

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

## 2. Type of Consent being applied for

(more than one circle can be ticked):

- |   |   |
|---|---|
| <input type="radio"/> Land Use  | <input type="radio"/> Discharge                           |
| <input type="radio"/> Fast Track Land Use*  | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision   | <input type="radio"/> Extension of time (s.125)           |
| <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil) |   |
| <input type="radio"/> Other (please specify) _____  |   |

\* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

## 3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

## 4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant Details

**Name/s:**

Far North District Council, Infrastructure Services, c/o Louise Wilson

**Email:**

[REDACTED]

**Phone number:**

**Work**

**Home**

**Postal address:**

(or alternative method of service under section 352 of the act)

Provate Bag, Memorial Ave, Kaikohe

**Postcode**

## 6. Address for Correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

**Email:**

**Phone number:**

**Work**

**Home**

**Postal address:**

(or alternative method of service under section 352 of the act)

**Postcode**

*\* All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

## 7. Details of Property Owner/s and Occupier/s

*Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

See details on page 4 of attached AEE

**Property Address/  
Location:**

**Postcode**

## 8. Application Site Details

*Location and/or property street address of the proposed activity:*

**Name/s:**

**Site Address/  
Location:**

  
  
  
 **Postcode**

**Legal Description:**

**Val Number:**

**Certificate of title:**

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request Public Notification?

☐ Yes ☐ No

## 11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- |   |   |
|---|---|
| <input type="radio"/> Subdividing land                    | <input type="radio"/> Disturbing, removing or sampling soil       |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

## 13. Assessment of Environmental Effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☐ Yes

## 13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No



## 14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

**Email:**

**Phone number:**

**Work**

**Home**

**Postal address:**

(or alternative method of service under section 352 of the act)

  
  
  
**Postcode**  

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

**Signature:**

(signature of bill payer)

**Date**

**MANDATORY**

## 15. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 15. Important information continued...

### Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name:** (please write in full)

**Signature:**

Date

*A signature is not required if the application is made by electronic means*

### Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

## Wihongi Street Pumpstation Application for Resource Consent from FNDC

October 2025



*Subject site at Lot 13 DP82811 Wihongi Street, Kaikohe*

**Title:**

Wihongi Street Pumpstation, Application

**Prepared for:**



David Collins, Project Manager, DC Civil representing FNDC Infrastructure Acceleration Fund Project

**Issue date:**

October 2025

Revision History				
Rev	Date	Status/purpose	Prepared by	Reviewed and approved by
0	1/10/2025	Draft for internal review	Louise Wilson	Losaline Finekifolau
1	3/10/2025	Final for submission	Louise Wilson	Losaline Finekifolau

**Document Contributors**

Role	Name	Position	Signature	Date
Author	Louise Wilson	Senior Infrastructure Planner		1/10/2025
Reviewer & Approver	Losaline Finekifolau	Team Leader Infrastructure Consenting		3/10/2025

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## 1 Applicant and Property Details

<b>Applicant:</b>	Far North District Council Infrastructure Consenting Attn: Louise Wilson, Senior Infrastructure Planner louise.wilson@fndc.govt.nz
<b>Address for Service:</b>	Far North District Council Memorial Avenue Private Bag 752 Kaikohe 0440
<b>Legal Description:</b>	Lot 13 DP82811 and Pt Lot 2 DP 99705
<b>Site Area:</b>	3,425.85m2 and 76,908 m2
<b>Owner of Site:</b>	Far North District Council and Northland Proprietors Trust
<b>Occupiers of Site:</b>	NA
<b>Operative District Plan (ODP) Zoning:</b>	Residential and Recreational Activities
<b>Proposed District Plan (PDP) Zoning:</b>	General Residential and Open Space
<b>Proposed District Plan (PDP) Overlays:</b>	NA
<b>Operative District Plan Overlays:</b>	NA
<b>Proposal:</b>	Construct and operate a wastewater pumpstation with associated earthworks, retaining wall, stormwater diversion culvert and construction of road to vest.

