

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Sunandtrees Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Williams & King, Attention: Natalie Watson

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

As per applicant

**Property Address/
Location:**

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

**Site Address/
Location:**

Legal Description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Site is vacant.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Proposed minor residential unit in the Rural Production Zone.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ **Building Consent**
- ☐ **Regional Council Consent (ref # if known)**
- ☐ **National Environmental Standard consent**
- ☐ **Other (please specify)**

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ **Yes** ☐ **No** ☐ **Don't know**

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ **Yes** ☐ **No** ☐ **Don't know**

- | | |
|--|--|
| <input type="radio"/> Subdividing land | <input type="radio"/> Disturbing, removing or sampling soil |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ **Yes**

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ **Yes** ☐ **No**

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ **Yes** ☐ **No**

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Robert kirkpatrick

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Robert kirkpatrick

Signature:

(signature of bill payer)

[Redacted Signature]

Date 15-Sep-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

Robert kirkpatrick

Signature:

Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Sunandtrees Limited

Proposed Minor Residential Unit Pakaru Road, Kawakawa

Williams & King, Kerikeri¹
September 16, 25



¹ Williams & King - a Division of Survey & Planning Solutions (2010) Ltd
Surveyors, Planners, Resource Managers - Kerikeri and Kaitia
PO Box 937 Kerikeri Phone (09) 407 6030 Email: nat@saps.co.nz

1. Overview

The Applicant, Sunandtrees Limited, is seeking land use consent to establish a principal dwelling and a minor residential unit on their property at Pakaru Road in Kawakawa. The property is legally described as Lot 1 LT 611145 and is to be held in the pre-allocated Record of Title 1211453 (subdivision of Lot 1 DP 542075).

Land Use consent is required under the 'Minor Residential Unit' Rule of the Operative Far North District Plan, under which the application site is zoned 'Rural Production'. This proposal has been assessed as being a controlled activity overall.

The site is zoned Rural Production in the Proposed Far North District Plan, and has a small area of river flood hazard along the southern area of the property (the principal dwelling and minor residential unit are outside of this area). The proposal can comply with the permitted activity rules with immediate legal effect relating to erosion and sediment control and the Heritage New Zealand Pouhere Taonga Accidental Discovery Protocol.

This assessment accompanies the Resource Consent application made by the Applicant and is provided in accordance with Schedule 4 of the Resource Management Act 1991. It is intended to provide the necessary information, in sufficient detail, to provide an understanding of the proposal and any actual or potential effects the proposed activity may have on the environment.

2. Description of Proposal

2.1 Proposed principal dwelling and minor residential unit

The applicant proposes to establish a principal dwelling and a minor residential unit on their property. Both buildings will be shifted to the site as transportable / relocated homes, and will be positioned on a prepared building platform that has recently been formed.

The principal dwelling is a three bedroom home, clad in a grey Hardies Montana board, with white joinery and features, and a grey corrugated iron roof. Refer to **Photographs 1** and **2** of the existing building being stored at the relocatable home yard.



Photograph 1: Principal dwelling ("Whitney") exterior. Source: Repiles & Relocatables website.



Photograph 2: Principal dwelling ("Whitney") roof. Source: Repiles & Relocatables website.

The minor residential unit is depicted in the plans in **Appendix 1**, and copied in **Photograph 3**.



Photograph 3: Existing Building to be relocated to the site as a Minor Residential Unit.

The minor residential unit meets the definition for 'Minor Residential Unit' as given in the Operative Far North District Plan as follows.

Means a residential unit that:

- (i) is not more than 65m² GFA, plus an attached garage or carport with GFA not exceeding 18m² (for the purpose of vehicle storage, general storage and laundry facilities). The garage area shall not be used for living accommodation;*
- (ii) is subsidiary to the principal dwelling on the site; and,*
- (iii) is located and retained within the same Certificate of Title as the principal dwelling on the site*

The proposed minor residential unit has a floor area of 60.30m² with a roof area of 80.32 plus outdoor decking. The minor residential unit is made up of two bedrooms, bathroom, kitchen, living / dining and laundry rooms. The building has a maximum height of 3.210m above finished ground level.

The existing building is clad in a profiled cement fibre product, with a corrugated iron roof. New timber decks and railings will be installed.

Total building coverage over the site will amount to less than 1% of the total site area.

Site, Floor, Elevation and Drainage Plans are presented in **Appendix 1**.

2.2 Earthworks

Earthworks have been completed to excavate a level platform and install the vehicle access way – refer to the Cover Photograph. The excavated material has been moved on site as fill to form bunds. The total volume of excavation has been measured via topographical survey as 480m³, so a total volume of 960m³. The maximum excavation depth or fill height is 1.5m. Additional cut and fill will be required to provide minor trimming at the north western corner of the principal dwelling.

Cut off drainage upslope of the earthworks area, together with a bund, intercepts and isolates upper clean water flows away from the works area, which has since been predominantly stabilised with aggregate. The upper interception drain was in place to collect outfall from a culvert on Pakaru Road, to direct water away from the development area, and discharges into the overland flow path as indicated on the Site Plan. These drains will be maintained for long term interception of stormwater away from the building platform and effluent disposal field.

The earthworks and land disturbance for the development have been completed, with no reported discovery of archaeological material. Minimal additional land disturbance is required. We suggest that the standard Accidental Discovery Protocol advisory note be included in the consent, to advise the consent holder of their obligations under the Heritage New Zealand Pouhere Taonga Act 2014.

2.3 Access & Parking

Access to the site is from the existing vehicle crossing off Pakaru Road and gravel driveway. The vehicle crossing and the first section of vehicle access will be shared by the principal dwelling and minor residential unit, before diverting to individual parking areas. Refer to the Site Plan in **Appendix 1**.

2.4 Wastewater, Stormwater & Water Supply

The principal dwelling and minor residential unit will be serviced by a shared secondary wastewater treatment system with dripper line disposal. Refer to the Drainage Plan in **Appendix 1**.

The total impermeable area will increase to approximately 430m², or 0.03% of the total site area.

Water supply for domestic and fire-fighting purposes is via collection of rainwater from roof surfaces and storage in a water tank. Overflow will be directed to the overland flow path. Refer to the Site Plan.

Where relevant, consent notice conditions relating to wastewater, water and stormwater services from RC 2240311-RMASUB are to be satisfied via the building consent process (EBC-2026-104/0).

3. Application Site Details and Description

Details of the application site are provided below. The underlying Record of Title and approved survey plan (LT 611145) is attached in **Appendix 3**.

3.1 Legal Details

RECORD OF TITLE: 1211453 (Pre allocated, not yet issued). Underlying Record of Title is 914188.

LEGAL DESCRIPTION & AREA: Lot 1 LT 611145 (15.5100ha)

ADDRESS: Pakaru Road, Kawakawa

RELEVANT INTERESTS:

Under the current Record of Title 914188, Consent notice is to be cancelled insofar as it applies to Lot 1 DP 542075 as per Activity A RC 2240311 (s221(3) approval and Certification issued).

New Consent Notice Conditions under RC 2240311 (s221 certification pending):

a. At the time of applying for building consent, the building applicant is to provide a report from a Chartered Professional Engineer with recognized competence in relevant geotechnical and structural matters, which addresses the site's investigation undertaken, sets out the specific design of the building's foundations and indicates the program of supervision of the foundation construction. This shall be in accordance with the recommendation of the Site Suitability Report by Haigh Workman Civil & Structural Engineers (Ref No.: 23124, dated 13/12/2023). [Lot 1 – 2]

b. In conjunction with the construction of any buildings and other impermeable surfaces, the lot owner shall install a stormwater retention tank/s with a flow-attenuated outlet/s. The system shall be designed such that the total stormwater discharged from the site, after development, is no greater than the predevelopment flow from the site for rainfall events up to a 10% AEP plus allowance for climate change, with overland/secondary flow paths able to accommodate a 1% AEP event. This shall be in accordance with the recommendation of the Site Suitability Report by Haigh Workman Civil & Structural Engineers (Ref No.: 23124, dated 13/12/2023). [Lot 1 – 2]

c. In conjunction with the construction of any dwelling, and in addition to a potable water supply, a water collection system with sufficient supply for firefighting purposes is to be provided by way of a tank or other approved means and to be positioned so that it is safely accessible for this purpose. These provisions will be in accordance with the New Zealand Fire Fighting Water Supply Code of Practice SNZ PAS 4509. [Lot 1 – 2]

d. In conjunction with the construction of any building which includes a wastewater treatment & effluent disposal system, the applicant shall submit for Council approval a TP58 Report prepared by a Chartered Professional Engineer or an approved TP58 Report Writer. The report shall identify a suitable method of wastewater treatment for the proposed development along with an identified effluent disposal area plus a 100% reserve disposal area. The report shall confirm that all of the treatment & disposal systems can be fully contained within the lot boundary and comply with the Regional Water & Soil Plan Permitted Activity Standards. [Lot 1 – 2]

e. The owner shall maintain the portion of stock proof fencing of area A, B, C, D, E (as indicated on the survey plan) contained within the boundaries of their allotment. The lot owner must ensure their portion of the fence is electrified when any stock are contained within the site except where the fence is 7 or 8 wire and constructed in accordance with Schedule 2.6 of the Fencing Act 1978 Lot 2.

f. No occupier of the lot, contractor and/or visitor shall keep or introduce any cats on the site.

g. Introduction of exotic aquatic plants, exotic fish, or any exotic vegetation is prohibited.

h. No more than one dog shall be introduced or kept on the lot at any time. Any dog must be micro-chipped and have a current kiwi aversion trained certification. Any dog must be within a dog-proof fenced area on the lot and be under effective control at all times when outside of the fenced area, e.g. on a lead. At night any dog must be kept inside or be tied up.

Prior to the introduction or keeping of any dog on either lot, the occupier must provide to the Resource Consents Monitoring Officer of Far North District council the following:

- i. A photograph of the dog;*
- ii. Written confirmation that dog has been microchipped*
- iii. Written confirmation that the dog has current kiwi aversion training certification along with the expiry date for the certification*
- iv. A plan showing the extent to the dog proof fenced area.*

i. Open fires are not permitted in covenants.

j. Waste (including garden waste) is not permitted to be disposed in covenants.

k. There shall be no intrusion of grazing stock (including cows, sheep, goats, and pigs) into any areas of indigenous vegetation on the land.

l. The lot owner shall maintain the pest management and weed control plan approved in accordance with condition 4c of resource consent 2240311-RMASUB. Any predator or pest control work carried out is to be done in a manner which will not endanger Kiwi or other indigenous fauna and flora, for example by using kiwi-excluding trap boxes and covers, raising traps 700mm off the ground, and cleaning traps of any pest remains.

m. The Lot owner shall preserve the indigenous bush and wetland within the covenant areas shown on the survey plan as areas A, B, C, D & E and shall not without the prior written consent of the Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of such trees or bush. The owner shall be deemed to be not in breach of this prohibition if any of such trees or bush shall die from natural causes not attributable to any act or default by or on behalf of the owner or for which the owner is responsible.

n. No works may obstruct or alter flows to, within, or from wetlands may occur and no sediment may be deposited where it may enter nearby wetland or creeks.

3.2 Location

The property is located to the south of Pakaru Road, having recently been subdivided from a parent title with the address of 706 Pakaru Road. It is located approximately 6.3km south west of Kawakawa Township. Refer to the Location and Cadastral Maps in **Figures 1 and 2**.

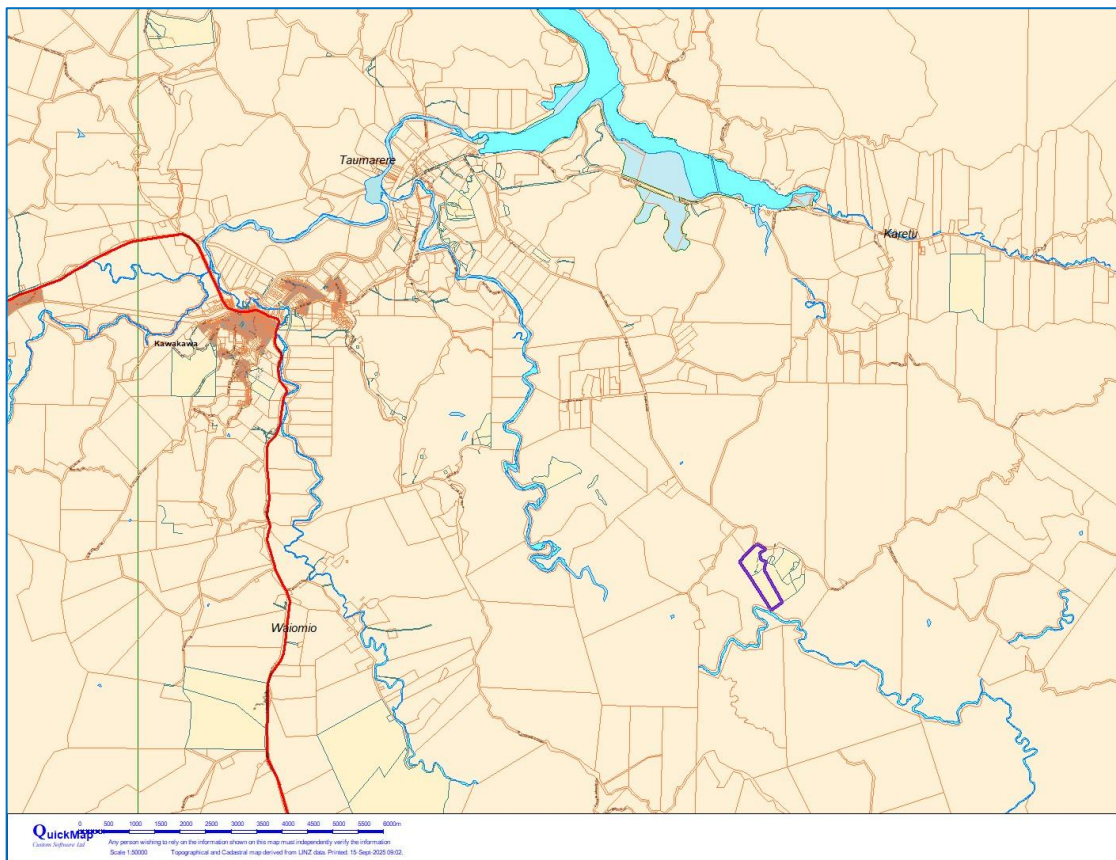


Figure 1: Location Map

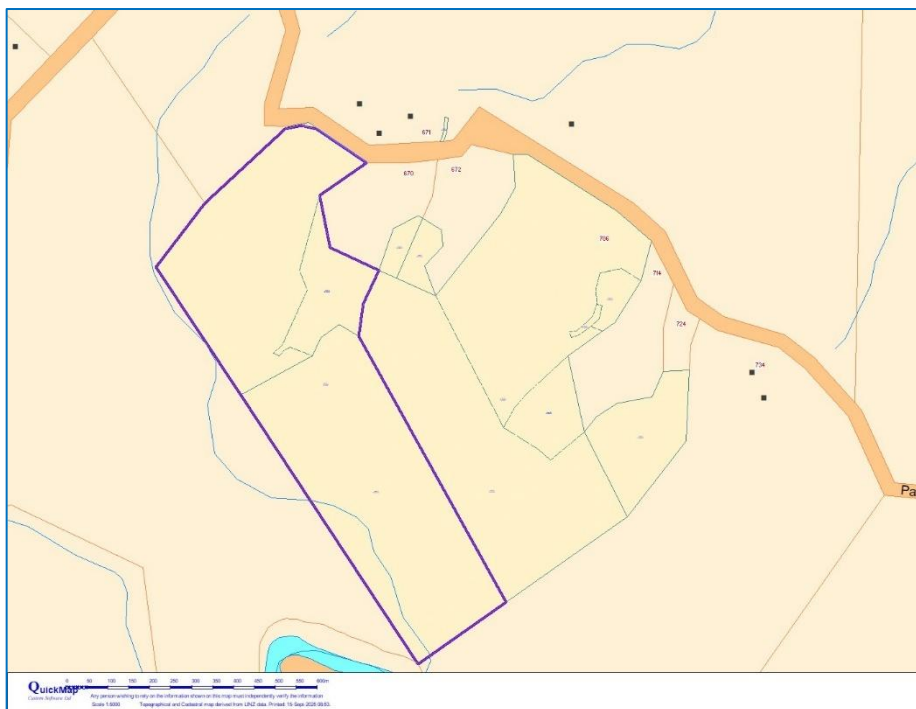


Figure 2: Cadastral Map

3.3 Site Conditions

The subject site is vacant, with a building platform having been excavated and drains formed near the northern part of the site. Fencing is in place. The remaining ground cover is a mixture of cleared pine forest and indigenous vegetation. The site contour ranges from rolling to very steep, becoming steeper as the property falls away from Pakaru Road towards Tirohanga Stream. The southern part of the property is in indigenous vegetation, a portion of which is within 'Russell Forest' Protected Natural Area Q05/003 within the Whangaruru Ecological District.² Refer to **Figure 3**.

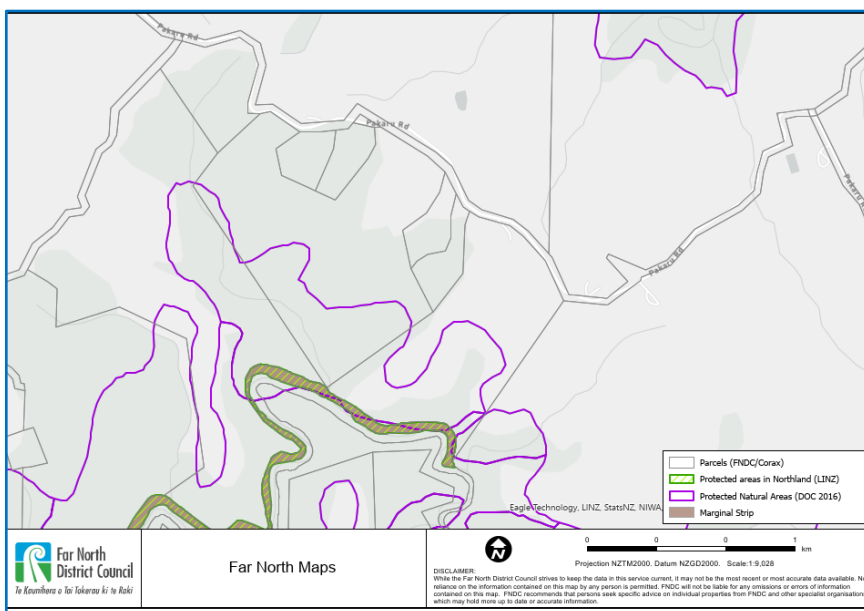


Figure 3: Mapped Protected Natural Area Q05/03.

² Booth, A. (2005): *Natural areas of Whangaruru Ecological District Reconnaissance survey report for the Protected Natural Areas Programme*. Department of Conservation, Whangarei, New Zealand.

The subject site is located in a rural setting, and the character of the subject land and its surrounding environment is based on the existing features of the built and natural environment, which present mixed elements of open pastoral land with scattered rural residential development, with dwellings and other buildings typically located close to Pakaru Road and surrounded by planting or fencing.

4. District Plan Assessment

4.1 Operative Far North District Plan

4.1.1 Rural Production Zone

The proposal complies with the following relevant permitted activity standards:

8.6.5.1.2 Sunlight: The buildings do not breach permitted activity sunlight angles.

8.6.5.1.3 Stormwater Management: Proposed impermeable surfaces will be less than 15% of the site area.

8.6.5.1.4 Setback from Boundaries: The buildings achieve a 10m setback from all boundaries.

8.6.5.1.8 Building Height: The heights of the buildings do not exceed 12m.

8.6.5.1.10 Building Coverage: Building coverage is less than 12.5%.

8.6.5.1.11 Scale of Activities: The proposed residential buildings will be used by people who normally reside on the site.

The proposal is unable to comply with Rule **8.6.5.1.1 Residential Intensity** as the residential intensity will be more than one residential unit per 12ha of land. The proposal is for a controlled activity Minor Residential Unit pursuant to Rule 8.6.5.2.3:

8.6.5.2.3 MINOR RESIDENTIAL UNIT

Minor residential units are a controlled activity in the zone provided that:

- (a) there is no more than one minor residential unit per site;*
- (b) the site has a minimum net site area of 5000m²*
- (c) the minor residential unit shares vehicle access with the principal dwelling;*
- (d) the separation distance of the minor residential unit is no greater than 30m from the principal dwelling.*

The above criteria are met as:

- (a) The proposal is for a principal and minor residential unit.
- (b) The subject site has an area exceeding 5,000m².
- (c) Vehicle access to the principal dwelling and the minor residential unit will share the existing vehicle crossing off Pakaru Road and the first section of access, after which individual driveway areas will access the outdoor parking areas.
- (d) The distance between the principal dwelling and minor residential unit is less than 30m.

The matters that Council has restricted the exercise of its control to are addressed within Section 5 of this Report.

4.1.2 District Wide Provisions

Soils and Minerals

Completed and proposed earthworks volumes and depths / heights comply with the permitted activity standard (Rule 12.3.6.1.1).

Fire Risk to Residential Units

The proposed principal dwelling and minor residential unit are more than 20m from any areas of continuous vegetation, in compliance with permitted activity Rule 12.4.6.1.2(a).

Lakes Rivers Wetlands & the Coastline

The proposed principal dwelling and minor residential unit and their combined onsite wastewater treatment and disposal system are more than 30m from Tirohanga Stream in compliance with Rules 12.7.6.1.1 and 12.7.6.1.4.

4.1.3 Transportation

Traffic Intensity

Traffic from the principal residential dwelling is exempt under Rule 15.1.6a. The new minor residential unit will generate an additional seven daily one way movements and will comply with the permitted standard.

Parking

There is car parking area outside the principal and minor residential units for two vehicles as per the permitted standard set out in Rule 15.1.6B.1.1.

Vehicle Access

Rule 15.1.6C.1.1 relates to private accessways – there is no shared private accessway involved in the proposal.

There is an existing vehicle crossing in accordance with Rule 15.1.6C.1.5(c).

The general access standards specified in Rule 15.1.6C.1.7 are met by the proposed parking areas and access design.

4.1.4 Overall Activity Status

Overall, the proposed activity will be a controlled activity in terms of the District Plan provisions.

4.2 Proposed Far North District Plan

The subject site is zoned Rural Production. A 10 and 100 Year ARI river flood hazard overlay is mapped at the southern corner of the subject site.

4.2.1 Rules with Immediate Legal Effect

The rule relating to earthworks and the discovery of suspected sensitive material (EW-R12) and associated standard EW-S3 have been complied with, and there is no reported discovery of archaeological material. We suggest that the standard Accidental Discovery Protocol advisory note be included in the consent, to advise the consent holder of their obligations under the Heritage New Zealand Pouhere Taonga Act 2014, in terms of any additional minor land disturbance.

The rule relating to earthworks and erosion and sediment control (EW-R13) and associated standard EW-S5 require that earthworks must, for their duration, be controlled in accordance with GD05, and that the required erosion and sediment must be implemented to prevent silt or sediment from entering water bodies, the coastal marine area, any stormwater system, overland flow paths, or roads. The clean water cut off drain, and rapid stabilisation, are considered sufficient for the scale of the works in order to comply with this rule and associated standard.

We are not aware of any other applicable rules with immediate legal effect under the Proposed District Plan. Other relevant rules without immediate legal effect are assessed below.

4.2.2 Rural Production Zone

The proposal complies with the following rules of the Rural Production Zone; however these do not have legal effect.

RPROZ-R2 Impermeable surface coverage: 15% coverage is not exceeded.

RPROZ-S1 Maximum height: The buildings do not exceed 12m in height.

RPROZ-S2 Height in relation to boundary: The specified sunlight angles are not infringed.

RPROZ-S5 Building or Structure Coverage: This will be less than 12.5%.

It does not comply with the following rules:

RPROZ-R1 New buildings: The proposed buildings do not accommodate a permitted activity, as Rule RPROZ-R3 Residential activity is not met. This is because a second residential unit (minor) is proposed.

RPROZ-R3 Residential Activity: The site area per residential unit is less than 40ha.

RPROZ-S3 Setback (excluding from MHWS or wetland, lake and river margins): The buildings achieve 10m setbacks but are located within 30m of an unsealed road.

4.2.3 Transport

The proposal complies with the following rules:

TRAN-R1 - Parking: sufficient parking is available.

