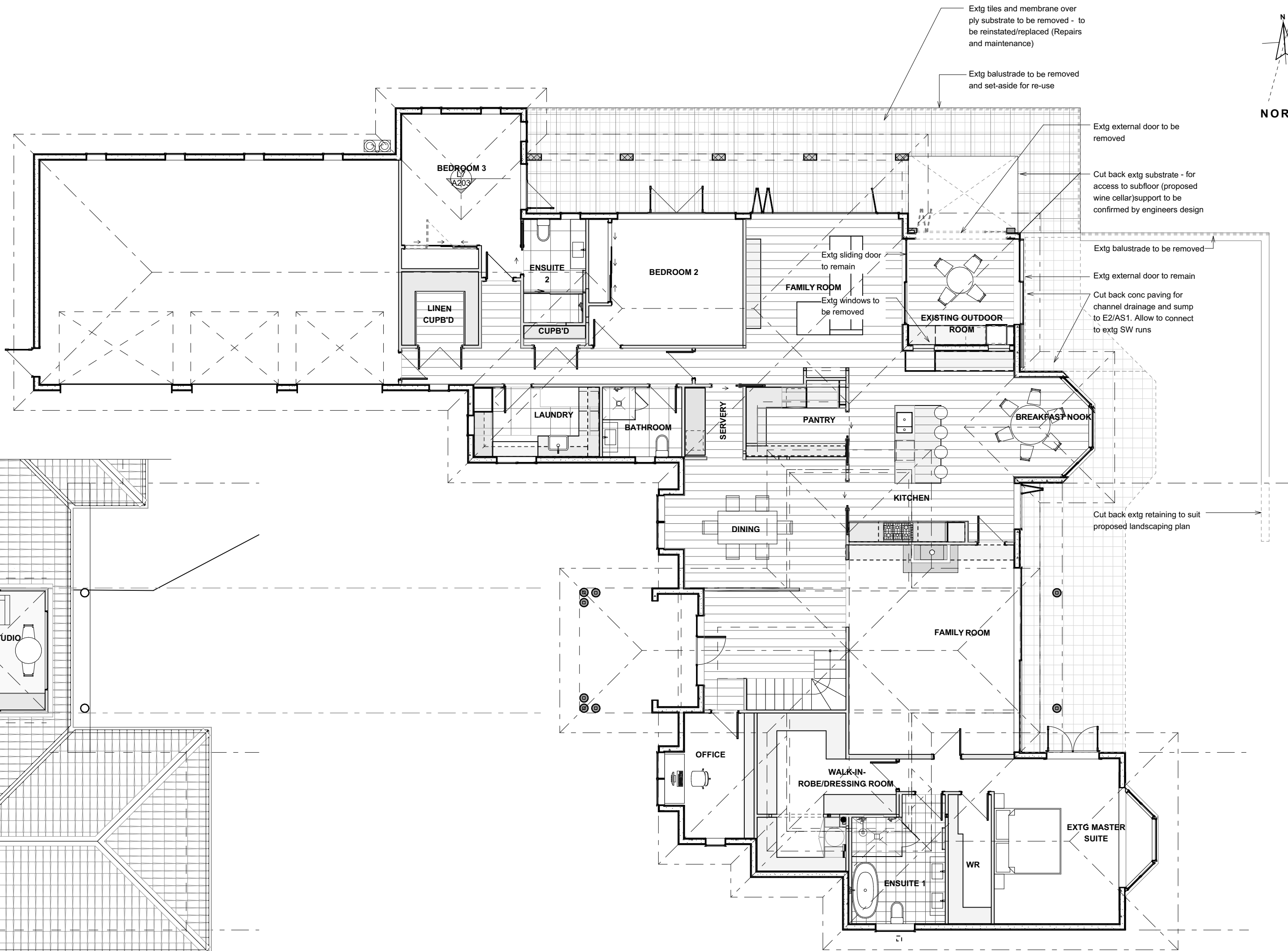
- 1) Layouts, fixtures, fittings and construction of building elements are shown indicative only from consented drawings available and check measure in part. Not all dimensions measured.
- 2) All dimensions are to be confirmed on site prior to demolition or construction
- 2) All construction to be in accordance with NZS3604:2011 & the NZBC unless specifically designed.
- 3) Builder to co-ordinate with other trades required for demolition including electrician, roofer, plumber and drainlayer.
- 4) All demolition items to be set-aside for re-use or provided to owner are to be carefully removed and set aside in a location on site - to be confirmed by owner. Protect from weather. Builder to confirm all items to be provided to owner prior to demolition.
- 5) Builder to protect extg. items to remain and extg. structure from damage during demolition.
- 6) Builder to temporarily prop/support extg. structures during demolition
- 8) Builder to repair and make good and/or replace where necessary, extg. items to remain, ready to receive new finishes.
- 9) Builder to co-ordinate with all trades for requirements for re-routing, capping off and protection of all extg. and proposed services.
- 10) Demolition plan to be read in conjunction with proposed plans and specifications
- 11) Builder and subcontractors to check all dimensions on site
- 12) Demolition plan to be read in conjunction with proposed plans, sections, elevations and details.



2

UPPER FLOOR PLAN

1:100



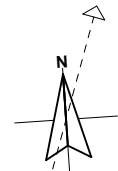
1

GROUND FLOOR PLAN

1:100

KEY:

- Walls and building elements to be demolished/cut back to suit works - shown dashed
- Extg doors to be removed
- Extg windows to be removed/replaced
- Extg Roof line - to remain
- Extg doors to remain



NORTHPOINT

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LBP: Design 2: 107526

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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**

**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**

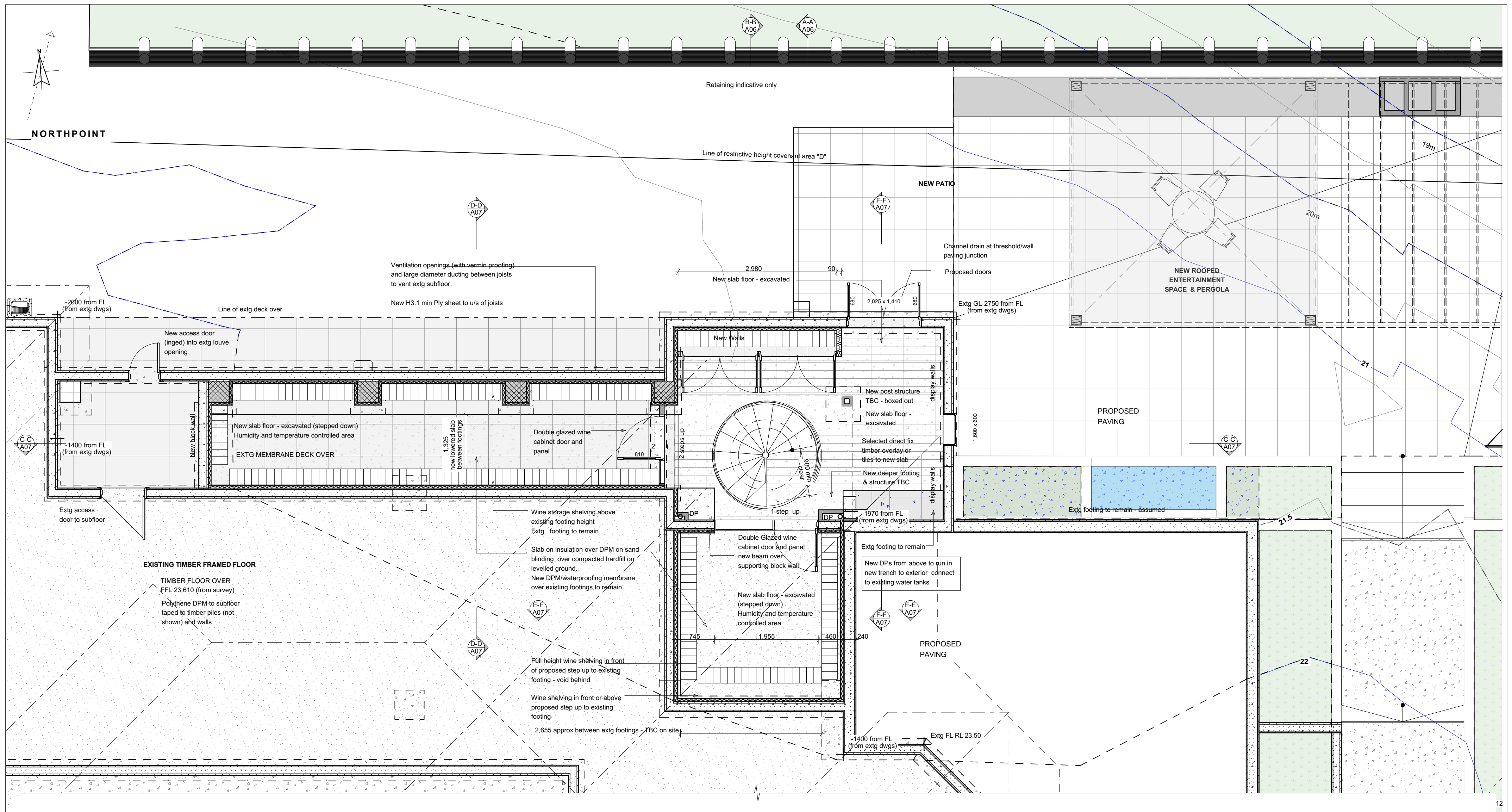
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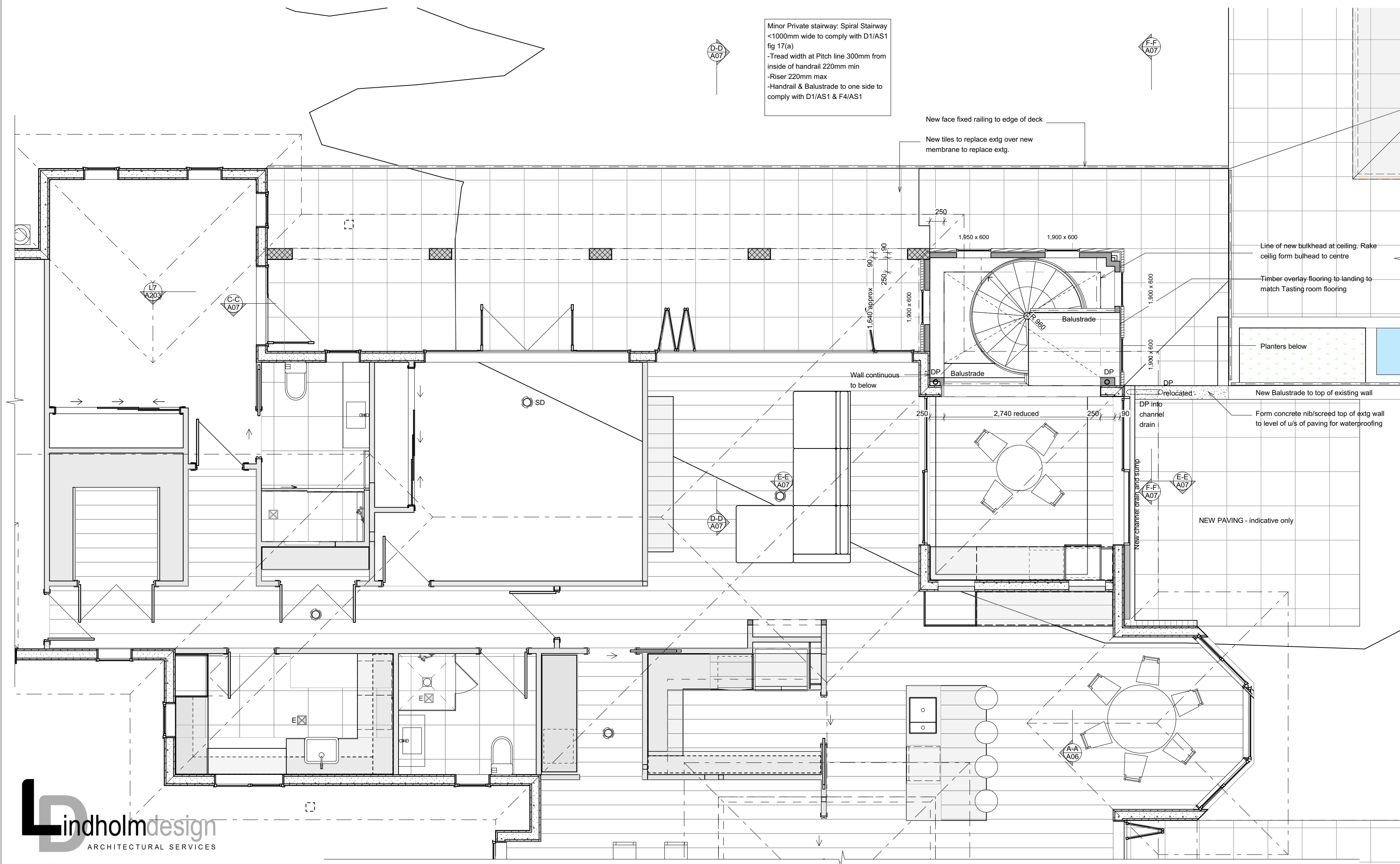
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CONCEPT & RESOURCE CONSENT	







- 1) Layouts, fixtures, fittings and construction of building elements are shown indicative only from consented drawings available. Spaces not measured
- 2) All dimensions are to be confirmed on site prior to demolition or construction
- 3) All construction to be in accordance with NZS3604:2011 & the NZBC unless specifically designed.
- 4) Setout dimensions are to timber framing. Builder to confirm all dimensions on site prior to demolition or construction
- 5) Timber wall framing to be H1.2 SG8 unless specified otherwise. Nogs at 800mm max ctrs typically.
- 6) Builder to fix additional nogging at framing stage for wall hung cabinetry, Wrobe & fixed shelving, WC Cistern, towel rails, toilet roll holders, air conditioning units etc, as required
- 7) External window & Door dimensions are nominal frame sizes. Refer to joinery manufacturers schedule for trim sizes. All openings to be site measured by window manufacturer prior to fabrication
- 8) Internal Doors are leaf sizes. Framing to allow for door frame and tolerances.
- 9) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1

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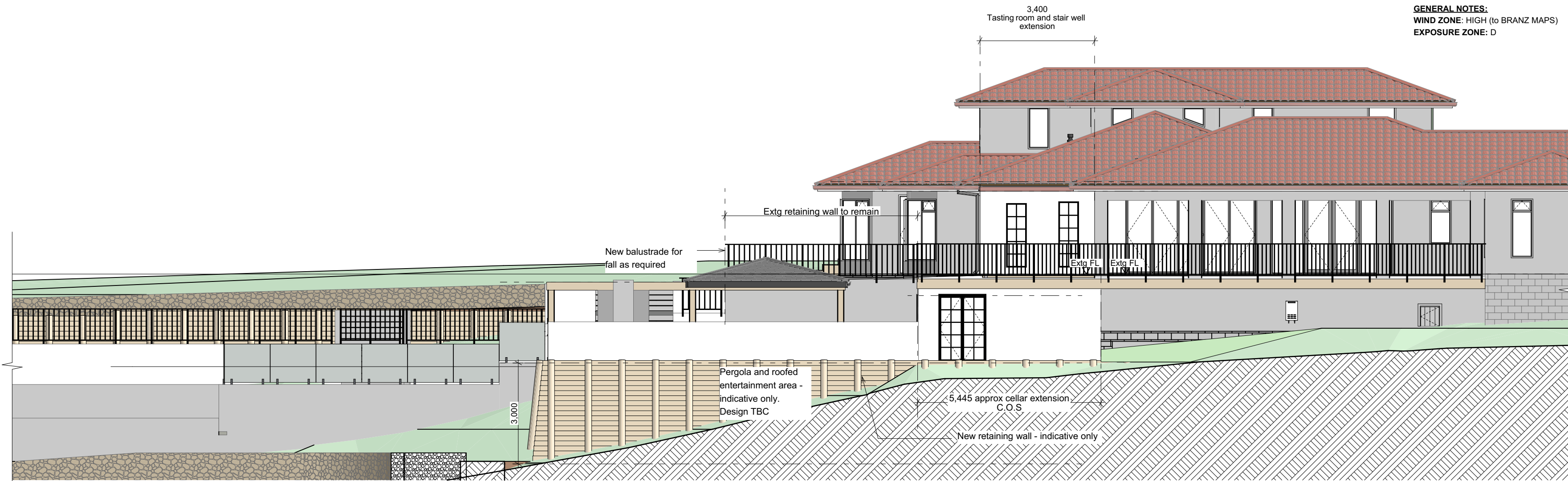
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**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**  
**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**  
**Sheet: A04 PROPOSED GROUND FLOOR**

SCALE: (A2) 1:50

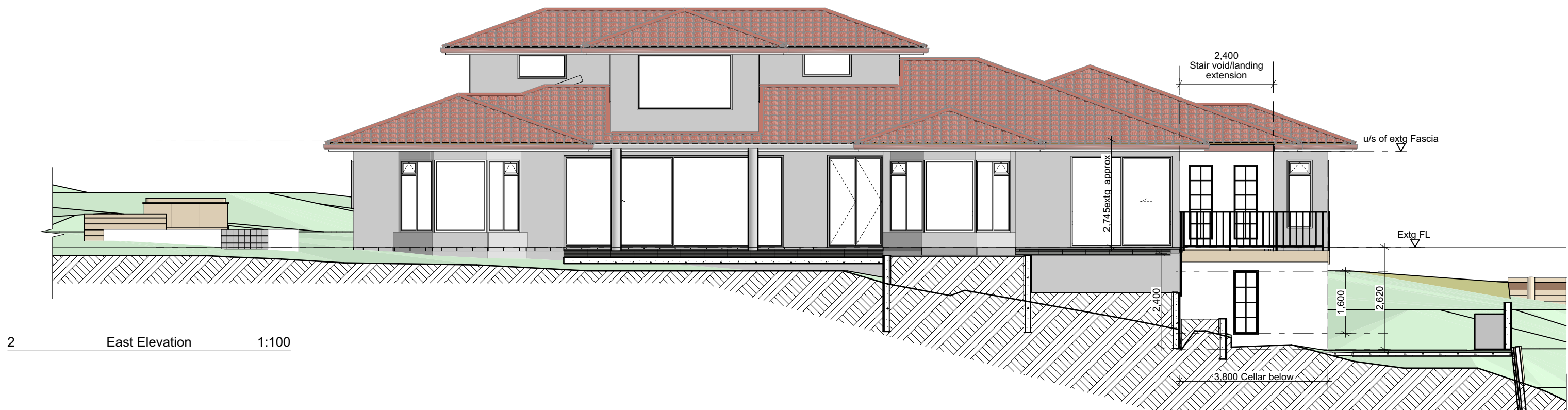
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CONCEPT & RESOURCE CONSENT	





GENERAL NOTES:  
WIND ZONE: HIGH (to BRANZ MAPS)  
EXPOSURE ZONE: D

- NOTES:
- 1) All works to be done in accordance with NZS3604:2011 and the NZBC Acceptable solutions unless specifically designed or accepted as an alternative solution by BCA
  - 2)Durability of all construction materials, fixing and fastenings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1
  - 3) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps
  - 3) Contractor/builder to check all dimensions, existing drain & services locations prior to commencing works
  - 4) Builder to confirm any rebate required to slab for external doors with joinery manufacturer before construction. Joinery manufacturer to provide profiles for set out
  - 5) Concrete to be **25MPa** to slab & footings at 28 days unless specifically stated.
  - 6) BCA to inspect foundations prior to concrete being poured.
  - 7) ENGINEER to inspect and certify foundations and Engineered designed aspects and provide PS4 as required by BCA Form 5 - refer to building consent documents
  - 8) Certified compacted GAP 40 Granular fill underslab to NZS3604:2011
  - 9) Do not build on uncertified fill
  - 10) Remove all organic material, fill and topsoil from under footings/foundations & slab areas
  - 12) Timber wall framing to be SG8 unless specified otherwise.
  - 13) treatment to be:  
H5 for timber embedded in concrete or ground,  
H4 for timber in contact with ground and  
H3.2 for timber exposed to weather and  
H1.2 for enclosed timber
  - 14) DPC to be provided between all timber and concrete/masonry
  - 15)Built up members to comply with NZS3604:2011 Section 2.4.4.7
  - 16) ALL BRACKETS, BOLTS, NAILS & SCREWS in "Sheltered" and "Exposed" situations to be S/Steel 304
  - 17)External joinery shown indicative - refer to window manufacturers schedule for configurations. Contractor/Cient to approve final schedule with window manufacturer.
  - 18) All existing retaining structures are shown indicative only from consented documents
  - 19) Timber wall framing to be H1.2 SG8 unless specified otherwise. Nogs at 800mm max ctrs typically, unless additional nogging required by cladding manufacturers specifications.
  - 20) Cladding to be installed in accordance with cladding manufacturers requirements over drained and vented cavity - refer to later details



- NOTE: DURABILITY ZONE D:  
to comply with NZS3604:2011 Section 4
- a) All structural fixings and fastenings in EXPOSED & SHELTERD situations to be type 304 S/steel to comply with NZS3604:2011 Durability Table 4.1
  - b)All nails and screws within 600mm of FGL and all nails and screws to exposed framing to table 4.3 or in contact with timber treated to H3.2 or above to be type 304 s/steel (ZONE D)
  - c) Cover to reinforcing steel:  
75mm min to ground  
30mm min mesh top cover to enclosed areas  
50mm min mesh top cover to concrete exposed to weather  
50mm min to formwork
  - d) Concrete strength:  
-20MPa min for unreinforced concrete and reinforced concrete (not exposed to weather) OR AS SPECIFIED BY ENGINEER  
-25MPa for reinforced concrete exposed to weather OR AS SPECIFIED BY ENGINEER
  - e) Concrete Masonry: to comply with NZS4210  
25MPa grout strength blockwork in ZONE D

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PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

