

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

** The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Jeremiah Paul Bos and Kendra Mar'ee Bos

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Aaron Patterson - Managing Director Building, Engineering & Design

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

n/a

**Property Address/
Location:**

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

**Site Address/
Location:**

Legal Description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

n/a

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Permitted discretionary application; .6.5.1.2 RESIDENTIAL INTENSITY;
(a) Each residential unit for a single household shall have available to it a minimum net site area of:
Sewered sites: 600m² (3 of)
Building consent number:
EBC-2025-963/0; Requirement for Resource Consent Letter dated 18 June 2025, see attached

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- | | |
|---|---|
| <input type="radio"/> Subdividing land | <input type="radio"/> Disturbing, removing or sampling soil |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Aaron Patterson - Managing Director Building, Engineering & Design

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Aaron Patterson

Signature:

(signature of bill payer)

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Aaron Patterson

Signature:

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☒ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

4 July 2025

Building, Engineer & Design

P 0800338832

Attention

To whom it may concern
Far North District Council

Northland Office
58 Rarangi Heights
Parua Bay, 0192
New Zealand

EBC-2025-963/0 – Resource Consent Application Assessment of Environmental Effects

Dear to whom it may concern,

This document is in support to application of resource consent pertaining to:

Applicant: Jeremiah Paul Bos and Kendra Mar'ee Bos

Registered Owners: Jeremiah Paul Bos and Kendra Mar'ee Bos

Description of Activity: Alterations & Compliance for Jeremiah Bos
3 North Road, Kawakawa, Far North District

Site Address: 3 North Road, Kawakawa, 0210

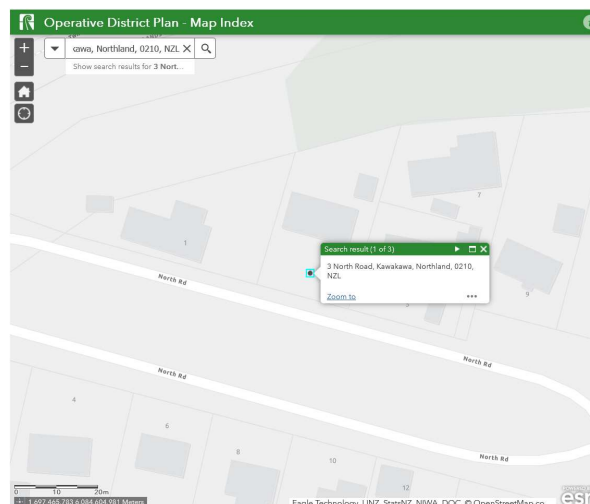
Legal Description: Lot 2 Deposited Plan 93087

Zone: Residential

Site Area: 887 square metres more or less

Hazards: none

Locality Plan:

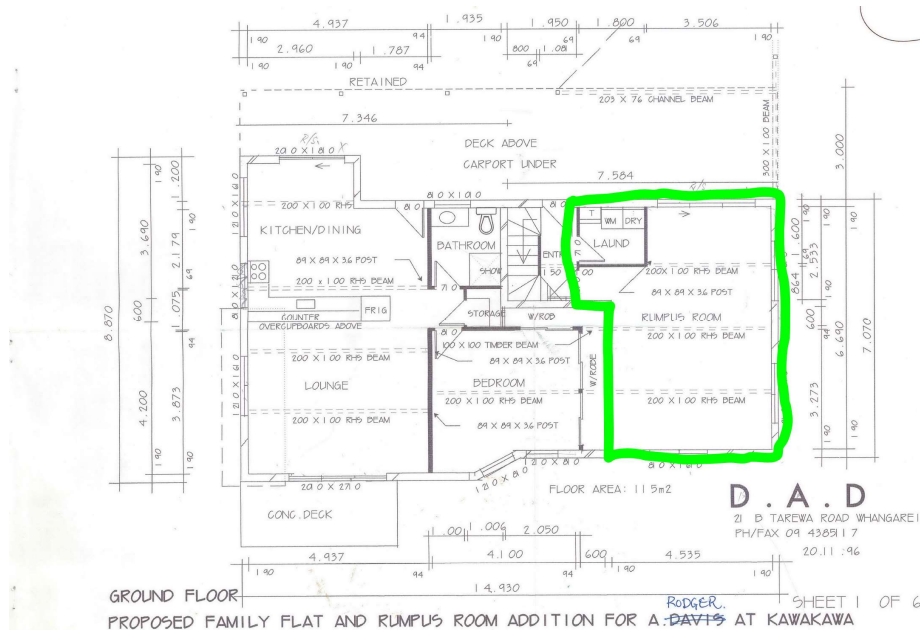




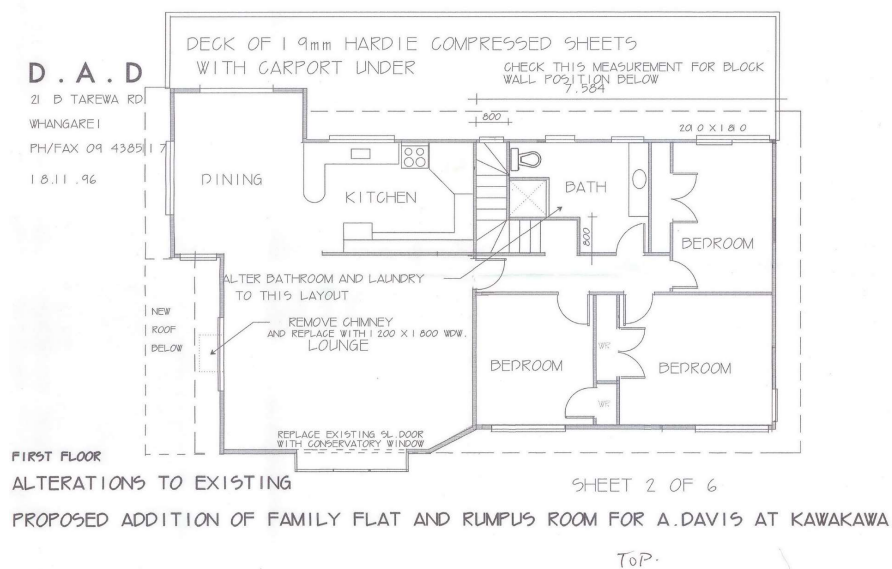
The Proposal & reason for Application:

In summary, the application seeks zoning land use consent to alterations & compliance for 3 North Road, Kawakawa, Far North District Building Consent Application EBC-2025-963/0.

The proposed works including the alteration of an existing rumpus room into an addition of a self-contained unit bring the total the unit amount of 3 for the property. See ground floor, floor plan for for building consent approved BC 970954 23.01.1997 evidencing the existing two units. Green area denotes the proposed alteration area.



Plans Ground Level 1997 Consented.



Plans First Floor 1997 Consented.

The FNDC letter dated 18 June 2025 - Requirement for Resource Consent

Rule:	7.6.5.1.2 RESIDENTIAL INTENSITY (a) Each residential unit for a single household shall have available to it a minimum net site area of: Sewered sites: 600m ²
Reason:	This application is to convert the existing dwelling that has been consented as a dwelling and a self-contained flat, into 3 separate residential units on an 887m ² sewered site. Each residential unit does not have 600m ² minimum net site area available to it.

Rule:	15.1.6B.1.1 ON-SITE CAR PARKING SPACES The minimum number of on-site car parking spaces to be provided for the users, is two per residential unit. 15.1.6B.1.5 CAR PARKING SPACE STANDARDS (a) The required size of off-street car parking spaces, the manoeuvring space between, and the vehicle circulation routes providing access to them, shall be as set out in Appendix 3D. (b) Stacked parking will be permitted for one of two spaces associated with a specific residential unit. In determining the extent of area required for manoeuvring space, the Council will be guided by the Tracking Curve diagrams as shown in Appendix 3E. (c) All parking, loading, access drives and manoeuvring areas shall be formed and
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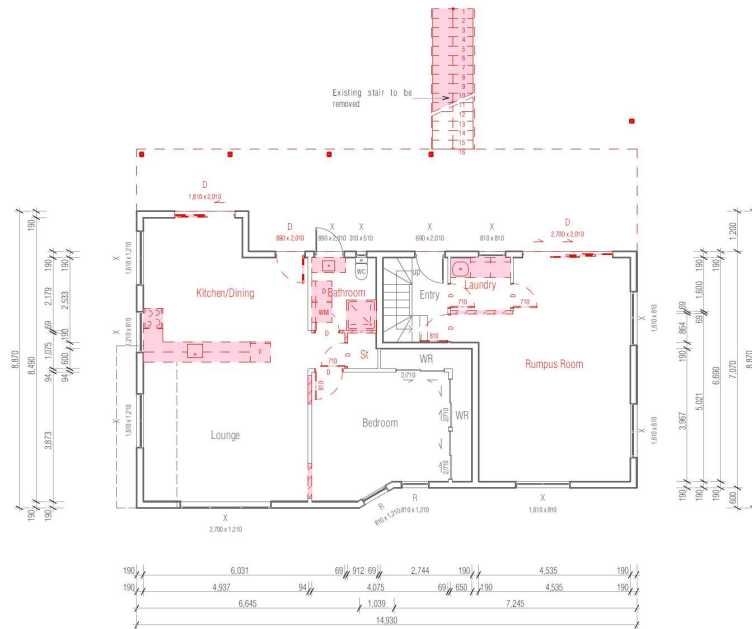
	provided with an all weather surface, drained, marked out and maintained to the satisfaction of the Council, and shall be kept free and available for the uses intended. Where a parking area provides four or more car parking spaces is adjacent to a road, a kerb or a barrier shall be provided to prevent direct access except at the designated vehicle access point.
Reason:	6 car parks are required but are not shown. The existing Garage provides for 1 car park and as per aerial photos and plans provided, there is the ability to stack park 2 cars therefore unable to achieve the required 6 carparks. Maneuverability is not shown on a formed surface.

Council is requested to apply its discretion as per the district plan to issue a resource consent so that the proposed project may proceed.

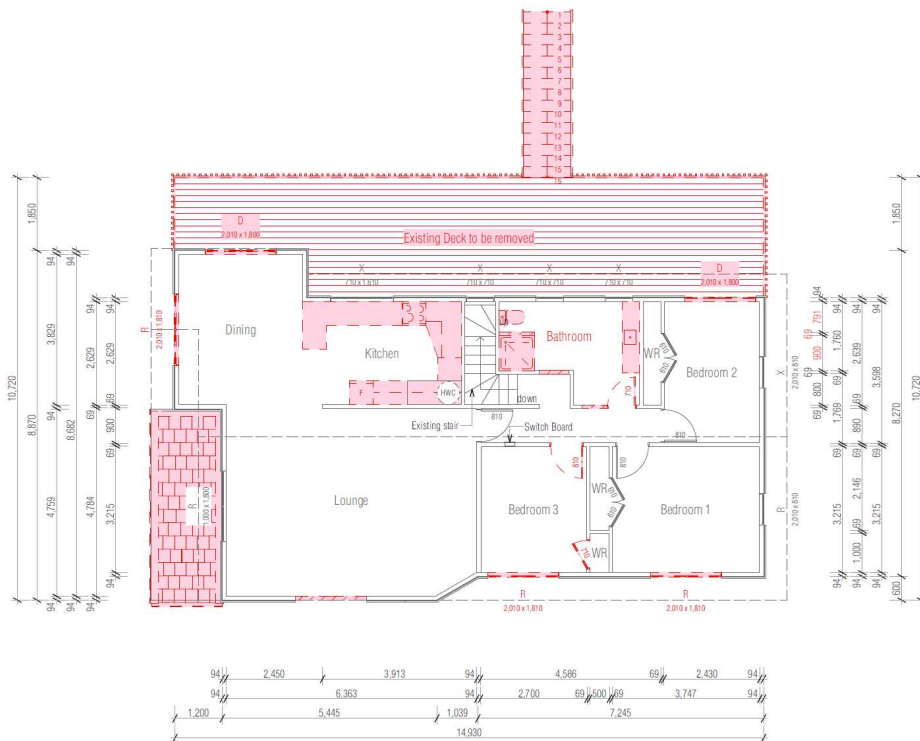
Project Overview:

Refer below to summary of proposed project, for full detailed designs refer BC application EBC-2025-963/0, refer plans - 240207 - 3 North Road Kawakawa - Updated Set - 02.07.2025.

Existing Property Layout



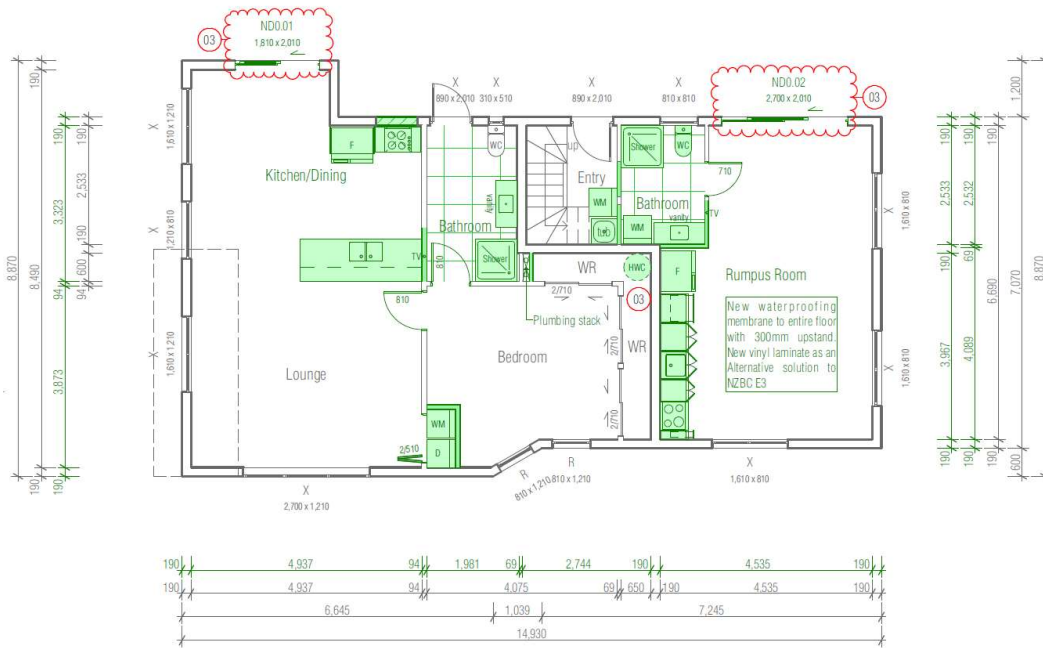
Ground Floor – red denotes demolition



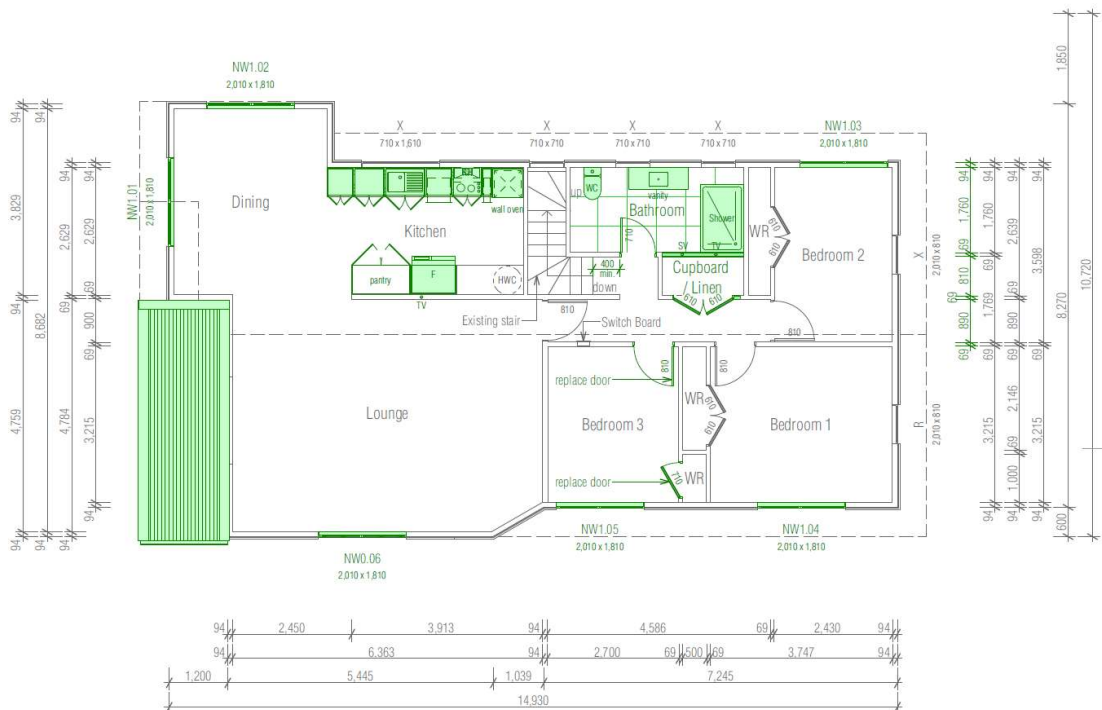
First Floor – red denotes demolition



Proposed Alterations Property



Ground Floor – green denotes alteration



First Floor – green denotes alteration

Note: no changes to building enveloped are proposed.

Assessment of Environmental Effects

A. Assessment of National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Given the proposal does not include the disturbance of soil, the NES-CS has been not been considered in the context of this proposal.

Since there is no indication of a previous HAIL activity (or the potential for it) in the council records, then the NES does not apply, and any planned development activity can be carried out as a permitted activity.

B. Public Notification Assessment (Sections 95A, 95C-95D)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

Step 1: Mandatory Public Notification in Certain Circumstances

No mandatory notification is required as:

the applicant has not requested that the application is publicly notified (s95A(3)(a))
there are no outstanding or refused requests for further information (s95C and s95A(3)(b)), and
the application does not involve any exchange of recreation reserve land under s15AA of the Reserves Act 1977 (s95A(3)(c)).

Step 2: If not required by step 1, public notification precluded in certain circumstances

The application is not precluded from public notification as:

the activities are not subject to a rule or national environmental standard (NES) which precludes public notification (s95A(5)(a)); and the application does not involve one or more of the activities specified in s95A(5)(b).

Step 3: If not precluded by step 2, public notification required in certain circumstances

The application is not required to be publicly notified as the activities are not subject to any rule or a NES that requires public notification (s95A(8)(a)).

The following assessment addresses the adverse effects of the activities on the environment, as public notification is required if the activities will have or are likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).

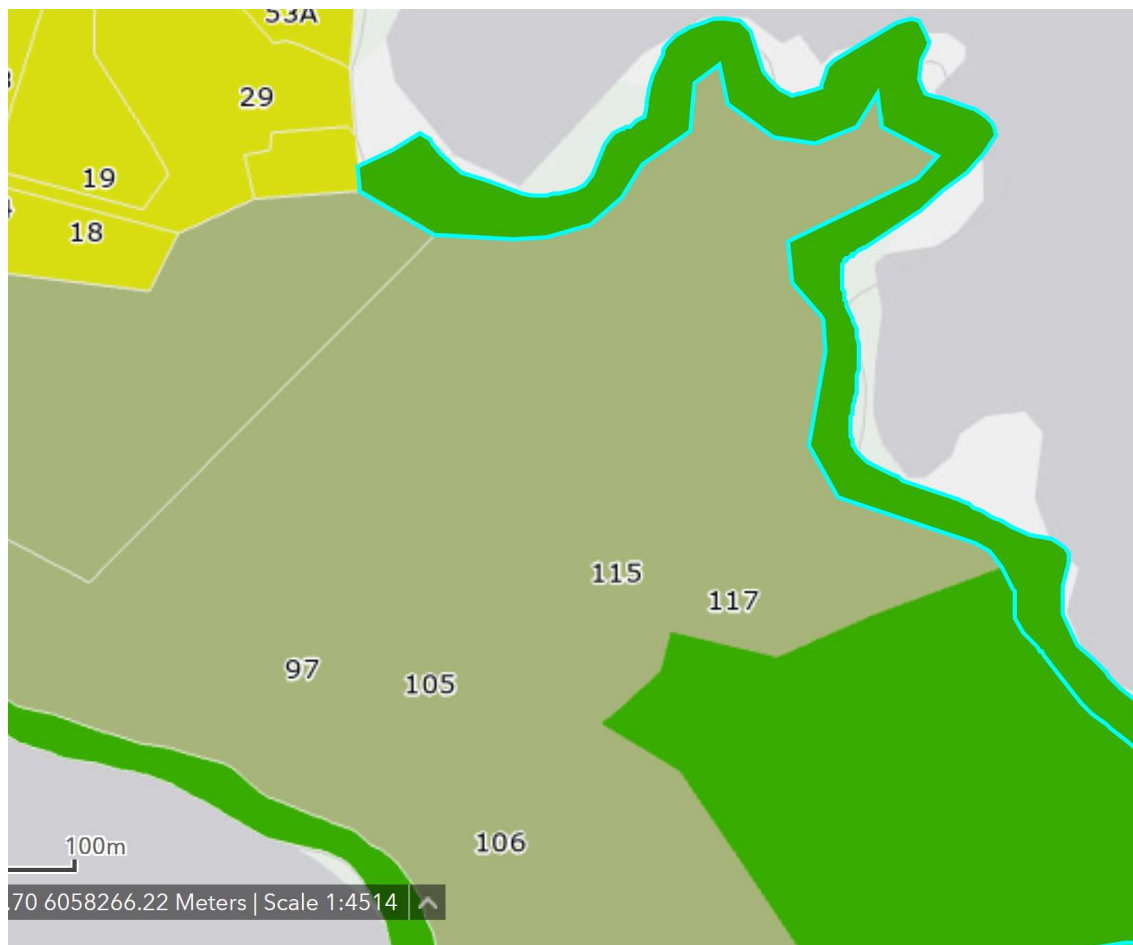
Adverse Effects Assessment (Sections 95A(8)(b) and 95D)

Effects that must be Disregarded.

Effects on persons who are owners and occupiers of the land in, on or over which the application relates, or of land adjacent to that land.

The council is to disregard any effects on the persons who own or occupy the land in, on, or over which the activities will occur, and on persons who own or occupy any adjacent land (s95D(a)).

The land adjacent to the subject site is shown as red dots in Figure 2; Natural Open Space Zone.



The council is to disregard any effects on a person who has given written approval to the application. In this instance no written approval has been provided for from the surrounding sites.

No surrounding sites will be adversely affected by the proposed minor residential unit; therefore, no written approval is required.

Effects that may be disregarded - Permitted baseline.

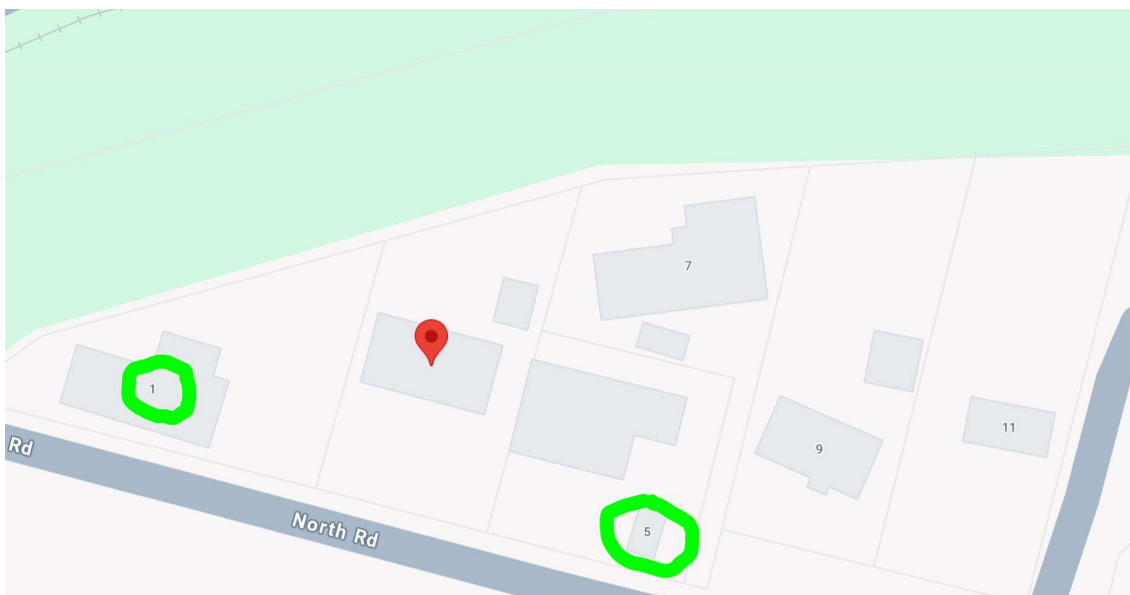
The permitted baseline refers to the effects of permitted activities on the subject site. The permitted baseline may be taken into account and the council has the discretion to disregard those effects where an activity is not fanciful.

The permitted level of development, being conversion of a rumpus room into a self-contained unit.

The receiving environment beyond the subject site includes permitted activities under the relevant plans, lawfully established activities (via existing use rights or resource consent), and any unimplemented resource consents that are likely to be implemented. This is the environment within which the adverse effects of this application must be assessed.

Note that to the two adjacent neighbours at 1 and 5 have signed and approved of the proposal. Refer to attached

- Notice-of-written-approval-form – 1 North Rd Kawakawa
- Notice-of-written-approval-form – 5 North Rd Kawakawa



Visual Amenity

The proposal seeks to not increase the building envelope. The proposal includes replacement of the front boundary road picket fence providing privacy and improved aesthetics. The picket fence will be timber and oiled, See area below.

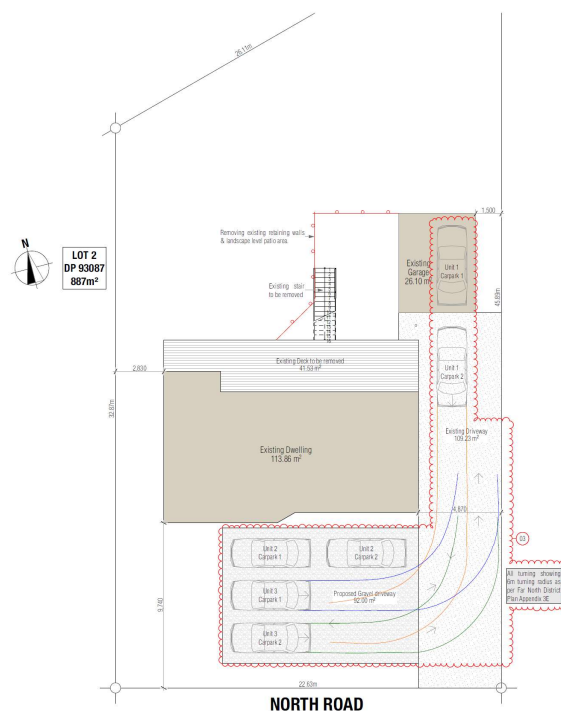


Overall, the effects of this proposal on the rural character and amenity of this environment will be less than minor.

Residential Zoning Values & Servicing

The subject site is 887m² more or less in size.

- The site is sewered via council wastewater system. The increase to council wastewater system is maximum two persons with the proposed additional self-contained unit.
 -
 - Noise will be compliant to 7.6.5.1.15 as normal residential activity only will be onsite. The proposed self-contained unit is supported by block exterior walls, which insulates noise. Noise less than denoted under rules below.
- 0700 to 2200 hours 50 dBA L₁₀
2200 to 0700 hours 45 dBA L₁₀ and
70 dBA L_{max}
- Storm water management compliant with 7.6.5.2.1 – impermeability 37.9%
 - A 3m wide driveway exists – not change
 - Additional parking will be provided in accordance to; 15.1.6.1.1 and 15.1.6B.1.5; see below



Archives	
Wind Zone	High
Earthquake Zone	1
Climate Zone	2
Climate Zone	1
Technical Authority	Far North District Council
Zone	General Residential

(1) Existing site plan is to be removed from the site as per New Zealand Building Code Clause 15.1.6.1.1
 (2) Existing site plan is to be removed from the site as per New Zealand Building Code Clause 15.1.6.1.1

 Building,
Engineering &
Design

 MARC VALE
ARCHITECTURE

 ARZ
Professional
Member

Site
Jeremiah Bos
Project Title
Alterations & Compliance
Site Address
3 North Road, Kawakawa, Far
North District
Consent Type
Building Consent
Site Plan

Scale
1:500 (A3)
Date
10/07/2025
Author
Marc Vale Architecture
Revised
10/07/2025

101 03

- Set back from boundaries are in accordance to 7.6.5.1.5 – no change 2830mm from nearest boundary which is also fenced.
- Scale of activities are compliant with 7.6.5.1.3 with other than residents a maximum of 2 persons per 600m² sewered site.

It is therefore expected that any adverse effects on the level of residential zoning will be less than minor.

Reverse Sensitivity

The surrounding properties have are residential zoned. The proposed alterations will therefore be consistent with the existing land use of the surrounding environment.

North Road is a quite street with good roading geometry on of low traffic use. With the current housing crises in New Zealand and locally with healthy home rental under supply. The proposed alterations will benefit the local community.

Cultural Values

The site has not been identified to be significant to iwi or hapu, therefore no consultation has been carried out. Due to the proposal requiring minor vegetation removal, and minor earthworks with minor physical change to the existing environment. It is expected that there will not be any effects on cultural values.

Adverse Effects Conclusion

Given the extent of the infringement proposed, it is considered that the adverse effects associated with this land use consent will be less than minor. As per 7.6.5.3 Restricted Discretionary Activities as listed below the only discretionary breach is 7.6.5.1.2 Residential Intensity all all other conditions are met.

7.6.5.3 RESTRICTED DISCRETIONARY ACTIVITIES

An activity is a restricted discretionary activity in the Residential Zone if:

- it does not comply with any one of the following **Rules 7.6.5.1.2 Residential Intensity; 7.6.5.1.3 Scale of Activities; 7.6.5.1.4 Building Height; 7.6.5.1.5 Sunlight; 7.6.5.1.7 Setback from Boundaries; 7.6.5.1.11 Transportation; 7.6.5.1.15 Noise** and/or **7.6.5.1.17 Building Coverage** as set out above; but
- it complies with all of the other rules for permitted and controlled activities under **Rules 7.6.5.1 and 7.6.5.2**; and
- it complies with **Rules 7.6.5.3.1 Residential Intensity; 7.6.5.3.2 Scale of Activities; 7.6.5.3.3 Building Height; 7.6.5.3.4 Sunlight; 7.6.5.3.5 Building Coverage; 7.6.5.3.6 Transportation; 7.6.5.3.7 Setback from Boundaries** and **7.6.5.3.8 Noise** below; and
- it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in **Part 3 of the Plan - District Wide Provisions**.

The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent.

Step 4: public notification in special circumstances

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).

Special circumstances are those that are:

- Exceptional, abnormal or unusual, but something less than extraordinary or unique;
- Outside of the common run of applications of this nature; or
- Circumstances which make notification desirable, notwithstanding the conclusion that the activities will not have adverse effects on the environment that are more than minor.

In this instance I have turned my mind specifically to the existence of any special circumstances and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that public notification should occur.

Public Notification Conclusion

Having undertaken the s95A public notification tests, the following conclusions are reached:

- Under step 1, public notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes public notification of the activities, and the application is for activities other than those specified in s95A(5)(b).
- Under step 3, public notification is not required as the application is for activities that are not subject to a rule that specifically requires it, and it is considered that the activities will not have adverse effects on the environment that are more than minor.
- Under step 4, there are no special circumstances that warrant the application being publicly notified.

It is therefore recommended that this application be processed without public notification.

5. Limited Notification Assessment (Sections 95B, 95E-95G)

If the application is not publicly notified under s95A, the council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

Step 1: Certain affected Protected Customary Rights Groups must be notified

There are no protected customary rights groups or customary marine title groups affected by the proposed activities (s95B(2)).

In addition, the council must determine whether the proposed activities are on or adjacent to, or may affect, land that is subject of a statutory acknowledgement under Schedule 11, and whether the person to whom the statutory acknowledgement is made is an affected person. (s95B(3)). There are no Statutory Acknowledgments that apply to land within the Whangarei District; or land within an adjoining District adjacent to the subject site.

Step 2: If not required by step 1, limited notification precluded in certain Circumstances

The application is not precluded from limited notification as:

- the application is not for one or more activities that are exclusively subject to a rule or NES

- which preclude limited notification (s95B(6)(a)); and
- the application is not exclusively for a controlled activity (other than subdivision), that
- requires consent under a district plan (s95B(6)(b)).

Step 3: If not precluded by step 2, certain other affected persons must be notified

As this application is not for a boundary activity, there are no affected persons related to that type of activity (s95B(7)).

The following assessment addresses whether there are any affected persons that the application is required to be limited notified to (s95B(8)).

In determining whether a person is an affected person:

- a person is affected if adverse effects on that person are minor or more than minor (but not less than minor);
- adverse effects permitted by a rule in a plan or NES (the permitted baseline) may be disregarded; and
- the adverse effects on those persons who have provided their written approval must be disregarded.

Adversely Affected Persons Assessment (Sections 95B(8) and 95E)

Building, Engineering & Design has provided, in accordance with Schedule 4 of the RMA, an assessment of adversely affected persons in page 15 of the AEE in such detail as corresponds with the scale and significance of the effects that the activities may have on persons in the surrounding environment.

Whilst the adverse effects on persons, additional support has been obtained from neighbours, see neighbour approval:

- Notice-of-written-approval-form – 1 North Rd Kawakawa
- Notice-of-written-approval-form – 5 North Rd Kawakawa

Any visual effects will be concealed within the site, no surrounding sites will be affected by the proposed minor residential unit.

Overall, it is concluded that there are no adversely affected persons to this proposal.

Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrants it being notified to any other persons not already determined as eligible for limited notification (excluding persons assessed under Section 95E as not being affected persons).

Special circumstances are those that are:

- Exceptional, abnormal or unusual, but something less than extraordinary or unique;
- outside of the common run of applications of this nature; or
- circumstances which make limited notification to any other person desirable, notwithstanding
- the conclusion that no other person has been considered eligible.



In this instance I have turned my mind specifically to the existence of any special circumstances under s95B(10) and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that notification to any other persons should occur.

Limited Notification Conclusion

Having undertaken the s95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes limited notification of the activities, and the application is for activities other than that specified in s95B(6)(b).
- Under step 3, limited notification is not required as it is considered that the activities will not result in any adversely affected persons.
- Under step 4, there are no special circumstances that warrant the application being limited notified to any other persons.

It is therefore recommended that this application be processed without limited notification.

Proposal Conclusion

The resource consent application is granted since:

1. In accordance with an assessment under ss104(1)(a) and (ab) of the RMA, the actual
a. and potential effects from the proposal will be acceptable as: There will be no adverse or visual amenity effects as a result of the proposal.
2. In accordance with an assessment under s104(1)(b) of the RMA, the proposal is
a. consistent with the relevant statutory documents. In particular the application is consistent with the objectives and policies contained within the RPZ
3. The application is aligned to relevant objectives and policies are contained within chapter the RPROZ.

Thanking you, best regards,

Yours faithfully.

Aaron Patterson, Managing Director, Building Engineering & Design
Chartered Member Engineering NZ, CMGNZ 1160121, Licenced Practicing Builder BP137251, Master in Business Administration (Law), Member NZ Geotechnical Society, Member Structural Engineering Society, Member Building Officials Institute of New Zealand.

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Location Plan

Building Consent

Alterations & Compliance for Jeremiah Bos

3 North Road, Kawakawa, Far North District

Project #
240207



Building,
Engineering &
Design

ID	Layout Name	Rev.ID
	Cover	03
001	General	02
101	Site Plan	03
201	Existing Ground Floor Plan	03
202	Existing First Floor Plan	03
203	Proposed Ground Floor Plan	03
204	Proposed First Floor Plan	03
205	Proposed Firecell Plan	02
206	Fire Ground Floor Plan	02
207	Fire First Floor Plan	02
208	Ground Floor Reflected Ceiling Plan	02
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401	Cross Sections	03
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503	Details - Joinery	03
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508	Details - Fire	02
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511	Details - Fire	02
512	Details - Fire	02
513	Details - Fire	01
514	Details - HWC	01



General

These drawings and the intellectual property it represents remain the copyright of Marc Vale Architecture Ltd & Building Engineering & Design Ltd.

These drawings must not be scaled. All dimensions to be read off the plans. All dimensions in millimetres unless stated otherwise otherwise.

Architectural Drawings to be read in conjunction with the Engineering Drawings, Specifications and Calculations

All work shall comply with the NZBC and all other relevant and associated standards, codes and Territorial Authority by-laws.

All work shall comply with the terms and conditions of the Building, Resource and Demolition Consents issued for this project.

All proprietary items and materials shall be handled, placed, stored, fixed, installed or applied in strict accordance with the manufacturers recommendations.

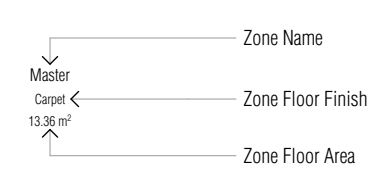
Contractor shall check and confirm on site all dimensions, levels, falls, heights etc. Any discrepancies or differences within the contract documents should be highlighted to the issuer of these drawings prior to starting the works.

Sediment and Soil run-off control shall be designed and installed by the licensed building practitioner prior to or during earthworks for the project. The sediment controls shall be installed in accordance with the requirements of the Territorial Authority.

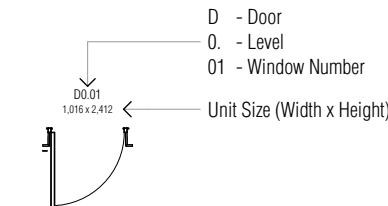
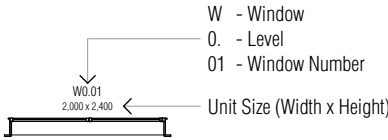
Abbreviations

(Generally in accordance with NZS/AS 1100)					
A	Area	h	Hob	S	Sink
AAV	Air Admittance Valve	H	High	sc	Sawcut Joint
AD	Above Datum	HD	Holding Down Bolt	Sched	Schedule
AFL	Above Floor Level	HG	Hot Dipped Galvanised	SD	Smoke Detector
AP	Access Panel	HL	Heat Loss	SED	Small End Diameter
Appr	Approved	Hor	Horizontal	SG8	Stress Grade 8
AS	Australian Standard	HP	Heatpump	Sh	Shower
		Ht	Hose tap	SHS	Square Hollow Section
		Hy	Hydrobox	Sht	Sheet
				Sim	Similar
B	Basin	IB	Inspection Board	Sk	Sketch
BM	Benchmark	ID	Inside Diameter	SP	Soil Pipe
		IL	Invert Level	sq/m	Square Metre
		IP	Inspection Point	SS	Sanitary Sewer
c/c	Centre to Centre			S/S	Stainless Steel
CB	Coach Bolt	kN	Kilonewton	STC	Sound Transmission Class
CBI	Coordinated Building Information	kW	Kilowatt	SV	Stack Vent
CHS	Circular Hollow Section			SW	Stormwater
cj	Control Joint				
CL	Centre Line	I	Litre	T	Tub
cm	Centimeter	L	Low	TBC	To be Confirmed
Conc	Concrete			TFC	Tapered Flange Channel
Corr	Corrugated	m	Metre	TGV	Tongue, Groove and Vee Joint
COS	Check on Site	M	Medium	TOP	Total Open Path
CP	Cesspit	max.	Maximum	TV	Terminal Vent
crs	Centres	Mf	Manifold	Typ	Typical
CS	Coach Screw	Mi	Mirror	t/s	Top Side
		min.	Minimum		
		mm	Millimetre	u/s	Under Side
D	Desk	MS	Mild Steel	UB	Universal Beam
DB	Distribution Board	Mx	Mixer	UC	Universal Column
DEP	Dead End Path	Mw	Microwave		
DG	Disconnecter Gully				
DHS	Diamond Hi-Span (Purlin)	N	Niche	VH	Very High
Dia	Diameter	nb	Nominal Bore		
Diag	Diagonal	NZBC	New Zealand Building Code	W	Water
Dim	Dimension	NTS	Not to Scale	WC	Water Closet (Toilet)
DN	Diameter Nominal	NZS	New Zealand Standard	WM	Washing Machine
DP	Downpipe			WR	Wardrobe
DPC	Damp Proof Course	O/A	Overall	WT	Wall Thickness
DPM	Damp Proof Membrane	O/F	Overflow		
DRG	Drawing	O/H	Overhead		
Dr	Dry	od	Outside Diameter		
Du	Duct	ORG	Overflow Relief Gully		
Dw	Dishwasher	OU	Outdoor Unit		
EA	Equal Angle	P	Power		
ej	Expansion Joint	pc	Precast Concrete		
EF	Extraction Fan	PFC	Parallel Flange Channel		
EH	Extra High				
ENG	Engineer(ed)				
		R	Radius		
F	Fridge	RAB	Rigid Air Barrier		
FL	Floor Level	Rad	Radiata		
FDL	Finished Deck Level	RC	Reinforced Concrete		
FFL	Finished Floor Level	RE	Rodding Eye		
FGL	Finished Ground Level	REF	Reference		
fg	Fixed Glass	RH	Rangehood		
FHR	Fire Hose Reel	RHS	Rolled Hollow Section		
FP	Fireplace	RL	Reduced Level		
FRR	Fire Resistance Rating	ROW	Right of Way		
		Rs	Rosehead		
Galv.	Galvanised				
GB	Gas Bayonet				
GC	Gas Califont				
GT	Gully Trap				

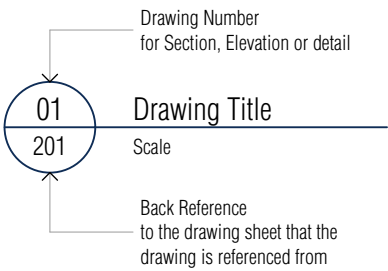
Zone Reference



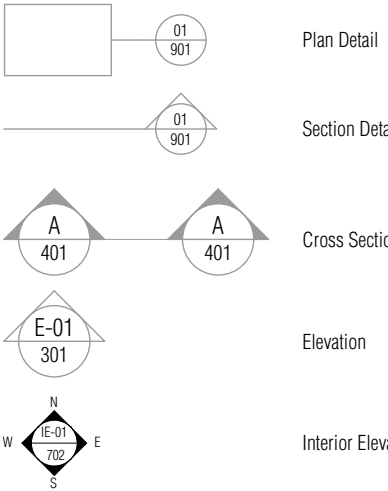
Exterior Joinery Coding



Drawing Titles



Drawing Markers



Expression of Levels



Floor Levels shown on sections & elevations

Relative level shown on sections & details



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

General

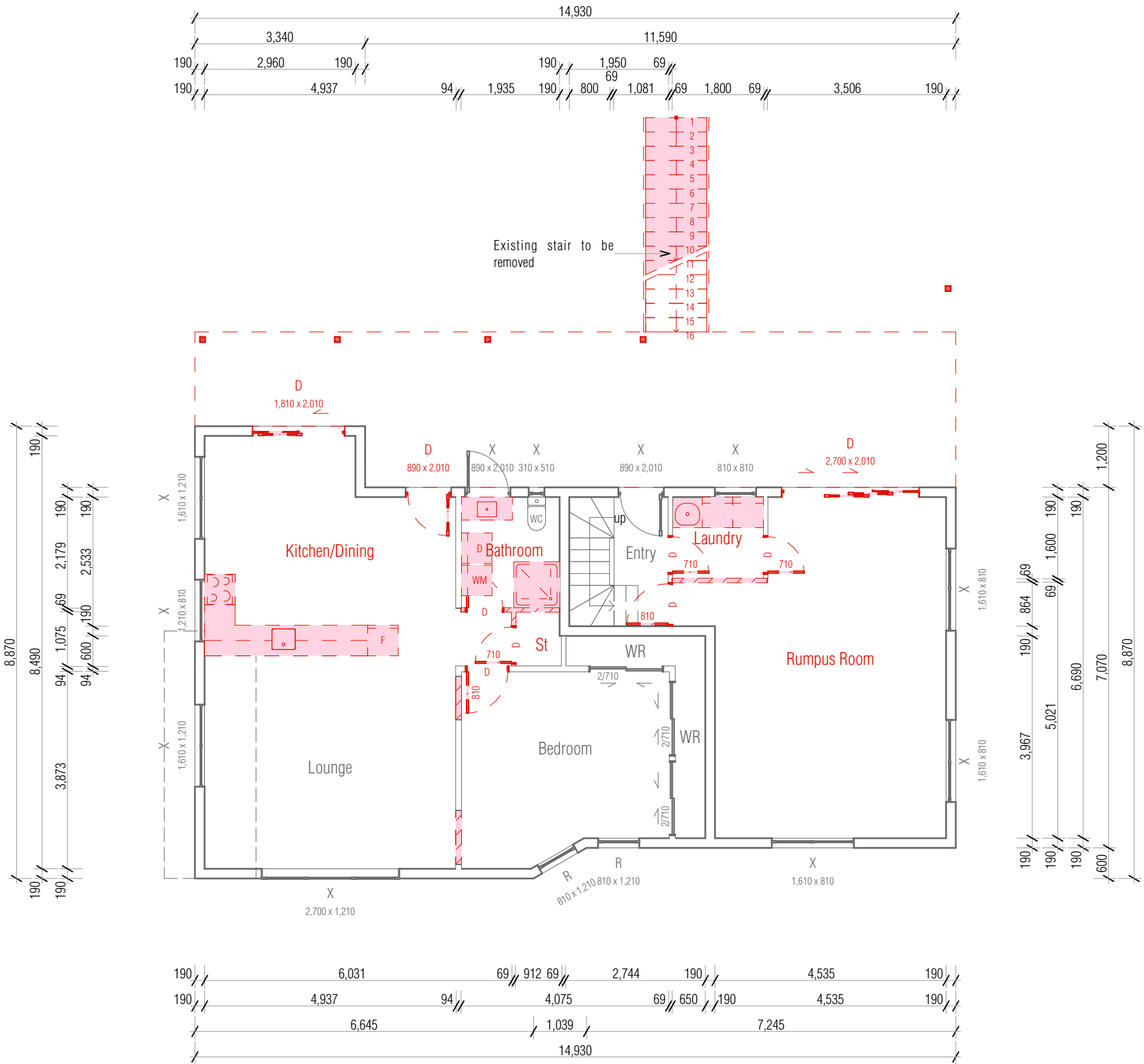
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N/A	Marc R. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

001 02

All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

Existing Ground Floor Area over Framing
113.86 m²



Key/Notes

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Key/Notes

Existing to remain
To be demolished

D = Window/Door to be Demo'd
X = Window/Door to remain
R = Repair Existing Window/Door
NW/ND# ## = New Window/Door

We confirm that the proposed building work will comply with the requirements of NZBC Clause F2.2 by ensuring that any risk associated with asbestos-containing materials is appropriately managed before and during construction. The following measures will be put in place:

Assessment of Existing Building Materials (if applicable):

03

Prior to any demolition or refurbishment, a qualified asbestos surveyor will carry out an asbestos survey (as per WorkSafe NZ guidelines). Any identified asbestos-containing materials (ACMs) will be managed and removed in accordance with the Health and Safety at Work (Asbestos) Regulations 2016.

Contractor Awareness and Management:

All contractors and subcontractors engaged in the project will be made aware of their obligations under the Health and Safety at Work Act 2015 and associated asbestos regulations. If asbestos is encountered unexpectedly during construction, work will cease in the affected area and an appropriate licensed asbestos removalist will be engaged.



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Existing Ground Floor Plan

Scale	1:100 @ A3	Drawn	Marc R. Vale
Date	02/07/2025	Checked	Marc Vale Architecture
Drawing no.	201	Revision	03

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Existing First Floor Area over Framing
108.04 m²



Key/Notes

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Key/Notes

Existing to remain

To be demolished

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Building,
Engineering &
Design



MARC VALE
ARCHITECTURE



AP
NZ
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

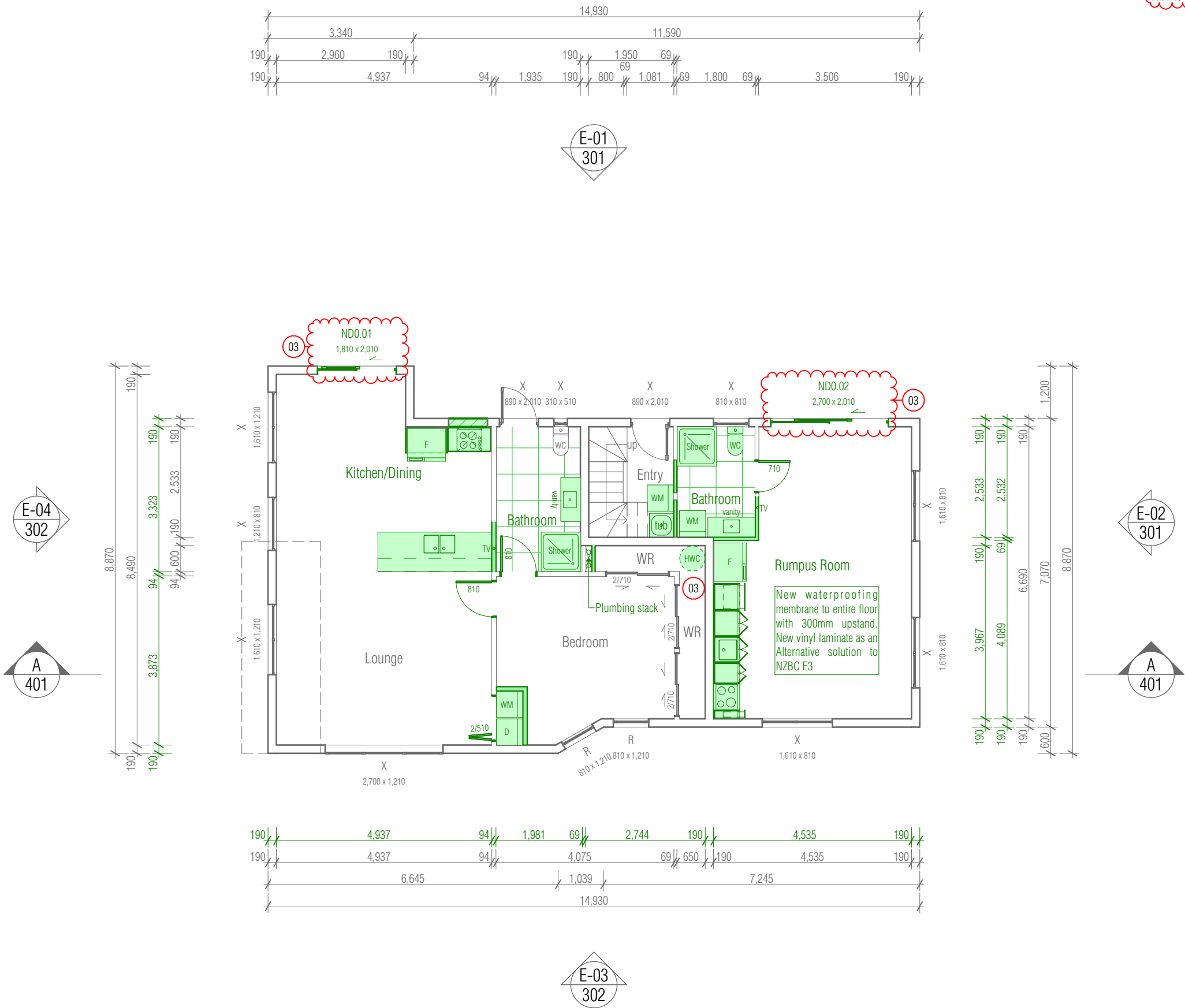
Sheet Title

Existing First Floor Plan

Scale	1:100 @ A3	Drawn	Marc R. Vale
Date	02/07/2025	Checked	Marc Vale Architecture
Drawing no.	202	Revision	03

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Existing Ground Floor Area over Framing
113.86 m²



Key/Notes

All new timber walls are non-load bearing. Fix internal bottom plates to existing concrete slab with Ramset 8x75 drive Pin & washer over DPC.

All new internal walls H1.2 90x45 SG8 studs @ 600crs, nogs @ 800crs

Key/Notes

Existing to remain

New timber framed wall

D = Window/Door to be Demo'd
X = Window/Door to remain
R = Repair Existing Window/Door
NW/ND# ## = New Window/Door

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Building to be assessed under Section 112 of the Building Act:

- The building's overall compliance with the Building Code (including other applicable clauses in addition to fire and accessibility, such as structure) must not be less than what it was prior to the alteration taking place.
- The whole building needs to be upgraded so that it complies as nearly as is reasonably practicable with the current Building Code clauses for fire and accessibility (if applicable under section 118 of the Building Act).

Waterproofing Membrane installed to entire bathroom floor area with 75mm upstands to walls

All flooring tiles to a mean coefficient of friction no less than 0.4

Ceiling/wall junction to match existing



MARC VALE
ARCHITECTURE



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

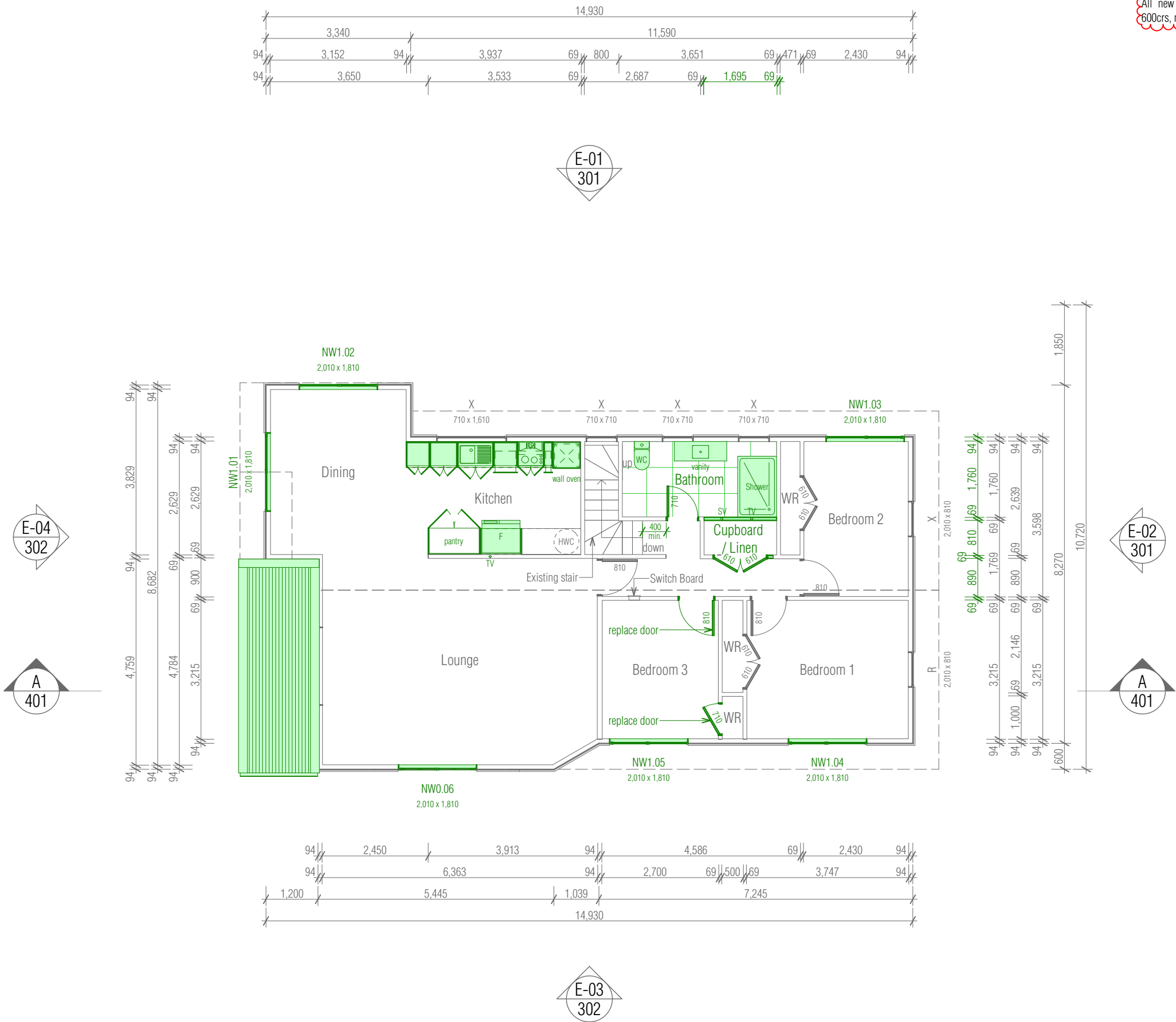
Sheet Title

Proposed Ground Floor Plan

Scale	1:100 @ A3	Drawn	Marc R. Vale
Date	02/07/2025	Checked	Marc Vale Architecture
Drawing no.	203	Revision	03

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Existing First Floor Area over Framing
108.04 m²



Key/Notes

03

All new timber walls are non-load bearing. Fix internal bottom plates to existing flooring with 90x3.15 power-driven nails @ 600crs max.

All new internal walls H1.2 90x45 SG8 studs @ 600crs, nogs @ 800crs

Key/Notes

Existing to remain

New timber framed wall

D = Window/Door to be Demo'd

X = Window/Door to remain

R = Repair Existing Window/Door

NW/ND# ## = New Window/Door

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

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Ceiling/wall junction to match existing

MARC VALE ARCHITECTURE

LICENSED BUILDING PRACTITIONER

AD NZ Professional Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

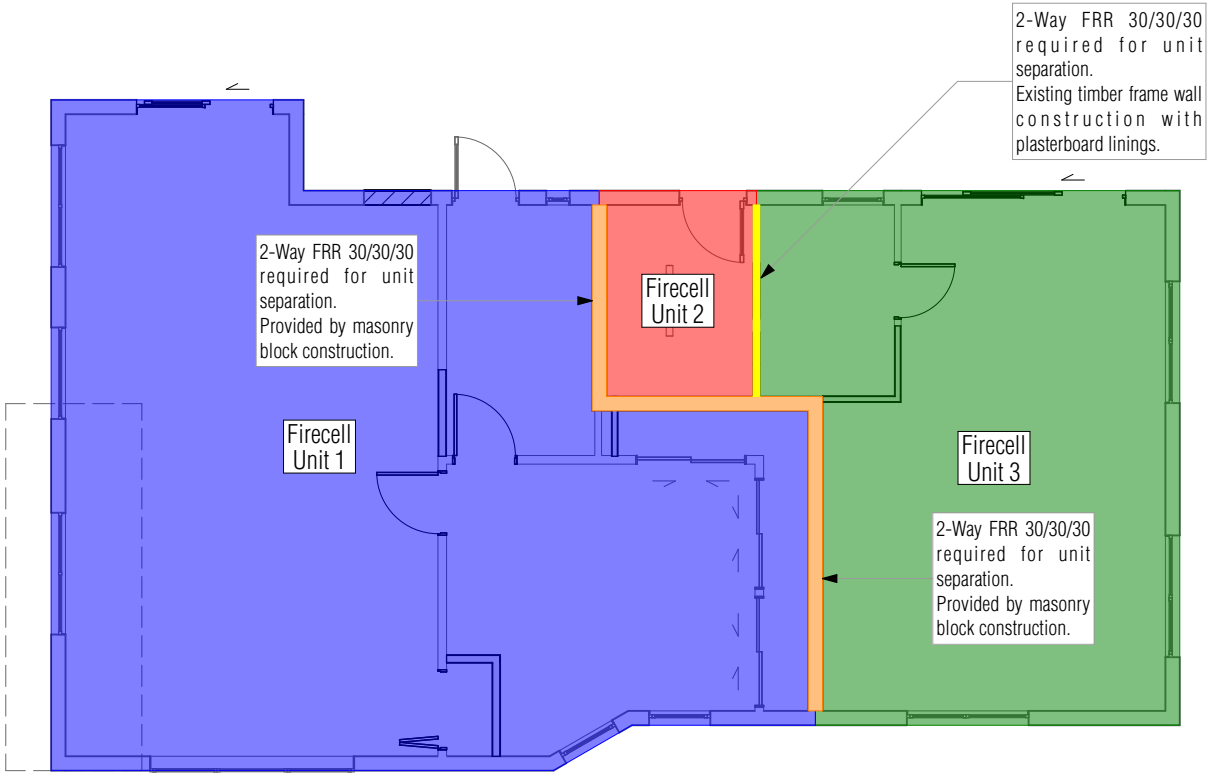
Sheet Title

Proposed First Floor Plan

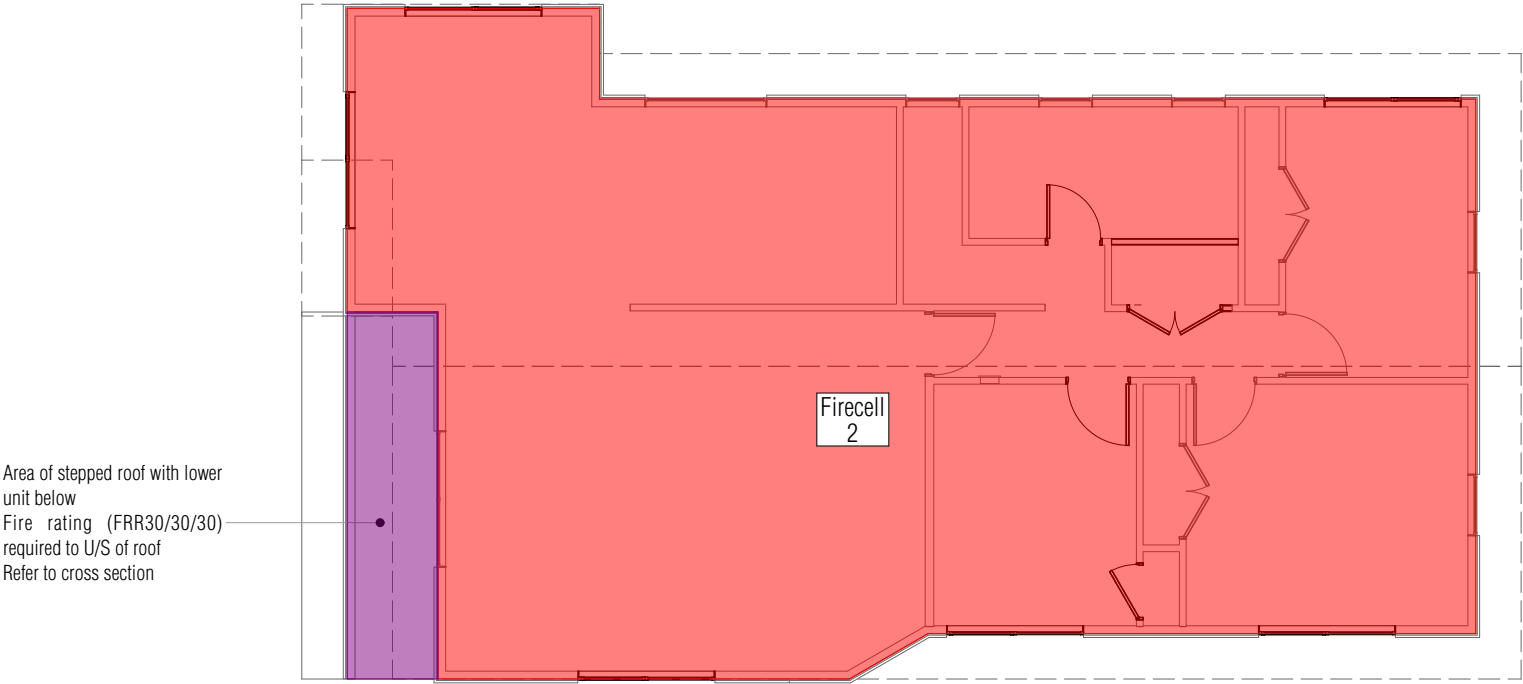
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Date	02/07/2025		Checked	Marc Vale Architecture	
Drawing no.	204		Revision	03	

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

To be read in conjunction with Fire Safety Report reference 19407 dated 18th December 2024 by RS Eng Limited



Ground Floor Firecell Plan



First Floor Firecell Plan



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Proposed Firecell Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

Drawing no. Revision

205 02

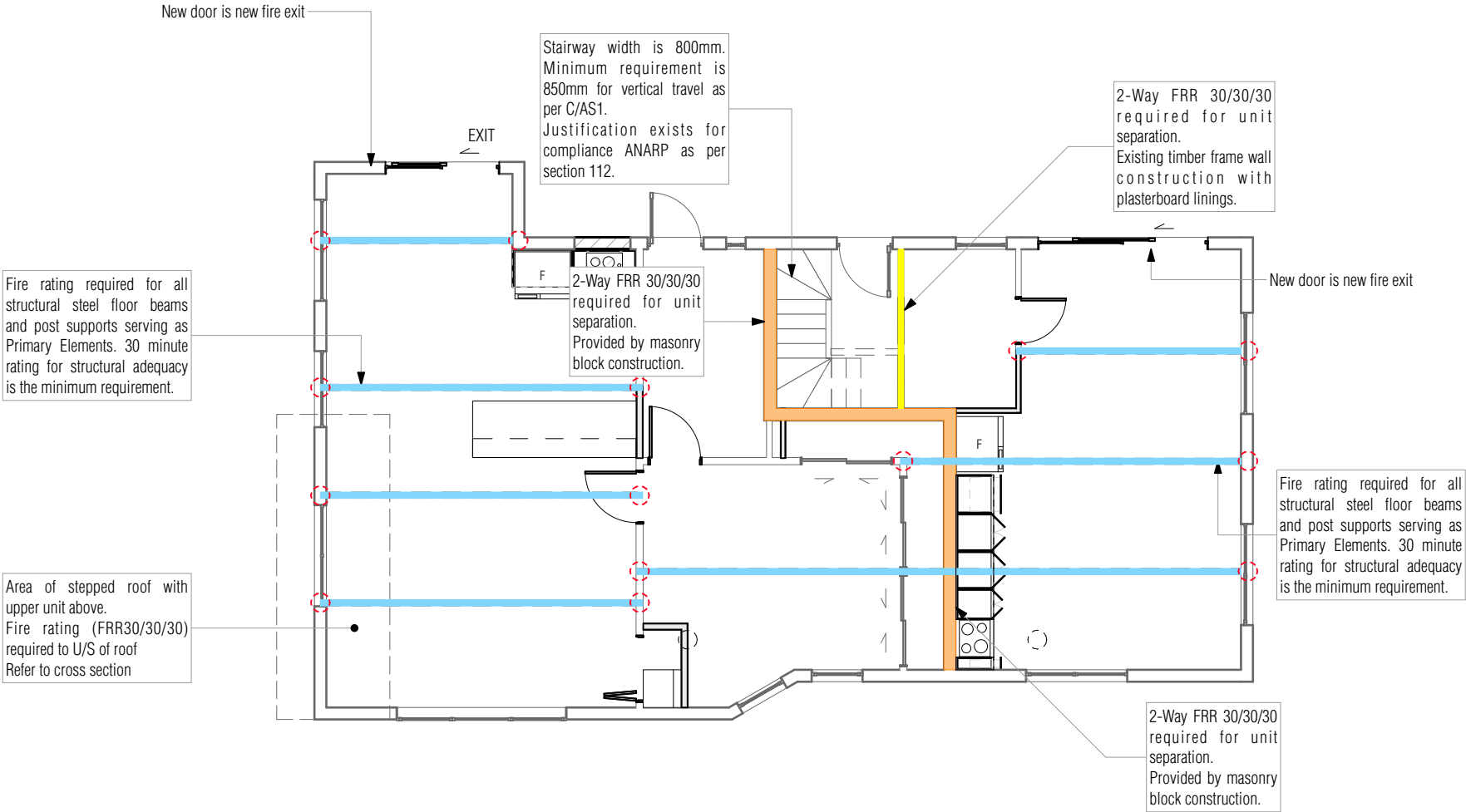
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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

A minimum Type 1 domestic smoke alarm, installed in accordance with C/AS1 and NZS4514: 2021.