TRAN-R2 – Vehicle crossings and access, including private accessways: The vehicle crossing was formed at subdivision stage. Private access will serve two households using an existing crossing.

TRAN-R5 – Trip Generation: 2 residential units - does not exceed permitted standard.

4.2.4 Natural Hazards

NH-R5 Wild fire – Buildings used for a vulnerable activity (excluding accessory buildings):

Onsite water supply and access to water supplies for fire-fighting purposes can be achieved in accordance with PER-1. The building will more than 20m from any areas of continuous / significant vegetation and complies with PER-2 so as to be a permitted activity.

4.2.5 Overall Activity Status

Relevant rules with immediate effect are EW-R12 and EW-R13, both of which can be satisfied as a permitted activity.

5. Assessment of Environmental Effects

Section 104(1)(a) and (ab) require the consent authority, subject to Part 2 of the Act, to have regard to any actual and potential effects on the environment of allowing the activity and any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity.

Section 104(2) states that a consent authority may disregard an adverse effect of the activity on the environment if a national environmental standard of the plan permits an activity with that effect and Section 104(3)(a)(ii) requires a consent authority to not, when considering an application, have regard to any effect on a person who has given written approval to the application (unless that person has withdrawn the written approval before the date of a hearing or before the application is determined, as set out in 104(4)).

Clauses 6 and 7 of Schedule 4 of the RMA indicate the information requirements and matters that must be addressed in or by an assessment of environmental effects, both of which are subject to the provisions of any policy statement or plan. The relevant matters over which Council has restricted the exercise of its control are listed in Rule 8.6.5.2.3.

(i) the extent of the separation between the principal dwelling and the minor residential unit;

The principal dwelling and the minor residential unit will be separated by less than 30m.

(ii) the degree to which design is compatible with the principal dwelling;

The principal dwelling and minor residential unit are both simple rectangular shaped buildings with modest floor areas. The cladding types are paintable, and able to be finished in complementary colours. Both buildings have corrugated iron roofing.

It is considered that the two buildings are visually compatible with each other in terms of their appearance, where the minor dwelling is likely to be viewed as an accessory building due to its size and proximity to the principal dwelling.

(iii) the extent that services can be shared;

The principal dwelling and minor residential unit will share an on-site wastewater system, being an advanced secondary treatment system with dripper line disposal. As this complies with permitted activity standards, adverse effects are sufficiently avoided.

The two lots will both use the existing vehicle crossing, in order to share access from Pakaru Road, and will also share the first section of private driveway before diverging to individual parking areas.

Collection and storage of rainwater will be undertaken individually by each residential unit.

(iv) the ability to mitigate any adverse effects by way of provision of landscaping and screening;

The building platform has been dug into the hill slope, so that the buildings will be set below Pakaru Road, similar to the building on neighbouring Lot 2 DP 542075. There will be opportunity to implement landscape planting on the bank behind the building platform, for privacy, and screening of dust and noise arising from the use of Pakaru Road, at the owners discretion (there is already some vegetation along the road margin).

(v) the location of the unit.

The principal dwelling and minor residential unit will be placed on the same contour, where a building envelope has been excavated. They are both located so as to achieve suitable setbacks from the areas of indigenous vegetation to avoid fire risk, and to achieve minimum 10m setbacks from all boundaries.

Summary of environmental effects

The visual effects proposed development are considered to be mitigated by the size, location and design of the principal dwelling and minor residential unit so as to be less than minor in scale and magnitude, while the use of a shared vehicle crossing, will avoid adverse effects on roading.

On site servicing, using a shared advanced secondary wastewater treatment and disposal system, and individual on-site water storage, has been designed to comply with the relevant consent notice conditions and Proposed Regional Plan permitted activity criteria where relevant.

6. Statutory Assessment

6.1 National Environmental Standards

6.1.1 Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The subject land is not recorded on the Northland Regional Council Selected Land-use Register as a site that has been used for any activity included in the Ministry for the Environment's Hazardous Activities and Industries List.³

Review of historic aerial photography using Retrolens indicates that the property was in pasture with native vegetation remaining over the steeper parts of the site. By 1968 it appeared that some of the pasture areas had begun regenerating, until the less steep areas were again cleared by the late 1970s and early 1980s.⁴ More recent aerial and satellite photography shows that the combination of pine forestry, bush and pasture has remained between 2004 and 2013, until the pines were cleared in c2016.

As such, the subject site is not considered to be a 'piece of land' in terms of the above regulations.

6.1.2 Resource Management (National Environmental Standard for Freshwater) Regulations 2020

The proposed land use activity does not involve any vegetation clearance or earthworks within 10m of a natural inland wetland, nor does it involve the taking, use, damming or diversion of water within, or within a 100m setback from, a natural inland wetland. There are no proposed activities affecting any other freshwater features. As such, the proposed activity is not considered to have any implications in terms of the above regulations.

6.2 National Policy Statements

6.2.1 National Policy Statement for Highly Productive Land ("NPS-HPL")

The site contains LUC Class 4 and 6 land, as mapped by the New Zealand Land Resource Inventory. As such, the NPS-HPL does not apply to the proposed activity.

³ Northland Regional Council (n.d.): *Selected Land-use Register Map*. Retrieved 17 January 2024 from <https://localmaps.nrc.govt.nz/localmapviewer/?map=65b660a9454142d88f0c77b258a05f21>

⁴ Sourced from <http://retrolens.nz> and licensed by LINZ CC-BY 3.0

6.3 Regional Policy Statements

6.3.1 Regional Policy Statement for Northland ("RPS")

The proposed activity is considered to be compatible with Policy 5.1.1 - Planned and coordinated development - in that it does not result in incompatible land uses in close proximity, avoids reverse sensitivity, is of a density that is anticipated as a controlled activity under the Operative District Plan, and can be serviced with on-site water supply and on-site treatment and disposal of wastewater.

The building sites are located outside the mapped area of flooding, and the proposal does not offend policy 7.1.2 – new subdivision and land use within 10-year and 100-year flood hazard areas. Overall, it is considered that the proposal is in accordance with the relevant parts of the RPS.

6.4 District Plan Objectives and Policies

6.4.1 Far North Operative District Plan

As a controlled activity, with the relevant matters over which Council has reserved control having been assessed in the preceding section of this report, the proposal is considered to be consistent with the relevant objectives and policies of the District Plan.

6.4.2 Far North Proposed District Plan

Relevant objectives and policies related to the Rural Production Zone are commented on below. It is considered that the proposal will be generally compatible with the applicable strategies.

Rural Production zone

Objectives

RPROZ-O1 The Rural Production zone is managed to ensure its availability for primary production activities and its long-term protection for current and future generations.

RPROZ-O2 The Rural Production zone is used for primary production activities, ancillary activities that support primary production and other compatible activities that have a functional need to be in a rural environment.

RPROZ-O3 Land use and subdivision in the Rural Production zone:

- a. protects highly productive land from sterilisation and enables it to be used for more productive forms of primary production;*
- b. protects primary production activities from reverse sensitivity effects that may constrain their effective and efficient operation;*
- c. does not compromise the use of land for farming activities, particularly on highly productive land;*
- d. does not exacerbate any natural hazards; and*
- e. is able to be serviced by on-site infrastructure.*

RPROZ-O4 The rural character and amenity associated with a rural working environment is maintained.

Policies

RPROZ-P1 Enable primary production activities, provided they internalise adverse effects onsite where practicable, while recognising that typical adverse effects associated with primary production should be anticipated and accepted within the Rural Production zone.

RPROZ-P2 Ensure the Rural Production zone provides for activities that require a rural location by:

- a. enabling primary production activities as the predominant land use;*
- b. enabling a range of compatible activities that support primary production activities, including ancillary activities, rural produce manufacturing, rural produce retail, visitor accommodation and home businesses.*

RPROZ-P3 Manage the establishment, design and location of new sensitive activities and other non-productive activities in the Rural Production Zone to avoid where possible, or otherwise mitigate, reverse sensitivity effects on primary production activities.

RPROZ-P4 Land use and subdivision activities are undertaken in a manner that maintains or enhances the rural character and amenity of the Rural Production zone, which includes:

- a. a predominance of primary production activities;*
- b. low density development with generally low site coverage of buildings or structures;*
- c. typical adverse effects such as odour, noise and dust associated with a rural working environment; and*
- d. a diverse range of rural environments, rural character and amenity values throughout the District.*

RPROZ-P5 Avoid land use that:

- a. is incompatible with the purpose, character and amenity of the Rural Production zone;*
- b. does not have a functional need to locate in the Rural Production zone and is more appropriately located in another zone;*
- c. would result in the loss of productive capacity of highly productive land;*
- d. would exacerbate natural hazards; and*
- e. cannot provide appropriate on-site infrastructure.*

RPROZ-P7 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. whether the proposal will increase production potential in the zone;*
- b. whether the activity relies on the productive nature of the soil;*
- c. consistency with the scale and character of the rural environment;*
- d. location, scale and design of buildings or structures;*
- e. for subdivision or non-primary production activities:*
 - i. scale and compatibility with rural activities;*
 - ii. potential reverse sensitivity effects on primary production activities and existing infrastructure;*
 - iii. the potential for loss of highly productive land, land sterilisation or fragmentation*
- f. at zone interfaces:*
 - i. any setbacks, fencing, screening or landscaping required to address potential conflicts;*
 - ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable;*
- g. including whether the site has access to a water source such as an irrigation network supply, dam or aquifer;*
- h. the adequacy of roading infrastructure to service the proposed activity;*
- i. Any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity;*
- j. Any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

The subject site does not include highly productive land. The proposed buildings are surrounded by a mixture of existing primary production activities along with rural residential and rural lifestyle development. Availability of land for primary production will not suffer any significant adverse effects, and no reverse sensitivity effects are expected to arise.

The existing rural character and amenity values can be retained, with farmland and indigenous bush remaining the predominant land cover over the land, and a low density of development proposed.

Adverse effects related to natural hazards can be managed, with the requirement for building foundations to be specially designed having been included as a consent notice condition of the underlying subdivision. The buildings are not within the mapped flood hazard area, and are more than 20m from any significant areas of vegetation.

Servicing with onsite infrastructure (wastewater, water supply, stormwater management) is all feasible. Access to the buildings from Pakaru Road is available as previously specified.

The building sites avoid areas of indigenous vegetation, and there are no recorded historic heritage or cultural sites, no natural features and landscapes in this location.

6.5 Part 2 of the Resource Management Act 1991

PART 2 PURPOSE AND PRINCIPLES

5 Purpose

- (1) The purpose of this Act is to promote the sustainable management of natural and physical resources.*
- (2) In this Act, sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety while-*
 - (a) Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
 - (b) Safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*
 - (c) Avoiding, remedying, or mitigating any adverse effects of activities on the environment.*

6 Matters of national importance

In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall recognise and provide for the following matters of national importance:

(g) *The management of significant risks from natural hazards.*

7 Other matters

In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development and protection of natural and physical resources, shall have particular regard to-

(b) *The efficient use and development of natural and physical resources;*

(a) *The maintenance and enhancement of amenity values;*

(f) *Maintenance and enhancement of the quality of the environment;*

8 Treaty of Waitangi

In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development and protection of natural and physical resources, shall take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).

The proposal is for a minor residential dwelling on a rural site which is anticipated as a controlled activity. As such, it is considered to be a scale of development that provides for the sustainable use and management of natural resources. Adverse effects are able to be avoided and mitigated through appropriate design of wastewater, water supply, vehicle access, and through the location and design of the minor residential unit.

Flooding risk is avoided, as the principal dwelling and minor residential unit are located outside of flood hazard areas.

Overall, the proposal is considered to be an appropriate development, which will not degrade the quality of the environment or adversely affect amenity values.

The proposal has no known implications in terms of the Treaty of Waitangi.

6.6 Regional Plans

6.6.1 Proposed Regional Plan for Northland – February 2024

No consents are required under the Proposed Regional Plan for this proposal.

7. Consultation

There are no relevant rules or national environmental standards requiring public notification and no special circumstances exist. Furthermore, public notification is not requested. Public notification is precluded under Section 95A(5)(b)(i). There are no special circumstances that necessitate public notification.

No person is considered to be affected in terms of Sections 95B(2) or (3). Limited notification is precluded via Section 95B(6)(b). There are no special circumstances that warrant limited notification.

As outlined above, we are of the opinion that the proposal satisfies the statutory requirements for non-notification, and we respectfully request that it be processed on that basis.

8. Conclusion

In terms of sections 104 and 104A of the Resource Management Act 1991, we consider that:

- No conditions are considered necessary in terms of the matters over which control has been reserved in the Operative District Plan;
- The proposal is considered to be consistent with the objectives and policies of the Operative District Plans and the Proposed District Plan.
- The proposal is in accordance with the Regional Policy Statement; and
- The proposal is in accordance with the Purpose and Principles of the Resource Management Act 1991.

We also note that:

- No written approvals have been sought; as it is considered that there are no parties who will be adversely affected by the proposed activity.

For these reasons it is requested this application be considered to be a non-notified application, and that the Council grant consent to the proposal, under delegated authority, as detailed in the application and supporting information.

Signed

Natalie Watson,
Resource Planner

Date 16 September 2025

WILLIAMS & KING
Kerikeri

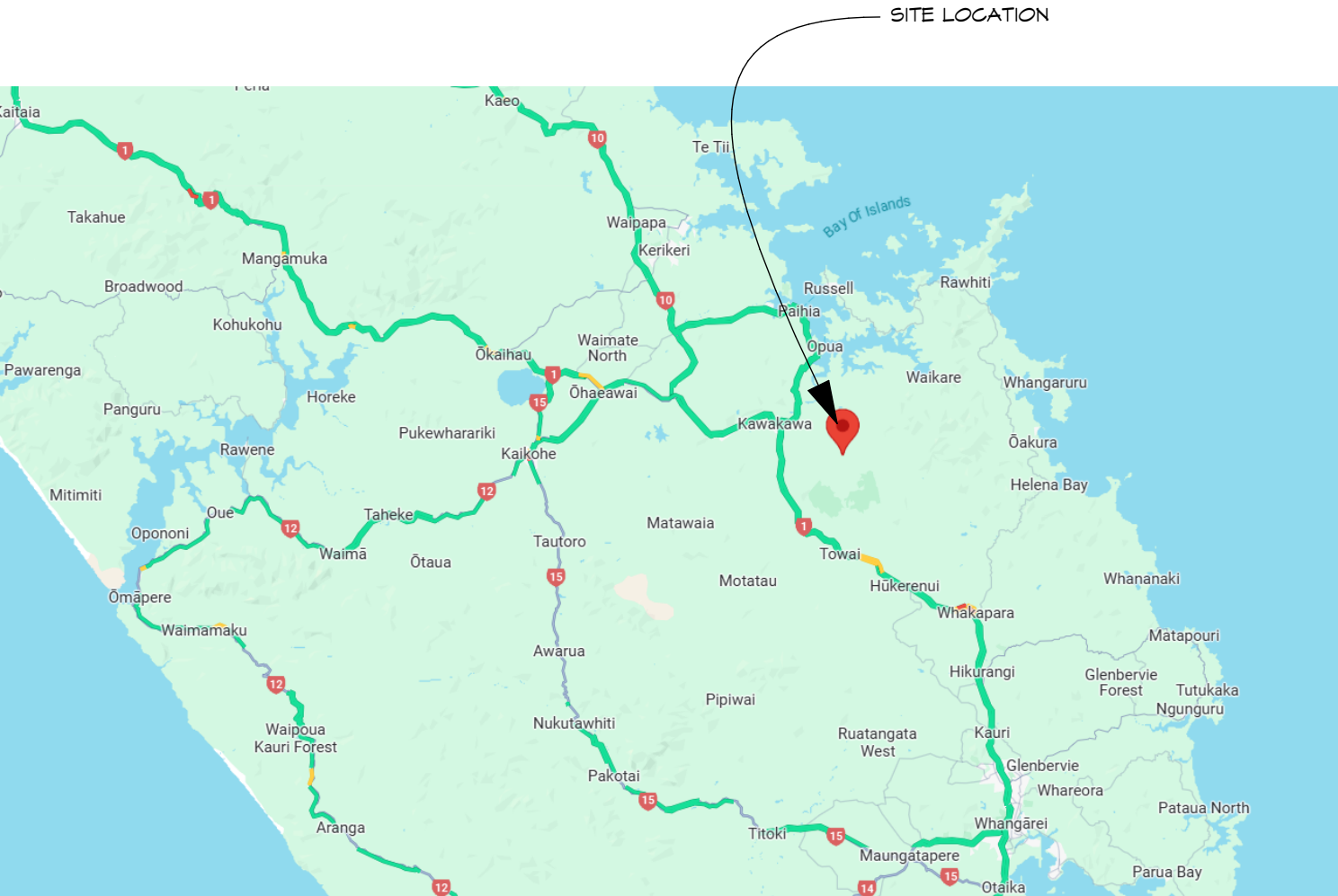
9. Appendices

Appendix 1: Site, Floor, Elevation & Drainage Plans

Appendix 2: Underlying Record of Title – with Approved Survey Plan LT 611145




Sheet Index		
SHEET	SHEET NAME	Scale
	TITLE SHEET	
2	SITE OVERVEIW	1:2500
3	SITE PLAN	1:500
4	WHITNEY	1:500
5	WHITNEY ELEVATIONS	1:100
6	WHITNEY FLOOR PLAN	1:50
7	WHITNEY SERVICE PLAN	1:50
8	WHITNEY FOUNDATION PLAN	1:50
9	WHITNEY FOUNDATION	DETAILS
10	WHITNEY CROSS SECTIONS	1:50
11	TE HANA	1:500
12	TE HANA ELEVATION	1:100
13	TE HANA FLOOR PLAN	1:50
14	TE HANA SERVICE PLAN	1:50
15	TE HANA FOUNDATION PLAN	1:50
16	TE HANA FOUNDATION DETAILS	
17	TE HANA CROSS SECTION	1:50
18	DECK & BALUSTRADE DETAILS	
19	DRAINAGE PLAN	1:500



LOCATION MAP



**LAMBETH**
architectural

ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES

RELOCATABLE
DWELLING
R KIRKPATRICK
706 PAKARU
ROAD
KAWAKAWA

Drawn:
JAL JADINE
LAMBETH

Date:
10/09/2025

Sheet: 1

Of: 20

Job No.

25/06

09 439 1015 P.O Box 266, Dargaville



1. GENERAL NOTES:
- 1.1. ALL WORK TO BE READ IN CONJUNCTION WITH SPECIFICATION AND TO BE CARRIED OUT IN ACCORDANCE WITH NZS 3604:2011, NZ BUILDING CODE AND LOCAL COUNCIL BYLAWS.
 - 1.2. ALL FIXINGS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 - 1.3. ALL GLAZING IS REQUIRED TO COMPLY WITH NZS 4223 - CODE OF PRACTICE FOR GLAZING IN BUILDINGS.
 - 1.4. BUILDING WRAP/PAPER UNDER ALL EXTERIOR GLAZING.
 - 1.5. CONTRACTOR TO CHECK AND VERIFY ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
 - 1.6. DO NOT SCALE OFF DRAWINGS.
 - 1.7. ALL FLASHINGS & WEATHER PROOFING TO COMPLY WITH THE LATEST NZBC:E2/AS1 EXTERNAL MOISTURE
 - 1.8. ALL EXPOSED TIMBER TO BE TREATED H5 WHERE IT IS PARTIALLY COVERED BY EARTH & EXPOSED TO WEATHER.
 - 1.9. ALL EXPOSED TIMBER TO BE TREATED RADIATA H3.2
 - 1.10. EXTERNAL FRAMES TO BE H1.2 UNLESS STATED OTHERWISE.

SITE COVERAGE:

SITE AREA	155000 m ²
PROPOSED DWELLING (BUILDING M ²)	91.00M ²
PROPOSED DWELLING (ROOF M ²)	122.22M ²
PROPOSED DECKS (OUTSIDE ROOF COVERAGE)	10.49M ²
PROPOSED DWELLING (BUILDING M ²)	60.30M ²
PROPOSED DWELLING (ROOF M ²)	80.32M ²
PROPOSED DECKS (OUTSIDE ROOF COVERAGE)	20.20M ²

TOTAL SITE COVERAGE % 0.02%

IMPERVIOUS SURFACES:

SECTION SIZE	155000 m ²
PROPOSED DWELLING (ROOF M ²)	202.54M ²
PROPOSED DRIVEWAY	225.89M ²

TOTAL PROPOSED IMPERVIOUS SURFACES % 0.03%

0 10/04/2025

REVISION:

CHECKED BY: 10/04/2025
APPROVED BY: 10/04/2025

PROJECT NO:

RELOCATABLE DWELLING

CLIENT:

KIRKPATRICK

ADDRESS:

706 PAKARU ROAD
KAWAKAWA

Lot 1 DP 542075

SHEET TITLE:

SITE OVERVIEW



ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES
LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(09) 434 1015
office@lambetharchitectural.co.nz

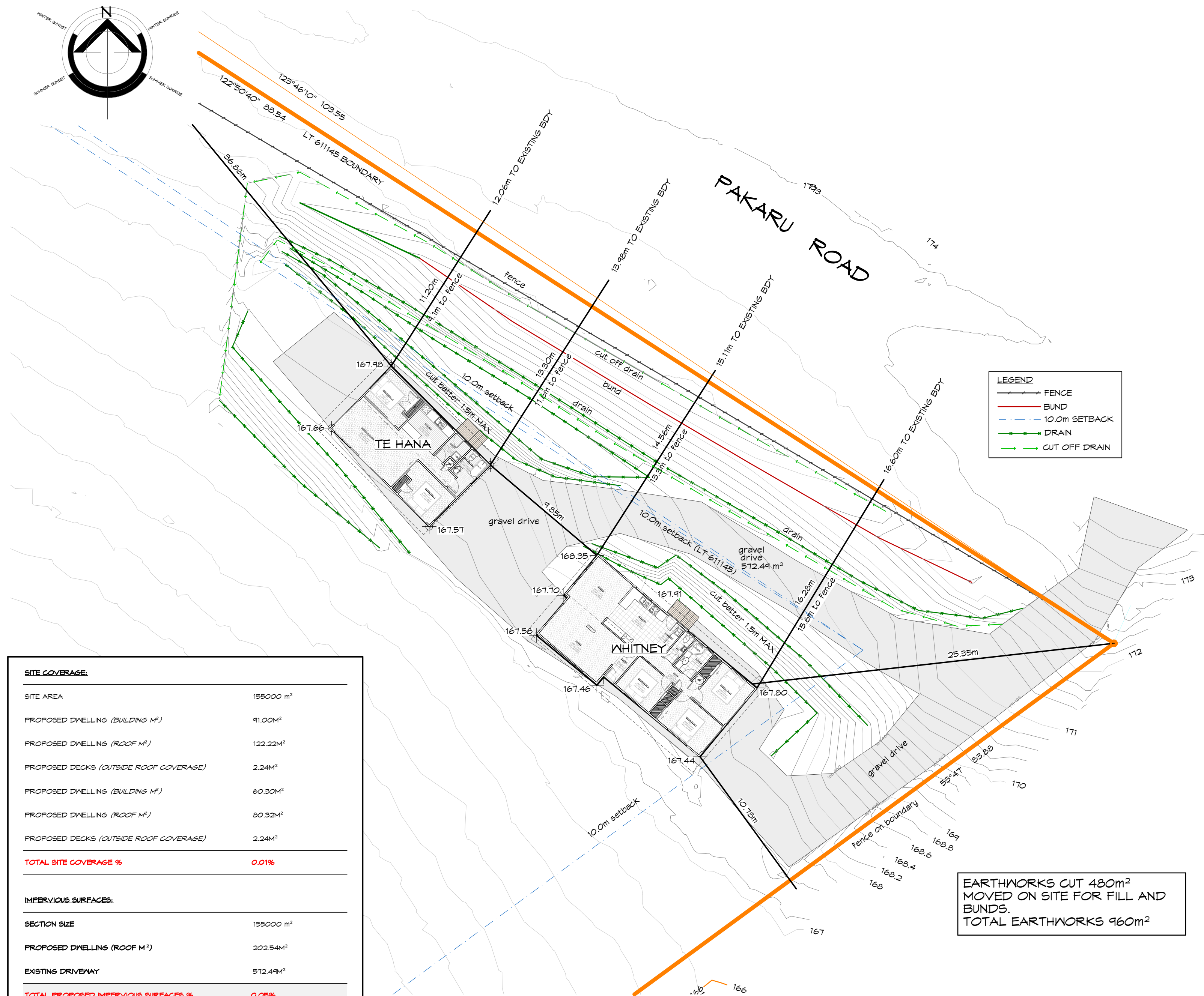
SCALE: 1:2500 ORG SHEET SIZE: A2

DRAWN: JAL DATE: 10/04/2025

COUNCIL: FNDG PROJECT NO:

ZONE: EARTHQUAKE ZONE: ZONE 1
EXPOSURE ZONE: ZONE 1
CLIMATE ZONE: 1
RAINFALL RANGE: 10 - 150
FNDG ZONE: EXTRA HIGH

25/06

**SITE COVERAGE:**

SITE AREA	155000 m ²
PROPOSED DWELLING (BUILDING M ²)	91.00M ²
PROPOSED DWELLING (ROOF M ²)	122.22M ²
PROPOSED DECKS (OUTSIDE ROOF COVERAGE)	2.24M ²
PROPOSED DWELLING (BUILDING M ²)	60.30M ²
PROPOSED DWELLING (ROOF M ²)	80.32M ²
PROPOSED DECKS (OUTSIDE ROOF COVERAGE)	2.24M ²
TOTAL SITE COVERAGE %	0.01%

IMPERVIOUS SURFACES:

SECTION SIZE	155000 m ²
PROPOSED DWELLING (ROOF M ²)	202.54M ²
EXISTING DRIVENWAY	572.49M ²
TOTAL PROPOSED IMPERVIOUS SURFACES %	0.03%

- SITE NOTES:
 - NO CHANGE TO FINISHED FLOOR LEVEL
 - STORMWATER CONNECTED TO EXISTING STORMWATER TANK.
- EROSION & SEDIMENT CONTROL:
 - PRE-CONSTRUCTION PLANNING: PROJECT MANAGER TO OVERSEE COMMISSIONING OF SEDIMENT CONTROL ON SITE.
- ALL WEATHER ACCESS:
 - STABILISE ACCESS AND PARKING AREAS WITH GRAVEL.
- SEDIMENT CONTROL:
 - SEDIMENT FENCE NETTING TO BE LAID TO STREET AND OR AREAS WHERE RUN OFF COULD OCCUR.
 - SCAFFOLDING WILL BE ERECTED TO ALL ROOF AREAS AND FALL HAZARD AREAS AS REQUIRED.
- MANAGE LITTER & WASTE:
 - PROVIDE A CONTAINED AREA FOR WASTE MANAGEMENT.
- SERVICE TRENCHING:
 - MINIMISE TRENCHING AND THE AMOUNT OF TIME THAT THE TRENCH IS OPEN.
- MAINTAIN & DECOMMISSION:
 - DURABILITY EXPOSURE ZONE C INLAND COASTAL AREAS WITH MEDIUM RISK OF WINDBLOWN SEA-SPRAY - REFER TO TABLE 4.1 NZS 3604 2011.
 - SITE NOT REQUIRED TO HAVE FENCING AS IT IS NOT READILY ACCESSIBLE BY THE PUBLIC.