## 2 Information Requirements

This application has been prepared in accordance with the requirements of Schedule 4 of the Resource Management Act 1991 ('the Act') having particular regard to the relevant matters in the following documents;



- National Policy Statement for Freshwater Management 2020 (NPSFM 2020).
- National Environmental Standards for Freshwater 2020 (NESF).
- National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011 (NESCSCS)
- Regional Policy Statement for Northland 2016 (RPS).
- Proposed Regional Plan for Northland February 2024 (PRPN).
- Operative Far North District Plan 2009 (FNDP)
- Proposed Far North District Plan 2025 (PDP)

### 3 Background

The FNDC Infrastructure Group is seeking resource consent as a non-complying activity for a new wastewater pumpstation and associated earthworks, retaining wall, and road extension works at Wihongi Street, Kaikohe.

Kaikohe's current wastewater infrastructure is outdated and under-capacity leading to overflow incidents during wet weather. Far North District Council (FNDC) obtained funding from the Infrastructure Acceleration Fund (IAF) to address these issues and support the construction of 365 new homes in Kaikohe.

The proposed pumpstation is **critical** to enabling other IAF-funded wastewater reticulation upgrades. The location and capacity of the pumpstation storage tanks have been calculated by Haigh Workman Consultant Engineers based on projected population growth and Kaikohe's future wastewater servicing needs. Wastewater from the northern section of Kaikohe's reticulated area will be stored at the pumpstation before being pumped to the treatment plant at Cumber Road. The Wihongi Street pumpstation is essential to ensure the upgraded network can manage increased flows, improve system resilience, and support planned development.



*Fig. 3.1 Location Map of proposed pumpstation*

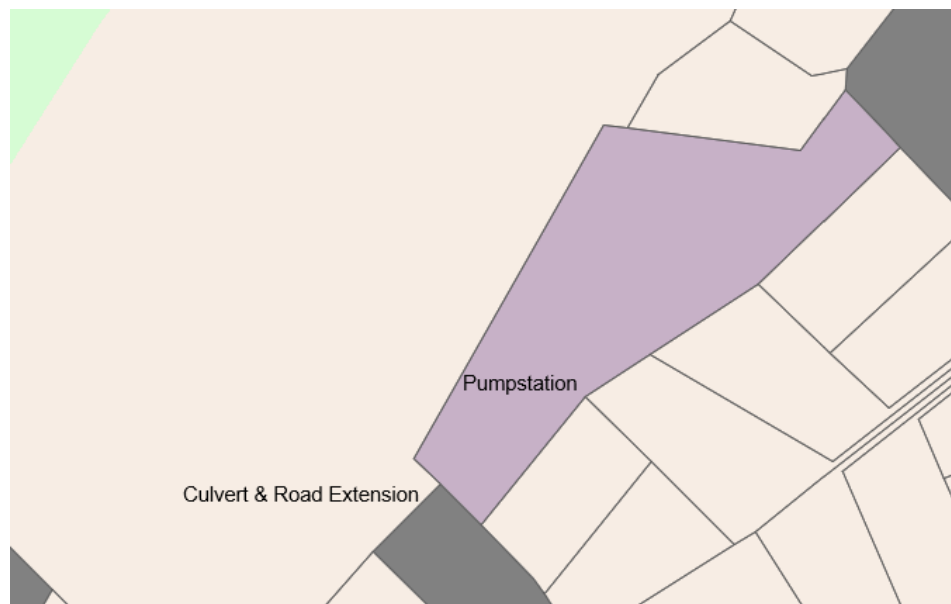
The proposed pumpstation and associated earthworks and retaining wall require resource consent as a non-complying activity pursuant to the following Operative Far North District Plan (FNDP) rules:

- Rule 9.6.5.2.6 Setback from Boundaries – Restricted Discretionary Activity; and
- Rule 9.6.5.3 Purpose of Buildings – Non-complying; and
- Rule 12.3.6.2.1 Earthworks in the Recreational Activities Zone – Restricted Discretionary.
- Rule 12.3.6.3 Earthworks in the Residential Zone - Discretionary activity.