Key/Notes

To be read in conjunction with Fire Safety Report reference 19407 dated 18th December 2024 by RS Eng Limited



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Fire Ground Floor Plan

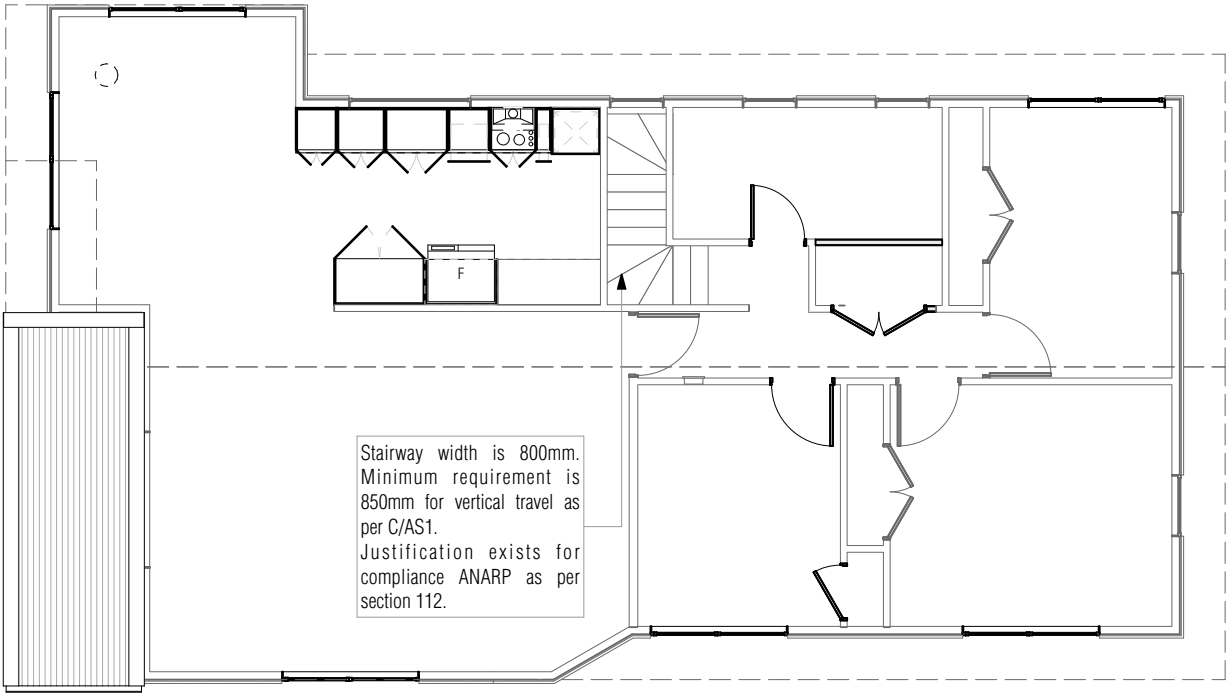
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Date	24/05/2025	Checked	Marc Vale Architecture
Drawing no.	206	Revision	02

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

A minimum Type 1 domestic smoke alarm, installed in accordance with C/AS1 and NZS4514: 2021.

Key/Notes

To be read in conjunction with Fire Safety Report reference 19407 dated 18th December 2024 by RS Eng Limited



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Fire First Floor Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

Drawing no. Revision

207 02

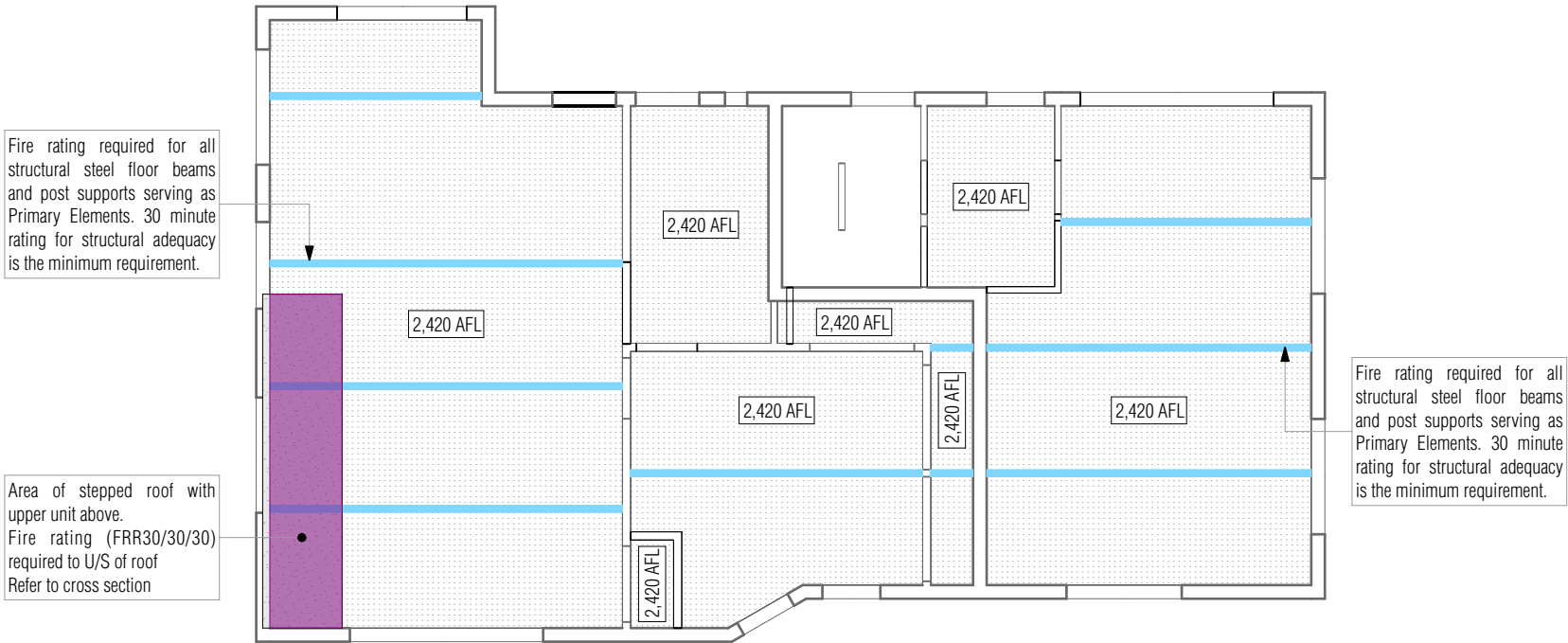
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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

Existing drawings indicate Fyreline. TBC on site, any new ceilings or repair in existing ceilings to be GIB 13mm Fyreline

Ceiling/wall junction to match existing

Ceiling heights to be confirmed on site



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Ground Floor Reflected Ceiling Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

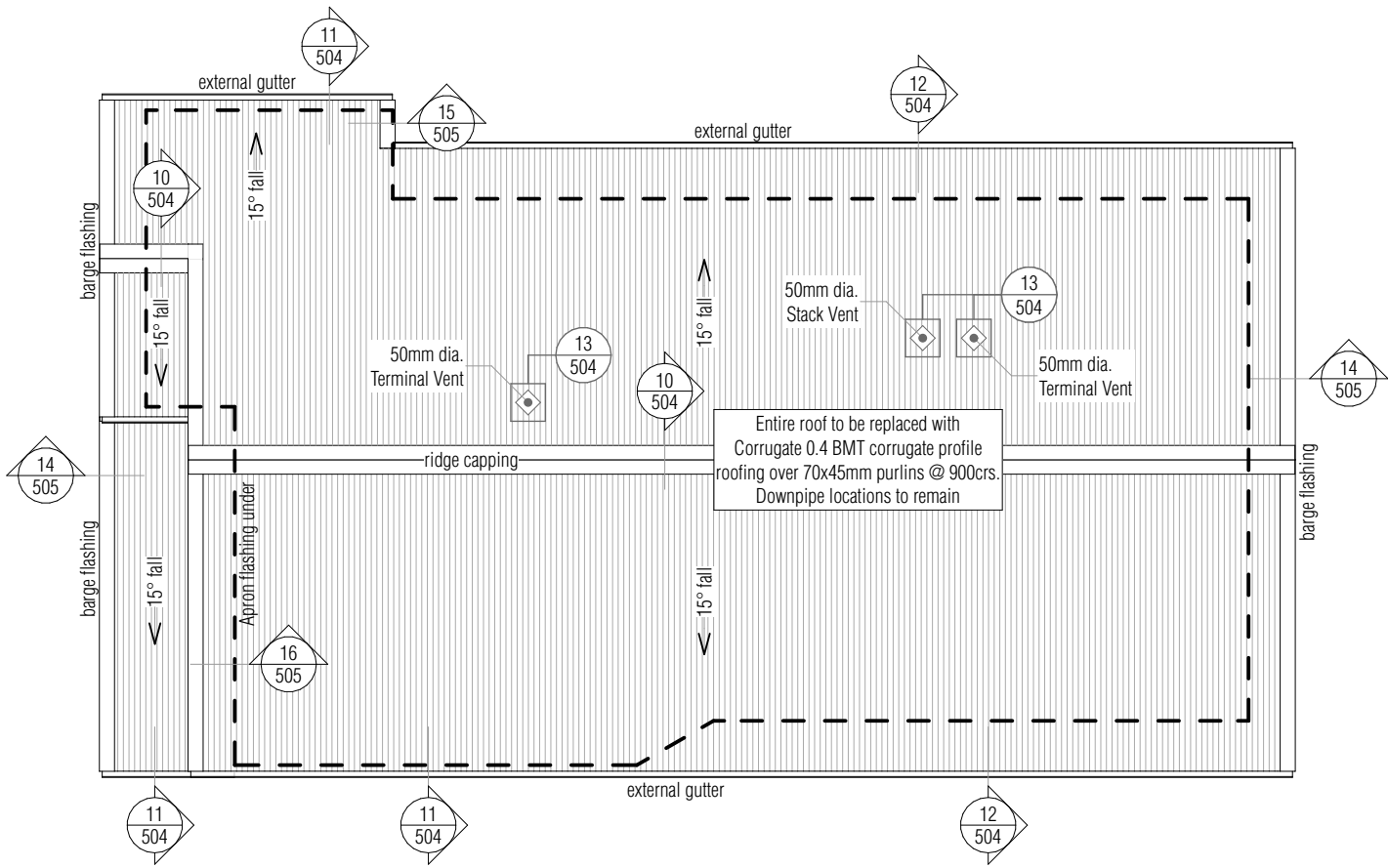
Drawing no. Revision

208 02

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

03 H1.2 70x45 SG8 purlins @ 900crs UNO. 600 end span. Fix with 1/10g self-drilling screw, 80 mm long.



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Roofing Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

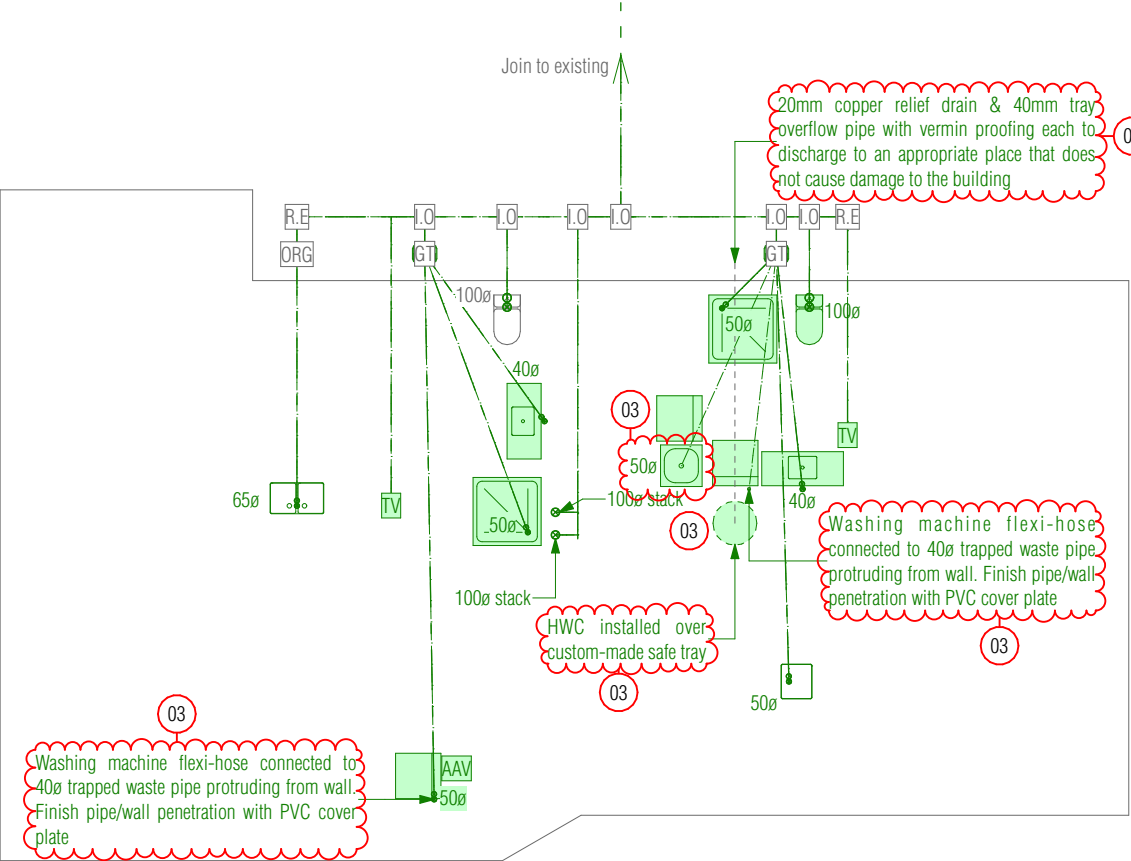
02/07/2025 Marc Vale Architecture

Drawing no. Revision

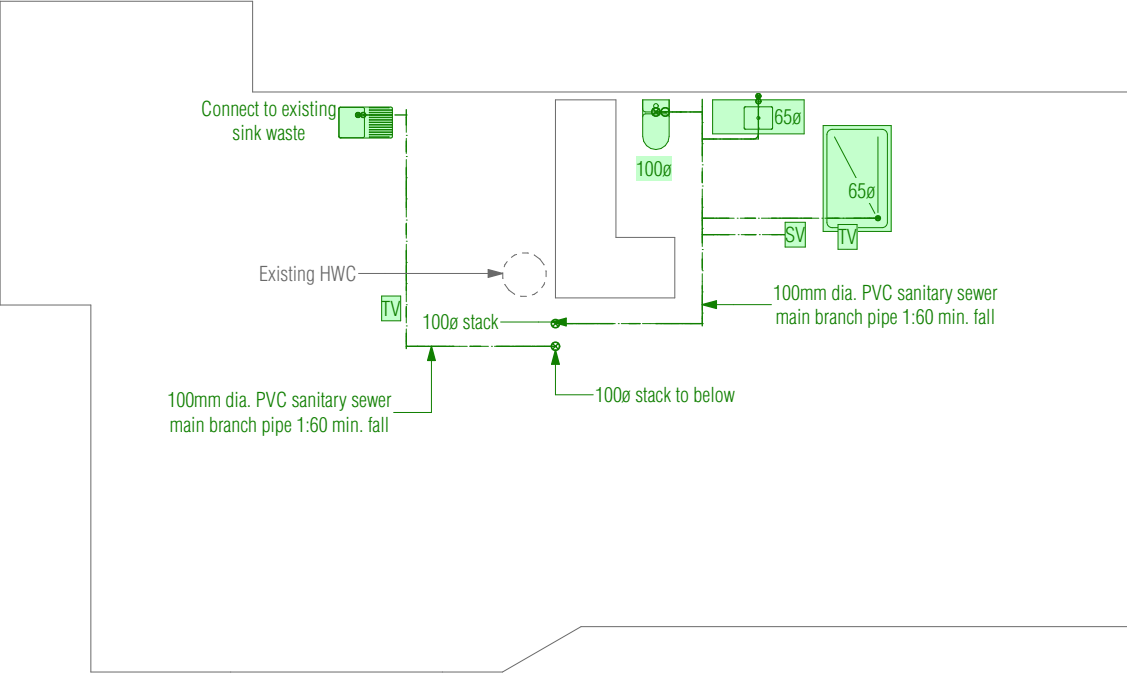
209 03

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025



Ground Floor Plumbing Plan



First Floor Plumbing Plan

Drains installed under buildings shall be:

a) Straight and of even gradient,

b) Separated from the building foundation by at least 25 mm, and

c) When passing through concrete, sleeved or wrapped in a durable and flexible material to allow for expansion and contraction.

Drains passing beneath buildings with a concrete slab on the ground floor shall have in addition to Paragraph 5.8.1:

a) 50 mm clearance from the top of the pipe to the underside of the slab, and

b) Junctions beneath the building joining at an angle of not more than 45°

Minimum Water supply pipe size as per G12/AS1 Table 4

- Minimum tempering valve size - 15mm

- Pipes to tempering valve - 20mm

- Pipes to shower - 20mm

- Pipes to sink/laundry - 15mm

- Pipes to bath - 15mm

- Pipes to basins - 10mm

Carry out all sanitary sewer work and complete all tests to NZBC G1/AS1: 2.0, 3.0 and AS/NZS 3500.2, as modified by NZBC G13/AS3

1:40 for 65mm diameter and under

1:60 for 100mm diameter and under

Carry out all stormwater work and complete all tests to NZBC E1/AS1

1:120 for 100mm diameter and under

Lay uPVC pipe systems to relevant sections of AS/ NZS 2032, NZS 2566.1 and AS/NZS 2566.2

All plumbing and drainage to be confirmed by contractor before commencement of works

A registered drainlayer/plumber is to provide an as-built layout to council

Key/Notes

RE Rodding Eye

IP Inspection Point

AV Air Admittance Valve

ORG Overflow Relief Gully

GT Gully Trap

TV 50Ø Terminal Vent

FV 50Ø Fixture Vent

SV 50Ø Stack Vent

--- uPVC Sanitary Sewer Pipe

DP Downpipe

--- 100mm uPVC Stormwater Pipe

HT Hosetap



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

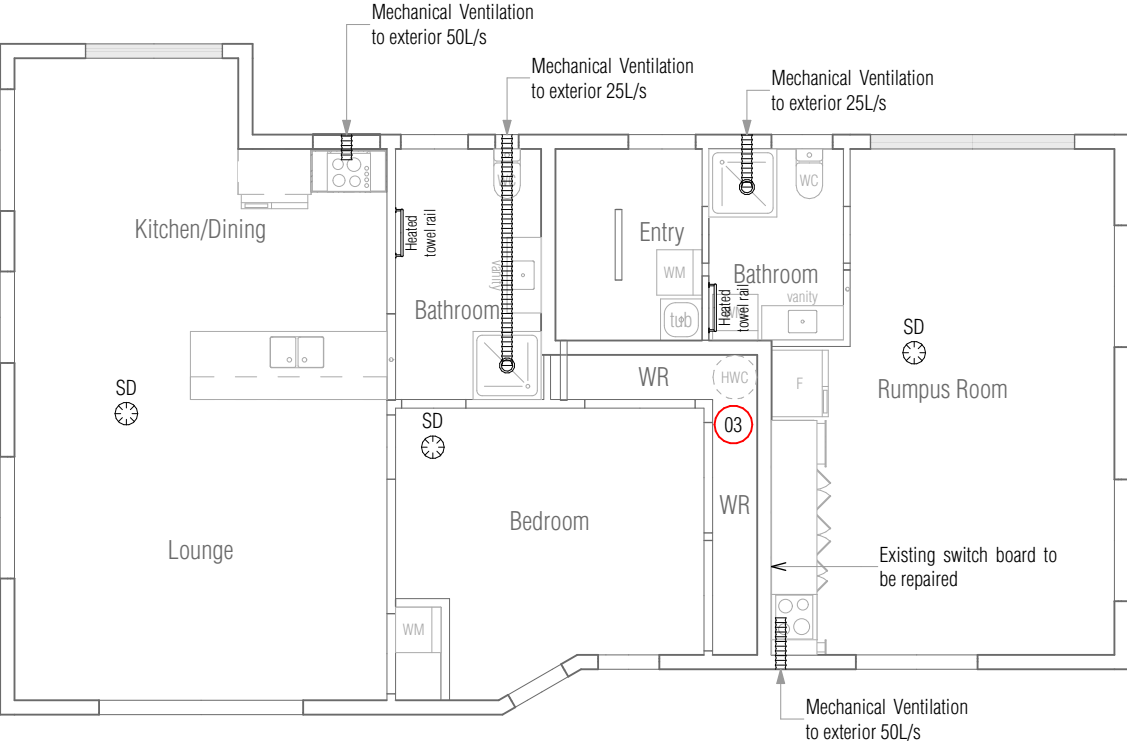
Plumbing + Drainage Plan

Scale	Drawn
1:100 @ A3	Marc R. Vale
Date	Checked
02/07/2025	Marc Vale Architecture
Drawing no.	Revision

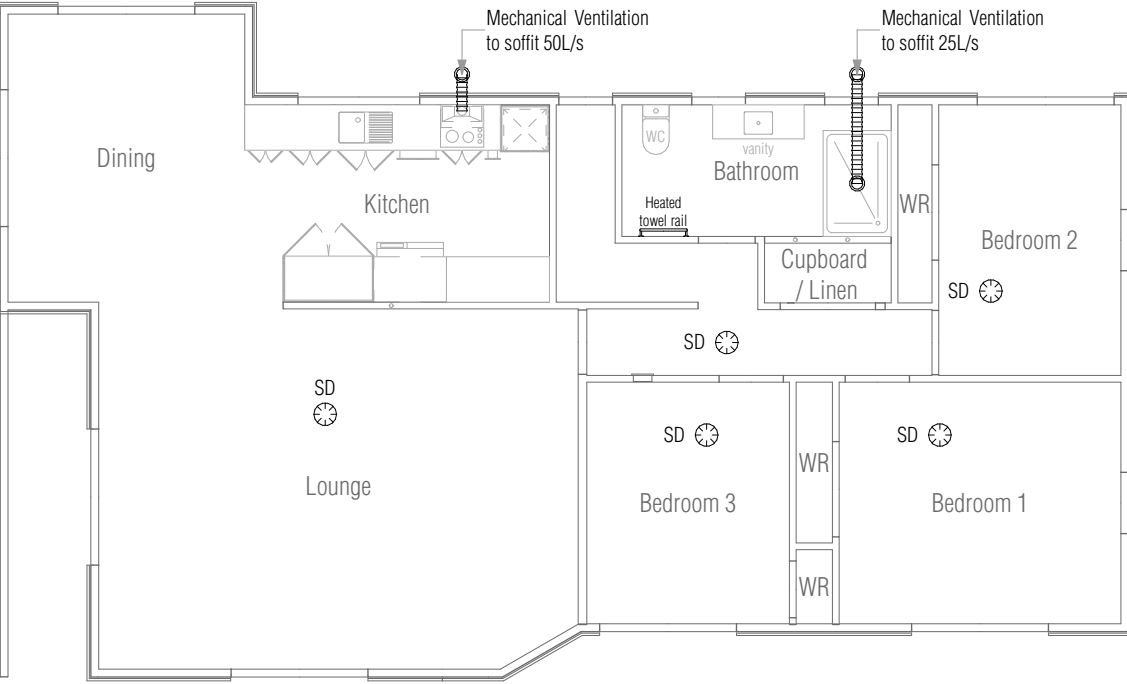
210 03

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RevID	Revision Name	Date
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025



Electrical + Ventilation Plan



Electrical + Ventilation Plan

Key/Notes

Mechanical Ventilation to NZS 4303:1990

All electrical work to be confirmed by client before commencement of works

Downlights to be IC-F or IC so that insulation does not require any insulation clearances.

Adequate artificial lighting in entrance (min. 20 lux at floor level) and when activated in the absence of sufficient natural light will enable safe moveable.

Internal stairs to have lighting with light switches located at top and bottom of stairs in compliance with D1/AS1 Section 4.6

Key/Notes

SD



Type 1 inter-connected wireless smoke alarm to NZBC F7/AS1 & NZS 4514:2011

Smoke alarms should not be located:

- (a) In dead air spaces as shown in NZS4514:2011 Figure 2.1;
- (b) within 300 mm of a light fitting;
- (c) closer than 400 mm to any air-supply opening;
- (d) closer than 400 mm outside the circumference of the blades of a ceiling fan;
- (e) In attics, roof spaces, or other places where extremes of temperature, dust and high airflows may occur;
- (f) Near a decorative object, door, light fitting, or window moulding that may prevent smoke from entering the sensing chamber;
- (g) On surfaces that are normally warmer or colder than the rest of the room, such as a poorly insulated ceiling below an unfinished attic or an uninsulated exterior wall;
- (h) closer than 400 mm to the supply air opening of an air-conditions unit or forced air ventilation unit
- (i) in, next to, or directly above heaters or air-conditioning vents, opening windows, or wall vents that can change the direction or airflow;
- (j) in dusty or dirty environments;
- (k) within 1 m from a cooktop, and where possible at least 3 m clearance from a cooktop should be maintained



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Electrical + Ventilation Plan

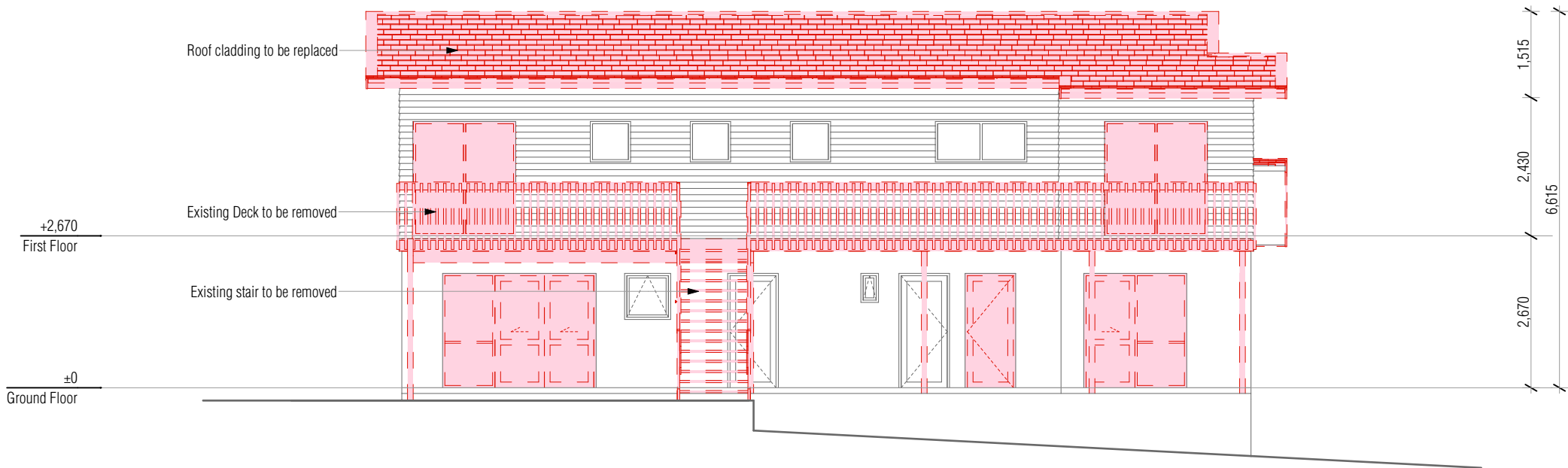
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1:100 @ A3	Marc R. Vale
Date	Checked
02/07/2025	Marc Vale Architecture
Drawing no.	Revision

212

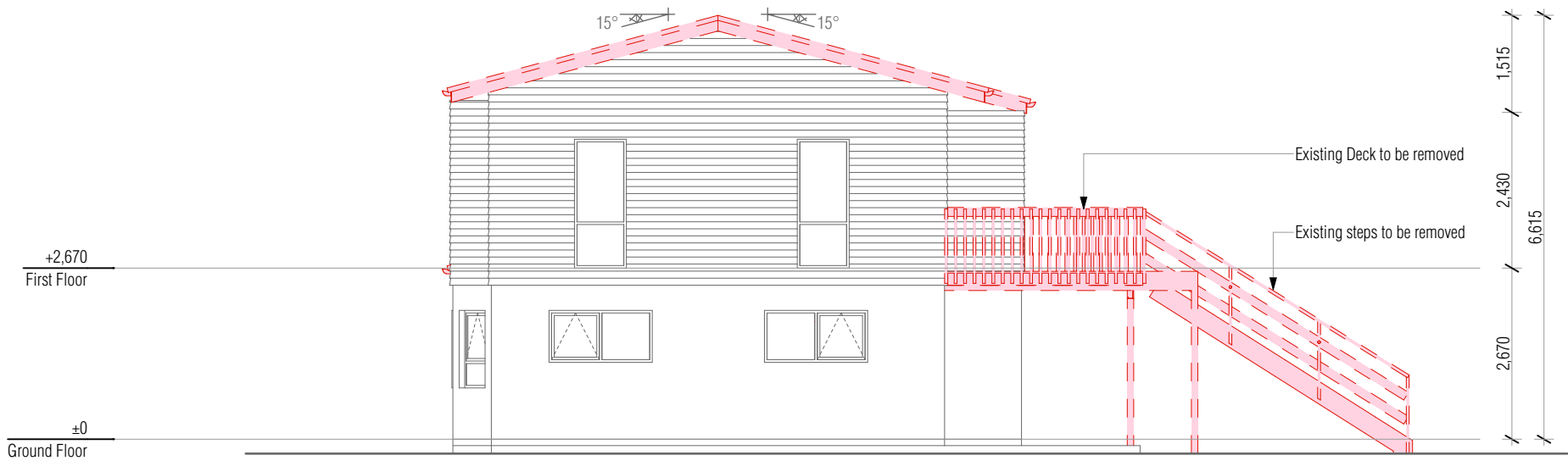
03

All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025



E-01 North Elevation
#LayID Scale 1:100



E-02 East Elevation
#LayID Scale 1:100



MARC VALE
ARCHITECTURE



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Existing Elevations

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

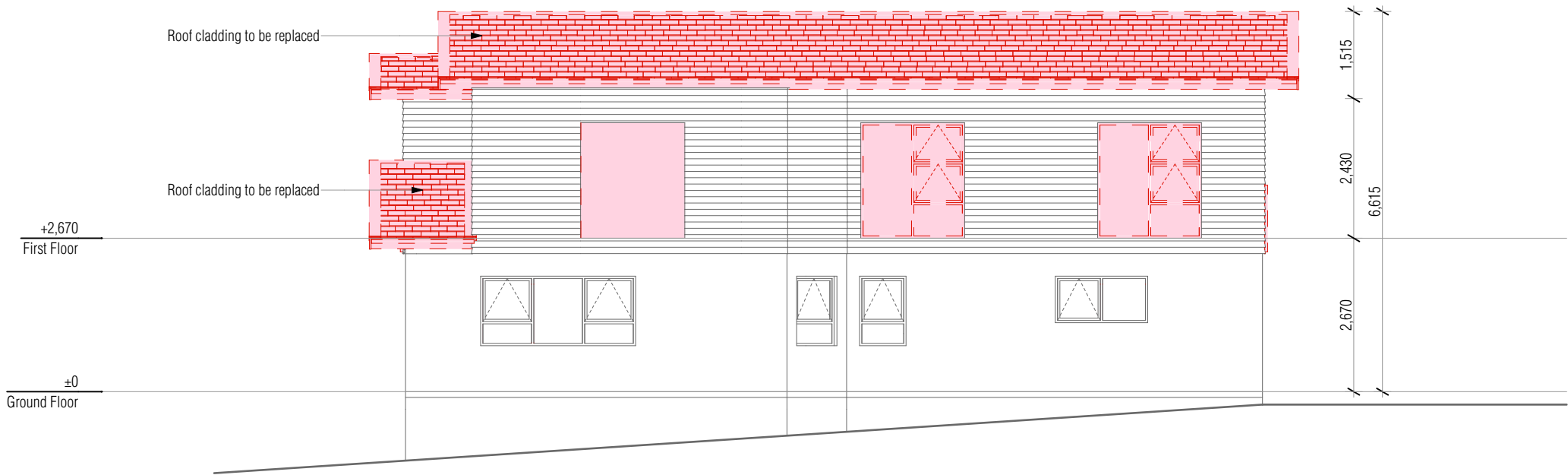
24/05/2025 Marc Vale Architecture

Drawing no. Revision

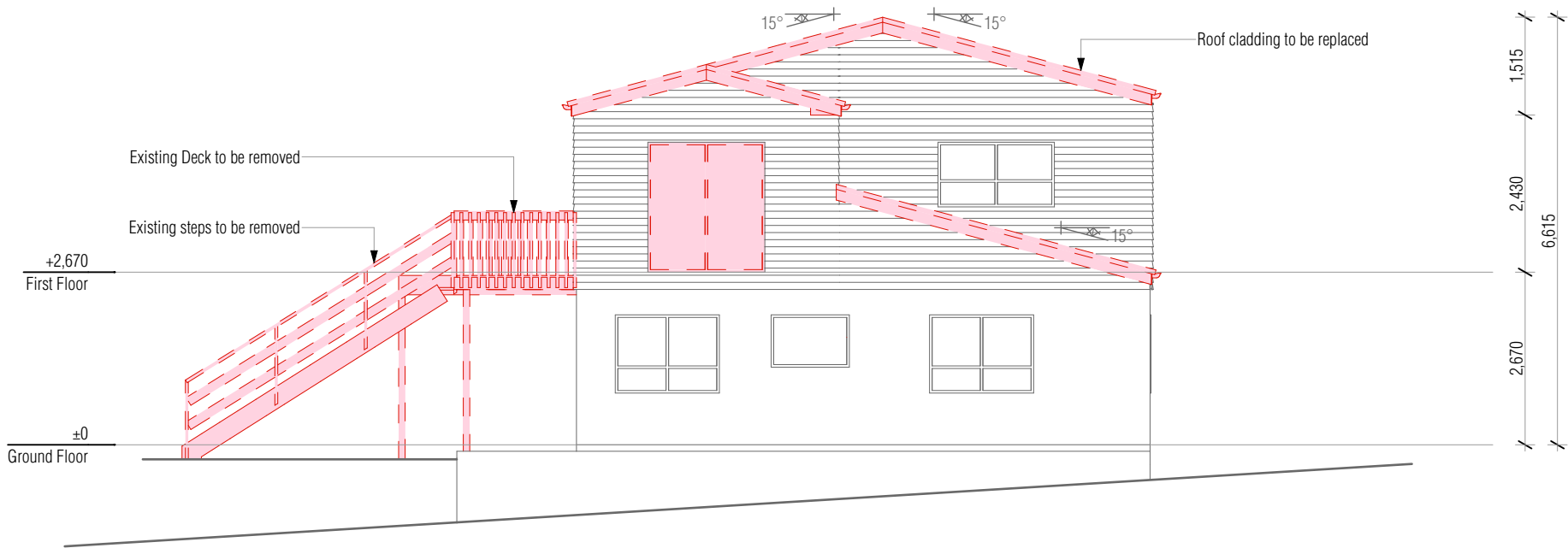
301 02

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025



E-03 South Elevation
#LayID Scale 1:100



E-04 West Elevation
#LayID Scale 1:100



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ARCHITECTURE



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

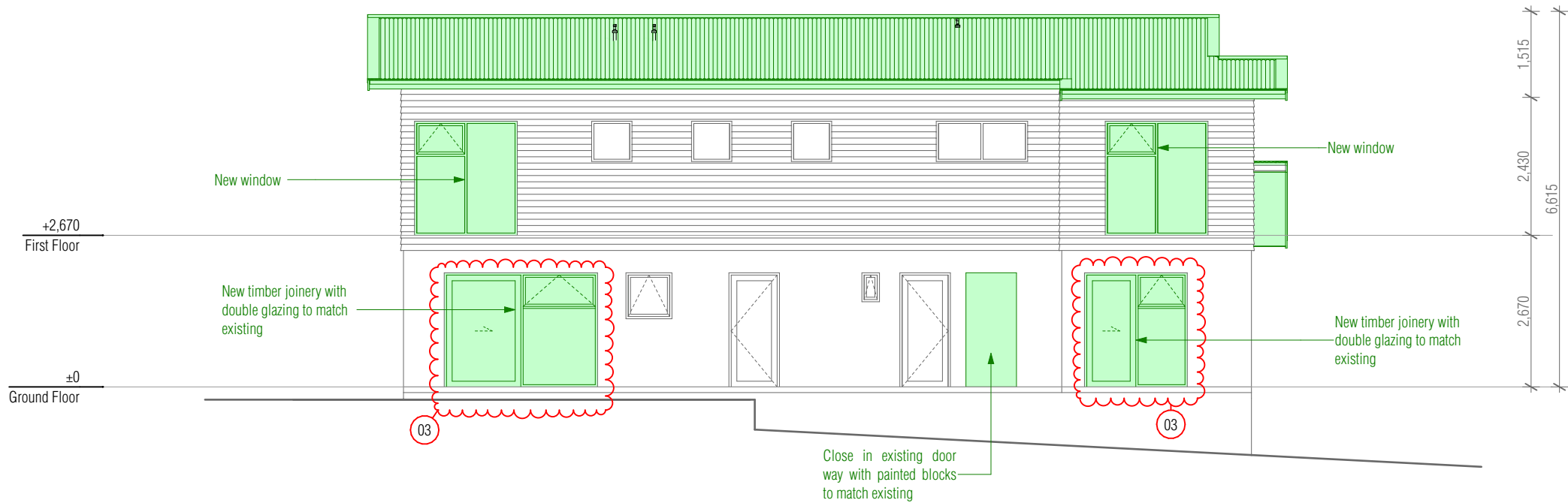
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Scale	Drawn
1:100 @ A3	Marc R. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

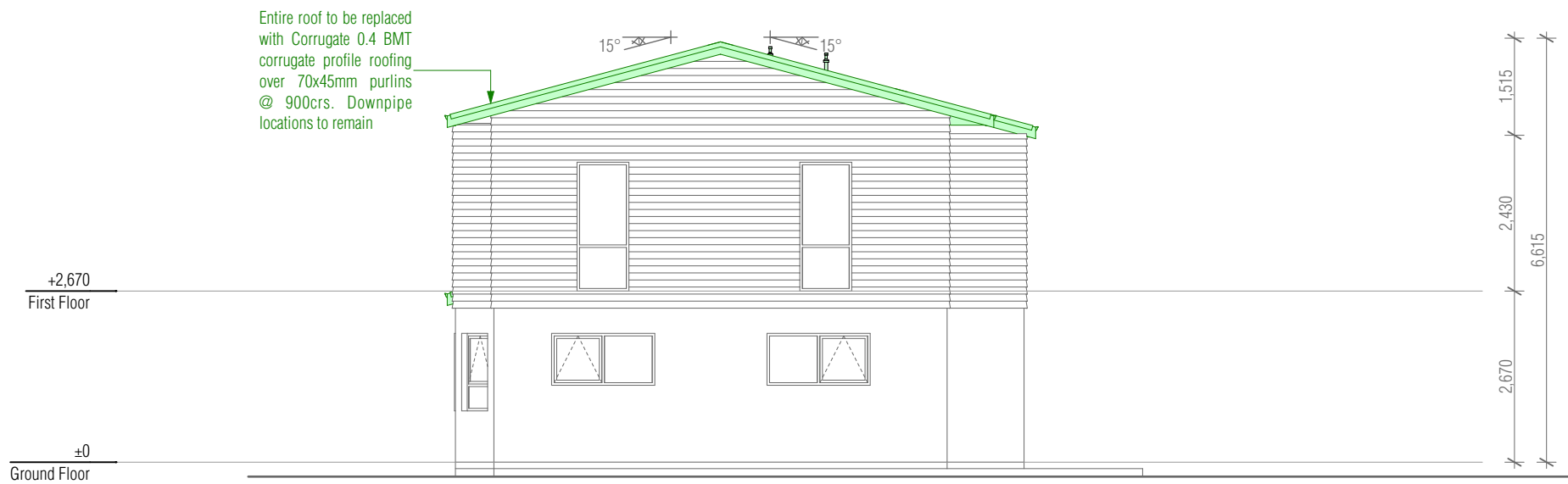
302 02

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025



E-01 North Elevation
#LayID Scale 1:100



E-02 East Elevation
#LayID Scale 1:100



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Jeremiah Bos

Project Title

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Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Proposed Elevations

Scale	Drawn
1:100 @ A3	Marc R. Vale
Date	Checked
02/07/2025	Marc Vale Architecture
Drawing no.	Revision

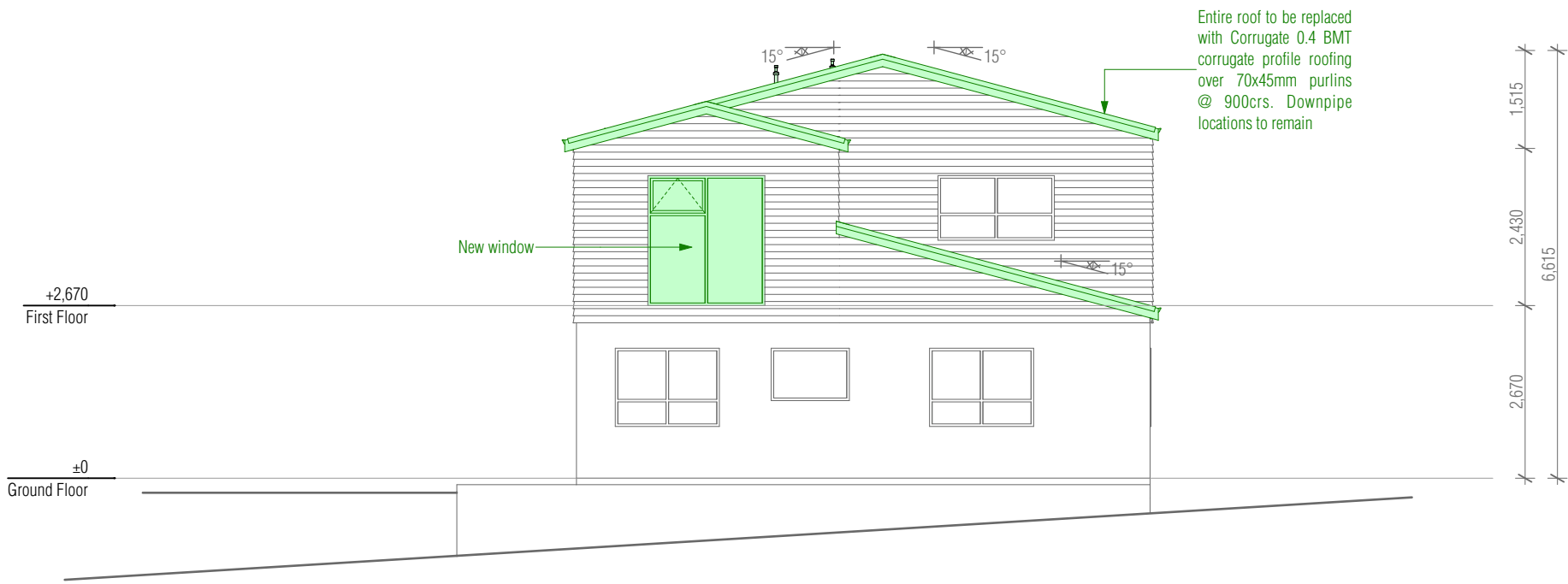
303 03

All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025



E-03 South Elevation
#LayID Scale 1:100



E-04 West Elevation
#LayID Scale 1:100



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Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

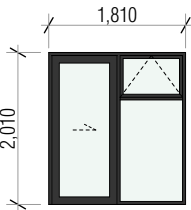
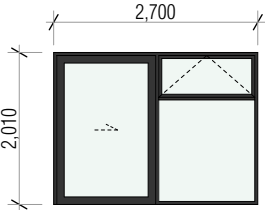
Proposed Elevations

Scale	Drawn
1:100 @ A3	Marc R. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

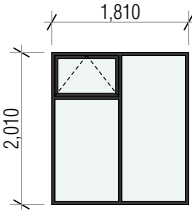
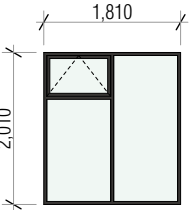
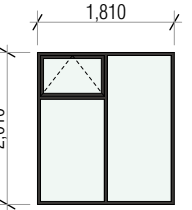
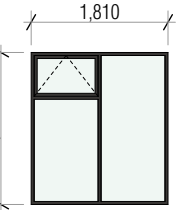
304 02

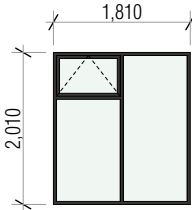
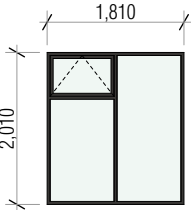
All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

Door / Window ID	ND0.01		ND0.02	
Quantity	1		1	
2D Elevation (Unit Size Dimensioned)				
	1,810x2,010		2,700x2,010	
	2,010		2,010	
	0		0	
	<input type="checkbox"/>		<input type="checkbox"/>	
Restrictor stays	<input type="checkbox"/>		<input type="checkbox"/>	
Double-Glazed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Safety Glass	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Frosted	<input type="checkbox"/>		<input type="checkbox"/>	

Proposed Ground Floor Joinery

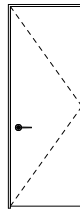

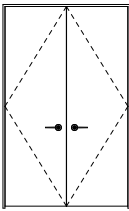
Door / Window ID	NW0.06		NW1.01		NW1.02		NW1.03	
Quantity	1		1		1		1	
2D Elevation (Unit Size Dimensioned)								
	1,810x2,010		1,810x2,010		1,810x2,010		1,810x2,010	
	2,010		2,010		2,010		2,010	
	0		0		0		0	
Restrictor stays	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Double-Glazed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Safety Glass	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Frosted	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>	

Door / Window ID	NW1.04		NW1.05	
Quantity	1		1	
2D Elevation (Unit Size Dimensioned)				
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	2,010		2,010	
	0		0	
Restrictor stays	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Double-Glazed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Safety Glass	<input type="checkbox"/>		<input type="checkbox"/>	
Frosted	<input type="checkbox"/>		<input type="checkbox"/>	

Proposed First Floor Joinery

Room Location	Bathroom		Bedroom	Lounge
Door Leaf	710	810	810	2/510 Bifold
Quantity	1	1	1	1
2D Elevation				
	750x2,020		850x2,020	1,060x2,020
	850x2,020		850x2,020	1,060x2,020
	850x2,020		850x2,020	1,060x2,020
	1,060x2,020		1,060x2,020	1,060x2,020
Frame W x H Size	750x2,020		850x2,020	1,060x2,020

Proposed Ground Floor Interior Door Schedule

Room Location	Bathroom	Bedroom 3	Bedroom 3 WR	Cupboard/Linen
Door Leaf	710	810	710	2/610
Quantity	1	1	1	1
2D Elevation				
	750x2,020	850x2,020	750x2,020	1,260x2,020
	750x2,020	850x2,020	750x2,020	1,260x2,020
	750x2,020	850x2,020	750x2,020	1,260x2,020
	750x2,020	850x2,020	750x2,020	1,260x2,020
Frame W x H Size	750x2,020	850x2,020	750x2,020	1,260x2,020

Proposed First Floor Interior Door Schedule

Key/Notes

All glazing to NZS 4223 - Parts 1 & 4:2008, Parts 2 & 3:2016

Dimensions shown are Unit Size



Building,
Engineering &
Design



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AD
NZ
Architectural
Designers
New Zealand
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

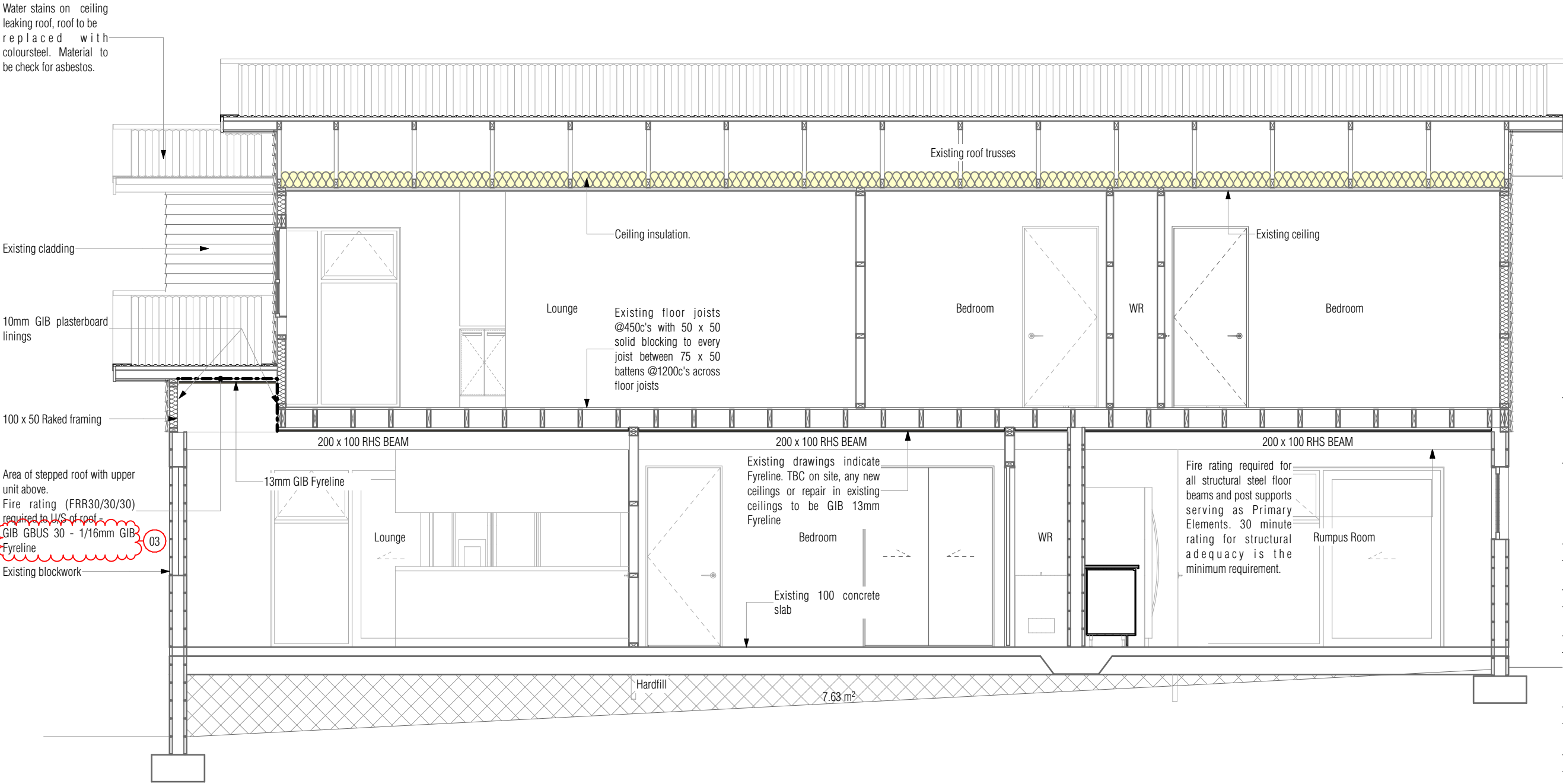
Sheet Title

Door & Window Schedule

Scale	1:100 @ A3		Drawn	Marc R. Vale
Date	02/07/2025		Checked	Marc Vale Architecture
Drawing no.	305		Revision	03

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

All new internal walls non-load bearing. 90x45 SG8 studs @ 600crs, nogs @ 800crs max



A Cross Section A-A
1:50 203, 204



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Project Title

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Site Address

3 North Road, Kawakawa, Far North District

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Building Consent

Sheet Title

Cross Sections

Scale Drawn

1:50 @ A3 Marc R. Vale

Date Checked

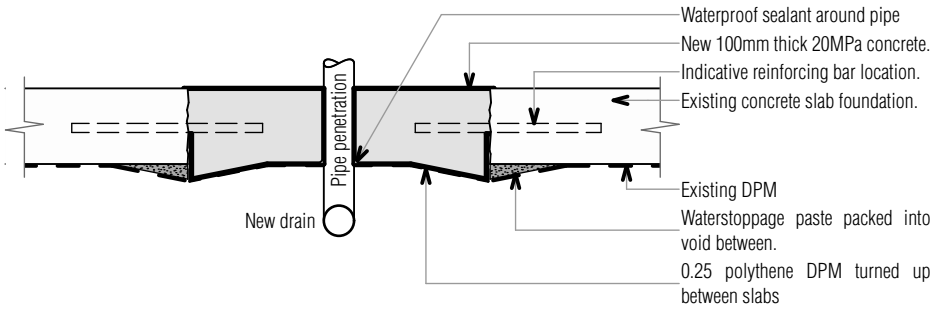
02/07/2025 Marc Vale Architecture

Drawing no. Revision

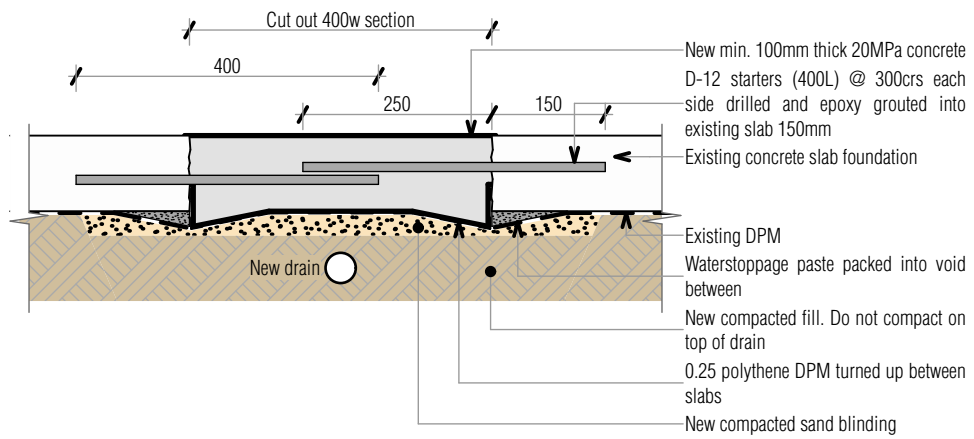
401 03

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025



01 Slab Penetration
Scale 1:10



02 Slab Chase
Scale 1:10



Client

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Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Foundation