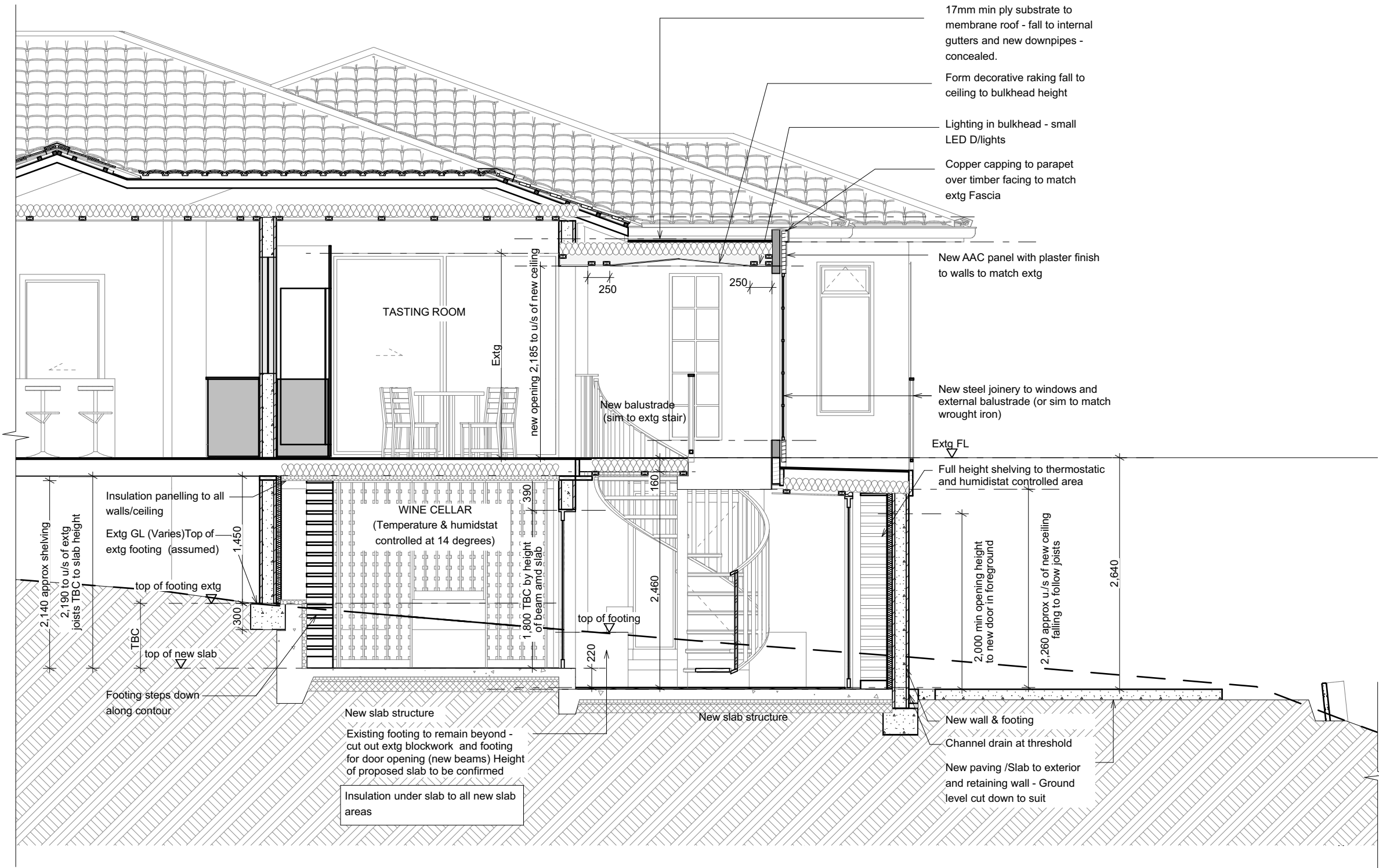
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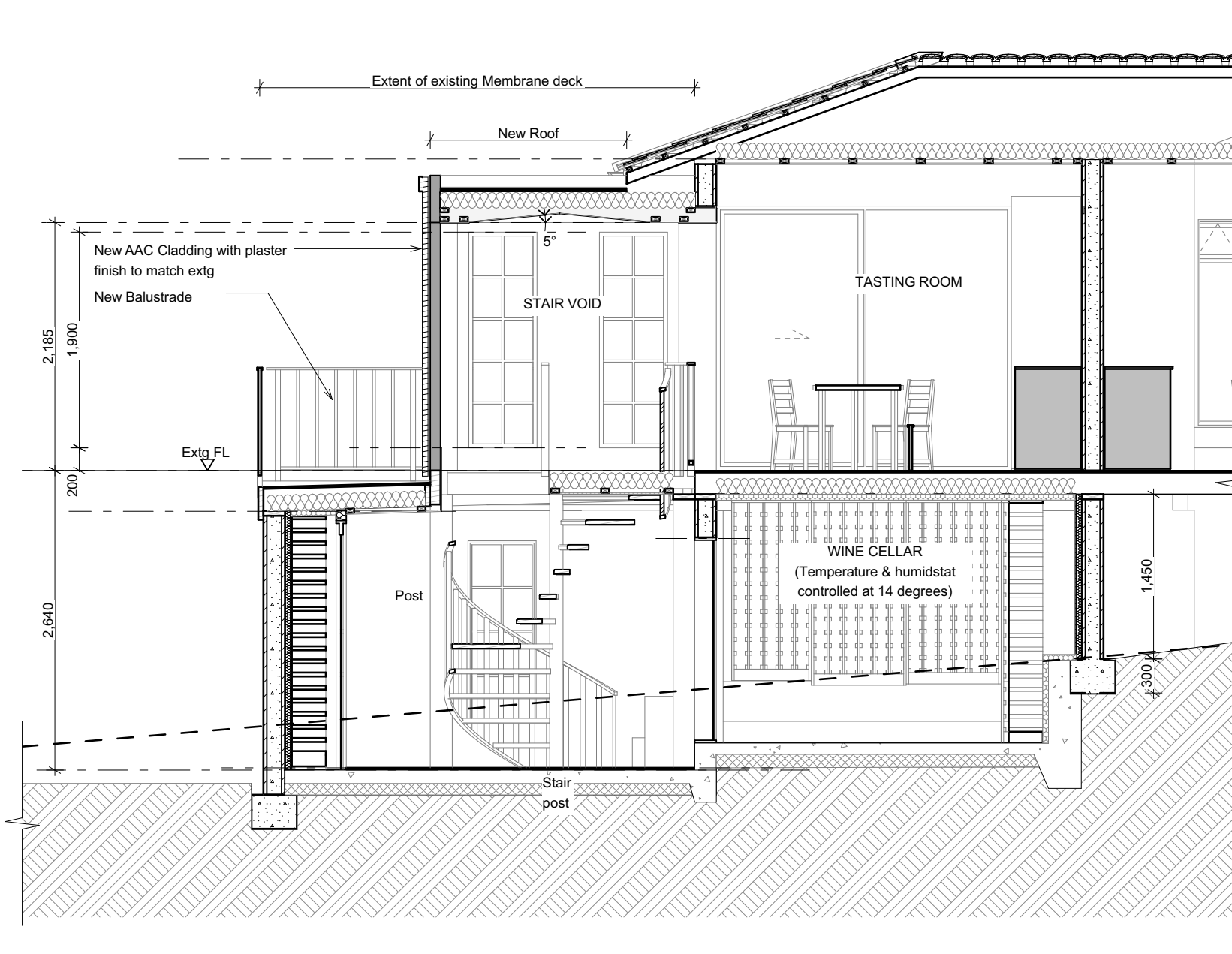
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GENERAL NOTES:  
WIND ZONE: HIGH (to BRANZ MAPS)  
EXPOSURE ZONE: D

NOTES:  
1) Refer to elevations for notes

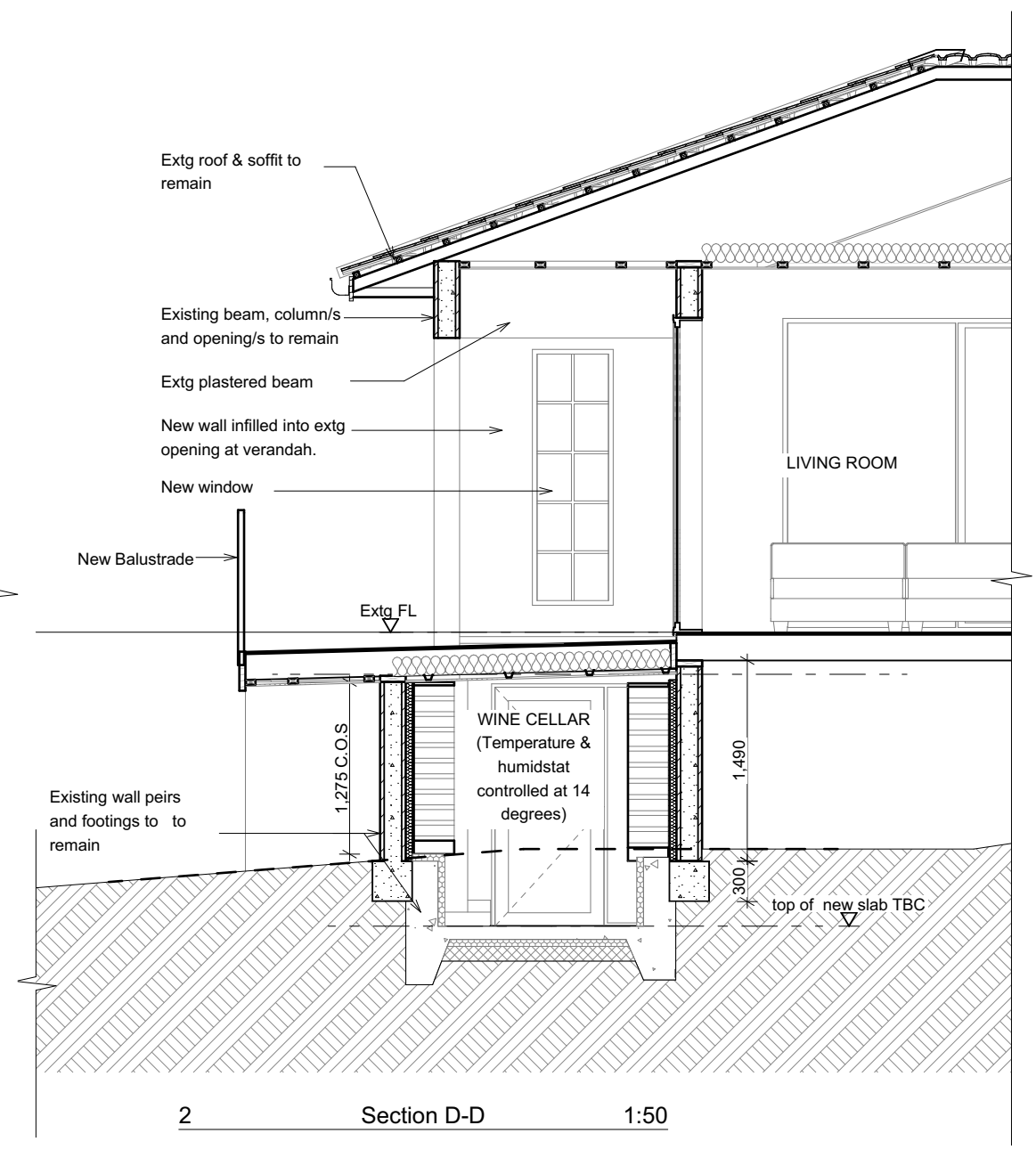
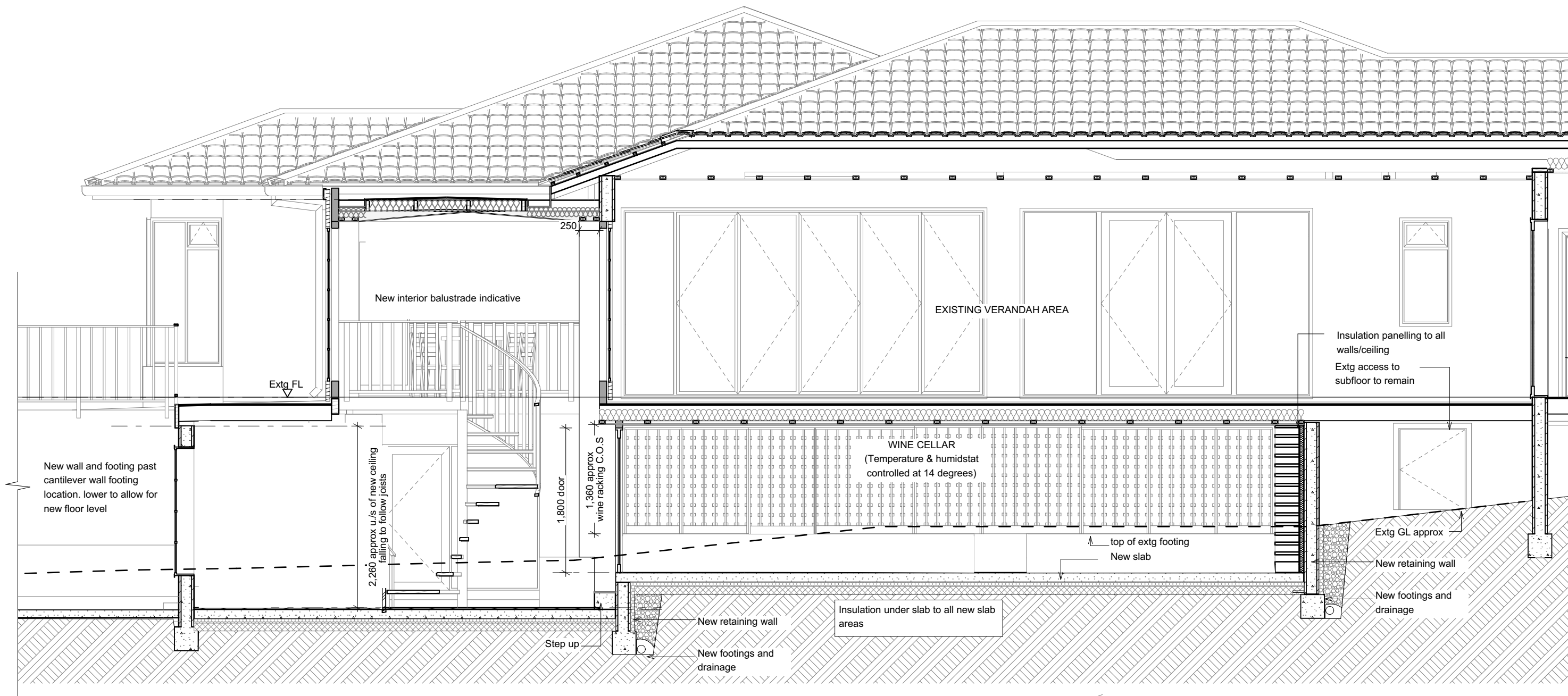


2 Section A-A 1:50

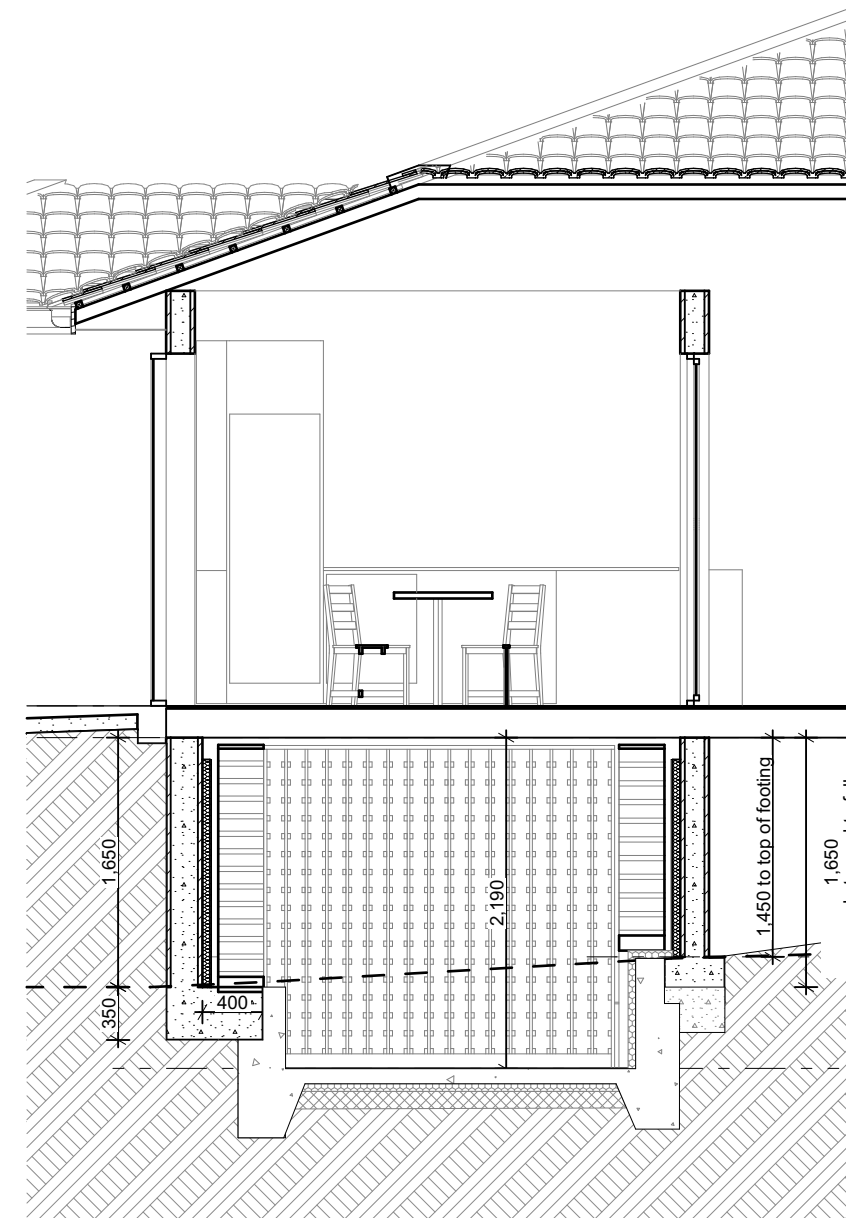


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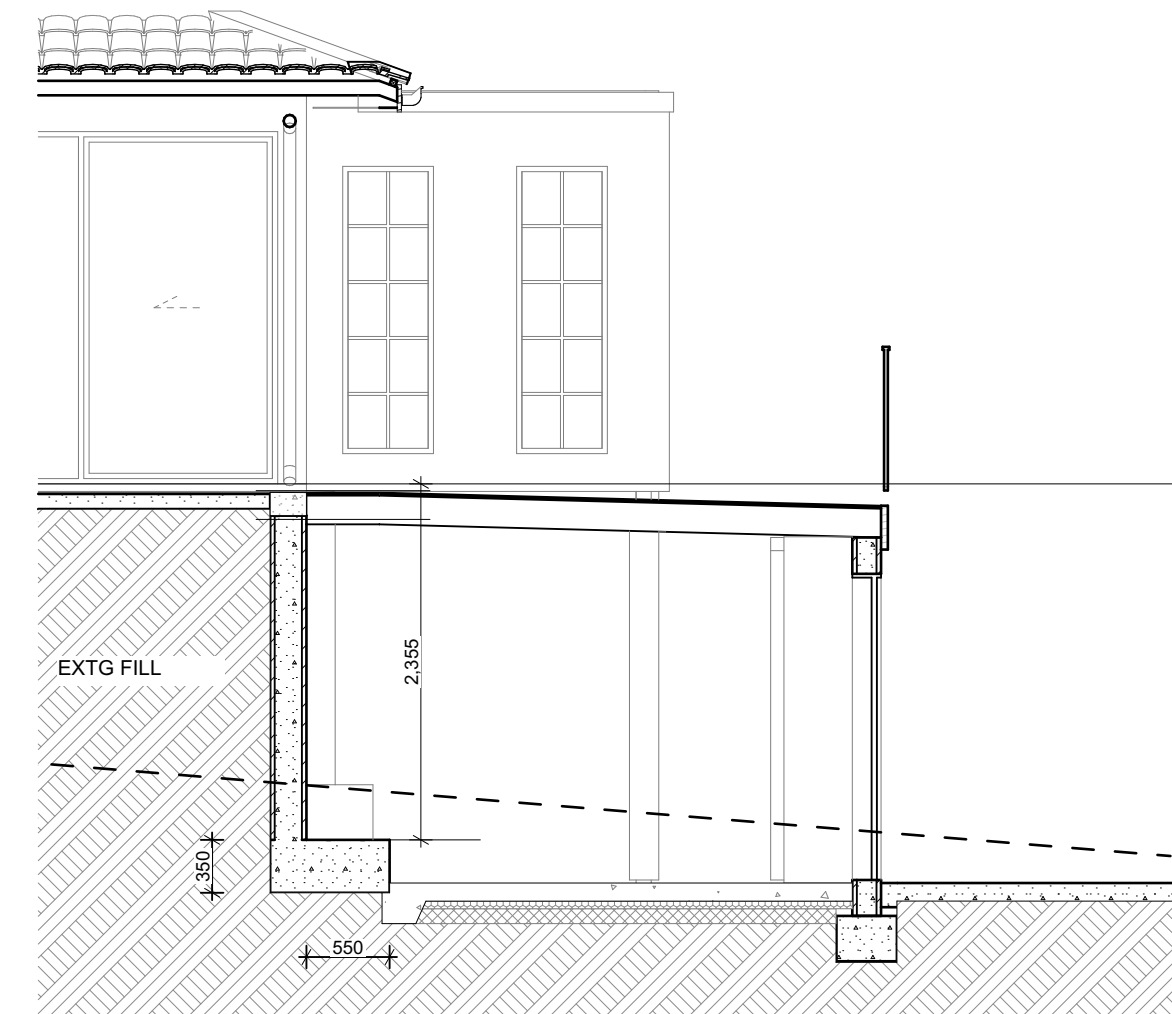




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3 Section E-E 1:50



4 Section F-F 1:50

PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A07 SECTIONS - SHEET 2

SCALE: (A2) 1:50

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Stormwater Management Report  
Building Additions  
55 Kingfisher Drive, Kerikeri  
Lot 2 DP 311542 & Lot 4 DP 317854  
for  
Ian and Vicki Smith

*Haigh Workman reference 25 023*


Mar-25



## Revision History

Revision N <sup>o</sup>	Issued By	Description	Date
A	Tom Adcock	For Resource Consent	March 2025

Prepared by:



**Tom Adcock**  
Senior Civil Engineer  
BE (Civil), MEngNZ

Reviewed/Approved by:



**John Papesch**  
Senior Civil Engineer  
BE (Civil Engineering),  
CPEng, CMEngNZ



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## Executive Summary

Haigh Workman Ltd was commissioned by Ian and Vicki Smith (the client) to undertake a stormwater management report for the proposed extensions at 55 Kingfisher Drive, Kerikeri.

The property is legally described as Lot 2 DP 311542 & Lot 4 DP 317854 and has a total area of 16,836 m<sup>2</sup>. Both lots are held under one title, so the 'Site' is the two lots combined together. The site is developed with a dwelling and shed, the client intends to make additions comprising deck extension including cellar and under storage, glass house, swimming pool, patio, roofed pergola, future studio and garden pathways.

The proposed work is shown on Lindholm Design Drawing, Ref. A00-A Rev. H, copy appended.

### Stormwater Management

Total impermeable surfaces following the proposed development are estimated as 2,326m<sup>2</sup> or 13.8% of the site area. This exceeds the Restricted Discretionary Activity threshold of 1,500m<sup>2</sup> making the activity Discretionary.

The site drains directly into the Kerikeri Inlet via a low-lying area in the northeastern corner. A narrow 10m wide strip of Council Road forms the boundary between the site and the Coastal Marine Area. The road strip is also low-lying (below RL 1m) and mapped as lying within Coastal Flood Hazard Zone 0. Technically the road strip represents a downstream property, but the land is subject to coastal inundation and highly unlikely that it will ever be developed.

Given the site's proximity to the coastline, stormwater volume control (attenuation) is not necessary, so long as the risk of scour and erosion damage is properly managed by adopting the following controls:

- For the central and western portion of the site, concentrated flows from yarding cesspits, roof tank overflows, downpipes, roofed pergola, paved entertaining area and the like shall be piped to the bottom of the slope and outfall directly into the flowpath running along the northeastern boundary.
- To minimise the risk of blockages where cesspits are connected to the system, we recommend using 200mm PVC. The end of the pipe should be fitted with a bend to direct the flow longitudinally down the flowpath and a grouted rock armour headwall and apron be formed for a minimum length of 2m to disperse the flow across the base of the flowpath.
- The flowpath along the northeastern boundary shall be shaped to ensure a minimum 1.5m wide level base (zero crossfall) and grassed. Where this cannot be achieved then apply 100-150mm rock armour to achieve the equivalent of the trapezoidal channel with minimum 0.3m base and armoured 1:2 side slopes.
- At the eastern end of the property concentrated flows from future studio will be small and can be discharged directly onto the ground surface with localised armouring at the pipe outlet.
- Trench backfill for buried services on steep slopes shall be compacted in layers and mounded to discourage surface water tracking down the pipeline and causing washout.