## **4 The Site and Surrounding Environment**

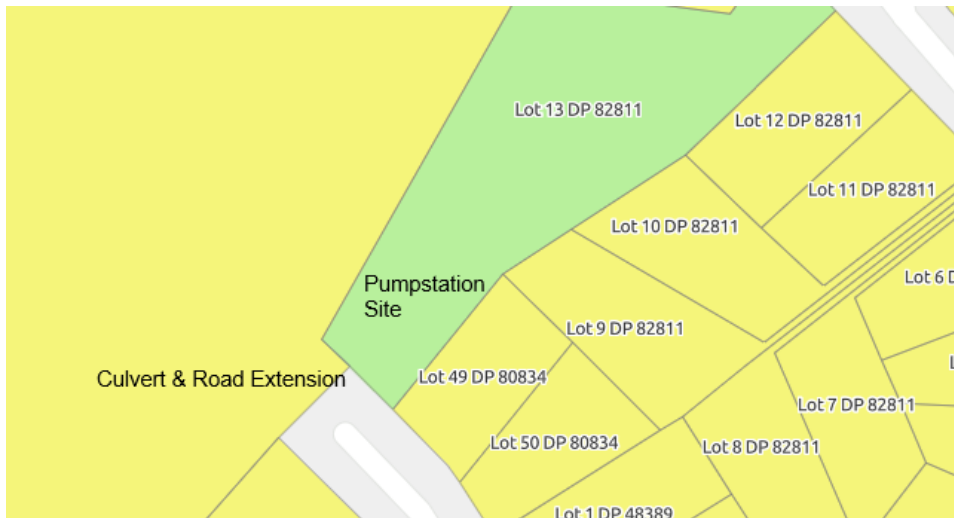
### **4.1 Subject Site**

The proposed pumpstation will be located on a 3,425.85m<sup>2</sup> site legally described as Lot 13 DP82811 (Appendix E – Record of Title). The pumpstation site is zoned Recreational Activities in the FNDP and Open Space in the PDP. The proposed culvert and road extension site will be located on the part of Pt Lot 2 DP 99705 near the boundary with Wihongi Street. This part of Pt Lot 2 DP 99705 is zoned Residential/General Residential. The sites are not subject to any District Plan notations or overlays.



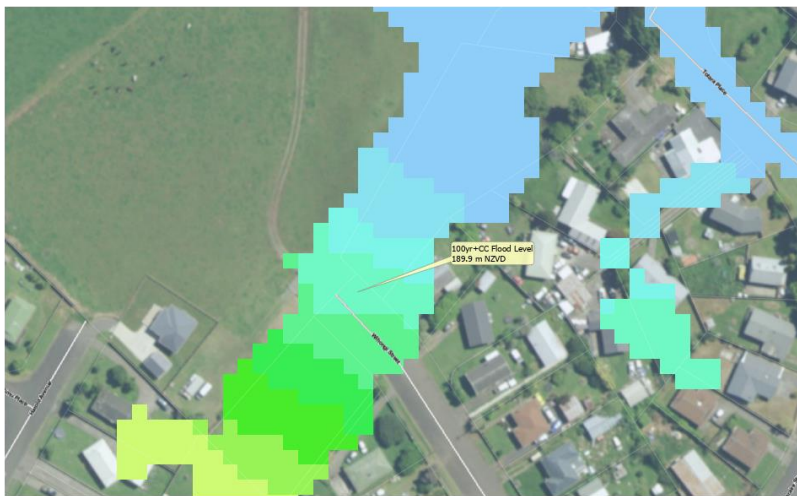
*Fig.4.1. The site is zoned Recreational Activities and Residential in the FNDP.*





*Fig 4.2 Site is zoned Open Space and General Residential in the PDP.*

The site is not subject to any published PRPN map overlays or notations. However, unpublished flood modelling by Northland Regional Council (NRC) suggests that the site is in the headwaters of a flood plain.



*Fig. 4.3 – Unpublished flood level modelling by NRC shows site is in a flood plain.*