Scale Drawn

1:10 @ A3 Marc R. Vale

Date Checked

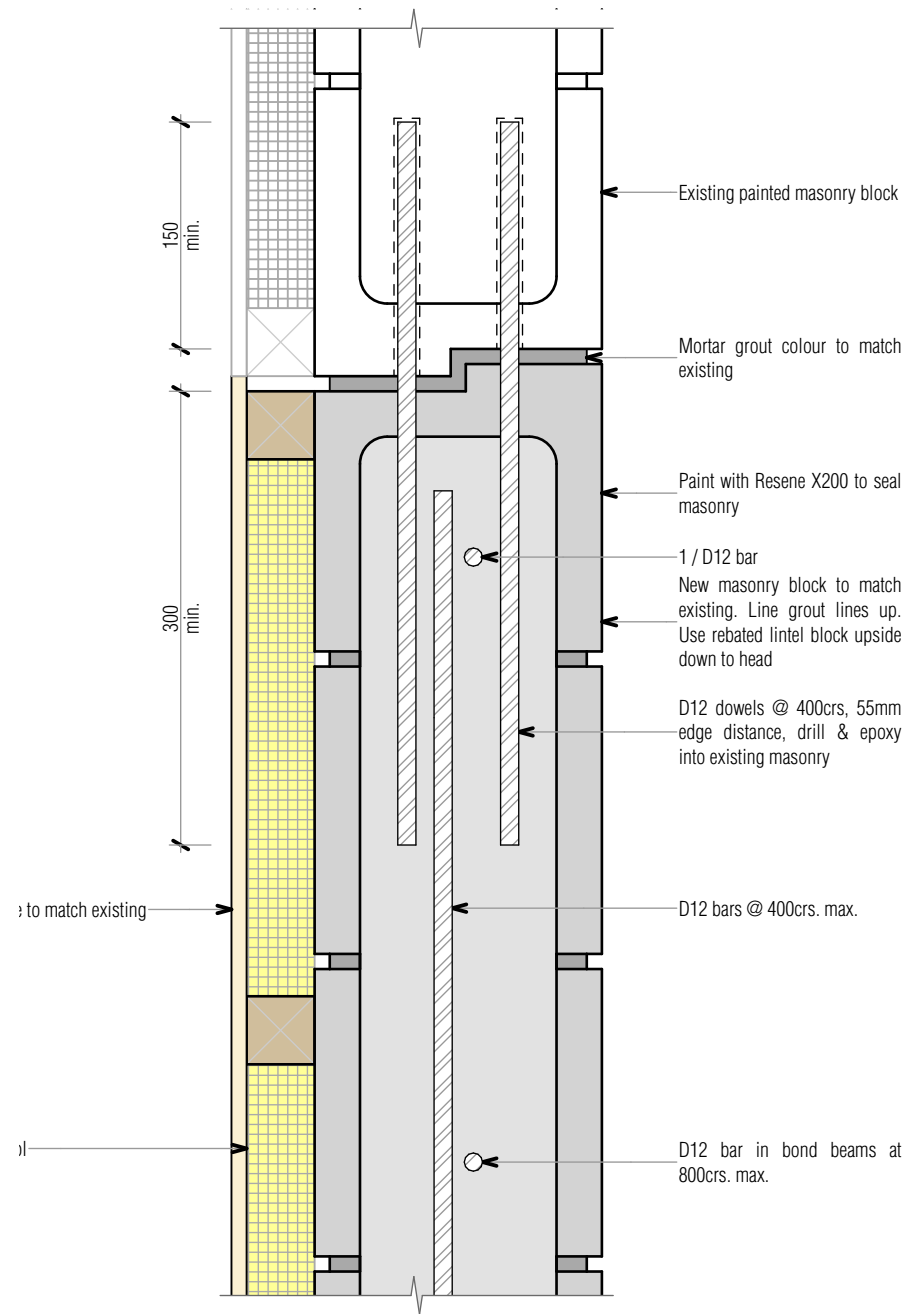
24/05/2025 Marc Vale Architecture

Drawing no. Revision

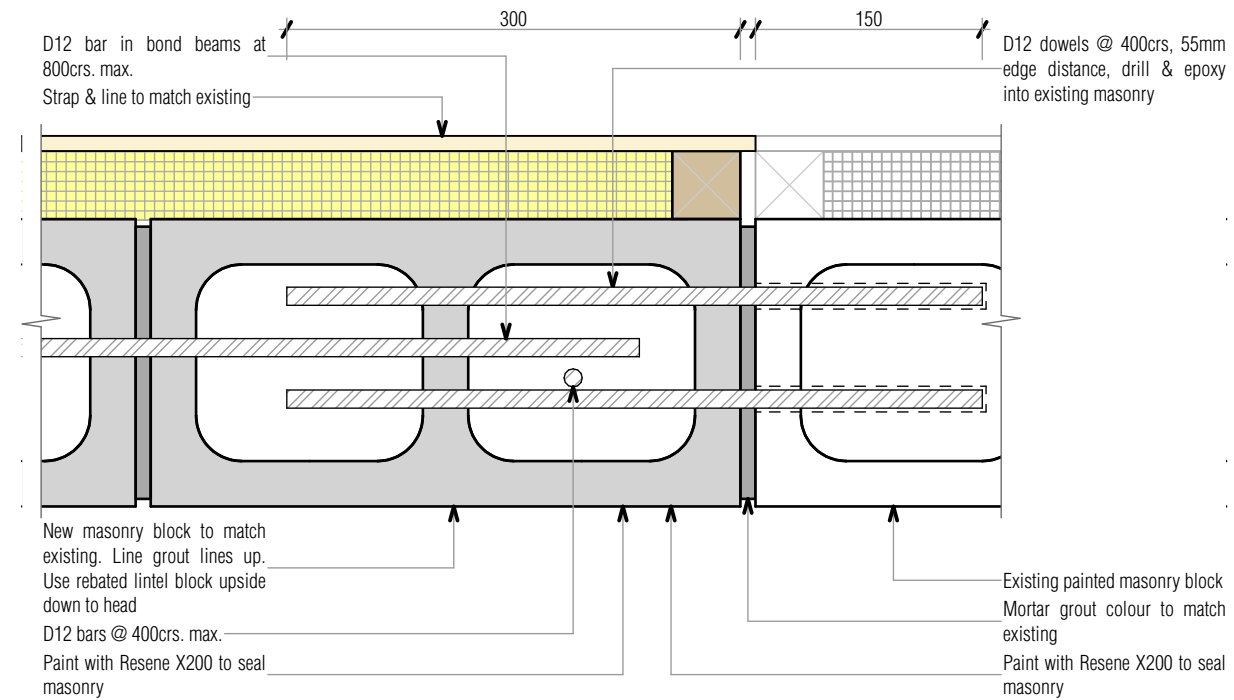
501 02

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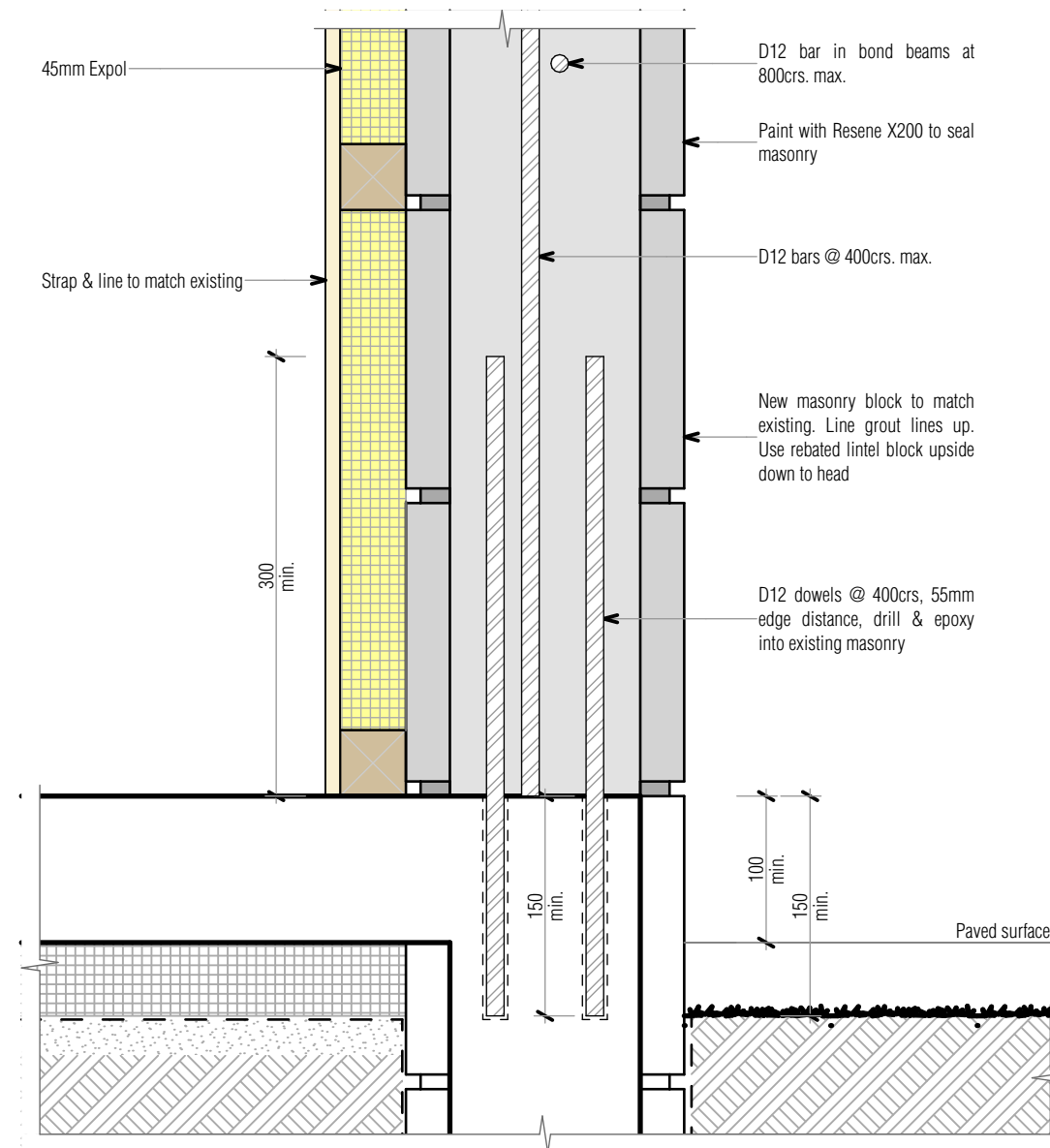
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02	Building Consent	24/05/2025



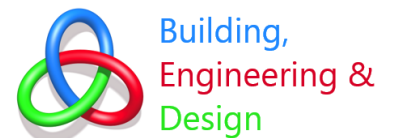
01 Block Infill - Head
Scale 1:5



02 Block Infill - Jamb
Scale 1:5



03 Block Infill - Base
Scale 1:5



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Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Masonry Infill

Scale 1:5 @ A3

Date 24/05/2025

Drawing no. 502

Revision no. 02

Revision Name Building Consent

Date 24/05/2025

RevID 02

Revision Name Building Consent

Date 24/05/2025

RevID 02

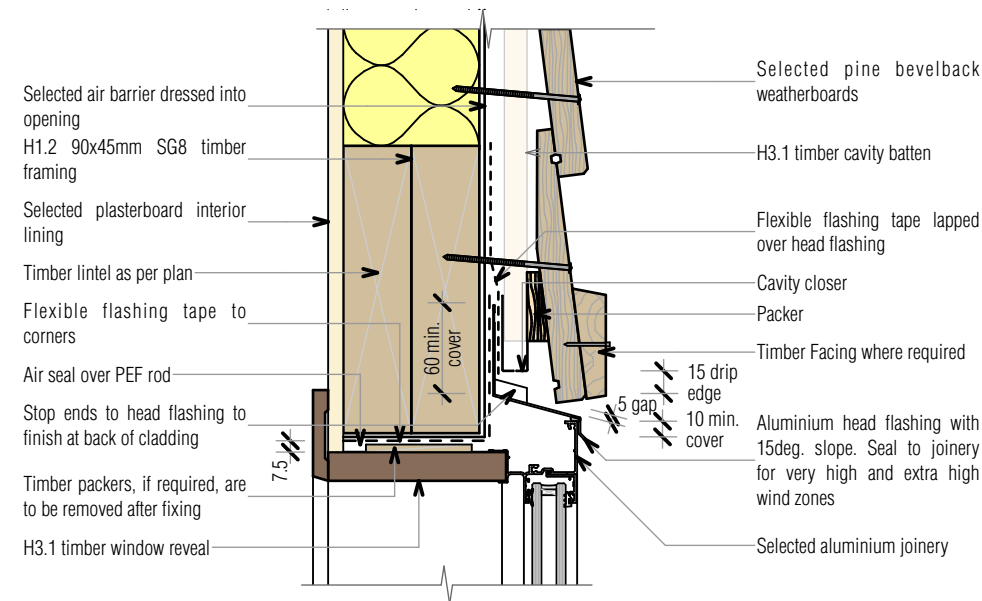
Revision Name Building Consent

Date 24/05/2025

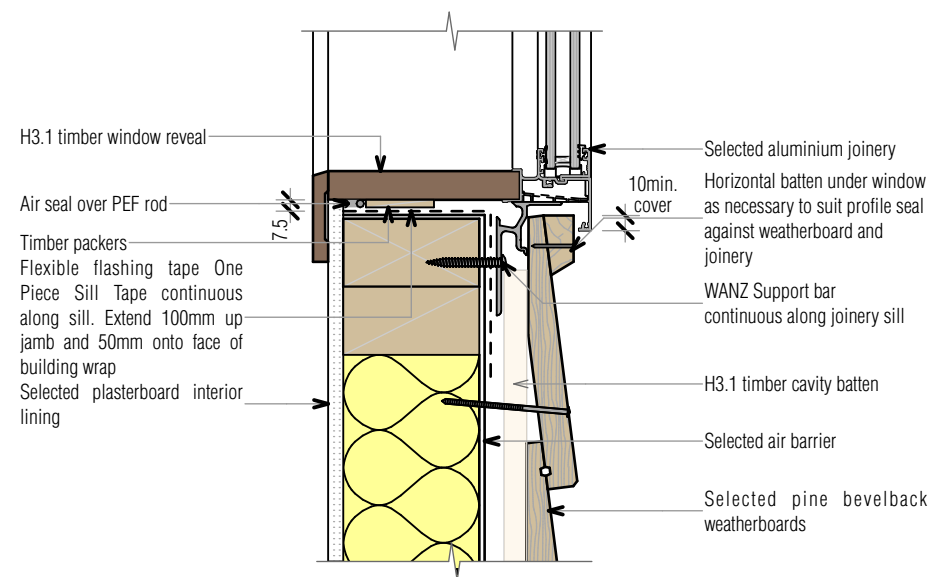
RevID 02

Revision Name Building Consent

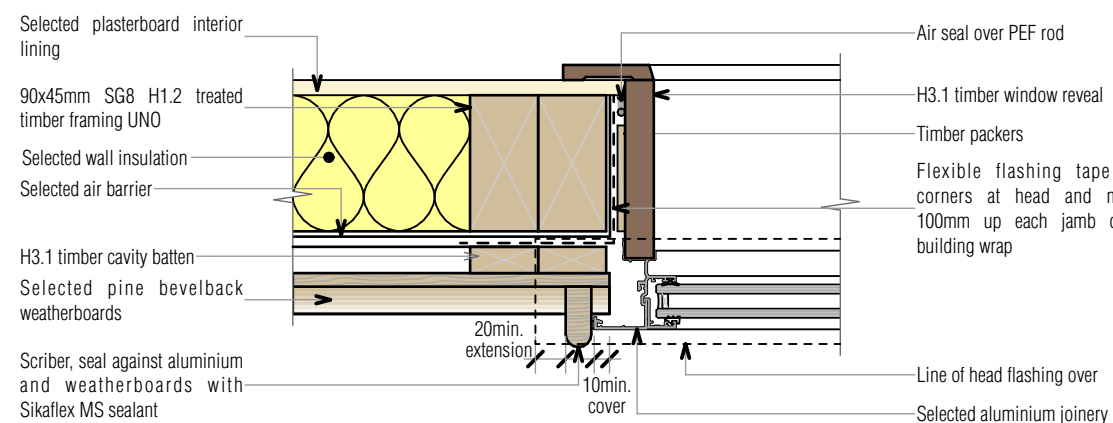
Date 24/05/2025



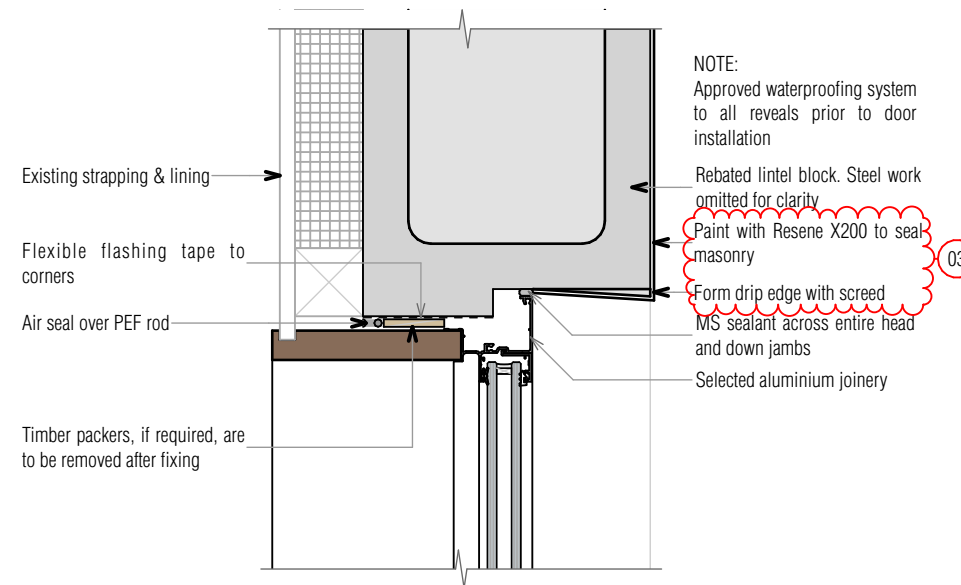
04 Window Head - Pine Bevelback
Scale 1:5



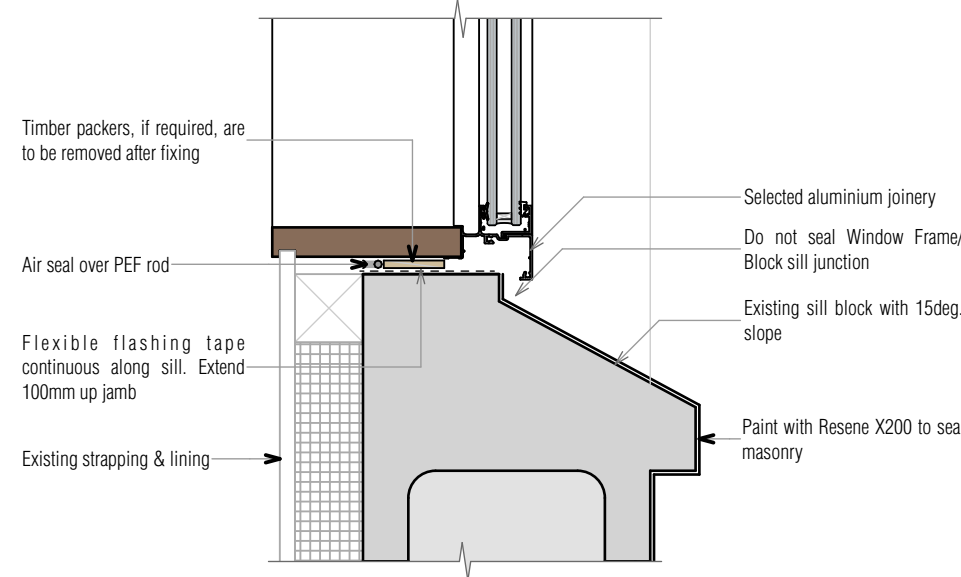
05 Window Sill - Pine Bevelback
Scale 1:5



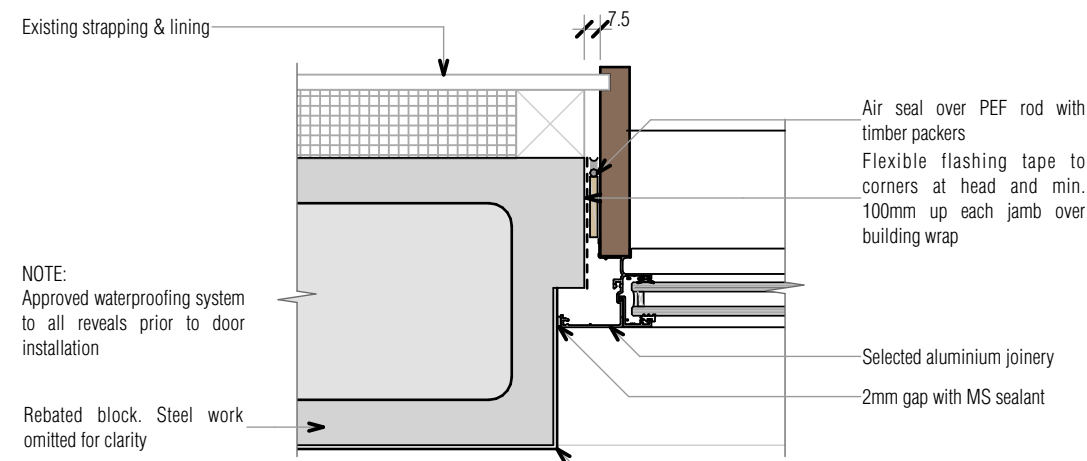
06 Window Head - Pine Bevelback
Scale 1:5



07 Window Head - Block
Scale 1:5



08 Window Sill - Block
Scale 1:5



09 Window Jamb - Block
Scale 1:5

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Details - Joinery

Scale

1:5 @ A3

Date

02/07/2025

Drawing no.

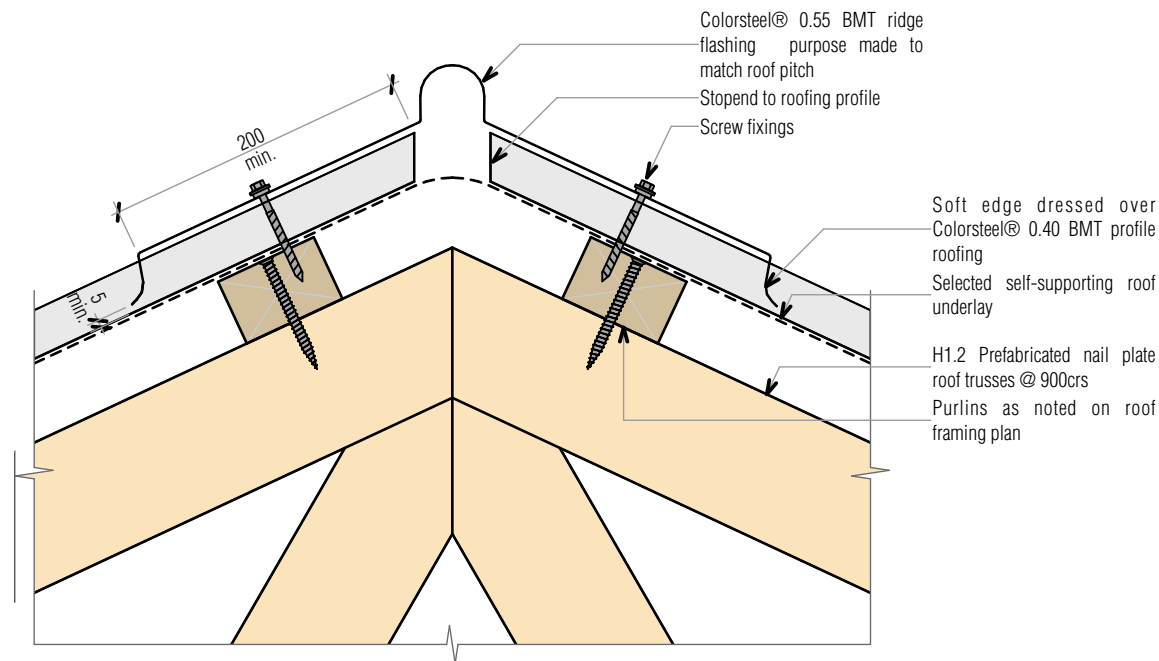
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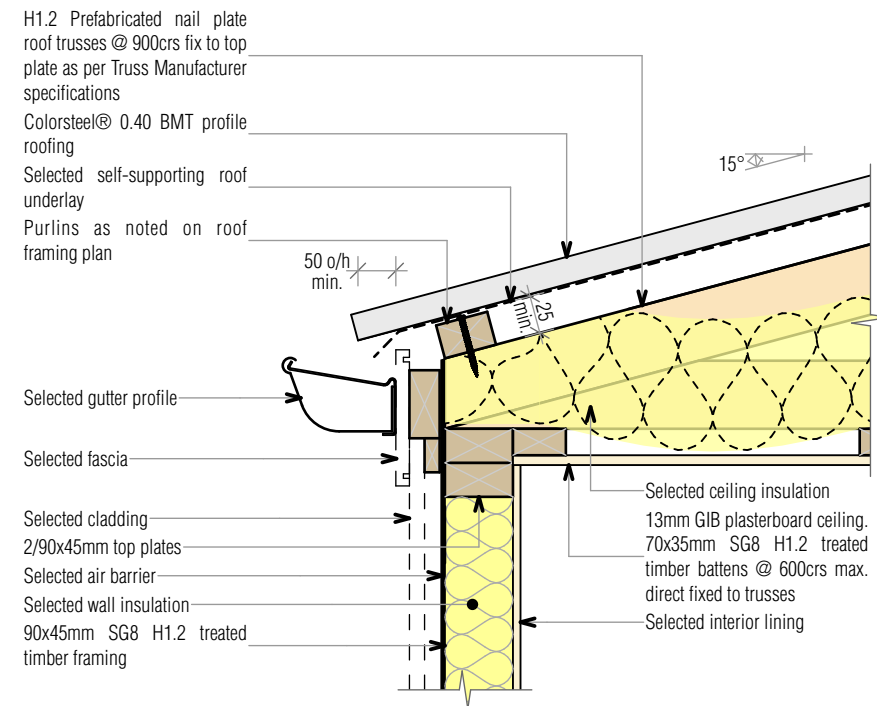
RevID Revision Name Date

02 Building Consent 24/05/2025

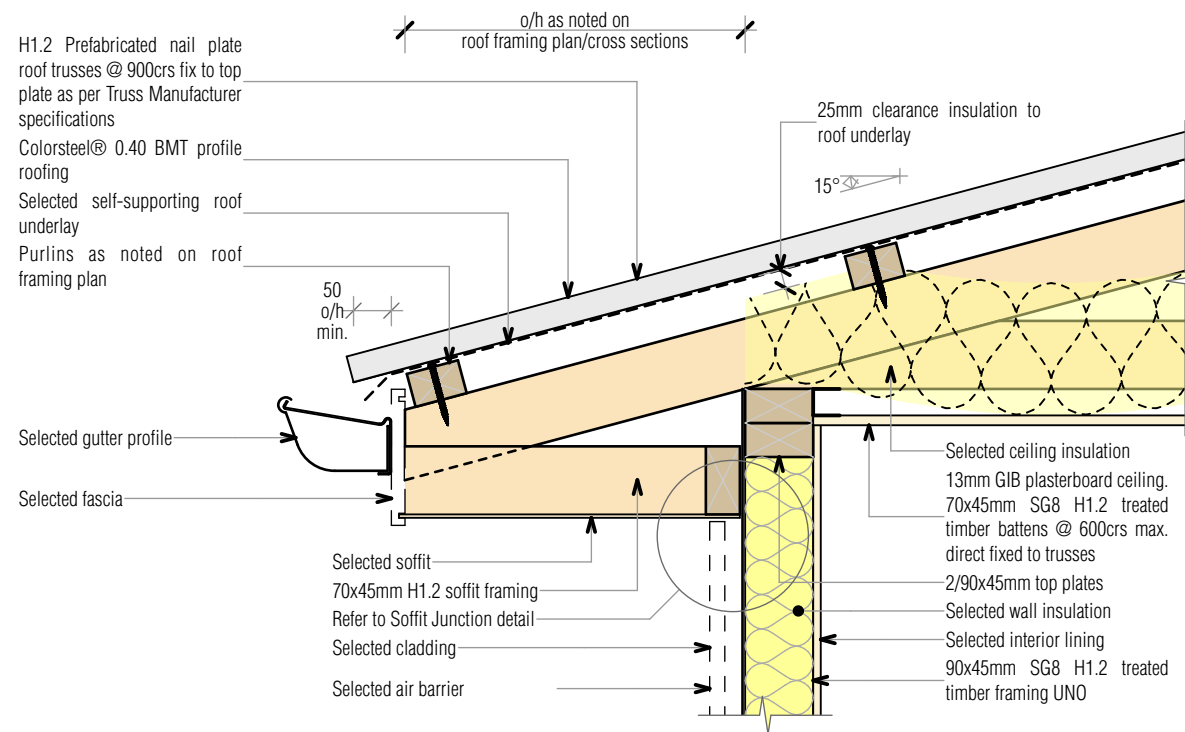
03 Building/Planning RFI 02/07/2025



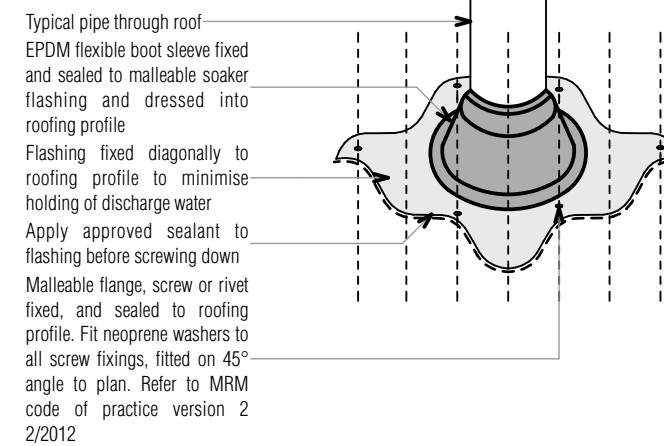
10 Typical Truss Ridge
Scale 1:5



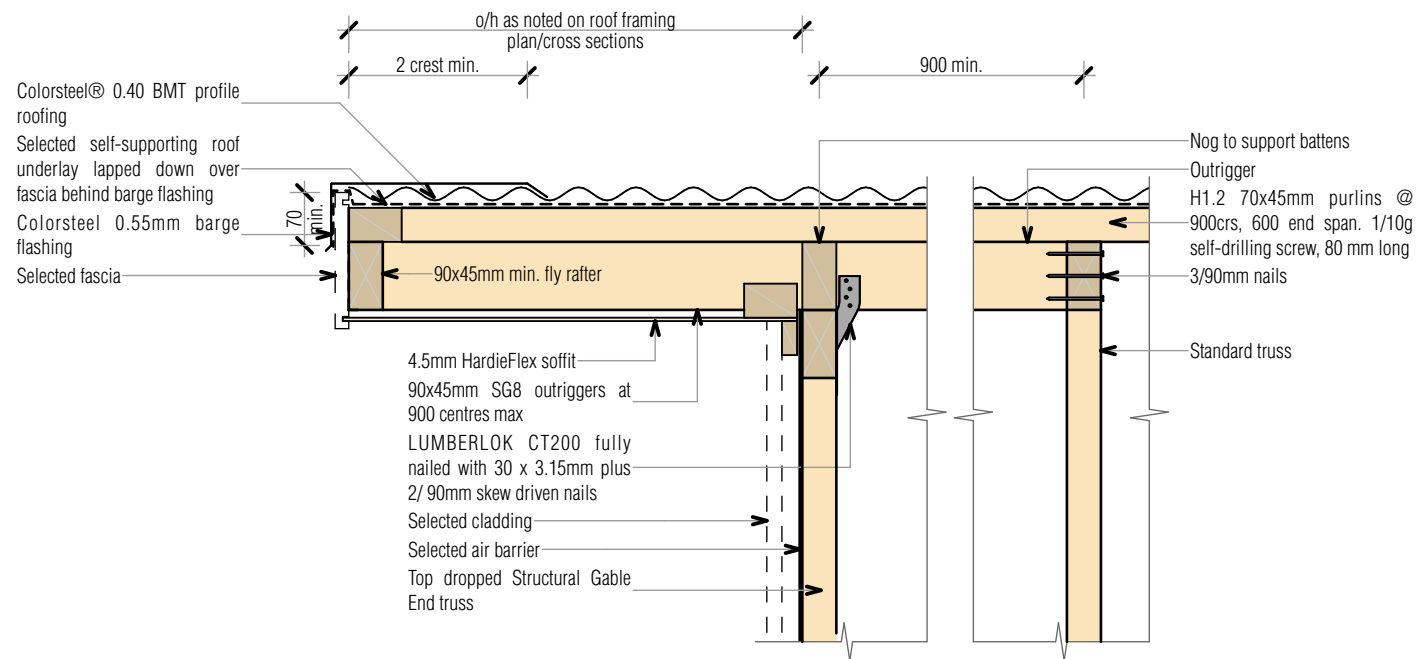
11 15° Truss Eave - Heel Clipped
Scale 1:10



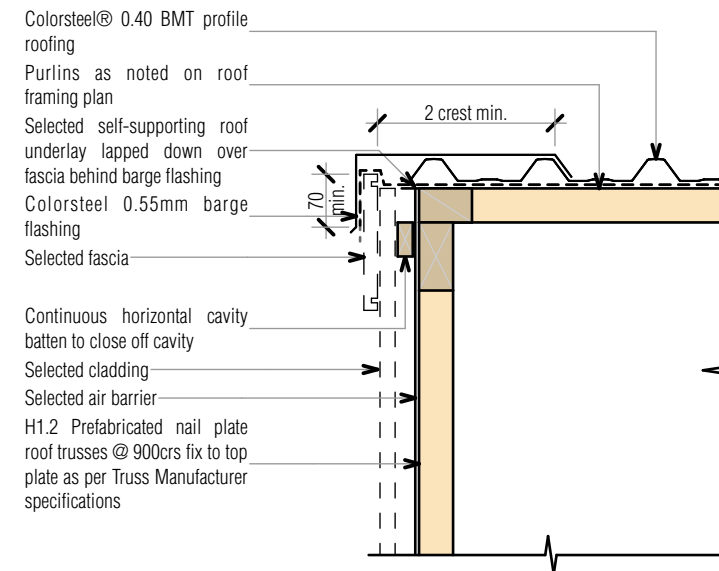
12 15° Truss Eave - Heel Clipped
Scale 1:10



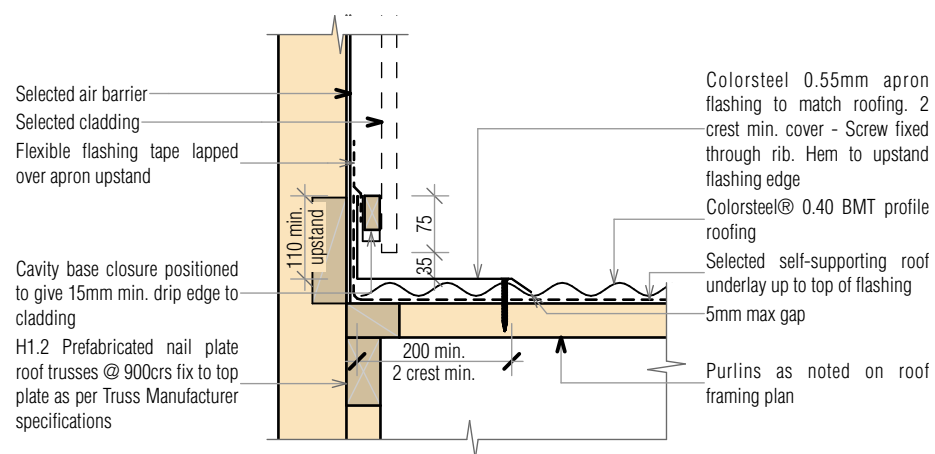
13 Small Roof Penetrations
Scale 1:10



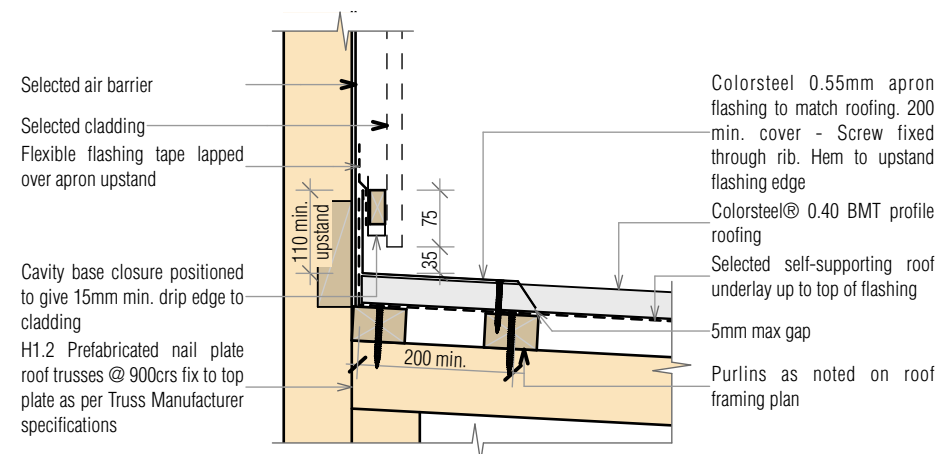
14 Rafter Barge - Cantilever Outrigger
Scale 1:10



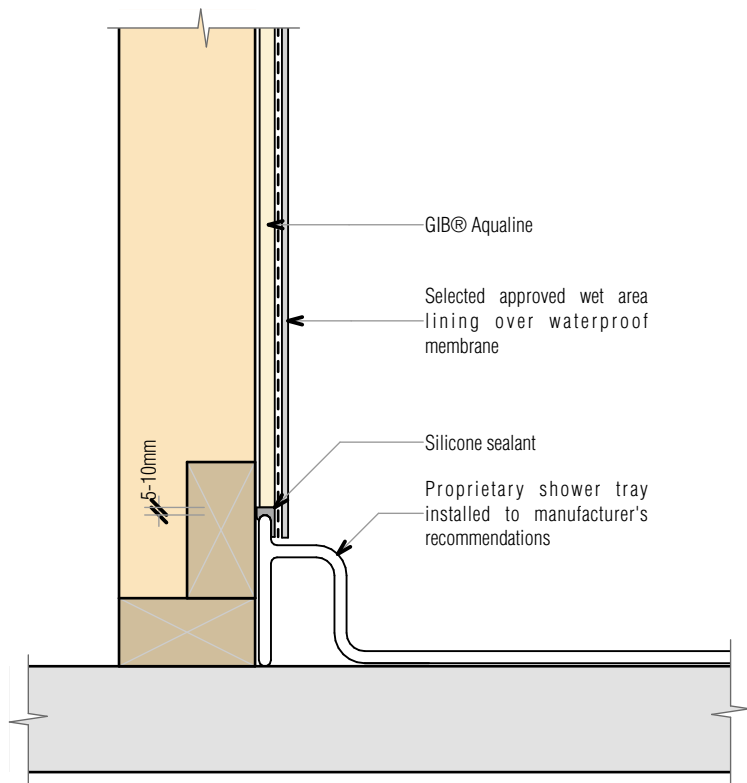
15 Truss Barge - No Eave
Scale 1:10



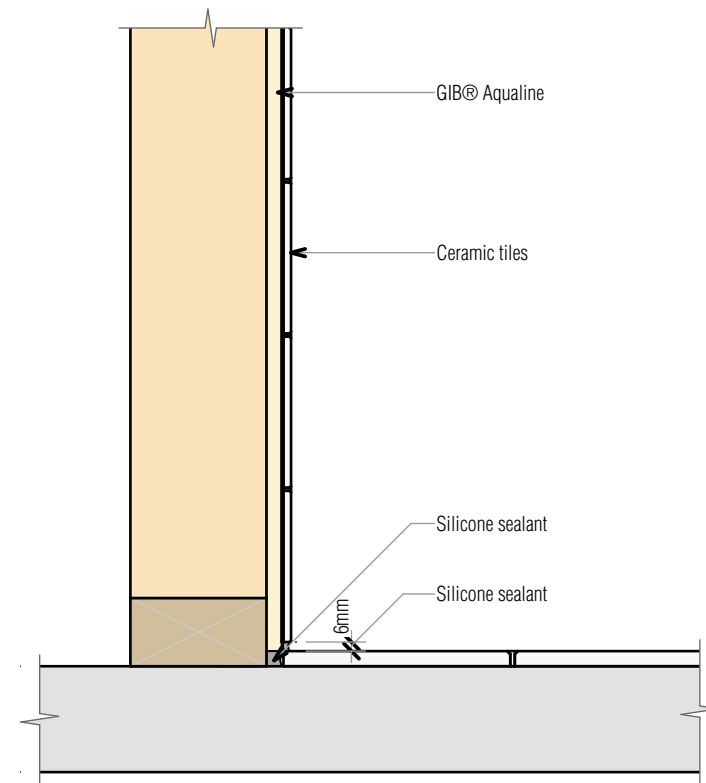
16 Parallel Apron
Scale 1:10



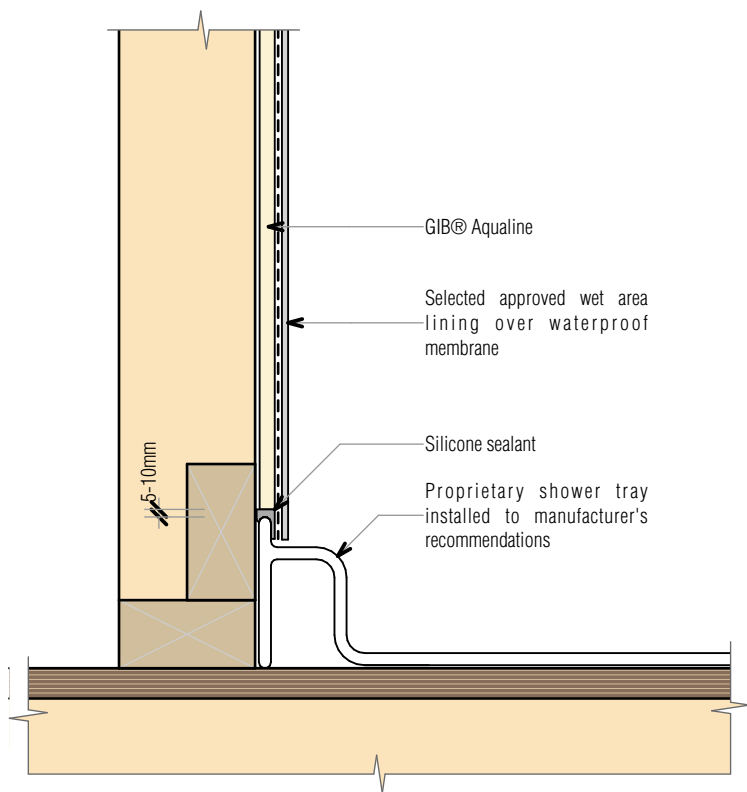
17 Transverse Apron
Scale 1:10



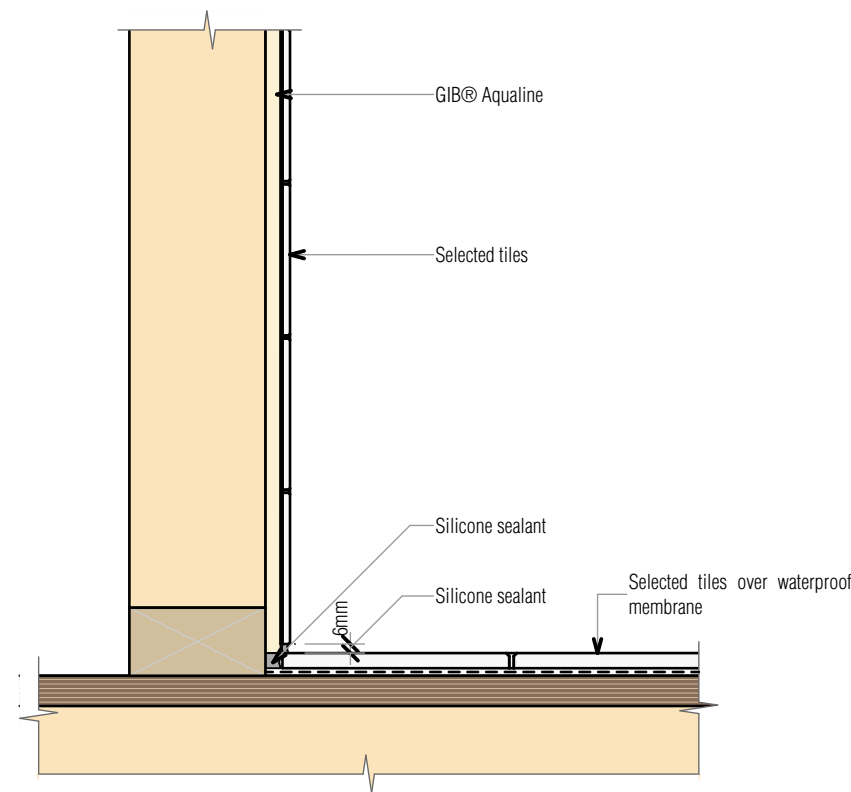
18 Shower - Acrylic Base
Scale 1:5



20 Tiled Wall/Floor Detail
Scale 1:5



19 Shower - Acrylic Base
Scale 1:5



21 Tiled Wall/Floor Detail
Scale 1:5



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ARCHITECTURE



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Finishes

Scale Drawn

1:5 @ A3 Marc R. Vale

Date Checked

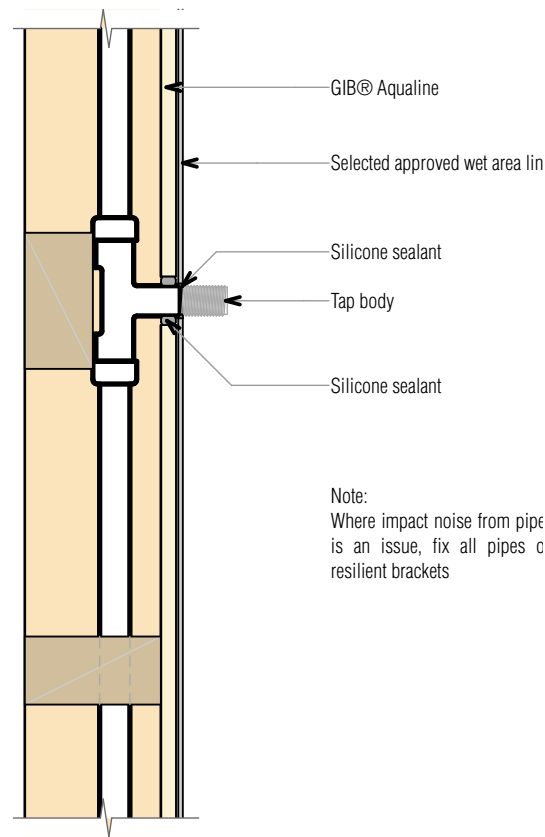
24/05/2025 Marc Vale Architecture

Drawing no. Revision

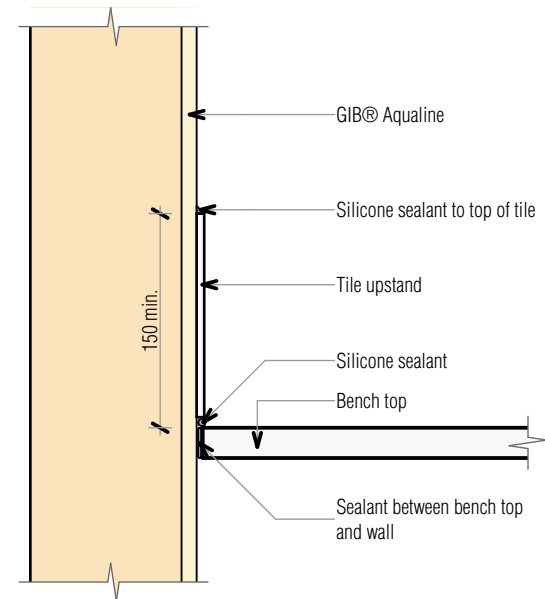
506 02

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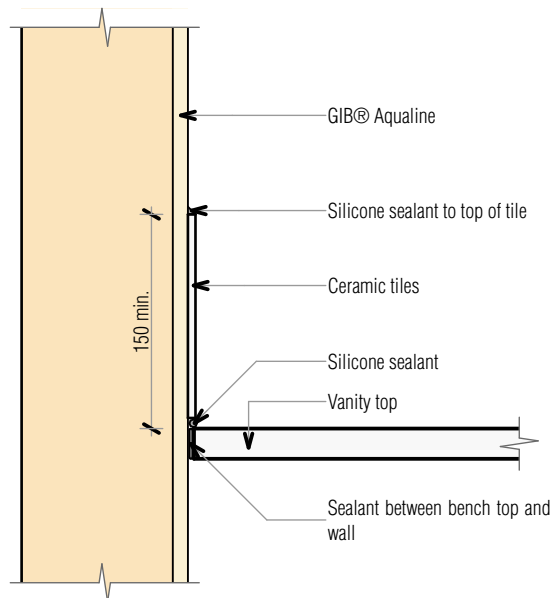
RevID	Revision Name	Date
02	Building Consent	24/05/2025



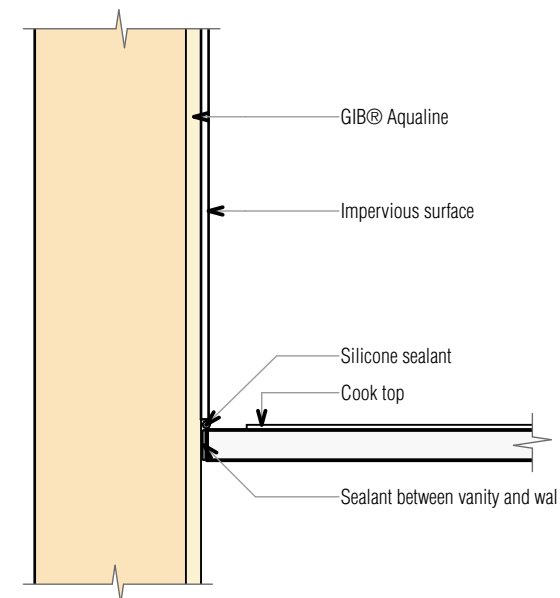
22 Penetration Detail
Scale 1:5



24 Kitchen and Laundry Bench Top/Wall Detail
Scale 1:5



23 Vanity Top/Wall Detail
Scale 1:5



25 Cook Top/Wall Detail
Scale 1:5



Client

Jeremiah Bos

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Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Finishes

Scale Drawn

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Date Checked

24/05/2025 Marc Vale Architecture

Drawing no. Revision

507 02

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RevID	Revision Name	Date
02	Building Consent	24/05/2025



Two-way FRR — timber frame

Specification number	Performance	Specifications
GBTL 30b	FRR 30/30/30	Lining 1 layer 13mm GIB® Standard each side
	STC 35	LB/NLB Loadbearing
	Rw 35	
GBTL 30c	FRR 30/30/30	Lining 1 layer 10mm GIB® Standard each side
	STC 33	LB/NLB Loadbearing
	Rw 34	Framing Minimum 90mm stud depth

FRAMING

Framing to comply with:

- NZBC B1 — Structure: AS1 Clause 3 — Timber (NZS 3604) or VM1 Clause 6 — Timber (NZS 3603)
- NZBC B2 — Durability: AS1 Clause 3.2 — Timber (NZS 3602)
- Studs at 600mm centres maximum
- Nogs at 1200mm centres maximum

WALL HEIGHTS AND FRAMING DIMENSIONS

Non-loadbearing — Framing dimensions and height as determined by NZS 3604 stud tables for non-loadbearing partitions.

Loadbearing — Framing dimensions and height as determined by NZS 3604 stud and top plate tables for loadbearing walls.

LINING

GBTL 30b — 1 layer of 13mm GIB® Standard each side of the frame.

GBTL 30c — 1 layer of 10mm GIB® Standard each side of the frame.

Vertical or horizontal fixing permitted. All sheet joints must be formed over solid timber framing. Sheets shall be touch fitted.

Vertical fixing — Stagger longitudinal sheet joints on opposite sides of the wall. When sheet end butt joints are unavoidable, they

shall be formed over nogs and offset on opposite sides of the frame.

Horizontal fixing – Horizontal joints on opposite sides of the wall can be formed over the same row of nogs. Sheet end butt joints shall be formed over studs and offset on opposite sides of the frame.

FASTENING THE LINING

Fasteners

41mm x 6g GIB® Grabber® High Thread Drywall Screws.

Fastener centres

Place fasteners at 300mm centres to perimeter framing and intermediate studs.

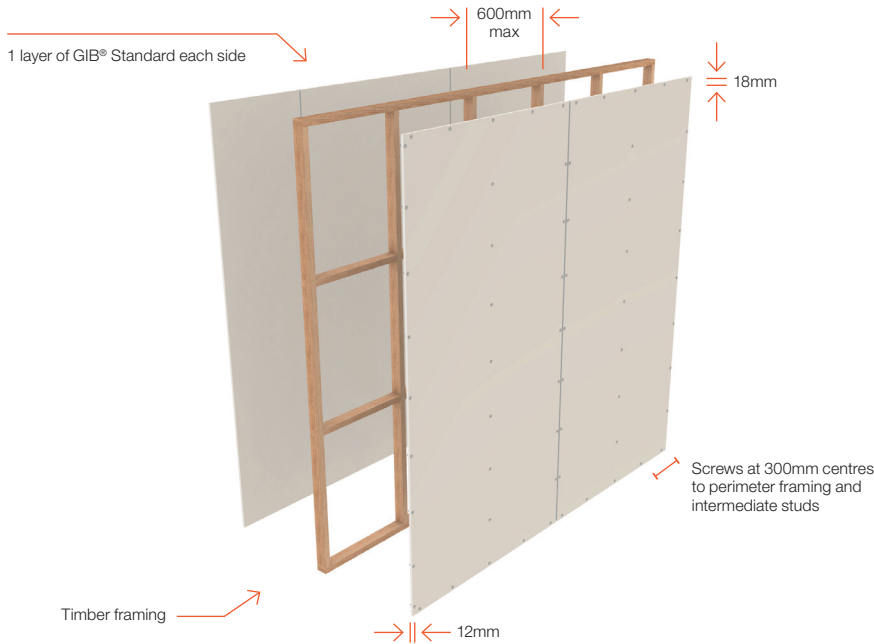
Place fasteners 50mm from sheet corners along plates. At wall corners place an additional fastener 50–60mm vertically, no closer than 10mm from plate-to-stud joints.

Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends.

Place fasteners at 200mm centres along sheet end butt joints.

JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled “GIB® Site Guide”.



Client

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Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Fire

Scale Drawn

1:1 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

Drawing no. Revision

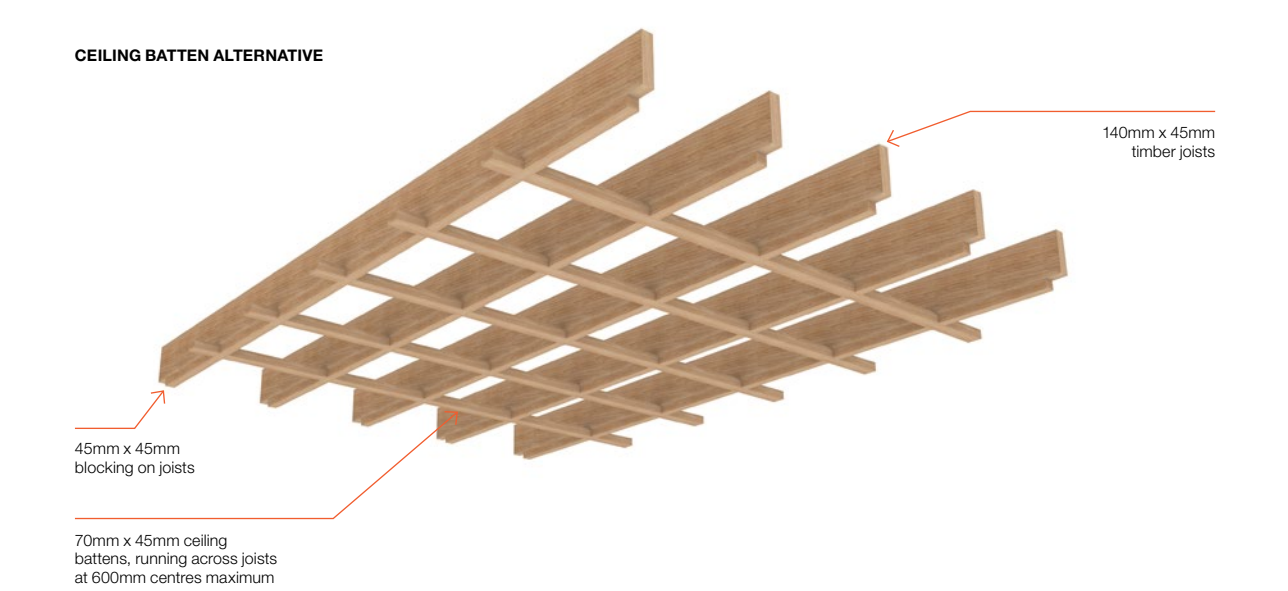
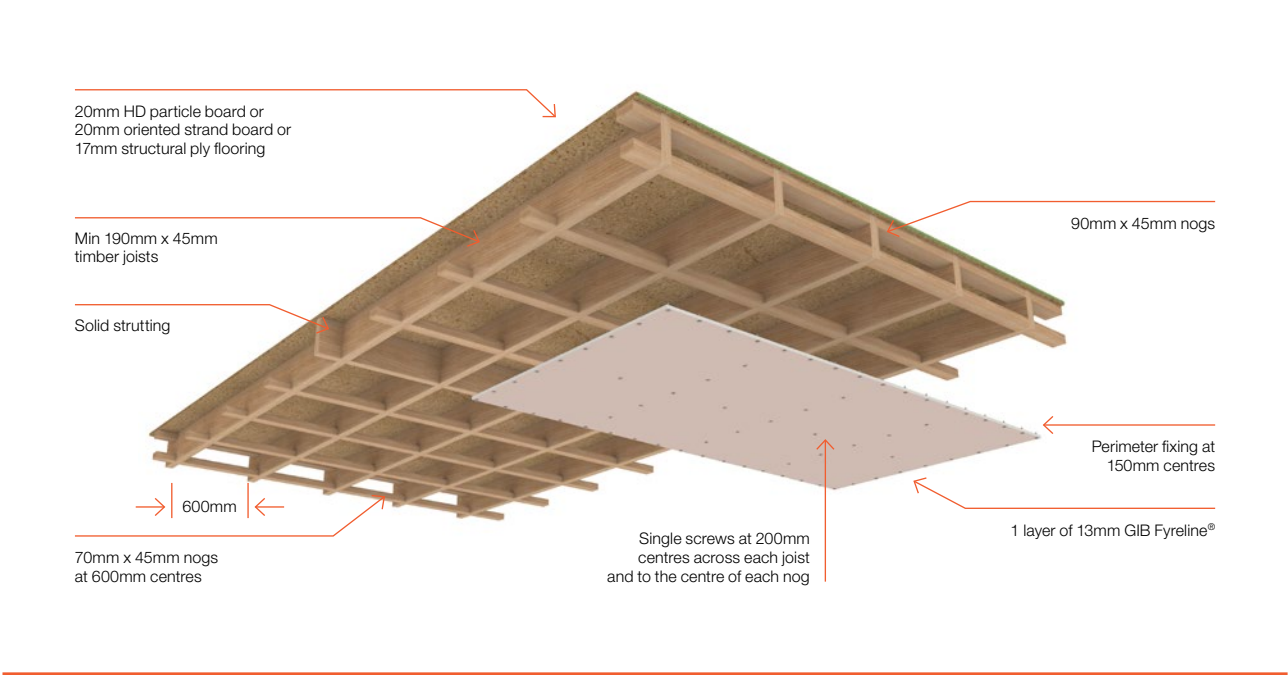
508 02

All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
02	Building Consent	24/05/2025

Timber joist

Specification number	Performance	Specifications
GBFC 30*	FRR	30/30/30
	STC	39
	Rw	40
	IIC	32
		Lining 1 layer 13mm GIB Fyreline®
		LB/NLB Load bearing



FLOOR FRAMING

Floor joists must comply with NZS 3604 and be a minimum of 190mm x 45mm or 140mm x 45mm when using the ceiling batten alternative. Joists are spaced at 600mm maximum. Solid strutting is required in accordance with NZS 3604.

Nogs fixed on the flat to receive the ends of flooring material shall be 90mm x 45mm minimum.

Nogs fixed on the flat to receive GIB® linings shall be 70mm x 45mm minimum spaced at 600mm for joists at 600mm, or at 1200mm for joists at 400mm or 450mm.

Nogs/framing is required at the perimeter of the fire rated ceiling.

FLOORING

Minimum flooring shall be nominal 20mm oriented strand board or particle board, or minimum 17mm-thick structural plywood fixed to the joists in accordance with the manufacturers’ specifications.

Flooring sheet joints must have a polypropylene tongue and groove jointer or be formed over framing.

CEILING LINING

1 layer of 13mm GIB Fyreline® shall be fixed at right angles to the underside of the floor joists.

All sheet joints must occur on joists, solid strutting or nogs.

Sheets shall be touch fitted.

FASTENING THE LINING

Fasteners
51mm x 7g GIB® Grabber® High Thread Drywall Screws.

Fastener centres
Place fasteners at 150mm centres around the perimeter of each sheet and at 200mm centres along each joist and at the centre of each nog.

Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends.

WALL/CEILING JUNCTIONS

The internal angle between the ceiling and walls must be protected by GIB-Cove® adhered with GIB-Cove® Bond, or boxed corners (square stopped) filled and taped in accordance with the publication entitled “GIB® Site Guide”.

JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled “GIB® Site Guide”.

CEILING BATTEN ALTERNATIVE

Where NZS 3604 permits 140mm joists, these may be used with continuous 70mm x 45mm ceiling battens at 600mm centres, running across the joists (battens may also be used to level the ceiling in renovation work). Linings are installed perpendicular to the battens.

When joists are spaced at 600mm, 45mm x 45mm blocking between the ceiling battens is required under all joists.

When joists are spaced at 400mm, blocking on joists is required behind longitudinal lining joints at 1200mm centres only.

When joists are at 450mm, 70mm x 45mm nogs are required between the battens at 600mm centres (or at 1200mm centres when battens are spaced at 450mm or less).

Nogs/framing is required at the perimeter of the fire rated ceiling.

**If only a 30/30/30 FRR is required, the use of nominally 70mm x 35mm timber battens is permitted or alternatively metal battens can be used provided construction is otherwise in accordance with specification GBSC 30.*







Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Fire

Scale

1:1 @ A3

Date

24/05/2025

Drawing no.

509

Drawn

Marc R. Vale

Checked

Marc Vale Architecture

Revision

02

RevID

Revision Name

Date

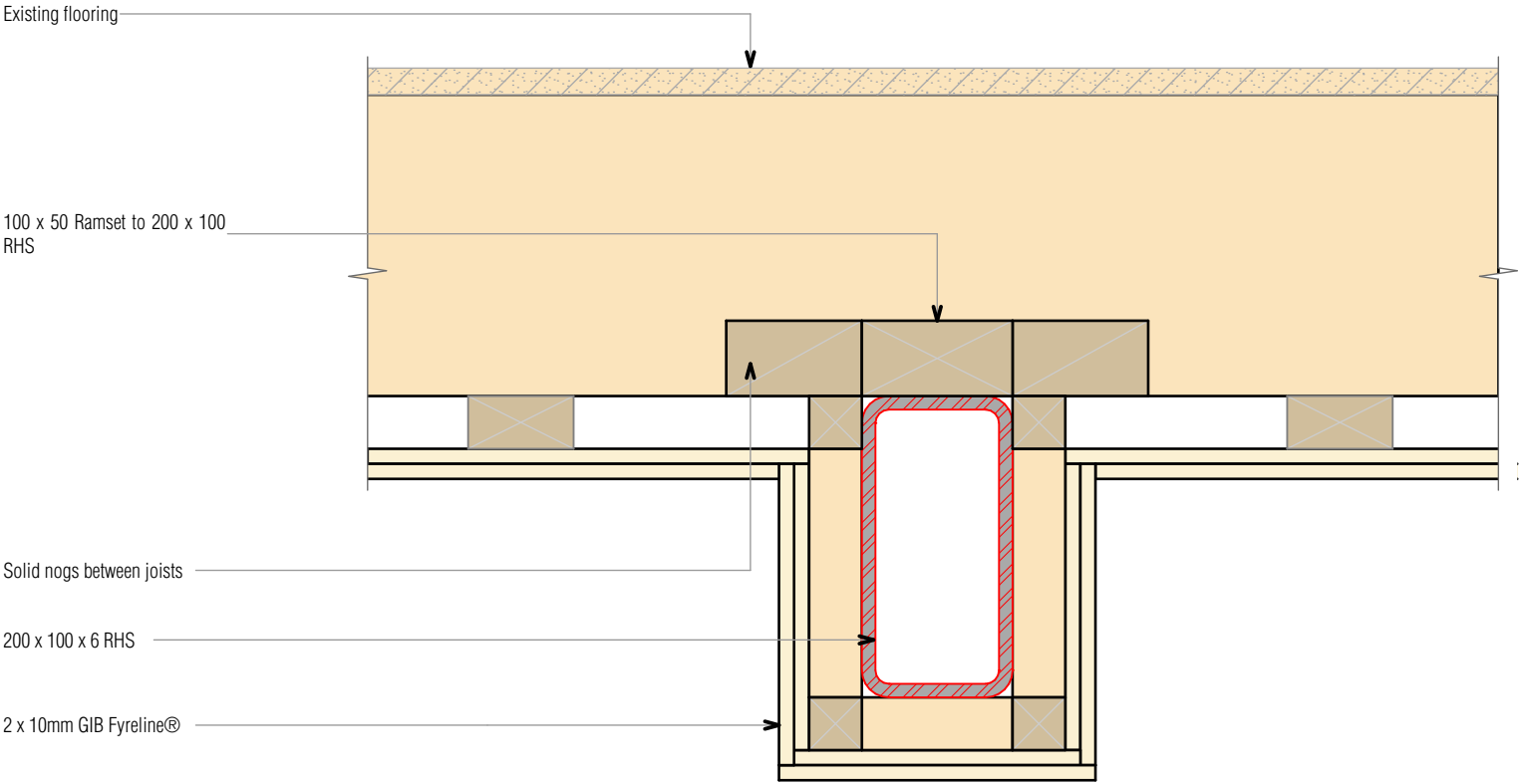
02

Building Consent

24/05/2025

All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
02	Building Consent	24/05/2025



30 Existing beam details
Scale 1:5

STRAPPING

Strap column or beams with a timber cradle frame with a minimum nominal thickness of 35mm ensuring that the linings are supported by framing members spaced at 600mm centres maximum.

No air gap is required as long as support is provided to the protective linings at no more than 600mm centres each side of the structural member.

The protective linings can be direct fixed to timber columns and beams.

LINING

Install the linings in accordance with the required FRR as specified above. First and second layer joints must be formed over framing. In double-layer systems, the joints between the first and second layer must be offset by 300mm minimum.

FASTENING THE LINING

Fasteners

GIB® Grabber® High Thread Drywall Screws.

The fastener length must ensure a 20mm minimum penetration into timber.