# **1 Introduction**

## **1.1 Introduction**

Haigh Workman Ltd (Haigh Workman) was commissioned by Ian and Vicki Smith (the client) to undertake a stormwater management report for the proposed building extensions at Lot 2 DP 311542 & Lot 4 DP 317854, 55 Kingfisher Drive, Kerikeri (the 'Site').

The property is legally described as Lot 2 DP 311542 & Lot 4 DP 317854 and has a total land area of 16,836 m<sup>2</sup>. Both lots are held under one title, so the 'Site' is the two lots combined together. The site is developed with a dwelling and shed, the client intends to make additions comprising deck extension including cellar and under storage, glass house, swimming pool, patio, roofed pergola, future studio and garden pathways. Under the Far North District Plan the Site is zoned as Coastal Living.

The proposed work is shown on Lindholm Design Drawing entitled, 'Proposed Extension to Existing Dwelling & New Boatshed at 55 Kingfisher Drive, Kerikeri. Ref. A00-A Rev. H, copy appended.

The proposal includes an 80m<sup>2</sup> solar array, whilst this is considered an impermeable surface under the District Plan Definitions but does not act as a barrier to water penetrating the ground, so the effect on stormwater runoff is negligible, as discussed later in the report.

## **1.2 Objective and Scope**

The scope of this report is an assessment of impermeable surfaces, stormwater management and recommend mitigation measures for the proposed additions.

## **1.3 Applicability**

This report has been prepared for our client with respect to the particular brief given to us. This report is to be used by our Client and Consultants and may be relied upon by the Far North District Council when considering the application for the proposed development. The information and opinions contained within this report shall not be used in any other context for any other purpose without prior review and agreement by Haigh Workman Ltd.

## 2 Site Description

### 2.1 Site Identification

Site Address: 55 Kingfisher Drive, Kerikeri

Legal Description: Lot 2 DP 311542 & Lot 4 DP 317854

Site Area: 16,836m<sup>2</sup>

The property is legally described as Lot 2 DP 311542 & Lot 4 DP 317854 with a total land area of 16,836 m<sup>2</sup> and comprises a dwelling, a shed, driveway and parking area.

The site occupies the northern flank of a spur ridge of a small headland on the northern side of Kerikeri Inlet. Access is off the end of Kingfisher Drive. The surrounding area comprises similar sized coastal living lots.

The site is generally moderately to steeply sloping towards the north / northeast. The northern part of the site (Lot 4, DP 317854) is low lying and runs off to the Coastal Marine Area. The existing dwelling is located on a flat cut & fill platform.

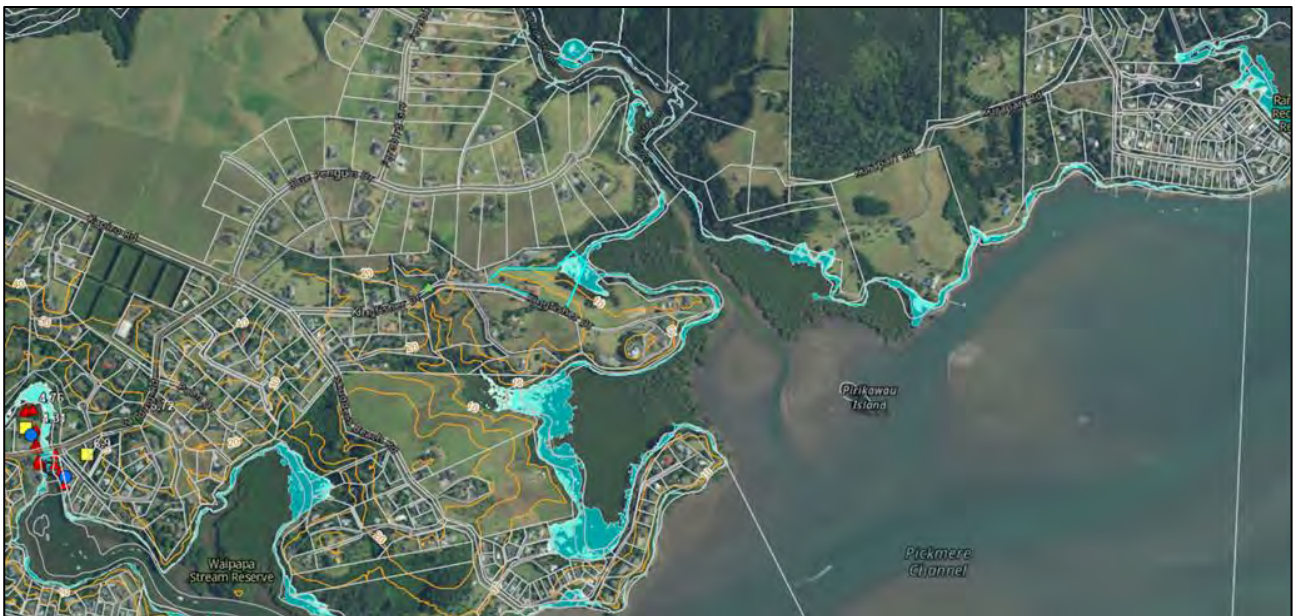


Figure 1: Site Location

## 3 Environmental Setting

Published environmental data relating to the site has been reviewed. A summary of relevant information is provided below.

### 3.1 Hydrology and Flooding

Coastal flood is mapped as affecting the low-lying area in the northeastern corner of the site. The vast majority of the site is outside the mapped hazard area. The proposed development is elevated some 20m above the flood hazard.

A summary of available information pertaining to hydrology and hydrogeology sourced from District and Regional Council GIS databases is presented in Table 3.1.

**Table 1 Surface Water Features & Flooding**

	Presence/Location	Comments
<b>Surface Water Features (Ponds, Lakes, etc.)</b>	The northeastern corner of the site contains a low-lying that runs off to the Coastal Marine Area	The site drains into the low-lying area but is not expected to change, or is likely to change, the water level range or hydrological function of the low-lying area
<b>Watercourses (within 500m)</b>	The Rangitane River mouth is approximately 300m northeast of the site and an unnamed stream passes approximately 200m to the south	The site does not drain into either of these catchments
<b>Flood Risk Status</b>	The northeastern corner of the site is mapped as a coastal flood hazard	The proposed development is elevated some 20m above the flood hazard
<b>Flood Susceptibility</b>	None recorded on GIS databases	Site is not within the NRC flood susceptible land zone

### 3.2 Published Geology

The site geology was investigated by the Haigh Workman Geotechnical Investigation Report Ref. 25 023.

Reference is made to New Zealand Land Inventory maps NZMS 290 Sheet O04/05 (Soil map of the Whangaroa – Kaikohe area). This indicates the site is underlain by 'soils of the rolling and hilly land, *well to moderately well drained* Kerikeri friable clay (KE)' and/or Kerikeri friable clay with large boulders (Keb), weathered to 'soft red brown or dark grey-brown clay to depths of 20m with many rounded corestones'.

## 4 Stormwater Management

### 4.1 Statutory Framework

#### 4.1.1 Far North District Plan

The site is within the Coastal Living zone. The relevant stormwater management/ impermeable surface rules are as follows:

**Permitted Activity****10.7.5.1.6 STORMWATER MANAGEMENT**

The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m<sup>2</sup> whichever is the lesser.

**Restricted Discretionary Activity****10.7.5.3.8 STORMWATER MANAGEMENT**

The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 15% or 1,500m<sup>2</sup>, whichever is the lesser.

**10.7.5.4 DISCRETIONARY ACTIVITIES**

The Council may impose conditions of consent on a discretionary activity, or it may refuse consent to the application. When considering a discretionary activity application, the Council will have regard to the assessment criteria set out under Chapter 11.

**4.1.1 Proposed Regional Plan**

Regional Plan for Northland Rule C.6.4.2 provides for the diversion and discharge of stormwater from outside a public stormwater network provided (amongst other conditions) the diversion and discharge does not cause or increase flooding of land on another property in a storm event of up to and including a 10% annual exceedance probability, or flooding of buildings on another property in a storm event of up to and including a 1% annual exceedance probability.

The Regional Plan permitted activity rule does not specifically require attenuation to pre-development levels, provided there is no increase in downstream flooding for the 10% AEP event.

**4.2 FNDC Engineering Standards 2023**

Reference is made to the Council Engineering Standards for design guidance.

**Section 4.2.5. Discharge to Land:**

Subject to the requirements of the NRC Regional Plans, discharge of stormwater from the development onto land is permitted provided that:

- a. Flooding levels shall not be increased due to the development,
- b. New Outlets to any low-lying areas shall be provided or existing outlets retained,
- c. Dispersal of concentrated flow from the development shall be designed to occur at the shortest practicable distance and before a concentrated overland discharge to a neighbouring property occurs and,
- d. An acceptable rate of dispersed discharge from stormwater runoff at the boundary is < 2 litres/sec/m (e.g. flow can be managed via dispersal swale or trench).



#### Section 4.3.2. Increases to Impervious Surface:

Where any development increases impervious surface, the development shall be assessed in accordance with Section 4.1.2 Objectives and Section 4.1.3 Performance Standards to determine the requirements, if any, for water quality and quantity controls.

Design of new development or alteration to existing development, resulting in increased impervious surface shall also comply with the NRC.

#### Section 4.1.3 Performance Standards:

- e. The primary stormwater system shall be capable of conveying 10% AEP design storm events without surcharge (see Section 4.3.9 Hydrological Design Criteria).
- h. Development shall not increase peak discharge rates to receiving environment. An increase may be acceptable for large events where it is demonstrated that there are no adverse effects (including potential, future, or cumulative effects), on the environment or downstream properties as a result of the increase.
- i. The stormwater system shall provide the required amount of treatment through the use of low impact design and sustainable solutions (See Sections 4.3.20 Soakage Devices and 4.3.21 Stormwater Treatment and Detention Devices).

#### Table 4.1 Minimum Design Summary:

Design rainfall - Current rainfall (i.e. not climate change adjusted) shall be used for Determining pre-development stormwater runoff flows and volumes for use in combination with calculated post development flows to determine stormwater treatment (quantity and quality) requirements.

Climate change adjusted rainfall shall be used for determining post-development stormwater runoff flows and volumes for stormwater infrastructure design.

### 4.3 Impermeable Surfaces

The proposed work is shown on Lindholm Design Drawing A00-A Rev. H, repeated in Figure 2 below.

The proposal includes 80m<sup>2</sup> of free-standing solar array. The panels are considered an impermeable surface under the District Plan but effect on stormwater runoff is minimal. Solar arrays typically comprise panels spaced apart at a height of 1m or greater off the ground. In this context the panels do not act as a barrier to water penetrating the ground and the grass cover beneath continues to grow.



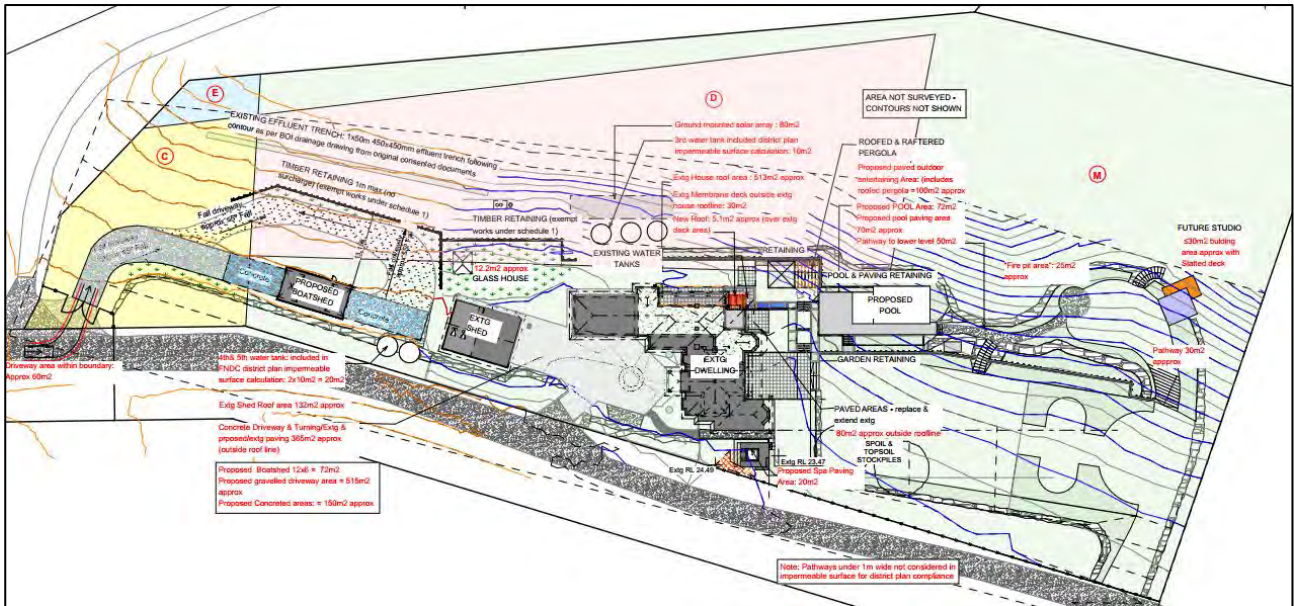


Figure 2: Lindholm Design Drawing A00-A Rev. H

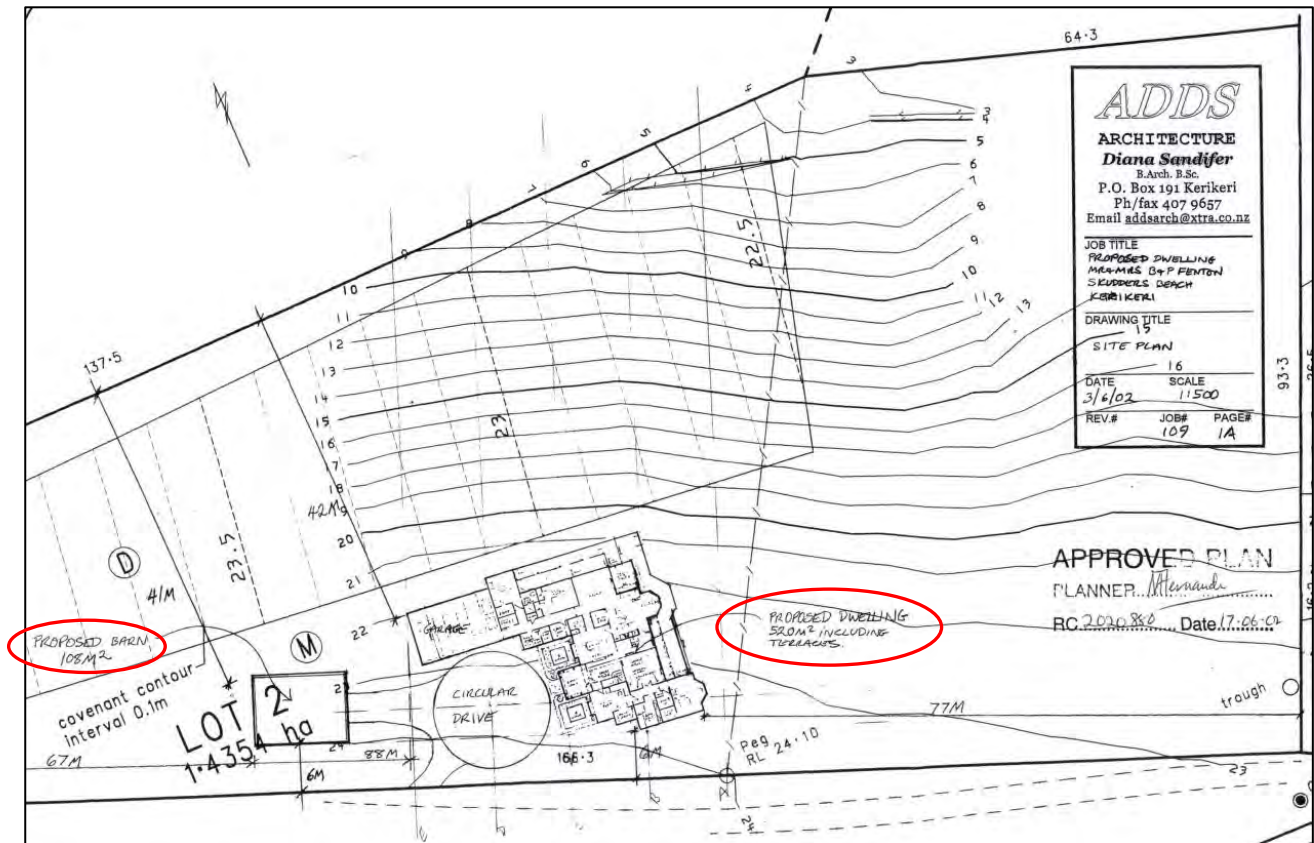


Figure 3: BC 20030199 (2.08.2002) / RC 2020880 (17.06.2002)

BC 20030199 certificate records floor area as 603m<sup>2</sup>. This is the only reference to existing consented impermeable surfaces.

Total impermeable surfaces following the proposed development are estimated as follows:

**Table 2 Impermeable Surfaces**

Component	Coverage (m <sup>2</sup> )
<b>Existing Surfaces</b>	
House roof	513
Shed roof	132
Membrane deck	30
Existing gravel driveway	365
3 x 3.7m dia (25,000) area 50m <sup>2</sup> - 20m <sup>2</sup> allowance	10.0
<b>Proposed Surfaces</b>	
2 x 3.7m dia (25,000) area 20m <sup>2</sup>	20.0
Pool	72.0
Pool side paving	70.0
Future studio roof	30.0
pathway > 1m wide	30.0
Fire pit	25.0
Paving (80 + 20)	100.0
Entertaining area including roofed pergola	100.0
Glasshouse	12.2
Solar array	80.0
Boat shed	72.0
Proposed driveway (gravel)	515.0
Proposed driveway (concrete)	150.0
<b>Total Impermeable Surfaces</b>	<b>2326.2</b>
Site area	16836.0
% site coverage	13.82%

\*District Plan definition for impermeable surfaces does not include water tanks up to 20m<sup>2</sup> area  
Pathways <1m wide not included

The total impermeable surfaces for the site exceeds the Restricted Discretionary Activity threshold of 1,500m<sup>2</sup> making the activity Discretionary.

When considering a Discretionary Activity application, Council will have regard to the assessment criteria set out under Chapter 11. See Section 4.6 for assessment criteria.

## 4.4 Existing Site Drainage

The site slopes to a naturally flowpath that runs along the northeastern boundary, which drains eastward to the Kerikeri Inlet. Much of the flowpath lies beyond the property boundary so a second flowpath has been formed on the inside the boundary. The flowpath continues eastward, dispersing into the low-lying in the northeastern corner of the site (Lot 4 DP 317854) that runs off to the Coastal Marine Area. See photograph below and further photographs appended.

Roof runoff is collected in 3 x 25,000L tanks for domestic supply. The tank overflow plus yarding cesspit outlet discharge higher up on the slope before joining the northeastern boundary drain.

Surface runoff from the neighbouring ROW that runs along the southwestern boundary drains out east and west from a central high point opposite the house, thus avoiding the site.





**Figure 4: Photograph flowpath along northeastern boundary**

## **4.5 Proposed Stormwater System**

The site drains directly into the Kerikeri Inlet via a low-lying area in the northeastern corner. A narrow low lying 10m strip of Council Road forms the boundary between the site and the Coastal Marine Area. The road strip is also low-lying (below RL 1m) and mapped as lying within Coastal Flood Hazard Zone 0. Refer mapping extract below. Technically the road strip represents a downstream property, but the land is subject to coastal inundation and highly unlikely that it will ever be developed. Stormwater volume control (attenuation) is not necessary as long as the risk of scour or erosion damage is managed.

Stormwater runoff from the site shall be managed so that flows are discharged in a controlled manner that minimises the risk of scour or erosion occurring either within the site or downstream. Controls shall comprise:

- For the central and western portion of the site, concentrated flows from yarding cesspits, roof tank overflows, downpipes, roofed pergola, paved entertaining area and the like shall be piped to the bottom of the slope and outfall directly into the open drain. The slope exhibits shallow turf creep, by burying the pipe minimum 1m deep the risk of damage caused by ground movement can be avoided. It will be important to avoid surface water tracking down the pipeline and causing washout, this can be minimised by keep the trench narrow (300mm), compacting the trench fill in layers and overfilling so that a depression does not form should the fill material settle.
- The open drain along the northeastern boundary shall be armoured to avoid scour damage.
- At the eastern end of the property concentrated flows from future studio will be low in quantity and can be discharged directly onto the ground surface.

Design of stormwater devices and controls is covered in the following sections and shown on the architectural plan mark-up appended.

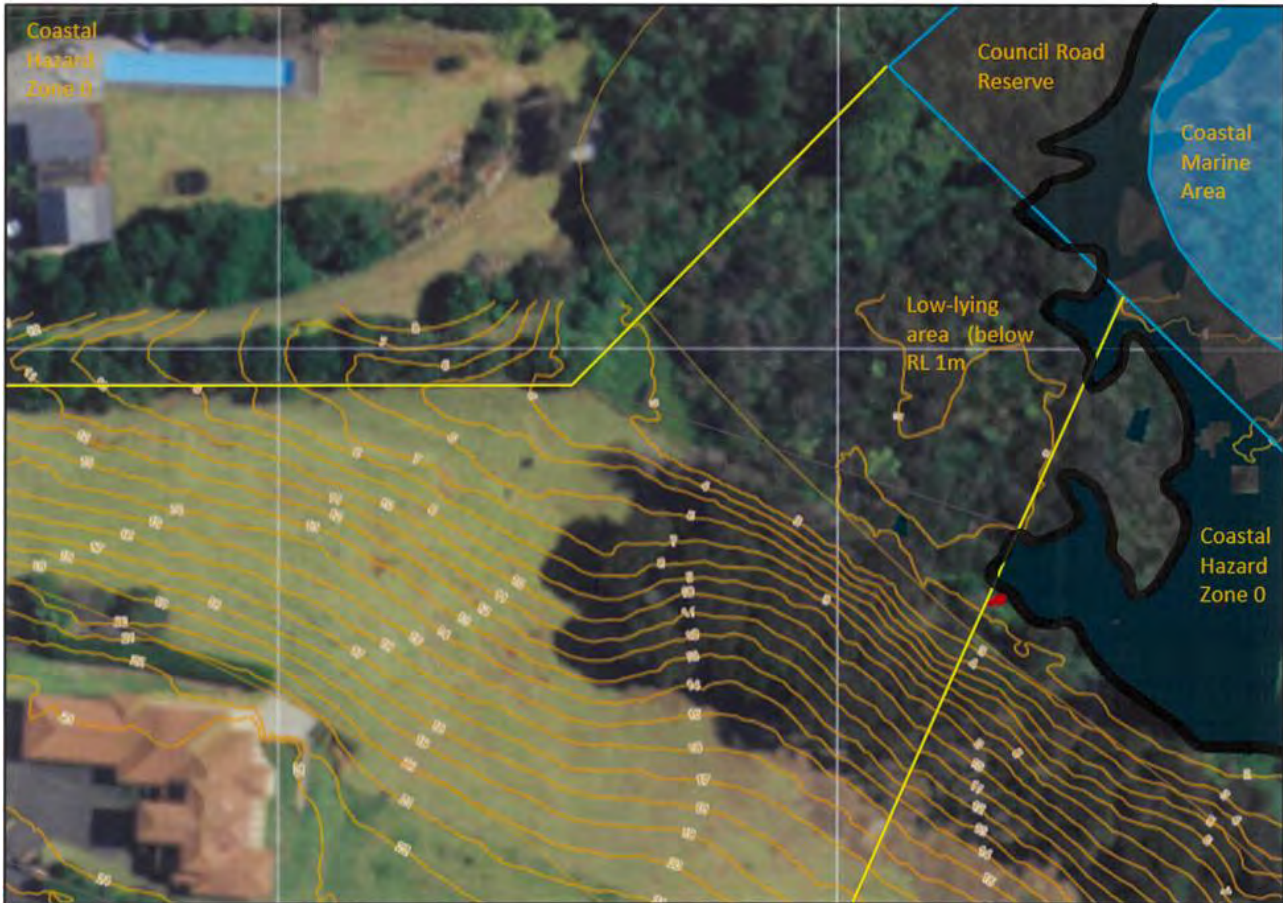


Figure 5: Extract from Far North Maps showing Low-Lying Areas, Coastal Marine Area, extent of Coastal Hazard Zone 0 and Council Road Reserve

#### 4.5.1 Runoff Calculations

Pre-and post-runoff was calculated using the Rational Method. Runoff coefficients were taken from Council Engineering Standards 2023 Table 4.3.