0	10/04/2025
REVISION:	
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025
PROJECT No:	
RELOCATABLE DWELLING	
CLIENT:	
KIRKPATRICK	
ADDRESS:	
106 PAKARU ROAD	
KAWAKAWA	
Lot 1 DP 542075	
SHEET TITLE:	
SITE PLAN	



ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES
LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(04) 434 1015
office@lambetharchitectural.co.nz

SCALE: 1:500 ORG SHEET SIZE: A2

DRAWN: JAL DATE: 10/04/2025

COUNCIL: FNDG PROJECT No:

ZONE: EARTHQUAKE ZONE: ZONE 1
EXPOSURE ZONE: ZONE C
CLIMATE ZONE: 1
RAINFALL RANGE: 10 - 150
WIND ZONE: EXTRA HIGH

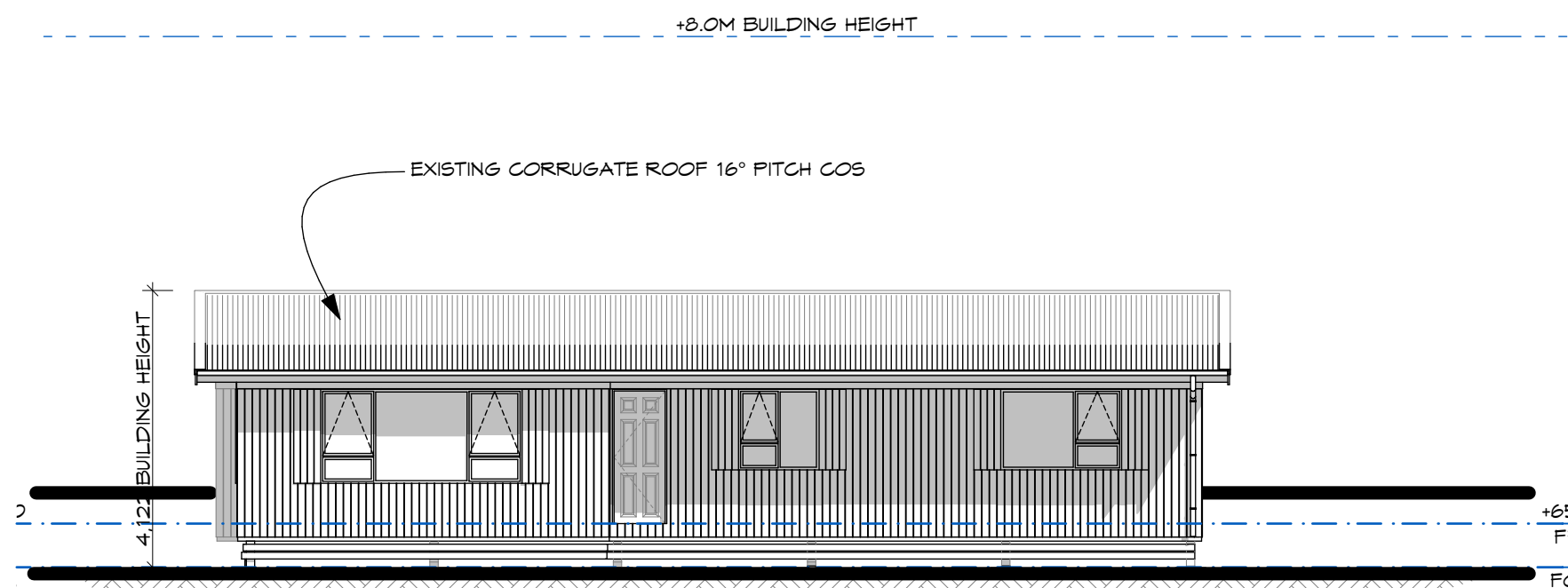
25/06

SITE PLAN

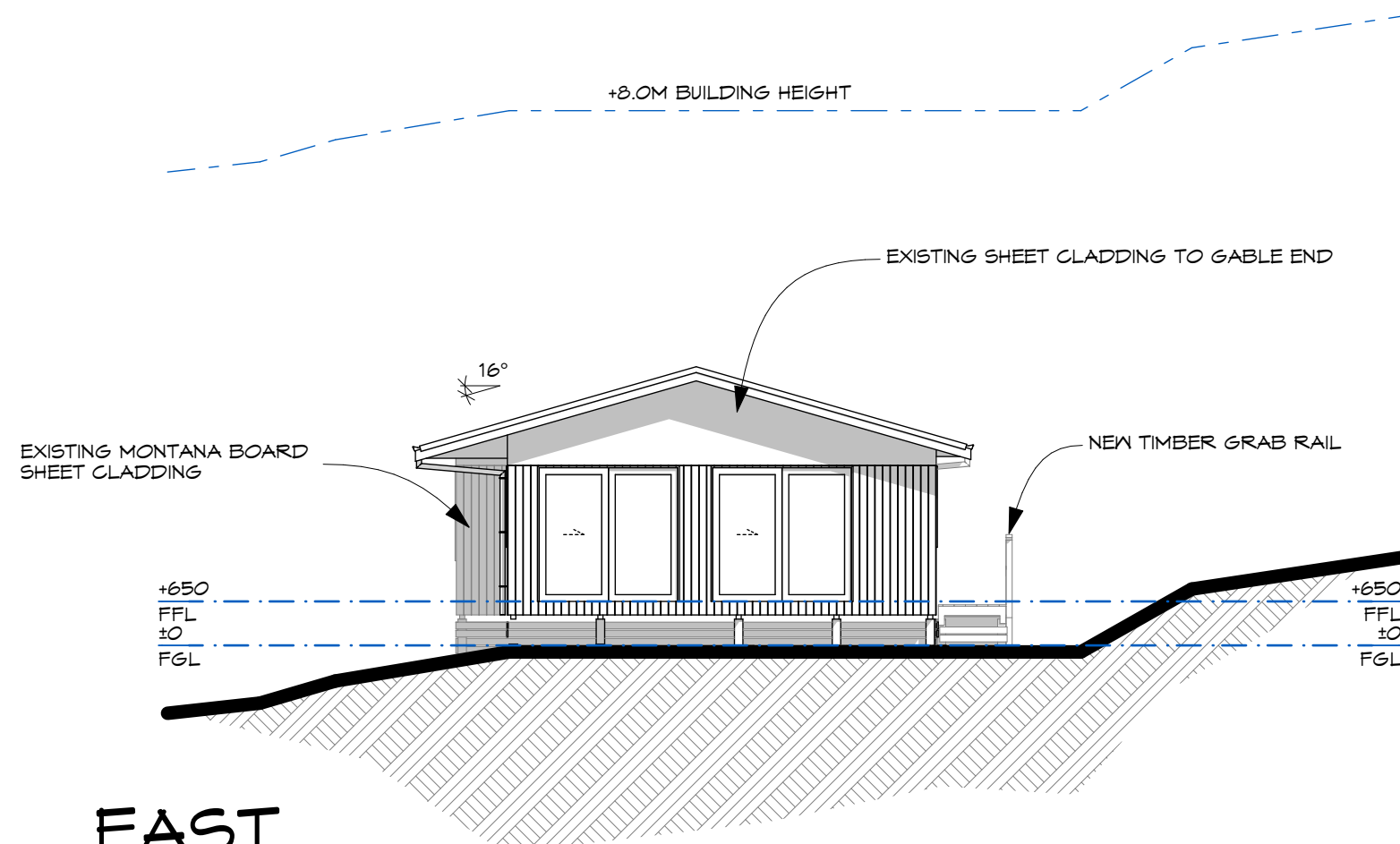
1:500



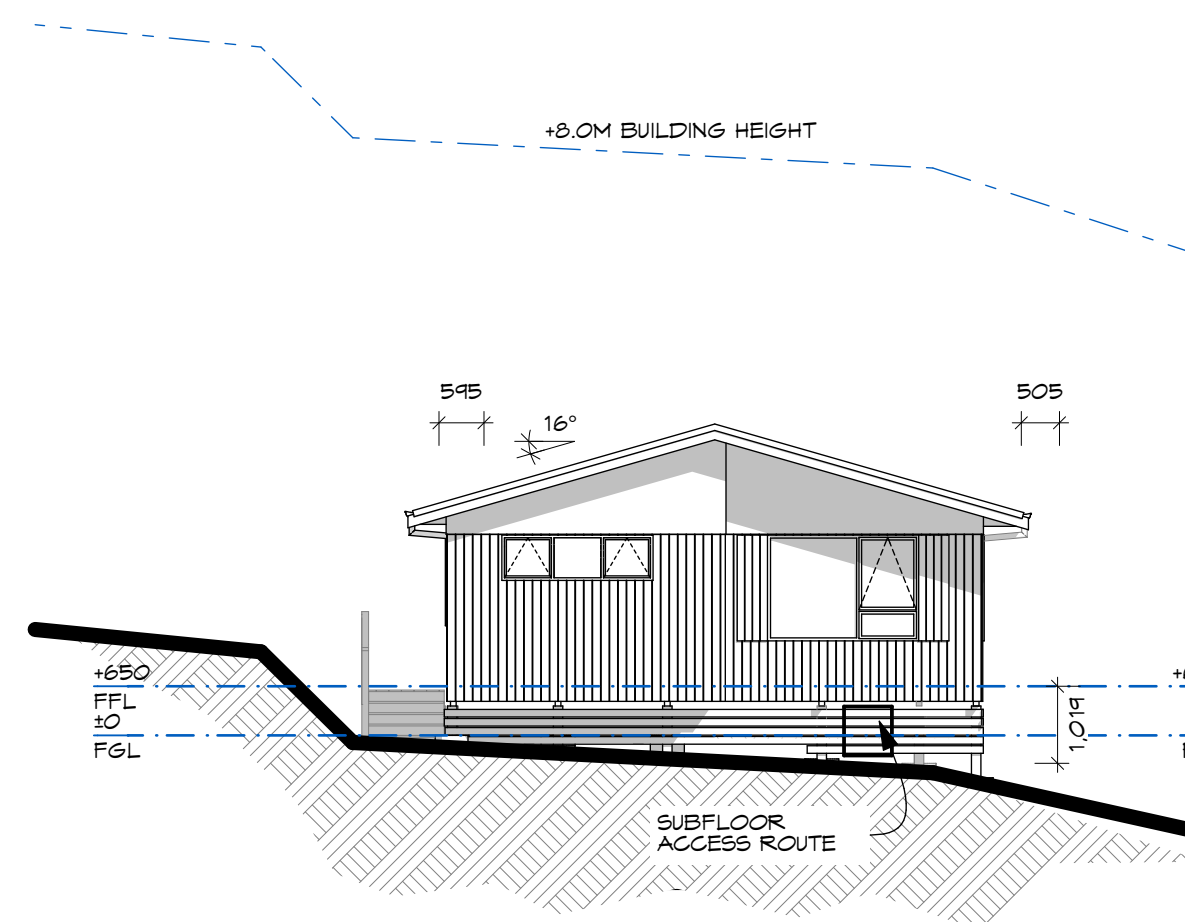
WHITNEY



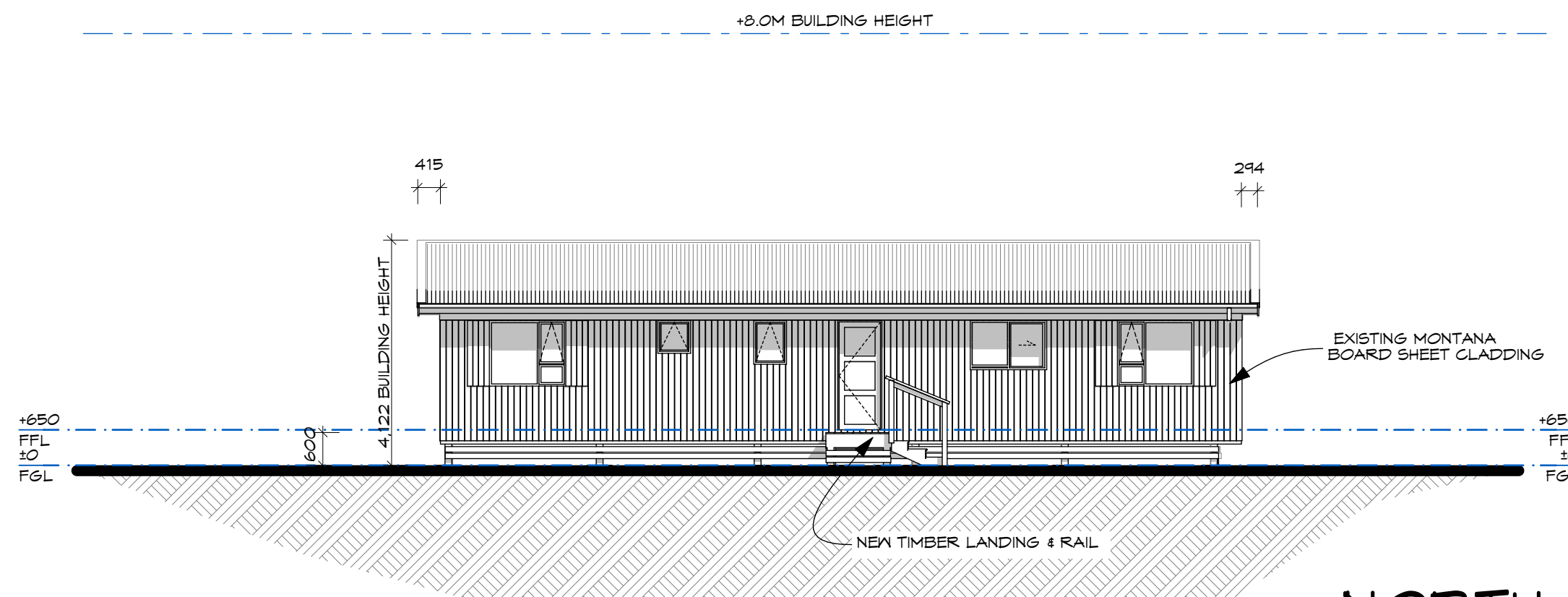
SOUTH



EAST



WEST



NORTH

WHITNEY ELEVATIONS

1:100

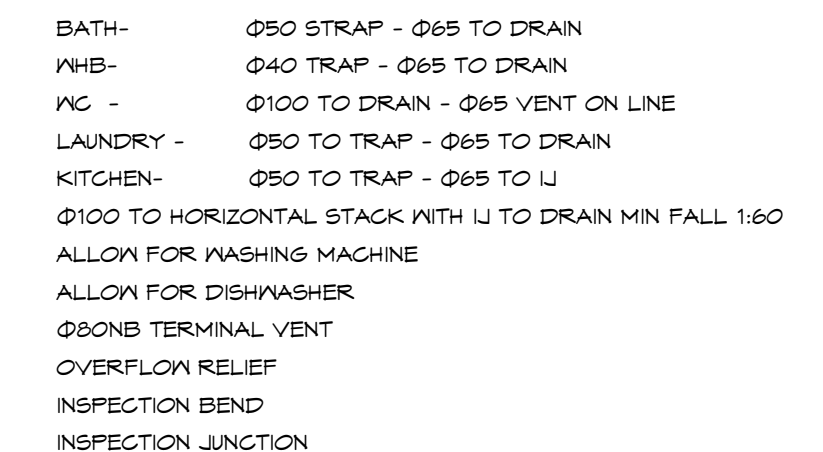
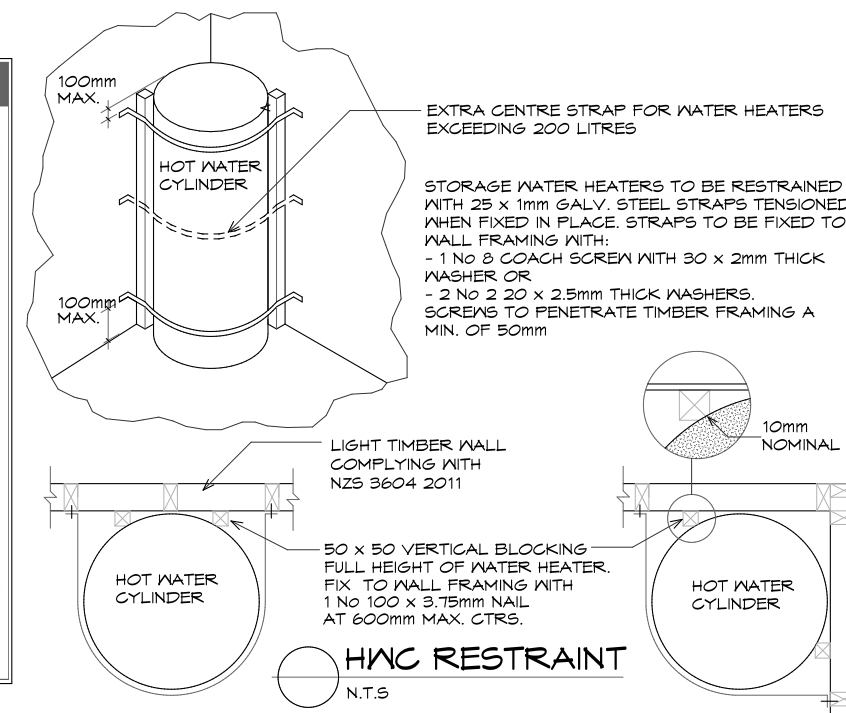
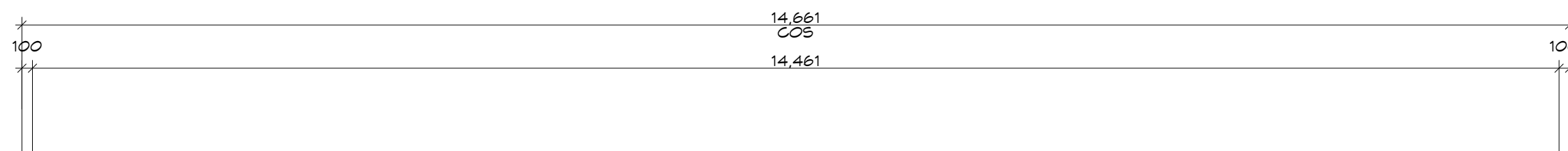
1. GENERAL NOTES:
- 1.1. ALL WORK TO BE READ IN CONJUNCTION WITH SPECIFICATION AND TO BE CARRIED OUT IN ACCORDANCE WITH NZS 3604:2011, NZ BUILDING CODE AND LOCAL COUNCIL BYLAWS.
 - 1.2. ALL FIXINGS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 - 1.3. ALL GLAZING IS REQUIRED TO COMPLY WITH NZS 4223 - CODE OF PRACTICE FOR GLAZING IN BUILDINGS.
 - 1.4. BUILDING WRAP/PAPER UNDER ALL EXTERIOR CLADDING. CONTRACTOR TO CHECK AND VERIFY ALL LEVELS AND DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.
 - 1.5. DO NOT SCALE OFF DRAWINGS.
 - 1.6. ALL FLASHINGS & WEATHER PROOFING TO COMPLY WITH THE LATEST NZBC/E2/AS1 EXTERNAL MOISTURE.
 - 1.7. ALL EXPOSED TIMBER TO BE TREATED H3 WHERE IT IS PARTIALLY COVERED BY EARTH & EXPOSED TO WEATHER.
 - 1.8. ALL EXPOSED TIMBER TO BE TREATED RADIATA H3.2.
 - 1.9. EXTERNAL FRAMES TO BE H1.2 UNLESS STATED OTHERWISE.

0	10/04/2025
REVISION:	
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025
PROJECT No:	
RELOCATABLE DWELLING	
CLIENT:	
KIRKPATRICK	
ADDRESS:	
706 PAKARU ROAD	
KAWAKAWA	
Lot 1 DP 542075	
SHEET TITLE:	
WHITNEY ELEVATIONS	
LAMBETH architectural	
ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES	
LAMBETH ARCHITECTURAL LIMITED	
1008 VICTORIA STREET, DARGAVILLE	
(04) 434 1015	
office@lambetharchitectural.co.nz	
SCALE: 1:100	ORIG SHEET SIZE: A2
DRAWN: JAL	DATE: 10/04/2025
COUNCIL: FNDG	PROJECT No:
ZONE:	
EARTHQUAKE ZONE: ZONE 1	
EXPOSURE ZONE: ZONE 1	
CLIMATE ZONE: 1	
RAINFALL RANGE: 100 - 150	
WIND ZONE: EXTRA HIGH	
25/06	



1:50

0		10/04/2025	
REVISION:			
CHECKED BY:		10/04/2025	
APPROVED BY:		10/04/2025	
PROJECT NO:			
RELOCATABLE DWELLING			
CLIENT:			
KIRKPATRICK			
ADDRESS:			
706 PAKARU ROAD KAWAKAWA			
Lot 1 DP 542075			
SHEET TITLE:			
WHITNEY FLOOR PLAN			
 LAMBETH architectural			
ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES			
LAMBETH ARCHITECTURAL LIMITED 1008 VICTORIA STREET, DARGAVILLE, NORTHLAND (09) 4381 1015 office@lambetharchitectural.co.nz			
SCALE: 1:50		ORIG SHEET SIZE: A2	
DRAWN: JAL		DATE: 10/04/2025	
COUNCIL: FNDC		PROJECT NO:	
ZONE: EARTHQUAKE ZONE EXPLOSION ZONE CLIMATE ZONE RAINFALL RANGE WIND ZONE		ZONE 1 ZONE G 1 95 - 100 EXTRA HIGH	
		25/06	



- EXISTING HOT WATER CYLINDER LOCATION TO BE COS
- HOT WATER CYLINDER TO BE SEISMICALLY RESTRAINED AS PER NZBC G12 FIG 14.
- HWC TO HAVE OVERFLOW PIPE (COPPER), AND THEN DISCHARGE OUTSIDE THE BUILDING ENVELOPE.
- SAFE TRAY AS PER NZBC G12 5.2.3 IS REQUIRED BENEATH ALL HWC, PLUMBED TO TAKE ACCIDENTAL OVERFLOW SAFELY OUTSIDE.