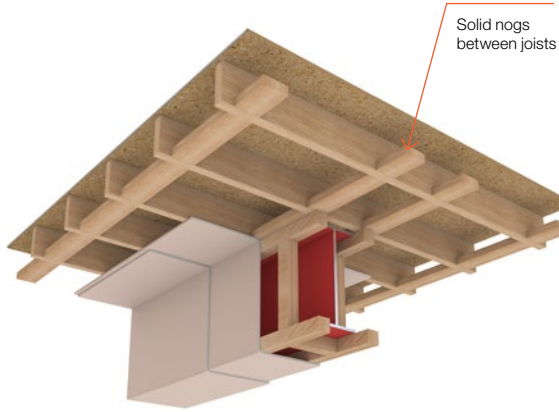
Fastener centres

Single or outer layers must be fixed at 300mm centres maximum to framing spaced at 600mm centres maximum. Inner layers can be fixed at 600mm centres maximum to framing spaced at 600mm centres maximum.

JOINTING

Inner layer: Unstopped.

Outer layer: All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled “GIB® Site Guide”.



Specification number	FRR (structural adequacy rating*)	Lining requirement steel, timber, concrete columns and beams
GBCBT 30b	30/-/-	2 x 10mm GIB Fyrelime®



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Fire

Scale Drawn

1:5, 1:1 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

Drawing no. Revision

510 02

All dimensions to be verified on site before commencing any work or producing shop drawings. Do not scale. The copyright of this drawing remains with Marc Vale Architecture Ltd.

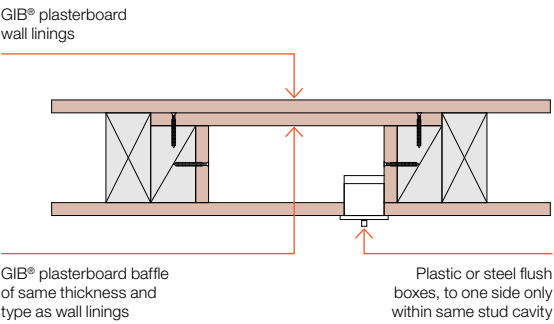
RevID	Revision Name	Date
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02	Building Consent	24/05/2025
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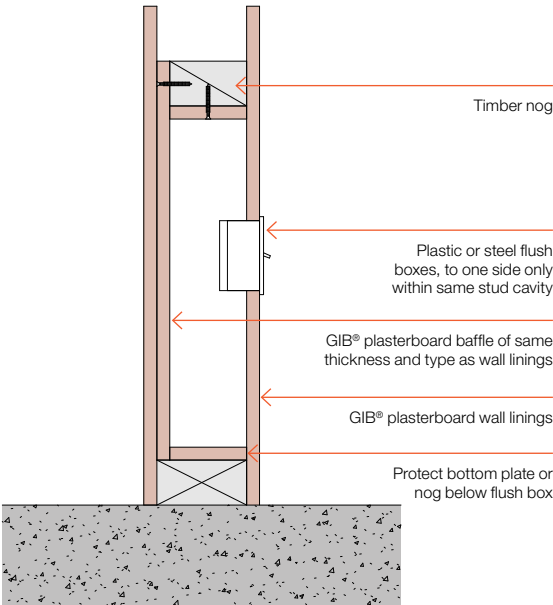
PLAN VIEW



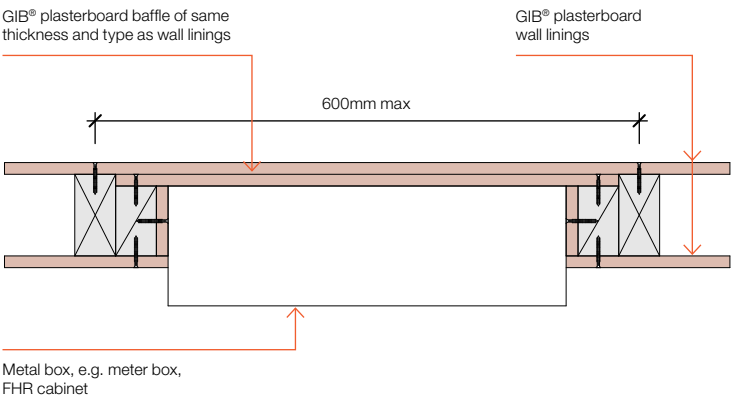
GFS 260

33 GFS 260 Flush Boxes
Scale 1:1

SECTION VIEW



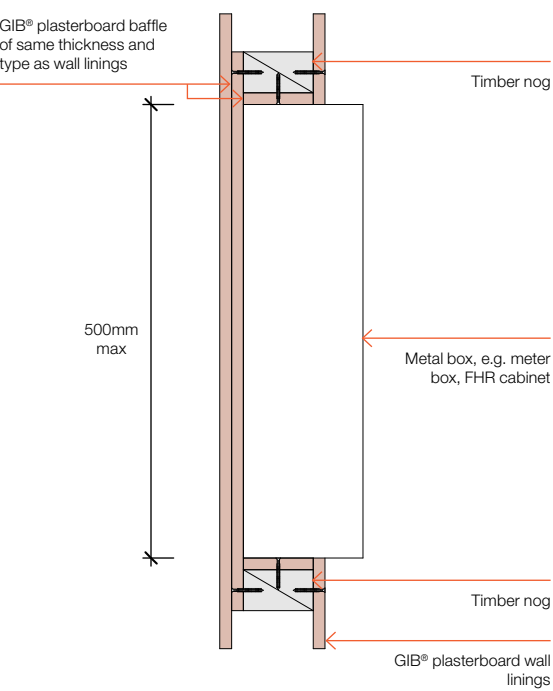
PLAN VIEW



GFS 262

34 GFS 262 Large Recesses
Scale 1:1

SECTION VIEW

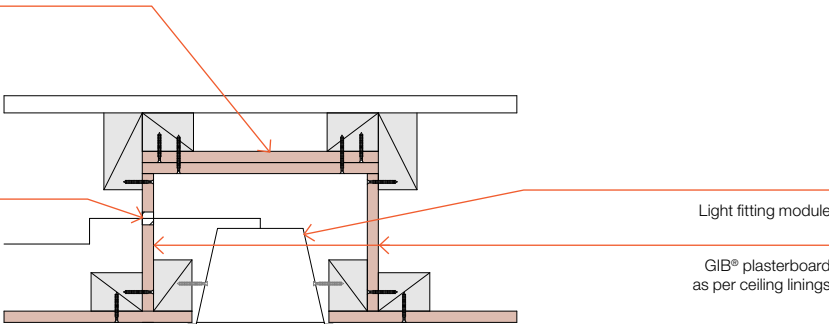


Floor/ceiling systems require one extra layer of GIB® plasterboard of same type and thickness as the ceiling lining. Universal systems are lined as per ceiling

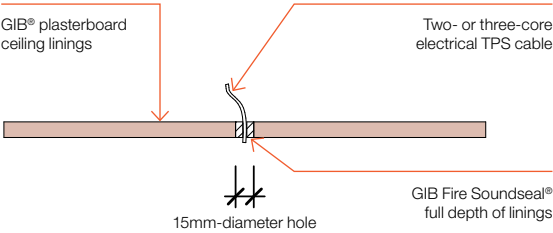
Cable penetration fire stopped (see detail GFS 241, page 97)

GFS 282

35 GFS 282 Framed Fixed Light Fitting
Scale 1:1

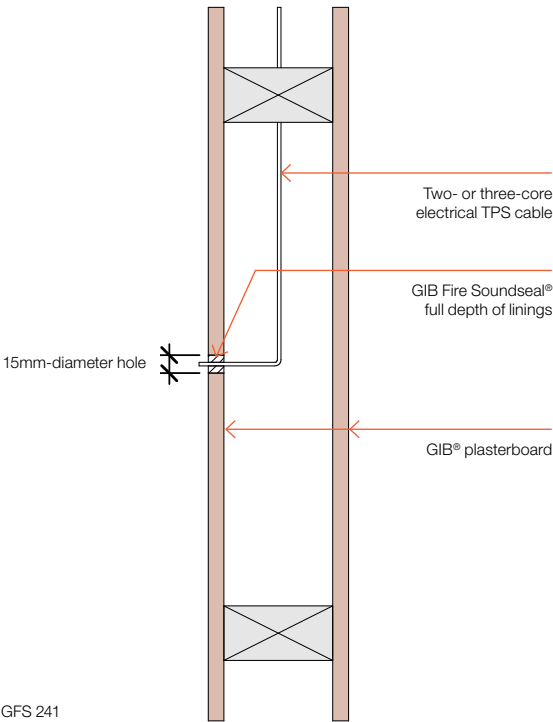


SECTION VIEW



GFS 240

PLAN VIEW



GFS 241

36 GFS 240 Single Cable Penetration
Scale 1:1



MARC VALE ARCHITECTURE



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Details - Fire

Scale Drawn

1:1 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

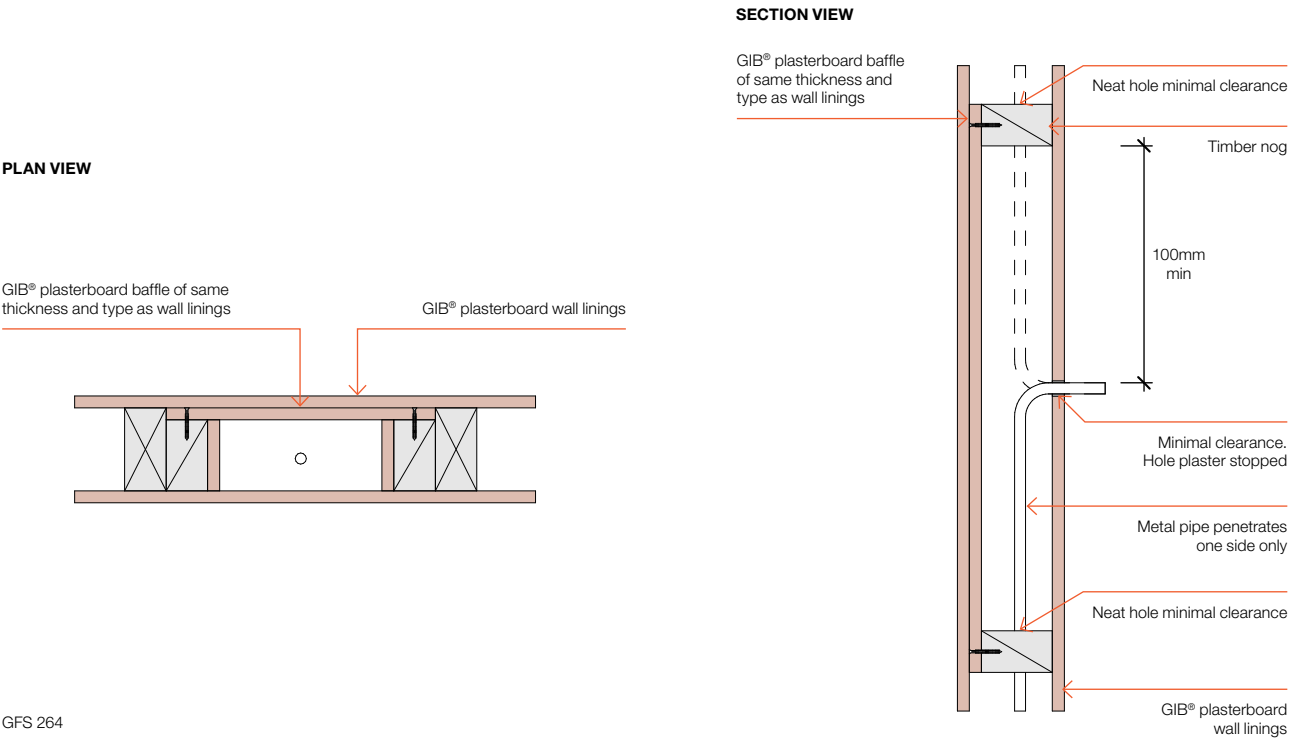
Drawing no. Revision

511 02

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RevID Revision Name Date

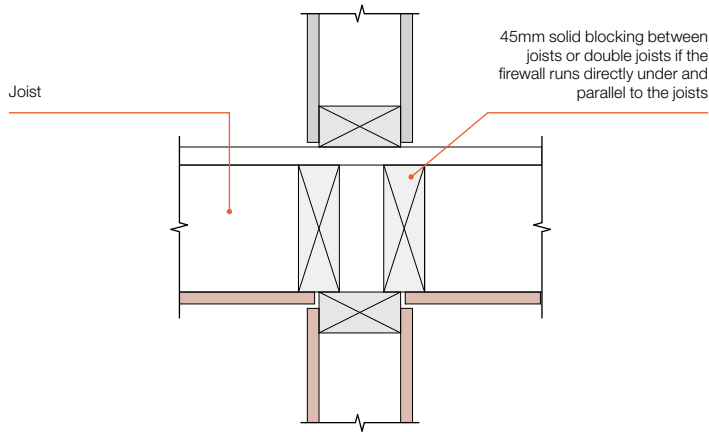
02 Building Consent 24/05/2025



GFS 264

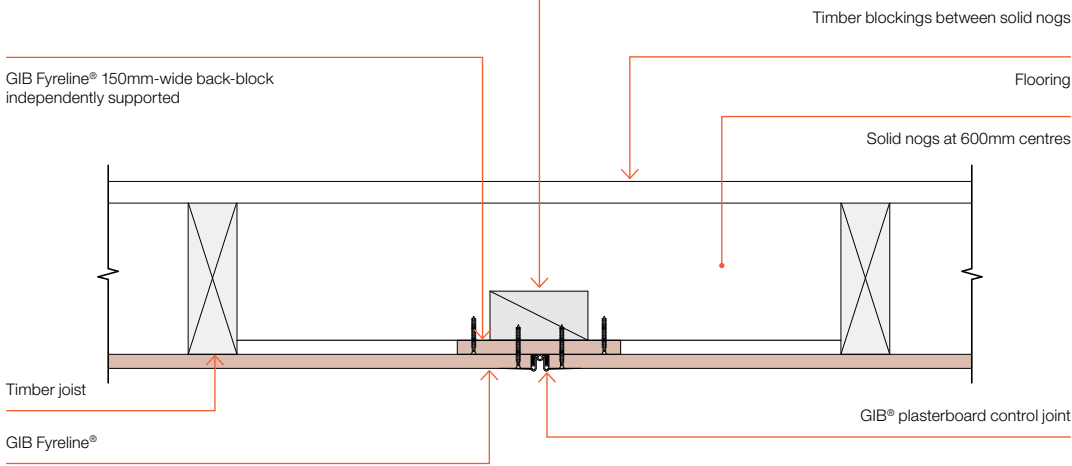
Note: This detail applies to metal pipe only.

37 GFS 264 Metal Pipe in Timber Stud Wall
Scale 1:1



- GFS 104
- The FRR of the floor/ceiling and wall are the same
 - The wall is non-loadbearing or loadbearing
 - If the wall is loadbearing and itself not a fire separation, then structural adequacy must be de' by specific design, or universal (UW) one way fire protection must be applied to both sides.

38 GFS 104 Firewall/Fire Ceiling Junction
Scale 1:1



GFS 063

39 GFS 063 Fire Rated Ceiling Control Joint
Scale 1:1

Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

LICENSED BUILDING PRACTITIONER
BUILDING CONFIDENCE

AD NZ
Architectural
Designers
New Zealand
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Details - Fire

Scale	1:1 @ A3		Drawn	Marc R. Vale	
Date	24/05/2025		Checked	Marc Vale Architecture	
Drawing no.	512		Revision	02	

RevID	Revision Name	Date
02	Building Consent	24/05/2025



Universal ceiling systems

Specification number	Performance	Specifications
GBUC 30	FRR30/30/30	Lining1 layer 16mm GIB Fyreline® LB/NLBLoadbearing

FRAMING

Timber or steel roof or floor/ceiling framing designed to meet structural criteria for strength and serviceability under dead and live loads.

The separation distance between the ceiling linings and any flooring or roofing material shall be 90mm minimum.

The width of framing members supporting the linings shall be nominally 35mm minimum. Framing spacing shall be at 600mm centres maximum.

Solid nogs shall be provided at 1200mm centres maximum and to the perimeter of the fire rated ceiling, unless longitudinal sheet edges are back-blocked.

If timber-framed construction applies, the nogs shall be 70mm x 35mm minimum.

1 layer of 16mm GIB Fyreline® shall be fixed at right angles to the underside of the framing members.

All sheet joints must occur over solid framing.

Sheets shall be touch fitted.

Alternatively, longitudinal sheet edges may be back-blocked using a 300mm-wide strip of 16mm GIB Fyreline® adhered with GIB-Cove® Bond in accordance with the procedure outlined in the current “GIB® Site Guide”.

FASTENING THE LINING

Timber frame	Steel frame
41mm x 6g GIB® Grabber® High Thread Drywall Screws	32mm x 6g GIB® Grabber® Self Tapping Drywall Screws

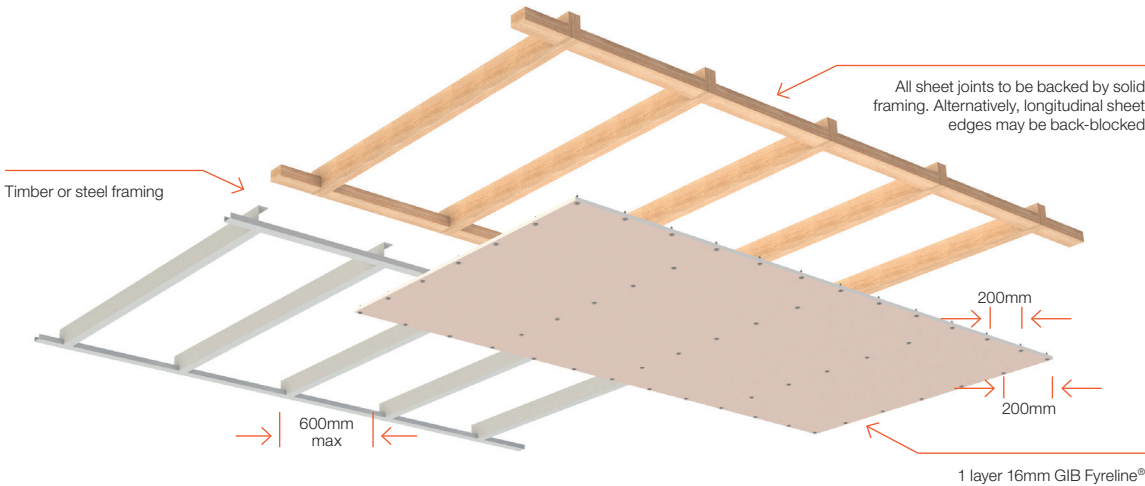
Fastener centres
Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends. This distance may be reduced to 12mm from sheet ends at butt joints on furring channels.

Place fasteners at 200mm centres around the sheet perimeters, along each intermediate framing member and where sheet end butt joints occur.

WALL/CEILING JUNCTIONS

The internal angle between the ceiling and walls must be protected by GIB-Cove® adhered with GIB-Cove® Bond, or boxed corners (square stopped) filled and taped, or sealed and protected by timber scotia in accordance with the publication entitled “GIB® Site Guide”.

JOINTING
All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled “GIB® Site Guide”.



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

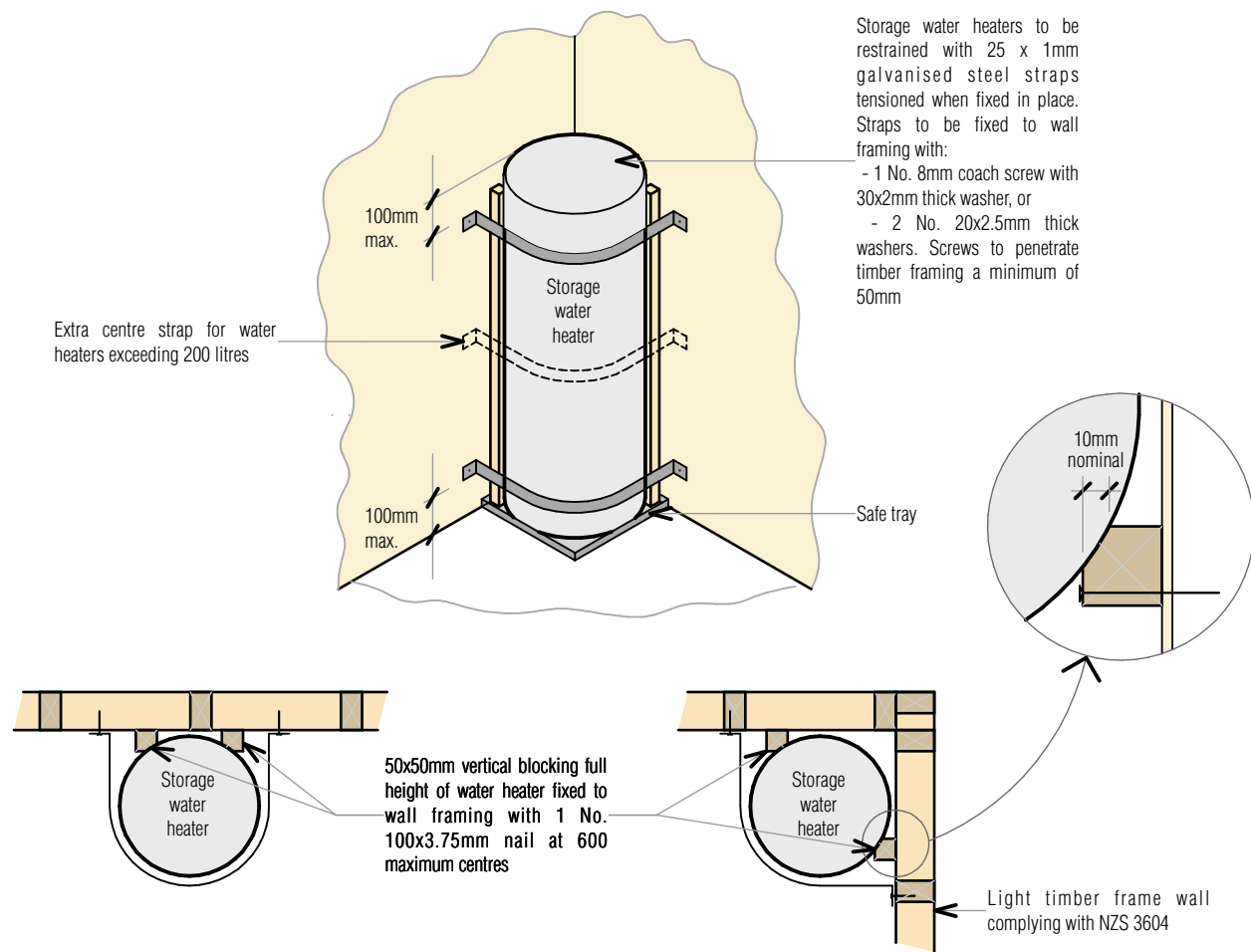
Building Consent

Sheet Title

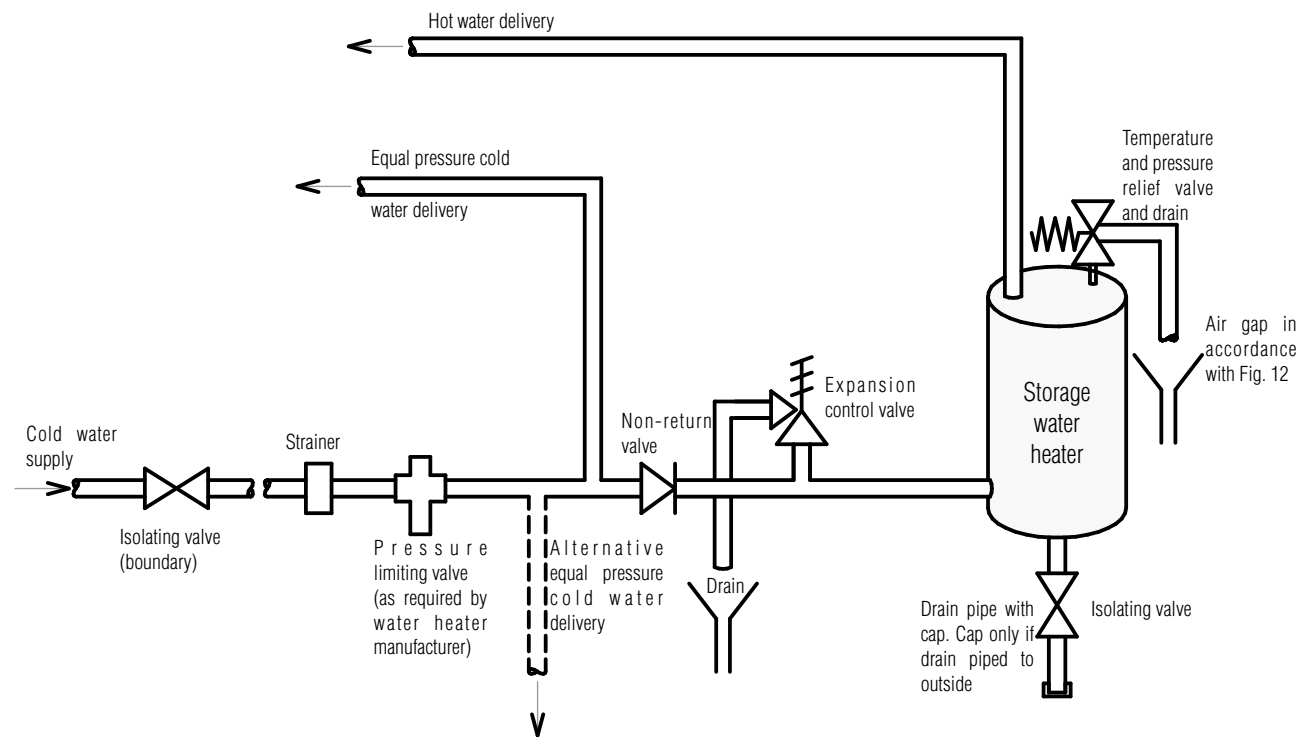
Details - Fire

Scale	1:1 @ A3	Drawn	Marc R. Vale
Date	02/07/2025	Checked	Marc Vale Architecture
Drawing no.	513	Revision	

RevID	Revision Name	Date
01	Building/Planning RFI	02/07/2025



41 G12/AS1 Figure 14 Seismic Restraint of Storage Water Heaters 90 – 360 litres
Scale 1:5



42 G12/AS1 Figure 8 Mains Pressure Storage Water Heater System (unvented)
Scale 1:5

Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

AP NZ
Architectural
Designers
New Zealand
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Details - HWC

Scale	1:5 @ A3	Drawn	Marc R. Vale
Date	02/07/2025	Checked	
Drawing no.	514	Revision	

RevID	Revision Name	Date
01	Building/Planning RFI	02/07/2025



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:

Jeremiah Paul Bos

Address of proposed activity:

3 North Road, Kawakawa, 0210

Legal description:

Lot 2 Deposited Plan 93087

Description of the proposal (including why you need resource consent):

Alterations & Compliance, including addition of a self-contained unit (from rumpus room), totalling 3 residential units, Resource consent to support BC; EBC-2025-963/0; 7.6.5.1.2 RESIDENTIAL INTENSITY

Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):

1. Resource Consent Application
2. Resource AEE
3. Plans - 3 North Road Kawakawa - Updated Set - 02.07.2025
4. _____
5. _____
6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Kori Hui Hui and Elizabeth Ngapera Raima HuiHui

Address of affected property including legal description

5 North Road, Kawakawa, 0210, Lot 1 Deposited Plan 93433

Contact Phone Number/s and email address

Daytime: 02102243372; email: shortlandlizzy@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/we have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/we have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/we understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/we understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

Date

15-7-2025

Signature

Date

15-07-2025

Signature

Date

Signature

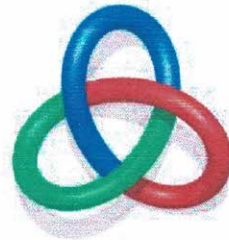
Date



Location Plan

Building Consent

Alterations & Compliance for Jeremiah Bos
3 North Road, Kawakawa, Far North District



Building,
Engineering &
Design

Project #
240207



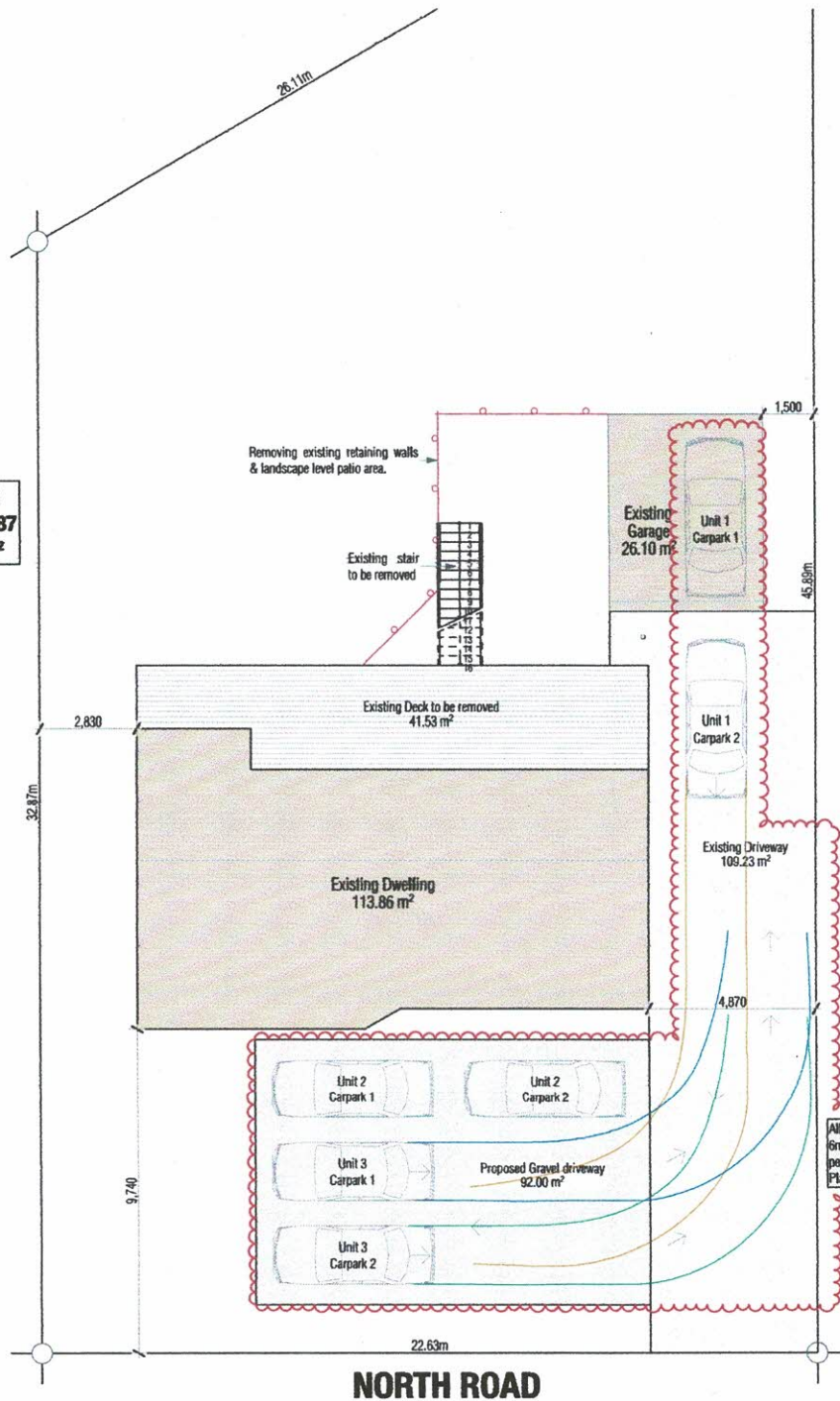
ID	Layout Name	Rev.ID
	Cover	03
001	General	02
101	Site Plan	03
201	Existing Ground Floor Plan	03
202	Existing First Floor Plan	03
203	Proposed Ground Floor Plan	03
204	Proposed First Floor Plan	03
205	Proposed Firecell Plan	02
206	Fire Ground Floor Plan	02
207	Fire First Floor Plan	02
208	Ground Floor Reflected Ceiling Plan	02
209	Roofing Plan	03
210	Plumbing + Drainage Plan	03
211	Plumbing Schematic	02
212	Electrical + Ventilation Plan	03
301	Existing Elevations	02
302	Existing Elevations	02
303	Proposed Elevations	03
304	Proposed Elevations	02
305	Door & Window Schedule	03
401	Cross Sections	03
501	Details - Foundation	02
502	Details - Masonry Infill	02
503	Details - Joinery	03
504	Details - Roofing	02
505	Details - Roofing	02
506	Details - Finishes	02
507	Details - Finishes	02
508	Details - Fire	02
509	Details - Fire	02
510	Details - Fire	02
511	Details - Fire	02
512	Details - Fire	02
513	Details - Fire	01
514	Details - HWC	01

Handwritten signature and initials.





LOT 2
DP 93087
887m²



NORTH ROAD

Key/Notes

Wind Zone -	High
Earthquake Zone -	1
Exposure Zone -	C
Climate Zone -	1
Territorial Authority -	Far North District Council
Zone -	General Residential

03 Temporary Site Fences to be constructed around the site as per New Zealand Building Code Clause F54-AS1

Impermeable Surfaces - 50% max.

Existing Dwelling - 113.86 m²

Existing Garage - 26.10 m²

Existing Driveway - 109.23 m²

Proposed Manoeuvring/Parking Space - 92.00 m²

Total Impermeable Surfaces

= 336.19 m² / 887 m² = 37.9%

Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

AR NZ
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Site Plan

Scale

1:150 @ A3

Drawn

Marc R. Vale

Date

02/07/2025

Checked

Marc Vale Architecture

Drawing no.

101

Revision

03

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Existing Ground Floor Area over Framing
113.86 m²



Key/Notes

To be read in conjunction with CCC Repair
Assessment Report by Building Engineering &
Design Limited

Key/Niches

☐ Existing to remain

To be demolished

D = Window/Door to be Demo'd

X = Window/Door to remain

R = Repair Existing Window/Door
NW/ND## = New Window/Door

We confirm that the proposed building work will comply with the requirements of NZBC Clause F2.2 by ensuring that any risk associated with asbestos-containing materials is appropriately managed before and during construction. The following measures will be put in place:

Assessment of Existing Building Materials (if applicable):

03

Prior to any demolition or refurbishment, a qualified asbestos surveyor will carry out an asbestos survey (as per WorkSafe NZ guidelines). Any identified asbestos-containing materials (ACMs) will be managed and removed in accordance with the Health and Safety at Work (Asbestos) Regulations 2016.

Contractor Awareness and Management:

All contractors and subcontractors engaged in the project will be made aware of their obligations under the Health and Safety at Work Act 2015 and associated asbestos regulations. If asbestos is encountered unexpectedly during construction, work will cease in the affected area and an appropriate licensed asbestos removalist will be engaged.



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Existing Ground Floor Plan

Scale _____ Drawn _____

1:100 @ A3 Marc R. Vale

Date _____ Checked _____

02/07/2025 Marc Vale Architecture

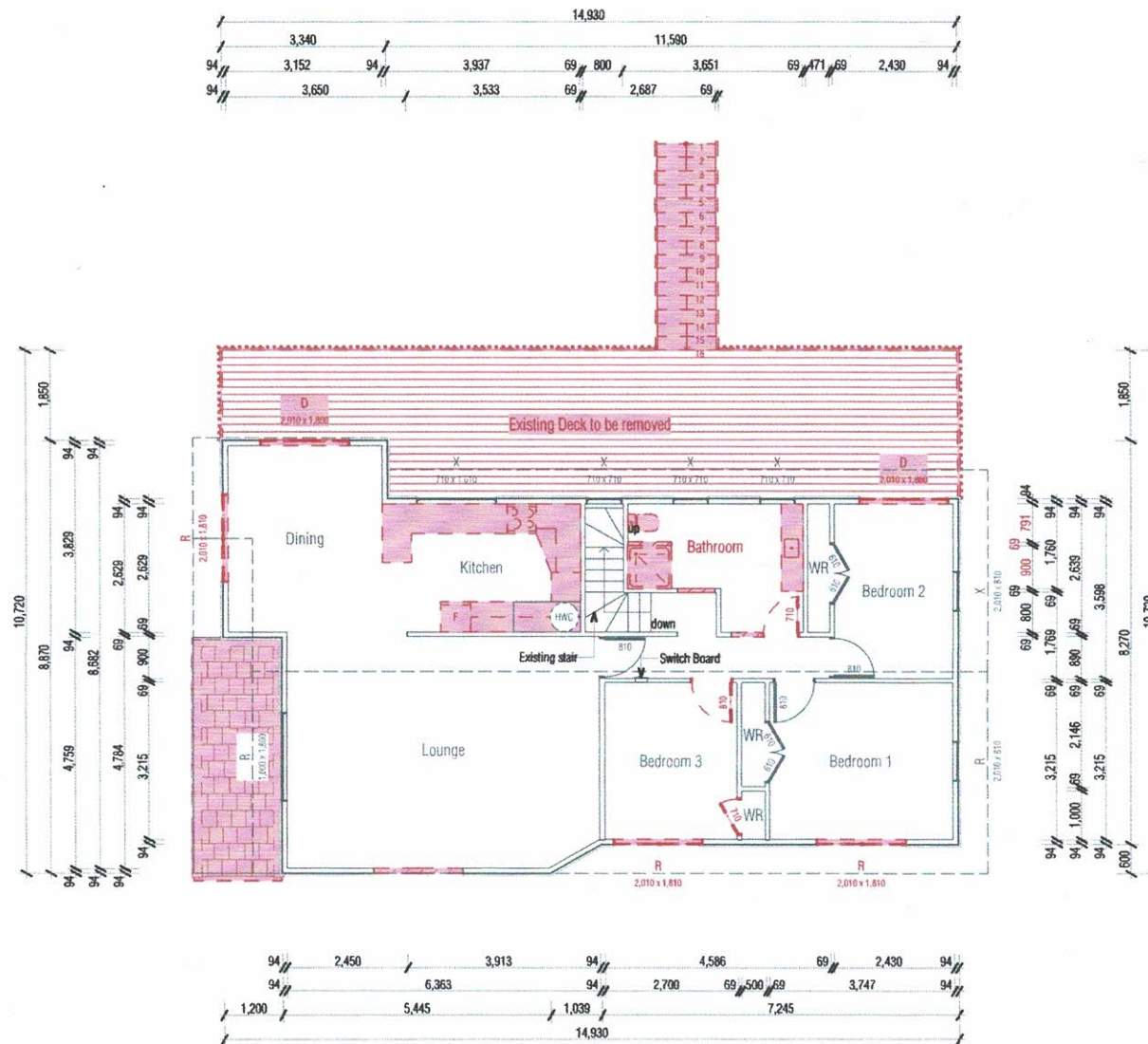
Drawing no.	Revision
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201 03

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Existing First Floor Area over Framing
108.04 m²



Key/Notes

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Key/Notes

Existing to remain
To be demolished

D = Window/Door to be Demo'd
X = Window/Door to remain
R = Repair Existing Window/Door
NW/ND/## = New Window/Door

We confirm that the proposed building work will comply with the requirements of NZBC Clause F2.2, by ensuring that any risk associated with asbestos-containing materials is appropriately managed before and during construction. The following measures will be put in place:

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03

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Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

APNZ
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Existing First Floor Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

02/07/2025 Marc Vale Architecture

Drawing no. Revision

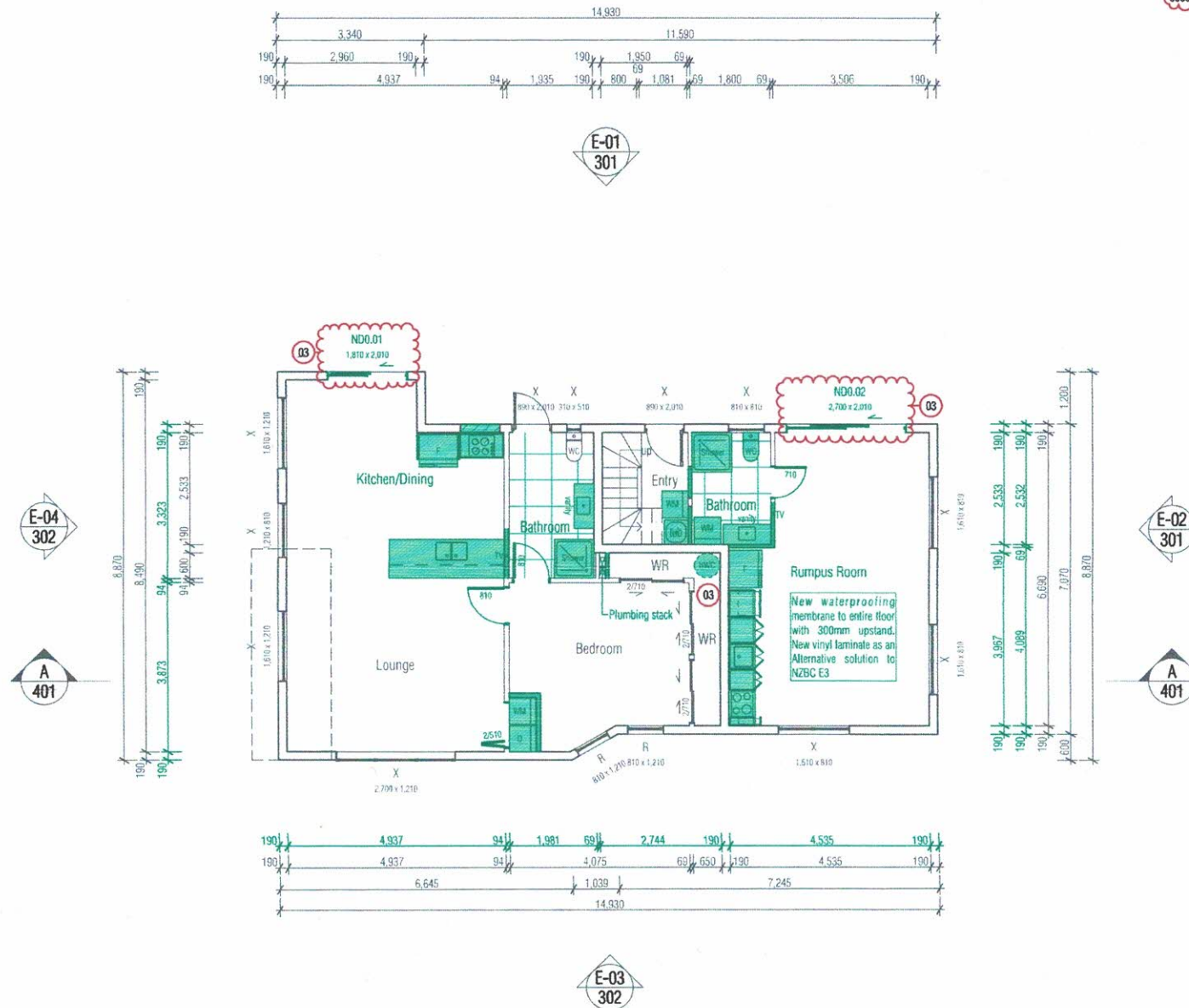
202 03

All dimensions to be verified on site before commencing any work or producing any drawings. We do not make the copyright of this drawing extends with Marc Vale Architecture Ltd.

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Handwritten signature/initials

Existing Ground Floor Area over Framing
113.86 m²



Key/Notes

All new timber walls are non-load bearing. Fix internal bottom plates to existing concrete slab with Ramset 8x75 drive Pin & washer over DPC.

All new internal walls H1.2 90x45 SGB studs @ 600c/s, nogs @ 800c/s

Key/Notes

Existing to remain

New timber framed wall

D = Window/Door to be Demo'd
X = Window/Door to remain
R = Repair Existing Window/Door
NW/ND/## = New Window/Door

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Building to be assessed under Section 112 of the Building Act:

- The building's overall compliance with the Building Code (including other applicable clauses in addition to fire and accessibility, such as structure) must not be less than what it was prior to the alteration taking place.
- The whole building needs to be upgraded so that it complies as nearly as is reasonably practicable with the current Building Code clauses for fire and accessibility (if applicable under section 118 of the Building Act).

Waterproofing Membrane installed to entire bathroom floor area with 75mm upstands to walls

All flooring tiles to a mean coefficient of friction no less than 0.4

Ceiling/wall junction to match existing



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Drawing Issue

Building Consent

Sheet Title

Proposed Ground Floor Plan

Scale

1:100 @ A3

Date

02/07/2025

Drawing No.

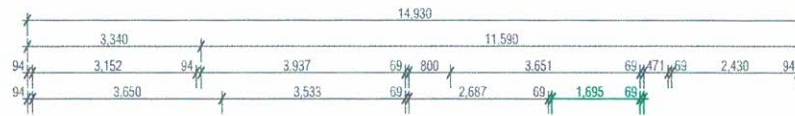
203

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Handwritten signature and stamp.

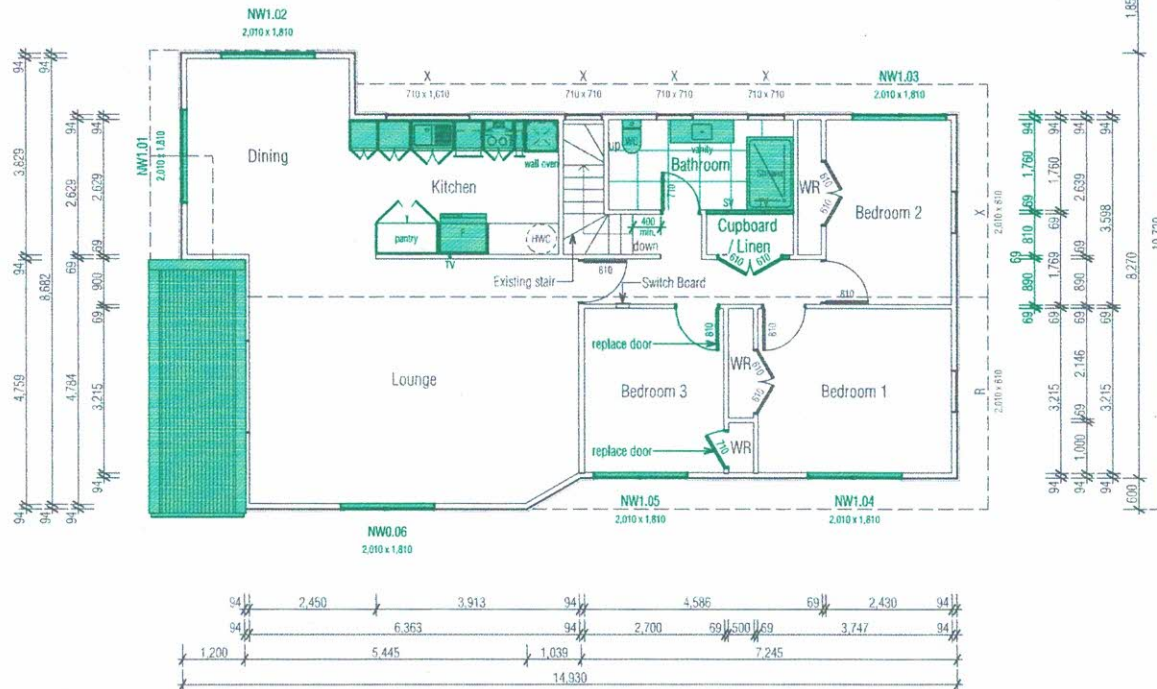
Existing First Floor Area over Framing
108.04 m²



E-01
301

E-04
302

A
401



E-03
302

Key/Notes

All new timber walls are non-load bearing. Fix internal bottom plates to existing flooring with 90x3.15 power-driven nails @ 600crs max.

All new internal walls H1.2 90x45 SG8 studs @ 600crs, nogs @ 800crs

Key/Notes

Existing to remain

New timber framed wall

D = Window/Door to be Demo'd
X = Window/Door to remain
R = Repair Existing Window/Door
NW/ND, ## = New Window/Door

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Building to be assessed under Section 112 of the Building Act:

1. The building's overall compliance with the Building Code (including other applicable clauses in addition to fire and accessibility, such as structure) must not be less than what it was prior to the alteration taking place.

2. The whole building needs to be upgraded so that it complies as nearly as is reasonably practicable with the current Building Code clauses for fire and accessibility (if applicable under section 118 of the Building Act).

Waterproofing Membrane installed to entire bathroom floor area with 75mm upstands to walls

All flooring tiles to a mean coefficient of friction no less than 0.4

Ceiling/wall junction to match existing

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Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

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Drawing Issue

Building Consent

Sheet Title

Proposed First Floor Plan

Scale

1:100 @ A3

Date

02/07/2025

Drawing no.

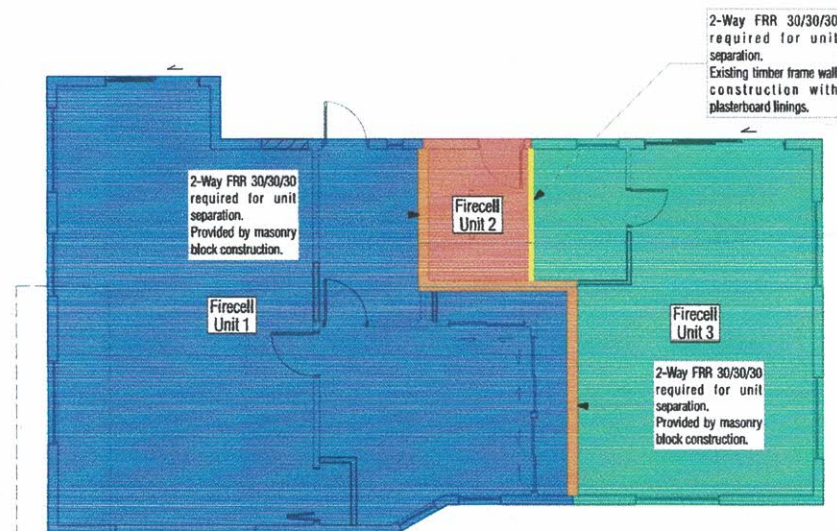
204

03

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

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Ground Floor Firecell Plan



First Floor Firecell Plan

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Professional Member

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Drawing Issue

Building Consent

Sheet Title

Proposed Firecell Plan

Scale: Drawn

1:100 @ A3 Marc R. Vale

Date: Checked

24/05/2025 Marc Vale Architecture

Drawing no. Revision

205 02

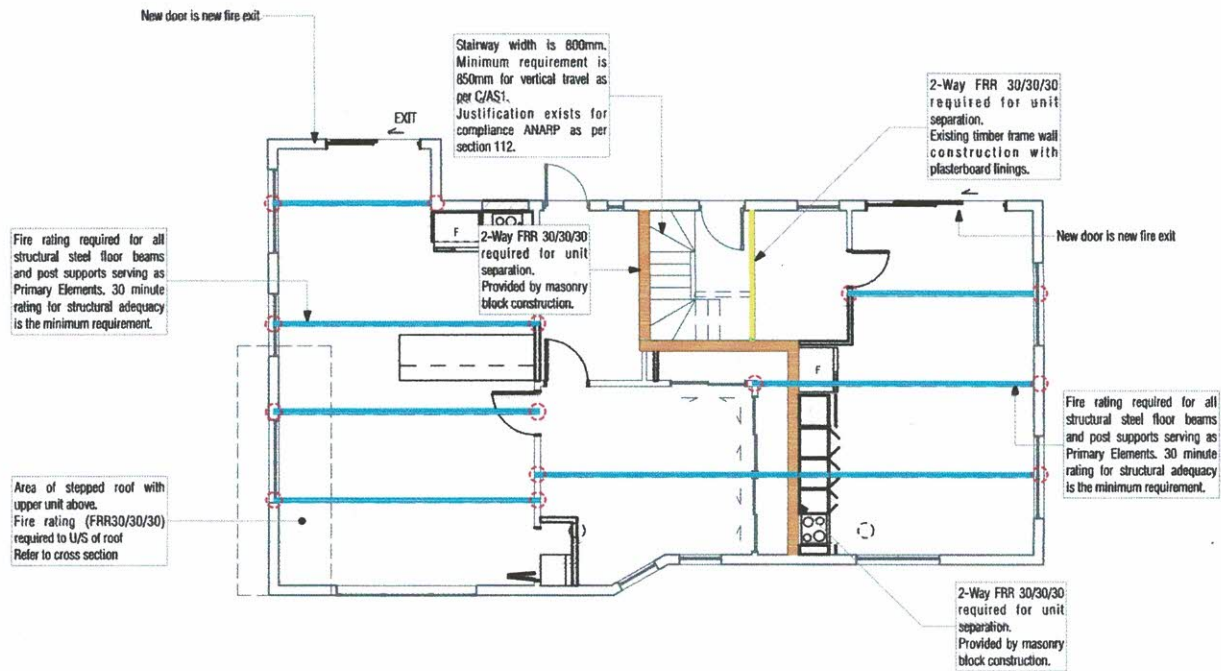
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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

A minimum Type 1 domestic smoke alarm, installed in accordance with C/AS1 and NZS4514: 2021.

Key/Notes

To be read in conjunction with Fire Safety Report reference 19407 dated 18th December 2024 by RS Eng Limited



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Building Consent

Sheet Title

Fire Ground Floor Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

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Drawing no. Revision

206 02

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RevID Revision Name Date

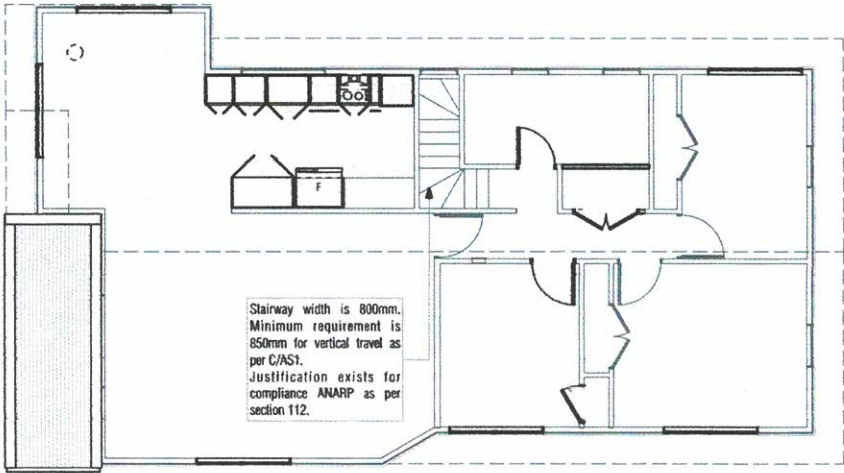
01 Developed Design 17/04/2025

02 Building Consent 24/05/2025

Marc Vale

A minimum Type 1 domestic smoke alarm, installed in accordance with C/AS1 and NZS4514: 2021.

To be read in conjunction with Fire Safety Report reference 19407 dated 18th December 2024 by RS Eng Limited



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Project Title
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Site Address
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Drawing Issue
Building Consent

Sheet Title
Fire First Floor Plan

Scale
1:100 @ A3

Drawn
Marc R. Vale

Date
24/05/2025

Checked
Marc Vale Architecture

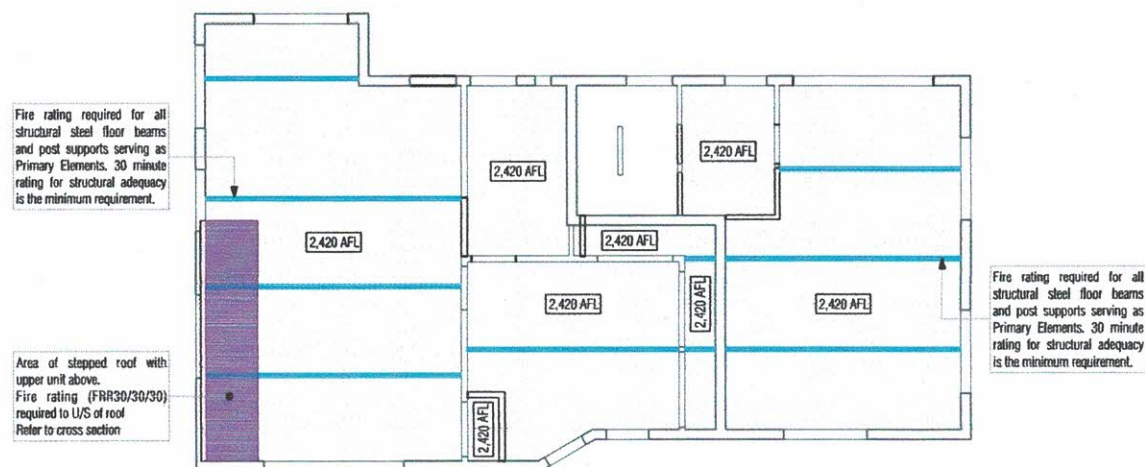
Drawing no.
207

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

Existing drawings indicate Fyreline. TBC on site, any new ceilings or repair in existing ceilings to be GIB 13mm Fyreline

Ceiling/wall junction to match existing

Ceiling heights to be confirmed on site



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Site Address

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Drawing Issue

Building Consent

Sheet Title

Ground Floor Reflected Ceiling
Plan

Scale

1:100 @ A3

Drawn

Marc R. Vale

Date

24/05/2025

Checked

Marc Vale Architecture

Drawing no.

208

Revision

02

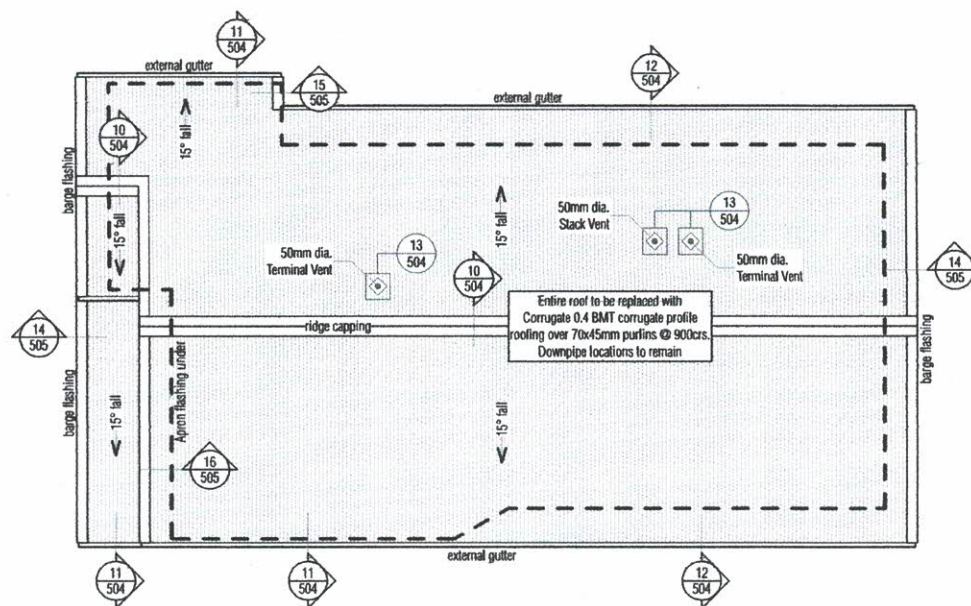
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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

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- 03 H1.2 70x45 S65 purlins @ 900cs UNO. 600 end span. Fix with 1/10g self-drilling screw, 80 mm long.



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Drawing Issue

Building Consent

Sheet Title

Roofing Plan

Scale: Drawn

1:100 @ A3 Marc R. Vale

Date: Checked

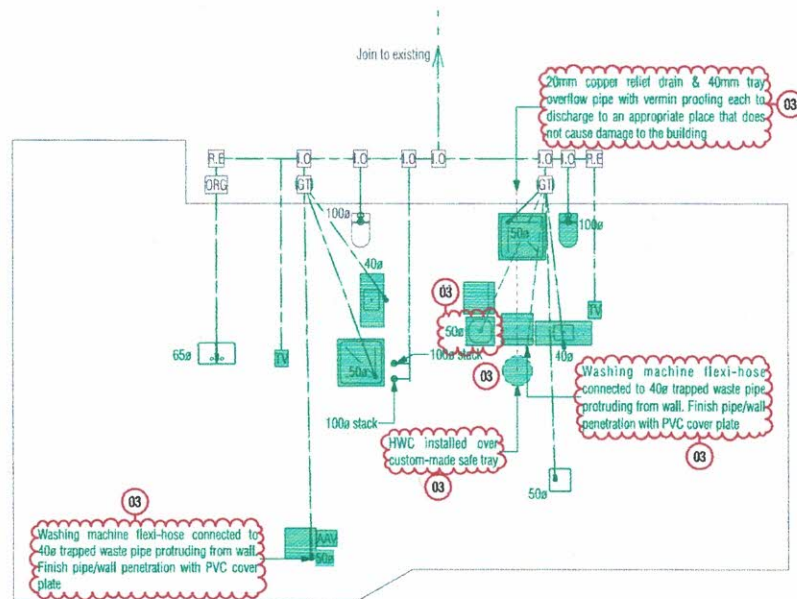
02/07/2025 Marc Vale Architecture

Drawing No. Revision

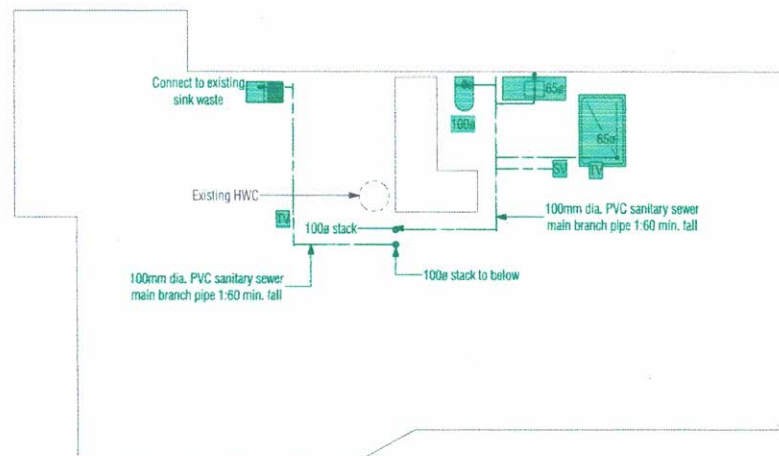
209 03

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01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning NFI	02/07/2025



Ground Floor Plumbing Plan



First Floor Plumbing Plan

Key/Notes

Drains installed under buildings shall be:
a) Straight and of even gradient,
b) Separated from the building foundation by at least 25 mm, and
c) When passing through concrete, sleeved or wrapped in a durable and flexible material to allow for expansion and contraction.