Table 3 Run-off Coefficient (C)

Surface Type	Adopted C
Grass/landscape	0.59
Concrete	0.96
Roofs	0.96
Gravel	0.80
Lawn, Garden area (same as grass)	0.59
Solar Array (same as grass)	0.59

For design rainfall intensities, including an allowance for climate change, we have adopted HIRDS V4 rainfall estimates adjusted with the RCP 6.0 climate change scenario projected out to the 2081-2100 time period. This accounts for 1.63°C of warming and an associated increase in rainfall of approximately 20%. The minimum time of concentration for surface runoff will be 10 minutes.

Post-development and predevelopment runoff are calculated below for the 10% AEP + CC rainfall event.

**Table 4 post-development runoff**

Component	Area (m <sup>2</sup> )	C	I <sub>10</sub> (mm/hr)	Q (L/s)
House roof	513	0.96	121	16.6
Shed roof	132	0.96	121	4.3
Membrane deck	30	0.96	121	1.0
Existing gravel driveway	365.0	0.8	121	9.8
5x3.7m dia (25,000) area 50 - 20m <sup>2</sup> allowance	30.0	0.96	121	1.0
Pool	72.0	1	121	2.4
Pool side paving	70.0	0.96	121	2.3
Future studio roof	30	0.96	121	1.0
pathway > 1m wide	30	0.96	121	1.0
Fire pit	25	0.96	121	0.8
Paving (80 + 20m <sup>2</sup> )	100	0.96	121	3.2
Entertaining area	100	0.96	121	3.2
Glasshouse	12.2	0.96	121	0.4
Solar array (same as grass)	80	0.59	121	1.6
Boat shed	72	0.96	121	2.3
Proposed driveway gravel	515	0.8	121	13.8
Proposed driveway concrete	150	0.96	121	4.8
Grass	14509.8	0.59	121	287.7
Total	16836			357.17

**Table 5 Pre-development runoff**

Component	Area (m <sup>2</sup> )	C	I <sub>10</sub> (mm/hr)	Q (L/s)
House roof	513	0.96	121	16.6
Shed roof	132	0.96	121	4.3
Membrane deck	30	0.96	121	1.0
Existing gravel driveway	365.0	0.8	121	9.8
3x3.7m dia (25,000) area 30 - 20m <sup>2</sup> allowance	10.0	0.96	121	0.3
Grass	15786	0.59	121	313.0
Total	16836			344.96
Increased runoff				12.20

#### 4.5.2 Piped Outfall at Western End

Concentrated flows from yarding cesspits, roof tank overflows, downpipes, roofed pergola, paved entertaining area and the like at the western end of property shall be piped to the bottom of the slope. The combined flow comprises:



**Table 6 Piped outfall flow**

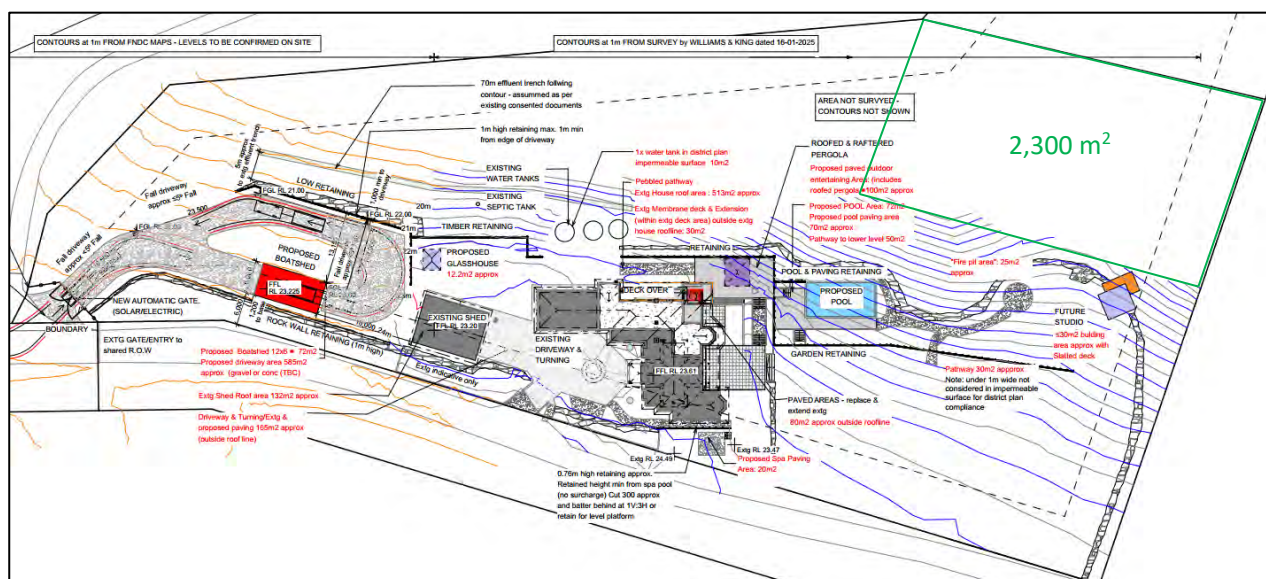
Component	Q (L/s)
House roof	16.6
Shed roof	4.3
Membrane deck	1.0
Existing gravel driveway (allow future concrete)	11.8
Entertaining area	3.2
Pool	2.4
Pool side paving	2.3
Glasshouse	0.4
Boat shed	2.3
Proposed driveway gravel (allow future concrete)	16.6
Proposed driveway concrete	4.8
Total	65.7

For sizing the pipe using the flattest gradient 22% at the top of the slope, required diameter is 175mm. See calculations appended. To minimise the risk of blockages where cesspits are connected to the system, we recommend using 200mm PVC.

For the pipe outlet into the drain the gradient of 36.7% has an associated velocity of 6.2L/s. Verification Method E1/VM1 Table 5 gives grouted rock armour for the outfall. To minimise the risk of blockages where cesspits are connected to the system, we recommend using 200mm PVC. The end of the pipe should be fitted with a bend to direct the flow longitudinally down the flowpath and a grouted rock armour headwall and apron be formed for a minimum length of 2m to disperse the flow across the base of the flowpath.

#### 4.5.3 Northeastern Flowpath

The catchment for the open drain that runs along the northeastern boundary comprises the majority of Lot 2 DP 311542 except for a portion of the site in the northeastern corner. Figure 5 below shows the simplified catchment area. Runoff will be from all developed surfaces as per Table 4 except that the grass area is reduced by the area of (Lot 4 DP 317854 (2,486m<sup>2</sup>) + 2,300m<sup>2</sup> northeastern corner). The associated runoff is 262.3L/s.



**Figure 6: Open drain catchment**

The flowpath is grassed over much of its length will a small area of erosion damage where water has been concentrated against the boundary combined with trees shading grass growth.

#### Trapezoidal Channel

Modelling the flowpath as a trapezoidal channel with a base width of 0.3m, equal side walls of 1 in 2 and a channel slope of 11%. For the 10 yr. event the flow depth is 148mm, for the 100 yr. event this increase to 180mm. We recommend the drain be constructed with a minimum depth of 250mm which includes an allowance for build-up of silt/debris.

The associated 10 yr. event velocity is 3.0m/s. E1/VM1 Table 5 recommends 100–150mm rock armouring. From experience it is important that the armouring contains a selection of the larger 150mm rocks as the act as anchors for the smaller 100mm rock. Locally termed 'gabion stone' is generally <80mm and not suitable.

The width of rock armouring is  $0.3\text{m} + 2 \times 0.6\text{m} = 1.5\text{m}$ .

#### Broad Flowpath

The flowpath is up to 2m wide over much of its length with a near zero crossfall. Allowing a base width of 1.5m the 10 yr. flow depth reduces to 69mm and the velocity 2.3m/s.

#### Discussion

A flow the velocity 2.3m/s is just within the erosion capabilities of grass cover. We recommend that the flowpath be shaped to ensure a minimum 1.5m wide level base (zero crossfall) and grassed. Where this cannot be achieved apply 100-150mm rock armouring.

At the downstream end the flowpath opens onto flat ground where the velocity will naturally reduce. The rock armouring can terminate once the gradient reduces to 5% and the available base width exceeds 1.5m.

#### 4.5.4 Future Studio

Piping runoff from the future studio roof back to the northeastern flowpath is not practical, given the very low volume of 1L/s the roof down pipe(s) can simply discharge directly to the ground surface. If the discharge is onto a slope steeper than 5% then the outfall shall be onto an armoured apron comprising 100–150mm rocks. Apron width to be minimum 3 x pipe diameter by 0.5m long.

### 4.6 FNDC Assessment Criteria

The proposed stormwater management has been assessed against the Assessment Criteria in Section 11.3 of the Far North District Plan as follows:

Criterion	Assessment
(a) The extent to which building site coverage and impermeable surfaces result and the provisions of any catchment or drainage plan for that catchment.	The site is located adjacent the Kerikeri Inlet so the increase in impermeable surfaces will have negligible effect on the overall catchment impermeability.
(b) The extent to which Low Impact Design principles have been used to reduce site impermeability.	The development already has tanks to capture roof water for domestic supply, this will provide a degree of attenuation. All runoff including the tank over flow will be discharged to ground in a dispersive manner within the site.



(c) Any cumulative effects on total catchment impermeability.	The site is located adjacent the Kerikeri Inlet so there will be no cumulative effects on total catchment impermeability.
(d) The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.	Drainage patterns or absorption properties of the soil will not be altered by the new development.
(e) The physical qualities of the soil type.	The underlaying soil are described as well to moderately well drained Kerikeri friable clay and Kerikeri friable clay with large boulders.
(f) Any adverse effects on the life supporting capacity of soils.	There will be an increase in impermeable surfaces due to development but no adverse effects on the life supporting capacity of soils in the remaining undeveloped parts of the site.
(g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.	The location of the wastewater disposal trenches is known. Stormwater runoff will be discharged downslope well away from the disposal field.
(h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.	Impermeable surfaces are required for the proposed development.
(i) The extent to which landscaping may reduce adverse effects of run-off.	The stormwater system has been designed using runoff coefficients based on grass cover for undeveloped areas of the site. In all likelihood over time these areas will receive plantings and landscaping resulting in lower runoff.
(j) Any recognised standards promulgated by industry groups.	Stormwater design is to recognised engineering standards.
(k) The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.	Stormwater runoff is able to exceed that expected by the permitted activity due the sites location adjacent to the Kerikeri Inlet, meaning there are no downstream properties that can be affected.
(l) The extent to which the proposal has considered and provided for climate change.	We have adopted HIRDS V4 rainfall estimates adjusted with the RCP 6.0 climate change scenario projected out to the 2081-2100 time period.
(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.	Stormwater ponds are not proposed as they are not required for this site. Stormwater pipes and open drains and outfalls have been properly sized and armoured where required to mitigate any adverse effects.

## Appendix A – Drawings

### Lindholm Design Drawings

Proposed Extension top Existing Dwelling & New Boatshed at 55 Kingfisher Drive, Kerikeri. Ref. A00-A Rev. F

- Sheet: A00 OVERALL SITE & LOCATION PLAN
- Sheet: A00-A SITE with BOATSHED
- Sheet: A00-B SITE PLAN with LANDSCAPING OVERLAID

### Haigh Workman Ltd Drawings

Sketch plan dated 17/03/2025 showing stormwater controls





NORTHPOINT

SITE DESCRIPTION:

LOT 2 DP 311542 & LOT 4 317854

SITE AREA: 1.6836ha approx

GENERAL NOTES:

PLANNING ZONE: COASTAL LIVING ZONE

WIND ZONE: HIGH (to BRANZ MAPS)

EXPOSURE ZONE: D

CLADDING WEIGHT:HEAVY (Concrete block ground floor walls) typ

ROOF WEIGHT: HEAVY (concrete tile)

PLAN AREAS:

EXISTING HOUSE ROOF AREA:=513m2a approx

PROPOSED ROOF AREA: =5.3m2 approx

TOTAL ROOF AREA:

EXISTING HOUSE FLOOR AREA: =442m2 (from LIM)

PROPOSED WINE CELLAR/BASEMENT FLOOR AREA:

Note: Non-habitable space - storage only

DISTRICT PLAN COMPLIANCE: PERMITTED ACTIVITIES  
in COASTAL LIVING ZONE

VISUAL AMENITY:

New Building area: alteration/addition to existing dwelling built after 28 April 2000  
= RESOURCE CONSENT REQUIRED

RESIDENTIAL INTENSITY: 1 unit/4ha = COMPLIES

BUILDING HEIGHT:

Permitted: = 8m max

Proposed: = 6m max approx from extg GL & below extg roof

apex = COMPLIES

SUNLIGHT:

= COMPLIES

STORMWATER MANAGEMENT: (Impermeable surfaces & Building coverage)

Proposed: Total cover >600m2 = RC Required

SETBACKS to BOUNDARIES:

Permitted: =10m min

Proposed Extension: >10m & within existing building footprint = complies

Proposed Boatshed: <10m (6m proposed setback) = RC required

EARTHWORKS VOLUME:

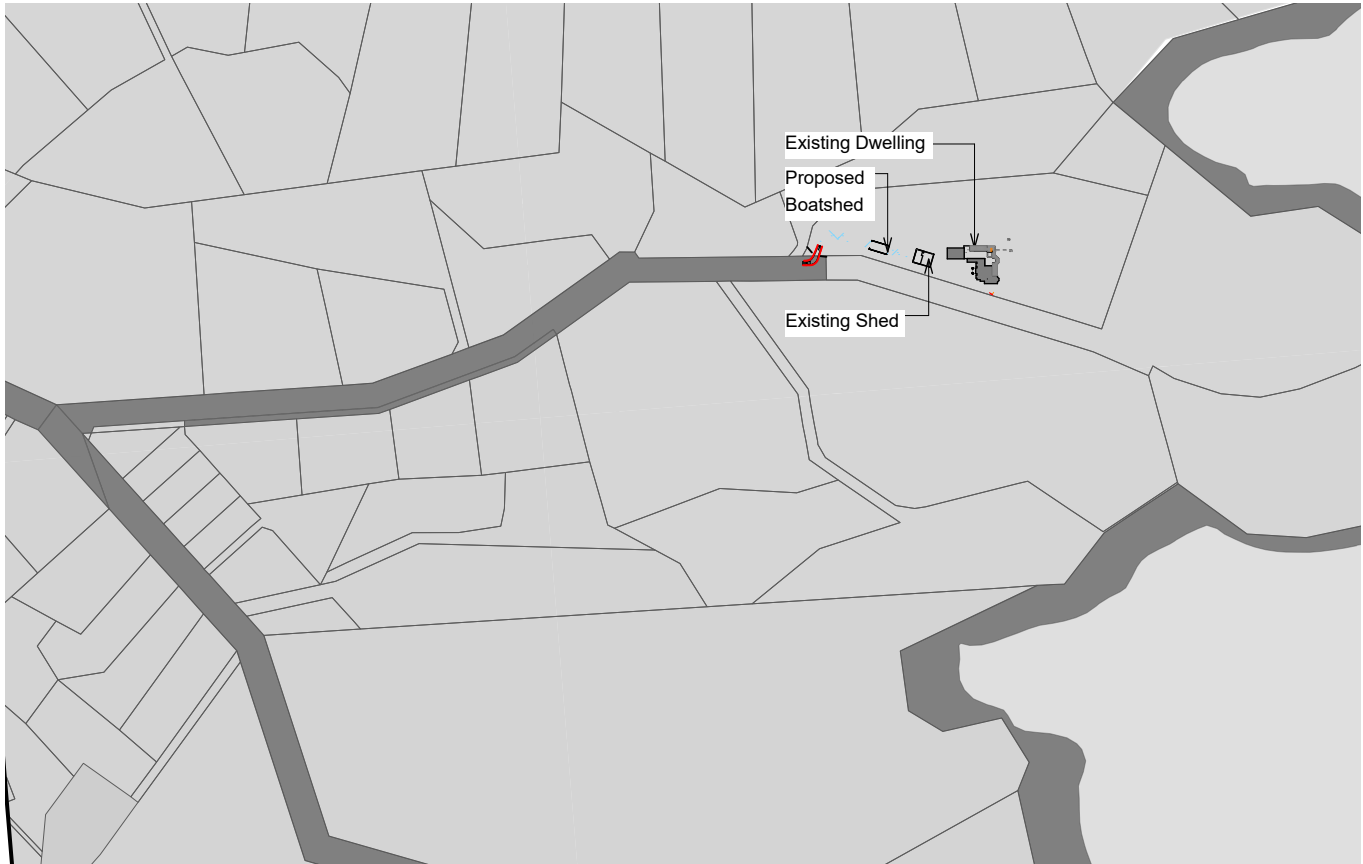
Total Permitted: =300m3 max in any 12month period

Total Proposed: = TBC

CUT/FILL FACE: = ≤1.5m max permitted = COMPLIES

SETBACK FROM COASTAL MARINE AREA: 30m min = COMPLIES

FIRE RISK TO RESIDENTIAL UNITS: >20m setback to scrub/bush lot = COMPLIES



1 Location Plan 1:5000



2 Overall Site plan - ALL 750 1:750

NOTES:

1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.

2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically

3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304

4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps

5) All Extg structures are shown indicative only

6) All Services locations and connections shown indicative only.

7) Contractor to confirm all existing services runs on site prior to commencing construction

8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1

9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABULTS to Builder for LA where applicable

10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only

11) Aerial from FNDC maps - indicative only



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Karin Lindholm Andreassen  
LBP: Design 2: 107526



PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A00 OVERALL SITE & LOCATION PLAN

SCALE: (A2) 1:5000, 1:750

H	20/03/2025
REVISION	DATE
CONCEPT -FOR INFORMATION	



NOTES:

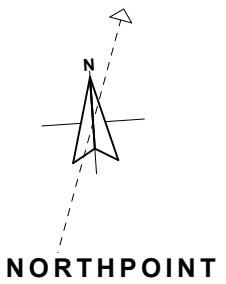
- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps as noted. Refer to survey by Williams and King for surveyed contours as noted.
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABULTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only

REFER TO LANDSCAPE PLAN BY "HAWTHORN LANDSCAPE ARCHITECTS" for landscaping and garden retaining/steps and pathways low timber and rock (landscaping) walls <1.5m without surcharge - shown indicative only.  
Overlay for information only from "HAWTHORN LANDSCAPE ARCHITECTS" concept plans

ALL LANDSCAPING and associated structures shown indicative only - CONCEPT DRAFT ONLY - NOT APPROVED /FOR INFORMATION ONLY.

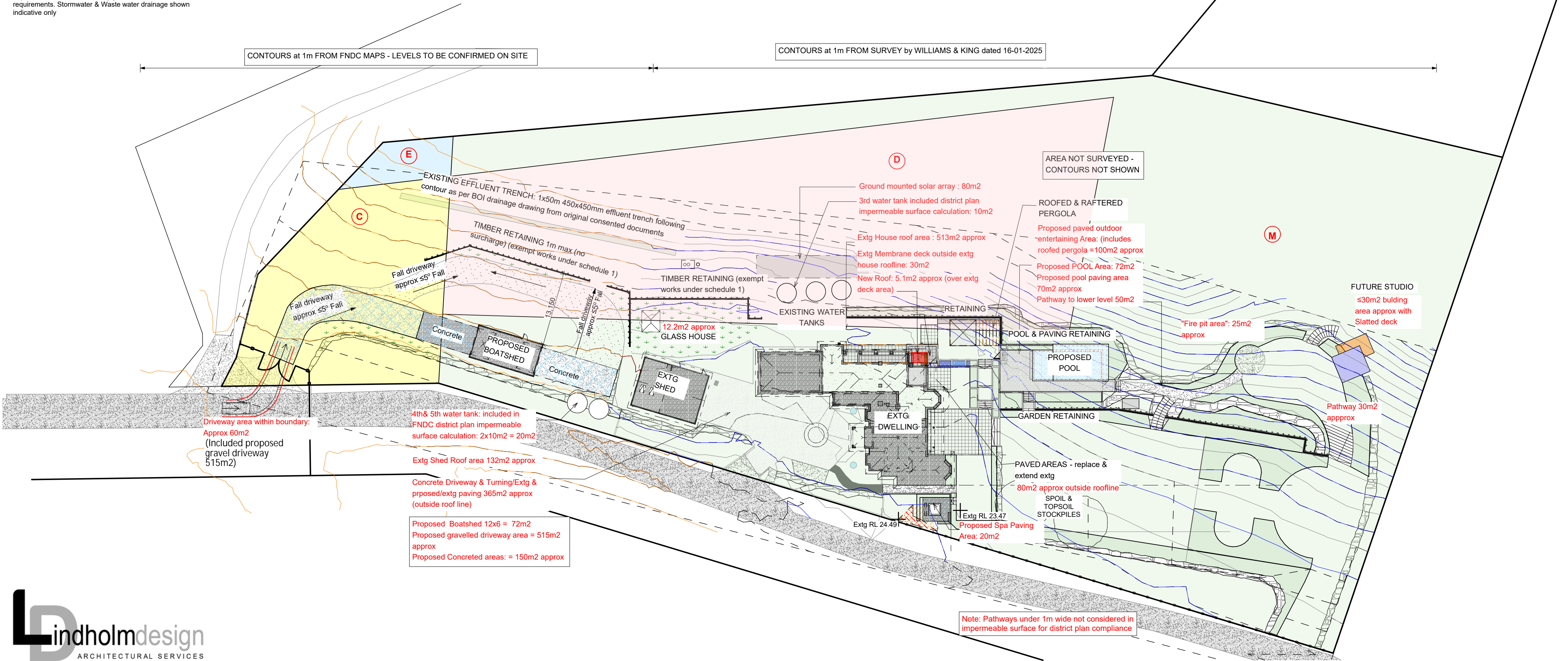
NOT FOR CONSTRUCTION until approved by owner and consented by FNDC for aspect requiring building consent

REFER TO TITLE DOCUMENTS FOR RESTRICTIVE COVENANTS ON AREAS M,C,D & E



CONTOURS at 1m FROM FNDC MAPS - LEVELS TO BE CONFIRMED ON SITE

CONTOURS at 1m FROM SURVEY by WILLIAMS & KING dated 16-01-2025



**Lindholm design**  
ARCHITECTURAL SERVICES

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Karin Lindholm Andreassen  
LBP: Design 2: 107526

**ADNZ**  
Artistic Impression Only  
ARCHITECTURAL DESIGNERS NZ

PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A00-A OVERALL SITE WITH IMPERMEABLE COVER

SCALE: (A2) 1:500

H	20/03/2025
REVISION	DATE
CONCEPT -FOR INFORMATION	



# NOTES:

- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps as noted. Refer to survey by Williams and King for surveyed contours as noted.
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- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only

REFER TO LANDSCAPE PLAN BY "HAWTHORN LANDSCAPE ARCHITECTS" for landscaping and garden retaining/steps and pathways low timber and rock (landscaping) walls <1.5m without surcharge - shown indicative only.  
Overlay for information only from "HAWTHORN LANDSCAPE ARCHITECTS" concept plans

ALL LANDSCAPING and associated structures shown indicative only - CONCEPT DRAFT ONLY - NOT APPROVED FOR INFORMATION ONLY.