DOOR TO BE PERMANENTLY CLOSED
NO ACCESS DECK REQUIRED

FALL PREVENTION - INSTALL CHILD-RESISTANT LATCH TO RESTRICT ACCESS TO ELEVATED AREA PER NZBC F4.3.1 AND F4/A5.1.

NOTE: ALL AREAS ARE INDICATIVE ONLY. DIMENSIONS MUST BE
CONFIRMED ON SITE PRIOR TO CONSTRUCTION OR ORDERING.

STORMWATER
EXISTING Ø80NB DOWN PIPE
DISTRIBUTION BOARD AND METERBOX
LOCATION TO BE COS
INDICATIVE SW PIPES ARE SHOWN ON THE
EXISTING FLOORPLAN.
THIS IS AN INDICATIVE SERVICES PLAN ONLY
THE LOCATION OF EXISTING PLUMBING
UNDER THE BUILDING WILL NEED TO BE COS
AND CONNECTED TO NEW Ø100 UPVC SS &
SW PIPES AS REQUIRED.

Q

10/04/2025

REVISION:

CHECKED BY: 10/04/2025
APPROVED BY: 10/04/2025

PROJECT NO:

RELOCATABLE DWELLING

CLIENT:

KIRKPATRICK

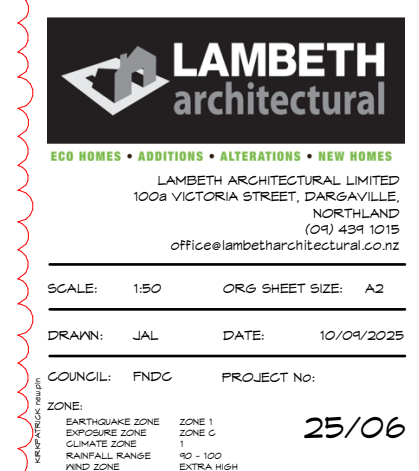
ADDRESS:

706 PAKARU ROAD
KANAWAKAWA

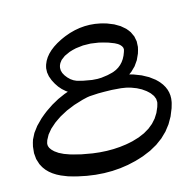
Lot 1 DP 542075

SHEET TITLE:

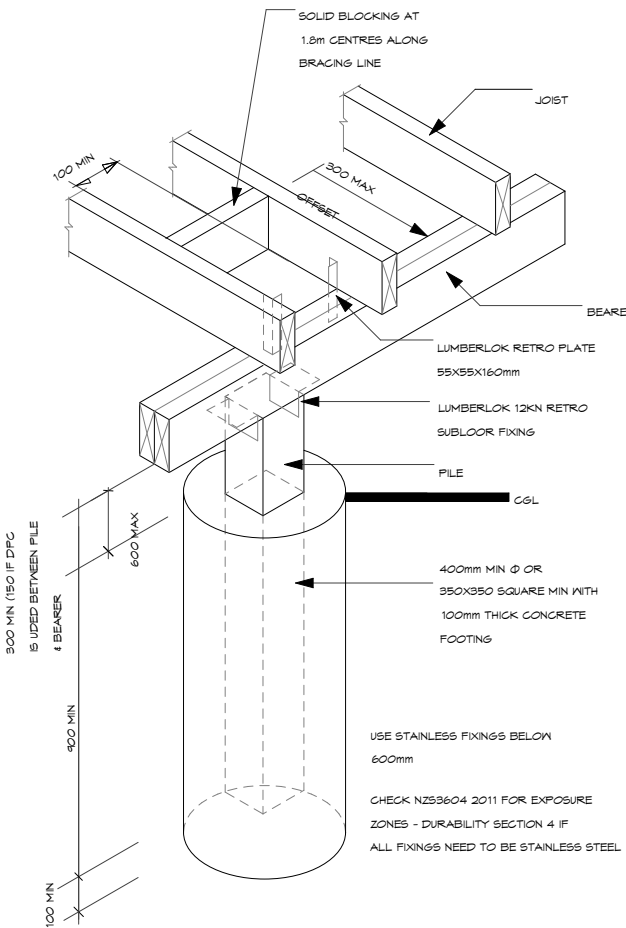
WHITNEY SERVICE PLAN



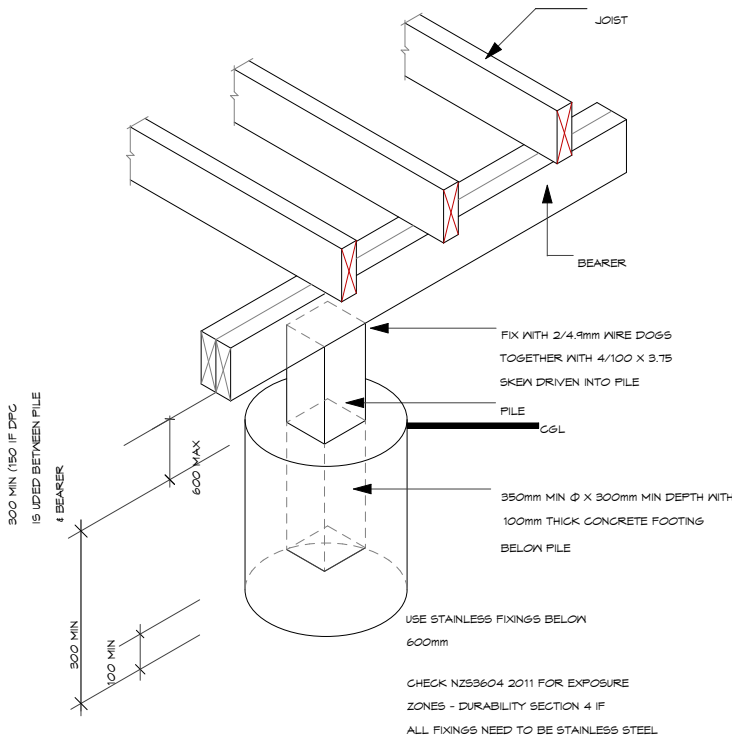
WHITNEY SERVICE PLAN 1:50



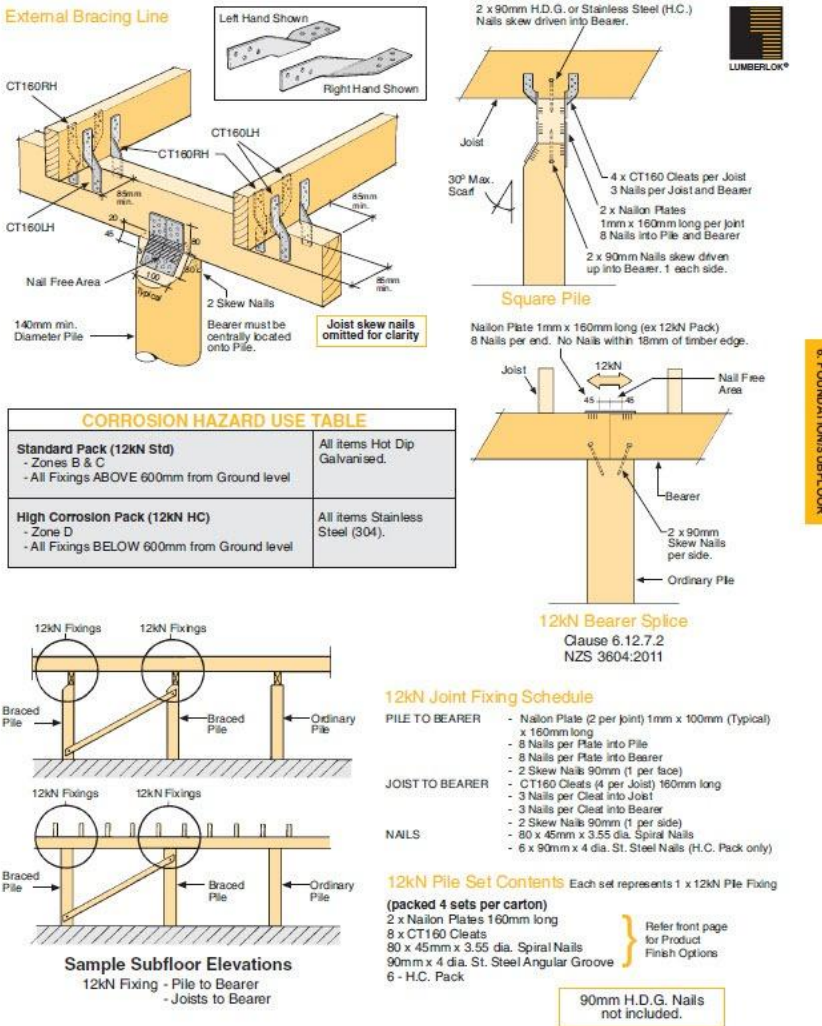
CORROSION HAZARD TABLE	
MEDIUM CORROSION PACK (6KN MC) - ZONES B & C - IF JOISTS TO BEARER FIXINGS ABOVE 600MM FROM GROUND LEVEL	PILE TO BEARER FIXINGS STAINLESS STEEL (304) JOIST TO BEARER FIXINGS. HOT DIP GALVANISED
HIGH CORROSION PACK (6KN HC) - ZONE D - ALL FIXINGS BELOW 600MM FROM GROUND LEVEL	ALL ITEMS STAINLESS STEEL (304)



ANCHOR PILE 1:20



LOAD BEARING ORDINARY PILE 1:20

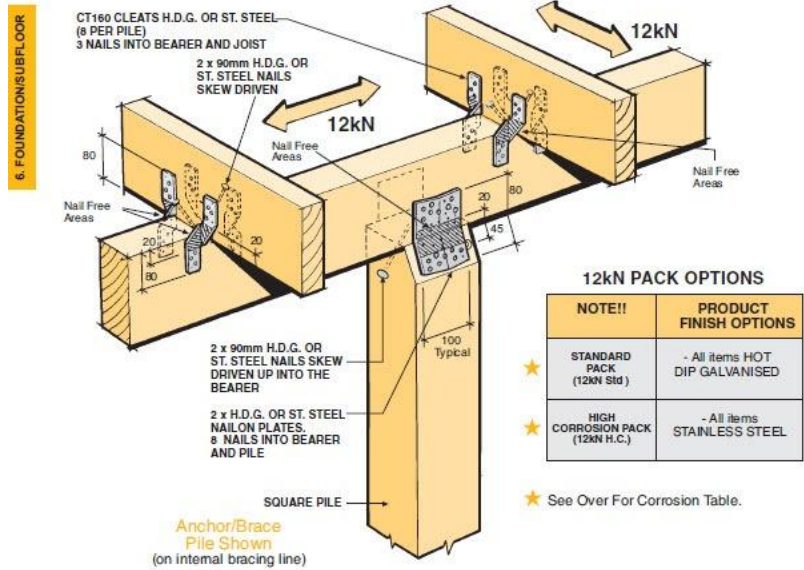


45

© Copyright 2011 MiTek Holdings, Inc.
All rights reserved.

LUMBERLOK® 12KN PILE FIXING FOR BRACED PILES OR ANCHOR PILES

- ★ The 12kN Pile Fixing must be installed in accordance with this brochure
- ★ Auckland University Tested. Test Ref. 4613
- ★ All subfloor construction must be in accordance with NZS 3604:2011
- ★ NZS 3604 requires lines of lateral support to floor joists within 300mm of beamer or bracing lines, refer to Clause 7.1.2



Available from leading Builders Supply Merchants
throughout New Zealand

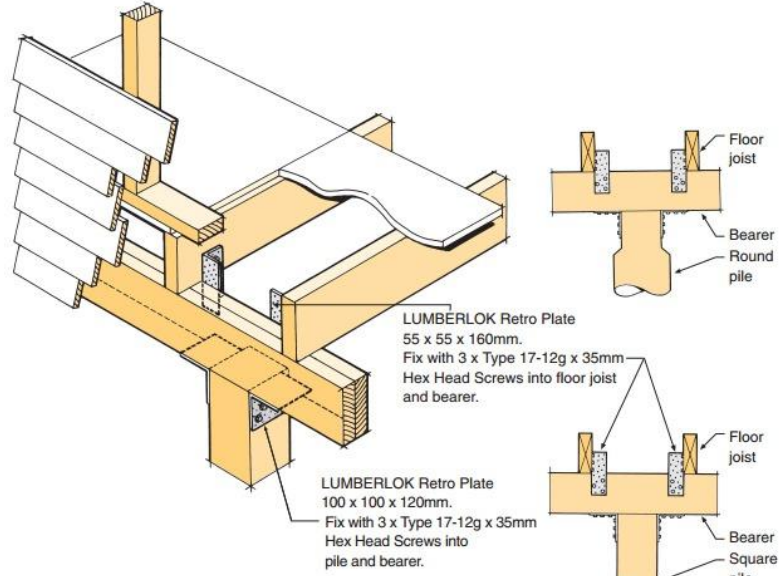


44

© Copyright 2011 MiTek Holdings, Inc.
All rights reserved.

LUMBERLOK® 12KN RETRO SUBFLOOR FIXING

- ★ Fixing to be used when the outside face of the beamer is not accessible e.g. fixing relocatable houses to piles.
- ★ Hot Dip Galvanised or Stainless Steel options available for required corrosive zone.



Code: 12KNRF
Material: 0.91mm G300 Z275 (Hot Dip Galvanised Steel)
Code: 12KNRFH
Material: 0.9mm Stainless Steel 304-2B
Pack Includes: 8 x Retro Plate 55 x 55 x 160mm
8 x Retro Plate 100 x 100 x 120mm
100 x Type 17-12g x 35mm Hex Head Screws



MiTek New Zealand Limited

AUCKLAND
PO BOX 10114, BRIDGEWAY 27/28
PHONE 09 274 7128
FAX 09 274 7120
WWW.MITEK.CO.NZ

CHRECHURCH
PO BOX 10114, BRIDGEWAY 27/28
PHONE 09 274 7128
FAX 09 274 7120
WWW.MITEK.CO.NZ

© Copyright 2011 MiTek Holdings, Inc.
All rights reserved.

Subfloor Level Along Resistance Sheet

Job Name: R KIRKPATRICK								Wind	EQ
								Demand	
								829	711
								Achieved	
								1760	1320
								212%	186%
Line	Element	Length or No.	Angle (degrees)	Type	Supplier	Wind (BUs)	EQ (BUs)		
	1	1.00		Anchor Pile	NZS3604	160	120		
	2	1.00		Anchor Pile	NZS3604	160	120		
	3	1.00		Anchor Pile	NZS3604	160	120		
A	4	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 14						640 OK	480 OK	
	5	1.00		Anchor Pile	NZS3604	160	120		
	6	1.00		Anchor Pile	NZS3604	160	120		
B	7	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 14						480 OK	360 OK	
	7	1.00		Anchor Pile	NZS3604	160	120		
	8	1.00		Anchor Pile	NZS3604	160	120		
C	9	1.00		Anchor Pile	NZS3604	160	120		
	10	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 14						640 OK	480 OK	

Subfloor Level Across Resistance Sheet

Job Name: R KIRKPATRICK								Wind	EQ
								Demand	
								1615	711
								Achieved	
								1760	1320
								109%	186%
Line	Element	Length or No.	Angle (degrees)	Type	Supplier	Wind (BUs)	EQ (BUs)		
	11	1.00		Anchor Pile	NZS3604	160	120		
	12	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 6.3						320 OK	240 OK	
M	13	1.00		Anchor Pile	NZS3604	160	120		
	14	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 6.3						320 OK	240 OK	
	15	1.00		Anchor Pile	NZS3604	160	120		
O	16	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 6.3						160 OK	120 OK	
	17	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 6.3						160 OK	120 OK	
P	18	1.00		Anchor Pile	NZS3604	160	120		
	19	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 7						320 OK	240 OK	
	20	1.00		Anchor Pile	NZS3604	160	120		
Q	21	1.00		Anchor Pile	NZS3604	160	120		
	External Length = 5.2						320 OK	240 OK	

WHITNEY FOUNDATION

DETAILS

0 10/04/2025

REVISION:
CHECKED BY: 10/04/2025
APPROVED BY: 10/04/2025

PROJECT NO:
RELOCATABLE DWELLING

CLIENT:
KIRKPATRICK

ADDRESS:
706 PAKARU ROAD
KAWAKAWA

Lot 1 DP 542075

SHEET TITLE:
WHITNEY FOUNDATION



ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES
LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(04) 434 1015
office@lambetharchitectural.co.nz

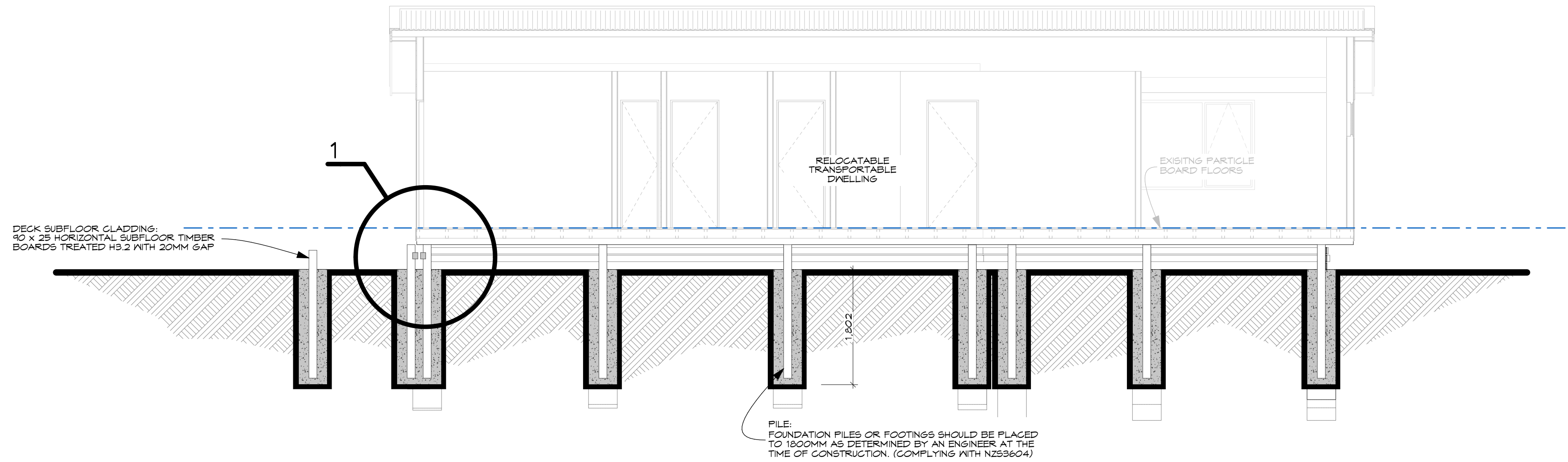
SCALE: DETAILS ORG SHEET SIZE: A2

DRAWN: JAL DATE: 10/04/2025

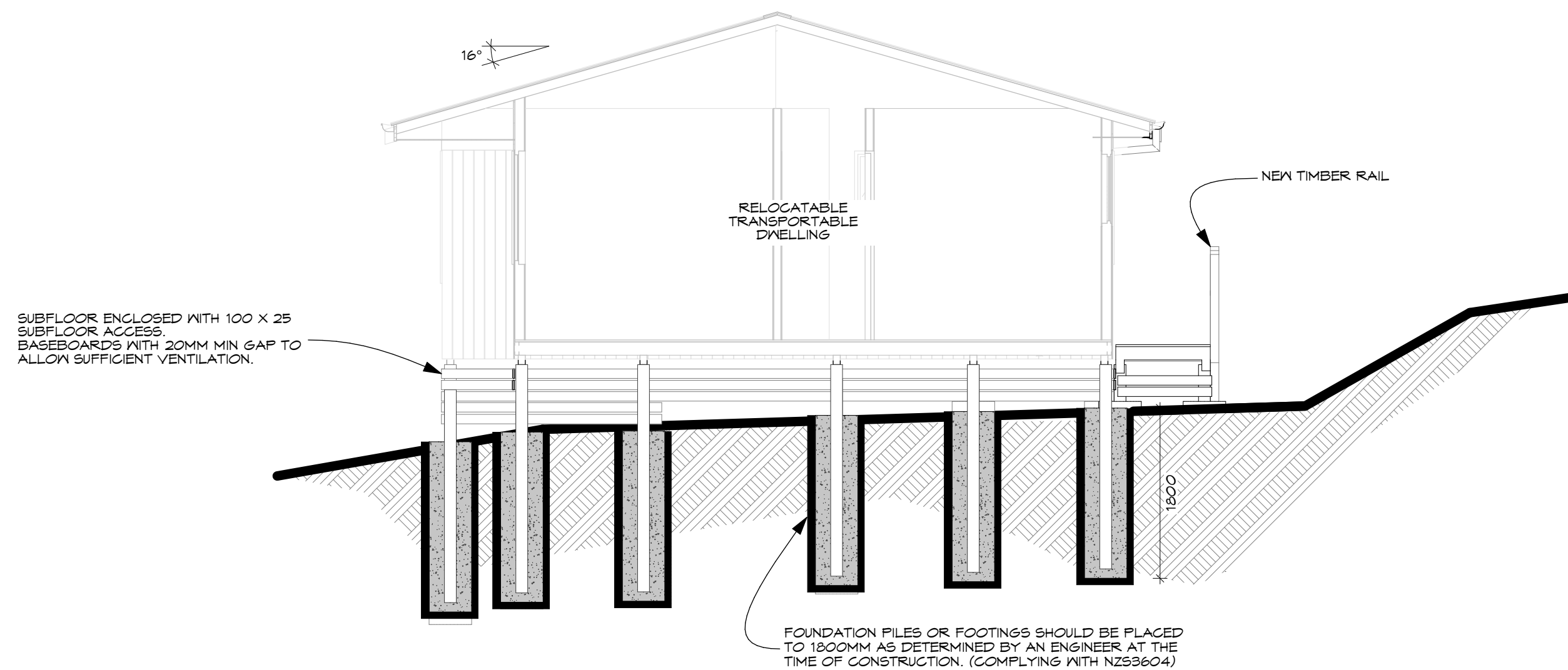
COUNCIL: FNDG PROJECT NO:

ZONE:
EARTHQUAKE ZONE: ZONE 1
EXPOSURE ZONE: ZONE 1
CLIMATE ZONE: 1
RAINFALL RANGE: 10 - 150
WIND ZONE: EXTRA HIGH

25/06




SECTION A - A 1:50



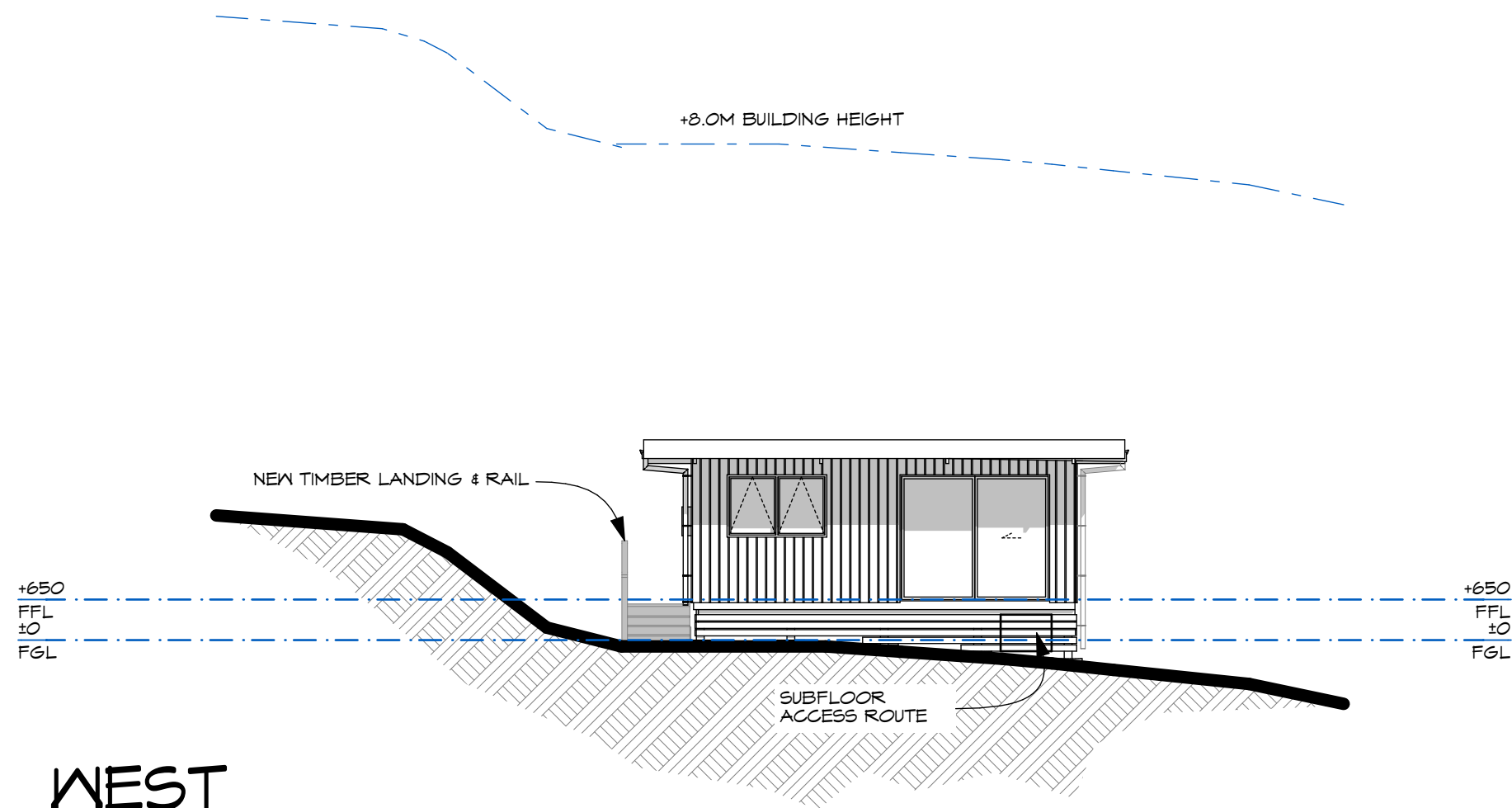
SECTION B - B 1:50

WHITNEY CROSS SECTIONS 1:50

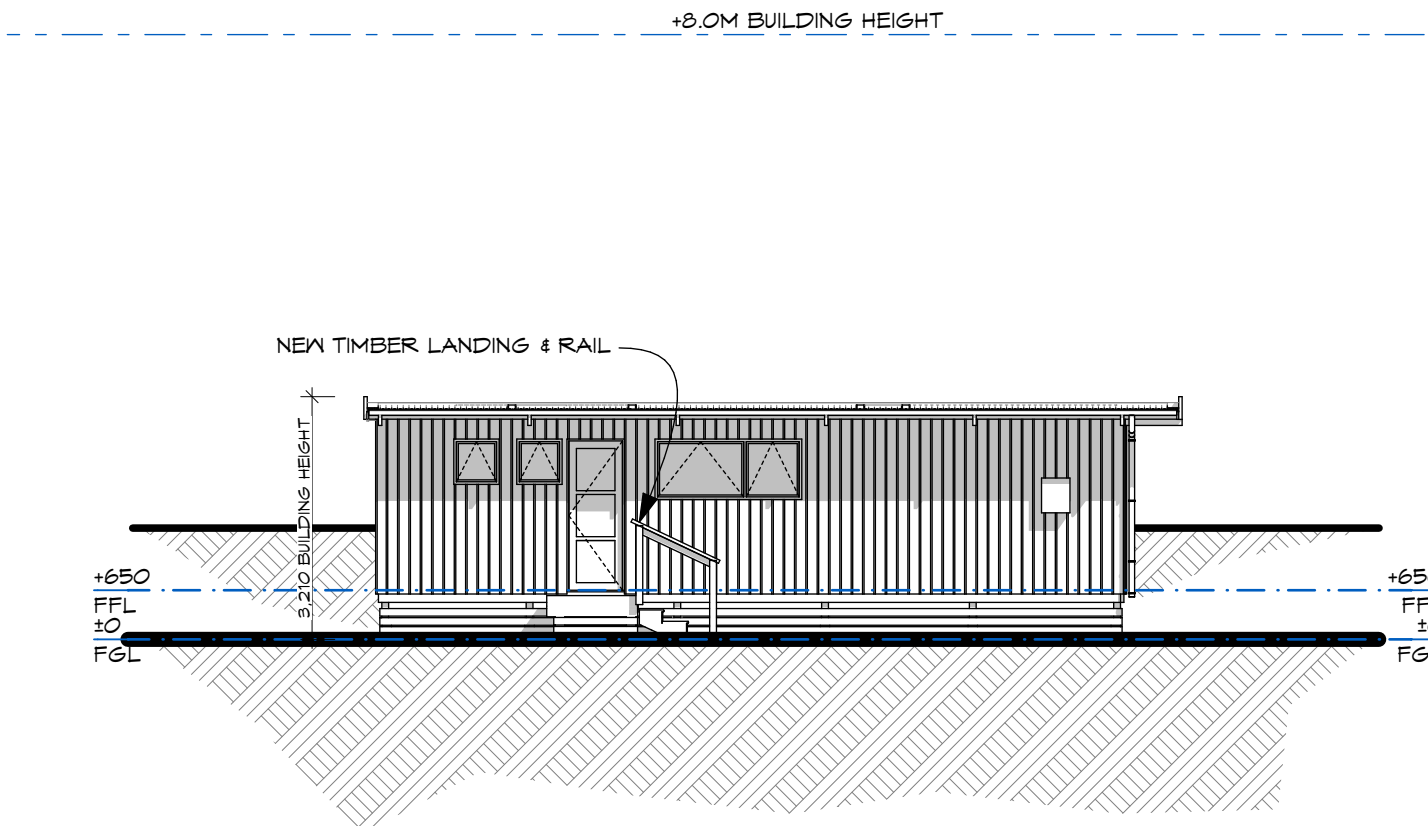
0	10/04/2025
REVISION:	
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025
PROJECT No:	
RELOCATABLE DWELLING	
CLIENT:	KIRKPATRICK
ADDRESS:	706 PAKARU ROAD KAWAKAWA
Lot 1 DP 542075	
SHEET TITLE:	WHITNEY CROSS SECTIONS
<div><div></div><div><div>ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES</div><div>LAMBETH ARCHITECTURAL LIMITED 1008 VICTORIA STREET, DARGAVILLE, NORTHLAND (04) 434 1015 office@lambetharchitectural.co.nz</div></div></div>	
SCALE:	1:50 ORG SHEET SIZE: A2
DRAWN:	JAL DATE: 10/04/2025
COUNCIL:	FINDC PROJECT No:
ZONE:	25/06
EARTHQUAKE ZONE:	ZONE 1
EXPOSURE ZONE:	ZONE 1
CLIMATE ZONE:	1
RAINFALL RANGE:	10 - 100
WIND ZONE:	EXTRA HIGH

TE HANA

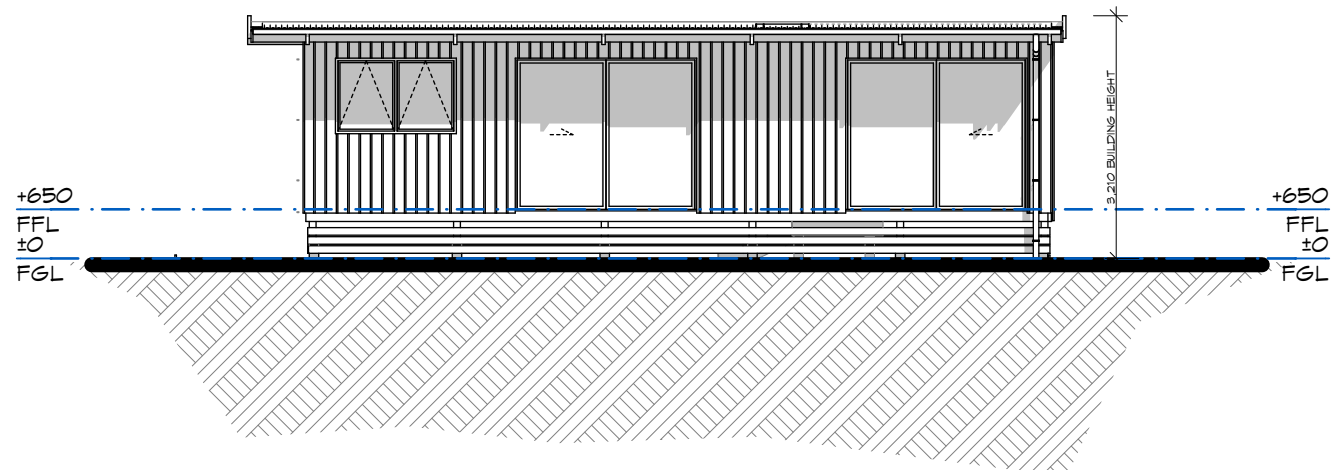
21/02/2022 12:22



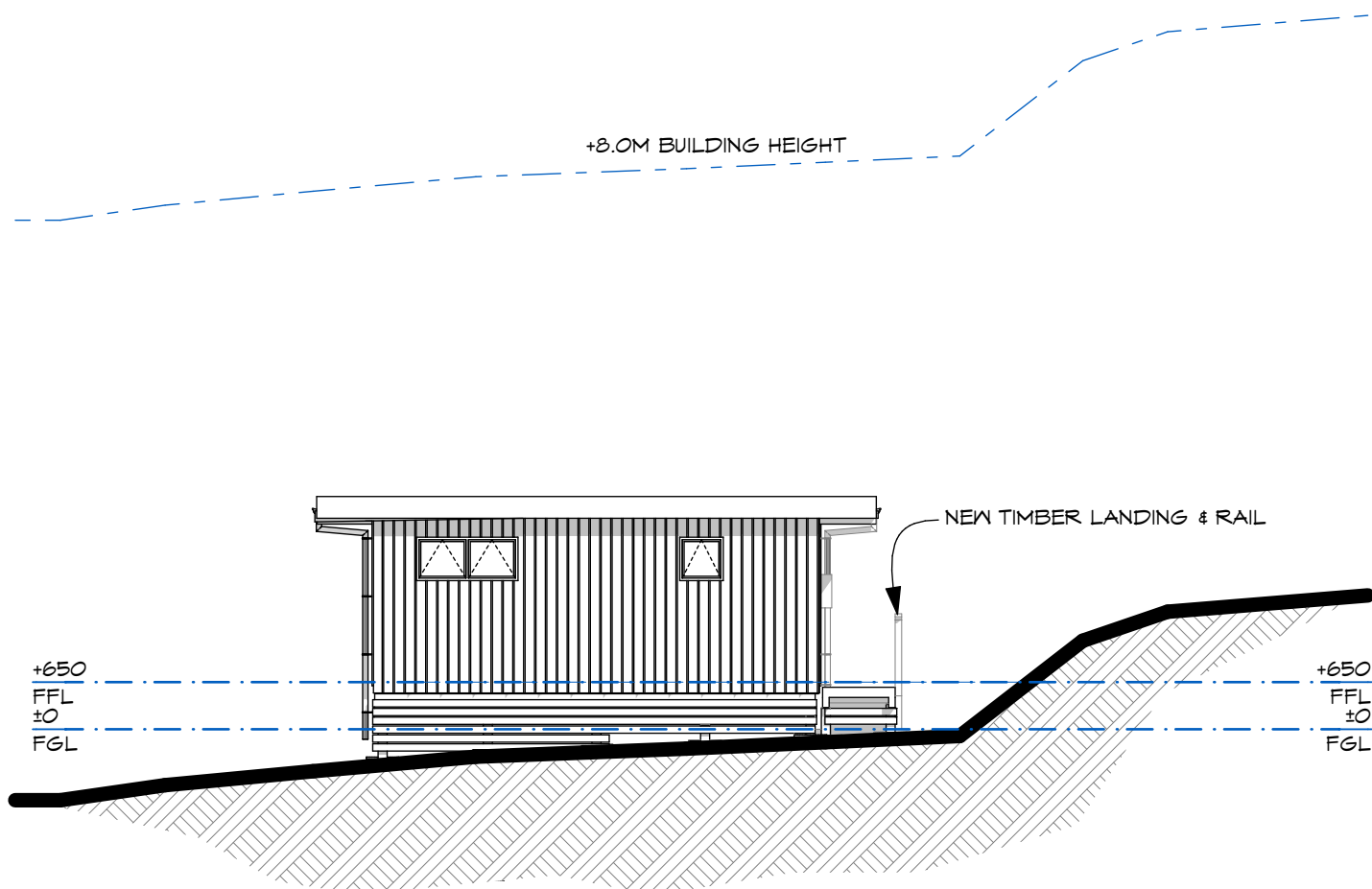
WEST



NORTH



SOUTH



EAST

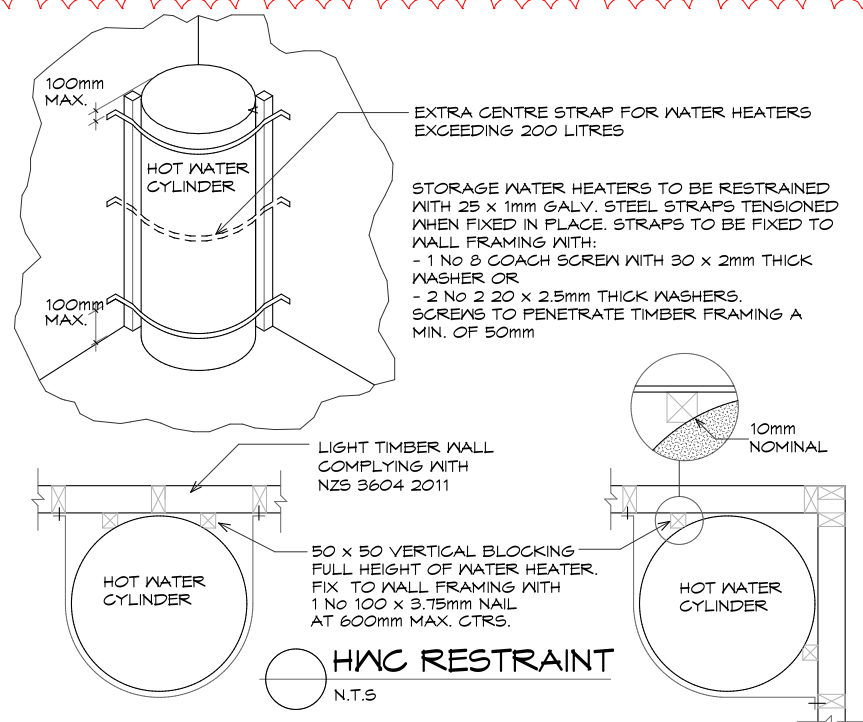
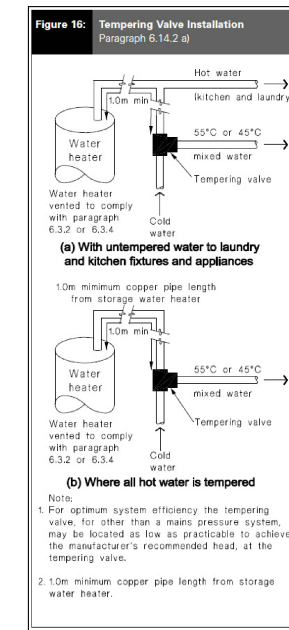
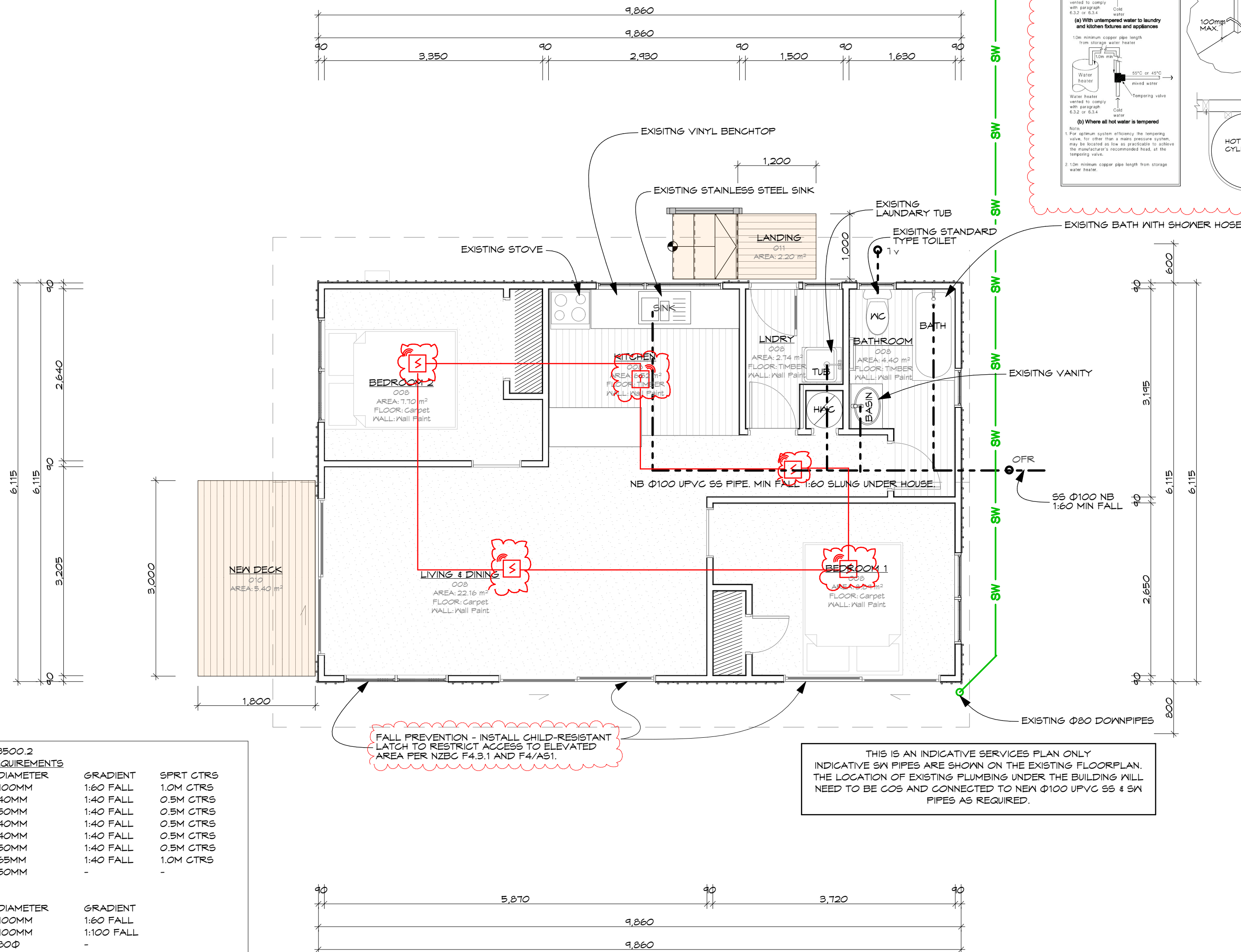
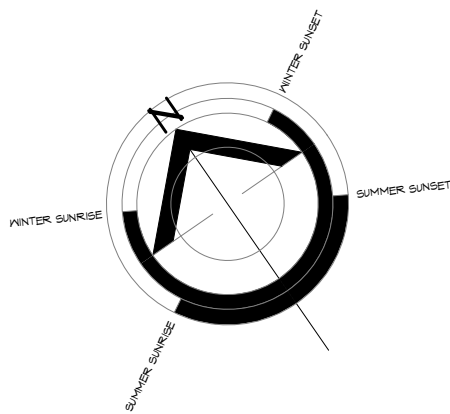
TE HANA ELEVATION

1:100

0	10/04/2025
REVISION:	
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025
PROJECT No:	
RELOCATABLE DWELLING	
CLIENT:	
KIRKPATRICK	
ADDRESS:	
706 PAKARU ROAD KAWAKAWA	
Lot 1 DP 542075	
SHEET TITLE:	
TE HANA ELEVATION	
 LAMBETH architectural	
<small>ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES</small> <small>LAMBETH ARCHITECTURAL LIMITED</small> <small>100a VICTORIA STREET, DARGAVILLE</small> <small>NORTHLAND</small> <small>(04) 434 1015</small> <small>office@lambetharchitectural.co.nz</small>	
SCALE:	1:100 ORG SHEET SIZE: A2
DRAWN:	JAL DATE: 10/04/2025
COUNCIL:	FNDG PROJECT No:
ZONE:	25/06
<small>EARTHQUAKE ZONE: ZONE 1</small> <small>EXPOSURE ZONE: ZONE 1</small> <small>CLIMATE ZONE: 1</small> <small>RAINFALL RANGE: 10 - 100</small> <small>WIND ZONE: EXTRA HIGH</small>	



1:50



- BATH- Ø50 STRAP - Ø65 TO DRAIN
W/B- Ø40 TRAP - Ø65 TO DRAIN
WC - Ø100 TO DRAIN - Ø65 VENT ON LINE
LAUNDRY - Ø50 TO TRAP - Ø65 TO DRAIN
KITCHEN- Ø50 TO TRAP - Ø65 TO U
Ø100 TO HORIZONTAL STACK WITH U TO DRAIN MIN FALL 1:60
ALLOW FOR WASHING MACHINE
ALLOW FOR DISHWASHER
Ø80NB TERMINAL VENT
OVERFLOW RELIEF
INSPECTION BEND
INSPECTION JUNCTION

HOT WATER CYLINDER

- EXISTING HOT WATER CYLINDER LOCATION TO BE COS
- HOT WATER CYLINDER TO BE SEISMICALLY RESTRAINED AS PER NZBC G12 FIG 14.
- HWC TO HAVE OVERFLOW PIPE (COPPER), AND THEN DISCHARGE OUTSIDE THE BUILDING ENVELOPE.
- SAFE TRAY AS PER NZBC G12 5.2.3 IS REQUIRED BENEATH ALL HWC, PLUMBED TO TAKE ACCIDENTAL OVERFLOW SAFELY OUTSIDE.

Code Reference: AS/NZS 3500.2 PLUMBING PIPE SIZES & REQUIREMENTS

FITTING	DIAMETER	GRADIENT	SPRT CTRS
WC	100MM	1:60 FALL	1.0M CTRS
VANITY	40MM	1:40 FALL	0.5M CTRS
LAUNDRY	50MM	1:40 FALL	0.5M CTRS
BATH	40MM	1:40 FALL	0.5M CTRS
SHOWER	40MM	1:40 FALL	0.5M CTRS
KITCHEN	50MM	1:40 FALL	0.5M CTRS
COMBINED WASTE	65MM	1:40 FALL	1.0M CTRS
TERMINAL VENTS	50MM	-	-

DRAINAGE PIPE SIZES

SYSTEM	DIAMETER	GRADIENT
SANITARY SEWER	100MM	1:60 FALL
STORMWATER	100MM	1:100 FALL
DOWNPIPES	80Ø	-

STORMWATER
EXISTING Ø80NB DOWN PIPE
DISTRIBUTION BOARD AND METERBOX LOCATION TO BE COS
INDICATIVE SW PIPES ARE SHOWN ON THE EXISTING FLOORPLAN.
THIS IS AN INDICATIVE SERVICES PLAN ONLY
THE LOCATION OF EXISTING PLUMBING UNDER THE BUILDING WILL NEED TO BE COS AND CONNECTED TO NEW Ø100 UPVC SS & SW PIPES AS REQUIRED.

THIS IS AN INDICATIVE SERVICES PLAN ONLY
INDICATIVE SW PIPES ARE SHOWN ON THE EXISTING FLOORPLAN.
THE LOCATION OF EXISTING PLUMBING UNDER THE BUILDING WILL NEED TO BE COS AND CONNECTED TO NEW Ø100 UPVC SS & SW PIPES AS REQUIRED.

FALL PREVENTION - INSTALL CHILD-RESISTANT LATCH TO RESTRICT ACCESS TO ELEVATED AREA PER NZBC F4.3.1 AND F4/AS1.