Drains passing beneath buildings with a concrete slab on the ground floor shall have in addition to Paragraph 5.8.1:

a) 50 mm clearance from the top of the pipe to the underside of the slab, and
b) Junctions beneath the building joining at an angle of not more than 45°

Minimum Water supply pipe size as per G12/AS1 Table 4

- Minimum tempering valve size - 15mm
- Pipes to tempering valve - 20mm
- Pipes to shower - 20mm
- Pipes to sink/laundry - 15mm
- Pipes to bath - 15mm
- Pipes to basins - 10mm

Carry out all sanitary sewer work and complete all tests to NZBC G1/AS1: 2.0, 3.0 and AS/NZS 3500.2, as modified by NZBC G13/AS3

1:40 for 65mm diameter and under
1:60 for 100mm diameter and under

Carry out all stormwater work and complete all tests to NZBC E1/AS1

1:120 for 100mm diameter and under

Lay uPVC pipe systems to relevant sections of AS/NZS 2032, NZS 2566.1 and AS/NZS 2566.2

All plumbing and drainage to be confirmed by contractor before commencement of works

A registered drainlayer/plumber is to provide an as-built layout to council

Key/Notes

- RD Rodding Eye
- LI Inspection Point
- AA Air Admittance Valve
- OR Overflow Relief Gully
- GT Gully Trap
- TV 500 Terminal Vent
- FX 500 Fixture Vent
- SV 500 Stack Vent
- uPVC Sanitary Sewer Pipe
- Downpipe
- 100mm uPVC Stormwater Pipe
- HS Hosetap



Client

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Drawing Issue

Building Consent

Sheet Title

Plumbing + Drainage Plan

Scale Drawn

1:100 @ A3 Marc R. Vale

Date Checked

02/07/2025 Marc Vale Architecture

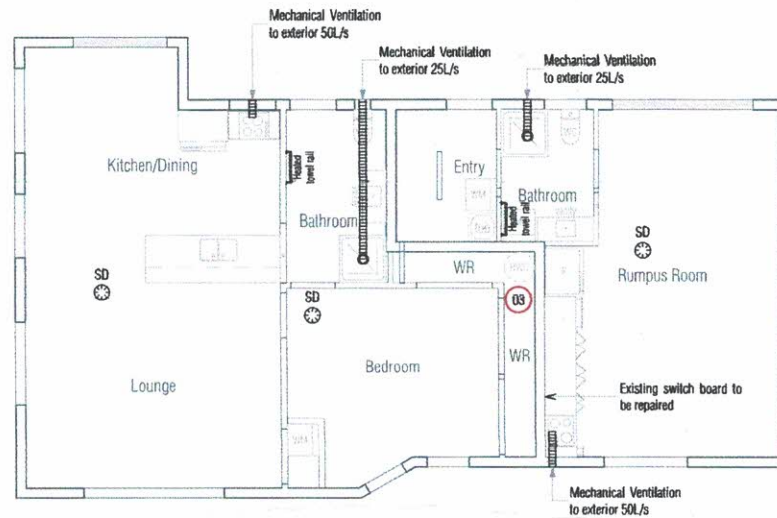
Drawing no. Revision

210 03

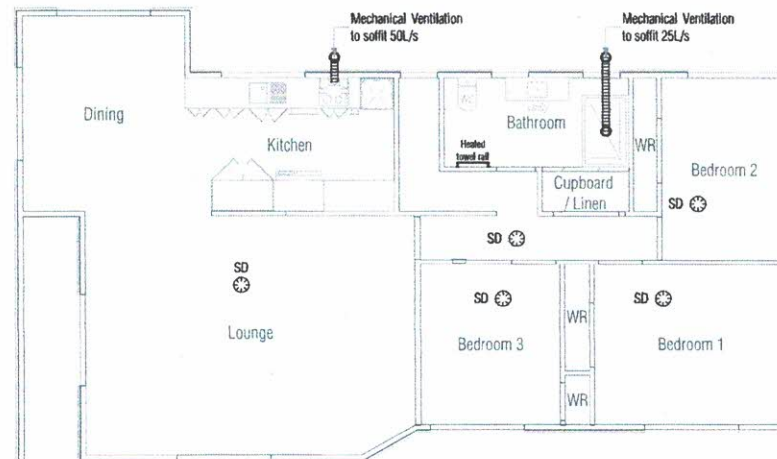
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RevID	Revision Name	Date
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025





Electrical + Ventilation Plan



Electrical + Ventilation Plan

Key/Notes

Mechanical Ventilation to NZS 4303:1990

All electrical work to be confirmed by client before commencement of works

Downlights to be IC-F or IC so that insulation does not require any insulation clearances.

Adequate artificial lighting in entrance (min. 20 lux at floor level) and when activated in the absence of sufficient natural light will enable safe moveable.

Internal stairs to have lighting with light switches located at top and bottom of stairs in compliance with D1/AS1 Section 4.6

Key/Notes



Type 1 inter-connected wireless smoke alarm to NZBC F7/AS1 & NZS 4514:2011

Smoke alarms should not be located:

- In dead air spaces as shown in NZS4514:2011 Figure 2.1;
- Within 300 mm of a light fitting;
- Closer than 400 mm to any air-supply opening;
- Closer than 400 mm outside the circumference of the blades of a ceiling fan;
- In attics, roof spaces, or other places where extremes of temperature, dust and high airflows may occur;
- Near a decorative object, door, light fitting, or window moulding that may prevent smoke from entering the sensing chamber;
- On surfaces that are normally warmer or colder than the rest of the room, such as a poorly insulated ceiling below an unfinished attic or an uninsulated exterior wall;
- Closer than 400 mm to the supply air opening of an air-conditions unit or forced air ventilation unit;
- In, next to, or directly above heaters or air-conditioning vents, opening windows, or wall vents that can change the direction or airflow;
- In dusty or dirty environments;
- Within 1 m from a cooktop, and where possible at least 3 m clearance from a cooktop should be maintained

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Member

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Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Electrical + Ventilation Plan

Scale

1:100 @ A3

Date

02/07/2025

Drawing no.

212

RevID

01 Developed Design

02 Building Consent

03 Building/Planning RFI

Revision Name

17/04/2025

24/05/2025

02/07/2025

Date

17/04/2025

24/05/2025

02/07/2025

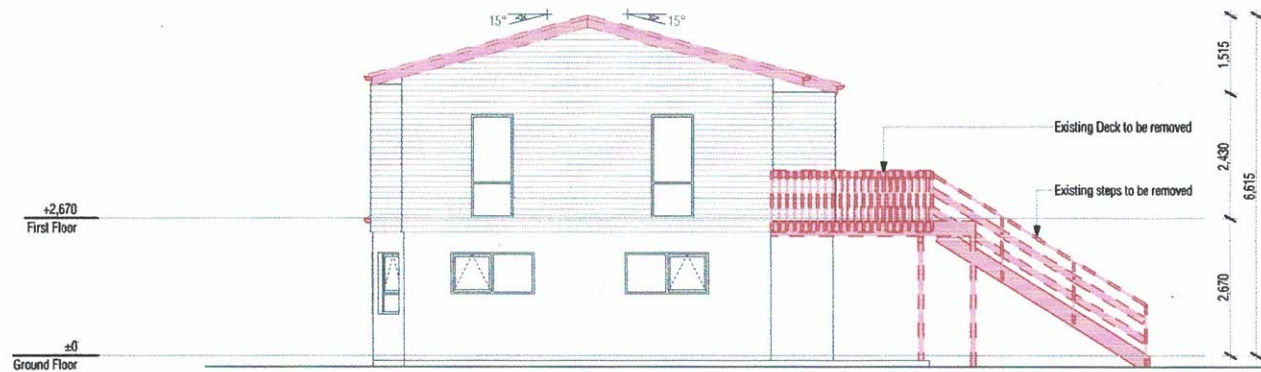
03

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[Handwritten signature]



E-01 North Elevation
#LayID Scale 1:100



E-02 East Elevation
#LayID Scale 1:100

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Drawing Issue

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Sheet Title

Existing Elevations

Scale Drawn

1:100 @ A3 Marc R. Vale

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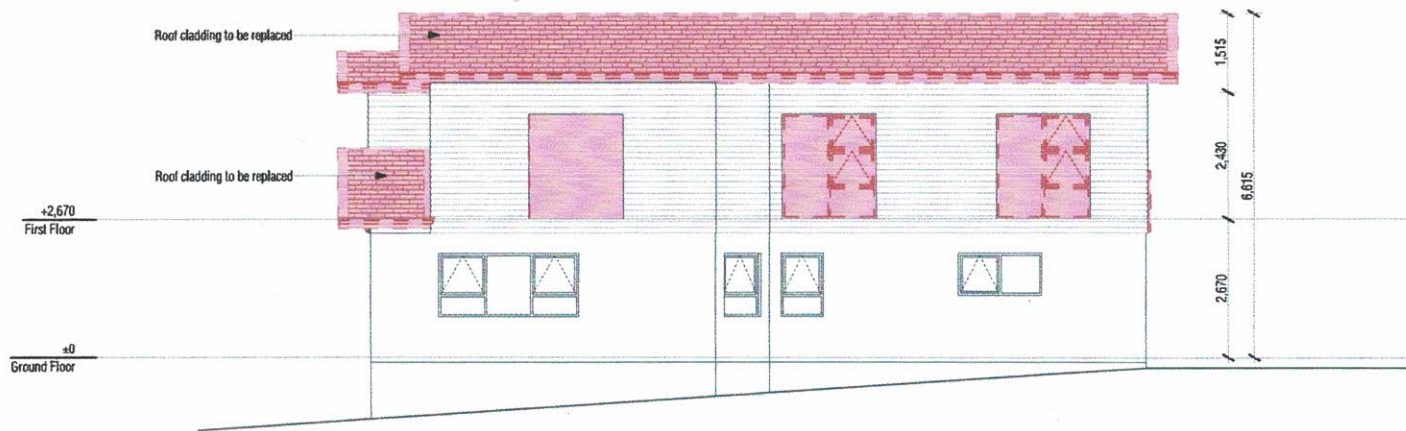
Drawing no. Revision

301 02

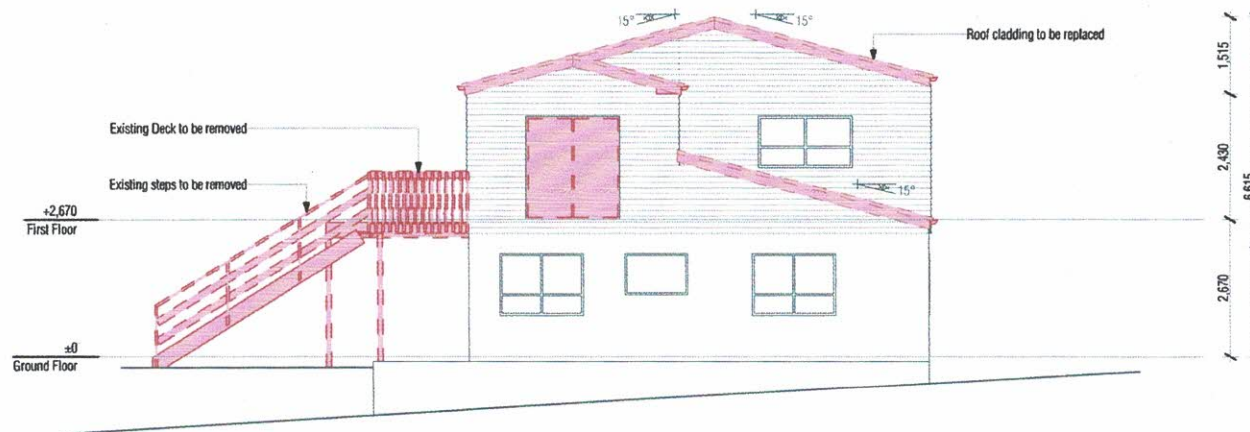
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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

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E-03 South Elevation
#LayID Scale 1:100



E-04 West Elevation
#LayID Scale 1:100

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Sheet Title

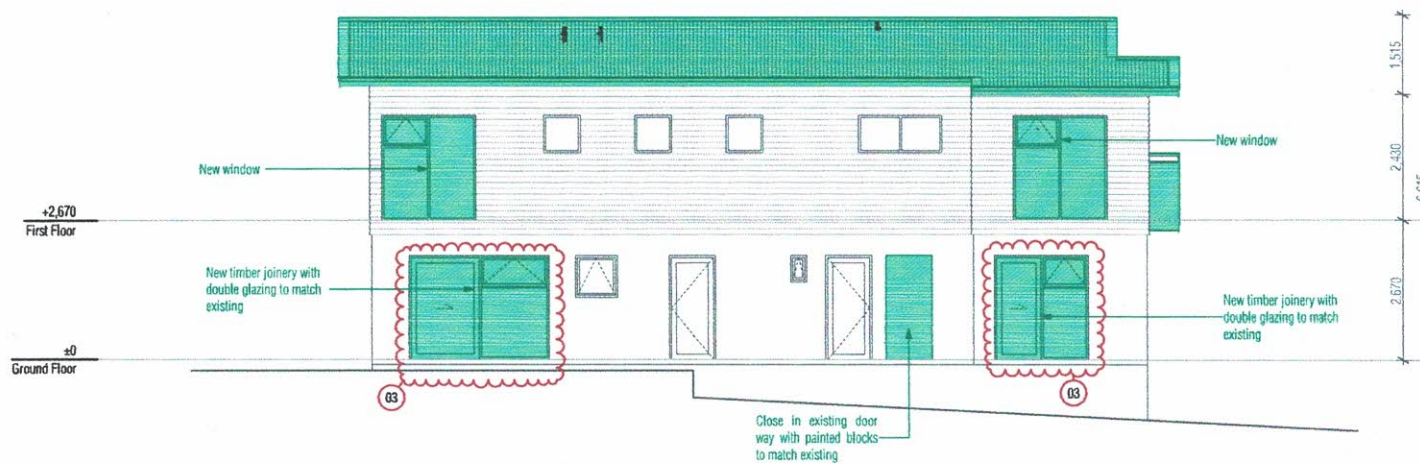
Existing Elevations

Scale	Drawn
1:100 @ A3	Marc R. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

302 **02**

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

[Handwritten signature]



E-01 North Elevation
#Lay1D Scale 1:100



E-02 East Elevation
#Lay1D Scale 1:100

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Drawing Issue

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Sheet Title

Proposed Elevations

Scale: Drawn

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303 03

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Rev'd	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning PF1	02/07/2025

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E-03 South Elevation
#LayID Scale 1:100



E-04 West Elevation
#LayID Scale 1:100

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Sheet Title

Proposed Elevations

Scale: Drawn

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304 02

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025

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Door / Window ID	ND0.01	ND0.02
Quantity	1	1
2D Elevation (Unit Size Dimensioned)		
	1,810 x 2,010	2,700 x 2,010
Unit W x H Size	1,810 x 2,010	2,700 x 2,010
FL to Head Height	2,010	2,010
FL to Sill	0	0
Restrictor stays	<input type="checkbox"/>	<input type="checkbox"/>
Double-Glazed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Safety Glass	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Frosted	<input type="checkbox"/>	<input type="checkbox"/>

Proposed Ground Floor Joinery

Door / Window ID	NW0.06	NW1.01	NW1.02	NW1.03
Quantity	1	1	1	1
2D Elevation (Unit Size Dimensioned)				
	1,810 x 2,010	1,810 x 2,010	1,810 x 2,010	1,810 x 2,010
Unit W x H Size	1,810 x 2,010	1,810 x 2,010	1,810 x 2,010	1,810 x 2,010
FL to Head Height	2,010	2,010	2,010	2,010
FL to Sill	0	0	0	0
Restrictor stays	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Double-Glazed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Safety Glass	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Frosted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Door / Window ID	NW1.04	NW1.05
Quantity	1	1
2D Elevation (Unit Size Dimensioned)		
	1,810 x 2,010	1,810 x 2,010
Unit W x H Size	1,810 x 2,010	1,810 x 2,010
FL to Head Height	2,010	2,010
FL to Sill	0	0
Restrictor stays	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Double-Glazed	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Safety Glass	<input type="checkbox"/>	<input type="checkbox"/>
Frosted	<input type="checkbox"/>	<input type="checkbox"/>

Proposed First Floor Joinery

Room Location	Bathroom	Bedroom	Lounge
Door Leaf	710	810	2/510 Bifold
Quantity	1	1	1
2D Elevation			
	710 x 2,020	810 x 2,020	1,060 x 2,020
Frame W x H Size	710 x 2,020	810 x 2,020	1,060 x 2,020

Proposed Ground Floor Interior Door Schedule

Room Location	Bathroom	Bedroom 3	Bedroom 3 WR	Cupboard/Linen
Door Leaf	710	810	710	2/510
Quantity	1	1	1	1
2D Elevation				
	710 x 2,020	810 x 2,020	710 x 2,020	1,260 x 2,020
Frame W x H Size	710 x 2,020	810 x 2,020	710 x 2,020	1,260 x 2,020

Proposed First Floor Interior Door Schedule

Key/Notes

All glazing to NZS 4223 - Parts 1 & 4:2008, Parts 2 & 3:2016

Dimensions shown are Unit Size



Client

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Project Title

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Site Address

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Drawing Issue

Building Consent

Sheet Title

Door & Window Schedule

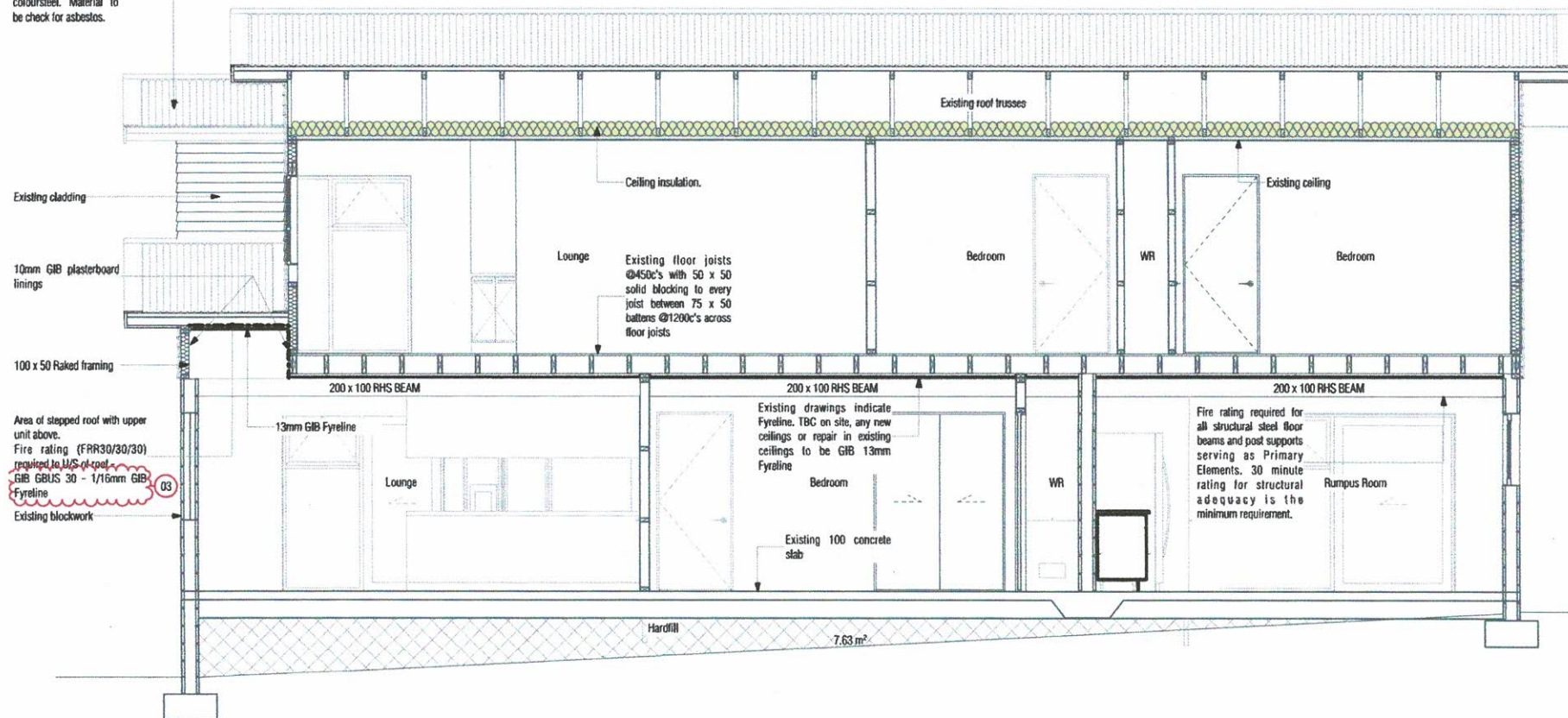
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1:100 @ A3	Marc R. Vale
Date	Checked
02/07/2025	Marc Vale Architecture
Drawing no.	Revision

305 03

RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025

Handwritten signature and date 02/07/25

Water stains on ceiling
leaking roof, roof to be
replaced with
coloursteel. Material to
be checked for asbestos.



A Cross Section A-A
1:50 203, 204

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AR NZ
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Cross Sections

Scale Draw

1:50 @ A3 Marc R. Vale

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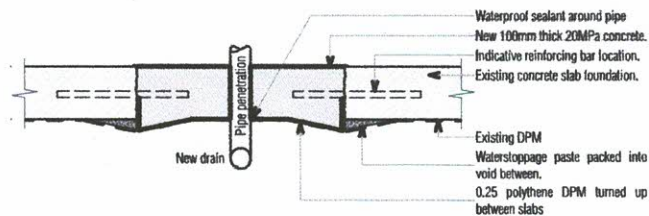
02/07/2025 Marc Vale Architecture

Drawing no. Revision

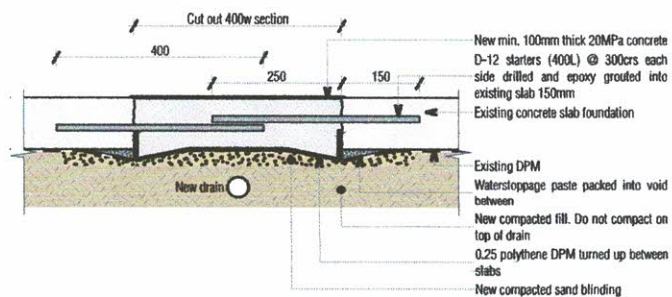
401 03

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RevID	Revision Name	Date
01	Developed Design	17/04/2025
02	Building Consent	24/05/2025
03	Building/Planning RFI	02/07/2025



01 Slab Penetration
Scale 1:10



02 Slab Chase
Scale 1:10

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Sheet Title

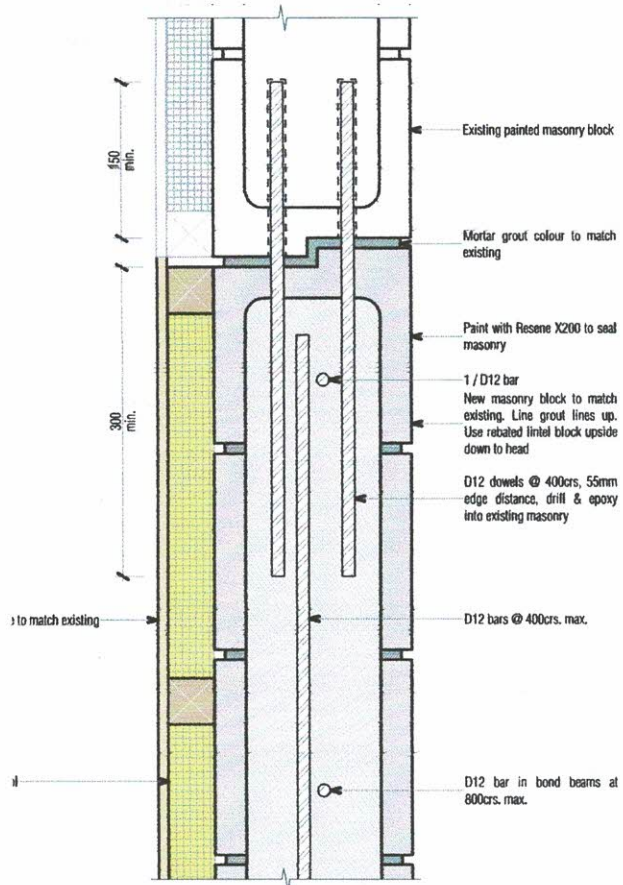
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Scale	Drawn
1:10 @ A3	Marc R. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

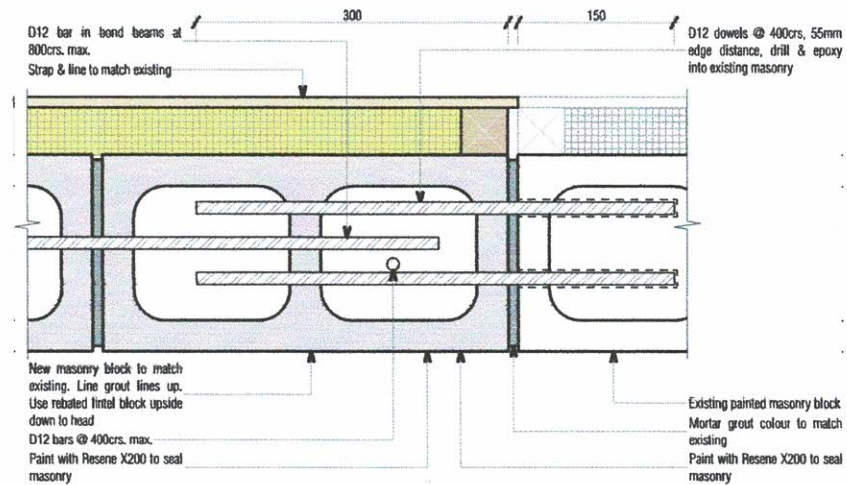
501 02

Rev#	Revision Name	Date
02	Building Consent	24/05/2025

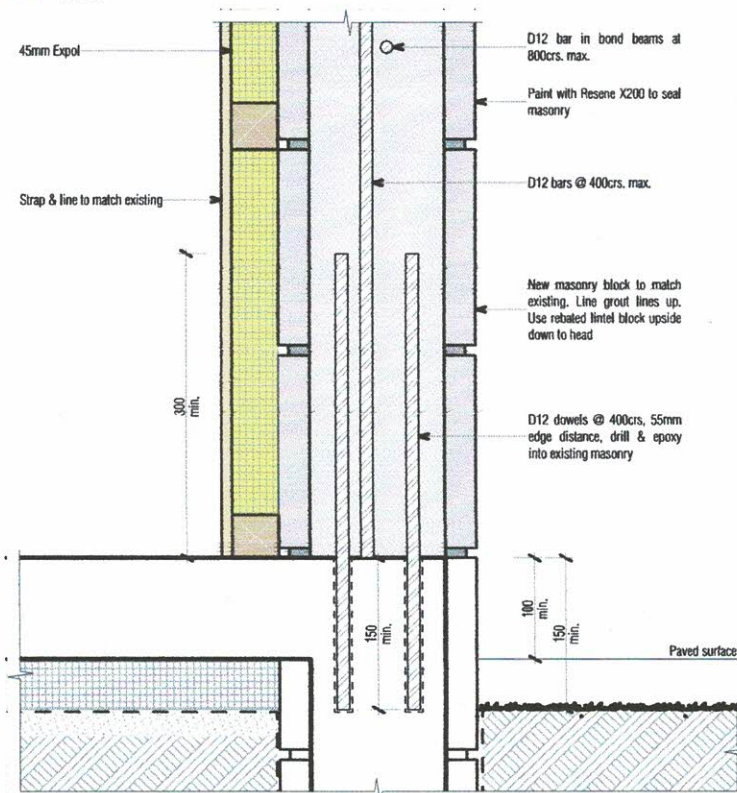
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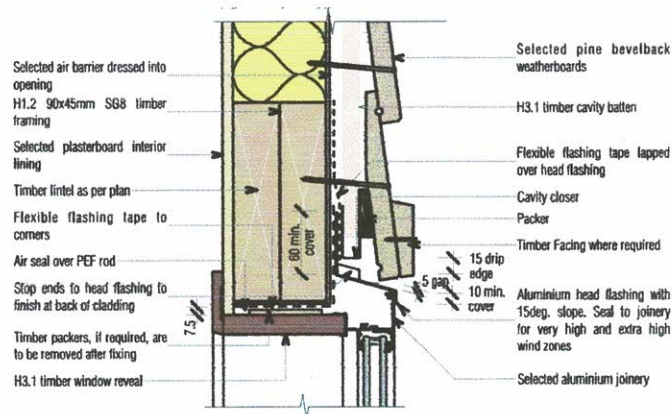
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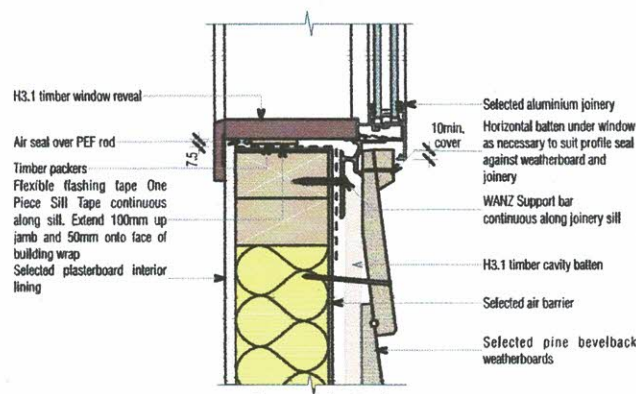
02 Block Infill - Jamb
Scale 1:5



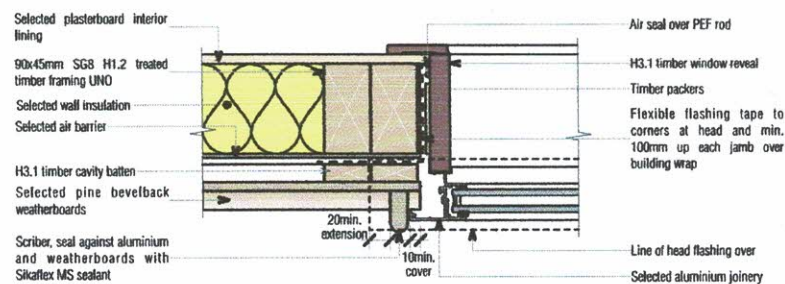
03 Block Infill - Base
Scale 1:5



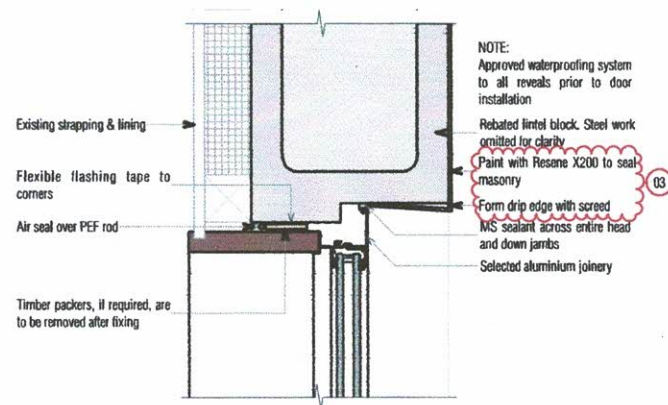
04 Window Head - Pine Bevelback
Scale 1:5



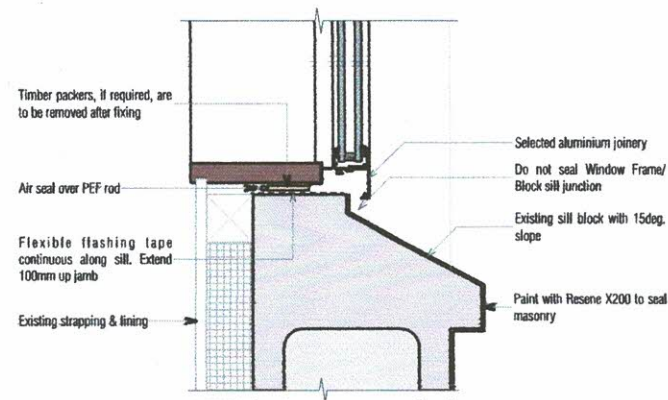
05 Window Sill - Pine Bevelback
Scale 1:5



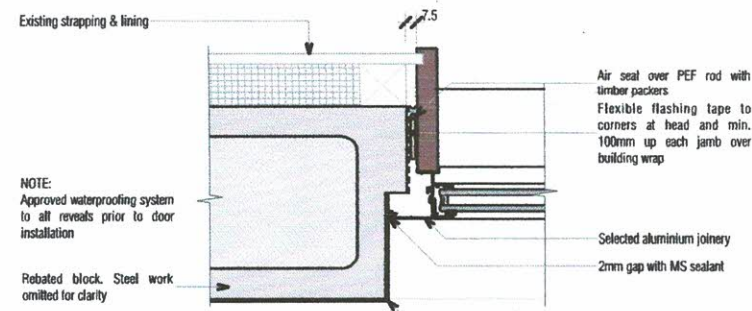
06 Window Head - Pine Bevelback
Scale 1:5



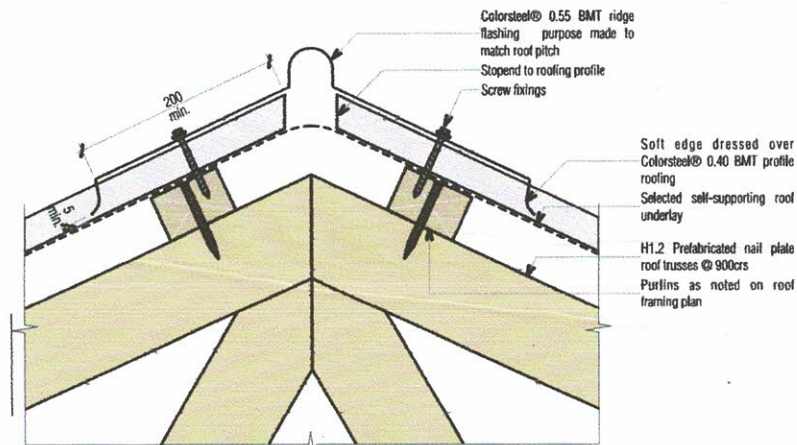
07 Window Head - Block
Scale 1:5



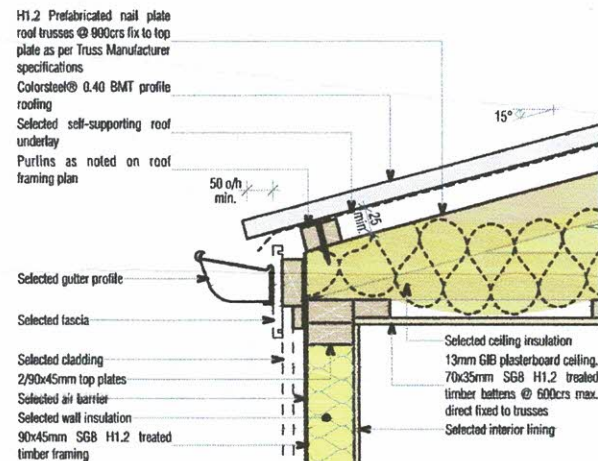
08 Window Sill - Block
Scale 1:5



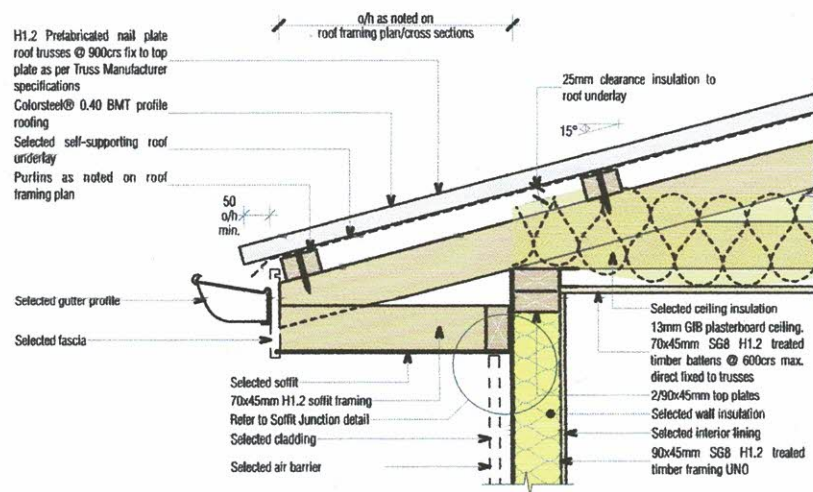
09 Window Jamb - Block
Scale 1:5



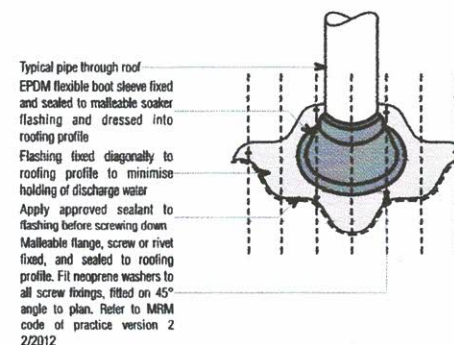
10 Typical Truss Ridge
Scale 1:5



11 15° Truss Eave - Heel Clipped
Scale 1:10

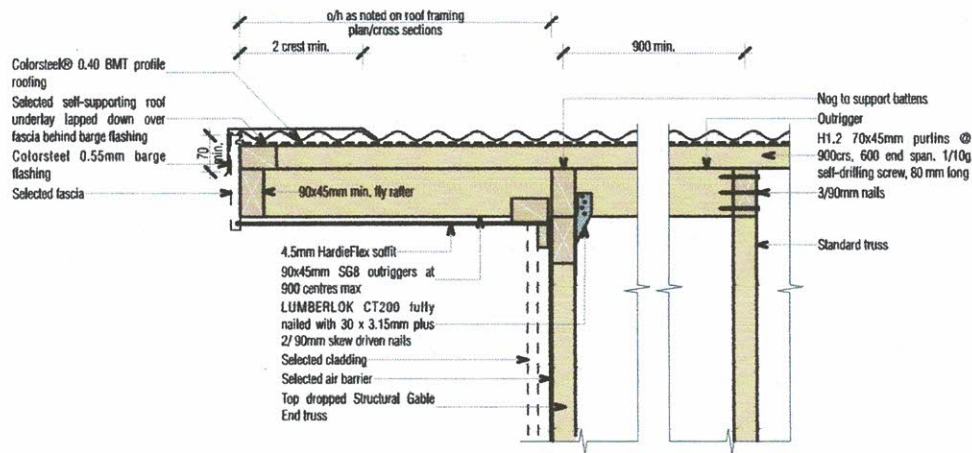


12 15° Truss Eave - Heel Clipped
Scale 1:10

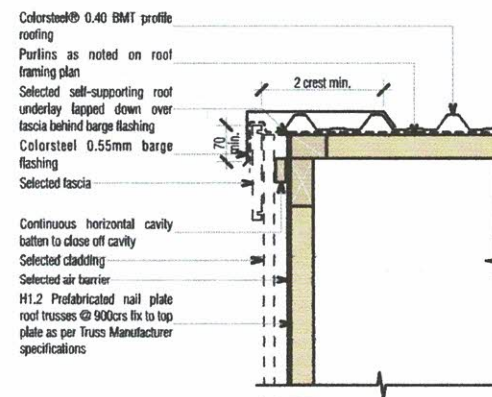


13 Small Roof Penetrations
Scale 1:10

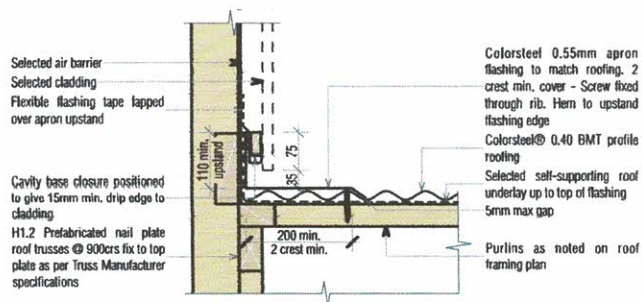
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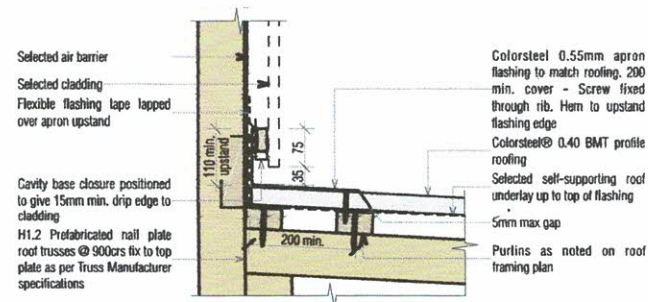
14 Rafter Barge - Cantilever Outrigger
Scale 1:10



15 Truss Barge - No Eave
Scale 1:10

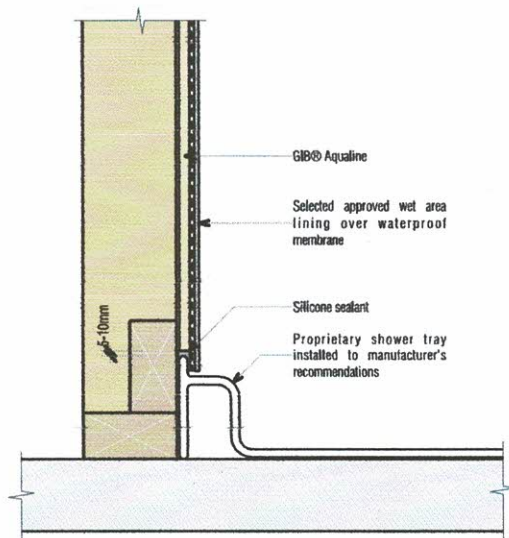


16 Parallel Apron
Scale 1:10

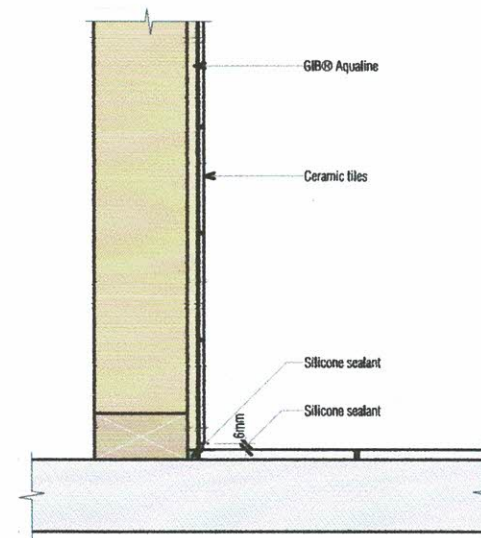


17 Transverse Apron
Scale 1:10

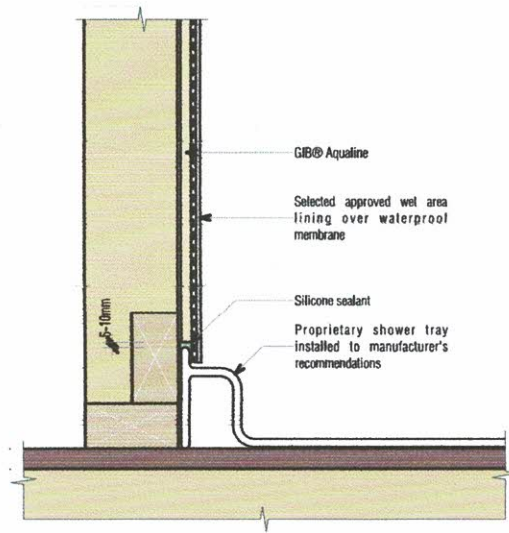
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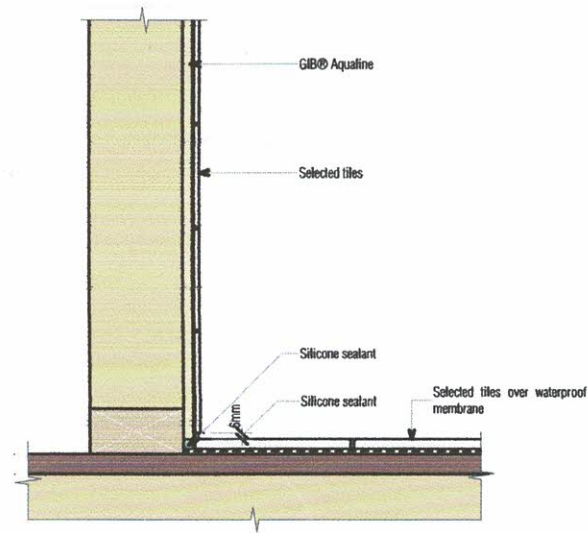
18 Shower - Acrylic Base
Scale 1:5



20 Tiled Wall/Floor Detail
Scale 1:5



19 Shower - Acrylic Base
Scale 1:5



21 Tiled Wall/Floor Detail
Scale 1:5

Building,
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MARC VALE
ARCHITECTURE

APNZ
Professional
Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
North District

Drawing Issue

Building Consent

Sheet Title

Details - Finishes

Scale: Drawn

1:5 @ A3 Marc R. Vale

Date Checked

24/05/2025 Marc Vale Architecture

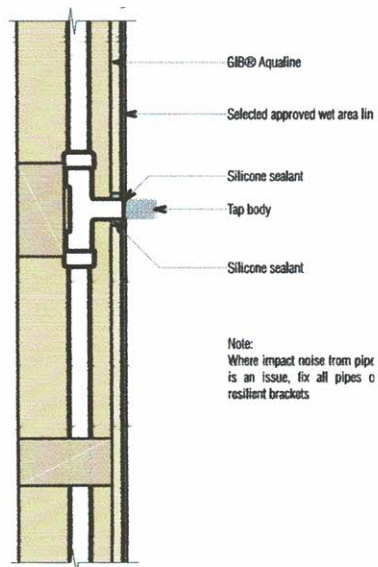
Drawing no. Revision

506 02

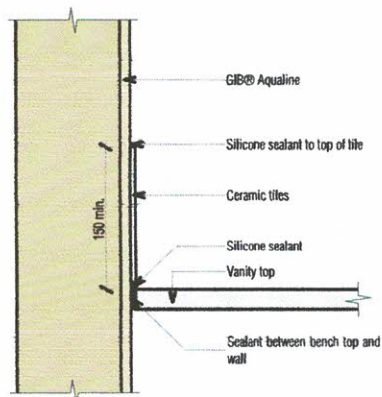
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RevID	Revision Name	Date
02	Building Consent	24/05/2025

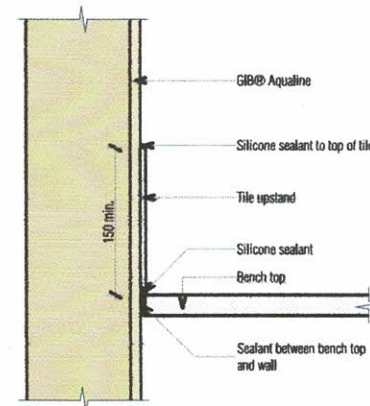
Handwritten signature/initials in blue ink.



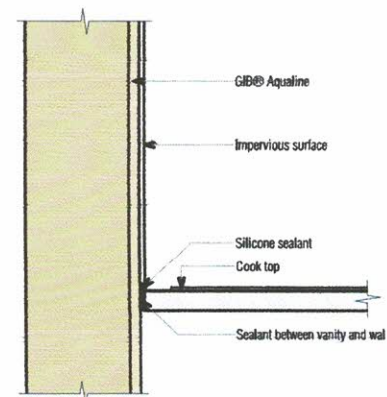
22 Penetration Detail
Scale 1:5



23 Vanity Top/Wall Detail
Scale 1:5



24 Kitchen and Laundry Bench Top/Wall Detail
Scale 1:5



25 Cook Top/Wall Detail
Scale 1:5

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NZ
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Designers
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Member

Client

Jeremiah Bos

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North District

Drawing Issue

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Sheet Title

Details - Finishes

Scale: Drawn

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Two-way FRR — timber frame

Specification number	Performance	Specifications
GBTL 30b	FRR 30/30/30	Lining 1 layer 13mm GIB® Standard each side
	STC 35	LB/NLB Loadbearing
	Rw 35	
GBTL 30c	FRR 30/30/30	Lining 1 layer 10mm GIB® Standard each side
	STC 33	LB/NLB Loadbearing
	Rw 34	Framing Minimum 90mm stud depth

FRAMING

Framing to comply with:

- NZBC B1 — Structure: AS1 Clause 3 — Timber (NZS 3604) or VM1 Clause 6 — Timber (NZS 3603)
- NZBC B2 — Durability: AS1 Clause 3.2 — Timber (NZS 3602)
- Studs at 600mm centres maximum
- Nogs at 1200mm centres maximum

WALL HEIGHTS AND FRAMING DIMENSIONS

Non-loadbearing — Framing dimensions and height as determined by NZS 3604 stud tables for non-loadbearing partitions.

Loadbearing — Framing dimensions and height as determined by NZS 3604 stud and top plate tables for loadbearing walls.

LINING

GBTL 30b — 1 layer of 13mm GIB® Standard each side of the frame.

GBTL 30c — 1 layer of 10mm GIB® Standard each side of the frame.

Vertical or horizontal fixing permitted. All sheet joints must be formed over solid timber framing. Sheets shall be touch fitted.

Vertical fixing — Stagger longitudinal sheet joints on opposite sides of the wall. When sheet end butt joints are unavoidable, they

shall be formed over nogs and offset on opposite sides of the frame.

Horizontal fixing — Horizontal joints on opposite sides of the wall can be formed over the same row of nogs. Sheet end butt joints shall be formed over studs and offset on opposite sides of the frame.

FASTENING THE LINING**Fasteners**

41mm x 6g GIB® Grabber® High Thread Drywall Screws.

Fastener centres

Place fasteners at 300mm centres to perimeter framing and intermediate studs.

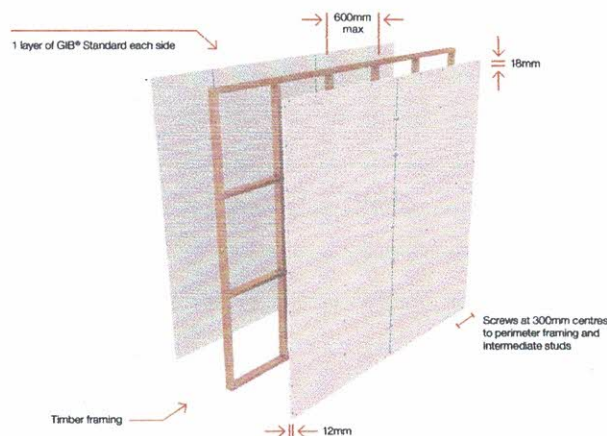
Place fasteners 50mm from sheet corners along plates. At wall corners place an additional fastener 50–60mm vertically, no closer than 10mm from plate-to-stud joints.

Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends.

Place fasteners at 200mm centres along sheet end butt joints.

JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".



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Client

Jeremiah Bos

Project Title

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Site Address

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Drawing Name

Building Consent

Sheet Title

Details - Fire

Scale	Drawn
1:1 @ A3	Marc P. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

508 02

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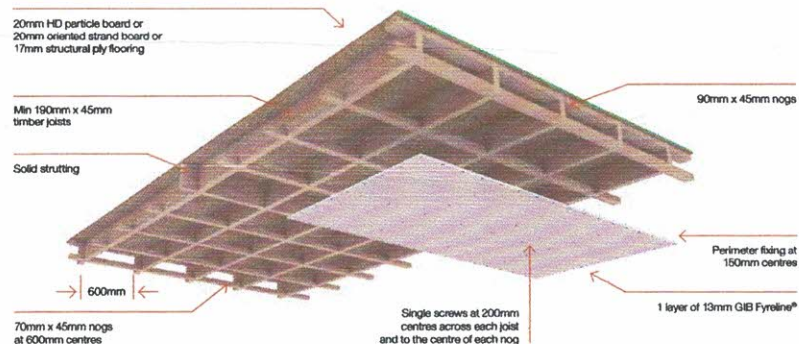
Rev'd	Revision Name	Date
02	Building Consent	24/05/2025

Marc Vale

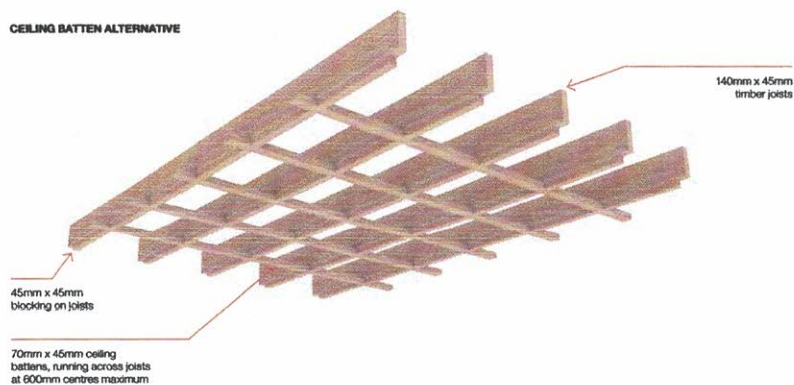


Timber joist

Specification number	Performance	Specifications
GBFC 30*	FRR 30/30/30 STC 39 Rw 40 IIC 32	Lining 1 layer 13mm GIB Fyrelite® LB/NLB Load bearing



CEILING BATTEN ALTERNATIVE



FLOOR FRAMING

Floor joists must comply with NZS 3604 and be a minimum of 190mm x 45mm or 140mm x 45mm when using the ceiling batten alternative. Joists are spaced at 600mm maximum. Solid strutting is required in accordance with NZS 3604.

Nogs fixed on the flat to receive the ends of flooring material shall be 90mm x 45mm minimum.

Nogs fixed on the flat to receive GIB® linings shall be 70mm x 45mm minimum spaced at 600mm for joists at 600mm, or at 1200mm for joists at 400mm or 450mm.

Nogs/framing is required at the perimeter of the fire rated ceiling.

FLOORING

Minimum flooring shall be nominal 20mm oriented strand board or particle board, or minimum 17mm-thick structural plywood fixed to the joists in accordance with the manufacturers' specifications.

Flooring sheet joints must have a polypropylene tongue and groove jointer or be formed over framing.

CEILING LINING

1 layer of 13mm GIB Fyrelite® shall be fixed at right angles to the underside of the floor joists.

All sheet joints must occur on joists, solid strutting or nogs.

Sheets shall be touch fitted.

FASTENING THE LINING

Fasteners

51mm x 7g GIB® Grabber® High Thread Drywall Screws.

Fastener centres

Place fasteners at 150mm centres around the perimeter of each sheet and at 200mm centres along each joist and at the centre of each nog.

Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends.

WALL/CEILING JUNCTIONS

The internal angle between the ceiling and walls must be protected by GIB-Cove® adhered with GIB-Cove® Bond, or boxed corners (square stopped) filled and taped in accordance with the publication entitled "GIB® Site Guide".

JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".

CEILING BATTEN ALTERNATIVE

Where NZS 3604 permits 140mm joists, these may be used with continuous 70mm x 45mm ceiling battens at 600mm centres, running across the joists (battens may also be used to level the ceiling in renovation work). Linings are installed perpendicular to the battens.

When joists are spaced at 600mm, 45mm x 45mm blocking between the ceiling battens is required under all joists.

When joists are spaced at 400mm, blocking on joists is required behind longitudinal lining joints at 1200mm centres only.

When joists are at 450mm, 70mm x 45mm nogs are required between the battens at 600mm centres (or at 1200mm centres when battens are spaced at 450mm or less).

Nogs/framing is required at the perimeter of the fire rated ceiling.

"If only a 30/30/30 FRR is required, the use of nominally 70mm x 35mm timber battens is permitted or alternatively metal battens can be used provided construction is otherwise in accordance with specification GBSC 30."



Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

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Building Consent

Sheet Title

Details - Fire

Scale

1:1 @ A3

Date

24/05/2025

Drawing no.

509

02

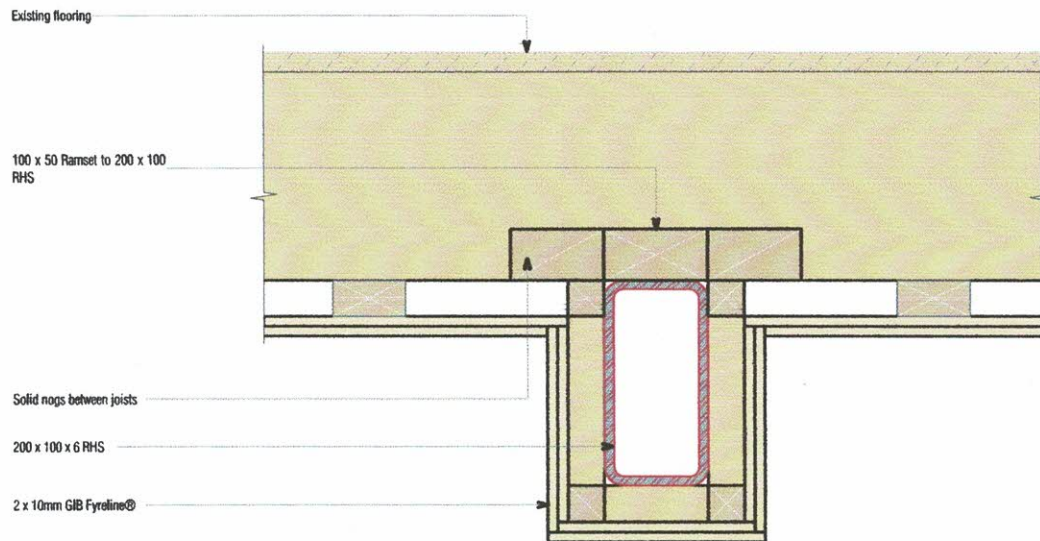
RevID

02

Building Consent

24/05/2025





30 Existing beam details
Scale 1:5

STRAPPING

Strap column or beams with a timber cradle frame with a minimum nominal thickness of 35mm ensuring that the linings are supported by framing members spaced at 600mm centres maximum.

No air gap is required as long as support is provided to the protective linings at no more than 600mm centres each side of the structural member.

The protective linings can be direct fixed to timber columns and beams.

LINING

Install the linings in accordance with the required FRR as specified above. First and second layer joints must be formed over framing. In double-layer systems, the joints between the first and second layer must be offset by 300mm minimum.

FASTENING THE LINING

Fasteners

GIB® Grabber® High Thread Drywall Screws.

The fastener length must ensure a 20mm minimum penetration into timber.

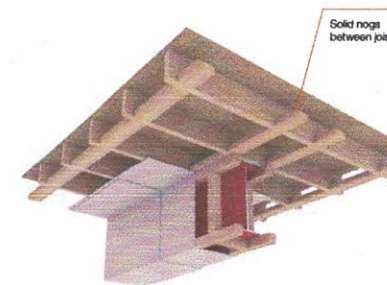
Fastener centres

Single or outer layers must be fixed at 300mm centres maximum to framing spaced at 600mm centres maximum. Inner layers can be fixed at 600mm centres maximum to framing spaced at 600mm centres maximum.

JOINTING

Inner layer: Unstopped.

Outer layer: All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".



Specification number	FRR (structural adequacy rating*)	Lining requirement steel, timber, concrete columns and beams
GBCBT 30b	30/-/-	2 x 10mm GIB Fyrelite®

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Site Address

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North District

Drawing Issue

Building Consent

Sheet Title

Details - Fire

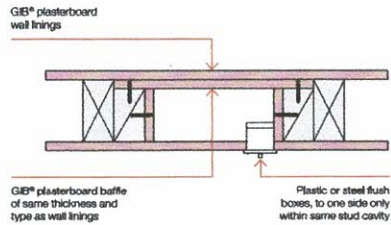
Scale	Drawn
1:5, 1:1 @ A3	Marc R. Vale
Date	Checked
24/05/2025	Marc Vale Architecture
Drawing no.	Revision

510 02

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02	Building Consent	24/05/2025

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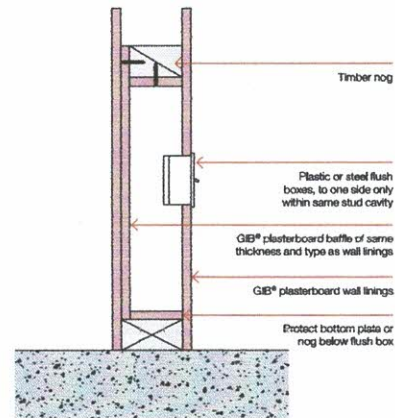
PLAN VIEW



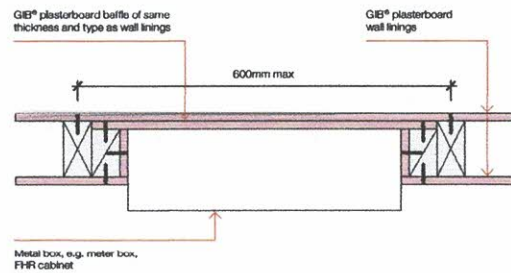
GFS 260

33 GFS 260 Flush Boxes Scale 1:1

SECTION VIEW



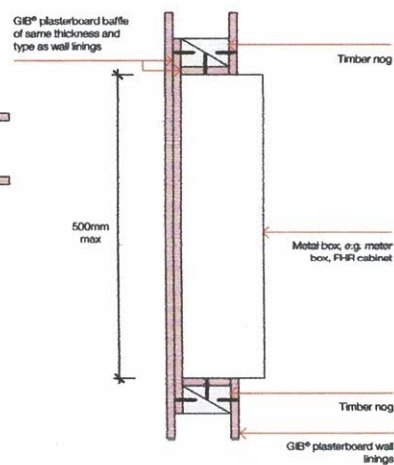
PLAN VIEW



GFS 262

34 GFS 262 Large Recesses Scale 1:1

SECTION VIEW



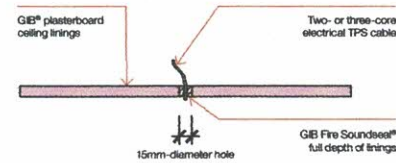
Floor/ceiling systems require one extra layer of GIB® plasterboard of same type and thickness as the ceiling lining. Universal systems are lined as per ceiling

Cable penetration fire stopped (see detail GFS 241, page 97)

GFS 282

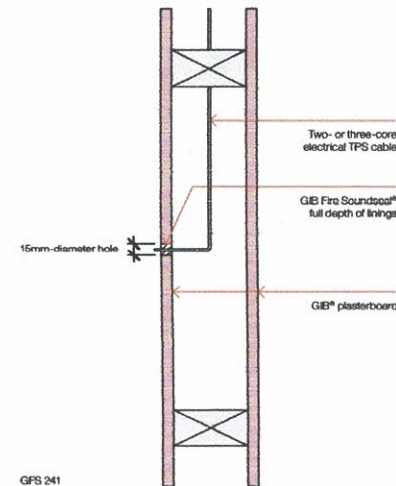
35 GFS 282 Framed Fixed Light Fitting Scale 1:1

SECTION VIEW



GFS 240

PLAN VIEW



GFS 241

36 GFS 240 Single Cable Penetration Scale 1:1

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NZ
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Site Address

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North District

Drawing Issue

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Sheet Title

Details - Fire

Scale

1:1 @ A3

Drawn

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24/05/2025

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Drawing no.