## 4.2 Receiving Environment

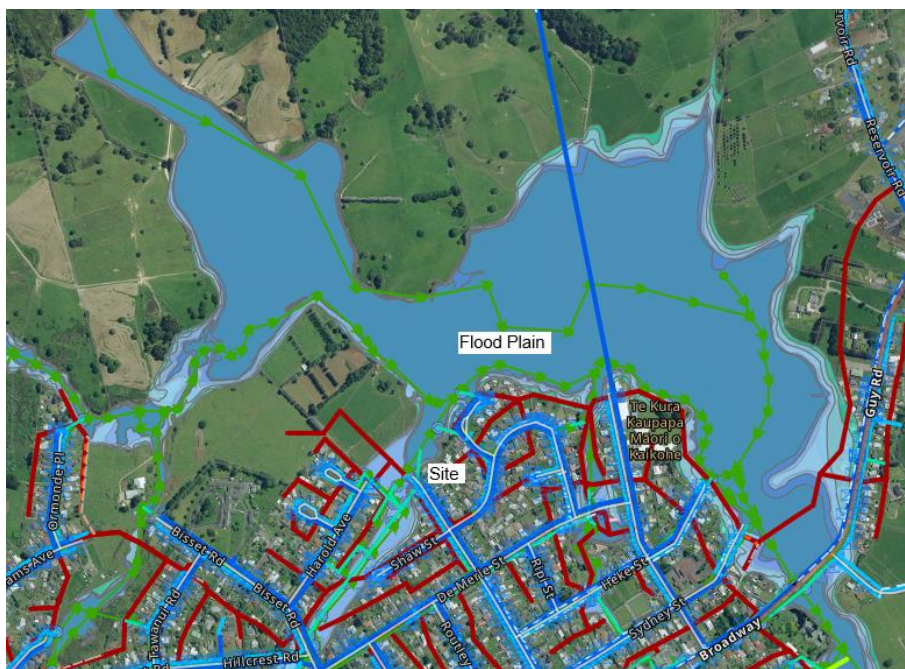
Section 2 of the RMA includes the following definition of environment:

**environment includes—**

- (a) ecosystems and their constituent parts, including people and communities; and
- (b) all natural and physical resources; and
- (c) amenity values; and
- (d) the social, economic, aesthetic, and cultural conditions which affect the matters stated in paragraphs (a) to (c) or which are affected by those matters

The receiving environment includes the existing environment and any reasonably foreseeable changes to the environment such as those resulting from permitted activities or from the continued implementation of existing consents. The receiving environment is relevant in RMA planning assessments because it is the receiving environment that the proposed activity will affect. Effects that are anticipated and sustainable in some environments are not anticipated or sustainable in others. An assessment of the receiving environment around Wihongi Street is provided below.

*Existing Environment* - The existing environment is the environment upon which a proposed activity may have effects. In this case, the existing environment is urban and highly modified by residential development. Land to the north-east is rural urban interface and part of the flood plain of the Mangamutu Stream (See Fig.4.4). To the south of the site land has been developed for single residential dwellings on approximately 600-800m<sup>2</sup> sites (Fig 4.5). Land to the north-west is zoned residential but not yet developed (Fig 4.6). The existing environment includes existing water and wastewater reticulation that is aging and struggling to cope with increased demand.



*Fig. 4.4 The surrounding environment is Residential and has reticulated water and wastewater. Network and Flood Plain Map (accessed 04.08.2025 Far North Atlas / Kohinga Mahere).*





*Fig.4.5 View south down Wihongi Street. Note existing urban residential development.*



*Fig. 4.6 Land at the end of Wihongi Street zoned Residential but not yet developed.*

**Foreseeable Environment** - The receiving environment includes reasonably foreseeable changes that could occur due to permitted activities. Land to the north-west is zoned residential but not yet developed (Fig 4.6). This could be developed into 600m<sup>2</sup> residential lots (FNDP rule 7.6.5.1.2). The PDP proposes a permitted multi-unit development rule that would enable three residential units/600m<sup>2</sup> (PDP rule GRZ

– R9). It is reasonably foreseeable that more intensive residential development could occur and increase demand for water and wastewater reticulation.

*Intended purpose of environment* - The FNDP zone for the receiving environment is Residential and the PDP zone is General Residential. The purpose of the Residential/General Residential zone has changed significantly since the FNDP was made operative in 2009. The FNDP focused on maintaining existing amenity while the PDP focuses on enabling a range of housing types within existing urban areas. For example, PDP rule GRZ-R9 proposes a permitted multi-unit development rule that would enable three residential units/600m<sup>2</sup>.

*Anticipated Infrastructure Services* - Neither plan contains a zone or overlay specifically for wastewater infrastructure. However, the construction and operation of wastewater infrastructure within urban environments is anticipated by both plans. See FNDP Chapter 17.2.2 *Environmental outcomes expected* for Utility Services and permitted activity rules 17.2.6.1.2 *Above ground utility services within an urban zone*. Also, PDP policy 1-P1 and permitted rule I-R2 New underground network utilities.

*Alternative locations* – Alternative locations for the pumpstation were considered. However, it was determined that there is an operational need to locate the pumpstation in this receiving environment due to characteristics including soil rock depth, topography and existing reticulation layout.