NOT FOR CONSTRUCTION until approved by owner and consented by FNDC for aspect requiring building consent

Existing flow path visible from LIDAR contours

Grass lined flowpath minimum 1.5m wide

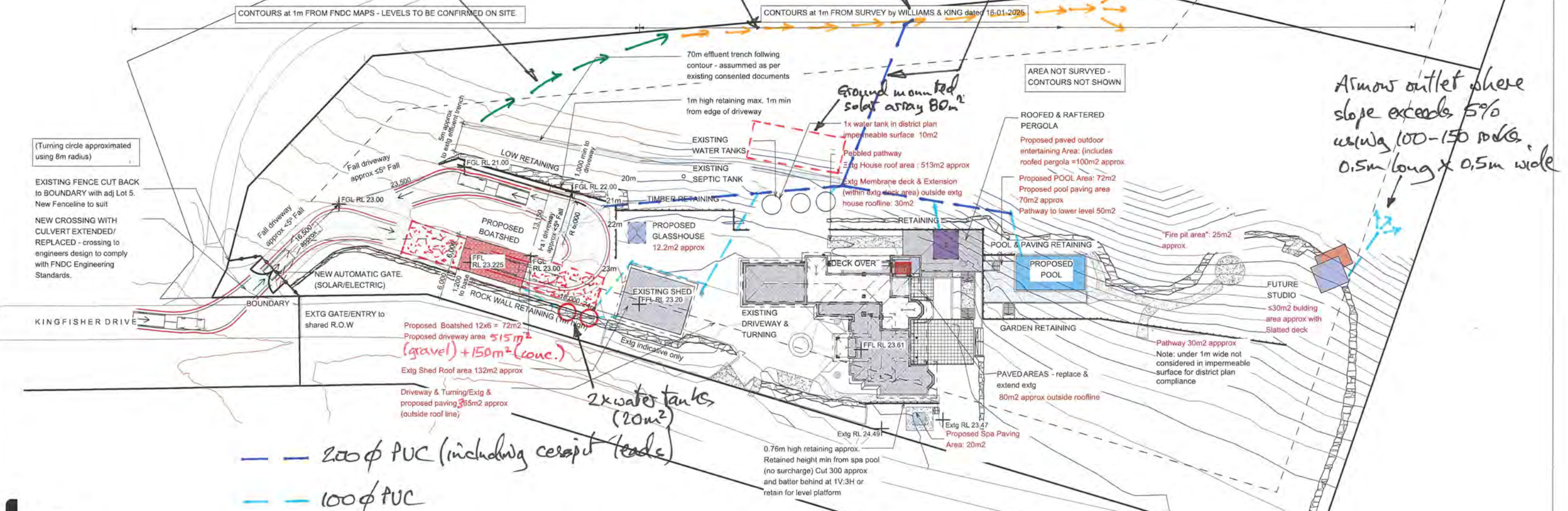
Grouted rocks at pipe outlet min. 2.0m

Trench backfill on steep slopes to be compacted in layers and mounded to avoid water tracking down line of pipe.

Flowpath terminates once ground flattens out to 5%

Armour outlet where slope exceeds 5% using 100-150 rocks, 0.5m long x 0.5m wide

NORTHPOINT



**Lindholm design**  
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Karin Lindholm Andreassen  
LBP: Design 2: 107526

**ADNZ**  
Artistic Impression Only  
ARCHITECTURAL DESIGNERS NZ

PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A00-A SITE with BOATSHED

SCALE: (A2) 1:500

Drawn: T. Adcock  
Date: 17/03/25  
Job: 25 023

**HAIGH WORKMAN**  
PO Box 89  
Kerikeri N.Z. 0245  
Ph 09 - 407 8327

F - WIP	10/02/2025
REVISION	DATE
CONCEPT	



## Appendix B – Calculations



## Channel Calculation Sheet

Client : [Ian and Vicki Smith](#)  
Location : [55 Kingfisher Drive, Kerikeri](#)

Date : [17-Mar-25](#)  
Job No.: [25 023](#)

**Discharge:** from 10yr stormwater calculation  
**For 10yr. ARI,**

Q = 0.263 m<sup>3</sup>/s discharge

### Channel Properties:

channel depth = 0.55 m  
n = 0.0225 Manning's coefficient  
S = 0.1100 slope 1 in 500 hydraulic grade  
b = 0.3 m bottom width  
water depth = **0.148** m depth  
z<sub>1</sub> = 2 m side slope x 1  
freeboard = 402 mm  
Shape : 2 trapezoid with equal sides

A =	0.088 m <sup>2</sup>	area	
P =	0.961 m	wetted perimeter	
R =	0.092 m	hydraulic radius	= A / P
T =	0.891 m	top width	
D =	0.099 m	hydraulic depth	= A / T
V =	<b>2.996</b> m/s	velocity	= R <sup>2/3</sup> S <sup>1/2</sup> / n
VD =	0.296 < <b>0.4</b>	<b>OK</b>	(FNDC 4.3.2.4)
Q <sub>cap</sub> =	0.264 m <sup>3</sup> /s	discharge capacity	= VA

## Channel Calculation Sheet

Client : [Ian and Vicki Smith](#)  
Location : [55 Kingfisher Drive, Kerikeri](#)

Date : [17-Mar-25](#)  
Job No.: [25 023](#)

**Discharge:** from 10yr stormwater calculation  
**For 10yr. ARI,**

Q = 0.263 m<sup>3</sup>/s discharge

### Channel Properties:

channel depth = 0.55 m  
n = 0.0225 Manning's coefficient  
S = 0.1100 slope 1 in 500 hydraulic grade  
b = 1.5 m bottom width  
water depth = **0.069** m depth  
z<sub>1</sub> = 2 m side slope x 1  
freeboard = 481 mm  
Shape : 2 trapezoid with equal sides

A =	0.113 m <sup>2</sup>	area	
P =	1.809 m	wetted perimeter	
R =	0.063 m	hydraulic radius	= A / P
T =	1.776 m	top width	
D =	0.064 m	hydraulic depth	= A / T
V =	<b>2.324</b> m/s	velocity	= R <sup>2/3</sup> S <sup>1/2</sup> / n
VD =	0.148 < <b>0.4</b>	<b>OK</b>	(FNDC 4.3.2.4)
Q <sub>cap</sub> =	0.263 m <sup>3</sup> /s	discharge capacity	= VA

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www.haighworks.co.nz  
info@haighworks.co.nz

Stormwater Calculation Sheet

Client	Ian & Vicki Smith	Date	11-Mar-25
Location	55 Kingfisher Drive	Job No.	25 023

Intensity (10 yr.)	121 mm/hr	$Q_c = C I A_c / 360$	$A_p = Q_c / v$
Storm Duration	10 minutes		
Return Period	10 years		
Run Off Co-efficient (C)	Grass/Planting Road Roof	$v = R^{2/3} S^{1/2} n^{-1}$ (Heavy Clay)  $R = A_p / P$	$Q = A v$

Area	Grass (m2	Flow (l/s)	Road (m2)	Flow (l/s)	Roof (m2)	Flow (l/s)	Total Area	Total Flow
Western end piped outfall								65.7

note: n=0.013 for concrete, n=0.011 for pvc (from clause E1), plastic corrugated pipe n=0.022 to 0.025

Pipe Design													
Flows From	Material	Diameter	IL Entry	IL Exit	Length	Slope (m/m)	Mannings n	R	v (m/s)	Outlet flow (Q <sub>out</sub> ) (m <sup>3</sup> /s)	Flow entering (Q <sub>in</sub> ) (l/s)	Pipe Capacity (Q <sub>out</sub> ) (l/s)	Check capacity
Pipeline steep	PVC	0.150	19.00	10.00	24.50	0.367	0.011	0.038	6.2	0.109	65.7	109.1	OK
Pipeline gentle	PVC	0.175	19.00	16.00	13.00	0.231	0.022	0.044	2.7	0.065	65.7	65.2	REVISE
Pipeline steep	PVC	0.150	19.00	15.00	9.30	0.430	0.011	0.038	6.7	0.118	65.7	118.0	OK



## Appendix C – Photographs



Northeast boundary flowpath – good grass cover







Northeast boundary flowpath



Northeast boundary flowpath – grass cover to be reinstated





Northeast boundary flowpath – grass cover to be reinstated

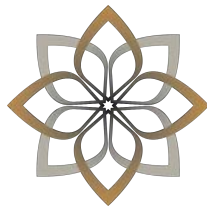


Northeast boundary flowpath – good grass cover





Northeast boundary flowpath – outfall to low lying area



# HAWTHORN

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## Landscape Architects

31<sup>st</sup> March 2025

Andrew McPhee  
Bay of Islands Planning  
Kerikeri

Dear Andrew

Re: I & V Smith – Proposed Boat Shed, House Renovations & Pool - 55 Kingfisher Drive, Kerikeri

### INTRODUCTION

Hawthorn Landscape Architects Ltd (HLA) has been engaged by clients Ian & Vicki Smith to assist with their application for a proposed boat shed, small house renovations, new swimming pool, entertaining areas and associated retaining walls, earthworks and landscaping as illustrated in Figure 1 - Site Plan.

This report will address the visual amenity aspects of the proposed development that is located within the Coastal Living zone and within the Coastal Environment.

An assessment of the proposal under the Visual Amenity rules within the Operative Far North District Plan and Northland Regional Policy Statement has been undertaken. A Visual Amenity Landscape Plan has also been prepared which illustrates the landscaping proposed to minimise any potential adverse landscape and visual effects,

The current site conditions are illustrated in the attached Site Photographs.

### PROPOSAL

The proposal includes the following:

#### Boat Shed area

- A 12m long by 6m wide (72m<sup>2</sup>) boat shed which will be 4.950m at its highest point. The proposed shed will be located to the west of the existing house and shed. The roof will be Colorsteel in a dark grey colour, while the exterior cladding will be Handiply timber with a natural tan stain. Refer to Figure 2 – Boat Shed Plans
- A new driveway to access the boatshed will extend off the end of Kingfisher Drive, with associated gravel driveway (515m<sup>2</sup>) and concreted driveway for turning and boat wash down (150m<sup>2</sup>).
- A timber retaining wall no taller than 1m will be located to the north and used to retain fill on the lower side of the shed, while a landscaped rock wall will be laid back on the cut batter to the south of the shed. Two new water tanks will be located close to the existing shed.
- Landscape integration plantings are proposed around the shed site, driveway and retaining walls and water tanks. These will mitigate any potential adverse visual effects upon surrounding landowners. Refer to the attached Visual Amenity Landscape Plan.



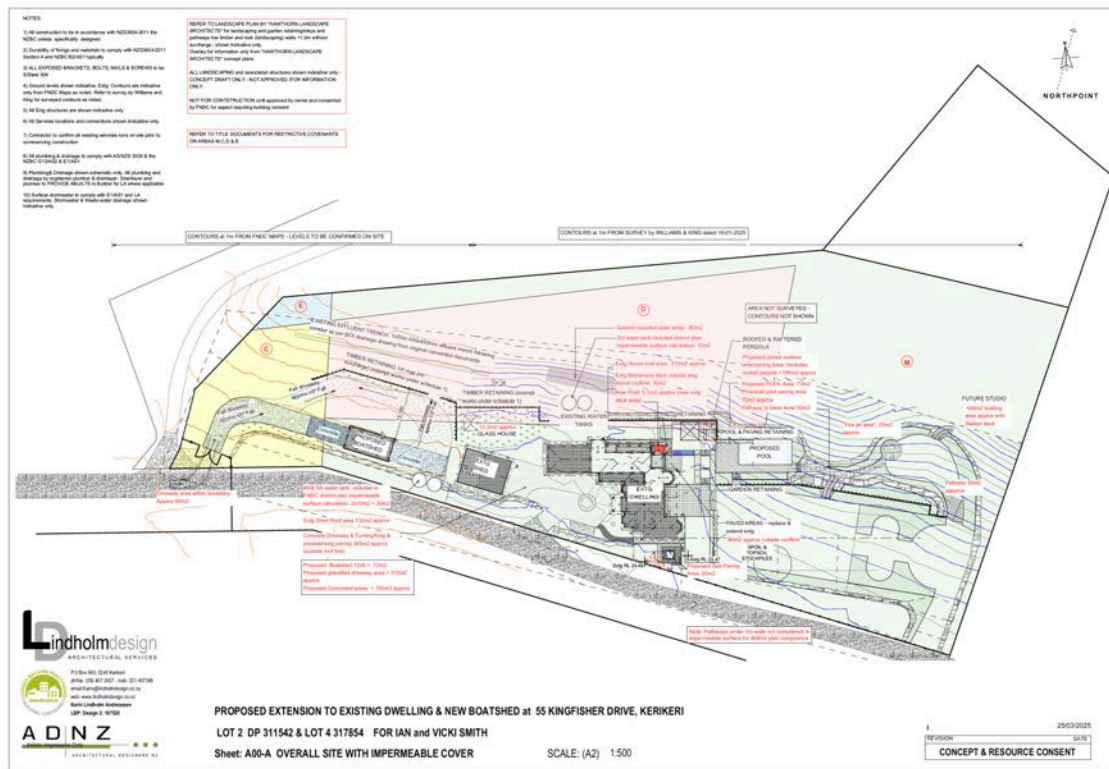


Figure 1: Site Plan

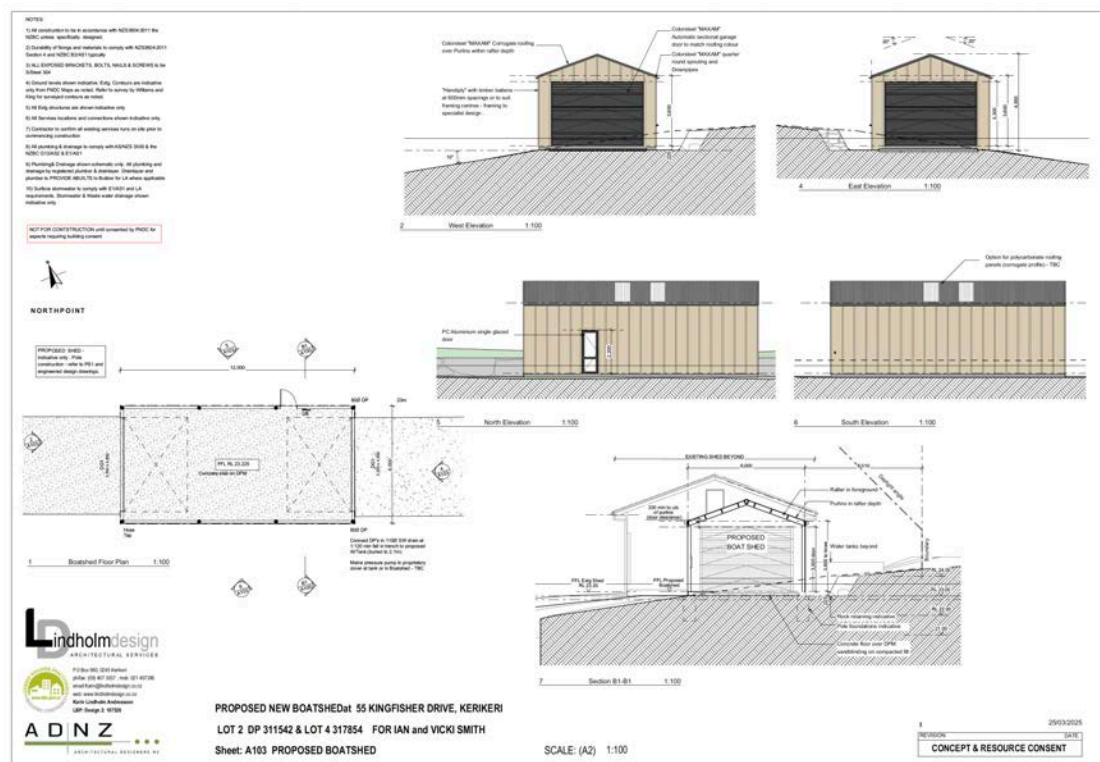
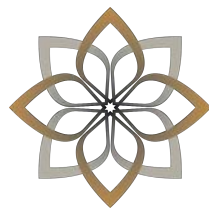


Figure 2 – Boat Shed Plans

## House Renovations



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- The existing house has recently been repainted from its original peach/pink colour to an off-white colour.
- A new wine cellar is proposed in a basement area below the existing dwelling as shown on the elevations in Figure 3. Refer to the full architectural design package prepared by Lindholm Design.

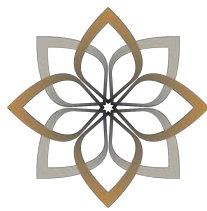


Figure 3: Elevation view of wine cellar

### Outdoor Entertaining Area, Swimming Pool & Landscaping

- A paved outdoor entertaining area is proposed to the north of the wine cellar. This area will include a patio area, outdoor fireplace, pergola and gazebo with roof over the top (approx. 100m<sup>2</sup>). To create a level building platform for this area a timber retaining wall will be constructed as indicatively shown in Figure 3. This retaining wall will be up to 3m tall at its highest point and will have a plastered and glass fence along the top for safety. The underside of the retaining wall will be landscaped so that the timber wall is screened from neighbouring properties to the north.
- A swimming pool of approximately 72m<sup>2</sup> will be located close to the entertaining area at a lower contour level. Steps will connect the two areas. There will be a paved area by the pool of approximately 70m<sup>2</sup>.
- A level lawn area will be created off the main patio along the eastern side of the house, this will be formed by the construction of a timber retaining wall through the middle of the site. To soften the view of the timber retaining wall rock terraces will be formed and landscaped with plantings as indicatively shown on the Visual Amenity Landscape Plan. At a future date a lower terrace may be formed for a fire pit area and the possibility of an art studio in this area. Refer to the attached Visual Amenity Landscape Plan.

### STATUTORY CONTEXT



In this section I will address the statutory planning documents that contain objectives, policies and assessment criteria that have relevance to this application.

### Far North District Plan (FNDP)

Within the Far North District Plan (FNDP) the application site is located within the Coastal Living Zone. The site has no Outstanding Landscape, Outstanding Landscape Features or Natural Features identified on it.

The objectives and policies of the Coastal Living Zone in the Operative District Plan are relevant to this proposal.

### Chapter 10.7 Coastal Living Zone

#### 10.7.3 Objectives

##### 10.7.3.1

To provide for the well-being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.

##### 10.7.3.2

To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.

#### 10.7.4 Policies

##### 10.7.4.1

That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.

##### 10.7.4.2

That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.

##### 10.7.4.3

Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:

(a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;

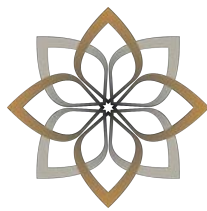
(b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;

(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;

#### Comment:

The proposal is located on a property that already accommodates a residential dwelling and associated activities. It is located off Kingfisher Drive within the Skudders Beach area which is characterised by residential living overlooking the Kerikeri Inlet. The Kingfisher Drive, and neighbouring Blue Penguin Drive areas have more of a rural lifestyle feel due to their inland location, and physical separation from the water's edge.





As the application site is located within an area utilised for large lot residential living, and as it contains existing built form, the addition of the proposed boat shed, small scale renovations to the dwelling and associated retaining walls, pool and landscaping will be in keeping with the existing character of this locality.

The proposed development is of an appropriate size for the application site, and in keeping with the settlement pattern found in this area. It will not result in any indigenous vegetation removal or adverse effects upon the nearby High Natural Character values associated with the mangroves lining the Rangitane River and within the Kerikeri Inlet.

The proposal will result in a level of development that is appropriate for this site and locality. The recessively coloured and appropriately sized built forms and proposed landscape plantings will result in less than minor adverse effects upon the natural character values of the coastal environment.

### 10.6.5.3.1 Visual Amenity Rule

#### *i. The location of the building;*

The proposed boat shed itself is located to the west of the existing shed and dwelling, which screen it from views to the east, and distant views from the Kerikeri Inlet. The renovations to the dwelling are located on the lower basement on the northeastern side. They will not be readily visible. The pool will be located to the southeast of the existing dwelling. Associated retaining walls will be located within garden areas.

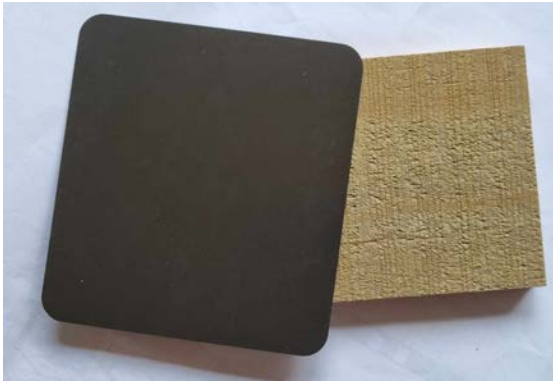
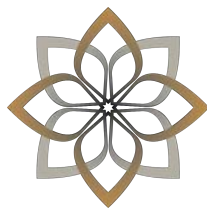
#### *ii. The size, bulk and height of the building in relation to ridgelines and natural features;*

The proposed boat shed, swimming pool, retaining walls and the renovation to the dwelling are all in keeping with the height and scale of the existing structures on site, and on other surrounding properties. The proposal has a lifestyle lot residential character to it, similar to the other properties within this area.

The boat shed will not be visible upon a ridgeline and it is not located adjacent to any sensitive natural features.

#### *iii. The colour and reflectivity of the building;*

The proposed boat shed will have a dark grey roof, and cedar coloured timber exterior as shown in Figure 2. The colour swatch below represents to the colour tones that will be used. This will result in a visually recessive building. The proposed renovations will be coloured the same as the existing dwelling.



iv. *The extent to which planting can mitigate visual effects;*

The existing Manuka vegetation to the northeast of the existing dwelling screens views back towards the site from the Rangitane River. The Kerikeri Inlet is located further away, and the views from that are rather distant with other intervening properties and vegetation. The physical separation from these water bodies results in the proposed development having no adverse effect upon the coastal environment or natural character values of these areas.

The existing Olive hedge along the southern boundary screens most of the existing house and existing shed from immediate views along the private right of way. It is proposed to extend the screen of vegetation along the southern boundary to the west and east as shown on the landscape plan. This will screen the boat shed and pool area from view from the right of way driveway and land to the south.

Specimen Olive trees and other plantings will soften the view towards the boat shed from the end of Kingfisher Drive and the private driveway to the west. It is noted that the neighbours to the west currently look at the existing shed and house which are in full view with no intervening trees.