Revision

511

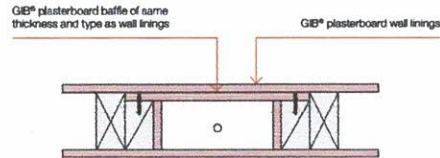
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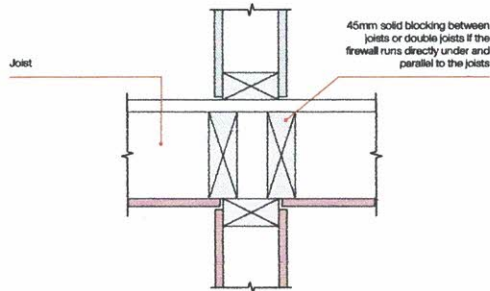
24/05/2025

PLAN VIEW



GFS 264

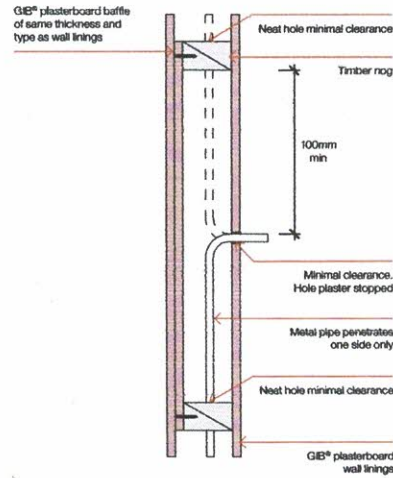
37 GFS 264 Metal Pipe in Timber Stud Wall
Scale 1:1



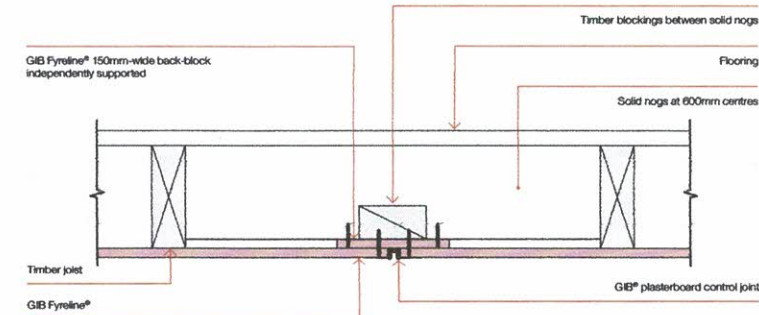
- GFS 104
- The FRR of the floor/ceiling and wall are the same
 - The wall is non-loadbearing or loadbearing
 - If the wall is loadbearing and itself not a fire separation, then structural adequacy must be determined by specific design, or universal (UW) one way fire protection must be applied to both sides.

38 GFS 104 Firewall/Fire Ceiling Junction
Scale 1:1

SECTION VIEW



Note: This detail applies to metal pipe only.



GFS 063

39 GFS 063 Fire Rated Ceiling Control Joint
Scale 1:1

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Sheet Title

Details - Fire

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Rev'd Revision Name Date

02 Building Consent 24/05/2025

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Universal ceiling systems

Specification number	Performance	Specifications
GBUC 30	FRR 30/30/30	Lining 1 layer 16mm GIB Fyrelite® LB/NLB Loadbearing

FRAMING

Timber or steel roof or floor/ceiling framing designed to meet structural criteria for strength and serviceability under dead and live loads.

The separation distance between the ceiling linings and any flooring or roofing material shall be 90mm minimum.

The width of framing members supporting the linings shall be nominally 35mm minimum. Framing spacing shall be at 600mm centres maximum.

Solid nogs shall be provided at 1200mm centres maximum and to the perimeter of the fire rated ceiling, unless longitudinal sheet edges are back-blocked.

If timber-framed construction applies, the nogs shall be 70mm x 35mm minimum.

CEILING LINING

1 layer of 16mm GIB Fyrelite® shall be fixed at right angles to the underside of the framing members.

All sheet joints must occur over solid framing.

Sheets shall be touch fitted.

Alternatively, longitudinal sheet edges may be back-blocked using a 300mm-wide strip of 16mm GIB Fyrelite® adhered with GIB-Cove® Bond in accordance with the procedure outlined in the current "GIB® Site Guide".

FASTENING THE LINING**Fasteners**

Timber frame	Steel frame
41mm x 6g GIB® Grabber® High Thread Drywall Screws	32mm x 6g GIB® Grabber® Self Tapping Drywall Screws

Fastener centres

Place fasteners 12mm from longitudinal sheet edges and 18mm from sheet ends. This distance may be reduced to 12mm from sheet ends at butt joints on furring channels.

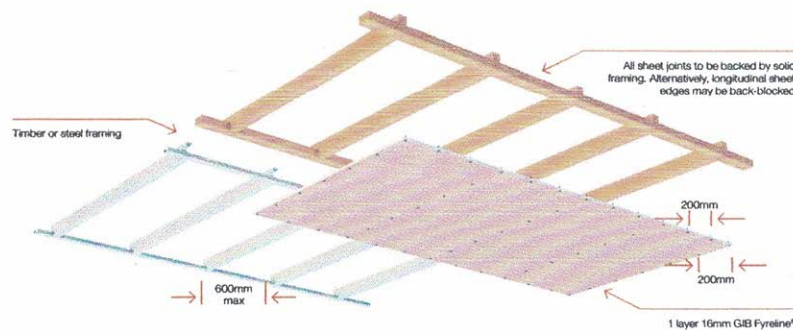
Place fasteners at 200mm centres around the sheet perimeters, along each intermediate framing member and where sheet end butt joints occur.

WALL/CEILING JUNCTIONS

The internal angle between the ceiling and walls must be protected by GIB-Cove® adhered with GIB-Cove® Bond, or boxed corners (square stopped) filled and taped, or sealed and protected by timber scotia in accordance with the publication entitled "GIB® Site Guide".

JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".



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AP NZ
Professional Member

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
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Drawing Issue

Building Consent

Sheet Title

Details - Fire

Scale

1:1 @ A3

Drawn

Marc R. Vale

Date

02/07/2025

Checked

Marc Vale Architecture

Drawing no.

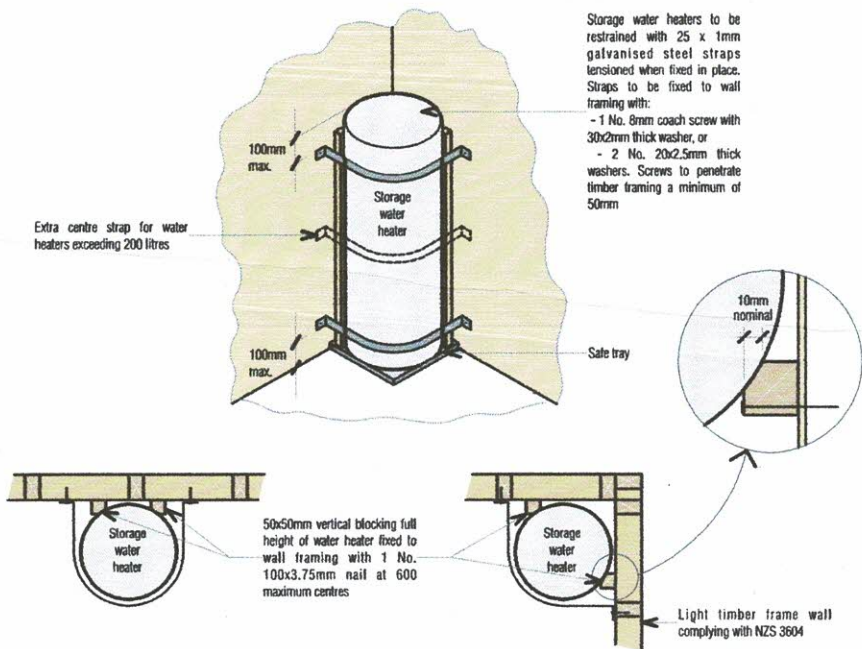
513

Revision

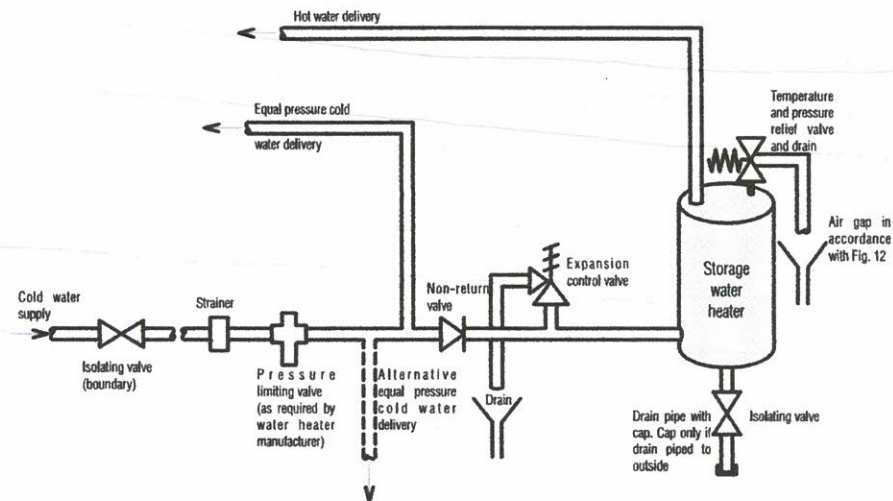
01

All dimensions to be worked on site unless otherwise specified. Drawings are not to be used for construction without the approval of the architect.

Rev'd	Revision Name	Date
01	Building/Planning RFI	02/07/2025



41 G12/AS1 Figure 14 Seismic Restraint of Storage Water Heaters 90 – 360 litres
Scale 1:5



42 G12/AS1 Figure 8 Mains Pressure Storage Water Heater System (unvented)
Scale 1:5

Client

Jeremiah Bos

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far
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Drawing Issue

Building Consent

Sheet Title

Details - HWC

Scale	Drawn
1:5 @ A3	Marc R. Vale
Date	Checked
02/07/2025	Marc Vale Architecture
Drawing no.	Revision

514 01

Rev'd	Revision Name	Date
01	Building/Planning RFI	02/07/2025

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☒ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input checked="" type="radio"/> Other (please specify) <u>7.6.5.1.2 RESIDENTIAL INTENSITY</u> | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☒ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

n/a

Who else have you consulted with?

Neighbours see attached Notice-of-written-approval-forms x2

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Jeremiah Paul Bos and Kendra Mar'ee Bos

Email:

jemriah@hotmail.com

Phone number:

Work

Home +61414245425

Postal address:

(or alternative method of service under section 352 of the act)

3 North Road, Kawakawa

Postcode

0210

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Aaron Patterson - Managing Director Building, Engineering & Design

Email:

aaron.patterson@buildengdesign.com

Phone number:

Work 0204338339

Home

Postal address:

(or alternative method of service under section 352 of the act)

58 Rarangi Heights, Parua Bay

Postcode

0192

*** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.**

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

n/a

**Property Address/
Location:**

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Site Address/
Location:

3 North Road, Kawakawa

Postcode

0210

Legal Description:

Lot 2 Deposited Plan 93087

Val Number:

Certificate of title:

NA49D/85

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

n/a

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Permitted discretionary application; .6.5.1.2 RESIDENTIAL INTENSITY;
(a) Each residential unit for a single household shall have available to it a minimum net site area of:
Sewered sites: 600m² (3 of)
Building consent number:
EBC-2025-963/0; Requirement for Resource Consent Letter dated 18 June 2025, see attached

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

dh
7/6/25

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent EBC-2025-963/0; re (if known)

☐ Regional Council Consent (ref # if known) Ref # here (if known)

☐ National Environmental Standard consent Consent here (if known)

☐ Other (please specify) Specify 'other' here

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☒ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☒ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☒ Yes ☐ No

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14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Aaron Patterson - Managing Director Building, Engineering & Design

Email:

aaron.patterson@buildengdesign.com

Phone number:

Work 0204338339

Home

Postal address:

58 Rarangi Heights, Parua Bay

(or alternative method of service under section 352 of the act)

Postcode

0192

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Aaron Patterson

Signature:

(signature of bill payer)

Aaron Patterson

Date 02-Jul-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Aaron Patterson

Signature:

Aaron Patterson

Date 02-Jul-2025

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☒ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Handwritten signature

4 July 2025

Building, Engineer & Design

P 0800338832

Attention

To whom it may concern
Far North District Council

Northland Office
58 Rarangi Heights
Parua Bay, 0192
New Zealand

EBC-2025-963/0 – Resource Consent Application Assessment of Environmental Effects

Dear to whom it may concern,

This document is in support to application of resource consent pertaining to:

Applicant: Jeremiah Paul Bos and Kendra Mar'ee Bos

Registered Owners: Jeremiah Paul Bos and Kendra Mar'ee Bos

Description of Activity: Alterations & Compliance for Jeremiah Bos
3 North Road, Kawakawa, Far North District

Site Address: 3 North Road, Kawakawa, 0210

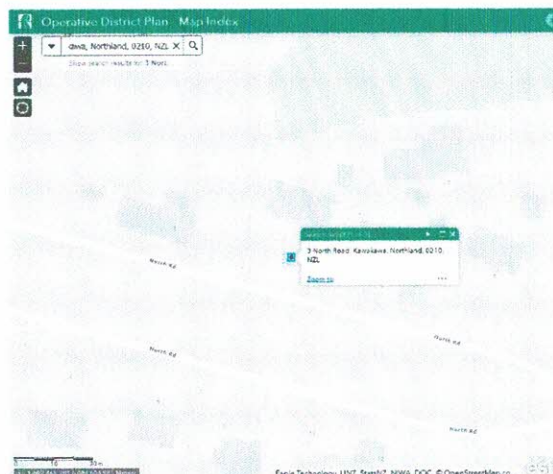
Legal Description: Lot 2 Deposited Plan 93087

Zone: Residential

Site Area: 887 square metres more or less

Hazards: none

Locality Plan:

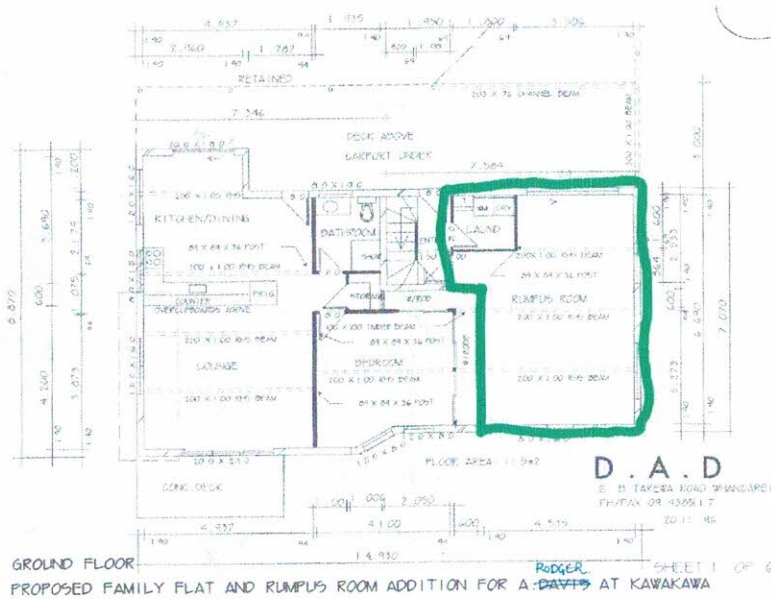


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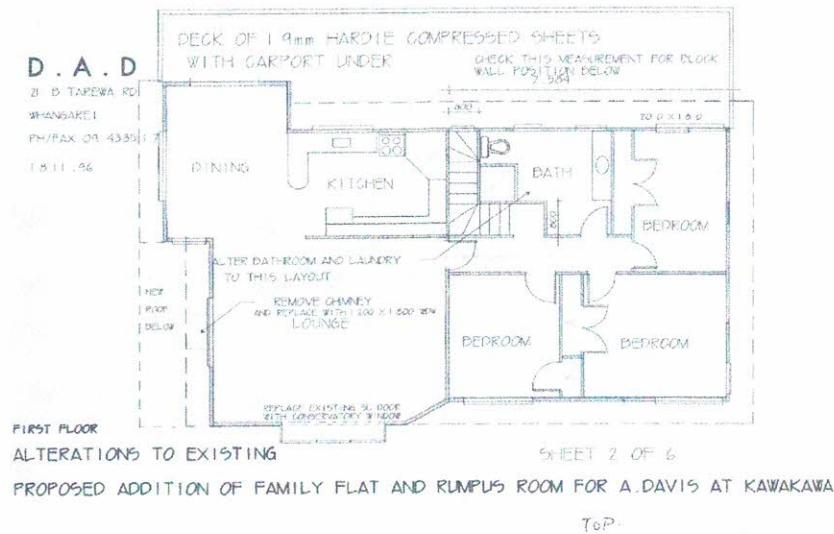
The Proposal & reason for Application:

In summary, the application seeks zoning land use consent to alterations & compliance for 3 North Road, Kawakawa, Far North District Building Consent Application EBC-2025-963/0.

The proposed works including the alteration of an existing rumpus room into an addition of a self-contained unit bring the total the unit amount of 3 for the property. See ground floor, floor plan for building consent approved BC 970954 23.01.1997 evidencing the existing two units. Green area denotes the proposed alteration area.



Plans Ground Level 1997 Consented.



Plans First Floor 1997 Consented.

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The FNDC letter dated 18 June 2025 - Requirement for Resource Consent

Rule:	7.6.5.1.2 RESIDENTIAL INTENSITY (a) Each residential unit for a single household shall have available to it a minimum net site area of: Sewered sites: 600m ²
Reason:	This application is to convert the existing dwelling that has been consented as a dwelling and a self-contained flat, into 3 separate residential units on an 887m ² sewerd site. Each residential unit does not have 600m ² minimum net site area available to it.

Rule:	15.1.6B.1.1 ON-SITE CAR PARKING SPACES The minimum number of on-site car parking spaces to be provided for the users, is two per residential unit. 15.1.6B.1.5 CAR PARKING SPACE STANDARDS (a) The required size of off-street car parking spaces, the manoeuvring space between, and the vehicle circulation routes providing access to them, shall be as set out in Appendix 3D. (b) Stacked parking will be permitted for one of two spaces associated with a specific residential unit. In determining the extent of area required for manoeuvring space, the Council will be guided by the Tracking Curve diagrams as shown in Appendix 3E. (c) All parking, loading, access drives and manoeuvring areas shall be formed and
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	provided with an all weather surface, drained, marked out and maintained to the satisfaction of the Council, and shall be kept free and available for the uses intended. Where a parking area provides four or more car parking spaces is adjacent to a road, a kerb or a barrier shall be provided to prevent direct access except at the designated vehicle access point.
Reason:	6 car parks are required but are not shown. The existing Garage provides for 1 car park and as per aerial photos and plans provided, there is the ability to stack park 2 cars therefore unable to achieve the required 6 car parks. Maneuverability is not shown on a formed surface.

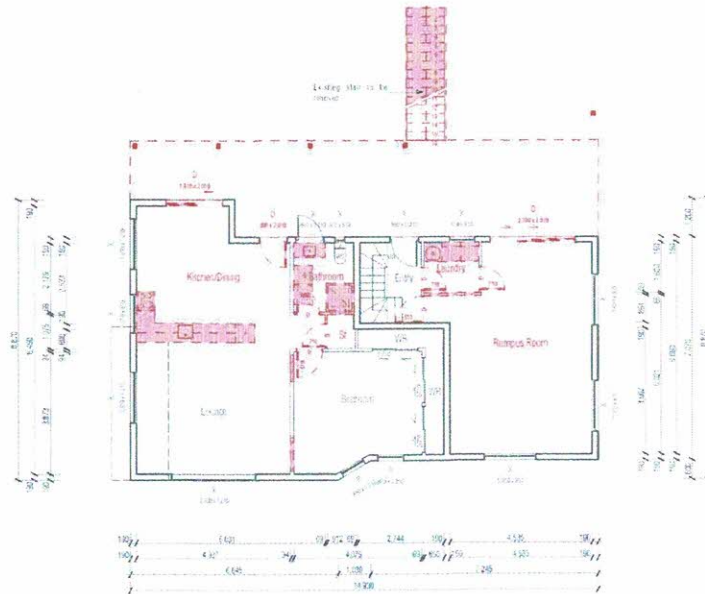
Council is requested to apply its discretion as per the district plan to issue a resource consent so that the proposed project may proceed.

Project Overview:

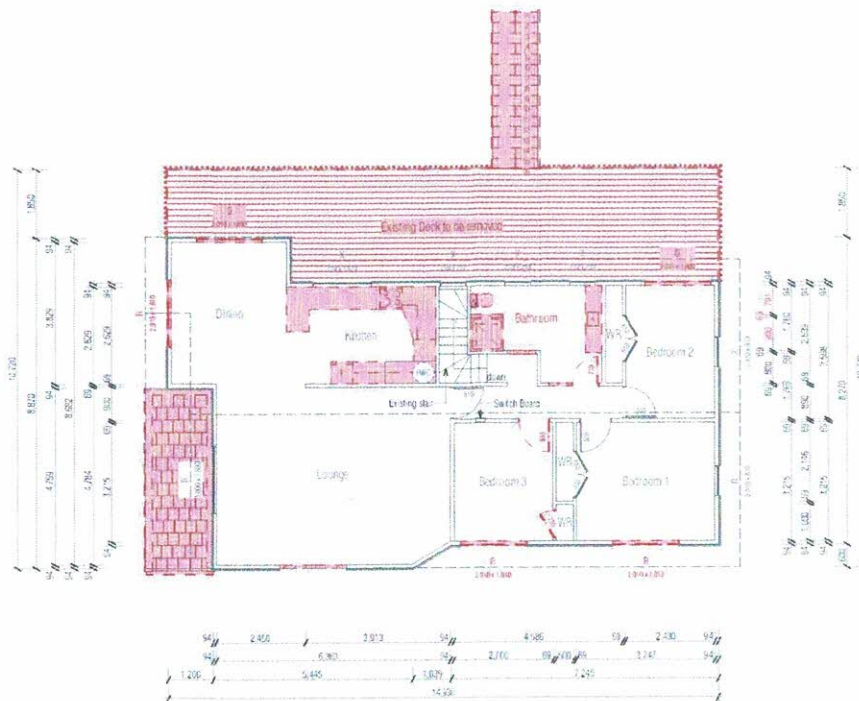
Refer below to summary of proposed project, for full detailed designs refer BC application EBC-2025-963/0, refer plans - 240207 - 3 North Road Kawakawa - Updated Set - 02.07.2025.



Existing Property Layout

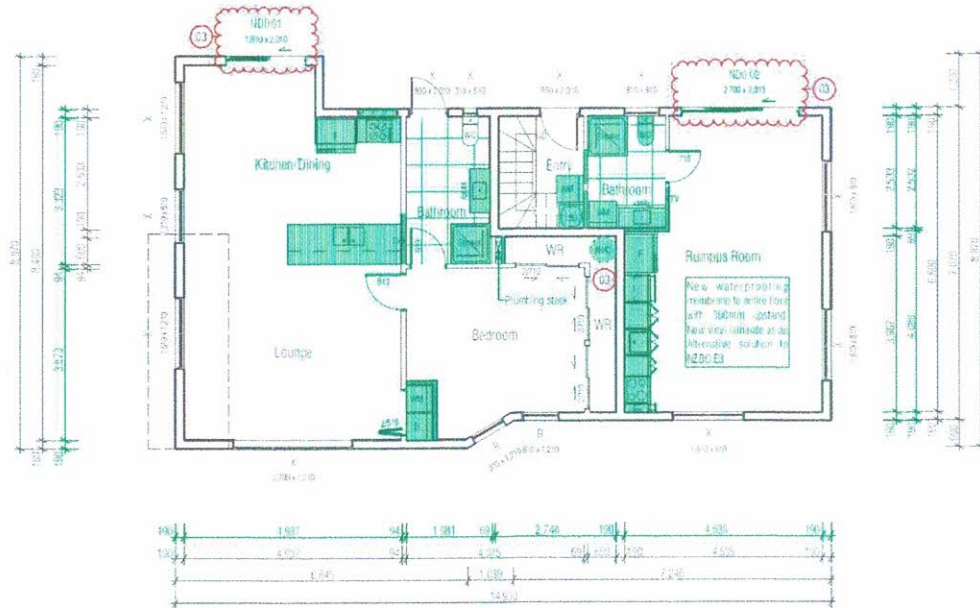


Ground Floor – red denotes demolition

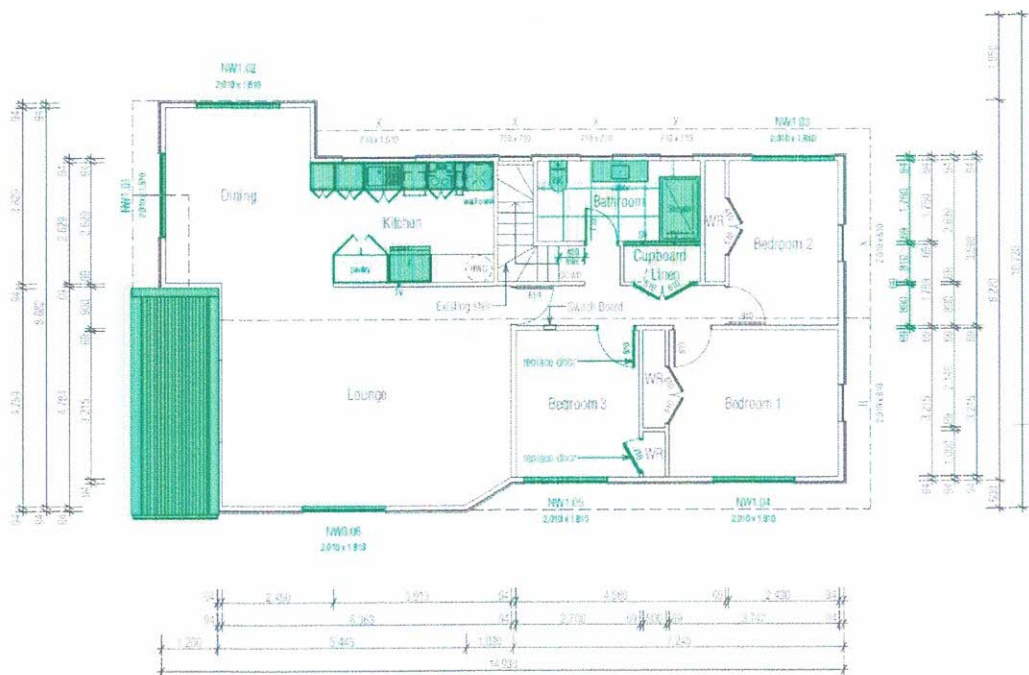


First Floor – red denotes demolition

Proposed Alterations Property



Ground Floor – green denotes alteration



First Floor – green denotes alteration

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Note: no changes to building enveloped are proposed.

Assessment of Environmental Effects

A. Assessment of National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Given the proposal does not include the disturbance of soil, the NES-CS has been not been considered in the context of this proposal.

Since there is no indication of a previous HAIL activity (or the potential for it) in the council records, then the NES does not apply, and any planned development activity can be carried out as a permitted activity.

B. Public Notification Assessment (Sections 95A, 95C-95D)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

Step 1: Mandatory Public Notification in Certain Circumstances

No mandatory notification is required as:

the applicant has not requested that the application is publicly notified (s95A(3)(a))
there are no outstanding or refused requests for further information (s95C and s95A(3)(b)), and
the application does not involve any exchange of recreation reserve land under s15AA of the Reserves Act 1977 (s95A(3)(c)).

Step 2: If not required by step 1, public notification precluded in certain circumstances

The application is not precluded from public notification as:

the activities are not subject to a rule or national environmental standard (NES) which precludes public notification (s95A(5)(a)); and the application does not involve one or more of the activities specified in s95A(5)(b).

Step 3: If not precluded by step 2, public notification required in certain circumstances

The application is not required to be publicly notified as the activities are not subject to any rule or a NES that requires public notification (s95A(8)(a)).

The following assessment addresses the adverse effects of the activities on the environment, as public notification is required if the activities will have or are likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).



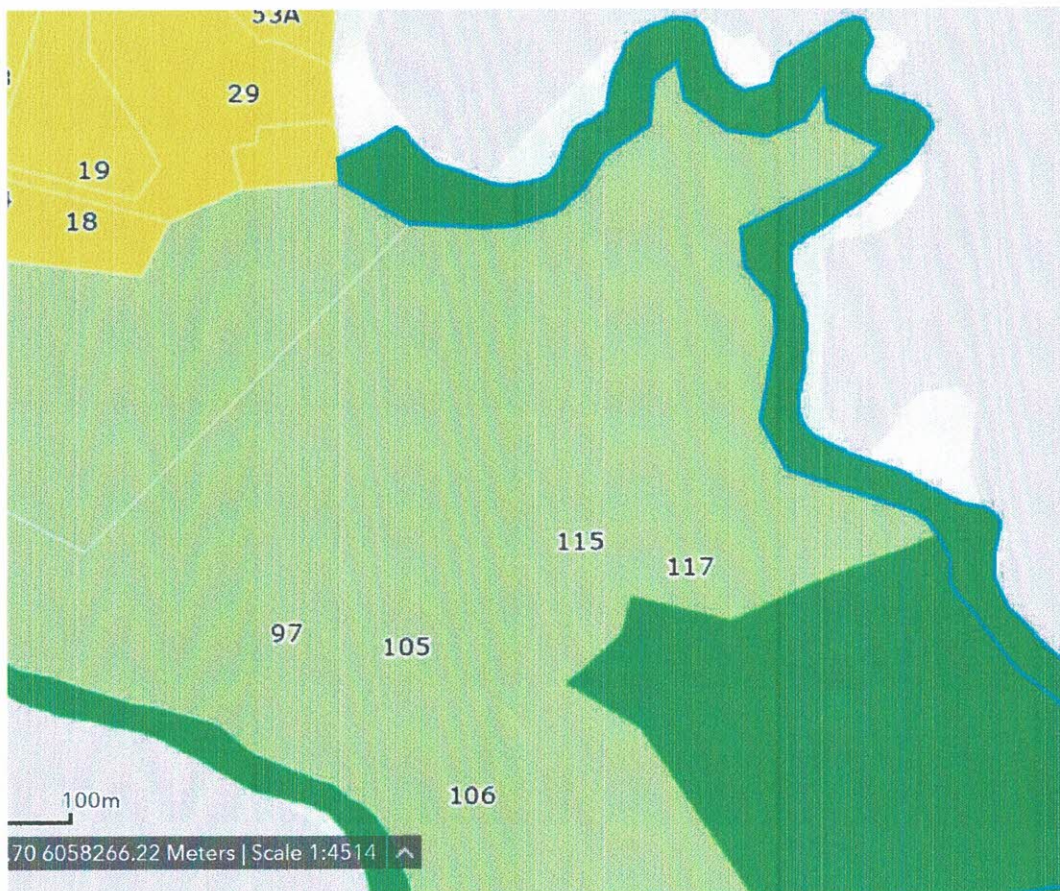
Adverse Effects Assessment (Sections 95A(8)(b) and 95D)

Effects that must be Disregarded.

Effects on persons who are owners and occupiers of the land in, on or over which the application relates, or of land adjacent to that land.

The council is to disregard any effects on the persons who own or occupy the land in, on, or over which the activities will occur, and on persons who own or occupy any adjacent land (s95D(a)).

The land adjacent to the subject site is shown as red dots in Figure 2; Natural Open Space Zone.



The council is to disregard any effects on a person who has given written approval to the application. In this instance no written approval has been provided for from the surrounding sites.

No surrounding sites will be adversely affected by the proposed minor residential unit; therefore, no written approval is required.

Effects that may be disregarded - Permitted baseline.

The permitted baseline refers to the effects of permitted activities on the subject site. The permitted baseline may be taken into account and the council has the discretion to disregard those effects where an activity is not fanciful.

The permitted level of development, being conversion of a rumpus room into a self-contained unit.

The receiving environment beyond the subject site includes permitted activities under the relevant plans, lawfully established activities (via existing use rights or resource consent), and any unimplemented resource consents that are likely to be implemented. This is the environment within which the adverse effects of this application must be assessed.

Note that to the two adjacent neighbours at 1 and 5 have signed and approved of the proposal. Refer to attached

- Notice-of-written-approval-form – 1 North Rd Kawakawa
- Notice-of-written-approval-form – 5 North Rd Kawakawa



Visual Amenity

The proposal seeks to not increase the building envelope. The proposal includes replacement of the front boundary road picket fence providing privacy and improved aesthetics. The picket fence will be timber and oiled, See area below.



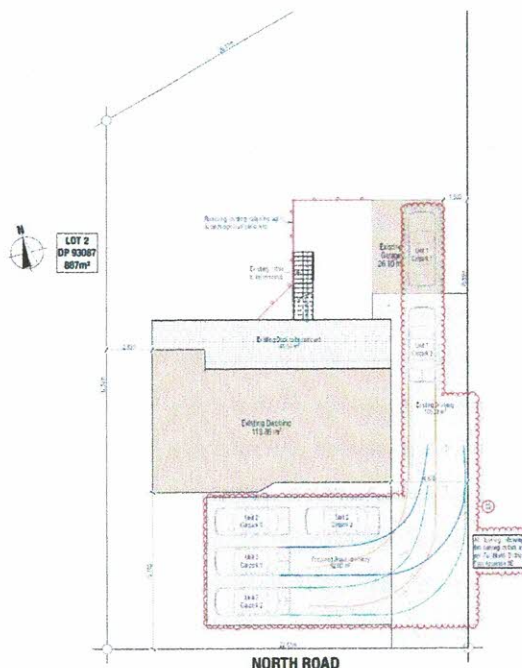
Overall, the effects of this proposal on the rural character and amenity of this environment will be less than minor.

Residential Zoning Values & Servicing

The subject site is 887m² more or less in size.

- The site is sewered via council wastewater system. The increase to council wastewater system is maximum two persons with the proposed additional self-contained unit.
-
- Noise will be compliant to 7.6.5.1.15 as normal residential activity only will be onsite. The proposed self-contained unit is supported by block exterior walls, which insulates noise. Noise less than denoted under rules below.

0700 to 2200 hours	50 dBA L ₁₀
2200 to 0700 hours	45 dBA L ₁₀ and
	70 dBA L _{max}
- Storm water management compliant with 7.6.5.2.1 – impermeability 37.9%
- A 3m wide driveway exists – not change
- Additional parking will be provided in accordance to; 15.1.6.1.1 and 15.1.6B.1.5; see below



Item	Value
Site Area	887 m²
Building Area	159.88 m²
Garage Area	43.41 m²
Driveway Area	3.00 m²
Proposed Unit Area	40.00 m²
Total Area	150.29 m²

 Building,
Engineering &
Design

MARC VALE ARCHITECTURE
ABZ
Professional Architect

Jameson Road
Alterations & Compliance
3 North Road, Kawakawa, Far North District
Building Consent
Site Plan

Item	Value
101	03

Handwritten signature/initials

- Set back from boundaries are in accordance to 7.6.5.1.5 – no change 2830mm from nearest boundary which is also fenced.
- Scale of activities are compliant with 7.6.5.1.3 with other than residents a maximum of 2 persons per 600m2 sewered site.

It is therefore expected that any adverse effects on the level of residential zoning will be less than minor.

Reverse Sensitivity

The surrounding properties have are residential zoned. The proposed alterations will therefore be consistent with the existing land use of the surrounding environment.

North Road is a quite street with good roading geometry on of low traffic use. With the current housing crises in New Zealand and locally with healthy home rental under supply. The proposed alterations will benefit the local community.

Cultural Values

The site has not been identified to be significant to iwi or hapu, therefore no consultation has been carried out. Due to the proposal requiring minor vegetation removal, and minor earthworks with minor physical change to the existing environment. It is expected that there will not be any effects on cultural values.

Adverse Effects Conclusion

Given the extent of the infringement proposed, it is considered that the adverse effects associated with this land use consent will be less than minor. As per 7.6.5.3 Restricted Discretionary Activities as listed below the only discretionary breach is 7.6.5.1.2 Residential Intensity all all other conditions are met.

7.6.5.3 RESTRICTED DISCRETIONARY ACTIVITIES

An activity is a restricted discretionary activity in the Residential Zone if:

- it does not comply with any one of the following **Rules 7.6.5.1.2 Residential Intensity; 7.6.5.1.3 Scale of Activities; 7.6.5.1.4 Building Height; 7.6.5.1.5 Sunlight; 7.6.5.1.7 Setback from Boundaries; 7.6.5.1.11 Transportation; 7.6.5.1.15 Noise and/or 7.6.5.1.17 Building Coverage** as set out above; but
- it complies with all of the other rules for permitted and controlled activities under **Rules 7.6.5.1 and 7.6.5.2**; and
- it complies with **Rules 7.6.5.3.1 Residential Intensity; 7.6.5.3.2 Scale of Activities; 7.6.5.3.3 Building Height; 7.6.5.3.4 Sunlight; 7.6.5.3.5 Building Coverage; 7.6.5.3.6 Transportation; 7.6.5.3.7 Setback from Boundaries and 7.6.5.3.8 Noise** below; and
- it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in **Part 3 of the Plan - District Wide Provisions**.

The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent.

Step 4: public notification in special circumstances

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).



Special circumstances are those that are:

- Exceptional, abnormal or unusual, but something less than extraordinary or unique;
- Outside of the common run of applications of this nature; or
- Circumstances which make notification desirable, notwithstanding the conclusion that the activities will not have adverse effects on the environment that are more than minor.

In this instance I have turned my mind specifically to the existence of any special circumstances and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that public notification should occur.

Public Notification Conclusion

Having undertaken the s95A public notification tests, the following conclusions are reached:

- Under step 1, public notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes public notification of the activities, and the application is for activities other than those specified in s95A(5)(b).
- Under step 3, public notification is not required as the application is for activities that are not subject to a rule that specifically requires it, and it is considered that the activities will not have adverse effects on the environment that are more than minor.
- Under step 4, there are no special circumstances that warrant the application being publicly notified.

It is therefore recommended that this application be processed without public notification.

5. Limited Notification Assessment (Sections 95B, 95E-95G)

If the application is not publicly notified under s95A, the council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

Step 1: Certain affected Protected Customary Rights Groups must be notified

There are no protected customary rights groups or customary marine title groups affected by the proposed activities (s95B(2)).

In addition, the council must determine whether the proposed activities are on or adjacent to, or may affect, land that is subject of a statutory acknowledgement under Schedule 11, and whether the person to whom the statutory acknowledgement is made is an affected person. (s95B(3)). There are no Statutory Acknowledgments that apply to land within the Whangarei District; or land within an adjoining District adjacent to the subject site.

Step 2: If not required by step 1, limited notification precluded in certain Circumstances

The application is not precluded from limited notification as:

- the application is not for one or more activities that are exclusively subject to a rule or NES



In this instance I have turned my mind specifically to the existence of any special circumstances under s95B(10) and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that notification to any other persons should occur.

Limited Notification Conclusion

Having undertaken the s95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes limited notification of the activities, and the application is for activities other than that specified in s95B(6)(b).
- Under step 3, limited notification is not required as it is considered that the activities will not result in any adversely affected persons.
- Under step 4, there are no special circumstances that warrant the application being limited notified to any other persons.

It is therefore recommended that this application be processed without limited notification.

Proposal Conclusion

The resource consent application is granted since:

1. In accordance with an assessment under ss104(1)(a) and (ab) of the RMA, the actual
 - a. and potential effects from the proposal will be acceptable as: There will be no adverse or visual amenity effects as a result of the proposal.
2. In accordance with an assessment under s104(1)(b) of the RMA, the proposal is
 - a. consistent with the relevant statutory documents. In particular the application is consistent with the objectives and policies contained within the RPZ
3. The application is aligned to relevant objectives and policies are contained within chapter the RPROZ.

Thanking you, best regards,

Yours faithfully.



Aaron Patterson, Managing Director, Building Engineering & Design
Chartered Member Engineering NZ, CMGNZ 1160121, Licenced Practicing Builder BP137251, Master in Business Administration (Law), Member NZ Geotechnical Society, Member Structural Engineering Society, Member Building Officials Institute of New Zealand.

M: +64 204 338 339, T: 0800 33 88 32
E: aaron.patterson@buildengdesign.com
W: www.buildengdesign.com





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA49D/85**
Land Registration District **North Auckland**
Date Issued 11 June 1981

Prior References

NA22D/1255 NA42C/216

Estate Fee Simple
Area 887 square metres more or less
Legal Description Lot 2 Deposited Plan 93087

Registered Owners

Jeremiah Paul Bos and Kendra Mar'ee Bos

Interests

10468426.2 Mortgage to ASB Bank Limited - 16.6.2016 at 4:45 pm

Guaranteed Search Copy Dated 01/08/25 10:53 am, Page 2 of 2
Register Only



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	Jeremiah Paul Bos
Address of proposed activity:	3 North Road, Kawakawa, 0210
Legal description:	Lot 2 Deposited Plan 93087
Description of the proposal (including why you need resource consent):	Alterations & Compliance, including addition of a self-contained unit (from rumpus room), totalling 3 residential units, Resource consent to support BC; EBC-2025-963/0; 7.6.5.1.2 RESIDENTIAL INTENSITY
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none">1. <u>Resource Consent Application</u>2. <u>Resource AEE</u>3. <u>Plans - 3 North Road Kawakawa - Updated Set - 02.07.2025</u>4. _____5. _____6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The original copy of this signed form and signed plans and accompanying documents must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

Lisanne Alexandra Davis and Georgina Wilma Rose Davis

Address of affected property including legal description

1 North Road, Kawakawa, 0210, Lot 1 Deposited Plan 93087

Contact Phone Number/s and email address

Daytime: 0272018995; email: silksunrise@xtra.co.nz

I am/we are the OWNER(S) OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. ☒ We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. ☒ We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. ☒ We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. ☒ We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature



Date

9 July 2025

Signature



Date

21 July 2025

Signature

Date

Signature

Date

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☒ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input checked="" type="radio"/> Other (please specify) <u>7.6.5.1.2 RESIDENTIAL INTENSITY</u> | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☒ No

4. Consultation

Have you consulted with iwi/hapū? ☐ Yes ☒ No

If yes, which groups have you consulted with?

n/a

Who else have you consulted with?

Neighbours see attached Notice-of-written-approval-forms x2

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Jeremiah Paul Bos and Kendra Mar'ee Bos

Email:

jemriah@hotmail.com

Phone number:

Work

Home +61414245425

Postal address:

(or alternative method of service under section 352 of the act)

3 North Road, Kawakawa

Postcode

0210

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Aaron Patterson - Managing Director Building, Engineering & Design

Email:

aaron.patterson@buildengdesign.com

Phone number:

Work 0204338339

Home

Postal address:

(or alternative method of service under section 352 of the act)

58 Rarangi Heights, Parua Bay

Postcode

0192

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

n/a

**Property Address/
Location:**

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Site Address/
Location:

3 North Road, Kawakawa

Postcode

0210

Legal Description:

Lot 2 Deposited Plan 93087

Val Number:

Certificate of title:

NA49D/85

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

n/a

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Permitted discretionary application: 6.5.1.2 RESIDENTIAL INTENSITY;

(a) Each residential unit for a single household shall have available to it a minimum net site area of:

Sewered sites: 600m² (3 of)

Building consent number:

EBC-2025-963/0; Requirement for Resource Consent Letter dated 18 June 2025, see attached

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent EBC-2025-963/0; (if known)

☐ Regional Council Consent (ref # if known) Ref # here (if known)

☐ National Environmental Standard consent Consent here (if known)

☐ Other (please specify) Specify 'other' here

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☒ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☒ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☒ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)	Aaron Patterson - Managing Director Building, Engineering & Design	
Email:	aaron.patterson@bulldengdesign.com	
Phone number:	Work 0204338339	Home
Postal address: (or alternative method of service under section 352 of the act)	58 Rarangi Heights, Parua Bay	
	Postcode	0192

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)	Aaron Patterson	
Signature: (signature of bill payer)	Aaron Patterson	Date 02-Jul-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Aaron Patterson

Signature:

Aaron Patterson

Date 02-Jul-2025

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☒ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

4 July 2025

Building, Engineer & Design
P 0800338832

Attention

To whom it may concern
Far North District Council

Northland Office
58 Rarangi Heights
Parua Bay, 0192
New Zealand

EBC-2025-963/0 – Resource Consent Application Assessment of Environmental Effects

Dear to whom it may concern,

This document is in support to application of resource consent pertaining to:

Applicant: Jeremiah Paul Bos and Kendra Mar'ee Bos

Registered Owners: Jeremiah Paul Bos and Kendra Mar'ee Bos

Description of Activity: Alterations & Compliance for Jeremiah Bos
3 North Road, Kawakawa, Far North District

Site Address: 3 North Road, Kawakawa, 0210

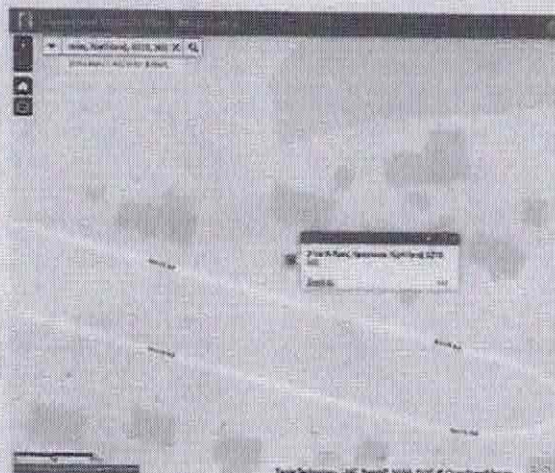
Legal Description: Lot 2 Deposited Plan 93087

Zone: Residential

Site Area: 887 square metres more or less

Hazards: none

Locality Plan:



g. Davis

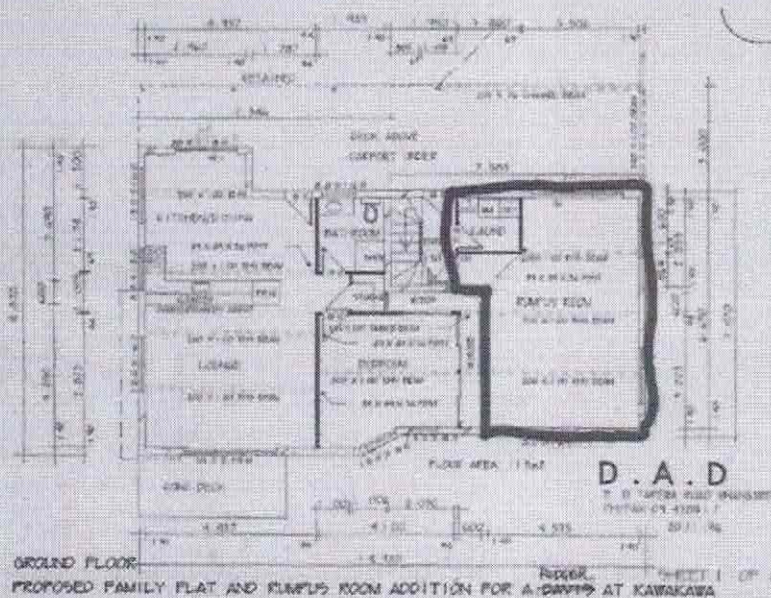
Page 1



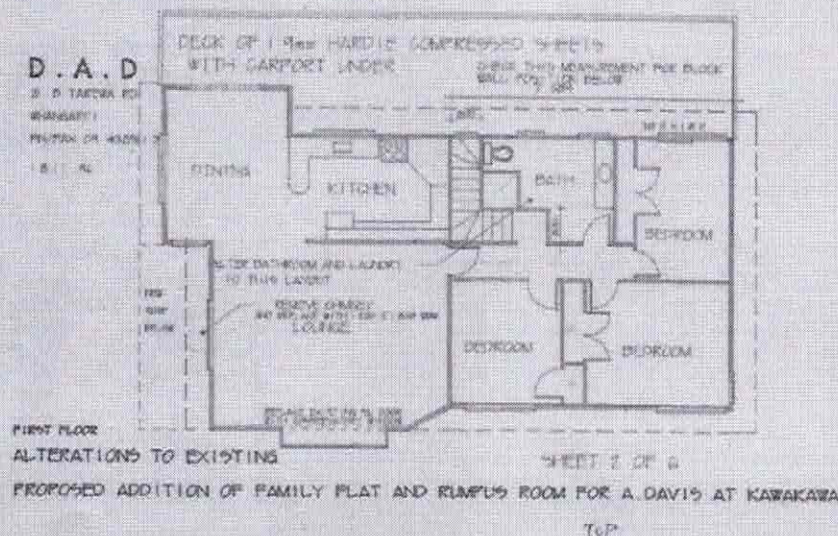
The Proposal & reason for Application:

In summary, the application seeks zoning land use consent to alterations & compliance for 3 North Road, Kawakawa, Far North District Building Consent Application EBC-2025-963/0.

The proposed works including the alteration of an existing rumpus room into an addition of a self-contained unit bring the total the unit amount of 3 for the property. See ground floor, floor plan for for building consent approved BC 970954 23.01.1997 evidencing the existing two units. Green area denotes the proposed alteration area.



Plans Ground Level 1997 Consented.



Plans First Floor 1997 Consented.

J. Davis
Page 2
[Signature]



The FNDC letter dated 18 June 2025 - Requirement for Resource Consent

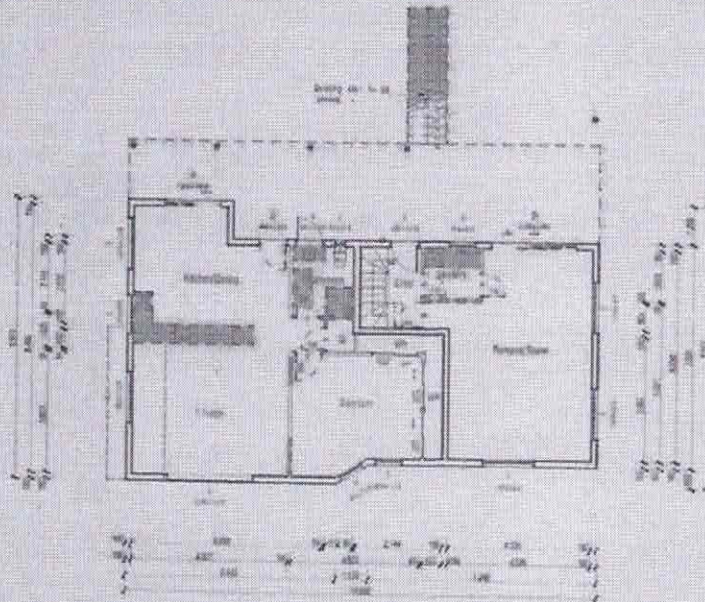
Rule:	7.6.5.1.2 RESIDENTIAL INTENSITY (a) Each residential unit for a single household shall have available to it a minimum net site area of: Sewered sites: 600m ²
Reason:	This application is to convert the existing dwelling that has been consented as a dwelling and a self-contained flat, into 3 separate residential units on an 887m ² sewered site. Each residential unit does not have 600m ² minimum net site area available to it.
Rule:	15.1.6B.1.1 ON-SITE CAR PARKING SPACES The minimum number of on-site car parking spaces to be provided for the users, is two per residential unit. 15.1.6B.1.5 CAR PARKING SPACE STANDARDS (a) The required size of off-street car parking spaces, the manoeuvring space between, and the vehicle circulation routes providing access to them, shall be as set out in Appendix 3D. (b) Stacked parking will be permitted for one of two spaces associated with a specific residential unit. In determining the extent of area required for manoeuvring space, the Council will be guided by the Tracking Curve diagrams as shown in Appendix 3E. (c) All parking, loading, access drives and manoeuvring areas shall be formed and
	provided with an all weather surface, drained, marked out and maintained to the satisfaction of the Council, and shall be kept free and available for the uses intended. Where a parking area provides four or more car parking spaces is adjacent to a road, a kerb or a barrier shall be provided to prevent direct access except at the designated vehicle access point.
Reason:	6 car parks are required but are not shown. The existing Garage provides for 1 car park and as per aerial photos and plans provided, there is the ability to stack park 2 cars therefore unable to achieve the required 6 carparks. Maneuverability is not shown on a formed surface.

Council is requested to apply its discretion as per the district plan to issue a resource consent so that the proposed project may proceed.

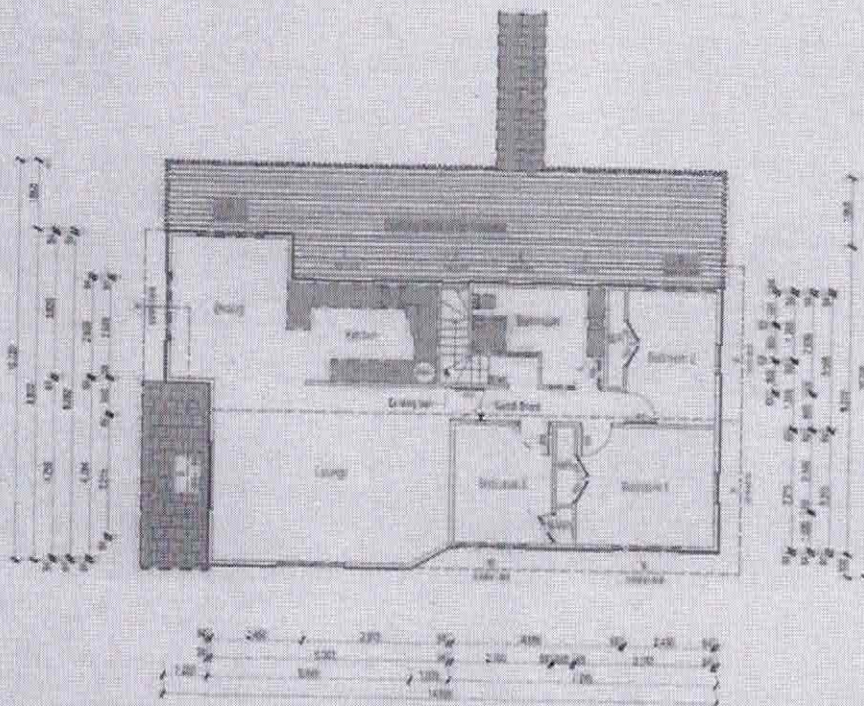
Project Overview:

Refer below to summary of proposed project, for full detailed designs refer BC application EBC-2025-963/0, refer plans - 240207 - 3 North Road Kawakawa - Updated Set - 02.07.2025.

Existing Property Layout



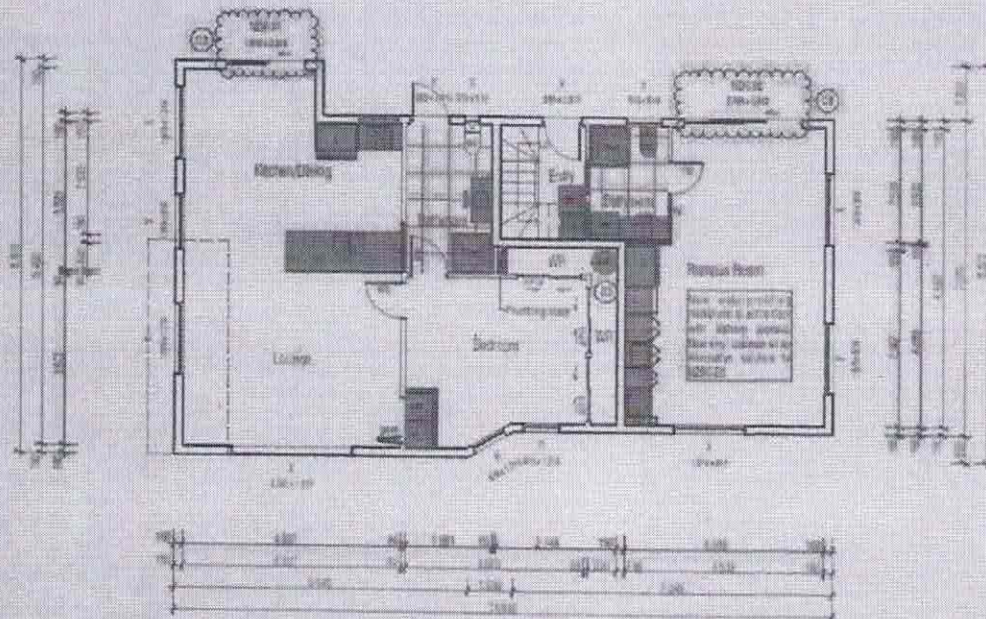
Ground Floor – red denotes demolition



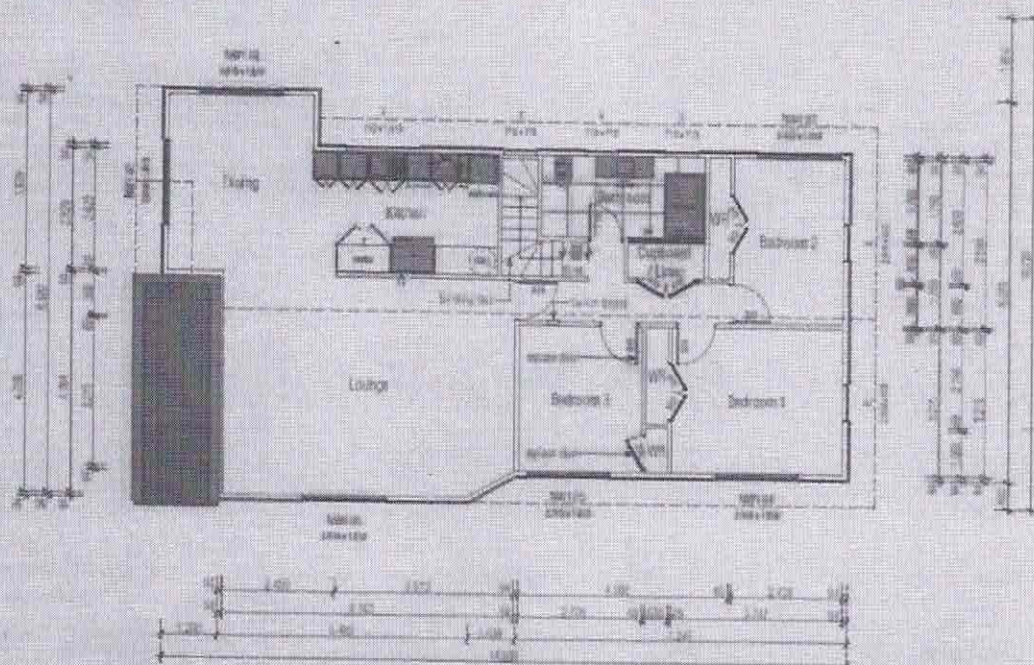
First Floor – red denotes demolition



Proposed Alterations Property



Ground Floor – green denotes alteration



First Floor – green denotes alteration

Note: no changes to building enveloped are proposed.

Assessment of Environmental Effects

A. Assessment of National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Given the proposal does not include the disturbance of soil, the NES-CS has been not been considered in the context of this proposal.

Since there is no indication of a previous HAIL activity (or the potential for it) in the council records, then the NES does not apply, and any planned development activity can be carried out as a permitted activity.

B. Public Notification Assessment (Sections 95A, 95C-95D)

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These steps are addressed in the statutory order below.

Step 1: Mandatory Public Notification in Certain Circumstances

No mandatory notification is required as:

the applicant has not requested that the application is publicly notified (s95A(3)(a))
there are no outstanding or refused requests for further information (s95C and s95A(3)(b)), and
the application does not involve any exchange of recreation reserve land under s15AA of the Reserves Act 1977 (s95A(3)(c)).

Step 2: If not required by step 1, public notification precluded in certain circumstances

The application is not precluded from public notification as:

the activities are not subject to a rule or national environmental standard (NES) which precludes public notification (s95A(5)(a)); and the application does not involve one or more of the activities specified in s95A(5)(b).

Step 3: If not precluded by step 2, public notification required in certain circumstances

The application is not required to be publicly notified as the activities are not subject to any rule or a NES that requires public notification (s95A(8)(a)).

The following assessment addresses the adverse effects of the activities on the environment, as public notification is required if the activities will have or are likely to have adverse effects on the environment that are more than minor (s95A(8)(b)).

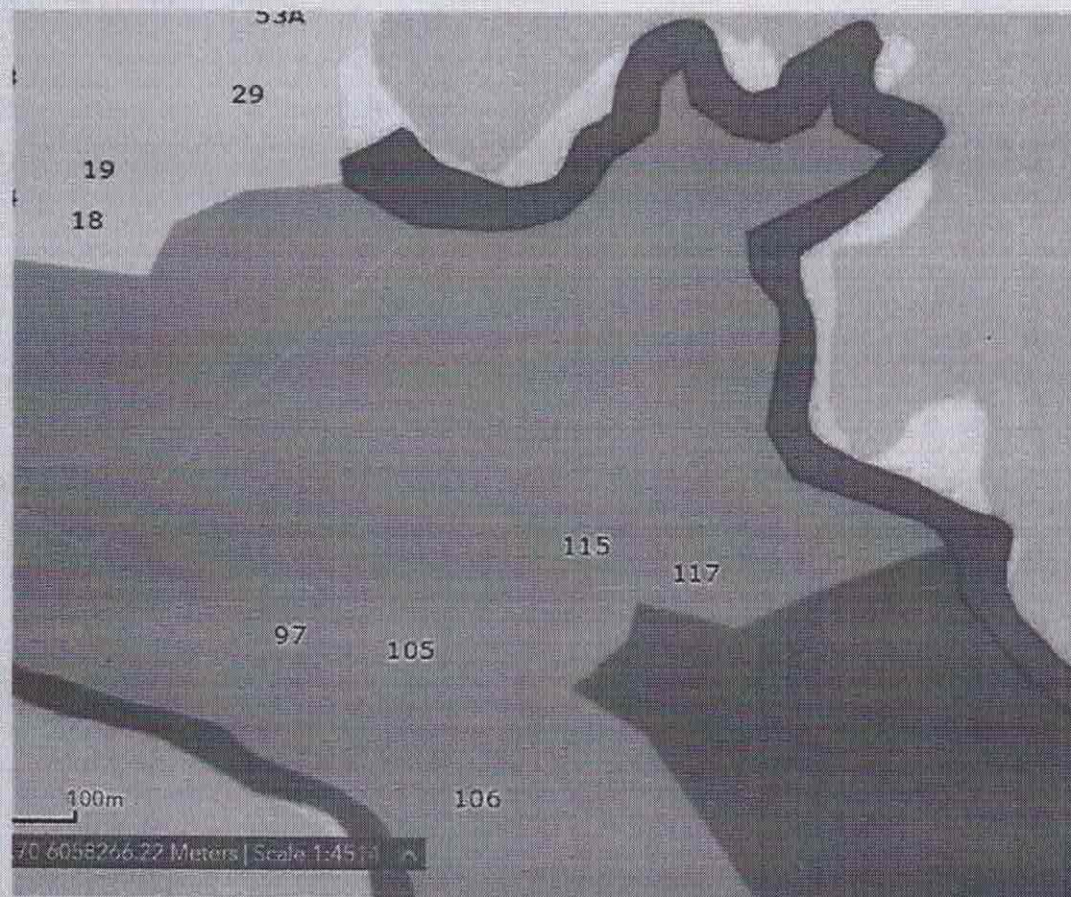
Adverse Effects Assessment (Sections 95A(8)(b) and 95D)

Effects that must be Disregarded.

Effects on persons who are owners and occupiers of the land in, on or over which the application relates, or of land adjacent to that land.

The council is to disregard any effects on the persons who own or occupy the land in, on, or over which the activities will occur, and on persons who own or occupy any adjacent land (s95D(a)).

The land adjacent to the subject site is shown as red dots in Figure 2; Natural Open Space Zone.



The council is to disregard any effects on a person who has given written approval to the application. In this instance no written approval has been provided for from the surrounding sites.

No surrounding sites will be adversely affected by the proposed minor residential unit; therefore, no written approval is required.



Effects that may be disregarded - Permitted baseline.