REVISION:	10/04/2025
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025

PROJECT NO:
RELOCATABLE DWELLING

CLIENT:
KIRKPATRICK

ADDRESS:
706 PAKARU ROAD
KAWAKAWA

Lot 1 DP 542075

SHEET TITLE:
TE HANA SERVICE PLAN



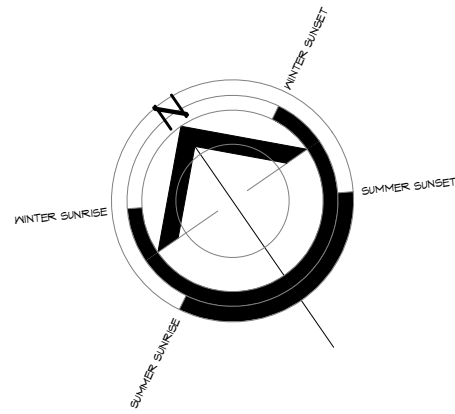
ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES
LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(04) 434 1015
office@lambetharchitectural.co.nz

SCALE: 1:50 OR/6 SHEET SIZE: A2

DRAWN: JAL DATE: 10/04/2025

COUNCIL: FNDG PROJECT NO:

ZONE:	ZONE 1	25/06
EARTHQUAKE ZONE	ZONE 1	
EXPOSURE ZONE	ZONE 1	
CLIMATE ZONE	ZONE 1	
RAINFALL RANG	10 - 150	
WIND ZONE	EXTRA HIGH	



KEY:

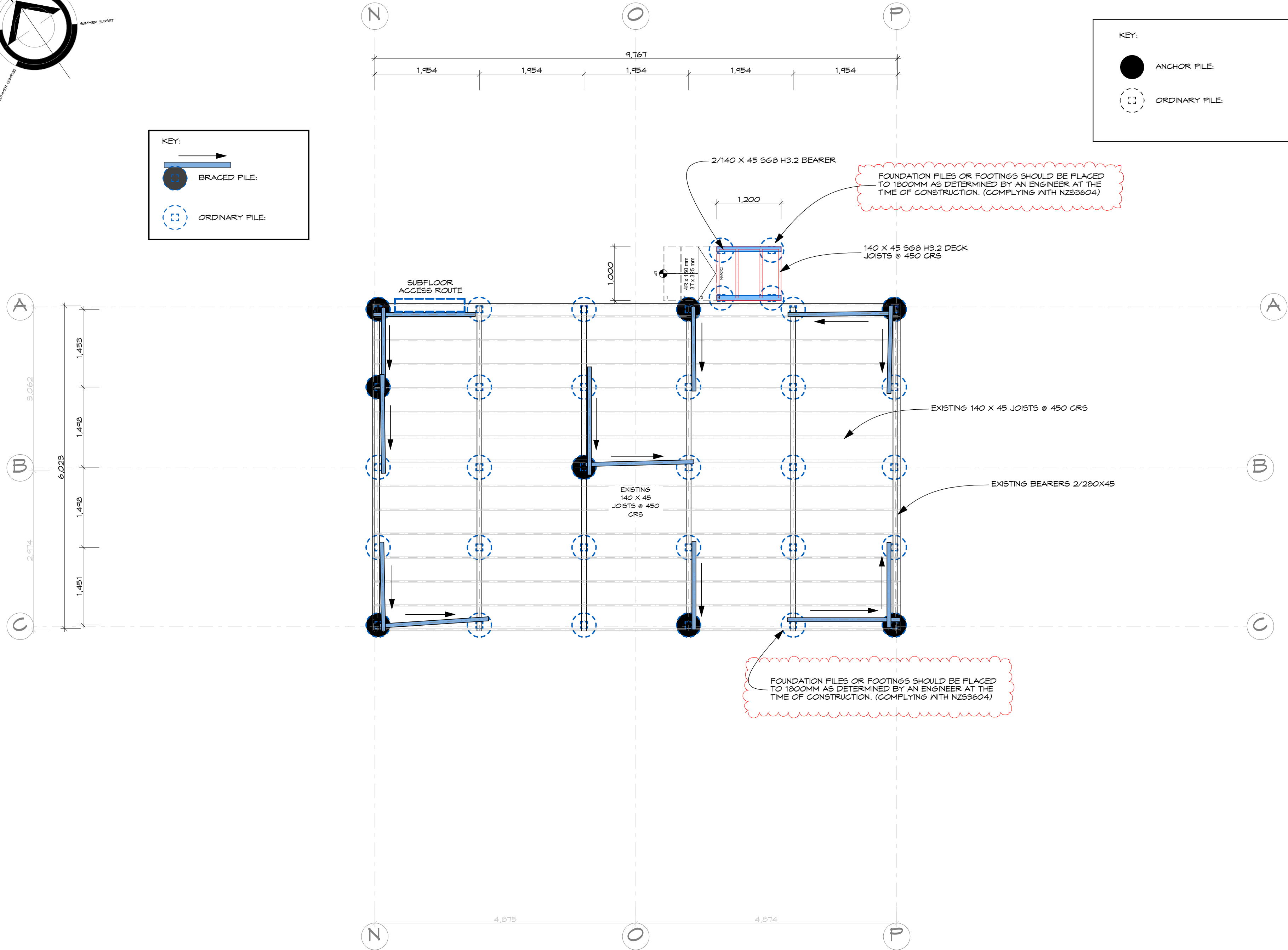
BRACED FILE:

ORDINARY FILE:

KEY:

ANCHOR FILE:

ORDINARY FILE:



TE HANA FOUNDATION PLAN 1:50

0 10/04/2025

REVISION:

CHECKED BY: 10/04/2025

APPROVED BY: 10/04/2025

PROJECT No:

RELOCATABLE DWELLING

CLIENT:

KIRKPATRICK

ADDRESS:

706 PAKARU ROAD
KAWAKAWA

Lot 1 DP 542075

SHEET TITLE:

TE HANA FOUNDATION
PLAN

LAMBETH
architectural

ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES

LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(04) 434 1015
office@lambetharchitectural.co.nz

SCALE: 150 ORG SHEET SIZE: A2

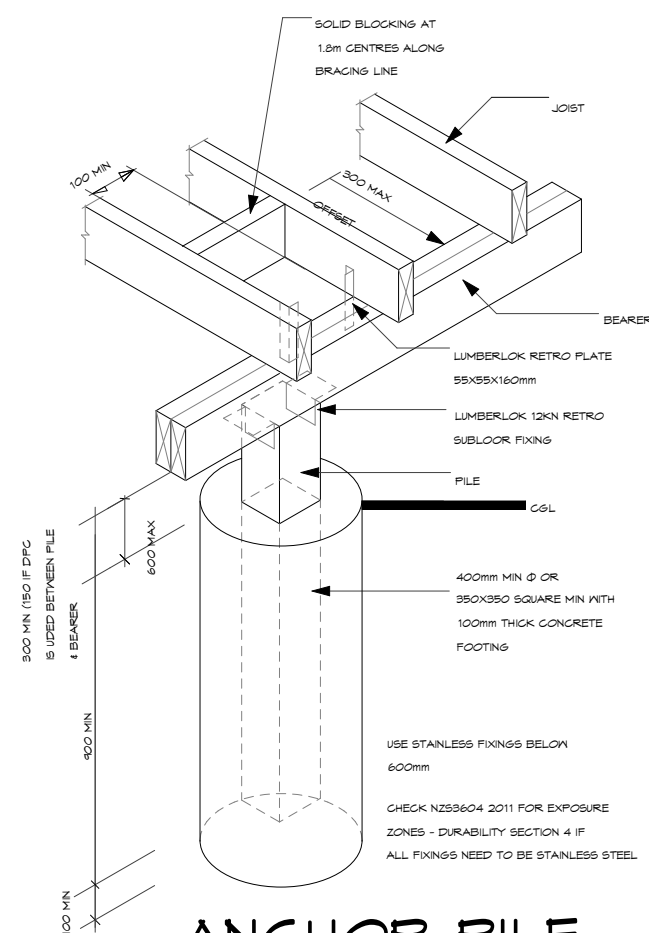
DRAWN: JAL DATE: 10/04/2025

COUNCIL: FNDG PROJECT No:

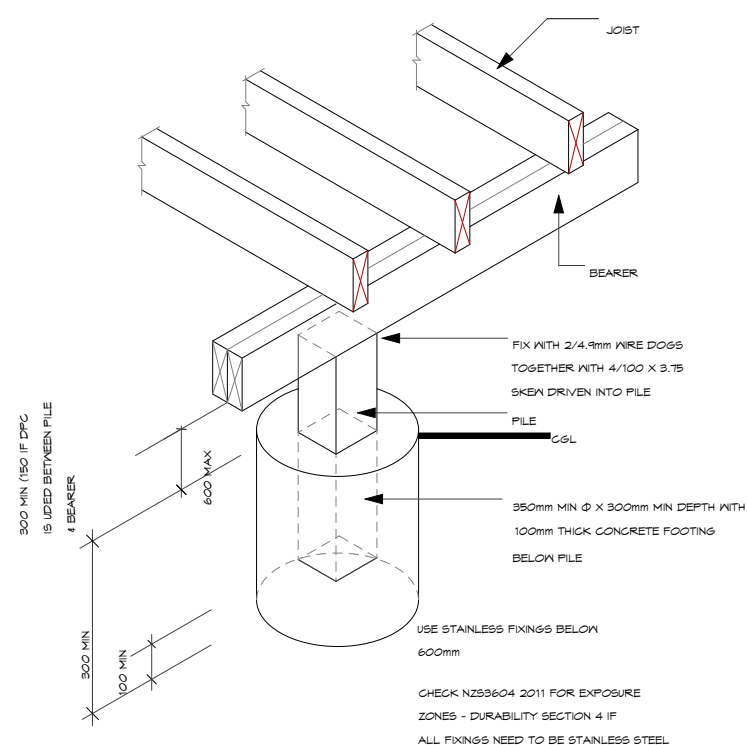
ZONE: EARTHQUAKE ZONE: ZONE 1 EXPOSURE ZONE: ZONE C CLIMATE ZONE: 10 - 100 RAINFALL RANG: EXTRA HIGH FND ZONE:

25/06

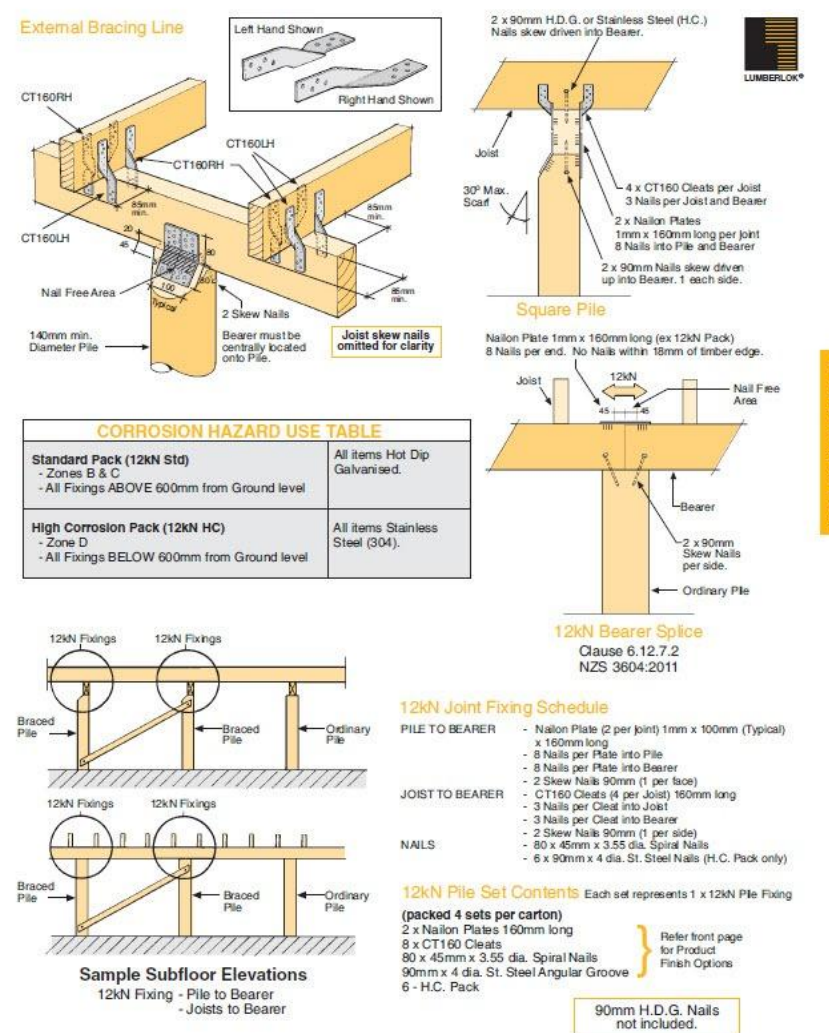
CORROSION HAZARD TABLE	
MEDIUM CORROSION PACK (6KN MC) -ZONES B & C -IF JOISTS TO BEARER FIXINGS ABOVE 600MM FROM GROUND LEVEL	FILE TO BEARER FIXINGS STAINLESS STEEL (304) JOIST TO BEARER FIXINGS. HOT DIP GALVANISED
HIGH CORROSION PACK (6KN HC) -ZONE D -ALL FIXINGS BELOW 600MM FROM GROUND LEVEL	ALL ITEMS STAINLESS STEEL (304)



ANCHOR FILE
1:20



LOAD BEARING
ORDINARY PILE
1:20



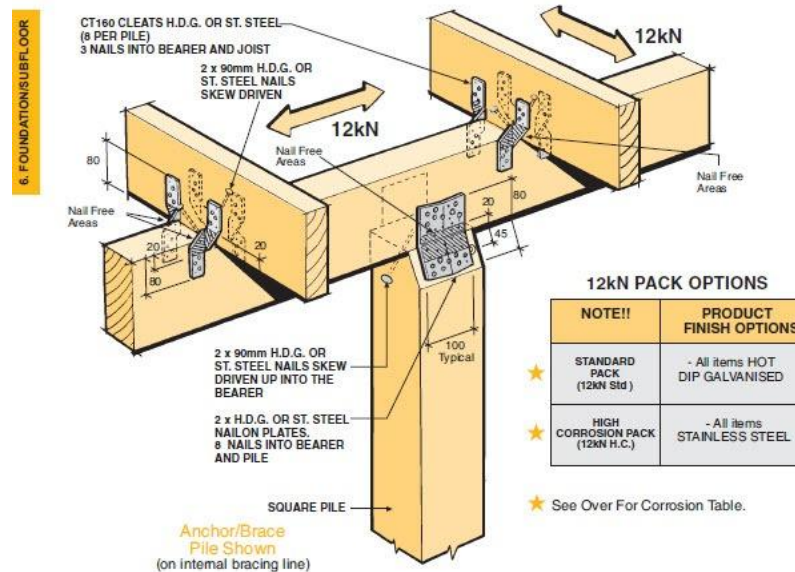
45

© Copyright 2011 MITek Holdings, Inc.



12kN PILE FIXING FOR BRACED PILES OR ANCHOR PILES

- ★ The 12kN Pile Fixing must be installed in accordance with this brochure
- ★ Auckland University Tested. Test Ref. 4613
- ★ All subfloor construction must be in accordance with NZS 3604:2011
- ★ NZS 3604 requires lines of lateral support to floor joists within 300mm of bearer or bracing lines, refer to Clause 7.1.2



Available from leading Builders Supply Merchants
throughout New Zealand



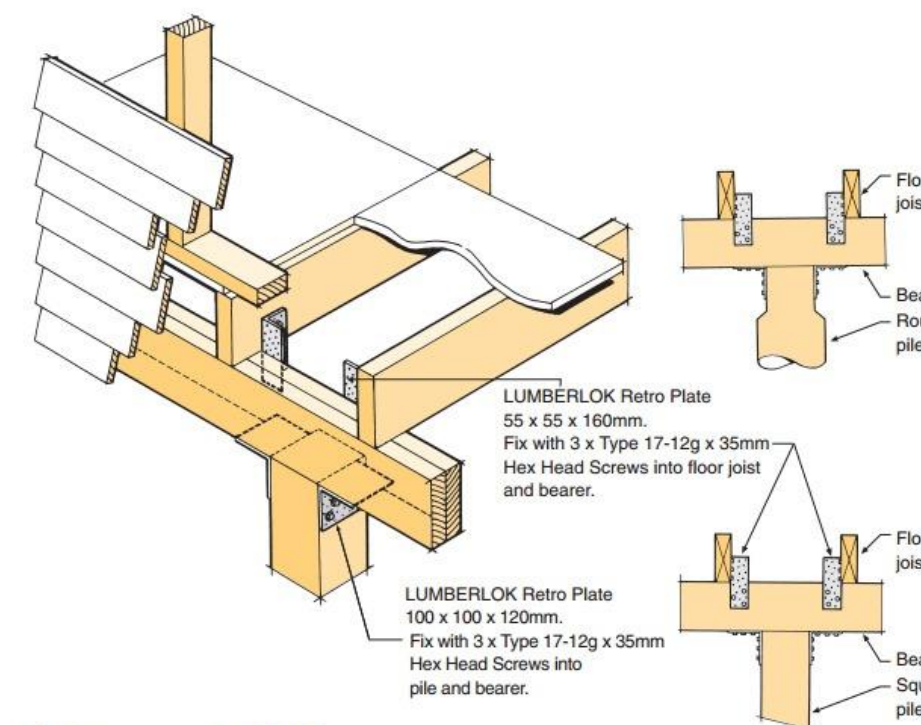
44

© Copyright 2011 MTI Tek Holdings, Inc.



10/2011

- ★ Fixing to be used when the outside face of the bearer is not accessible e.g. fixing relocatable houses to piles.
- ★ Hot Dip Galvanised or Stainless Steel options available for required corrosive zone.



Code: 12KNRFF
Material: 0.91mm G300 Z275 (Hot Dip Galvanised Steel)
Code: 12KNRFFH
Material: 0.9mm Stainless Steel 304-2B
Pack Includes: 8 x Retro Plate 55 x 55 x 160mm
 8 x Retro Plate 100 x 100 x 120mm
 100 x Type 17-12g x 35mm Hex Head Screws



MiTek
GANG-NAIL® LUMBERLOK® BOWMAC®

MiTek New Zealand Limited

AUCKLAND
PO Box 68-014, Botany 2163
Phone: 09-274 7109
Fax: 09-274 7100

CHRISTCHURCH
PO Box 8387, Riccarton 8440
Phone: 03-348 8691
Fax: 03-348 0314

www.mitek.nz.co.nz

CHRISTCHURCH
PO Box 8387, Riccarton 8440
Phone: 03-348 8691
Fax: 03-348 0314

Subfloor Level Along Resistance Sheet

Job Name: R KIRKPATRICK									Wind		EQ					
													Demand			
													775		424	
													Achieved			
Line	Element	Length or No.	Angle (degrees)		Type	Supplier	Wind (BUs)	EQ (BUs)	1600	1200						
A	1	1.00			Anchor Pile	NZS3604	160	120	206%	283%						
	2	1.00			Anchor Pile	NZS3604	160	120								
	External Length = 11.6								320 OK	240 OK						
B	3	1.00			Anchor Pile	NZS3604	160	120								
	4	1.00			Anchor Pile	NZS3604	160	120								
	5	1.00			Anchor Pile	NZS3604	160	120								
	6	1.00			Anchor Pile	NZS3604	160	120								
								640 OK	480 OK							
C	7	1.00			Anchor Pile	NZS3604	160	120								
	8	1.00			Anchor Pile	NZS3604	160	120								
	9	1.00			Anchor Pile	NZS3604	160	120								
	10	1.00			Anchor Pile	NZS3604	160	120								
External Length – 11.6								640 OK	480 OK							

Subfloor Level Across Resistance Sheet

Job Name: R KIRKPATRICK								Wind		EQ			
								Demand					
								1478		424			
								Achieved					
Line	Element	Length or No.	Angle (degrees)	Type	Supplier	Wind (BUs)	EQ (BUs)	1600 108%	1200 283%				
M	11	1.00		Anchor Pile	NZS3604	160	120						
	12	1.00		Anchor Pile	NZS3604	160	120						
External Length = 3								320 OK	240 OK				
N	13	1.00		Anchor Pile	NZS3604	160	120						
	14	1.00		Anchor Pile	NZS3604	160	120						
	15	1.00		Anchor Pile	NZS3604	160	120						
External Length = 6.1								480 OK	360 OK				
O	16	1.00		Anchor Pile	NZS3604	160	120						
	17	1.00		Anchor Pile	NZS3604	160	120						
External Length = 6.1								320 OK	240 OK				
P	18	1.00		Anchor Pile	NZS3604	160	120						
	19	1.00		Anchor Pile	NZS3604	160	120						
	20	1.00		Anchor Pile	NZS3604	160	120						
External Length = 6.1								480 OK	360 OK				

10/09/2025

REVISION:

CHECKED BY: 10/09/2025
APPROVED BY: 10/09/2025

PROJECT NO:

RELOCATABLE DWELLING

CLIENT:

KIRKPATRICK

706 PAKARU ROAD
KANAKAWA

Lot 1 DP 542075

SHEET TITLE:

TE HANA FOUNDATION DETAILS



ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES

LAMBETH ARCHITECTURAL LIMITED
100a VICTORIA STREET, DARGAVILLE,
NORTHLAND
(09) 439 1015
office@lambetharchitectural.co.nz