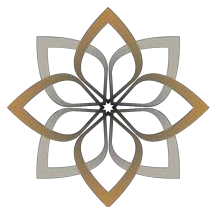
It is also proposed to plant fruit trees to the north of the shed, and a hedge along the edge of the low retaining wall. These will assist with partially screening the shed and driveway/turning circle from the view to the north and west. This will fully visually mitigate any potential adverse visual effects for the immediate neighbours to the west and in the gully to the north and beyond.

The small renovations to the house, and the outdoor entertaining area, swimming pool and retaining walls set within the gardens will all be landscaped and integrated into the surroundings as shown on the Visual Amenity Landscape Plan. This will mitigate any potential adverse landscape and visual effects of the development to a less than minor level.

v. *Any earthworks and or vegetation clearance associated with the building;*

There is no vegetation clearance associated with the development. The architectural plan provides the full details of the earthworks associated with the boat shed, driveway, swimming pool and landscaped areas.

The boat shed building platform will require a cut batter on the southern side of the boat shed. This will be lined/retained with rocks and landscaped. On the lower side of the shed (to the north) a retaining wall no greater than 1m in height will retain an area of fill that



will accommodate the driveway turning circle. The earthworks associated with this will be re-grassed and fruit trees planted. A hedge will be placed on top of the retaining wall to partially screen the driveway and shed from the north.

The earthworks associated with the outdoor entertaining area will include the use of a timber retaining wall to retain fill to create a level building platform. This will be screened from view to the north by landscaping.

The swimming pool area will result in an area of cut and fill also, with the swimming pool having a horizon edge and the pool extending 1.2m above the surrounding ground level along the horizon edge. The lower side of the horizon edge will be landscaped to blend the pool into the surrounds.

A timber retaining wall will extend through the centre of the site from the eastern side of the house towards the eastern boundary. This will enable the creation of a flat lawn area off the house patio. The use of free form rock retaining walls on the upper and lower sides will retain cut and fill as needed to create terraced areas. These will also be landscaped so that the retaining structures are softened and integrated into the landscape.

The proposed landscaping will mitigate any potential adverse landscape, visual and natural character effects to a less than minor level. This will protect the visual amenity values of the area for surrounding neighbours and from further afield within the Coastal Environment.

- vi. *The location and design of associated vehicle access, manoeuvring and parking areas;*

The existing dwelling and shed is accessed off the existing driveway.

The current access into the paddock where the boat shed will be located will be moved further to the west. The new proposed driveway to the boat shed will be off the end of Kingfisher Drive, where the legal road abuts the application site. It is noted that currently the neighbouring gravel driveway to the west of the site extends over the corner of the applicant's property. This whole area will be gravel and can still be utilised by the neighbour to access their property.

There will be a turning circle driveway that goes through one end of the boat shed and out the other, as shown on the plans.

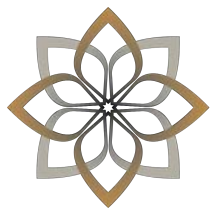
- vii. *The extent to which the building and any associated overhead utility lines will be visually obtrusive*

The utility services will all be laid underground. The new built structures will not be visually obtrusive as they are of a size and height that can be readily absorbed into the landscape.

- viii. *The cumulative visual effects of all the buildings on the site;*

The proposed renovations to the dwelling will not be readily visible. The view of the house and existing shed will basically remain as is. The covered outdoor entertaining area will result in a small roofed gazebo structure next to the house, and the pool and retaining walls will be located within landscaped grounds. This will blend everything into the landscape so that there will be no adverse cumulative visual effects of these proposed structures.





The main change to the site will be the addition of the 72m<sup>2</sup> boat shed, located to the west of the existing shed. This shed will be screened from view from most of the surrounding vantage points. The house and existing shed themselves screen the boat shed from view to the north. The main areas where the shed can be viewed from are to the west and north.

From the west the proposed boat shed will be viewed in line with the existing shed, being in line with this will visually connect it with the existing node of built structures. It will not be viewed out on its own, and it will not interfere with the views from the house to the west. When viewed from the north the proposed landscape plantings will visually screen and soften the proposed boat shed and integrate it into the landscape. This diminishes any potential adverse cumulative visual effects of the boat shed to a less than minor level.

- ix. *The degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;*

The proposed boat shed, pool and outdoor entertaining area, retaining walls and landscaping are all located on an existing dwelling site within a residential area. The proposal is of a size, height, design and colour that is appropriate for this locality.

The proposal is in keeping with the current settlement pattern and character of the area and will not diminish the qualities that give this landscape its naturalness, visual and amenity values.

The proposal is well removed from the foreshore and not readily visible from the water. It is set within a vegetated landscape that contains other residential development. The proposal has been designed so that it will generate less than minor adverse visual and landscape effects upon the natural character values of the coastal environment.

- x. *The extent to which private open space can be provided for future users;*

The property is of a large enough size that results in ample private open space being provided for the owners.

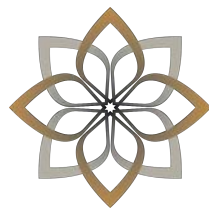
- xi. *The extent to which siting, setback and design of buildings avoid visual dominance on landscapes, adjacent sites and the surrounding environment;*

The proposed boat shed will not be located on a ridgeline so won't visually dominate the landscape. The proposed boat shed is smaller than the existing shed and house. It is recessively coloured. The proposed entertaining area, pool and associated retaining walls will all be integrated into the landscape through the implementation of landscape plantings.

The proposal has considered and complies with the height restrictions on the site that are detailed within the consent notices on the title (as detailed on the Visual Amenity Landscape Plan).

The site has the ability to integrate the buildings into the landscape to avoid any visual dominance on the immediate and surrounding environment.

- xii. *The extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent site.*



The proposed boat shed, small renovations to the house, entertaining and pool areas are located where they will not adversely affect the privacy or outlook of the neighbouring properties. The neighbours will be able to continue to enjoy their private open space areas.

### Regional Policy Statement for Northland

The application site is located within the Coastal Environment as shown in Figure 4. There are no Outstanding Natural Landscapes or Natural Features, or Outstanding Natural Character or High Natural Character areas identified on the site.

The closest area of High Natural Character is the Kerikeri Inlet catchment, which is located to the east of the site and described as Rangitane Estuary mangroves with limited saltmarsh & freshwater wetland (raupo with flax, pampus, gorse) in upper reaches. The contributing values are indigenous vegetation without pest plants (mangroves). Sequence of mangroves, saltmarsh and freshwater wetland. This area is illustrated in Figure 4 below, and the proposed development will not adversely affect this area of High Natural Character.

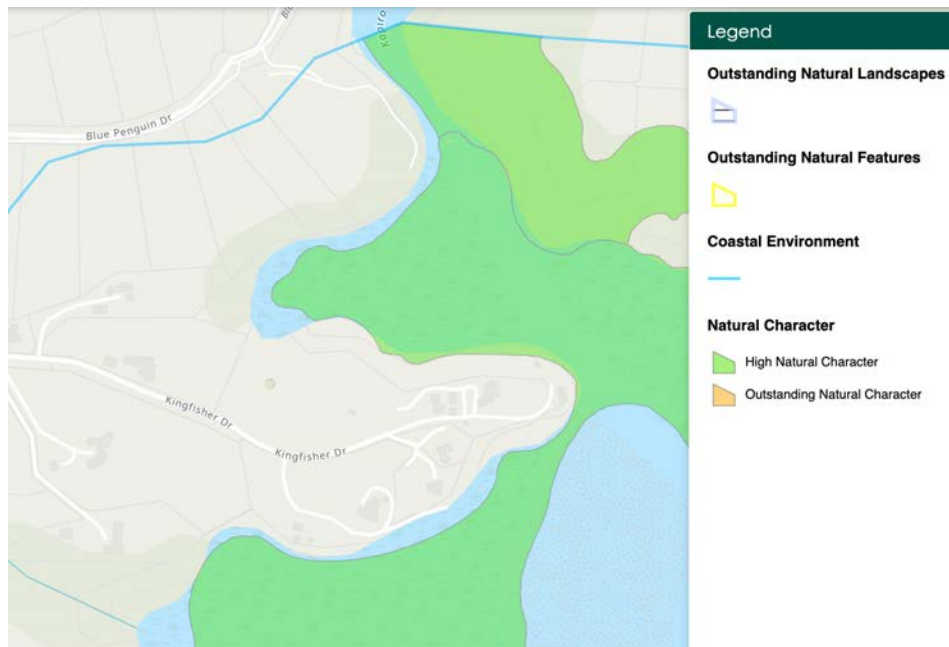


Figure 4: Site location within the Coastal Environment

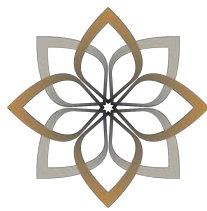
The following objective and policy within the Regional Policy Statement for Northland has landscape relevance.

**Objective 3.14 Natural Character, outstanding natural features, outstanding natural landscapes and historic heritage.** Identify and protect the integrity of;

- (a) The natural character of the coastal environment, and the natural character of freshwater bodies and their margins;

**Policy 4.6.1 Managing effects on natural character, features/landscape and heritage in the coastal environment:**

- b) Where (a) does not apply, avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of subdivision, use and development on natural character, natural features and natural landscapes. Methods which may achieve this include:



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- (i) Ensuring the location, intensity, scale and form of subdivision and built development is appropriate having regard to natural elements, landforms and processes, including vegetation patterns, ridgelines, headlands, peninsulas, dune systems, reefs and freshwater bodies and their margins; and
- (iii) Encouraging any new subdivision and built development to consolidate within and around existing settlements or where natural character and landscape has already been compromised.

### Comment:

The site has not been identified as being part of an Outstanding Natural Landscape or having any Natural Features or High or Outstanding Natural Character values.

The applicant's property is somewhat removed from the coastal edge of Kerikeri Inlet, and the water's edge of the Rangitane River. It is set back on a more rural looking landscape that has been utilised for residential lifestyle lots. This has diminished the natural character values of the site and surrounding residential properties, which are located within the Coastal Environment.

The earthworks on the site will all be within the grassed paddock areas. These will either be retained or revegetated. The proposal will not result in any indigenous vegetation clearance so will not affect the current vegetation patterns of the surrounding landscape or nearby High Natural Character area.

The proposal is assessed as being of an appropriate scale and form within an area that can accommodate the change without any detriment to natural elements, landforms, processes and patterns.

Overall, the development is in accord with the relevant landscape objectives and policies of the NRPS.

### SUMMARY

The proposed development has been assessed as an appropriate and reasonable use of the application site within this coastal environment and this locality.

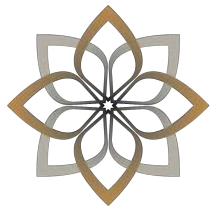
There will be no indigenous vegetation clearance and the proposed earthworks and retaining walls will be assimilated into the landscape and screened with landscape plantings.

The proposed boat shed is an acceptable size, design, height and colour for its location on this site and within this coastal environment. The boat shed and other proposed structures will be visually absorbed into the landscape setting without generating any adverse landscape or visual effects.

With the implementation of the landscape integration plantings this is a development that is consistent with the relevant assessment criteria, objectives and policies found within the FNDP and NRPS. The development is sensitive to the environment it is located within so that the potential adverse visual amenity and natural character effects are less than minor.

Yours sincerely





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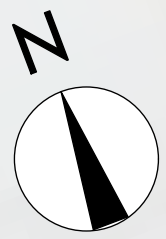
Christine Hawthorn  
BLA (Hons.)

Hawthorn Landscape Architects Ltd.

Attachments:

Visual Amenity Landscape Plan  
Site Photographs





Existing Manuka trees  
screen view of the house and pool from  
Rangitane River

Existing vegetation along northern  
boundary

Proposed plantings to soften view of  
pool and entertaining retaining walls  
(eg: Phormium, Pseudopanax, Hebe,  
Corokia)

Proposed plantings to  
soften view of retaining  
wall

Proposed pool

Proposed Entertaining Patio

vegetable garden

Proposed plantings  
along eastern  
boundary to provide  
privacy

Existing Olive hedge

Existing access to house

Private Road

Existing Olive trees

Proposed screen plantings along southern  
boundary  
(eg: Michelia, Camellia, Pseudopanax,  
Magnolia, Pittosporum, Pyrus, Rhododendron)  
All plants to be maintained so they grow no  
taller than 30.10m above mean sea level



24.03.2025

Visual Amenity Landscape Plan

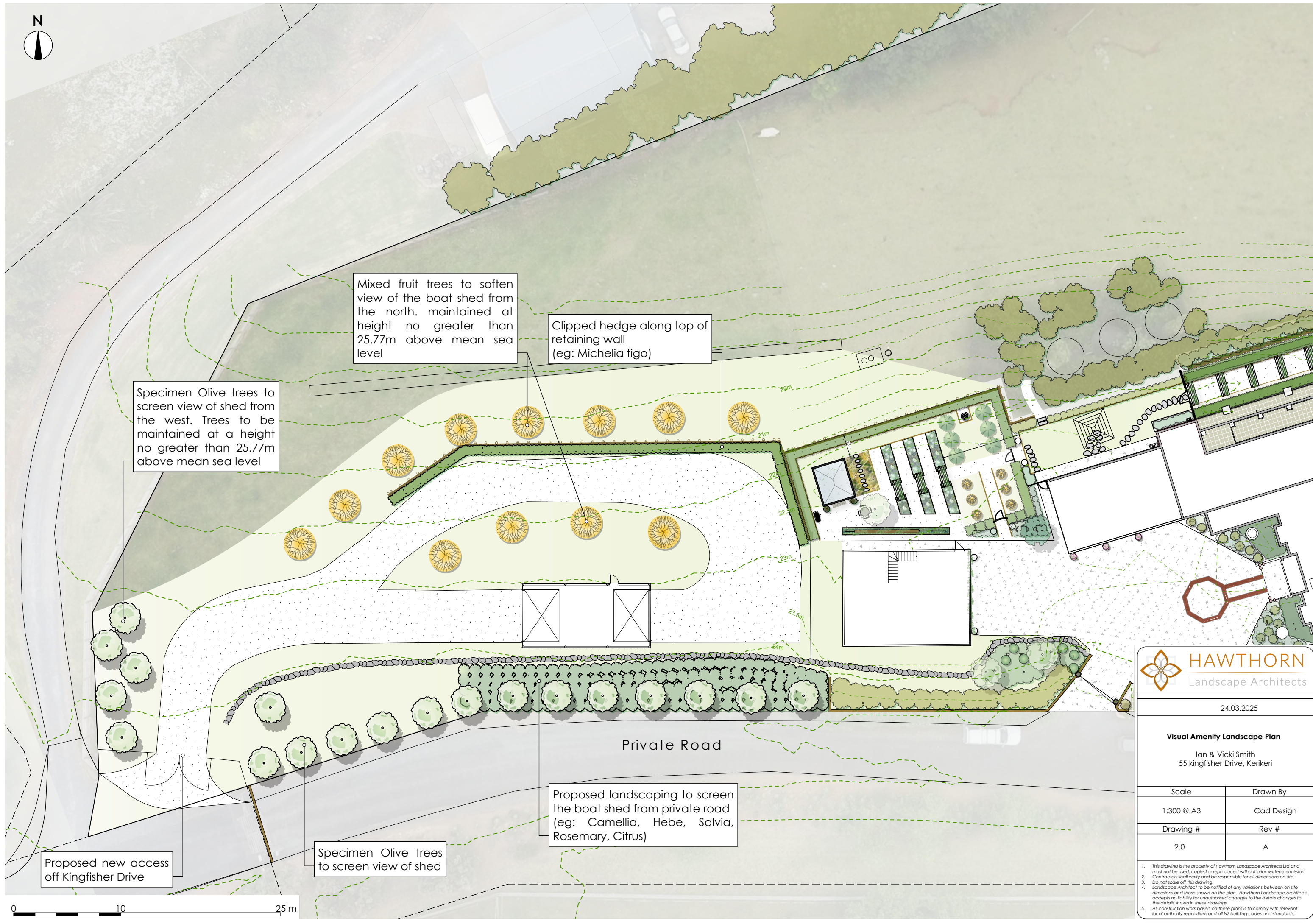
Ian & Vicki Smith  
55 kingfisher Drive, Kerikeri

Scale	Drawn By
1:200 @ A1	Cad Design
Drawing #	Rev #
1.0	A

1. This drawing is the property of Hawthorn Landscape Architects Ltd and must not be used, copied or reproduced without prior written permission.
2. Contractors shall verify and be responsible for all dimensions on site.
3. Do not scale off this drawing.
4. Landscape Architect to be notified of any variations between on site dimensions and those shown on the plan. Hawthorn Landscape Architects accepts no liability for unauthorised changes to the details changes to the details shown in these drawings.
5. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

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24.03.2025

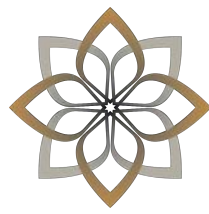
**Visual Amenity Landscape Plan**

Ian & Vicki Smith  
55 Kingfisher Drive, Kerikeri

Scale	Drawn By
1:300 @ A3	Cad Design
Drawing #	Rev #
2.0	A

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4. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.





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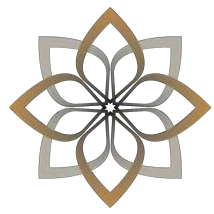
### 55 Kingfisher Drive - Site Photographs



Photo 1 – View from the eastern boundary looking west at the existing dwelling and its setting. The proposed boat shed will be located behind the house.



Photo 2 – View from the house, looking at where the pool will be located, with the right of way just the other side of the fence. This boundary will be landscaped with a hedge to provide privacy and screen the view of the pool.



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Photo 3 – View of the basement area where the renovations will be located. The view looking east shows the small area of water view on the Kerikeri Inlet, and the area of Manuka in the north-eastern boundary.

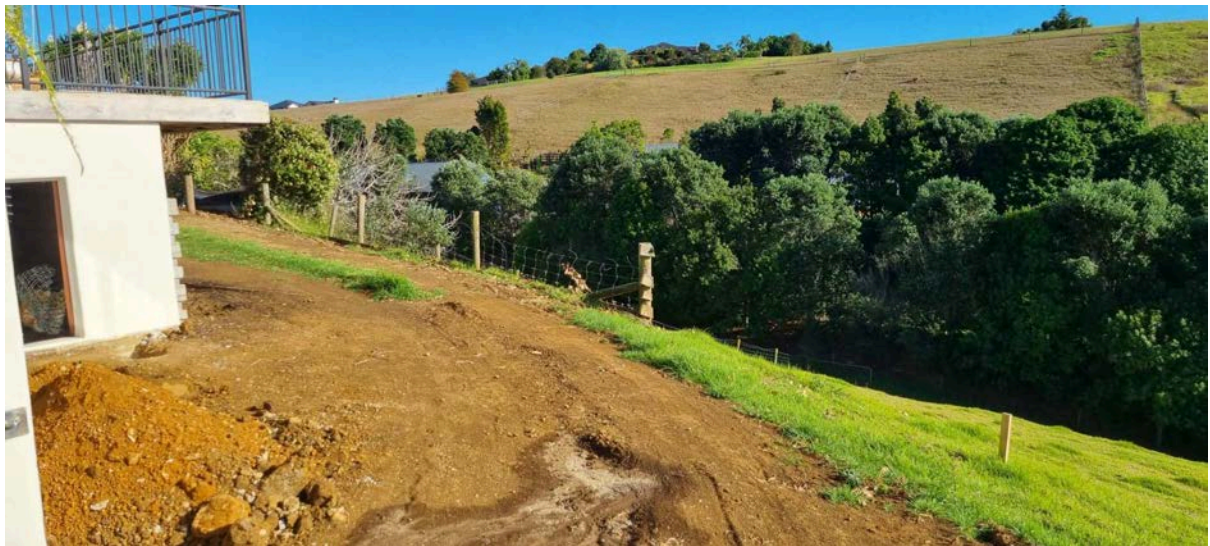
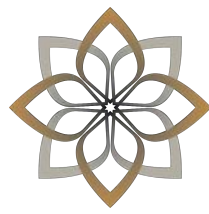


Photo 4 – View of the area where the covered gazebo, outdoor entertaining area will be located adjacent to the house renovations – wine cellar. A neighbouring house located in the gully to the north of the site is obscured by intervening trees. This will screen the structures and activities on the site from view.





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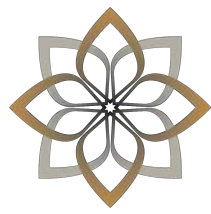


Photo 5 – View from the boat shed building site looking west to a neighbouring house to the west. The main viewing angle from this dwelling is down the gulley and beyond towards Kerikeri Inlet. The shed has been positioned so not to be in their main view shaft, as required by the consent notices for building and tree heights on the application site. The proposed boat shed will be on the periphery of their view.



Photo 6 – View from the boat shed site looking north towards a neighbouring house in the foreground screened by existing trees, and beyond to the houses located off Blue Penguin Drive.





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Photo 7 – View from the western boundary looking east towards the building site for the boat shed and the existing shed and dwelling beyond. The proposed shed will be positioned in line with the existing structures, so that it will not block any of the view from the existing dwelling to the west.

**Our Reference: 3000062-LGAEWK**

11 March 2025

Ian Roger Smith and Vicki Anne Smith  
55 Kingfisher Drive  
RD 1  
Kerikeri 0294

Dear Sir / Madam

**RE: Earthworks Permit, 55 Kingfisher Drive, Kerikeri 0294**

Attached is a copy of the earthworks permit for the above-mentioned property. Please note that there are site specific conditions listed on schedule B (the Permit).

Additionally, all earthworks are subject to the following standard conditions:

1. The permit holder is to establish and mark the location of boundary pegs and mark all property boundaries adjacent to the proposed earthworks. No authorisation is given for works on private property other than the lot subject to the Earthworks Permit. Where the permit holder is not the lot owner, the permit holder is responsible for obtaining approval from the lot owner prior to commencing work.
2. The permit holder is to ensure that stormwater diversion and silt control measures are in place prior to the commencement of bulk earthworks.
3. The permit holder is responsible for the repair and reinstatement of any underground services damaged as a result of the earthworks.
4. The permit holder is responsible for the repair and reinstatement of the road carriageway, the kerb and footpath damaged as a result of the earthworks. Such works where required will be completed to the satisfaction of the Council's Roading Manager.
5. Any debris deposited on the public road as a result of the earthworks shall be removed by or at the expense of the permit holder.
6. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority obtained from Heritage New Zealand Pouhere Taonga. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of the Heritage New Zealand Pouhere Taonga Archaeological Discovery Protocol is attached for your information. This should be made available to all person(s) working on site.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Smitha B'.

Smitha Bhaskar  
Resource Consents Engineer  
**District Services**



## SCHEDULE B EARTHWORKS PERMIT

3000062-LGAEWK

Date: 11 March 2025

Valuation:

Assessment No: 3341667

Owner:	Ian Roger Smith and Vicki Anne Smith and CLM Trustees Limited	Contractor:	
Address:	55 Kingfisher Drive RD 1 Kerikeri 0294	Address:	

Location: 55 Kingfisher Drive, Kerikeri 0294

Legal Description: LOT 4 DP 317854 LOT 2 DP 311542

Zoning:

Nature of Permit: ( ☒ Tick Box)

Excavation	<input checked="" type="checkbox"/>	Cellar	<input type="checkbox"/>	Filling	<input checked="" type="checkbox"/>					
Length		Metres		Width		Depth		300 m <sup>3</sup>		Volume

**Description of Work and Main Use or Purpose:** 228m<sup>3</sup> cut consisting of 200mm strip of topsoil and cut to enable driveway and boatshed building platform. 67.8m<sup>3</sup> fill consisting of compacted hardfill for driveway, underslab areas and 100mm metal topping to metalled driveway areas.