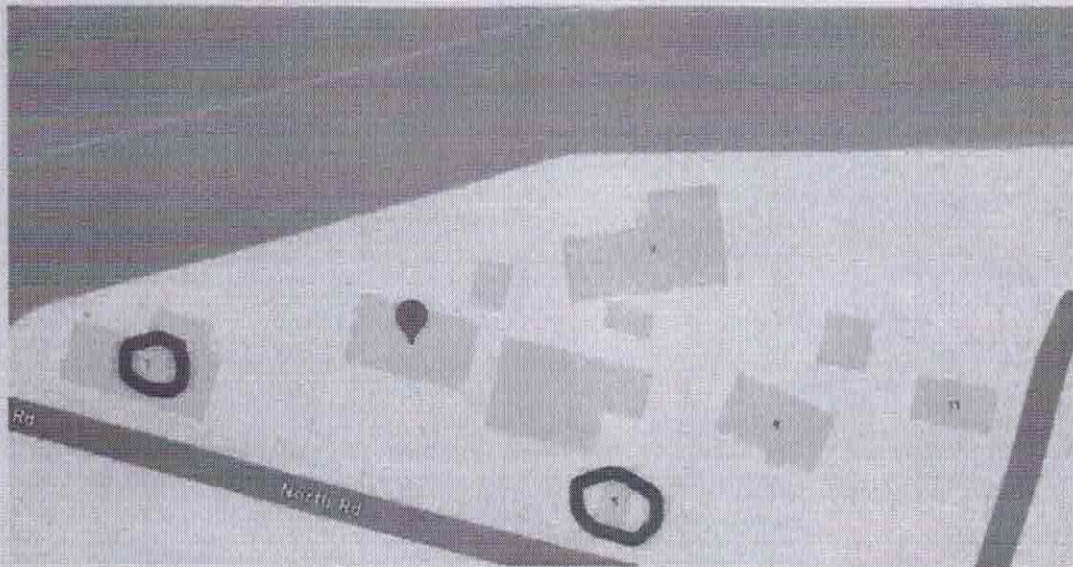
The permitted baseline refers to the effects of permitted activities on the subject site. The permitted baseline may be taken into account and the council has the discretion to disregard those effects where an activity is not fanciful.

The permitted level of development, being conversion of a rumpus room into a self-contained unit.

The receiving environment beyond the subject site includes permitted activities under the relevant plans, lawfully established activities (via existing use rights or resource consent), and any unimplemented resource consents that are likely to be implemented. This is the environment within which the adverse effects of this application must be assessed.

Note that to the two adjacent neighbours at 1 and 5 have signed and approved of the proposal.
Refer to attached

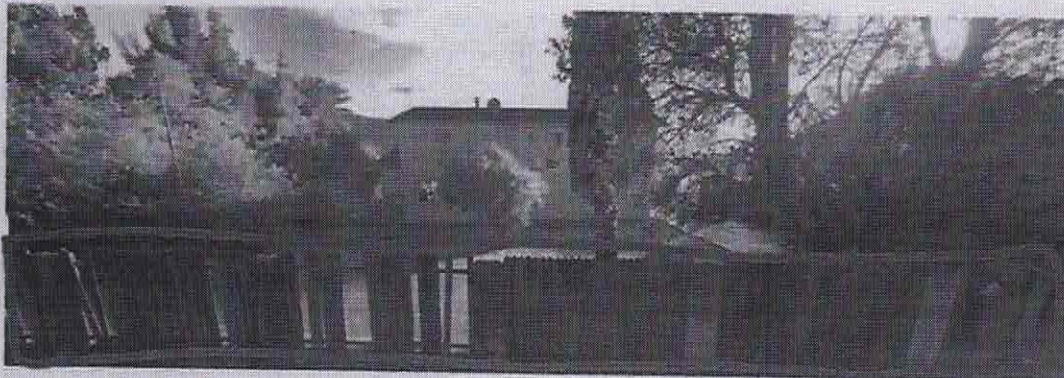
- Notice-of-written-approval-form – 1 North Rd Kawakawa
- Notice-of-written-approval-form – 5 North Rd Kawakawa



Visual Amenity

The proposal seeks to not increase the building envelope. The proposal includes replacement of the front boundary road picket fence providing privacy and improved aesthetics. The picket fence will be timber and oiled, See area below.


Page 8

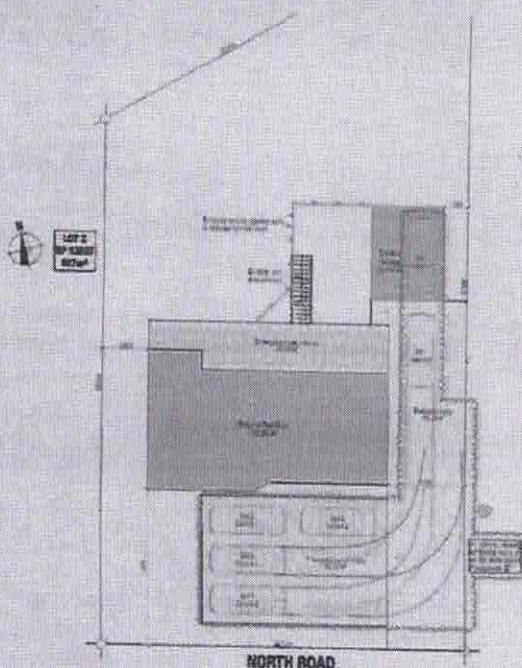



Overall, the effects of this proposal on the rural character and amenity of this environment will be less than minor.

Residential Zoning Values & Servicing

The subject site is 887m² more or less in size.

- The site is sewered via council wastewater system. The increase to council wastewater system is maximum two persons with the proposed additional self-contained unit.
- Noise will be compliant to 7.6.5.1.15 as normal residential activity only will be onsite. The proposed self-contained unit is supported by block exterior walls, which insulates noise. Noise less than denoted under rules below.
- 0700 to 2200 hours 50 dBA L₁₀
- 2200 to 0700 hours 45 dBA L₁₀ and 70 dBA L_{max}
- Storm water management compliant with 7.6.5.2.1 – impermeability 37.9%
- A 3m wide driveway exists – not change
- Additional parking will be provided in accordance to; 15.1.6.1.1 and 15.1.6B.1.5; see below



Order	100
Design	100
Construction	100
Site Plan	100
Section	100
Foundation	100
Roof	100
Windows	100
Doors	100
Stairs	100
Plumbing	100
Electrical	100
Heating	100
Cooling	100
Lighting	100
Sound	100
Security	100
Accessibility	100
Environmental	100
Health & Safety	100
Fire	100
Insurance	100
Legal	100
Other	100

Building Engineering & Design	
MARC VALE ARCHITECTURE	
APR 2015	
Project No.	
Address & Coordinates	
3 North Road, Randwick, NSW 1513	
Project Name	
Project Status	
Project Date	
Project Cost	
Project Risk	
Project Manager	
Project Engineer	
Project Designer	
Project Drafter	
Project Checker	
Project Approver	
Project Sign-off	
Project Completion	
Project Handover	
Project Closeout	
Project Archive	
Project Review	
Project Feedback	
Project Lessons Learned	
Project Summary	
Project Report	
Project Presentation	
Project Documentation	
Project Communication	
Project Collaboration	
Project Innovation	
Project Excellence	
Project Success	
Project Achievement	
Project Recognition	
Project Inspiration	
Project Motivation	
Project Commitment	
Project Accountability	
Project Responsibility	
Project Integrity	
Project Honesty	
Project Transparency	
Project Openness	
Project Trust	
Project Respect	
Project Compassion	
Project Kindness	
Project Gentleness	
Project Patience	
Project Self-control	
Project Moderation	
Project Balance	
Project Harmony	
Project Peace	
Project Joy	
Project Love	
Project Faith	
Project Hope	
Project Charity	
Project Grace	
Project Mercy	
Project Forgiveness	
Project Understanding	
Project Wisdom	
Project Knowledge	
Project Skill	
Project Talent	
Project Ability	
Project Power	
Project Influence	
Project Impact	
Project Legacy	
Project Future	
Project Dream	
Project Vision	
Project Mission	
Project Purpose	
Project Meaning	
Project Value	
Project Worth	
Project Price	
Project Cost	
Project Budget	
Project Finance	
Project Economics	
Project Sociology	
Project Anthropology	
Project Geography	
Project History	
Project Culture	
Project Religion	
Project Philosophy	
Project Science	
Project Technology	
Project Art	
Project Music	
Project Literature	
Project Film	
Project Television	
Project Radio	
Project Internet	
Project Mobile	
Project Gaming	
Project Sports	
Project Entertainment	
Project Education	
Project Health	
Project Fitness	
Project Nutrition	
Project Medicine	
Project Law	
Project Politics	
Project Business	
Project Industry	
Project Commerce	
Project Trade	
Project Service	
Project Labor	
Project Management	
Project Leadership	
Project Teamwork	
Project Cooperation	
Project Collaboration	
Project Partnership	
Project Alliance	
Project Coalition	
Project Consortium	
Project Joint Venture	
Project Strategic	
Project Tactical	
Project Operational	
Project Administrative	
Project Financial	
Project Human Resources	
Project Information Technology	
Project Marketing	
Project Sales	
Project Customer Service	
Project Quality Control	
Project Safety	
Project Security	
Project Risk Management	
Project Compliance	
Project Ethics	
Project Social Responsibility	
Project Environmental Stewardship	
Project Sustainability	
Project Resilience	
Project Adaptability	
Project Flexibility	
Project Creativity	
Project Innovation	
Project Entrepreneurship	
Project Leadership	
Project Management	
Project Teamwork	
Project Cooperation	
Project Collaboration	
Project Partnership	
Project Alliance	
Project Coalition	
Project Consortium	
Project Joint Venture	
Project Strategic	
Project Tactical	
Project Operational	
Project Administrative	
Project Financial	
Project Human Resources	
Project Information Technology	
Project Marketing	
Project Sales	
Project Customer Service	
Project Quality Control	
Project Safety	
Project Security	
Project Risk Management	
Project Compliance	
Project Ethics	
Project Social Responsibility	
Project Environmental Stewardship	
Project Sustainability	
Project Resilience	
Project Adaptability	
Project Flexibility	
Project Creativity	
Project Innovation	
Project Entrepreneurship	

Graves

Davis



- Set back from boundaries are in accordance to 7.6.5.1.5 – no change 2830mm from nearest boundary which is also fenced.
- Scale of activities are compliant with 7.6.5.1.3 with other than residents a maximum of 2 persons per 600m² sewered site.

It is therefore expected that any adverse effects on the level of residential zoning will be less than minor.

Reverse Sensitivity

The surrounding properties have are residential zoned. The proposed alterations will therefore be consistent with the existing land use of the surrounding environment.

North Road is a quite street with good roading geometry on of low traffic use. With the current housing crises in New Zealand and locally with healthy home rental under supply. The proposed alterations will benefit the local community.

Cultural Values

The site has not been identified to be significant to iwi or hapu, therefore no consultation has been carried out. Due to the proposal requiring minor vegetation removal, and minor earthworks with minor physical change to the existing environment. It is expected that there will not be any effects on cultural values.

Adverse Effects Conclusion

Given the extent of the infringement proposed, it is considered that the adverse effects associated with this land use consent will be less than minor. As per 7.6.5.3 Restricted Discretionary Activities as listed below the only discretionary breach is 7.6.5.1.2 Residential Intensity all all other conditions are met.

7.6.5.3 RESTRICTED DISCRETIONARY ACTIVITIES

An activity is a restricted discretionary activity in the Residential Zone if:

- it does not comply with any one of the following **Rules 7.6.5.1.2 Residential Intensity; 7.6.5.1.3 Scale of Activities; 7.6.5.1.4 Building Height; 7.6.5.1.5 Sunlight; 7.6.5.1.7 Setback from Boundaries; 7.6.5.1.11 Transportation; 7.6.5.1.15 Noise and/or 7.6.5.1.17 Building Coverage** as set out above; but
- it complies with all of the other rules for permitted and controlled activities under **Rules 7.6.5.1 and 7.6.5.2**; and
- it complies with **Rules 7.6.5.3.1 Residential Intensity; 7.6.5.3.2 Scale of Activities; 7.6.5.3.3 Building Height; 7.6.5.3.4 Sunlight; 7.6.5.3.5 Building Coverage; 7.6.5.3.6 Transportation; 7.6.5.3.7 Setback from Boundaries and 7.6.5.3.8 Noise** below; and
- it complies with the relevant standards for permitted, controlled or restricted discretionary activities set out in **Part 3 of the Plan - District Wide Provisions**.

The Council may approve or refuse an application for a restricted discretionary activity, and it may impose conditions on any consent.

Step 4: public notification in special circumstances

If an application has not been publicly notified as a result of any of the previous steps, then the council is required to determine whether special circumstances exist that warrant it being publicly notified (s95A(9)).



Special circumstances are those that are:

- Exceptional, abnormal or unusual, but something less than extraordinary or unique;
- Outside of the common run of applications of this nature; or
- Circumstances which make notification desirable, notwithstanding the conclusion that the activities will not have adverse effects on the environment that are more than minor.

In this instance I have turned my mind specifically to the existence of any special circumstances and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that public notification should occur.

Public Notification Conclusion

Having undertaken the s95A public notification tests, the following conclusions are reached:

- Under step 1, public notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes public notification of the activities, and the application is for activities other than those specified in s95A(5)(b).
- Under step 3, public notification is not required as the application is for activities that are not subject to a rule that specifically requires it, and it is considered that the activities will not have adverse effects on the environment that are more than minor.
- Under step 4, there are no special circumstances that warrant the application being publicly notified.

It is therefore recommended that this application be processed without public notification.

5. Limited Notification Assessment (Sections 95B, 95E-95G)

If the application is not publicly notified under s95A, the council must follow the steps set out in s95B to determine whether to limited notify the application. These steps are addressed in the statutory order below.

Step 1: Certain affected Protected Customary Rights Groups must be notified

There are no protected customary rights groups or customary marine title groups affected by the proposed activities (s95B(2)).

In addition, the council must determine whether the proposed activities are on or adjacent to, or may affect, land that is subject of a statutory acknowledgement under Schedule 11, and whether the person to whom the statutory acknowledgement is made is an affected person. (s95B(3)). There are no Statutory Acknowledgments that apply to land within the Whangarei District; or land within an adjoining District adjacent to the subject site.

Step 2: If not required by step 1, limited notification precluded in certain Circumstances

The application is not precluded from limited notification as:

- the application is not for one or more activities that are exclusively subject to a rule or NES



- which preclude limited notification (s95B(6)(a)); and
- the application is not exclusively for a controlled activity (other than subdivision), that
- requires consent under a district plan (s95B(6)(b)).

Step 3: If not precluded by step 2, certain other affected persons must be notified

As this application is not for a boundary activity, there are no affected persons related to that type of activity (s95B(7)).

The following assessment addresses whether there are any affected persons that the application is required to be limited notified to (s95B(8)).

In determining whether a person is an affected person:

- a person is affected if adverse effects on that person are minor or more than minor (but not less than minor);
- adverse effects permitted by a rule in a plan or NES (the permitted baseline) may be disregarded; and
- the adverse effects on those persons who have provided their written approval must be disregarded.

Adversely Affected Persons Assessment (Sections 95B(8) and 95E)

Building, Engineering & Design has provided, in accordance with Schedule 4 of the RMA, an assessment of adversely affected persons in page 15 of the AEE in such detail as corresponds with the scale and significance of the effects that the activities may have on persons in the surrounding environment.

Whilst the adverse effects on persons, additional support has been obtained from neighbours, see neighbour approval:

- Notice-of-written-approval-form – 1 North Rd Kawakawa
- Notice-of-written-approval-form – 5 North Rd Kawakawa

Any visual effects will be concealed within the site, no surrounding sites will be affected by the proposed minor residential unit.

Overall, it is concluded that there are no adversely affected persons to this proposal.

Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrants it being notified to any other persons not already determined as eligible for limited notification (excluding persons assessed under Section 95E as not being affected persons).

Special circumstances are those that are:

- Exceptional, abnormal or unusual, but something less than extraordinary or unique;
- outside of the common run of applications of this nature; or
- circumstances which make limited notification to any other person desirable, notwithstanding
- the conclusion that no other person has been considered eligible.



In this instance I have turned my mind specifically to the existence of any special circumstances under s95B(10) and conclude that there is nothing exceptional or unusual about the application, and that the proposal has nothing out of the ordinary run of things to suggest that notification to any other persons should occur.

Limited Notification Conclusion

Having undertaken the s95B limited notification tests, the following conclusions are reached:

- Under step 1, limited notification is not mandatory.
- Under step 2, there is no rule or NES that specifically precludes limited notification of the activities, and the application is for activities other than that specified in s95B(6)(b).
- Under step 3, limited notification is not required as it is considered that the activities will not result in any adversely affected persons.
- Under step 4, there are no special circumstances that warrant the application being limited notified to any other persons.

It is therefore recommended that this application be processed without limited notification.

Proposal Conclusion

The resource consent application is granted since:

1. In accordance with an assessment under ss104(1)(a) and (ab) of the RMA, the actual
 - a. and potential effects from the proposal will be acceptable as: There will be no adverse or visual amenity effects as a result of the proposal.
2. In accordance with an assessment under s104(1)(b) of the RMA, the proposal is
 - a. consistent with the relevant statutory documents. In particular the application is consistent with the objectives and policies contained within the RPZ
3. The application is aligned to relevant objectives and policies are contained within chapter the RPROZ.

Thanking you, best regards,

Yours faithfully,

Aaron Patterson, Managing Director, Building Engineering & Design
Chartered Member Engineering NZ, CMGNZ 1160121, Licenced Practicing Builder BP137251, Master in Business Administration (Law), Member NZ Geotechnical Society, Member Structural Engineering Society, Member Building Officials Institute of New Zealand.

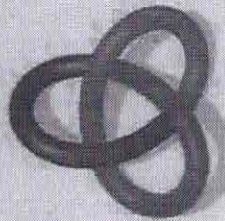
M: +64 204 338 339, T: 0800 33 88 32
E: aaron.patterson@buildengdesign.com
W: www.buildengdesign.com



Location Plan

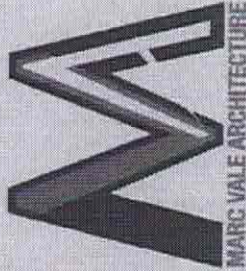
Building Consent

Alterations & Compliance for Jeremiah Bos
3 North Road, Kawakawa, Far North District



Building,
Engineering &
Design

Project #
240207



ID	Layer Name	Rev ID
001	Cover	01
002	General	01
003	Site Plan	01
004	Existing Ground Floor Plan	01
005	Existing First Floor Plan	01
006	Proposed Ground Floor Plan	01
007	Proposed First Floor Plan	01
008	Proposed Second Floor Plan	01
009	Proposed Third Floor Plan	01
010	Proposed Fourth Floor Plan	01
011	Proposed Fifth Floor Plan	01
012	Proposed Sixth Floor Plan	01
013	Proposed Seventh Floor Plan	01
014	Proposed Eighth Floor Plan	01
015	Proposed Ninth Floor Plan	01
016	Proposed Tenth Floor Plan	01
017	Proposed Eleventh Floor Plan	01
018	Proposed Twelfth Floor Plan	01
019	Proposed Thirteenth Floor Plan	01
020	Proposed Fourteenth Floor Plan	01
021	Proposed Fifteenth Floor Plan	01
022	Proposed Sixteenth Floor Plan	01
023	Proposed Seventeenth Floor Plan	01
024	Proposed Eighteenth Floor Plan	01
025	Proposed Nineteenth Floor Plan	01
026	Proposed Twentieth Floor Plan	01
027	Proposed Twenty-first Floor Plan	01
028	Proposed Twenty-second Floor Plan	01
029	Proposed Twenty-third Floor Plan	01
030	Proposed Twenty-fourth Floor Plan	01
031	Proposed Twenty-fifth Floor Plan	01
032	Proposed Twenty-sixth Floor Plan	01
033	Proposed Twenty-seventh Floor Plan	01
034	Proposed Twenty-eighth Floor Plan	01
035	Proposed Twenty-ninth Floor Plan	01
036	Proposed Thirtieth Floor Plan	01
037	Proposed Thirty-first Floor Plan	01
038	Proposed Thirty-second Floor Plan	01
039	Proposed Thirty-third Floor Plan	01
040	Proposed Thirty-fourth Floor Plan	01
041	Proposed Thirty-fifth Floor Plan	01
042	Proposed Thirty-sixth Floor Plan	01
043	Proposed Thirty-seventh Floor Plan	01
044	Proposed Thirty-eighth Floor Plan	01
045	Proposed Thirty-ninth Floor Plan	01
046	Proposed Fortieth Floor Plan	01
047	Proposed Forty-first Floor Plan	01
048	Proposed Forty-second Floor Plan	01
049	Proposed Forty-third Floor Plan	01
050	Proposed Forty-fourth Floor Plan	01
051	Proposed Forty-fifth Floor Plan	01
052	Proposed Forty-sixth Floor Plan	01
053	Proposed Forty-seventh Floor Plan	01
054	Proposed Forty-eighth Floor Plan	01
055	Proposed Forty-ninth Floor Plan	01
056	Proposed Fiftieth Floor Plan	01
057	Proposed Fifty-first Floor Plan	01
058	Proposed Fifty-second Floor Plan	01
059	Proposed Fifty-third Floor Plan	01
060	Proposed Fifty-fourth Floor Plan	01
061	Proposed Fifty-fifth Floor Plan	01
062	Proposed Fifty-sixth Floor Plan	01
063	Proposed Fifty-seventh Floor Plan	01
064	Proposed Fifty-eighth Floor Plan	01
065	Proposed Fifty-ninth Floor Plan	01
066	Proposed Sixtieth Floor Plan	01
067	Proposed Sixty-first Floor Plan	01
068	Proposed Sixty-second Floor Plan	01
069	Proposed Sixty-third Floor Plan	01
070	Proposed Sixty-fourth Floor Plan	01
071	Proposed Sixty-fifth Floor Plan	01
072	Proposed Sixty-sixth Floor Plan	01
073	Proposed Sixty-seventh Floor Plan	01
074	Proposed Sixty-eighth Floor Plan	01
075	Proposed Sixty-ninth Floor Plan	01
076	Proposed Seventieth Floor Plan	01
077	Proposed Seventy-first Floor Plan	01
078	Proposed Seventy-second Floor Plan	01
079	Proposed Seventy-third Floor Plan	01
080	Proposed Seventy-fourth Floor Plan	01
081	Proposed Seventy-fifth Floor Plan	01
082	Proposed Seventy-sixth Floor Plan	01
083	Proposed Seventy-seventh Floor Plan	01
084	Proposed Seventy-eighth Floor Plan	01
085	Proposed Seventy-ninth Floor Plan	01
086	Proposed Eightieth Floor Plan	01
087	Proposed Eighty-first Floor Plan	01
088	Proposed Eighty-second Floor Plan	01
089	Proposed Eighty-third Floor Plan	01
090	Proposed Eighty-fourth Floor Plan	01
091	Proposed Eighty-fifth Floor Plan	01
092	Proposed Eighty-sixth Floor Plan	01
093	Proposed Eighty-seventh Floor Plan	01
094	Proposed Eighty-eighth Floor Plan	01
095	Proposed Eighty-ninth Floor Plan	01
096	Proposed Ninetieth Floor Plan	01
097	Proposed Ninety-first Floor Plan	01
098	Proposed Ninety-second Floor Plan	01
099	Proposed Ninety-third Floor Plan	01
100	Proposed Ninety-fourth Floor Plan	01
101	Proposed Ninety-fifth Floor Plan	01
102	Proposed Ninety-sixth Floor Plan	01
103	Proposed Ninety-seventh Floor Plan	01
104	Proposed Ninety-eighth Floor Plan	01
105	Proposed Ninety-ninth Floor Plan	01
106	Proposed One Hundred Floor Plan	01

ARZ
Architectural
Rendering
Zoning
Permit
Design
Consulting
Services
Limited
By
Appliances
ARZ
Architectural
Rendering
Zoning
Permit
Design
Consulting
Services
Limited
By
Appliances

	Existing in 1990	To be demolished
1. Single-family detached	1,000	1,000
2. Single-family attached	1,000	1,000
3. Two-family detached	1,000	1,000
4. Two-family attached	1,000	1,000
5. Three-family detached	1,000	1,000
6. Three-family attached	1,000	1,000
7. Four-family detached	1,000	1,000
8. Four-family attached	1,000	1,000
9. Five-family detached	1,000	1,000
10. Five-family attached	1,000	1,000
11. Six-family detached	1,000	1,000
12. Six-family attached	1,000	1,000
13. Seven-family detached	1,000	1,000
14. Seven-family attached	1,000	1,000
15. Eight-family detached	1,000	1,000
16. Eight-family attached	1,000	1,000
17. Nine-family detached	1,000	1,000
18. Nine-family attached	1,000	1,000
19. Ten-family detached	1,000	1,000
20. Ten-family attached	1,000	1,000
21. Eleven-family detached	1,000	1,000
22. Eleven-family attached	1,000	1,000
23. Twelve-family detached	1,000	1,000
24. Twelve-family attached	1,000	1,000
25. Thirteen-family detached	1,000	1,000
26. Thirteen-family attached	1,000	1,000
27. Fourteen-family detached	1,000	1,000
28. Fourteen-family attached	1,000	1,000
29. Fifteen-family detached	1,000	1,000
30. Fifteen-family attached	1,000	1,000
31. Sixteen-family detached	1,000	1,000
32. Sixteen-family attached	1,000	1,000
33. Seventeen-family detached	1,000	1,000
34. Seventeen-family attached	1,000	1,000
35. Eighteen-family detached	1,000	1,000
36. Eighteen-family attached	1,000	1,000
37. Nineteen-family detached	1,000	1,000
38. Nineteen-family attached	1,000	1,000
39. Twenty-family detached	1,000	1,000
40. Twenty-family attached	1,000	1,000
41. Twenty-one-family detached	1,000	1,000
42. Twenty-one-family attached	1,000	1,000
43. Twenty-two-family detached	1,000	1,000
44. Twenty-two-family attached	1,000	1,000
45. Twenty-three-family detached	1,000	1,000
46. Twenty-three-family attached	1,000	1,000
47. Twenty-four-family detached	1,000	1,000
48. Twenty-four-family attached	1,000	1,000
49. Twenty-five-family detached	1,000	1,000
50. Twenty-five-family attached	1,000	1,000
51. Twenty-six-family detached	1,000	1,000
52. Twenty-six-family attached	1,000	1,000
53. Twenty-seven-family detached	1,000	1,000
54. Twenty-seven-family attached	1,000	1,000
55. Twenty-eight-family detached	1,000	1,000
56. Twenty-eight-family attached	1,000	1,000
57. Twenty-nine-family detached	1,000	1,000
58. Twenty-nine-family attached	1,000	1,000
59. Thirty-family detached	1,000	1,000
60. Thirty-family attached	1,000	1,000
61. Thirty-one-family detached	1,000	1,000
62. Thirty-one-family attached	1,000	1,000
63. Thirty-two-family detached	1,000	1,000
64. Thirty-two-family attached	1,000	1,000
65. Thirty-three-family detached	1,000	1,000
66. Thirty-three-family attached	1,000	1,000
67. Thirty-four-family detached	1,000	1,000
68. Thirty-four-family attached	1,000	1,000
69. Thirty-five-family detached	1,000	1,000
70. Thirty-five-family attached	1,000	1,000
71. Thirty-six-family detached	1,000	1,000
72. Thirty-six-family attached	1,000	1,000
73. Thirty-seven-family detached	1,000	1,000
74. Thirty-seven-family attached	1,000	1,000
75. Thirty-eight-family detached	1,000	1,000
76. Thirty-eight-family attached	1,000	1,000
77. Thirty-nine-family detached	1,000	1,000
78. Thirty-nine-family attached	1,000	1,000
79. Forty-family detached	1,000	1,000
80. Forty-family attached	1,000	1,000
81. Forty-one-family detached	1,000	1,000
82. Forty-one-family attached	1,000	1,000
83. Forty-two-family detached	1,000	1,000
84. Forty-two-family attached	1,000	1,000
85. Forty-three-family detached	1,000	1,000
86. Forty-three-family attached	1,000	1,000
87. Forty-four-family detached	1,000	1,000
88. Forty-four-family attached	1,000	1,000
89. Forty-five-family detached	1,000	1,000
90. Forty-five-family attached	1,000	1,000
91. Forty-six-family detached	1,000	1,000
92. Forty-six-family attached	1,000	1,000
93. Forty-seven-family detached	1,000	1,000
94. Forty-seven-family attached	1,000	1,000
95. Forty-eight-family detached	1,000	1,000
96. Forty-eight-family attached	1,000	1,000
97. Forty-nine-family detached	1,000	1,000
98. Forty-nine		

1 = Windows/Door to be Elected
2 = Windows/Door to remain
3 = Permit Existing Windows/Door
WALL #4 = New Windows/Door

We confirm that the proposed building work will comply with the requirements of M2BC Clause F2.2, ensuring that any risk associated with asbestos-containing materials is appropriately managed before and during construction. The following measures will be put in place:


Assessment of Existing Building Materials II

Prior to any distribution or establishment, a qualified substances inventory will carry out an asbestos survey, as set out per HSE's HSG guidelines. Any identified asbestos-containing materials (ACMs) will be managed and removed in accordance with the Health and Safety at Work (Asbestos) Regulations 2013.

Professor Business and Management

If contractors and subcontractors engaged in the project will be made aware of their obligations under the Health and Safety at Work Act 2015 and associated asbestos regulations, it is essential that asbestos management is implemented immediately during construction work. If there is an asbestos issue and an appropriate asbestos management will be required.

Building,
Engineering &
Design



MARC VALE
ARCHITECTURE



Professional Member

Jeremiah Bns

2000

Iterations & Compliance

Address

North Road, Kawakawa, Far North District

among them

Building Consent

Existing Ground Floor Plan

[illegible]

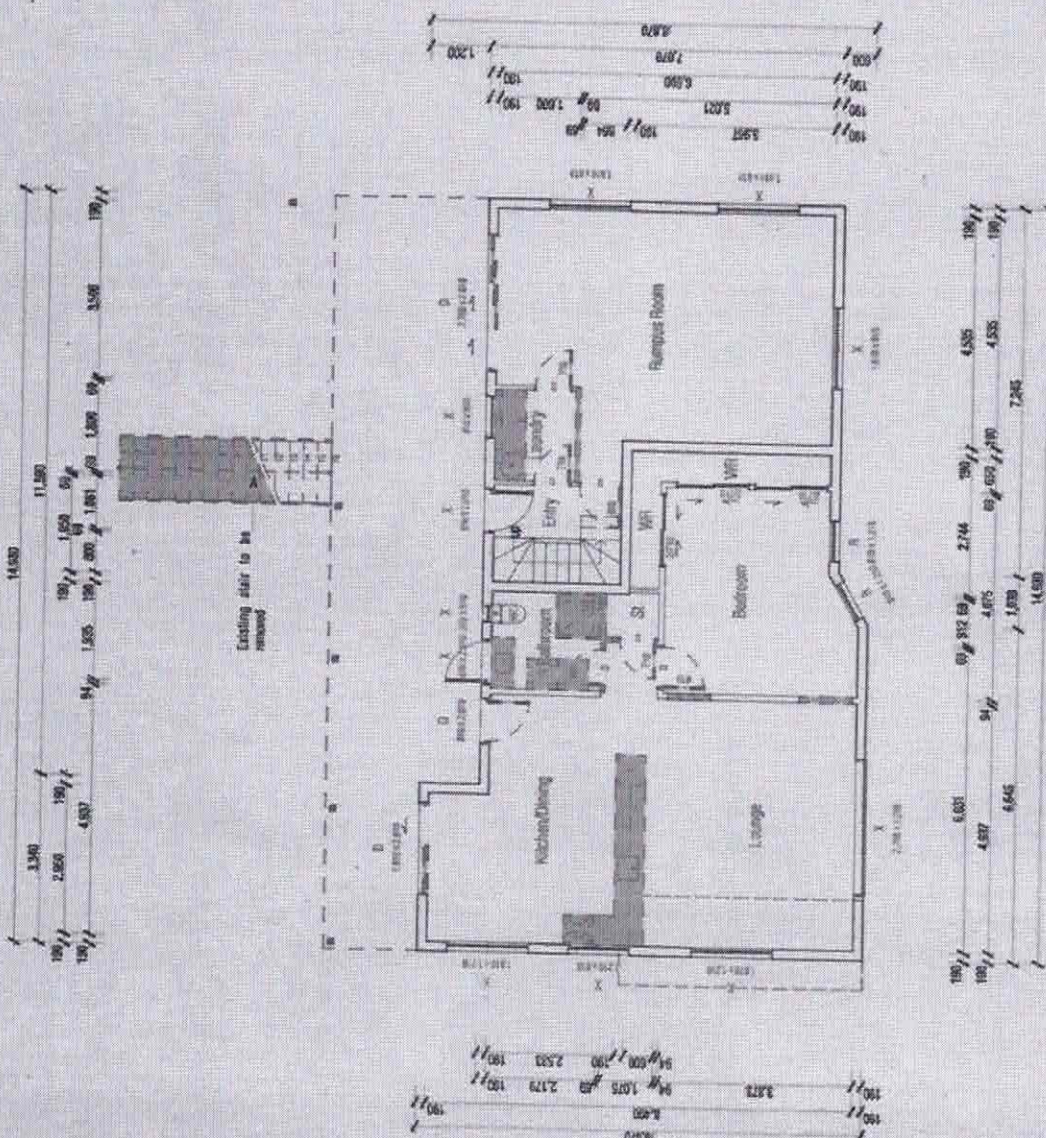
03

3

Position Name	600
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17/01/2005	17/01/2005
17/01/2005	17/01/2005

10/10/2018	10/10/2018
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To be used in conjunction with CCC Report
Assessment Report by Building Engineering &
Design Limited

Legend

Existing to remain
To be demolished

D = Window/Door to be Demolished
X = Window/Door to remain
R = Repair Existing Window/Door
W = New Window/Door

Any work to be proposed must comply with the requirements of BS5588: Part 1: 2000 and any other applicable standards. The following measures will be taken to ensure compliance with the requirements of BS5588: Part 1: 2000 and any other applicable standards.

Replacement of Existing Building Materials (if applicable)

Prior to any demolition or replacement, a qualified structural engineer will carry out an inspection of the existing structure to determine its condition and any necessary remedial work.

Contractor Assessment and Management
All contractors and subcontractors engaged in the project will be made aware of their obligations under the Health and Safety at Work Act 2015 and any other applicable legislation. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the relevant legislation and standards.

Building, Engineering & Design

MARC VALE ARCHITECTURE

ARZ Professional Engineer

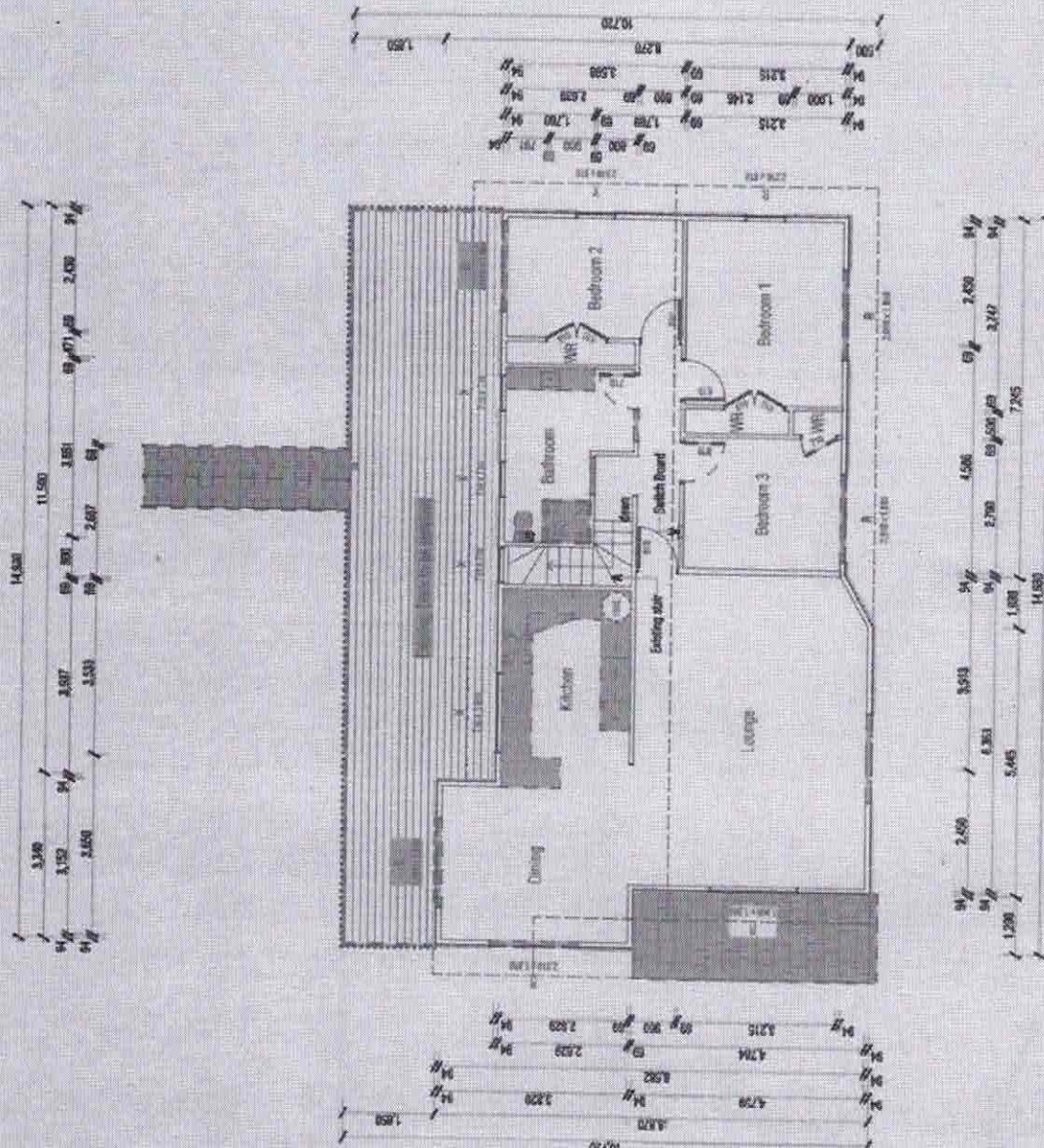
Client: Jeremiah Bos
Project Title: Alterations & Compliance

Site Address: 3 North Road, Kawakawa, Far North District

Building Consent

Existing First Floor Plan

Drawn	Marc Vale
Check	Marc Vale
Scale	1:100
Date	03/07/2025
Project	3 North Road, Kawakawa, Far North District
Client	Jeremiah Bos
Project Title	Alterations & Compliance
Site Address	3 North Road, Kawakawa, Far North District
Building Consent	
Existing First Floor Plan	



Handwritten signature/initials

Legend
 Existing to remain
 New timber framed wall
 D - Window/Door to be Demolished
 X - Window/Door to remain
 R - People Entering Window/Door
 W - Window/Door to be replaced
 W - Window/Door to be replaced
 W - Window/Door to be replaced

To be read in conjunction with CCC Repair Assessment Report by Building Engineering & Design Limited

Building is to be retained under Section 112 of the Building Act

1. The building's overall compliance with the Building Code (including other applicable clauses in addition to the and accessibility, such as structural) must not be less than what it was prior to the alteration taking place.

2. The whole building must be supported so that it complies as nearly as is reasonably practicable with the current Building Code clauses for fire and accessibility (if applicable under section 118 of the Building Act).

Waterproofing Membrane installed to entire bathroom floor area with 15mm applied to walls

All flooring due to a mean coefficient of friction no less than 0.4

Ceiling/wall junction to match existing

Building, Engineering & Design

MARC VALE ARCHITECTURE

ARZ Professional Practitioner

Jeremiah Bus

Project Title

Alterations & Compliance

Site Address

3 North Road, Kawakawa, Far North District

Client Name

Building Consent

Proposed Ground Floor Plan

Scale

1:100

Drawn by

02/07/2025

Checked by

03

2023

10/04/2025

10/04/2025

10/04/2025

10/04/2025

10/04/2025

10/04/2025

10/04/2025

10/04/2025

10/04/2025

10/04/2025

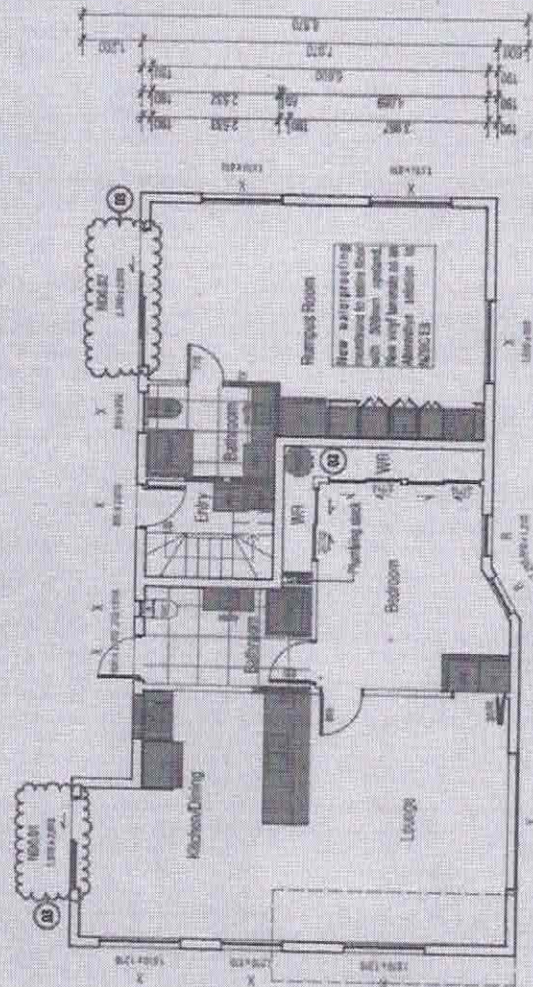
10/04/2025

10/04/2025

10/04/2025



E-01 301



E-04 302



E-03 302

Handwritten signatures and notes.

Abstract


1

...to be examined under Section 112 of the
...Act.


The above building needs to be upgraded as follows:
 • The main building needs to be upgraded to meet the requirements of the new building code.
 • The existing building needs to be upgraded to meet the requirements of the new building code.

the hearing files to a mean coefficient of location no less than 0.4

reflects local variation in market pricing



**Building,
Engineering &
Design**



MARC VALE
ARCHITECTURE



APZ Professional Member

Armeniah Bros

Iterations & Compliance

North Road, Kawakawa, Far North District

Building Needed

[illegible]

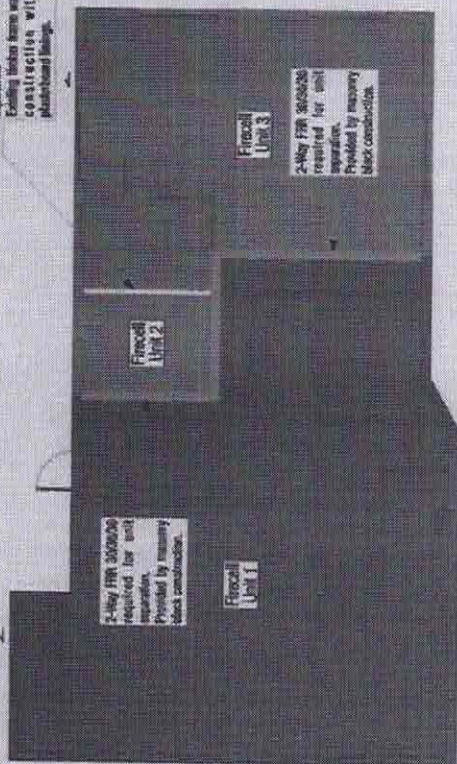
1999 Q 43	Monte R. Vado
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01/2/25	Marc-Vincent Audoubert	Procteur
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04 03

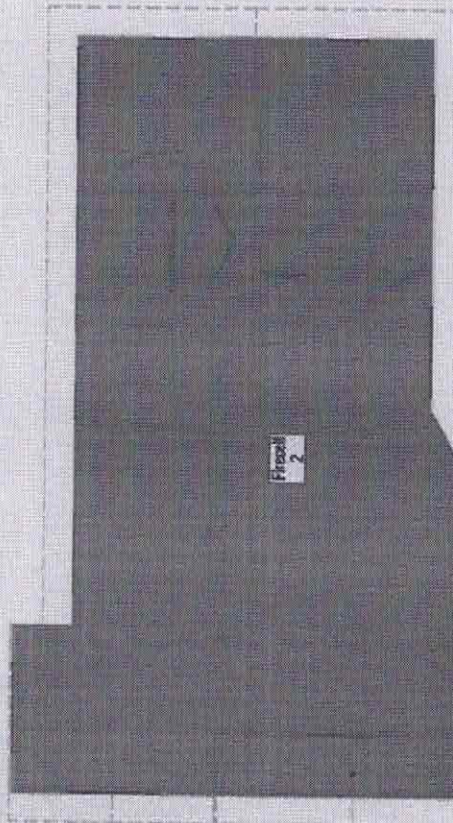
1	1994-1995	1994-1995	1994-1995
2	1996-1997	1996-1997	1996-1997
3	1998-1999	1998-1999	1998-1999
4	2000-2001	2000-2001	2000-2001
5	2002-2003	2002-2003	2002-2003
6	2004-2005	2004-2005	2004-2005
7	2006-2007	2006-2007	2006-2007
8	2008-2009	2008-2009	2008-2009
9	2010-2011	2010-2011	2010-2011
10	2012-2013	2012-2013	2012-2013
11	2014-2015	2014-2015	2014-2015
12	2016-2017	2016-2017	2016-2017
13	2018-2019	2018-2019	2018-2019
14	2020-2021	2020-2021	2020-2021
15	2022-2023	2022-2023	2022-2023
16	2024-2025	2024-2025	2024-2025
17	2026-2027	2026-2027	2026-2027
18	2028-2029	2028-2029	2028-2029
19	2030-2031	2030-2031	2030-2031
20	2032-2033	2032-2033	2032-2033
21	2034-2035	2034-2035	2034-2035
22	2036-2037	2036-2037	2036-2037
23	2038-2039	2038-2039	2038-2039
24	2040-2041	2040-2041	2040-2041
25	2042-2043	2042-2043	2042-2043
26	2044-2045	2044-2045	2044-2045
27	2046-2047	2046-2047	2046-2047
28	2048-2049	2048-2049	2048-2049
29	2050-2051	2050-2051	2050-2051
30	2052-2053	2052-2053	2052-2053
31	2054-2055	2054-2055	2054-2055
32	2056-2057	2056-2057	2056-2057
33	2058-2059	2058-2059	2058-2059
34	2060-2061	2060-2061	2060-2061
35	2062-2063	2062-2063	2062-2063
36	2064-2065	2064-2065	2064-2065
37	2066-2067	2066-2067	2066-2067
38	2068-2069	2068-2069	2068-2069
39	2070-2071	2070-2071	2070-2071
40	2072-2073	2072-2073	2072-2073
41	2074-2075	2074-2075	2074-2075
42	2076-2077	2076-2077	2076-2077
43	2078-2079	2078-2079	2078-2079
44	2080-2081	2080-2081	2080-2081
45	2082-2083	2082-2083	2082-2083
46	2084-2085	2084-2085	2084-2085
47	2086-2087	2086-2087	2086-2087
48	2088-2089	2088-2089	2088-2089
49	2090-2091	2090-2091	2090-2091
50	2092-2093	2092-2093	2092-2093
51	2094-2095	2094-2095	2094-2095
52	2096-2097	2096-2097	2096-2097
53	2098-2099	2098-2099	2098-2099
54	2100-2101	2100-2101	2100-2101
55	2102-2103	2102-2103	2102-2103
56	2104-2105	2104-2105	2104-2105
57	2106-2107	2106-2107	2106-2107
58	2108-2109	2108-2109	2108-2109
59	2110-2111	2110-2111	2110-2111
60	2112-2113	2112-2113	2112-2113
61	2114-2115	2114-2115	2114-2115
62	2116-2117	2116-2117	2116-2117
63	2118-2119	2118-2119	2118-2119
64	2120-2121	2120-2121	2120-2121
65	2122-2123	2122-2123	2122-2123
66	2124-2125	2124-2125	2124-2125
67	2126-2127	2126-2127	2126-2127
68	2128-2129	2128-2129	2128-2129
69	2130-2		

2-Way FFR 300/200
required for unit
separation.
Existing brickwork will
conform with
plasterboard lining.



Ground Floor Firecell Plan

Area of stepped roof with lower
grade below
Fire rating (FRS/30/150/20)
required by LPS of roof
Rides its own section



First Floor Firecell Plan



MARC VALE
ARCHITECTURE

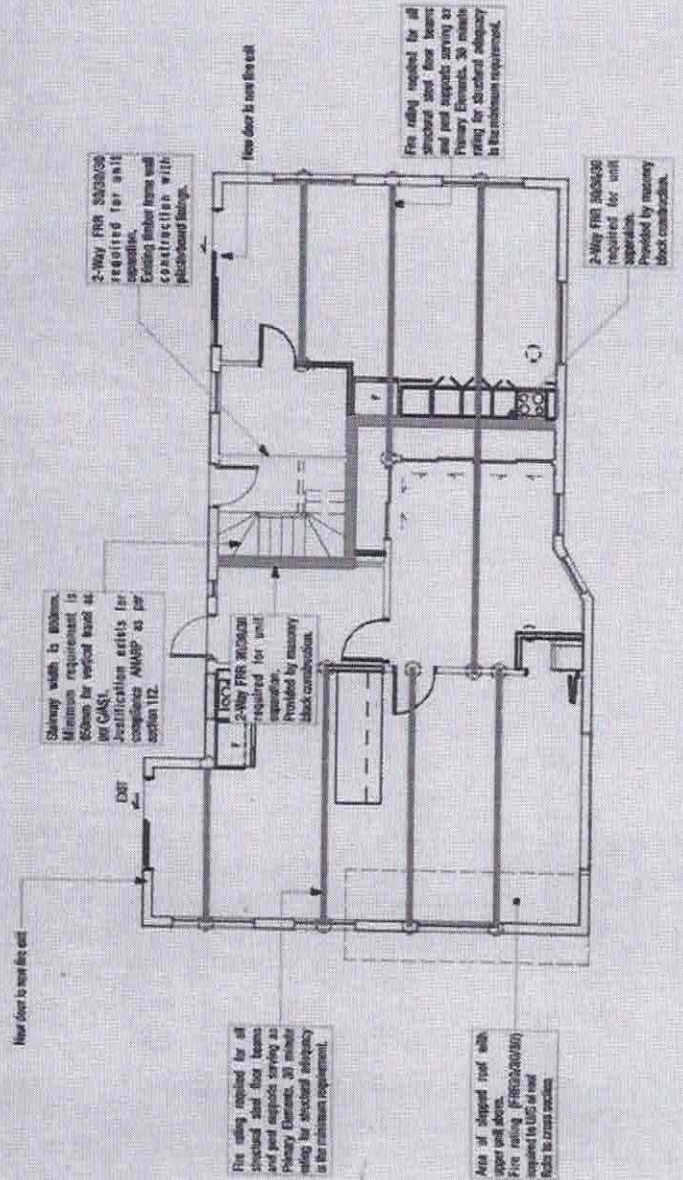


Client: Jeremiah Bog
Project Title: Alterations & Compliance
Site Address: 3 North Road, Kawakawa, Far North District
Drawing Name: Building Consent
Drawing No: Proposed Firecell Plan

Drawn	1:1000 D.A.J.	Checked	Marc R. Vale
Date	24/05/2015	Drawn	Marc R. Vale
Scale	205	Checked	1:1000 D.A.J.
Project Name	205	Building Consent	24/05/2015
Project No	02	Building Consent	24/05/2015

Handwritten signatures and initials.

A minimum Type 1 (anewelt) switch alarm, installed in accordance with C/NZS1 and NZS-5514: 2021



Notes

To be read in conjunction with Fire Safety Report reference 18407 dated 18th December 2024 by RS Eng Limited

Building Engineering & Design

MARC VALE ARCHITECTURE

ARZ Professional Member

Client: Jeremiah Bos

Project Title: Alterations & Compliance

Site Address: 3 North Road, Kawakawa, Far North District

Building Consent: Building Consent

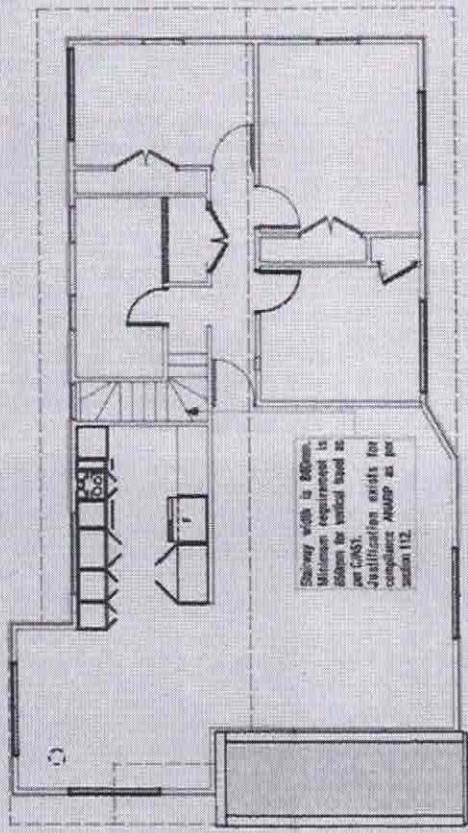
Fire Ground Floor Plan

Drawn	18/08/23	Drawn	Marc R. Vale
Check	24/08/2025	Check	Marc Vale Architecture
Scale	206	Scale	02
Project	18407	Project	18407
Sheet	01	Sheet	02
Building	01	Building	02
Consent	01	Consent	02

Boards

[Signature]

A minimum Type 1 domestic smoke alarm installed in accordance with CNS1 and BS5451A:2001.



Handwritten signatures and initials:
 [Signature]
 [Initials]

Appendix

To be used in conjunction with Fire Safety Report
 Reference 19007 dated 18th December 2004 by RS
 Eng Limited

Building,
 Engineering &
 Design

MARC VALE
 ARCHITECTURE

ARZ
 Registered
 Professional
 Member

Client
 Jeremiah Bos

Project Title
 Alterations & Compliance

Site Address
 3 North Road, Kawakawa, Far
 North District

Project Start
 Building Consent

Drawn By
 Fire First Floor Plan

Scale
 1:100 @ A3
 Date
 24/05/2005
 Drawn By
 207

Client
 Jeremiah Bos
 Project Title
 Alterations & Compliance
 Site Address
 3 North Road, Kawakawa, Far
 North District
 Project Start
 Building Consent
 Drawn By
 207

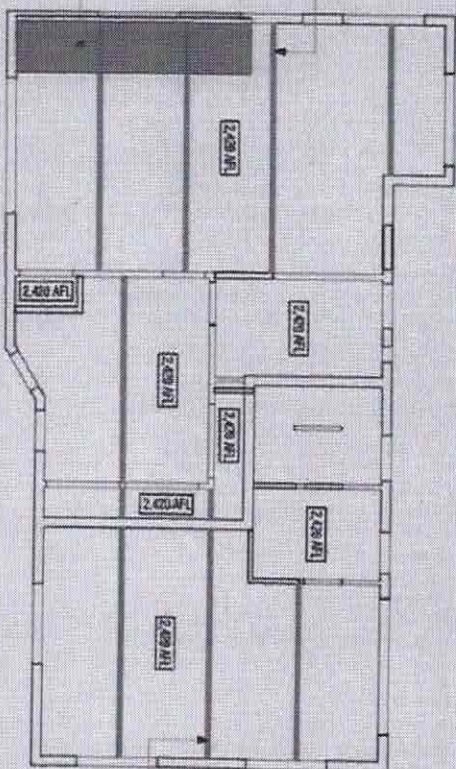
Existing drawings include Preliminary, T&E, no site, any new drawings in regard to existing drawings to be G&S
 13aven Parkway

Costing/multi junction to match existing

Costing budgets to be confirmed on 15th

Flow testing required for all structural steel floor beams and post supports serving as Primary Elements. 20 minutes testing for structural adequacy is the minimum requirement.

Area of stepped roof with
eaves and dormer.
Five gables (110 sq ft each)
equipped to lift or
rotate the entire section.



The filing requires the structural steel floor beams and post supports serving as Primary Elements. In order to allow for structural adequacy to the minimum requirement.



Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

APR
Professional
Member

Jeremiah Bos

Alterations & Compliance

3 North Road, Kawakawa, Far North District

Building Consort


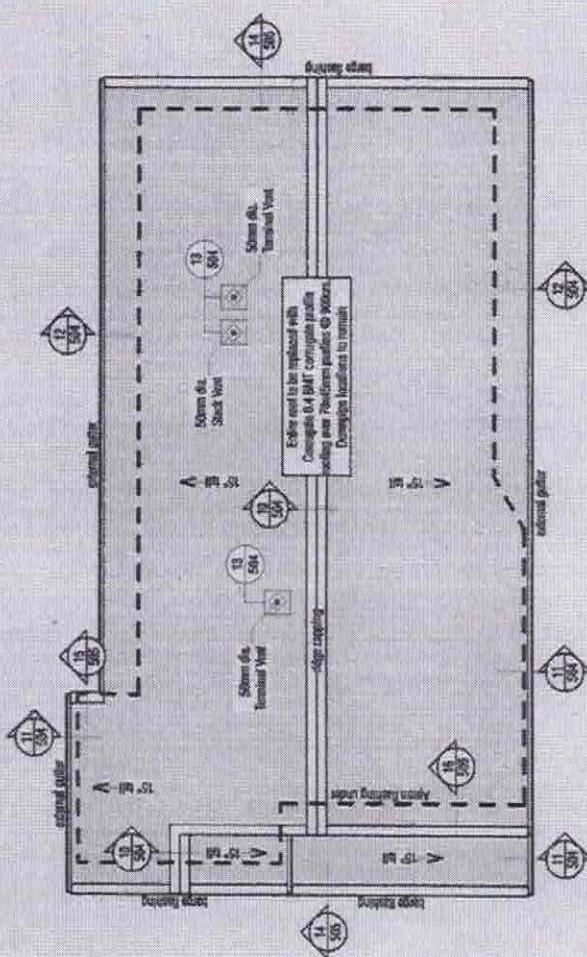
Ground Floor Reflected Ceiling Plan

110003 **Mar. R. V.**


Country	Year	Population	Population	Population
China	1990	1,190,000,000	1,190,000,000	1,190,000,000
India	1990	850,000,000	850,000,000	850,000,000
United States	1990	250,000,000	250,000,000	250,000,000
Japan	1990	125,000,000	125,000,000	125,000,000
Germany	1990	60,000,000	60,000,000	60,000,000
France	1990	55,000,000	55,000,000	55,000,000
United Kingdom	1990	50,000,000	50,000,000	50,000,000
Italy	1990	45,000,000	45,000,000	45,000,000
Spain	1990	35,000,000	35,000,000	35,000,000
Sweden	1990	8,000,000	8,000,000	8,000,000
Norway	1990	4,000,000	4,000,000	4,000,000
Denmark	1990	5,000,000	5,000,000	5,000,000
Finland	1990	5,000,000	5,000,000	5,000,000
Poland	1990	35,000,000	35,000,000	35,000,000
Czech Republic	1990	10,000,000	10,000,000	10,000,000
Slovak Republic	1990	5,000,000	5,000,000	5,000,000
Hungary	1990	10,000,000	10,000,000	10,000,000
Romania	1990	22,000,000	22,000,000	22,000,000
Bulgaria	1990	8,000,000	8,000,000	8,000,000
Greece	1990	10,000,000	10,000,000	10,000,000
Turkey	1990	50,000,000	50,000,000	50,000,000
Iran	1990	55,000,000	55,000,000	55,000,000
Pakistan	1990	90,000,000	90,000,000	90,000,000
Bangladesh	1990	100,000,000	100,000,000	100,000,000
India	1990	850,000,000	850,000,000	850,000,000
China	1990	1,190,000,000	1,190,000,000	1,190,000,000

208 02

Age	Gender	Height (cm)	Weight (kg)	Body Mass Index (BMI)	Waist Circumference (cm)	Waist-Hip Ratio	Trunk Flexion Angle (°)	Trunk Flexion Time (s)	Trunk Flexion Distance (cm)
25	Male	175	75	24.2	95	0.85	30	15	15
28	Female	165	65	23.8	85	0.80	25	10	10
30	Male	180	80	25.0	100	0.90	35	20	20
32	Female	170	70	24.2	90	0.85	30	15	15
35	Male	185	85	24.8	105	0.95	40	25	25
38	Female	175	75	24.2	95	0.85	30	15	15
40	Male	190	90	25.5	110	1.00	45	30	30
42	Female	180	80	24.8	100	0.90	35	20	20
45	Male	195	95	25.0	115	1.05	50	35	35
48	Female	185	85	24.2	105	0.95	35	20	20
50	Male	200	100	25.0	120	1.10	55	40	40
52	Female	190	90	24.8	110	1.00	40	25	25
55	Male	205	105	25.5	125	1.15	60	45	45
58	Female	195	95	24.8	115	1.05	45	30	30
60	Male	210	110	25.0	130	1.20	65	50	50
62	Female	200	100	24.8	120	1.10	50	35	35
65	Male	215	115	25.5	135	1.25	70	55	55
68	Female	205	105	24.8	125	1.15	55	40	40
70	Male	220	120	25.0	140	1.30	75	60	60
72	Female	210	110	24.8	130	1.20	60	45	45
75	Male	225	125	25.5	145	1.35	80	65	65
78	Female	215	115	24.8	135	1.25	65	50	50
80	Male	230	130	25.0	150	1.40	85	70	70
82	Female	220	120	24.8	140	1.30	70	55	55
85	Male	235	135	25.5	155	1.45	90	75	75
88	Female	225	125	24.8	145	1.35	75	60	60
90	Male	240	140	25.0	160	1.50	95	80	80
92	Female	230	130	24.8	150	1.40	80	65	65
95	Male	245	145	25.5	165	1.55	100	85	85
98	Female	235	135	24.8	155	1.45	85	70	70
100	Male	250	150	25.0	170	1.60	105	90	90



Building,
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Design



MARC VALE
ARCHITECTURE



RZ Professional Member

Jeremiah 8:8

100

Iterations & Compliance

by 1990

North Road, Kawakawa, Far North District

100

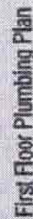
Building Consent

11

Looking Plan

[illegible]

[Handwritten signature]



Explain	1	2	3	4	5	6	7	8	9
Directions	<p>Circle modified steel buildings shall be:</p> <ol style="list-style-type: none"> 1) Straight and of even gable. 2) Erected from the building foundation by at least 25 mm, and 3) When joining through concrete, placed in a continuous pour. <p>4) When joining in a flexible and flexible method to allow for subsequent soil compaction.</p> <p>5) Drains passing beneath buildings with a concrete slab on the ground floor shall have in addition to the 50 mm drainage from the top of the slope to the underside of the slab, and</p> <p>6) Where necessary, have building joining at an angle of not more than 45°.</p> <p>7) Drains Water ready slope into sea per 600MSI</p>								

1992

- Minimum impinging velocity - 15mm
- Flows to impinging valve - 20mm
- Flows to shower - 20mm
- Flows to air/handdry - 15mm
- Flows to bath - 15mm
- Flows to basins - 10mm

Carry out all survey cover work and complete all tests in NBSG G104S1: 2.0, 3.0 and AS/NZS 3500.2 as modified by NBSG G154S3.