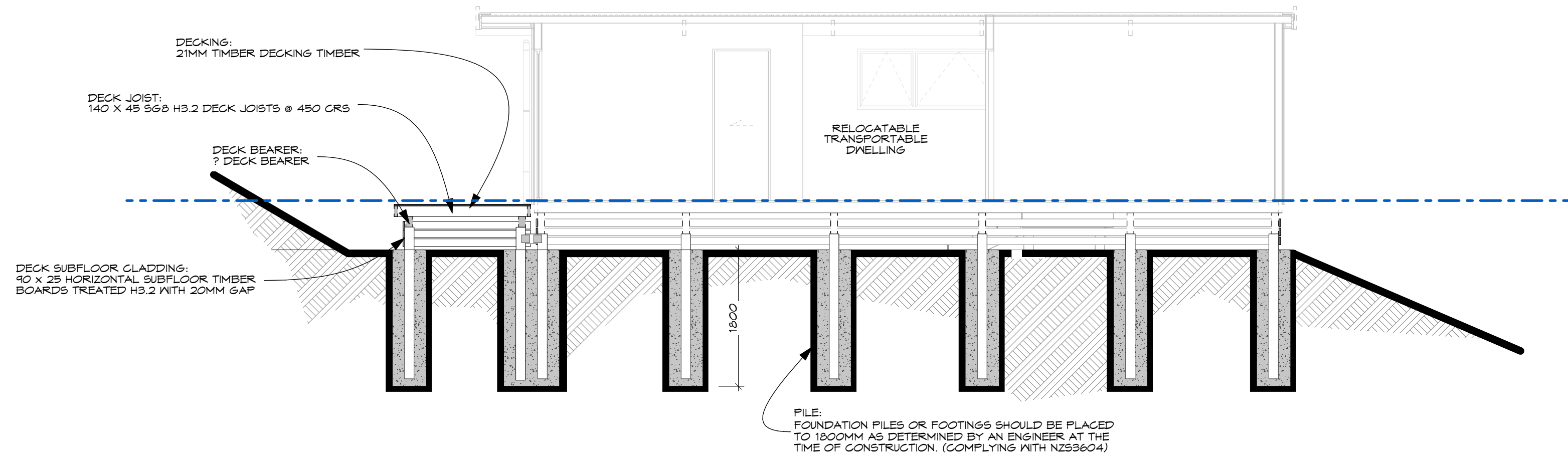
SCALE: ORG SHEET SIZE: A2

DRAWN: JAL DATE: 10/09/2025

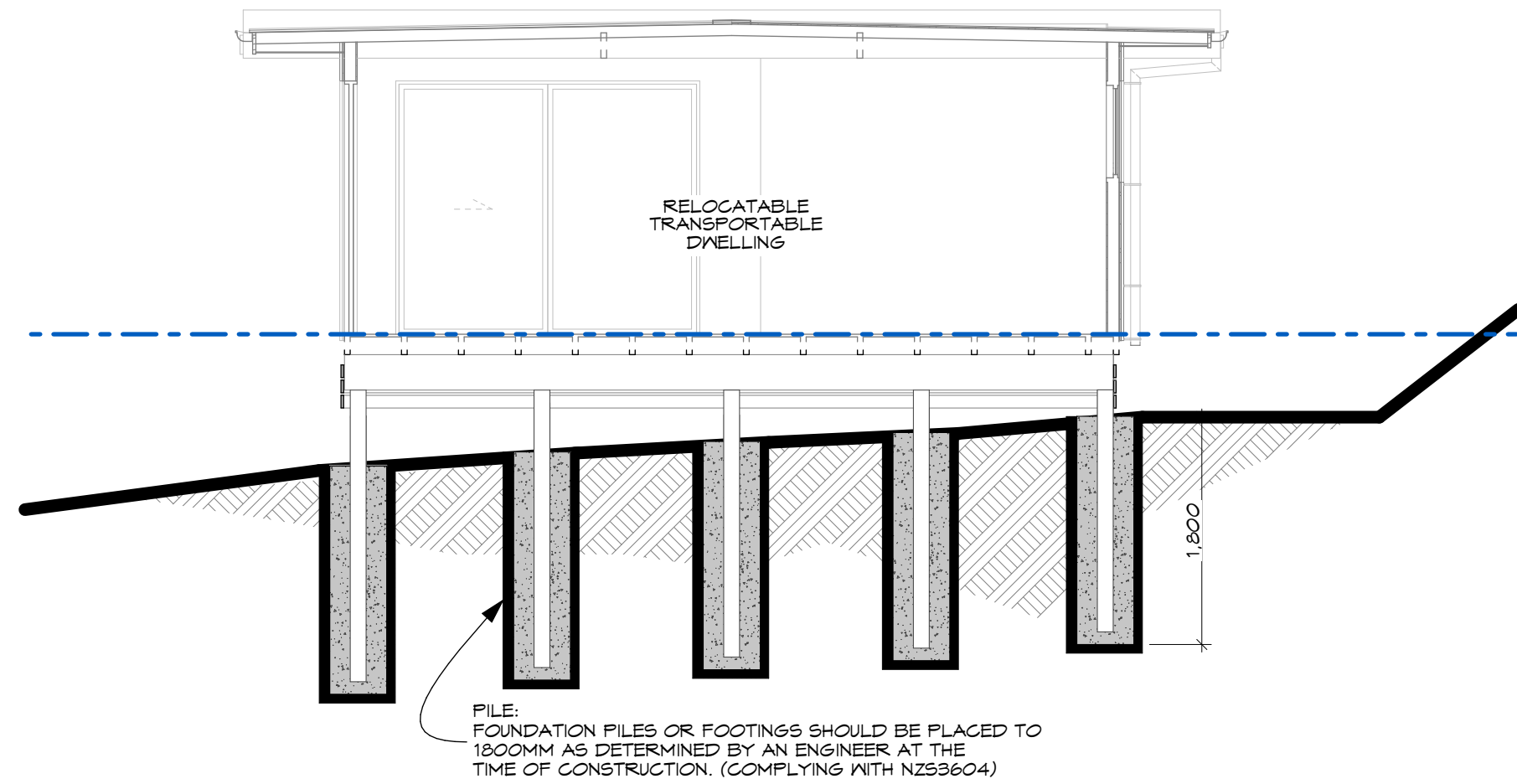
COUNCIL: FNDC PROJECT No:

EARTHQUAKE ZONE ZONE 1
 EXPOSURE ZONE ZONE G
 CLIMATE ZONE 1
 RAINFALL RANGE 80 - 100
 WIND ZONE [EXTRA HIGH]

TE HANA FOUNDATION DETAILS




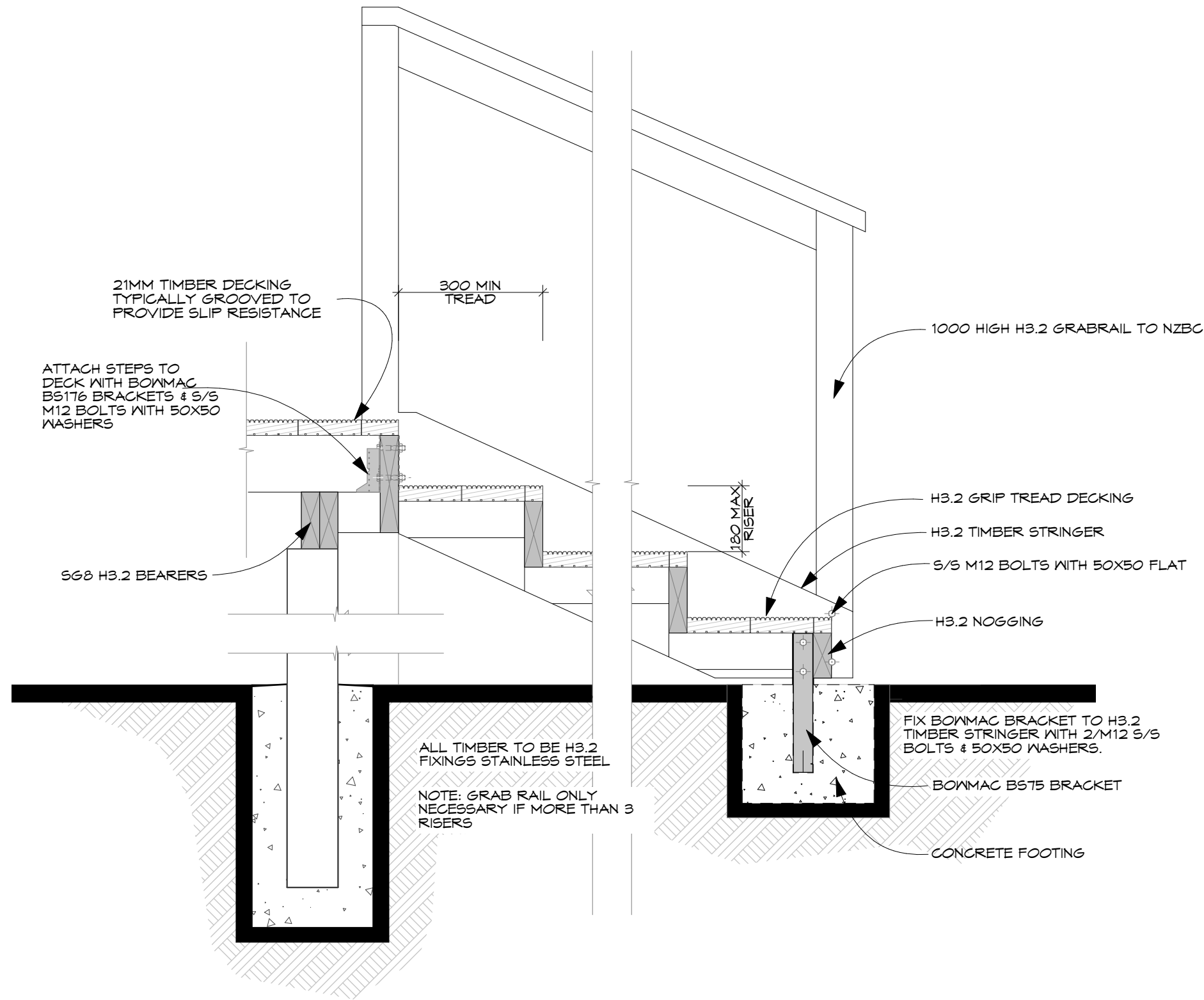
SECTION A - A 1:50



SECTION B - B 1:50

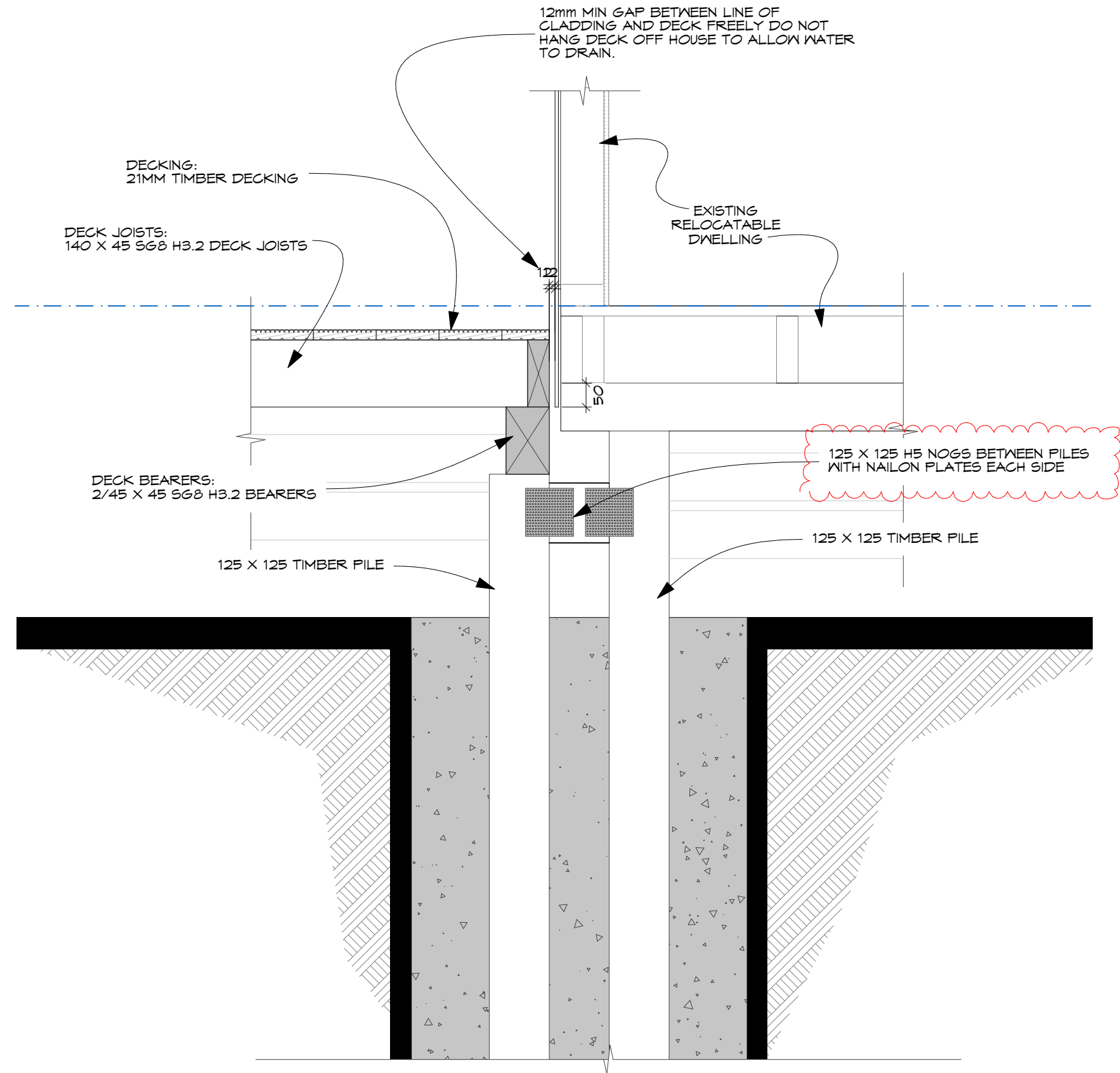
TE HANA CROSS SECTION 1:50

0	10/04/2025
REVISION:	
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025
PROJECT No:	
RELOCATABLE DWELLING	
CLIENT:	KIRKPATRICK
ADDRESS:	706 PAKARU ROAD KAWAKAWA
Lot 1	DP 542075
SHEET TITLE:	TE HANA CROSS SECTION
 LAMBETH architectural	
ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES	
LAMBETH ARCHITECTURAL LIMITED 100a VICTORIA STREET, DARGAVILLE, NORTHLAND (04) 434 1015 office@lambetharchitectural.co.nz	
SCALE:	1:50 ORG SHEET SIZE: A2
DRAWN:	JAL DATE: 10/04/2025
COUNCIL:	FINDC PROJECT No:
ZONE:	
EARTHQUAKE ZONE:	ZONE 1
EXPOSURE ZONE:	ZONE 1
CLIMATE ZONE:	1
RAINFALL RANGE:	10 - 100
WIND ZONE:	EXTRA HIGH
	25/06



TIMBER STEP & GRAB RAIL DETAIL 1:10

STAIR NOTES:
(RISER HEIGHT AND TREAD DEPTH FOR ALL STEPS IN ONE FLIGHT, SHALL BE UNIFORM WITHIN THE TOLERANCE OF 5MM MEASURED AT THE CENTERLINE ON STRAIGHT FLIGHTS AND AT THE PITCH LINE ON CURVED AND SPIRAL FLIGHTS.) WITH OUTWARD OPENING DOORS.
A LANDING SHALL BE PROVIDED WITH SPACE OF AT LEAST 400MM FROM THE LEADING OF THE DOOR AND THE FULL WIDTH OF THE LANDING.
BUILD UP THIS AREA WITH AP40 AND COMPACT, TO HAVE A CROSS.
FALL OF NO LESS THAN 1:100 AND FALL AWAY FROM BUILDING. (BY OTHERS, COEFFICIENT OF FRICTION, WET - 0.6 -0.9) A CLEAR



DETAIL 01 1:10

TIMBER DECK & GRAB RAIL DETAILS

0 10/04/2025

REVISION:

CHECKED BY: 10/04/2025

APPROVED BY: 10/04/2025

PROJECT No:

RELOCATABLE DWELLING

CLIENT:

KIRKPATRICK

ADDRESS:

706 PAKARU ROAD KAWAKAWA

Lot 1 DP 542075

SHEET TITLE:

TIMBER DECK & GRAB RAIL

LAMBETH architectural

ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES

LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(04) 434 1015
office@lambetharchitectural.co.nz

SCALE: DETAILS ORG SHEET SIZE: A2

DRAWN: JAL DATE: 10/04/2025

COUNCIL: FNDG PROJECT No:

ZONE:

EARTHQUAKE ZONE: ZONE 1

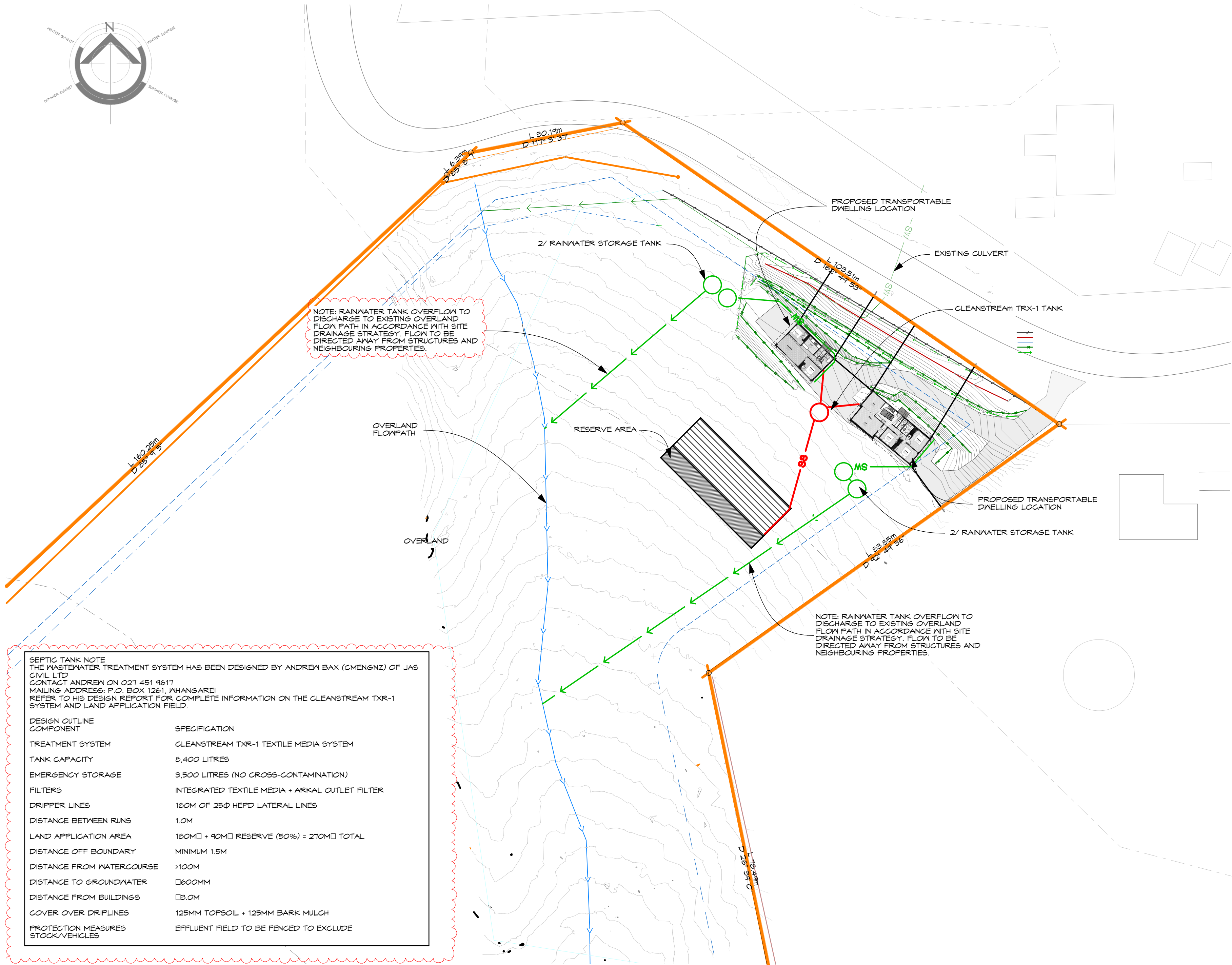
EXPOSURE ZONE: ZONE 0

CLIMATE ZONE: 1

RAINFALL RANGE: 10 - 100

WIND ZONE: EXTRA HIGH

25/06



NOTE: RAINWATER TANK OVERFLOW TO DISCHARGE TO EXISTING OVERLAND FLOW PATH IN ACCORDANCE WITH SITE DRAINAGE STRATEGY. FLOW TO BE DIRECTED AWAY FROM STRUCTURES AND NEIGHBOURING PROPERTIES.

NOTE: RAINWATER TANK OVERFLOW TO DISCHARGE TO EXISTING OVERLAND FLOW PATH IN ACCORDANCE WITH SITE DRAINAGE STRATEGY. FLOW TO BE DIRECTED AWAY FROM STRUCTURES AND NEIGHBOURING PROPERTIES.

SEPTIC TANK NOTE
THE WASTEWATER TREATMENT SYSTEM HAS BEEN DESIGNED BY ANDREW BAX (CMENGZ) OF JAS CIVIL LTD
CONTACT ANDREW ON 027 451 9617
MAILING ADDRESS: P.O. BOX 1261, WHANGAREI
REFER TO HIS DESIGN REPORT FOR COMPLETE INFORMATION ON THE CLEANSTREAM TXR-1 SYSTEM AND LAND APPLICATION FIELD.

DESIGN OUTLINE COMPONENT	SPECIFICATION
TREATMENT SYSTEM	CLEANSTREAM TXR-1 TEXTILE MEDIA SYSTEM
TANK CAPACITY	8,400 LITRES
EMERGENCY STORAGE	3,500 LITRES (NO CROSS-CONTAMINATION)
FILTERS	INTEGRATED TEXTILE MEDIA + ARKAL OUTLET FILTER
DRIPPER LINES	180M OF 25Ø HEPPD LATERAL LINES
DISTANCE BETWEEN RUNS	1.0M
LAND APPLICATION AREA	180M ² + 90M ² RESERVE (50%) = 270M ² TOTAL
DISTANCE OFF BOUNDARY	MINIMUM 1.5M
DISTANCE FROM WATERCOURSE	>100M
DISTANCE TO GROUNDWATER	□600MM
DISTANCE FROM BUILDINGS	□3.0M
COVER OVER DRIPLINES	125MM TOPSOIL + 125MM BARK MULCH
PROTECTION MEASURES STOCK/VEHICLES	EFFLUENT FIELD TO BE FENCED TO EXCLUDE

ARTIFICIAL LIGHTING - NZBC G8 COMPLIANCE
ALL LIGHTING FIXTURES AND DOWNLIGHTS TO COMPLY WITH NZBC CLAUSE G8. MINIMUM LIGHTING LEVELS TO BE MAINTAINED IN ALL HABITABLE SPACES, INCLUDING AREAS LACKING NATURAL LIGHT.

PROTECTION FROM FIRE - NZBC C1-C6 COMPLIANCE
SMOKE ALARMS TO BE INSTALLED IN ALL AREAS OF THE DWELLING IN ACCORDANCE WITH NZBC C1-C6.
ILLUMINATED SOURCES TO BE PROVIDED IN ALL ROOMS TO SUPPORT SAFE EGRESS AND MAINTAIN REQUIRED LIGHTING LEVELS.

POTABLE WATER SUPPLY REQUIREMENTS
USE POTABLE WATER PIPES FROM TANK TO HOUSE.
INSTALL FIRST FLUSH SYSTEM ON DOWNPIPES. TANK PUMP TO PROVIDE CLEAN WATER SOURCE. ULTRA FILTRATION AND UV TREATMENT SYSTEM TO BE INSTALLED FOR SAFE DRINKING WATER.

SITE VERIFICATION
BUILDER TO CHECK AND CONFIRM ALL DIMENSIONS ON SITE.
PLANS DRAWN FROM COUNCIL RECORDS AND SITE PHOTOS - TO BE USED AS A GUIDE ONLY.
ANY VARIANCE IN DIMENSIONS OR CONSTRUCTION METHODS TO BE CONFIRMED ON SITE WITH THE DESIGNER PRIOR TO PROCEEDING.

STORMWATER
EXISTING Ø80NB DOWN PIPE
DISTRIBUTION BOARD AND METERBOX LOCATION TO BE COS
INDICATIVE SW PIPES ARE SHOWN ON THE EXISTING FLOORPLAN.
THIS IS AN INDICATIVE SERVICES PLAN ONLY
THE LOCATION OF EXISTING PLUMBING UNDER THE BUILDING WILL NEED TO BE COS AND CONNECTED TO NEW Ø100 UPVC SS & SW PIPES AS REQUIRED.

SERVICE PIPE INSPECTION AND PRESSURE TESTING
NOTE
PLEASE ENSURE THAT ALL SERVICE PIPES THAT HAVE BEEN DISCONNECTED FOR TRANSPORT ARE INSPECTED BY THE CONTRACTOR ENGAGED TO REINSTATE SEPTIC, POTABLE, AND STORMWATER SYSTEMS TO ENSURE THAT THE EXISTING PIPES HAVE NOT BEEN DAMAGED DURING TRANSPORT.

FIXTURES INSIDE WET AREAS SHOULD, AS PART OF DUE DILIGENCE, BE INSPECTED TO ENSURE THAT THE CORRECT TEMPERATURES ARE STILL ACHIEVED AT THE HOT WATER TAP OUTLETS.

LINES SHOULD BE PRESSURE TESTED TO ENSURE THAT BOTH THE NEW AND EXISTING WATER LINES STILL COMPLY WITH THE CORRECT PRESSURE TESTING PROCEDURE.
EXISTING SERVICE PIPE REVIEW TO BE COMPLETED PRIOR TO FINAL CONNECTION.