### Special Conditions:

1. The work shall be carried out in accordance with the approved drawings provided with the application, specifically the Site Plan prepared by Lindholm Design Ltd, dated 21 February 2025 and attached to this permit with the Council's Approved Stamp affixed to it. The approximate volume of cut 228 m<sup>3</sup> and 68 m<sup>3</sup> fill shall not exceed 300m<sup>3</sup> with no cut exceeding a height of 1.5m or fill face exceeding a height of 0.5m.
2. The permit holder is to ensure that a copy of this permit complete with a set of stamped and approved plans is held on site and is available, on request, for inspection for the duration of the construction works.
3. The permit holder is to ensure that all earthworks' operations are carried out in a manner that minimises the potential for slope instability and soil erosion. Effective mitigation measures shall be installed as required to mitigate and/or remedy any slope failures in accordance with the requirements detailed in Auckland Council document GD05.
4. The Permit holder is to ensure that all bare areas of cut and fill is covered with aggregate, or top soiled and established with a suitable grass/legume mixture to achieve an 85% groundcover within three (3) months of the completion of earthworks. Temporary silt fencing and mulching or other suitable ground cover material shall be applied to any stockpiles to provide dust and erosion control until the above ground cover can be achieved. Temporary silt fencing and mulching or other suitable ground cover material shall be applied to any stockpiles to provide dust and erosion control until the above ground cover can be achieved.

5. The area identified for on-site effluent disposal shall remain undisturbed by earthworks and un-compacted by construction vehicles, except that the area may be spread with topsoil to enhance effluent treatment and disposal.

**Issued By: Far North District Council**

## Erosion and Sediment Control Plan.



## NORTHPOINT

**SITE DESCRIPTION:**

**LOT 2 DP 311542 & LOT 4 317854**

**SITE AREA: 1.6836ha approx**

**PLAN AREAS:**

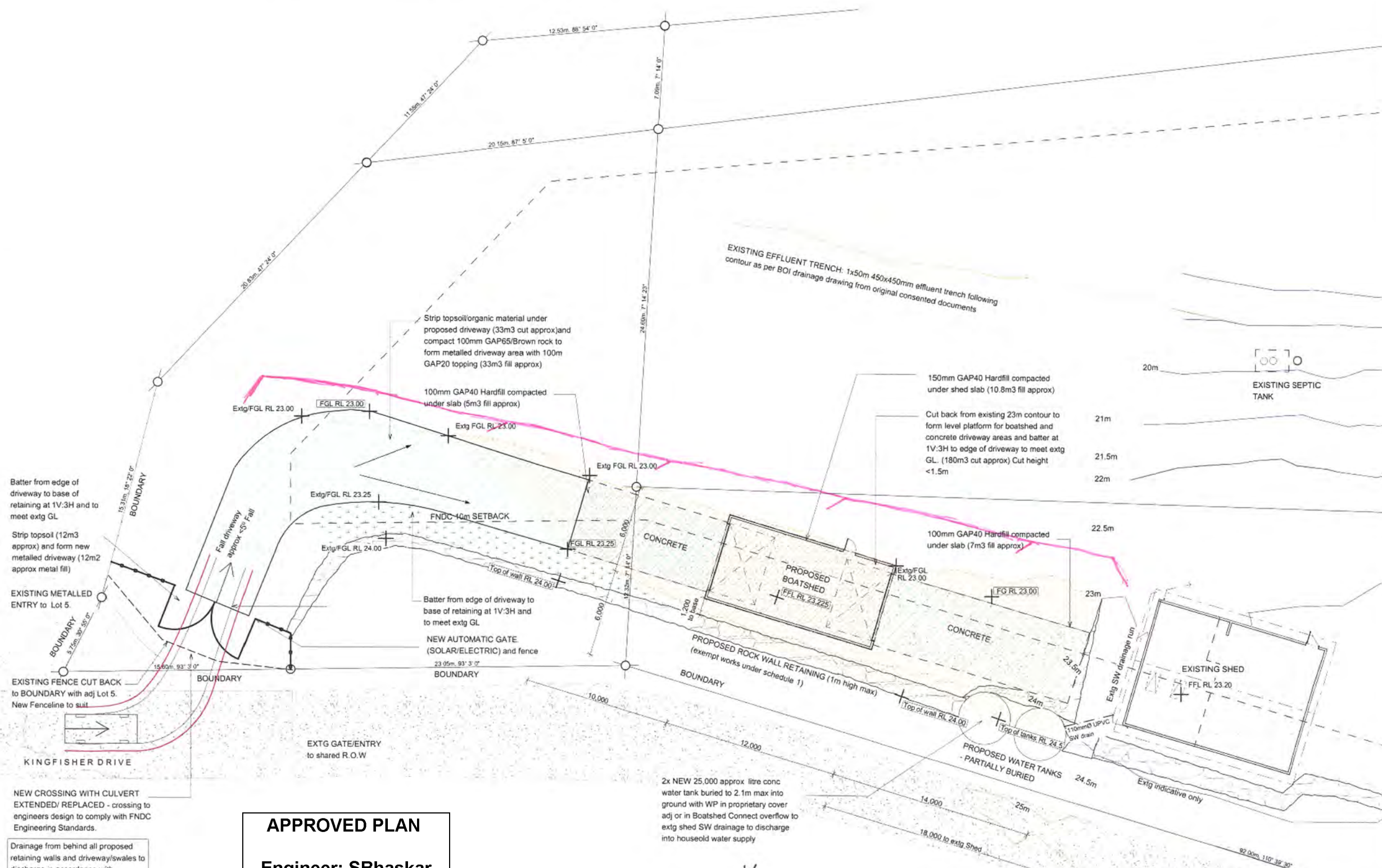
EXISTING HOUSE ROOF AREA:=513m2a approx

EXISTING HOUSE ROOF AREA: =513m2 approx  
PROPOSED BOATSHED ROOF AREA: =73.80m2 approx

NOTES:

- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABULTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only
- 11) Aerial from FNDC maps - indicative only

Note: Resource consent required for future earthworks (exceeding 300m3 within 12mth period )



**APPROVED PLAN**

Engineer: SBhaskar  
RC: 3000062-LGAEWK  
Date: 14/03/2025

Key

— Silt fencing

\* Silt fencing to be constructed down slope of stockpiled soil.

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web: www.lindholm.co.nz  
**Karin Lindholm Andreassen**  
LBP: Design 2: 107526

**A D N Z**  
Artistic Impression Only  
ARCHITECTURAL DESIGNERS NZ

**PROPOSED NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**

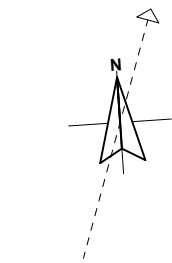
LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A101 PART SITE PLAN

SCALE: (A2) 1:200

H 21/02/2025  
 REVISION DATE  
**EARTHWORKS & CROSSING PERMIT**





NORTHPOINT

SITE DESCRIPTION:

LOT 2 DP 311542 & LOT 4 317854

SITE AREA: 1.6836ha approx

GENERAL NOTES:

PLANNING ZONE: COASTAL LIVING ZONE

WIND ZONE: HIGH (to BRANZ MAPS)

EXPOSURE ZONE: D

CLADDING WEIGHT:HEAVY (Concrete block ground floor walls) typ

ROOF WEIGHT: HEAVY (concrete tile)

ROPOSED SHED: Light roof and wall cladding

PLAN AREAS:

EXISTING HOUSE ROOF AREA:=513m2a approx

PROPOSED BOATSHED ROOF AREA: 73.80m2 approx

TOTAL ROOF AREA:



2 Location Plan 1:5000

DISTRICT PLAN COMPLIANCE: PERMITTED ACTIVITIES  
in COASTAL LIVING ZONE

VISUAL AMENITY:

New Building area: New Building exceeding 50m2  
= RESOURCE CONSENT REQUIRED

RESIDENTIAL INTENSITY: 1 unit/4ha = COMPLIES

BUILDING HEIGHT:

Permitted: = 8m max  
Proposed: = <5m max approx from extg GL  
= COMPLIES

SUNLIGHT: = COMPLIES

STORMWATER MANAGEMENT: (Impermeable surfaces & Building coverage)

Proposed: Total cover >600m2 = RC Required

SETBACKS to BOUNDARIES:

Permitted: =10m min  
Proposed Boatshed: <10m (6m proposed setback)  
= RESORT CONSENT REQUIRED

EARTHWORKS VOLUME:

Total Permitted: =300m3 max in any 12month period  
Total Proposed: = 293m3 total volume (cut material to be removed from site or stock  
piled for later use - resource consent required for future earthworks if total earthworks >  
300m3 within a 12mth period)

CUT/FILL FACE: = ≤1.5m max permitted = COMPLIES

SETBACK FROM COASTAL MARINE AREA: 30m min = COMPLIES

FIRE RISK TO RESIDENTIAL UNITS: >20m setback to scrub/bush lot = COMPLIES

EARTHWORKS PERMIT: REQUIRED

Earthworks Volumes: 296m3 Total

Cut material: 200mm min topsoil and organic material stripped from under building and  
driveway areas and foundations for pole construction = 228m3 approx cut

Fill Material: 100-150mm compacted hardfill to driveway and underslab areas, plus 100mm  
metal topping to metallised driveway areas = 67.8m3

Note: Resource consent required for future  
earthworks (exceedng 300m3 within 12mth period )



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Karin Lindholm Andreassen  
LBP: Design 2: 107526



1 Site overall - Boatshed only 1:750

PROPOSED NEW BOATSHEDat 55 KINGFISHER DRIVE, KERIKERI

LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH

Sheet: A100 OVERALL SITE PLAN - BOATSHED

SCALE: (A2) 1:750, 1:5000

NOTES:

- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
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- 6) All Services locations and connections shown indicative only.
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- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only
- 11) Aerial from FNDC maps - indicative only

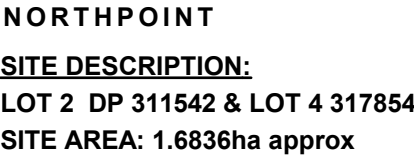
APPROVED PLAN

Engineer: SBhaskar  
RC: 3000062-LGAEWK  
Date: 14/03/2025

REFER TO TITLE DOCUMENTS FOR RESTRICTIVE COVENANTS  
ON AREAS M,C,D & E

H	21/02/2025
REVISION	DATE
EARTHWORKS & CROSSING PERMIT	





**PLAN AREAS:**  
**EXISTING HOUSE ROOF AREA:=513m<sup>2</sup>a approx**  
**PROPOSED BOATSHED ROOF AREA: =73.80m<sup>2</sup> approx**

- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
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- 11) Aerial from FNDC maps - indicative only

Note: Resource consent required for future earthworks (exceedng 300m3 within 12mth period )

## APPROVED PLAN

Engineer: SBhaskar  
RC: 3000062 - LGAEWK  
Date: 14/03/2025



**LICENSED BUILDING PRACTITIONER**  
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**BUILDING CONFIDENCE**

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web: www.lindholmdesign.co.nz  
**Karin Lindholm Andressen**  
**LBP: Design 2: 107526**

**A D N Z**  
Artistic Impression Only

ARCHITECTURAL DESIGNERS N

**PROPOSED NEW BOATSHEDat 55 KINGFISHER DRIVE, KERIKER**  
**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**  
**Sheet: A101 PART SITE PLAN**

SCALE: (A2) 1:200

H	21/02/2025
REVISION	DATE
<b>EARTHWORKS &amp; CROSSING PERMIT</b>	



NOTES:

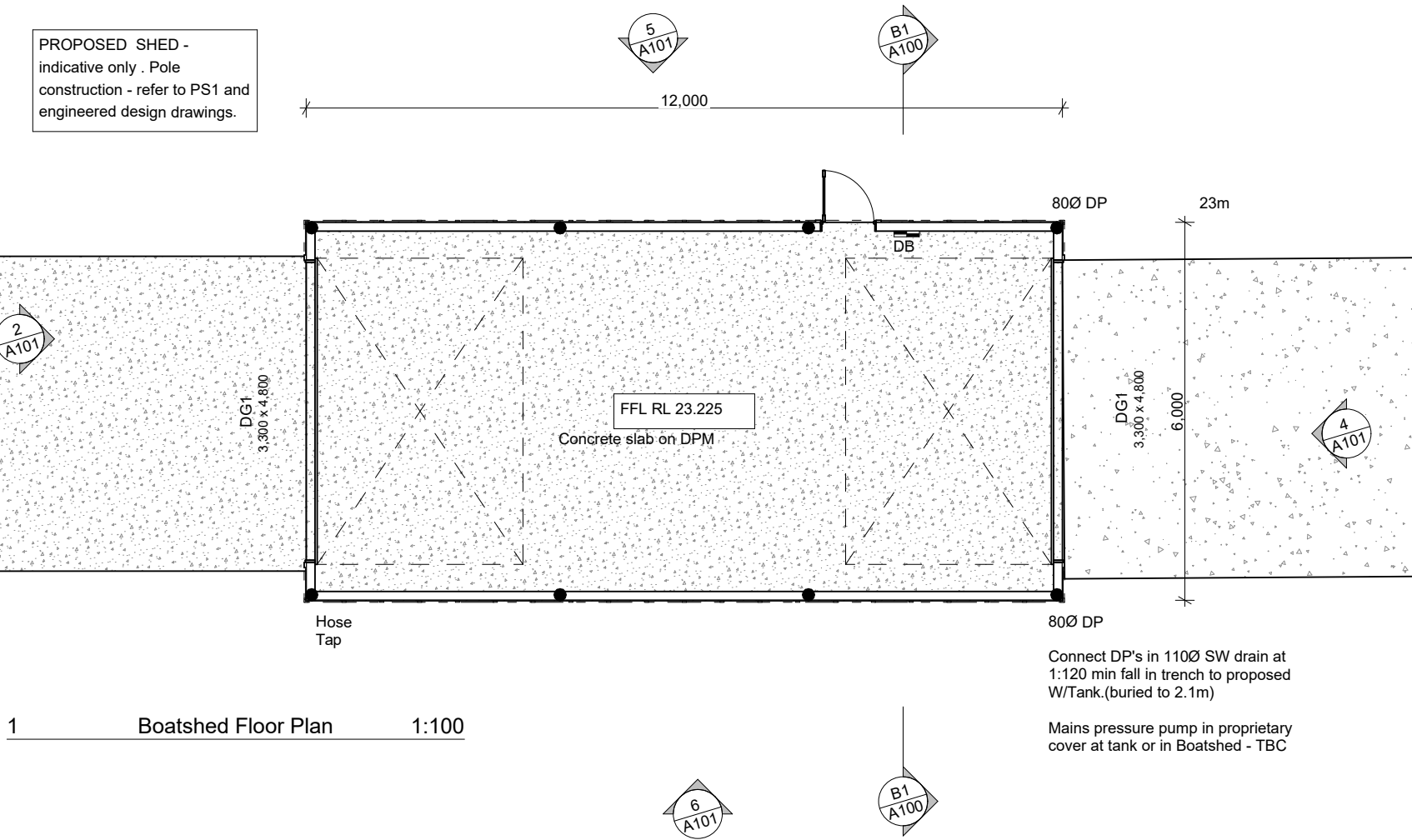
- 1) All construction to be in accordance with NZS3604:2011 the NZBC unless specifically designed.
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- 3) ALL EXPOSED BRACKETS, BOLTS, NAILS & SCREWS to be S/Steel 304
- 4) Ground levels shown indicative. Extg. Contours are indicative only from FNDC Maps as noted. Refer to survey by Williams and King for surveyed contours as noted.
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing & Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABUILTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only

NOT FOR CONSTRUCTION until consented by FNDC for aspects requiring building consent



NORTHPOINT

PROPOSED SHED - indicative only . Pole construction - refer to PS1 and engineered design drawings.

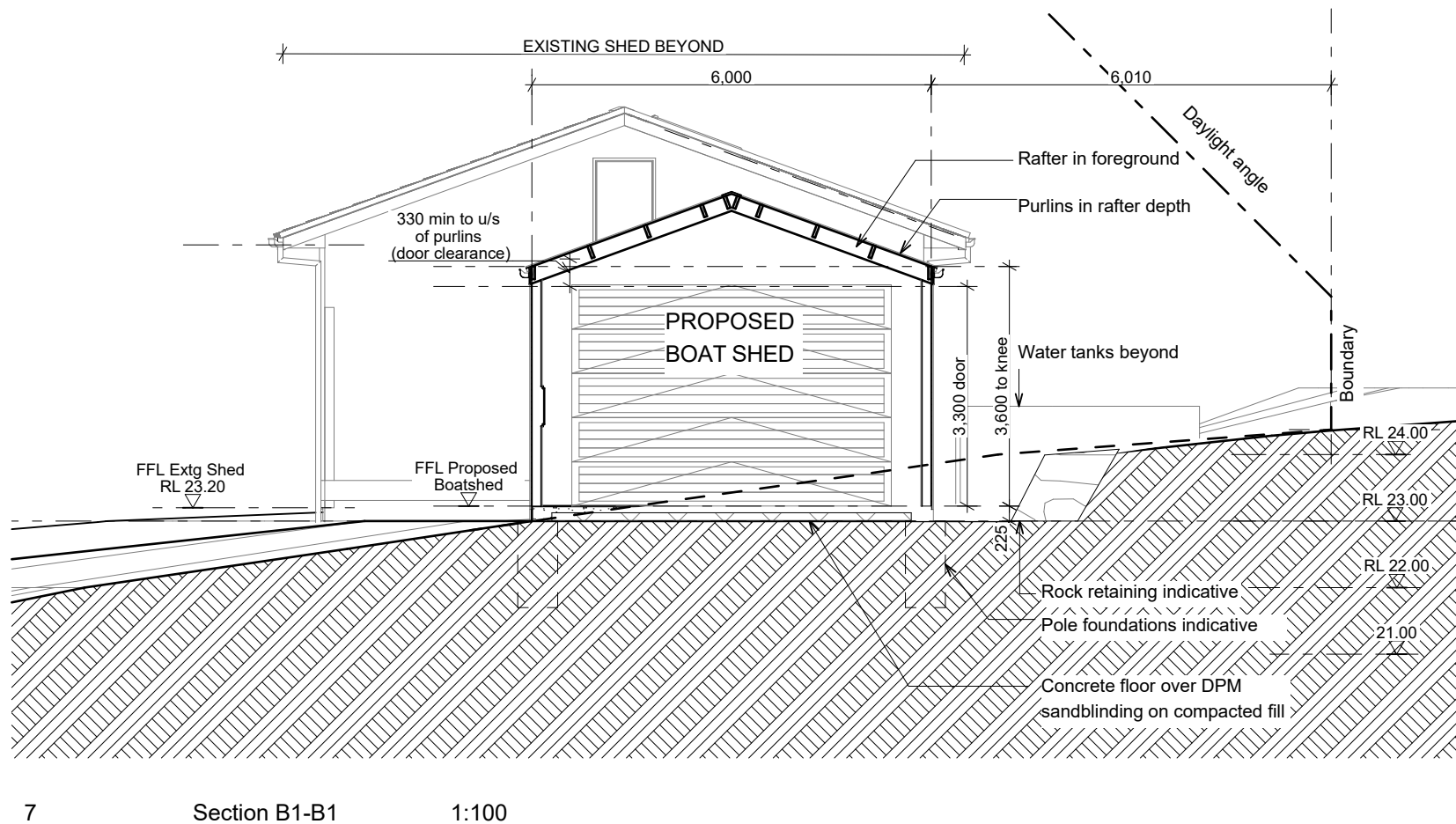
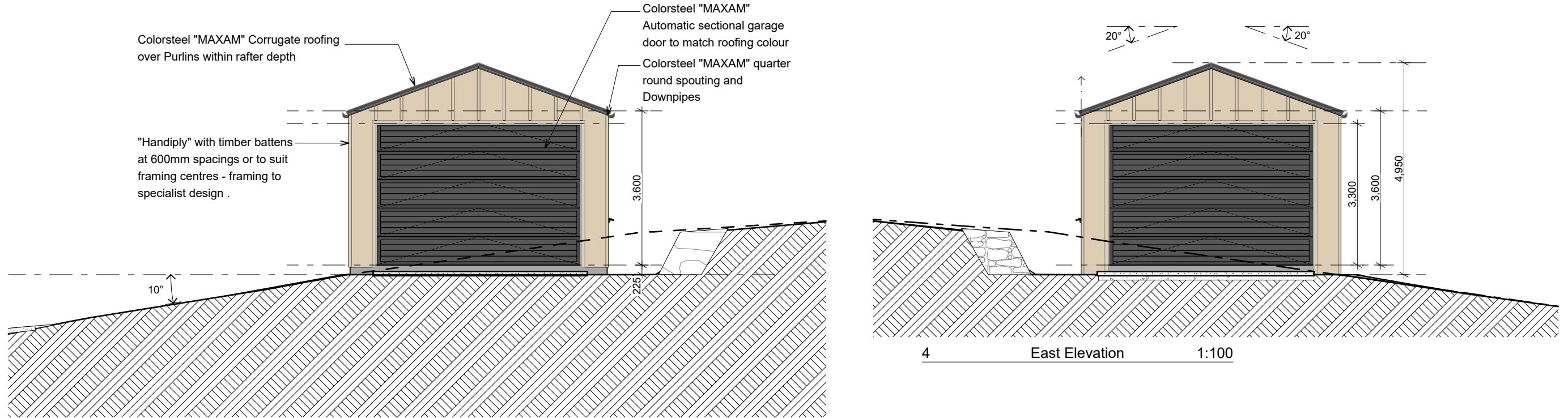


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Karin Lindholm Andreassen  
LBP: Design 2: 107526

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**PROPOSED NEW BOATSHED** at 55 KINGFISHER DRIVE, KERIKERI  
**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**  
**Sheet: A101 PROPOSED BOATSHED**



SCALE: (A2) 1:100

APPROVED PLAN

Engineer: SBhaskar  
RC: 3000062 - LGAEWK  
Date: 14/03/2025

H	21/02/2025
REVISION	DATE
EARTHWORKS & CROSSING PERMIT	



## Approval to Construct a Vehicle Crossing

Approval no: VX-2025-69

Issue date: 17/03/2025

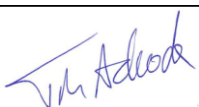
This approval to construct, reconstruct, upgrade, or relocate a Vehicle Crossing is given under clause 9 of the Vehicle Crossings bylaw 2021 of the Far North District Council.

Approval is given to **Ian and Vicki Smith** for the construction of a vehicle crossing from **Kingfisher Drive, Kerikeri** to the property known as in the Legal Description **Lot 2 DP311542**.

The approval is given subject to the construction complying with Council's Engineering Standards for Vehicle Crossings and the following conditions:

1. Construction as per approved plans (copy **attached**).
2. Construction to Council Engineering Standards Drawing Sheets 21 & 22 Type 1A- Light Vehicle Crossing.
3. A 300mm minimum diameter culvert is to be installed with mass concrete or grouted rock headwall, culvert to connect to existing 300mm diameter culvert under vehicle crossing for 53 Kingfisher Drive. Pipes to be Concrete RCRRJ Class 4.
4. On sealed roads, vehicle crossing shall be sealed to the road boundary or for a minimum distance of 10m from the edge of the carriageway (whichever is the greater). Asphaltic concrete or concrete may be used as an alternative to chip seal.
5. A pre-pour inspection will be required. Please allow 5 working days' notice when booking an inspection. Please contact Haigh Workman to arrange a pre-pour inspection. 0800 424 447 / [consents@haighworkman.co.nz](mailto:consents@haighworkman.co.nz).
6. Please contact Haigh Workman to arrange a final inspection with completion of construction.