1.49 for 25mm diameter and under
1.54 for 30mm diameter and under

Carry out all stormwater work and complete all tasks
by 12:00 P.M.

11720 for 100-mm diameter and under

Line of PVC pipe systems for solvent resistance, all AS/NZS 2532, 2536.1 and AS/NZS 2569.7

All plumbing and drainage to be confirmed by contractor before commencement of works.

A regional dialogue partner is to provide an example based on respect.

100

keramiah Pors

Page 10 of 10

Alterations & Compliance

1997

2 North Road Kawakawa, Far

North District

1000

Building Consent

Page 118

Plumbing + Drainage Plan

[illegible]

Handwritten signatures and a stamp are visible at the bottom of the page.

Mechanical Ventilation in R203 4205-1080

All electrical work to be confirmed by client before commencement of work.

Overlights to be R203 or R204 as that insulation does not require any insulation clearance.

Adequate artificial lighting to entrance hall, 20 lux at floor level and when activated in the absence of sufficient natural light will enable safe movement.

Entrance doors to have lighting with light switches located at top and bottom of doors in compliance with D1453 Section 4.6

Top 1 side-mounted window grade doors in R203 4205-1080 & R204 4204-2011

Overlight doors should not be located:
(a) in direct line of sight in R203 4205-1080
Figure 2.1:

(b) within 300 mm of a light fitting;
(c) closer than 400 mm to any air-supply opening;
(d) closer than 400 mm outside the circumference of the blades of a ceiling fan.

(e) in offices, roof, restrooms, or other places where entrances of temperature, dust and high airflows may occur;

(f) near a decorative object, door, light fitting, or window moulding that may present a visual barrier entering the opening chamber;

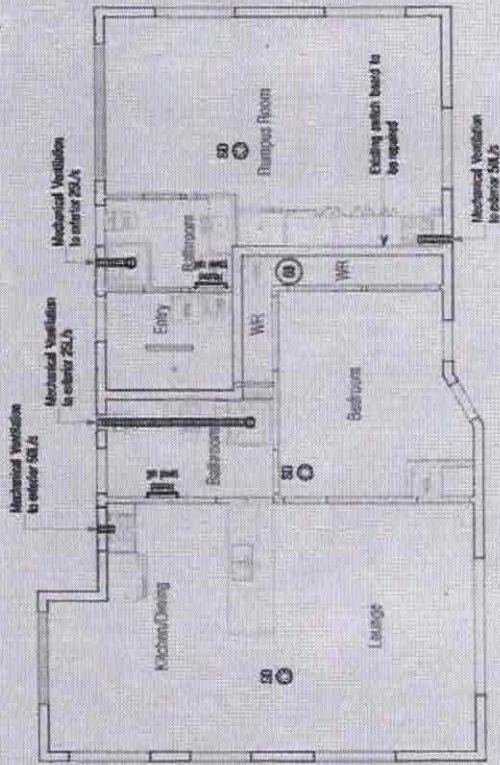
(g) On surfaces that are normally warmer or colder than the rest of the room, such as a poorly insulated ceiling below an unheated attic or an unventilated exterior wall;

(h) closer than 400 mm to the supply air opening of an air-conditioning unit or forced air ventilation unit;

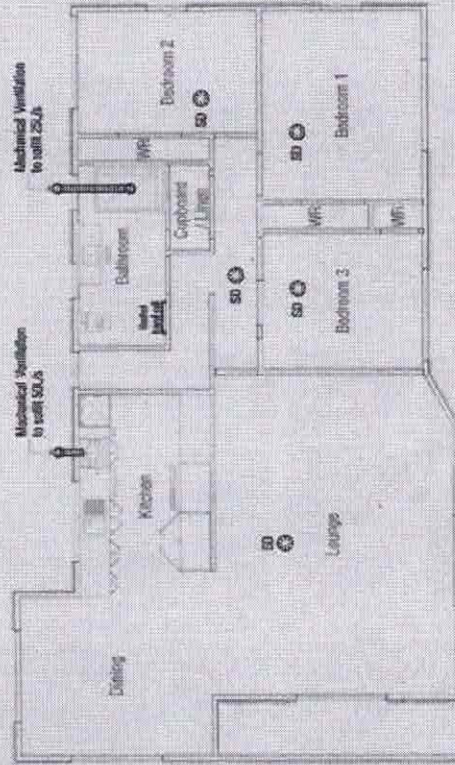
(i) in, next to, or directly above heaters or air-conditioning units, opening windows, or wall vents that can create air pressure or airflow;

(j) in dusty or oily environments;

(k) within 1 m from a corner, and where possible at least 3 m clearance from a ceiling should be maintained



Electrical + Ventilation Plan



Electrical + Ventilation Plan



MARC VALE ARCHITECTURE



Client: Jeremiah Bos

Project No:

Alterations & Compliance

Site Address:

3 North Road, Kawakawa, Far North District

Building Name:

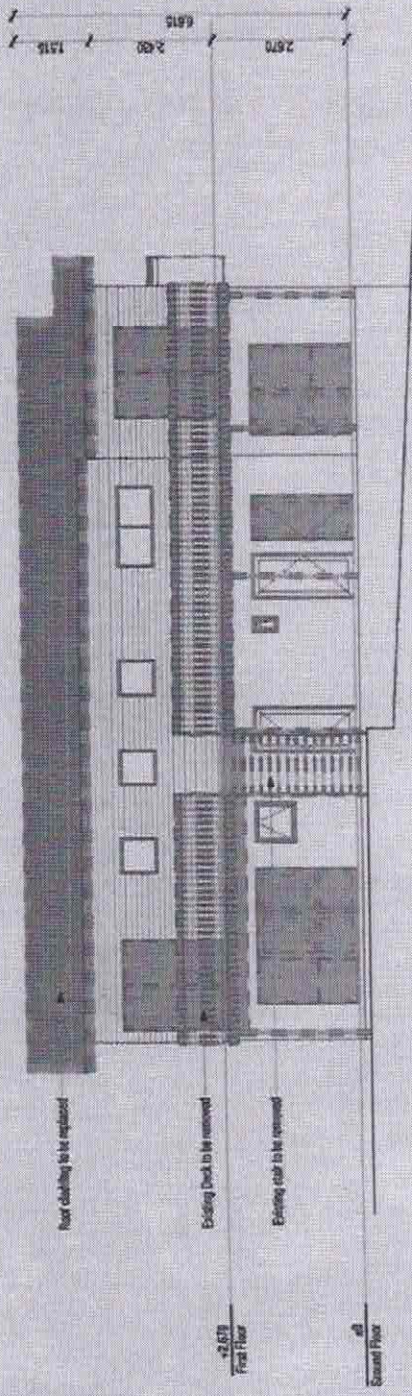
Building Consent

Sheet No:

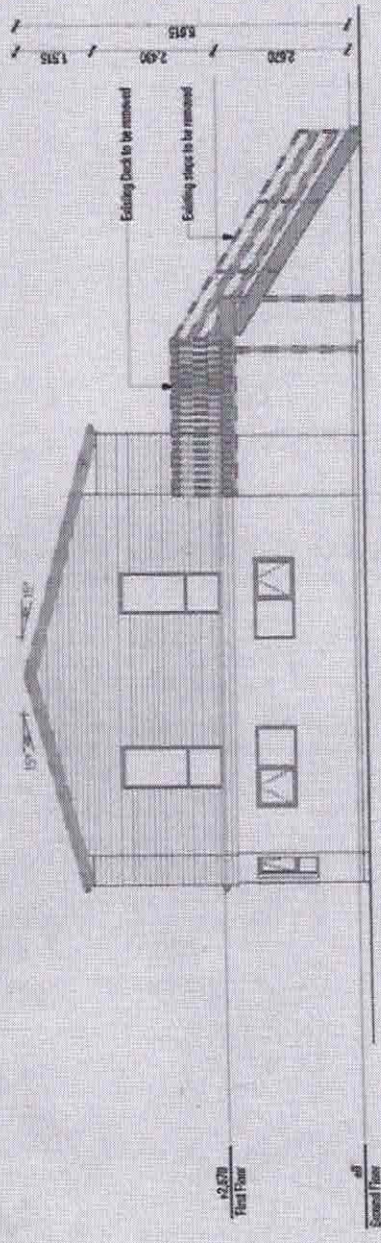
Electrical + Ventilation Plan

Date	Drawn
1/10/2015	Marc R. Vale
Rev	Description
01	Initial Design
02	Revised Design
03	Building Consent
04	Building/Planning 001
05	02/01/2015

Handwritten signatures and notes.



North Elevation
Scale 1:100



East Elevation
Scale 1:100

Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

ARZ
Professional
Member

Client
Jeremiah Bos

Project No.
Alterations & Compliance

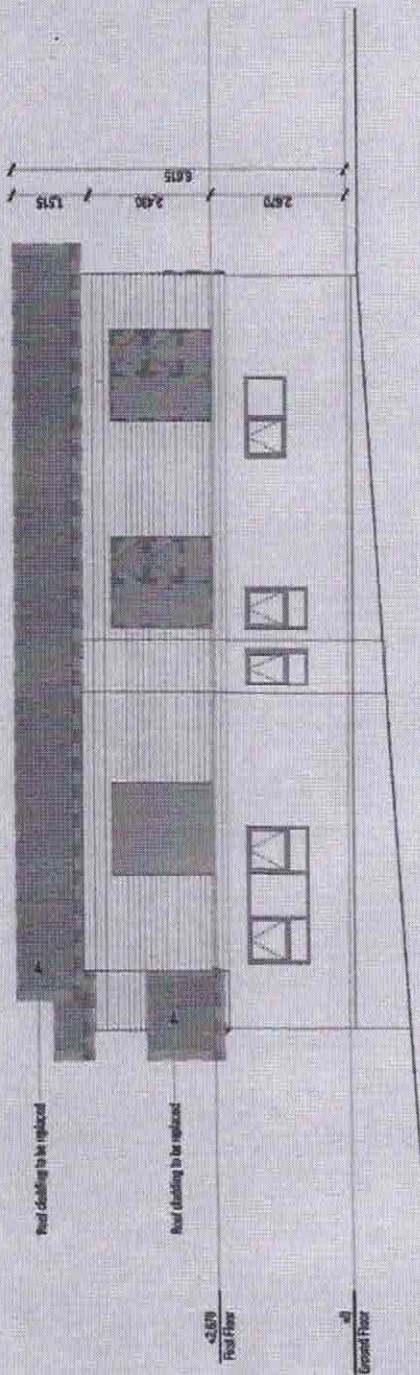
Site Address
3 North Road, Kawakawa, Far
North District

Planning Zone
Building Consent

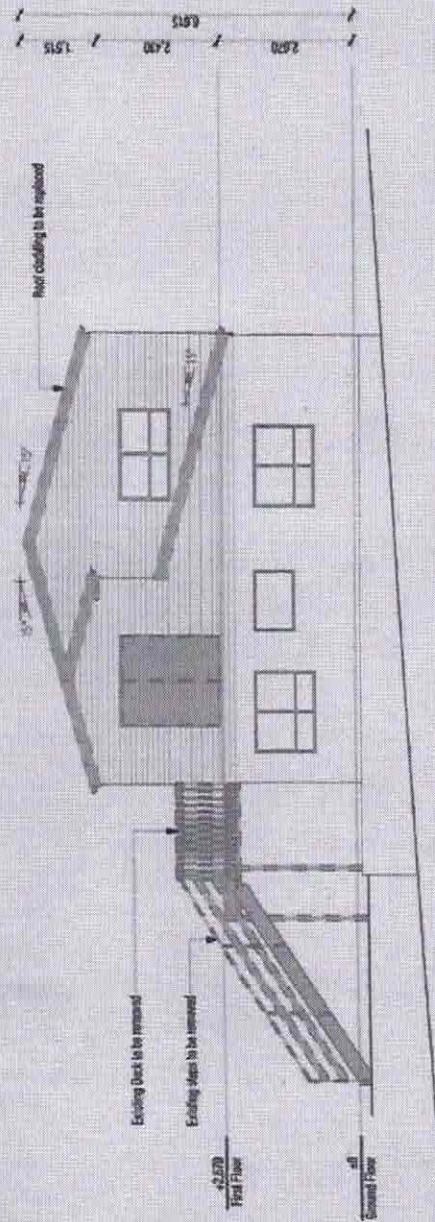
Sheet Title
Existing Elevations

Scale	Sheet
1:100 @ A3	Marc R. Vale
Date	Drawn
24/05/2025	Marc Vale Architecture
Drawn by	Revised
301	02
This document is the property of Marc Vale Architecture and is not to be used for any other purpose without the written consent of Marc Vale Architecture.	
Author	Date
ARZ	17/04/2025
QC	Building Consent
30	24/05/2025

Handwritten signature and initials.



South Elevation
Scale 1/8" = 1'-0"



West Elevation
Scale 1/8" = 1'-0"

Building, Engineering & Design

MARC VALE ARCHITECTURE

ARZ Professional Member

Client: Jeremiah Bros

Project No: 302

Alterations & Compliance

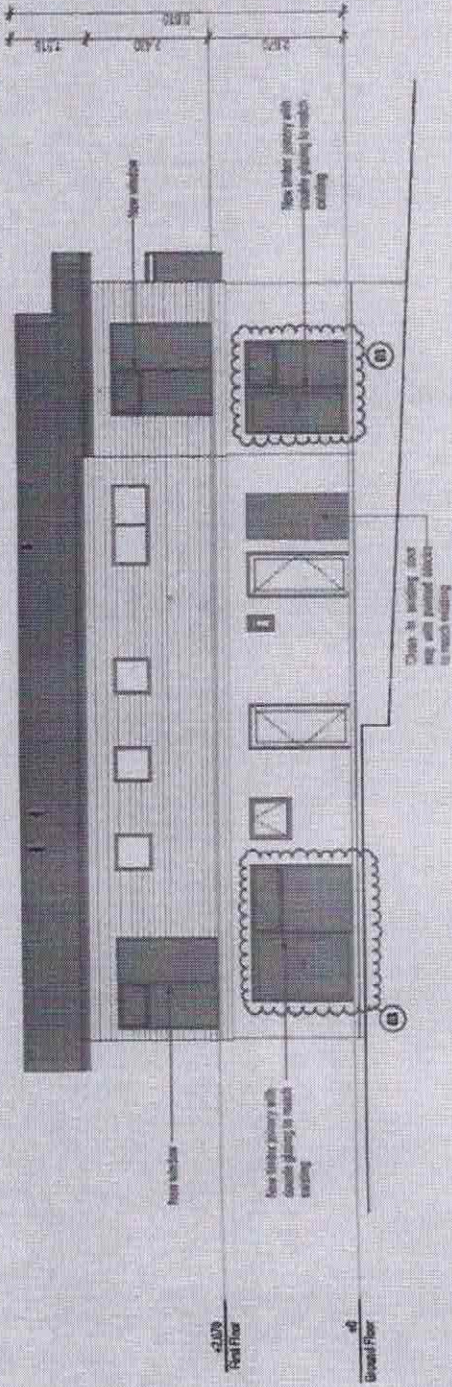
Site Address: 3 North Road, Kawakawa, Far North District

Building Name: Building Consent

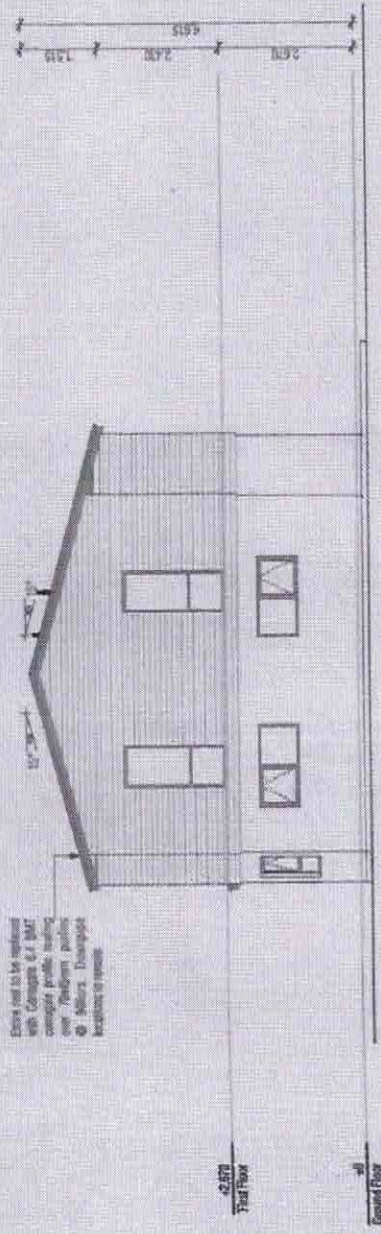
Building Title: Existing Elevations

Date:	1/10/2015	Drawn:	Marc R. Vale
Check:	24/05/2015	Checked:	Marc R. Vale
Project No:	302	Project Name:	3 North Road, Kawakawa, Far North District
Client:	Jeremiah Bros	Project Address:	3 North Road, Kawakawa, Far North District
Project Name:	3 North Road, Kawakawa, Far North District	Project Address:	3 North Road, Kawakawa, Far North District
Project Address:	3 North Road, Kawakawa, Far North District	Project Address:	3 North Road, Kawakawa, Far North District

Handwritten signatures and notes.



F-01 North Elevation
Scale 1:100



F-02 East Elevation
Scale 1:100

Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

ARZ
Professional
Member

Date
Jeremiah Bos
Project Title
Alterations & Compliance

The Address
3 North Road, Kawakawa, Far
North District

Planning Zone
Building Consent

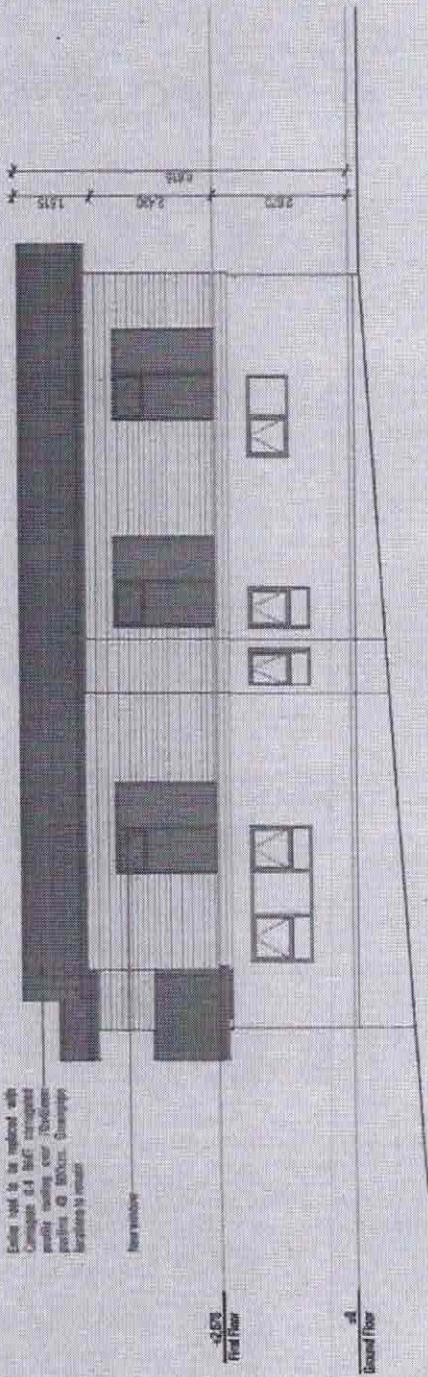
Sheet Title
Proposed Elevations

Scale
1:100
Title
30/01/2025
Drawing No.
303

Drawn
Marc R. Vale
Checked
Marc R. Vale
Designed
Marc R. Vale
Building Consent
30/01/2025
Drawing/Planning No.
303

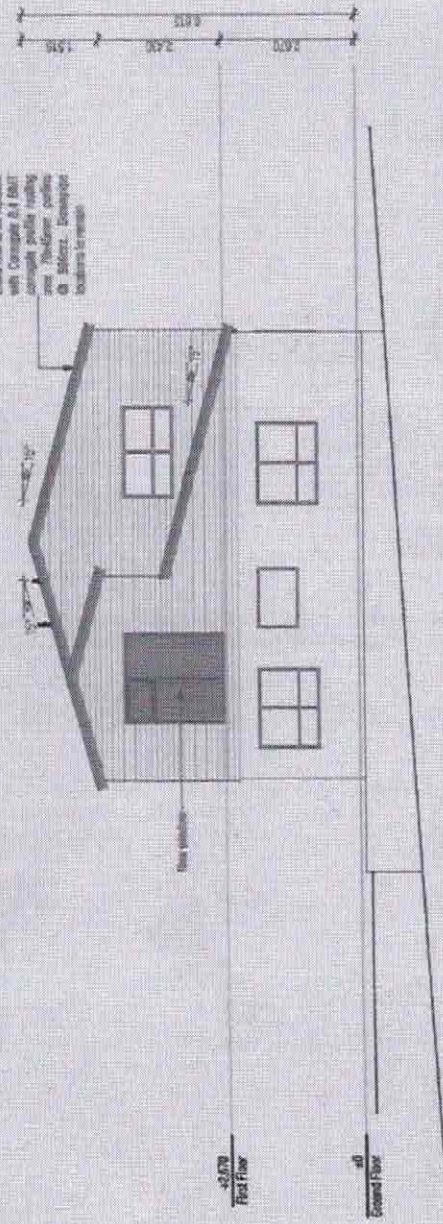
Handwritten signatures and notes.

Entire roof to be replaced with Composite 6.1 BAU corrugated metal roofing over 100mm profiled @ 800mm. Downpipes to remain.



E-03
South Elevation
Scale 1:100

Entire roof to be replaced with Composite 6.1 BAU corrugated metal roofing over 100mm profiled @ 800mm. Downpipes to remain.



E-04
West Elevation
Scale 1:100

Building,
Engineering &
Design

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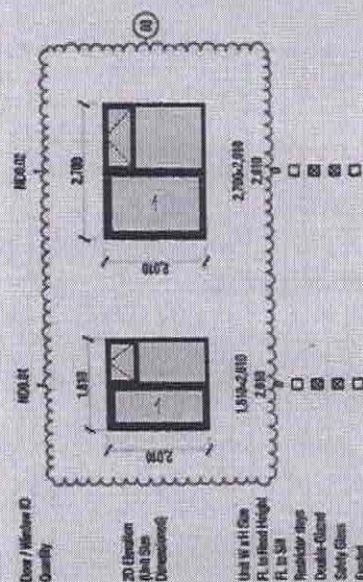


Date: Jeremiah Bos
Project No:
Alterations & Compliance
Site Address:
3 North Road, Kawakawa, Far North District
Drawing Issue:
Building Consent
Sheet No:
Proposed Elevations

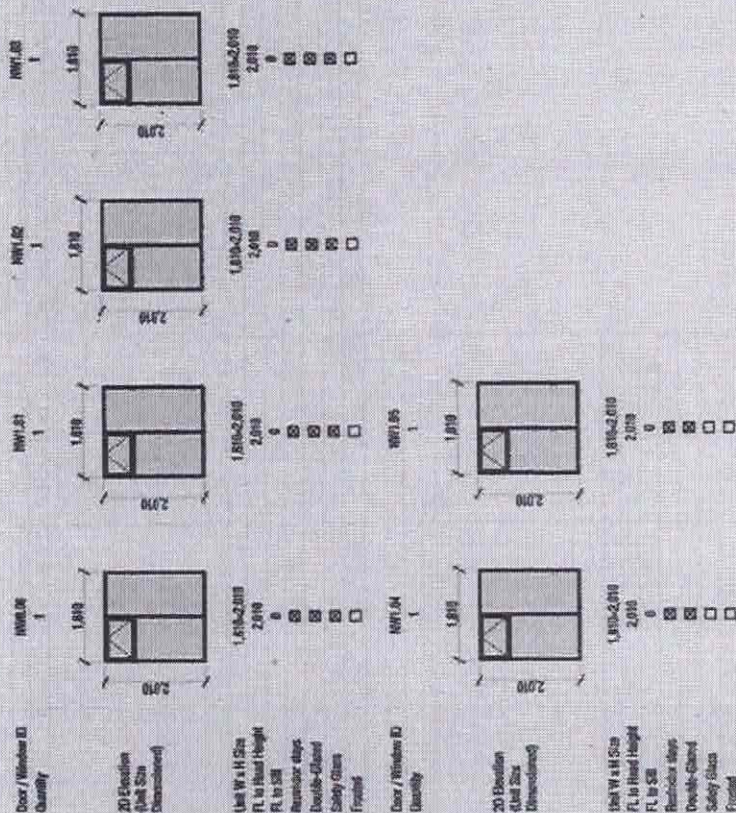
Scale	Drawn
1:100 @ A3	Marc R. Vale
Site	Checked
24/05/2025	Marc Vale Architecture
Version 02	Project
304	02
Project Name	304 North Road, Kawakawa, Far North District
Client	179900023
Architect	Jeremiah Bos
Building Consent	24/06/2018

Handwritten signatures and stamps.

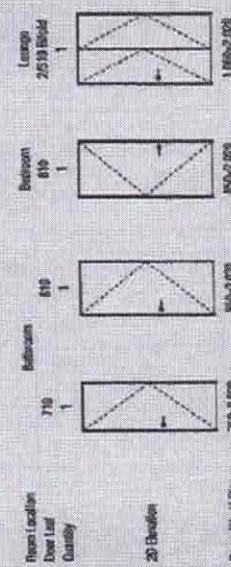
Discussion should be held soon



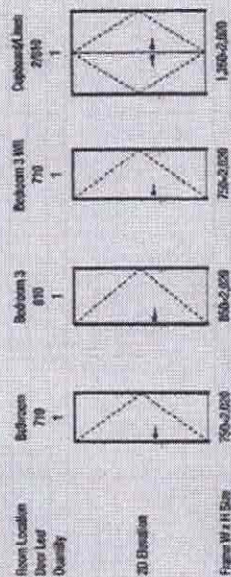
Proposed Ground Floor Joinery



Proposed First Floor Joinery

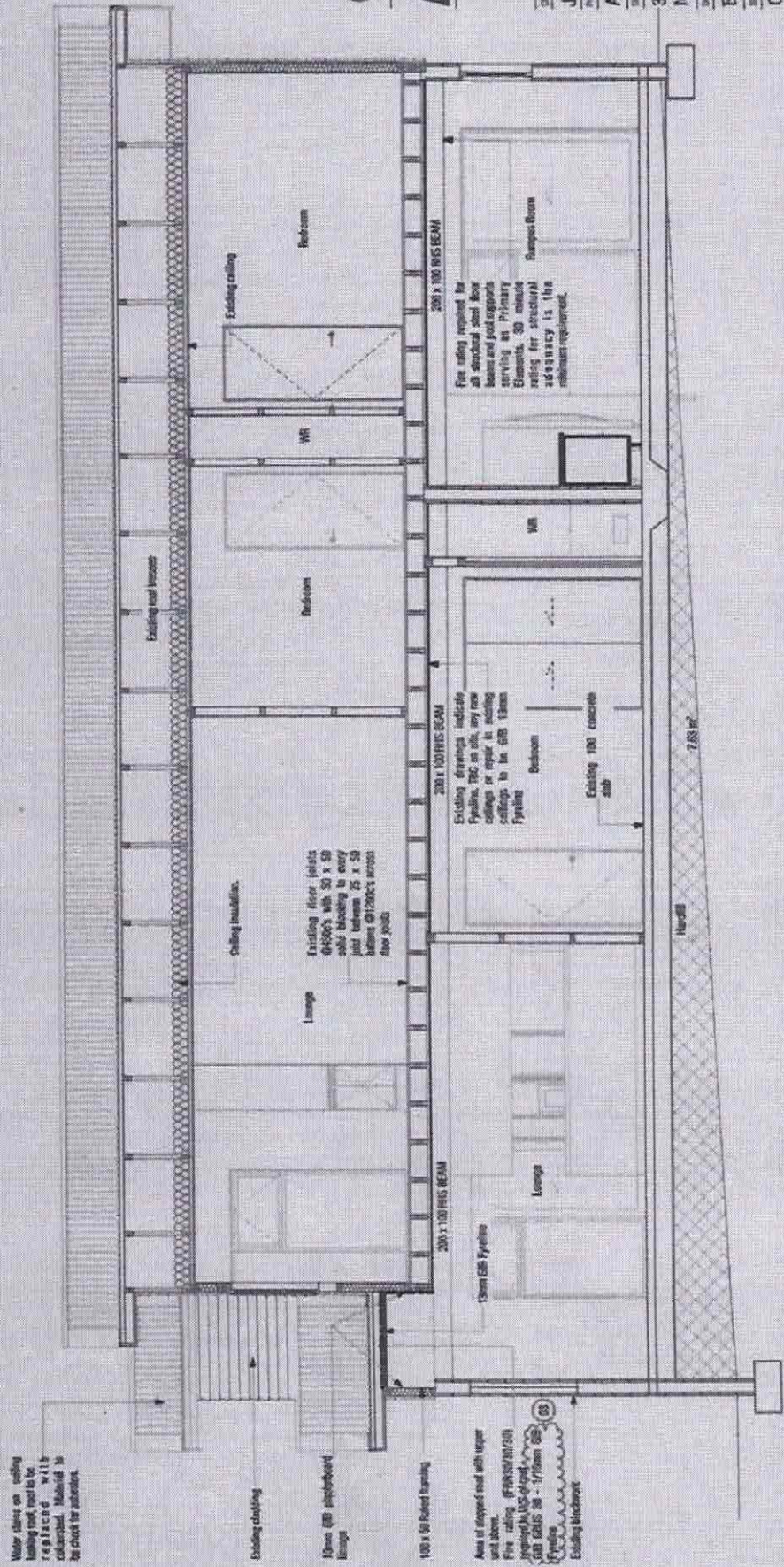


Proposed Ground Floor Interior Door Schedule



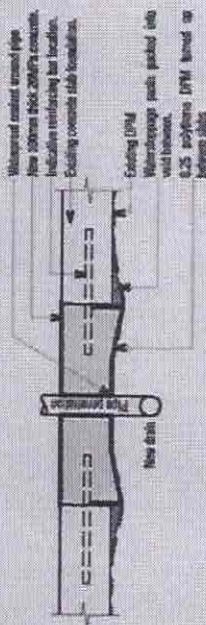
Proposed First Floor Interior Door Schedule

[Handwritten signature]

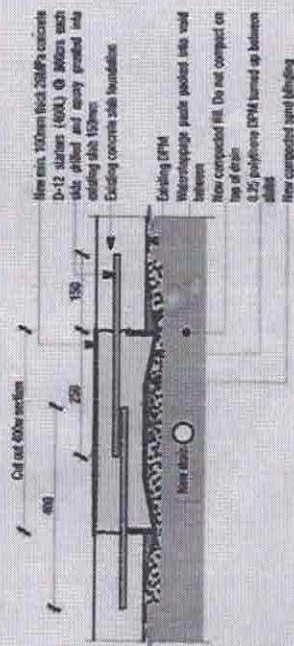


A Cross Section A-A
 2000 2001

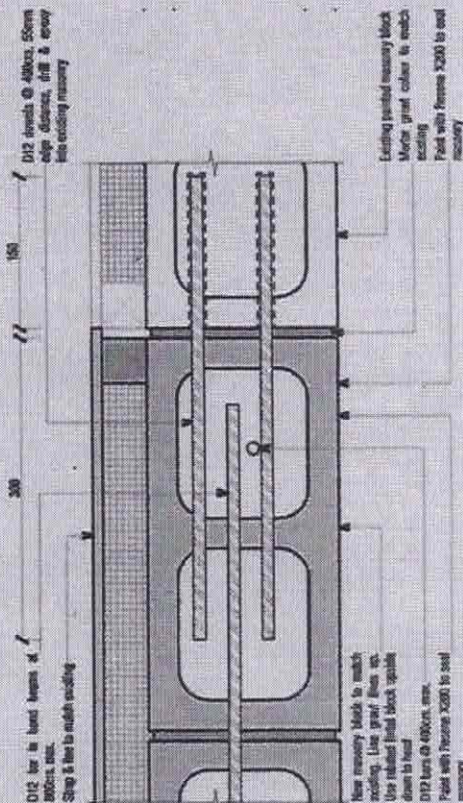
Handwritten signatures and initials.



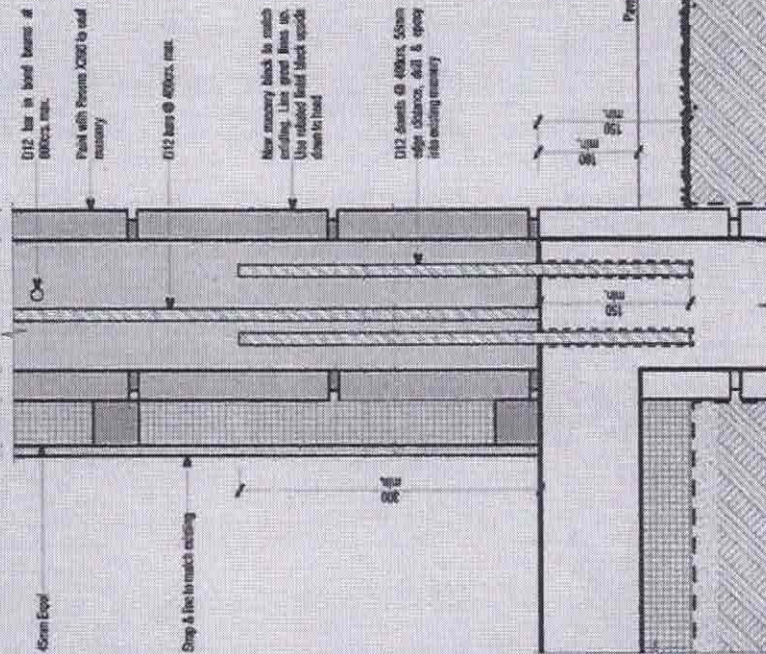
01 Slab Penetration
Scale 1:10



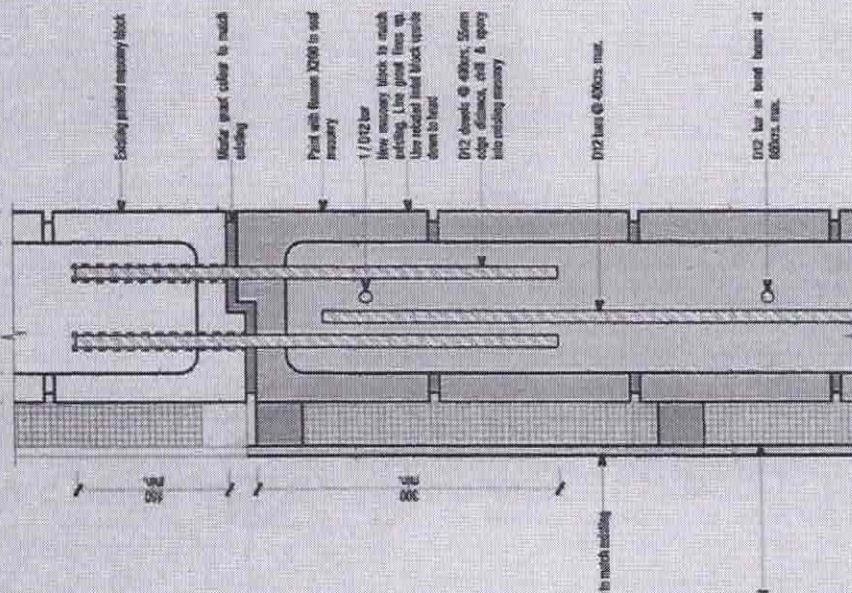
02 Slab Chaise
Scale 1:10



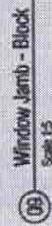
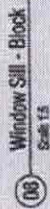
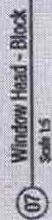
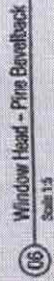
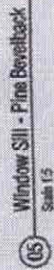
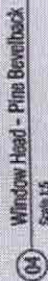
02 Block Infill - Lamb Scale 1:5



03 Block Infill - Base Scale 1:5



01 Block Infill - Head Scale 1:5



Jeremiah Bos

Alterations & Compliance

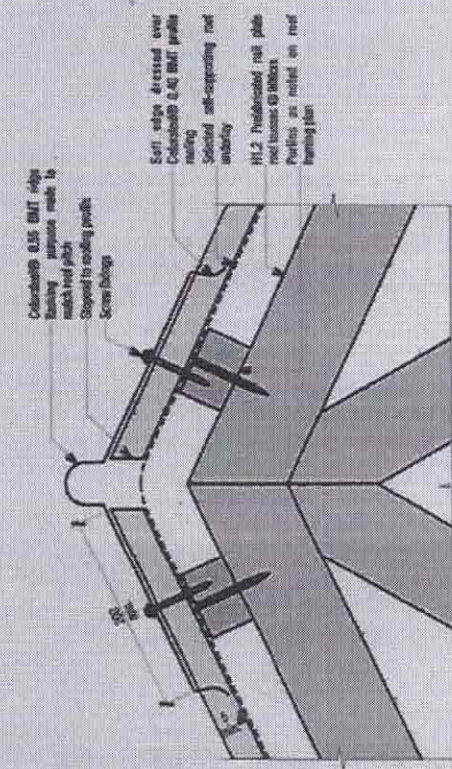
3 North Road, Kawakawa, Far North District

Building Consent

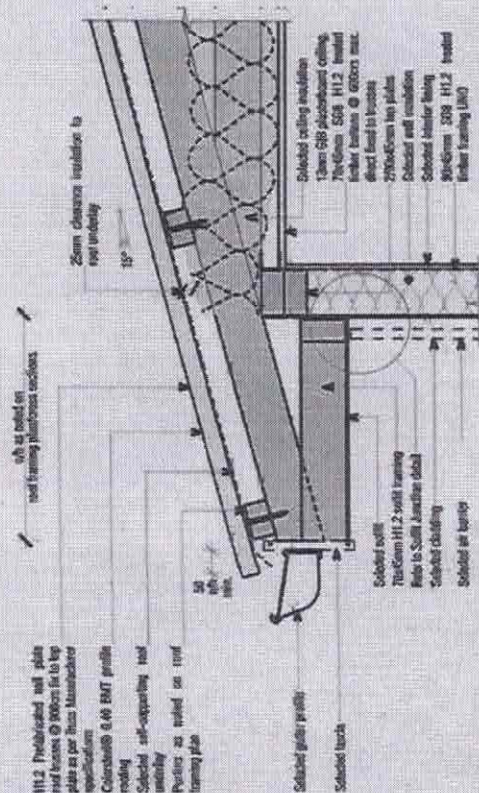
Details - Joinery

Staff	150A3	Drawn
By		Mark R. Voth
Date	02/07/2015	Checked
		Mark Voth Architecture
		02/07/2015

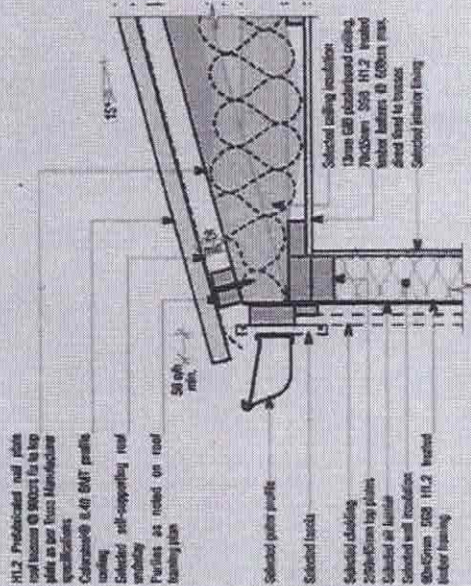
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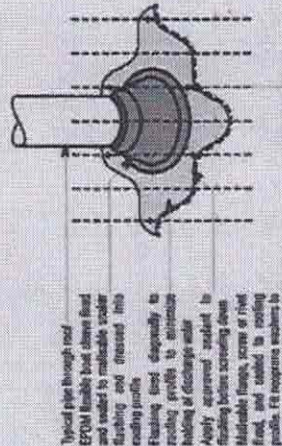
10 Typical Truss Ridge
Scale 1:5



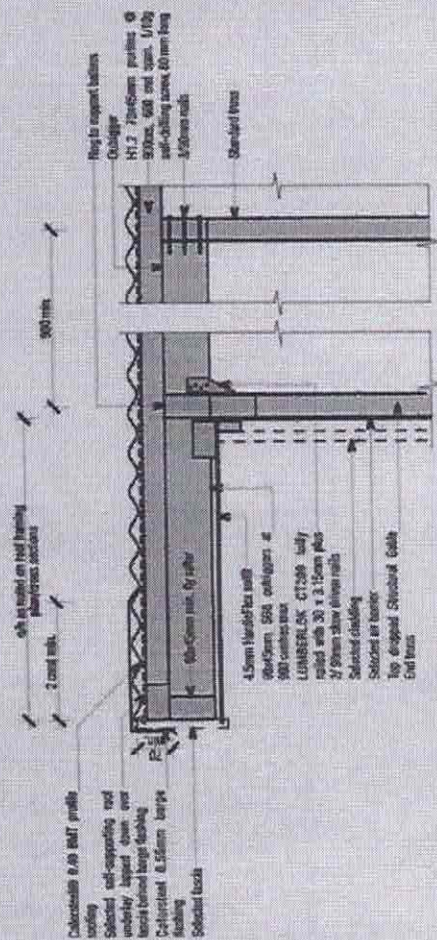
12 15° Truss Eave - Heel Clipped Scale 1:10



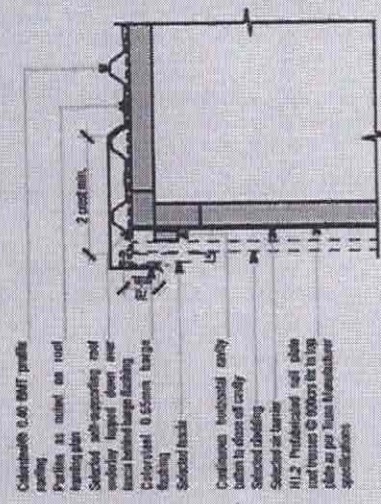
11 15° Truss Lave - Head Clipped
Scale 1:10



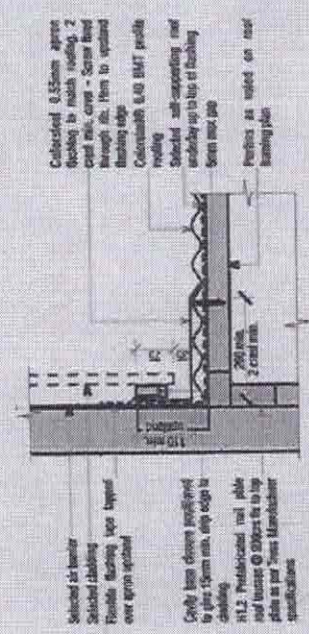
13 Small Roof Penetrations
Scale 1:10



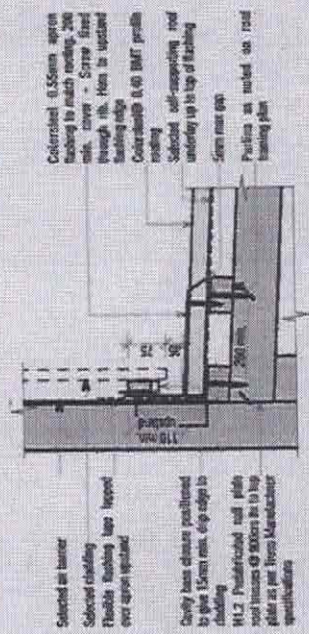
14 Rafter Barge - Cantilever Outrigger.
Scale 1:10



15 Truss Barge - No Eave
Scale 1:10

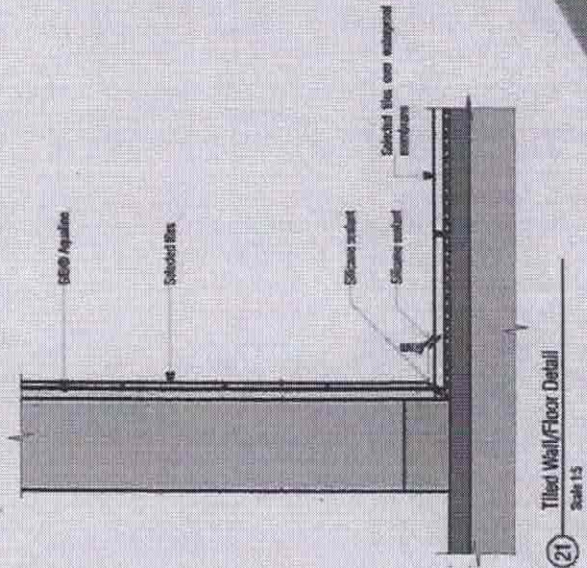
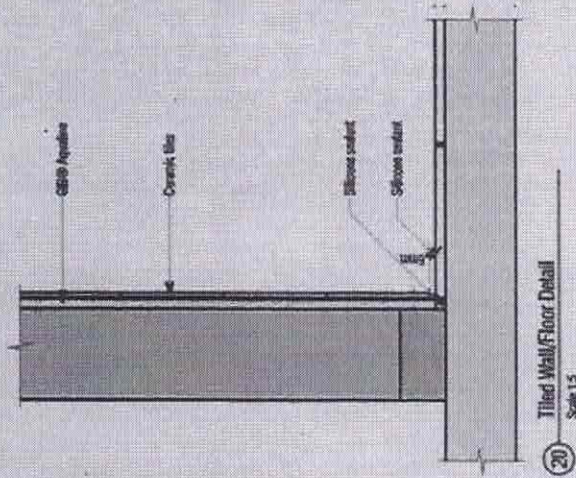
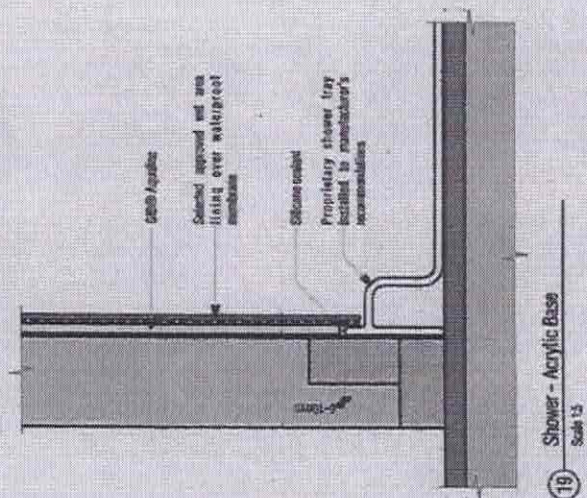
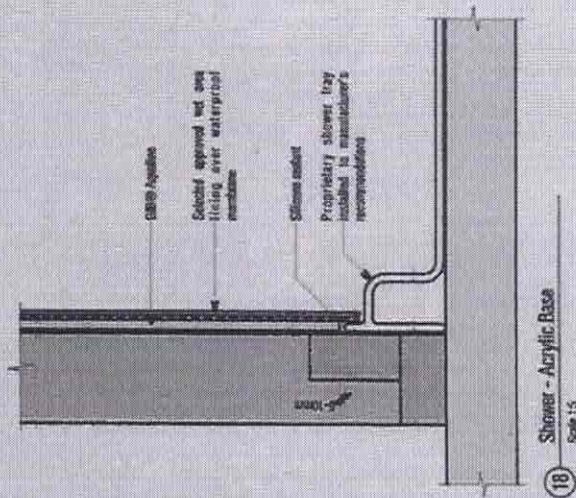


16 Parallel Apron
Scale 1:10

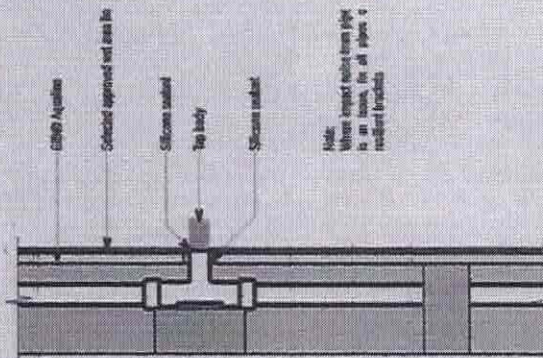


17 Transverse Apron
Scale 1:10

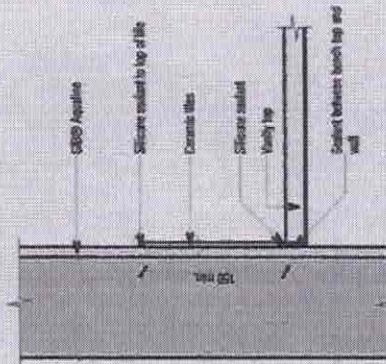
Handwritten signature and notes.



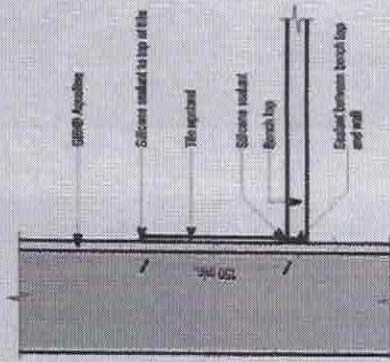
Handwritten signatures and initials.



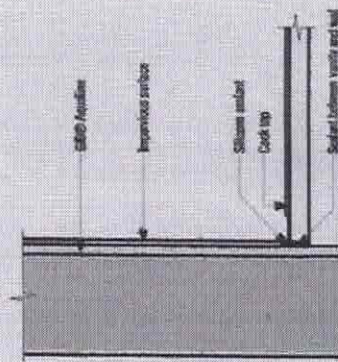
22 Penetration Detail
Scale 1:5



23 Vanity Top/Wall Detail
Scale 1:5



24 Kitchen and Laundry Bench Top/Wall Detail
Scale 1:5



25 Cook Top/Wall Detail
Scale 1:5

shall be formed over logs and offset on opposite sides of the frame.

Horizontal string—Horizontal joints on opposite sides of the wall can be formed over the same row of logs. Shovel and butt joints shall be formed over studs and offset on opposite sides of the frame.

Training to comply with:

- NZBC B1 — Structures AS1 Clause 3 — Timber (NZS 3604)
- NZS 3604 — Timber structures AS1 Clause 3 — Timber (NZS 3604)
- NZS 3604 — Timber structures AS1 Clause 3 — Timber (NZS 3604)

Fasteners
1/4" x 1/2" GIG® Grabber® High Thread Drywall Screws

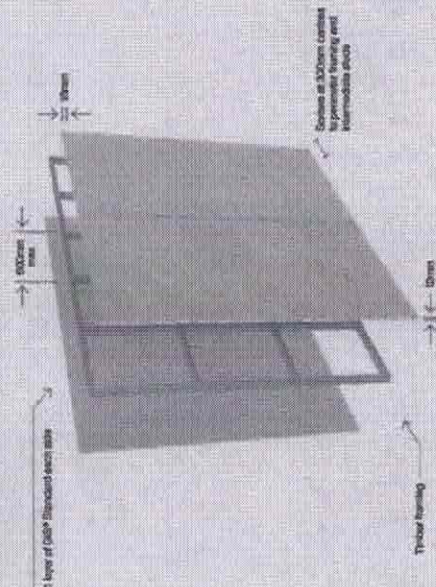
Fastener control
Place fasteners at 300mm centres to perimeter framing and intermediate studs.

Place fasteners 50mm from sheet corners along plates. At wall corners, place an additional fastener 50–60mm vertically, no closer than 10mm from plate located bolts.

Place between 12 in from longitudinal steel edges and 4 in from about ends.

Place fasteners at 200-mm centres along stiff and butt joints.

All master heads stoppped and all sheet joints tape reinforced and stoppped in accordance with the publication entitled "Tape Fix Guide"



[illegible]

140mm x 40mm timber joists

170mm x 40mm ceiling joists, 10mm x 40mm blocking in joists

170mm x 40mm ceiling joists, 10mm x 40mm blocking in joists

Floor joists must comply with NZS 3504 and be a minimum of 100mm x 45mm or 140mm x 45mm when using the casing as an alternative. Joists are spaced at 600mm maximum. Solid strutting is required in accordance with NZS 3904.

Nails fixed on the flat to receive the ends of flooring material.
 Nail be 98mm x 45mm minimum.

Nogis fixed on the flat to receive GIB® linings shall be 70mm x 200mm minimum spaced at 800mm for joists at 600mm, or at 400mm for joists at 400mm or 450mm.

Approximately 10% of the perimeter of the fire rated ceiling.

Substratum flooring shall be nominal 20mm coloured strand board or particle board, or minimum 17mm-thick structural plywood fixed to the joists in accordance with the manufacturer's specifications.

Coating at least joints must have a polypropylene tongue and groove jointer or be formed over framing.

A layer of 13mm GFS Fyrefire® shall be fixed at right angles to the underside of the floor joists.

All street joints must occur on joints, avoid strutting or racking.

Students shall have 100% attendance.

Fast Shipping
Minimum x 7d FREE GratiNest® High Thread Dowel® Screws.

testator centres
100 testator centres at 150mm centres around the perimeter of each floor slab and at 200mm centres along each joint and at the centre of each bay.

Place feathers 12mm from longitudinal sheet edge and 5mm from sheet ends.

The internal angle between the ceiling and walls must be protected by GBI-Cover® adhered with GBI-Cover® Bond, or boxed corners require stopper® filled and taped in accordance with the publication entitled "GCI® She Guide".

All lateral heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "CSA® Site Guide".

Where N25 3504 permits 140mm joists, these may be used with contiguous 70mm x 45mm ceiling battens at 600mm centres. Running across the joists battens may also be used to level the ceiling in renovation work. Linings are installed perpendicular to the battens.

When joists are spaced at 600mm, 45mm x 45mm blocking between the ceiling battens is required under all joists.

When joists are spaced at 400mm, blocking on joists is required at 1200mm centres only.

When joints are at 450mm, 70mm x 45mm stops are required between the battens at 600mm centres for at 1200mm centres when battens are spaced at 450mm or less.

These members in turn elect the members of the General Council.

If only a 30/30/30 FRP is required, the use of nominally 70mm x 35mm timber battens is permitted or alternatively metal battens can be used provided consumption is otherwise in accordance with specification QMSD-32.

MARC VALE
ARCHITECTURE

1

December 2001

North Road, Kawakawa, Far North District

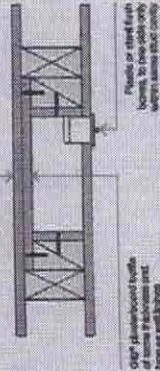
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Handwritten signature: *Handwritten signature*

PLAN VIEW

GFS 260 Flush Boxes

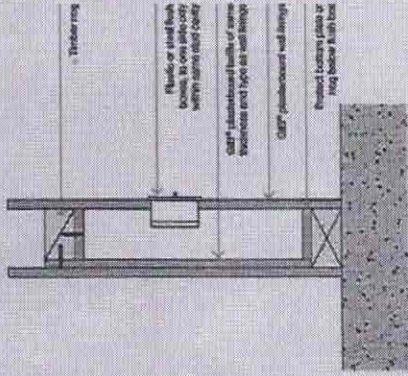


GFS 260

GFS 260 Flush Boxes

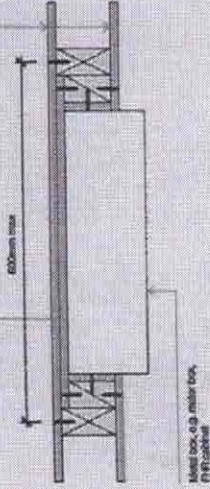
Scale 1:1

SECTION VIEW



PLAN VIEW

GFS 262 Large Recesses

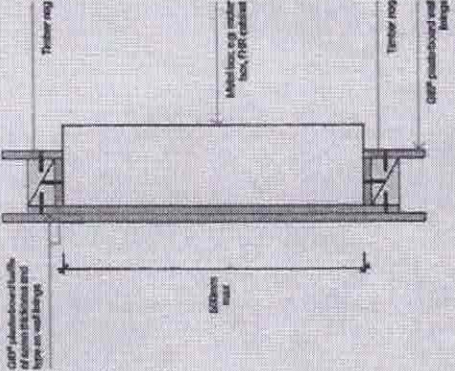


GFS 262

GFS 262 Large Recesses

Scale 1:1

SECTION VIEW



Proceeding training course
proceeding of some type
and progress on the ceiling
filing. Universal systems are
used in per ceiling

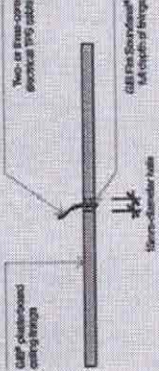
Cable penetration the diagram
per cable GFS 240, page 671

GFS 282

GFS 282 Framed Fixed Light Fitting

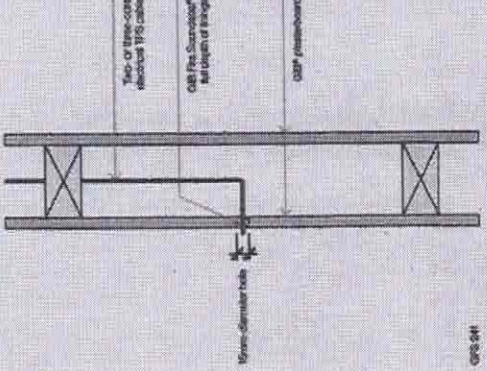
Scale 1:1

SECTION VIEW



GFS 282

PLAN VIEW



GFS 282

GFS 240 Single Cable Penetration

Scale 1:1

Building,
Engineering &
Design

MARC VALE
ARCHITECTURE

ARZ
Professional
Member

Jeremiah Bos

Alterations & Compliance

3 North Road, Kavalawa, Far
North District

Building Consent

Details - Fire

Drawn	11 @ AS	Marc R. Vale
Check		
Date	20/05/2025	Marc Vale Architects
Project		
Sheet No.	511	
Scale		
Author		
Checker		
Engineer		
Architect		
Structural		
Electrical		
Plumbing		
Mechanical		
Other		

Universal ceiling systems

Specification number	Performance	Specifications
GBUC 30	FRR 30/30/30	Living 1 layer 16mm GIB Fyrelite® L5/NL5 Loadbearing

FRAMING

Timber or steel roof or floor/ceiling framing designed to meet structural criteria for strength and serviceability under dead and live loads.

The separation distance between the ceiling joists and any flooring or roofing material shall be 90mm minimum.

The width of framing members supporting the joists shall be nominally 35mm minimum. Framing spacing shall be at 600mm centres maximum.

Solid joists shall be provided at 1200mm centres maximum and to the perimeter of the fire rated ceiling, unless longitudinal steel edges are back-blocked.

If timber framed construction applies, the joists shall be 70mm x 35mm minimum.

CEILING LINING

1 layer of 16mm GIB Fyrelite® shall be fixed at right angles to the underside of the framing members.

All sheet joints must occur over solid framing.

Sheets shall be touch fitted.

Alternatively, longitudinal sheet edges may be back-blocked using a 200mm-wide strip of 16mm GIB Fyrelite® adhered with GIB-Cove® Bond in accordance with the procedure outlined in the current "GIB® Site Guide".

FASTENING THE LINING

Fasteners

Timber frame	Steel frame
41mm x 5g GIB Grabber® High Thread Drywall Screws	32mm x 5g GIB Grabber® Self Tapping Drywall Screws

Fastener centres

Place fasteners 12mm from longitudinal sheet edges and 15mm from sheet ends. This distance may be reduced to 12mm from sheet ends at butt joints on lining channels.

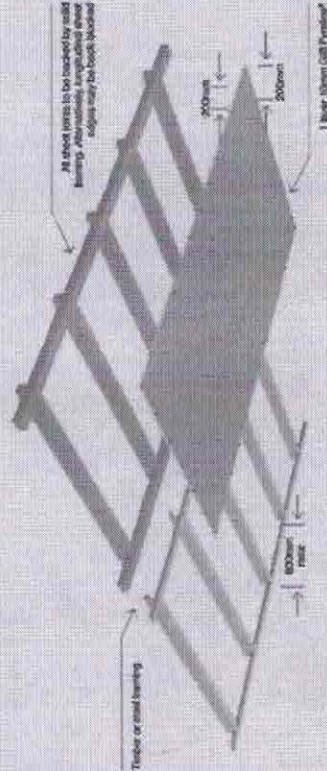
Place fasteners at 200mm centres around the sheet perimeter, along each intermediate framing member and where sheet end butt joints occur.

WALL/Ceiling JUNCTIONS

The internal angle between the ceiling and walls must be protected by GIB-Cove® adhered with GIB-Cove® Bond, or boxed corners (square stopped) fixed and taped, or sealed and protected by timber soffit in accordance with the publication entitled "GIB® Site Guide".

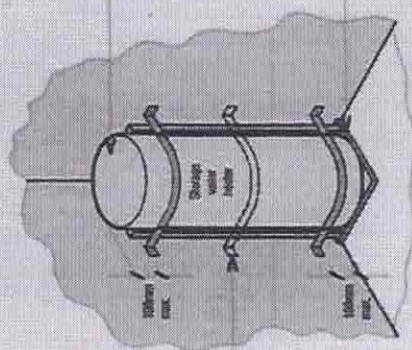
JOINTING

All fastener heads stopped and all sheet joints tape reinforced and stopped in accordance with the publication entitled "GIB® Site Guide".

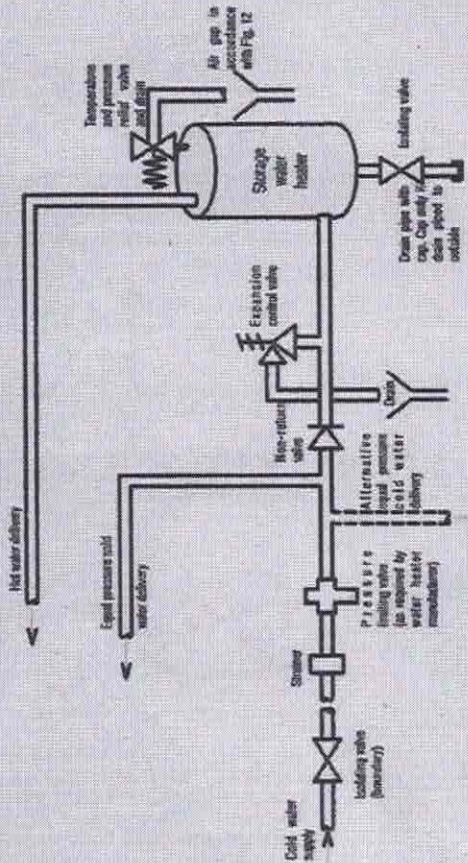


Storage water heaters to be restrained with 25 x 1mm galvanized steel straps tensioned when fixed to plate. Straps to be fixed to wall framing with:

- 1 No. 30mm coach screw with 300mm high washer or
- 2 No. 20x25mm thick washers. Screws to penetrate timber framing a minimum of 50mm.



41) G12/AS1 Figure 14 Seismic Restraint of Storage Water Heaters 90 – 360 litres



42) G12/AS1 Figure 8 Mains Pressure Storage Water Heater System (unvented)

Building, Engineering & Design
MARC VALE ARCHITECTURE
 Professional Member



Client: Jeremiah Bos
 Project No: Alterations & Compliance
 Site Address: 3 North Road, Kawakawa, Far North District
 Drawing Title: Building Consent
 Drawing No: Details - HWC

Date	15/03/2025
Drawn by	Marc Vale
Checked by	Marc Vale
Scale	1:5
Sheet No	514
Project No	01

Handwritten signatures and notes.