REVISION:	
CHECKED BY:	10/04/2025
APPROVED BY:	10/04/2025

PROJECT NO:
RELOCATABLE DWELLING

CLIENT:
KIRKPATRICK

ADDRESS:
706 PAKARU ROAD
KAWAKAWA

Lot 1 DP 542075

SHEET TITLE:
DRAINAGE PLAN



ECO HOMES • ADDITIONS • ALTERATIONS • NEW HOMES
LAMBETH ARCHITECTURAL LIMITED
1008 VICTORIA STREET, DARGAVILLE, NORTHLAND
(04) 434 1015
office@lambetharchitectural.co.nz

SCALE: 1:500 ORG SHEET SIZE: A2

DRAWN: JAL DATE: 10/04/2025

COUNCIL: FNDG PROJECT NO:

ZONE:
EARTHQUAKE ZONE: ZONE 1
EXPOSURE ZONE: ZONE C
CLIMATE ZONE: 10 - 100
RAINFALL RANGE: EXTRA HIGH



Title Plan - LT 611145

Survey Number	LT 611145
Surveyor Reference	23897 Sunandtrees
Surveyor	Kurt Eric Watson
Survey Firm	Survey & Planning Solutions (2010) Limited
Surveyor Declaration	I Kurt Eric Watson, being a licensed cadastral surveyor, certify that-- (a) this dataset provided by me and its related survey are accurate, correct and in accordance with the Cadastral Survey Act 2002 and Cadastral Survey Rules 2021; and (b) the survey was undertaken by me or under my personal direction. Declared on 06 Mar 2025 10:49 AM

Survey Details

Dataset Description	Lots 1 - 3 being a subdivision of Lot 1 DP 542075		
Status	Approved as to Survey		
Land District	North Auckland	Survey Class	Class B
Submitted Date	06/03/2025	Survey Approval Date	19/03/2025
		Deposit Date	

Territorial Authorities

Far North District

Comprised In

RT 914188

Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Lot 1 Deposited Plan 611145	Fee Simple Title	15.5100 Ha	1211453
Lot 2 Deposited Plan 611145	Fee Simple Title	14.9570 Ha	1211454
Lot 3 Deposited Plan 611145	Vesting on Deposit for Road	0.0249 Ha	
Area A Deposited Plan 611145	Covenant - Land		
Area B Deposited Plan 611145	Covenant - Land		
Area C Deposited Plan 611145	Covenant - Land		
Area D Deposited Plan 611145	Covenant - Land		
Area E Deposited Plan 611145	Covenant - Land		
Total Area		<hr/> 30.4919 Ha	

LT 611145 Schedule/Memorandum

Land registration district

North Auckland

Territorial authority

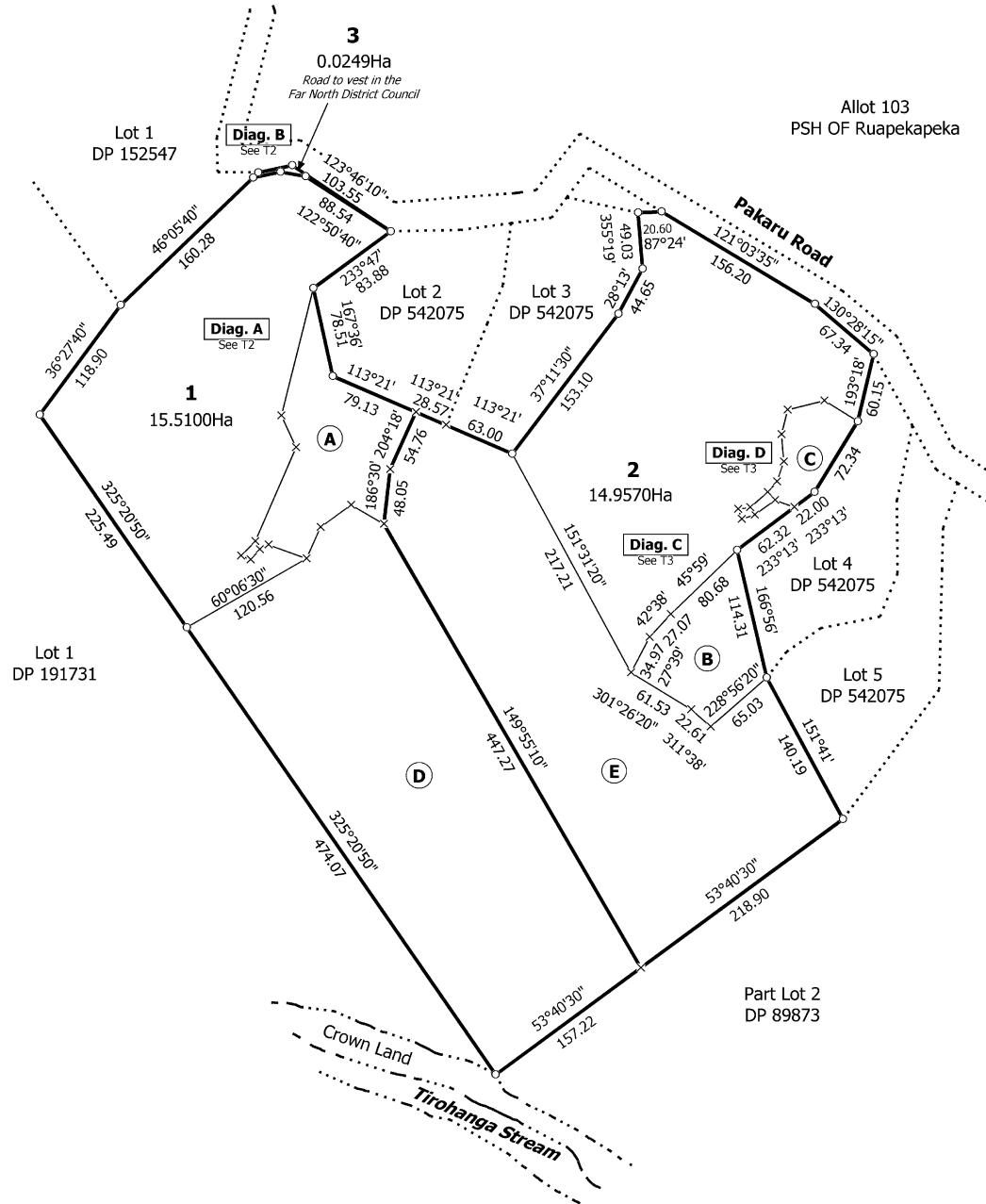
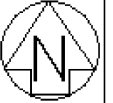
Far North District

Notes

Parcels shown with a prefix of *HL*- include height-limited boundaries

Areas marked A, B, C, D & E are to be subject to a land covenant (wetland & bush protection) pursuant to sec221(4) RMA [Consent Notice].

Lots 1 & 2 are to be subject to various land covenants pursuant to sec221(4) RMA [Consent Notice].



T 1/3

Land District: North Auckland

Lots 1 - 3 being a subdivision of Lot 1 DP 542075

Surveyor: Kurt Eric Watson

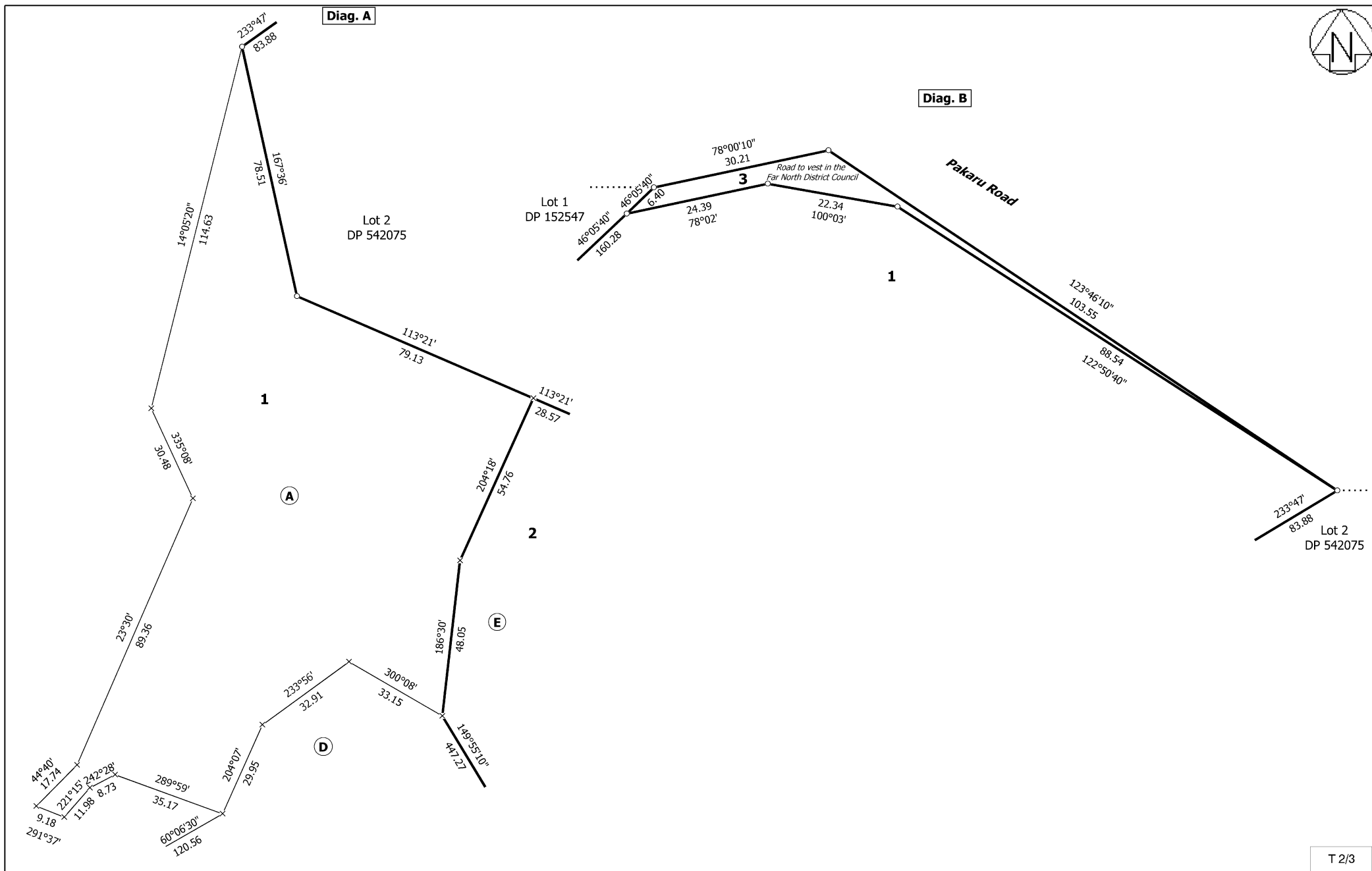
Firm: Survey & Planning Solutions (2010) L

Title Plan
LT 611145

Approved on: 19/03/2025

Digitally Generated Plan

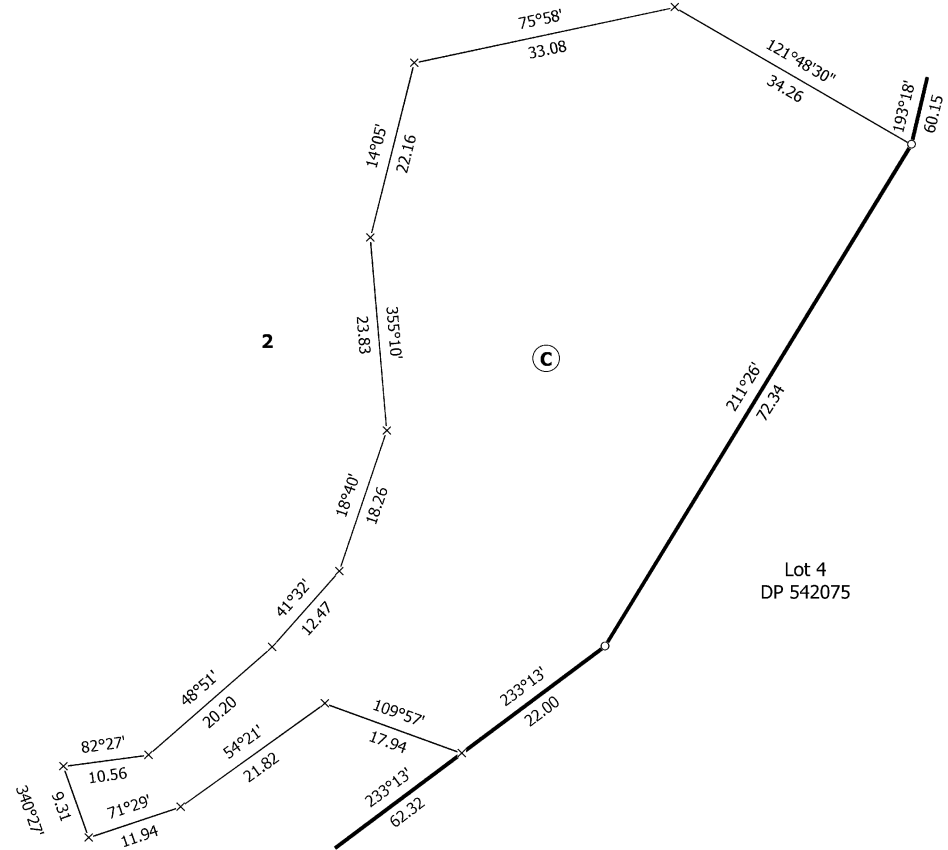
Generated on: 19/03/2025 10:05am Page 3 of 5



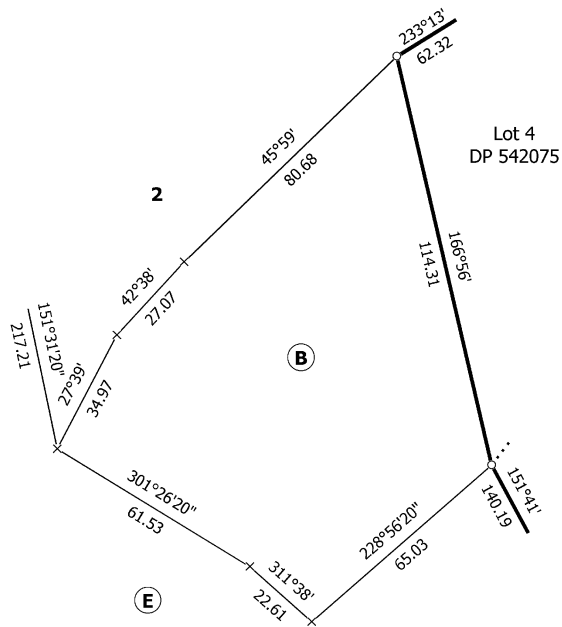
Land District: North Auckland	Lots 1 - 3 being a subdivision of Lot 1 DP 542075	Surveyor: Kurt Eric Watson Firm: Survey & Planning Solutions (2010) L	Title Plan LT 611145 Approved on: 19/03/2025
-------------------------------	---	--	--

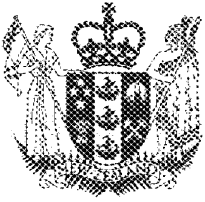


Diag. D



Diag. C





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**



Identifier 914188
Land Registration District North Auckland
Date Issued 25 August 2020

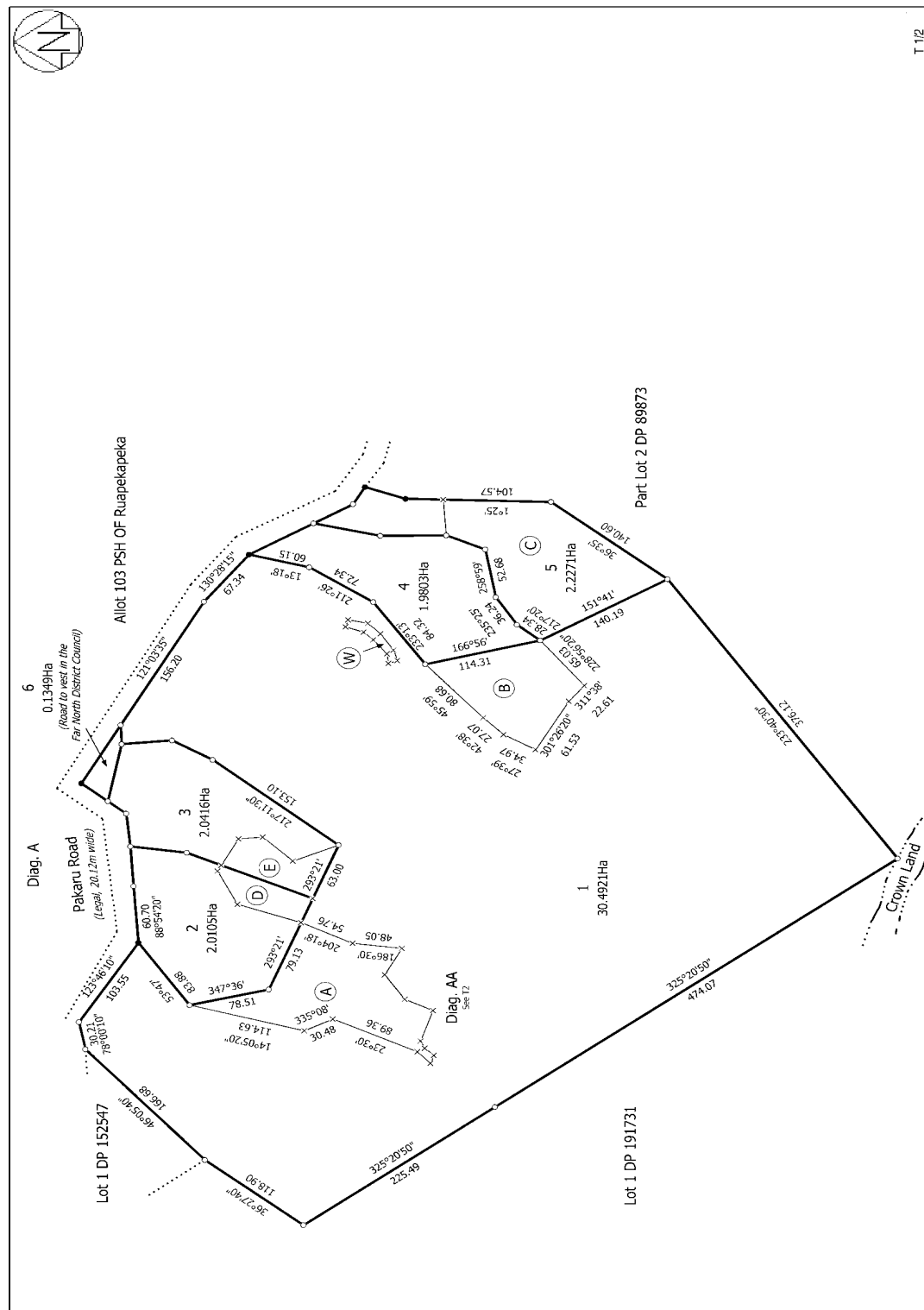
Prior References
NA96C/511

Estate	Fee Simple
Area	30.4921 hectares more or less
Legal Description	Lot 1 Deposited Plan 542075

Registered Owners
Sunandtrees Limited

Interests

Subject to Section 59 Land Act 1948
11722632.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 25.8.2020 at 3:41 pm



T 1 1/2

Land District: North Auckland	Lots 1 - 6 being a subdivision of Lot 1 DP 160710	Surveyor: Sarah Rose Pascoe Firm: Simpson Shaw Surveyors	Title Plan LT 542075 Approved on: 5/03/2020
-------------------------------	---	---	---



View Instrument Details

Instrument No. 11722632.2
Status Registered
Date & Time Lodged 25 Aug 2020 15:41
Lodged By Green, Shara Jane
Instrument Type Consent Notice under s221(4)(a) Resource Management Act 1991



Affected Records of Title	Land District
914188	North Auckland
914189	North Auckland
914190	North Auckland
914191	North Auckland
914192	North Auckland

Annexure Schedule Contains 3 Pages.

Signature

Signed by John Barry Allen as Territorial Authority Representative on 25/08/2020 02:59 PM

*** **End of Report** ***



Private Bag 752, Memorial Ave
Kaikōhe 0440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaunihera o Tai Tokerau Ki Te Raki

*The top place where talent
wants to live, work and invest*

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC2180702

Being the subdivision of Lot 1 DP 160710 BLK XIII Russell Survey District
North Auckland Registry

PURSUANT to section 221 and for the purpose of section 224 (c) (ii) of the Resource Management Act 1991, this consent notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the titles of the allotments specified below.

SCHEDULE

Lot 1 DP 542075

- (i) A resource consent will be required to be submitted and approved by Council by the owner or any future owners of the lot before any indigenous vegetation identified as being significant in the ecological report prepared by NZ Environmental titled 'Assessment of Ecological Effects of the Proposed Subdivision of Lot 1 Pakaru Road, Kawakawa' can be cleared.
- (ii) Management of activities with respect to the natural wetland area indicated as area 'W' on the scheme plan for subdivision consent RC2180702 is to be undertaken so that the natural range of water levels and the natural ecosystem of plants and animals they support do not change as a result of such activities, except by way of a consent from the Council.

Lot 1 - 3, and 5 DP 542075

- (iii) The owner shall preserve the indigenous trees and bush fenced off on Lots 1, 2, 3 and 5, as indicated as areas A, B, D and E on the survey plan for subdivision consent RC2180702. The owner shall not without the prior written approval of the Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of such trees or bush. The owner shall be deemed to be not in breach of this prohibition if any of such trees or bush shall die from natural causes not attributable to any act or default by or on behalf of the owner or for which the owner is responsible.





Private Bag 752, Memorial Ave
Kaikōhe 0440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaunihera o Tai Tokerau Ki Te Raki

*The top place where talent
wants to live, work and invest*

Lots 2 - 5 DP 542075

- (iv) In conjunction with the construction of any building which includes a wastewater treatment and effluent disposal system the lot owner shall submit for Council approval a TP58 Report prepared by a chartered professional engineer or a Council approved TP58 Report Writer. The report shall identify a suitable method of wastewater treatment for the proposed development along with an identified effluent disposal area plus a 100% reserve disposal area. The report shall confirm that all of the treatment and disposal system can be fully contained within the lot boundary and comply with the Regional Water and Soil Plan's permitted activity standards.
- (v) In conjunction with the construction of any dwelling, and in addition to a potable water supply, a water collection system with sufficient supply for fire fighting purposes is to be provided by way of tank or other approved means and to be positioned so that it is safely accessible for this purpose. These provisions will be in accordance with the New Zealand Fire Fighting Water Supply Code of Practice SNZ PAS 4509.
- (vi) In conjunction with the construction of any building on the lot the owner shall install a stormwater retention tank with a flow attenuated outlet. The system shall be designed such that the total stormwater discharged from the site, after development, is at no time greater than the predevelopment flow from the site for rainfall events up to a 1% AEP plus allowance for climate change of 2.5°C. The details of the on-site retention storage and flow attenuation shall be prepared by a suitably qualified and experienced chartered professional engineer and submitted, for approval, with the building consent application.

Lots 1 - 5 DP 542075

- (vii) The pest and weed eradication management plan provided to Council to satisfy condition 3(a) of subdivision consent RC2180702 shall be followed and observed in order to protect the native vegetation and kiwi habitat. The plan shall not cease or be amended without the written permission of Council

(viii) Kiwi Present:

The site is mapped as kiwi present.

No occupier of, or visitor to the site, shall keep or introduce to the site mustelids which have the potential to be kiwi predators.

No more than one dog shall be introduced or kept on Lots 2, 3, 4 and 5 of DP 542075 at any time.





Private Bag 752, Memorial Ave
Kaikōhe 0440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaunihera o Tai Tokerau Ki Te Raki

*The top place where talent
wants to live, work and invest*

Lot 1 DP 542075 may have two dogs if one of the dogs is an existing dog (existing at the time of subdivision consent RC2180702 being considered).

All dogs must be micro-chipped and have a current kiwi aversion trained certification and undertake kiwi aversion training annually or before the certification expires.

All dogs living on the lots must be within a dog-proof fenced area on the lot and be under effective control at all times when outside of the fenced area, e.g. on a lead. At night the dog must be kept inside or be tied up.

Cats are to be restricted to a limit of one cat per lot. All cats are to be neutered, microchipped and kept inside at night.

Prior to the introduction or keeping of any dog or cat on the lot, the occupier must provide the following to the resource consents monitoring officer of Far North District Council:

- a. A photograph of the cat or dog.
- b. Written confirmation that the cat and/or dog has been microchipped.
- c. For any dog written confirmation that the dog has current kiwi aversion training certification along with the expiry date for the certification.
- d. For any dog or dogs, a plan showing the extent to the dog proof fenced area.

SIGNED:

Mr Patrick John Killalea - Authorised Officer

By the FAR NORTH DISTRICT COUNCIL

Under delegated authority:

PRINCIPAL PLANNER – RESOURCE MANAGEMENT

DATED at **KERIKERI** this 25th day of June 2020



Bill payment
Bank acknowledgement



PAYMENT DETAILS

From account	SUNANDTREES LIMITED 02-0316-0504440-000
To account	Far northcouncilspec 12-3244-0022509-000
Amount	1575.00
Payment date	15 September 2025 5:37 PM
Status	Processed

STATEMENT DETAILS

Your statement	fndc minor pakaru road rc
Payee's statement	Sunandtrees pakaru road rc