Prior to any excavation starting, the applicant must obtain a corridor access permit (CAR) and submit the traffic management plan (TMP) for approval to the corridor access team at Northern Transportation Alliance (email: [corridor.access@nta.govt.nz](mailto:corridor.access@nta.govt.nz)).



Tom Adcock, Haigh Workman (processing engineer)



Ken Ward, Team Leader Monitoring, Far North District Council

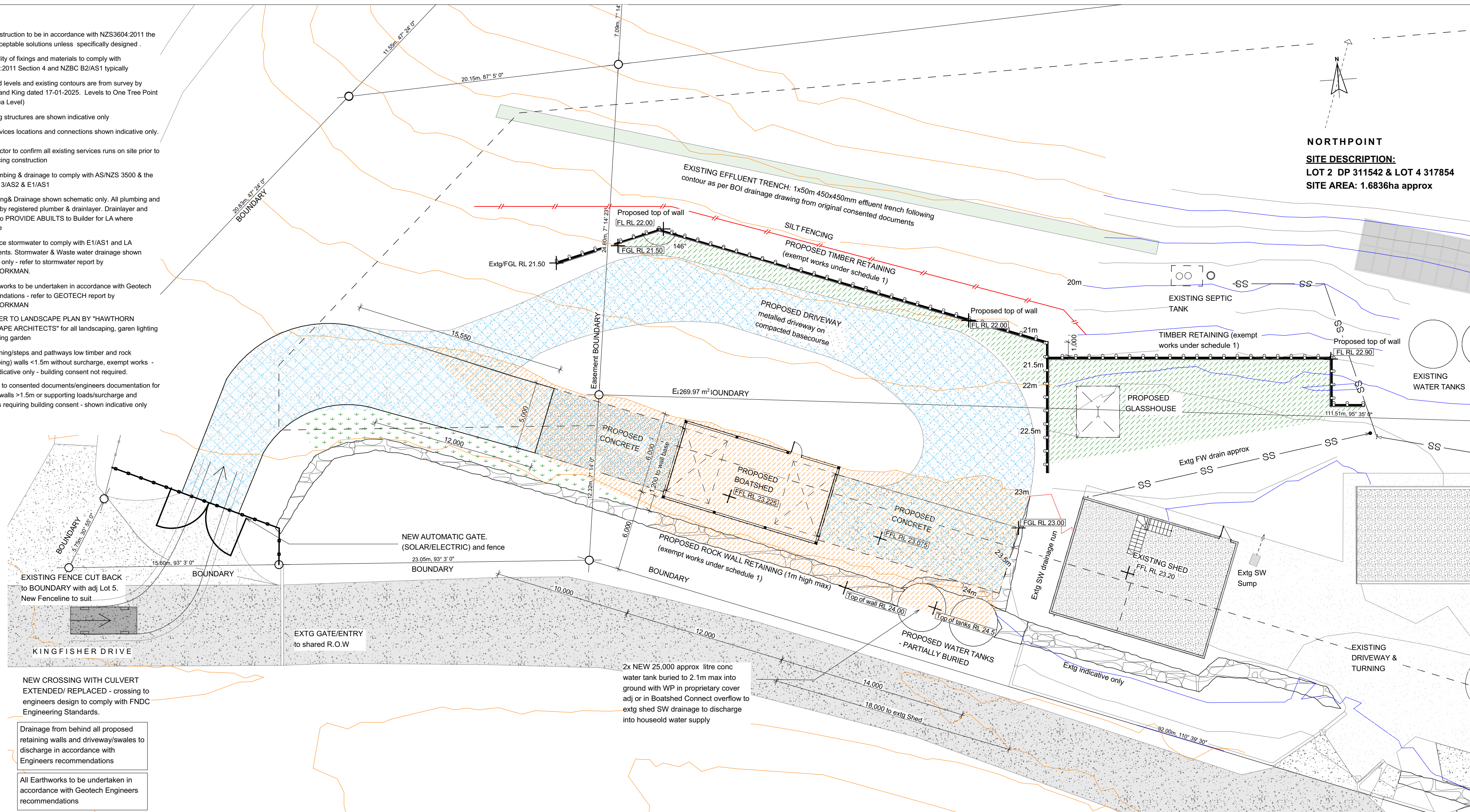
**Note:**

This approval is valid for 3 years from the date of issue. The permit will be deemed to have expired if the applicant fails to complete construction within 3 years and not have an Approved Final Inspection Pass. A new application will need to be submitted for re-approval before the work can be commenced or be completed. **It is the responsibility of the applicant to notify Council or Haigh Workman in writing of pre-pour inspections and when works are complete so a final inspection can be carried out.**

In the event of an application being cancelled by the applicant, a portion of the fee will be refunded, however a fee will be withheld for administration costs.


Should the crossing fail the final inspection, an additional inspection may be required and further inspection fee payable.

- 1) All construction to be in accordance with NZS3604:2011 the NZBC acceptable solutions unless specifically designated .
- 2) Durability of fixings and materials to comply with NZS3604:2011 Section 4 and NZBC B2/AS1 typically
- 3) Ground levels and existing contours are from survey by Williams and King dated 17-01-2025. Levels to One Tree Point (Mean Sea Level)
- 5) All Extg structures are shown indicative only
- 6) All Services locations and connections shown indicative only.
- 7) Contractor to confirm all existing services runs on site prior to commencing construction
- 8) All plumbing & drainage to comply with AS/NZS 3500 & the NZBC G13/AS2 & E1/AS1
- 9) Plumbing/ Drainage shown schematic only. All plumbing and drainage by registered plumber & drainlayer. Drainlayer and plumber to PROVIDE ABULTS to Builder for LA where applicable
- 10) Surface stormwater to comply with E1/AS1 and LA requirements. Stormwater & Waste water drainage shown indicative only - refer to stormwater report by HAIGHWORKMAN.
- 11) Earthworks to be undertaken in accordance with Geotech recommendations - refer to GEOTECH report by HAIGHWORKMAN
- 12) REFER TO LANDSCAPE PLAN BY "HAWTHORN LANDSCAPE ARCHITECTS" for all landscaping, garen lighting and planting garden
- 13) Retaining/steps and pathways low timber and rock (landscaping) walls >1.5m without surcharge, exempt works - shown indicative only - building consent not required.
- 14) Refer to consented documents/engineers documentation for retaining walls >1.5m or supporting loads/surcharge and structures requiring building consent - shown indicative only



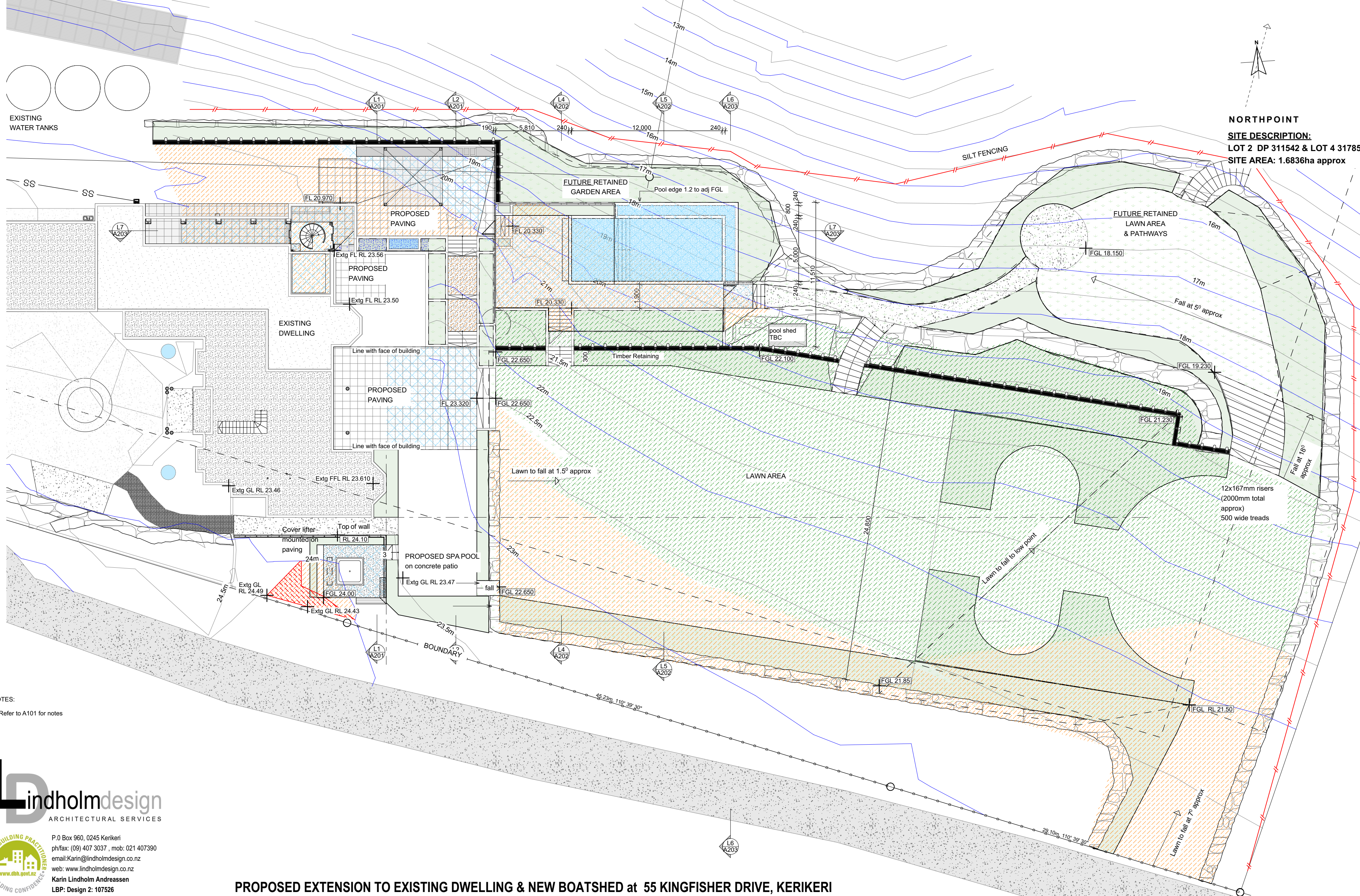
**NORTHPOINT**  
**SITE DESCRIPTION:**  
**LOT 2 DP 311542 & LOT 4 317854**  
**SITE AREA: 1.6836ha approx**

**KEY:**

	Silt fencing to be in place until surfaces are metalled, grassed/barked or planted and retaining walls in place where downslope of exposed cut and fill areas
	Compacted fill under pool, paving, floor slabs and driveway areas
	Landscaping fill/ topsoil behind retaining structures
	Proposed cut areas

I		2/04/2025
REVISION	DATE	
<b>CONCEPT &amp; RESOURCE CONSENT</b>		





NOTES:  
1) Refer to A101 for notes

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Karin Lindholm Andreassen  
LBP: Design 2: 107526

**ADNZ**  
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Site ALL 200  
ARCHITECTURAL DESIGNERS NZ

**PROPOSED EXTENSION TO EXISTING DWELLING & NEW BOATSHED at 55 KINGFISHER DRIVE, KERIKERI**  
**LOT 2 DP 311542 & LOT 4 317854 FOR IAN and VICKI SMITH**  
**Sheet: A102a PART SITE PLAN with earthworks - SHEET 2**

SCALE: (A2) 1:200

I	2/04/2025
REVISION	DATE
CONCEPT & RESOURCE CONSENT	



# Before the project starts

## Read your consents

In many cases you may have both a resource consent<sup>1</sup> and a building consent<sup>2</sup>.

- ✓ Before starting work you need to know what your consent conditions are.
- ✓ Have a copy of all consents on site.
- ✓ Make sure your contractors and subcontractors know the consent conditions.
- ✓ Let council know when you're about to start work.
- ✓ Plan ahead for resource consent and building consent inspections of your project.

<sup>1</sup> A resource consent has conditions about how your development will affect the environment (land, air, water, neighbours, streetscape, etc). These will be monitored by inspectors.

<sup>2</sup> A building consent gives the details of construction, inspections and documentation required for CCC.



# During the site works

## Control mud and sediment

You need to prevent soil on your site being washed away by rain.

You can do this by installing sediment and erosion controls to contain your sediment on site.

Not taking care of this is **an offence and you can be fined.**





# Silt fences

Silt fences are useful for containing stockpiles of earth or areas of disturbed soil and clay on site.

A silt fence is a temporary barrier used to intercept dirty water and retain sediment. The best type is woven 100 micron geotextile cloth. Weedmat and other materials don't work properly as silt fences, and don't meet council standards.

## How?

Install a silt fence around the downhill side of your site to contain sediment so that when it rains, muddy water stays behind the fence.

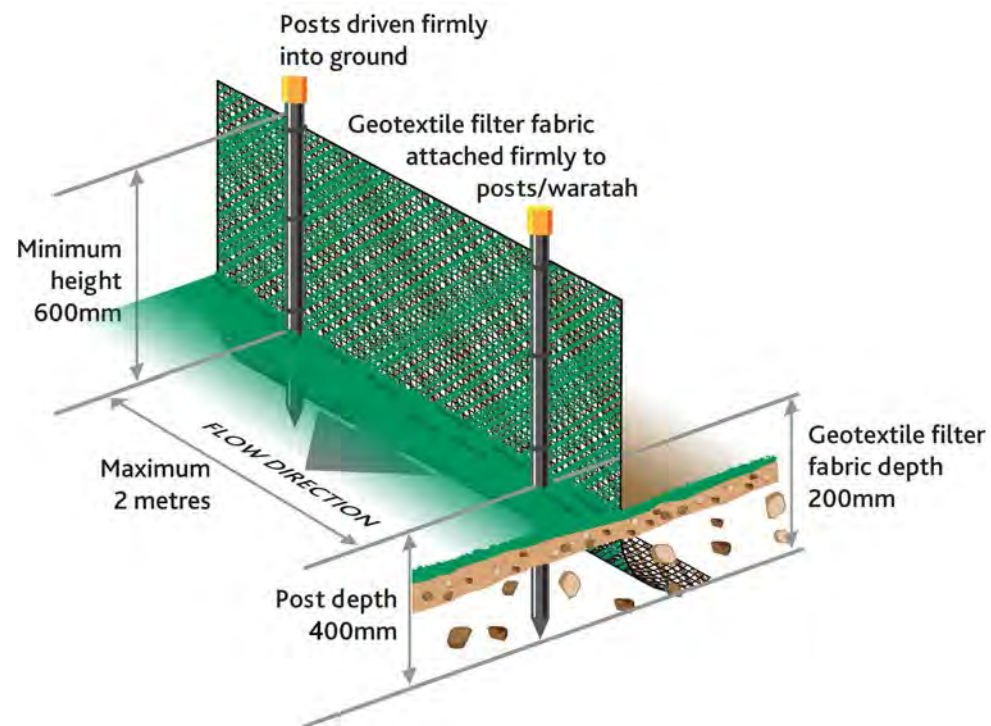


Be prepared to shift your silt fence and bunds as you move through different stages of your project.  
**Don't use haybales** – they don't work.

Proper silt fence installation is critical to its performance.

## It needs to:

- be installed in a trench 200mm deep by 100mm wide
- have waratahs or posts hammer-staked at least 400mm deep on the downhill side of the fabric, no more than 2m apart
- be 600mm high above ground, with an additional 200mm of cloth below ground in the trench
- have each end of the fence return up the slope roughly 2m to prevent water going around the edges
- be anchored by backfilling the trench and placing soil on top of the fabric.







## Keep dirty and clean water separate

- Build silt fences to keep dirty water (containing soil and sediment) away from stormwater drains.
- Use bunds to divert clean rainwater away from your exposed worksite to prevent it washing sediment off the site.
- Make sure diverted water does not cause a nuisance to neighbours' properties.

### How?

- Construct earth bunds around the outer edges of your site by compacting clay or topsoil and covering them with geotextile cloth, grass or mulch.

### Why?

- This will divert excess clean rainwater away from your site, making your site drier and easier to work in.
- This will also help prevent dirty water entering stormwater drains and streams.





# Stabilise entranceways

Keep vehicles off exposed soil and clay – build a stabilised entranceway with geotextile cloth and large washed aggregate.

## How?

- The minimum set-up for your entranceway should be at least:
  - a 150mm thick layer of 65-100mm aggregate
  - 4m wide with a geotextile base
  - long enough for your site with 'wings' (to allow for vehicles cutting corners).
- Don't use materials like sand, crushed concrete or asphalt to make your entranceway.
- Mud should be swept back on to site (not on to the road).

## Why?

- A stabilised entranceway prevents vehicles tracking mud and clay on to the road (which is a common source of complaints to council).
- Mud and contaminants can make a road slippery and dangerous. They can be washed into the stormwater system by the rain or create a dust nuisance when it's dry.
- It is your responsibility to ensure that the road is clean of mud and sediment.  
**Failure to do so can result in a fine or prosecution.**



Placing geotextile material under aggregate prevents the stones sinking into mud, and stops mud rising back up through the applied aggregate.



GAP 65 placed on top of geotextile material. If you do this properly, the entranceway will work better and last longer.



# Minimise exposed areas

## How?

- Keep as much vegetation cover as possible over soil and do your work in stages.
- Keep a berm of grass around the outside of the site to prevent rain washing exposed soil away.
- Cover stockpiles with mulch, straw, plastic sheets or tarpaulins as soon as possible to prevent erosion and run-off.

## Why?

- The less earth you have exposed, the less likely it will be washed into stormwater drains. Anything that gets into stormwater drains goes straight into local streams and the sea.





# Dewatering

Removing dirty water from footings, trenches and pile holes on your site needs to be carried out carefully so it doesn't run down into stormwater drains. Never pump unfiltered dirty water from trenches or pits directly to the kerb and channel or stormwater system – remember this goes straight out to sea.



## How?

- Pump water through a filter sock or to a stabilised surface (eg a grassed or metalled surface – not concrete) above a silt fence.
- Some options:
  - pump the water into a tank to allow for sediment to settle out further
  - pump through filtration devices such as dewatering bags or turkey's nest (a large ring of sand socks or silt fence)
  - pump through a series of sand socks lining the kerb and channel.
- If filtration devices are unavailable, use a vacuum truck to remove water from your construction site.





## Drain/catchpit protection

There are many problems with catchpit protection. It should only be used to support the other sediment control measures mentioned earlier. Talk with your compliance officer about the best options for your site.

### How?

When installing catchpit protection:

- install a series of sand socks in the kerb channel – this will slow the flow of the water allowing more sediment to drop out of the water
- check it regularly – especially after there's been a lot of rain
- remove it when your job is finished and clean up any buildup of sediment.

### Install private drainage at the earliest opportunity

- Once the roof is on, install drainpipes (temporary or permanent) so rainwater can be diverted to stormwater drains.

### Why?

- Clean rainwater is diverted from exposed site, making it less muddy and sending only clear water down stormwater drains.



Temporary drainpipe installed on house under construction.





# Stabilise your site

Leaving soil and clay exposed means rain can wash it off into drains – this has a destructive effect on our streams and causes pollution.

## How?

- Use mulch, hay, pea straw or other materials to cover exposed areas of soil.
- Pour and dry concrete as soon as you can.
- Lay aggregate as soon as you can.
- Sow seed as soon as you have finished stages of work.



Stabilise your site by covering exposed soil. This prevents erosion and run-off to the road, stormwater system or neighbouring properties.





## Working with concrete and other similar products

### Concrete kills

**Never** put concrete or wash concrete down stormwater drains. Concrete and cement are extremely toxic because they have a high lime content with a pH of 12 out of 14. This can easily kill fish, eels and other wildlife.



It takes five tanker loads of water to neutralise one litre of concrete slurry.





# Never let concrete wastewater go down a drain

## Manage concrete

- Remove water from pile holes, footings and foundations before pumping concrete.
- Ensure delivery and pumping is kept on site on an unsealed surface and away from stormwater drains and trees.
- Divert or contain any excess slurry or wastewater on to an unsealed surface.
- Don't schedule concrete pours in the rain.
- If pumping occurs on the street, use large bins or mats under the pump hose to collect spills – and dispose of any spills on unsealed surfaces.
- Wet cut where possible and minimise the amount of water to reduce the amount of run-off.
- Wash all equipment on site on unsealed ground, away from stormwater drains.





## If there is a spill, do not wash it to the drain

- Act immediately to clean up the spill using the techniques listed above.
- Call council's **Pollution Hotline** on **09 377 3107** for advice. They will guide you on who to use to clean up your site.

**Remember – the standard cost of a wet vac is less than a council fine.**

## Exposed aggregate

Like all concrete run-off, wastewater from exposed aggregate is **very toxic** due to elevated pH levels.

- Capture all wastewater and redirect it to unsealed ground to soak in, or remove it with collection units such as a wet vac, sucker truck or pumps.
- Use collection units to plug drains and remove wastewater from spillages in a controlled manner.
- **Do not wash acid or chemical wastewater into the drain.**



Concrete run-off water is vacuumed up by wet vac truck pipes.



## Designated wash-down area

Establish a designated wash-down area on your work site. This area should drain to unsealed ground away from stormwater drains to avoid damaging our environment.

- Plan ahead and ensure that the area is accessible and away from drains or streams.
- Scrape excess material off equipment before washing.
- Use high-pressure, low-volume water spray.

If the wash-down area begins to overflow, arrange for the contents to be removed.



## Clean painting equipment properly

Like cement, paint is extremely harmful when discharged into the natural environment.

### When washing equipment:

- Keep the dirty water away from stormwater drains or streams.
- Wash water-based or acrylic-based paints onto an unsealed surface where it can soak into the ground (away from trees and plants).
- Wash it in a laundry sink. If in doubt, seek the manufacturer's advice.
- Oil-based paints cannot be disposed on site. Contain and collect oil-based paint residue and cleaning products for disposal. Contact your paint supplier for recommended disposal methods.





## Handy tips for your site

- Soils and other materials should be stockpiled away from kerbs and areas where run-off is likely to enter the stormwater system or drains.
- Keep an eye on the weather and work around it – try to avoid pouring concrete in the rain.
- Keep your site tidy and dry – it will make your site safer and easier to work in.
- If you need any information, call council on 09 301 0101.
- **Work as a team to get it right and take pride in doing your part to protect our environment and region.**



## After the project is finished

- Book final inspections for your resource consent and building consent.
- Remove your sediment control measures (silt fences, filter socks, etc).
- Tidy your site.
- Review your resource consent conditions.
- Check all relevant documentation for your resource consent and building consent has been provided to the project manager / property owner. This needs to be filed with council to get your completion certificates.

### For more information

For more information on building consents, resource consents, environmental controls and bylaws, go to the Auckland Council website or call Auckland Council on 09 301 0101.

If you require assistance with a pollution issue, call the Pollution hotline on 09 377 3107, or go to **[aucklandcouncil.govt.nz/resourceconsents](https://aucklandcouncil.govt.nz/resourceconsents)** for more information and factsheets.



## Any problems?

Call the Pollution HOTLINE 09 377 3107  
or Auckland Council on 09 301 0101

All outside drains run to streams and the sea.  
Only rain should go down outside drains.

Do your bit to keep our waters clear and our beaches safe.