### Summary

- The proposed activity is compatible with the receiving environment.
- Enables the land to be used for the Residential purpose for which it was zoned.
- An assessment of the effects of the proposed activity on the receiving environment is provided in Section 7 of this report.
- An assessment of the proposed activity against the relevant objectives and policies is provided in Section 8 of this report.

## 5 The Proposal

### 5.1 Location and Design

**Pumpstation Site** - The pumpstation design requires that the floor of the valve chamber be above the emergency wastewater storage level of RL189.00<sup>1</sup>. The lid levels should be 300mm above the 100-year ARI flood level. This flood level has been estimated (by NRC) to be RL189.90. The design calls for the pumpstation platform to be at RL190.95 (see Fig.5.1). The site, which has an average level of approximately RL189.00, will require an average fill depth of 2-2.5m to achieve this. On the northern side, the toe of the fill would run over the property boundary, and this is anticipated to be controlled by a low retaining wall (see Fig.5.1).

Based on the above design information, the proposal will include the following activities:

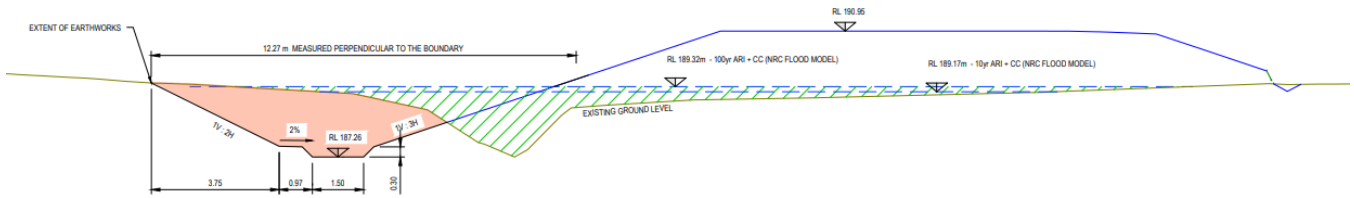
- Approx 1230m<sup>3</sup> of permanent earthworks within the flood plain.
- Additional temporary earthworks during construction.

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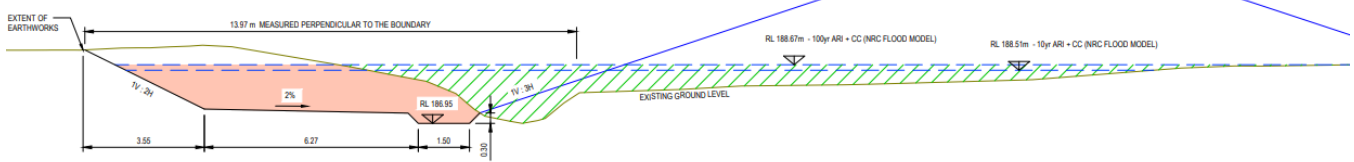
<sup>1</sup> RL means reduced level above sea level i.e. refers to a vertical height relative to a reference datum.

- A retaining wall on the eastern boundary (Fig.5.4).
- Stormwater diversion drains on eastern and western boundaries (see Fig.5.1 & 5.2 and Appendix A).
- Pumpstation structures e.g. storage tank (see Fig. 5.3).

#### SECTION 1



#### SECTION 2



#### SECTION 3

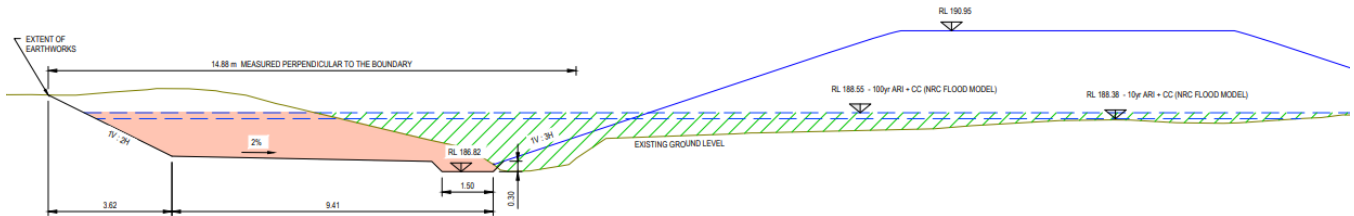


Fig.5.1 Haigh Workman cross section showing earthworks depths, retaining wall and stormwater diversion (Appendix A).



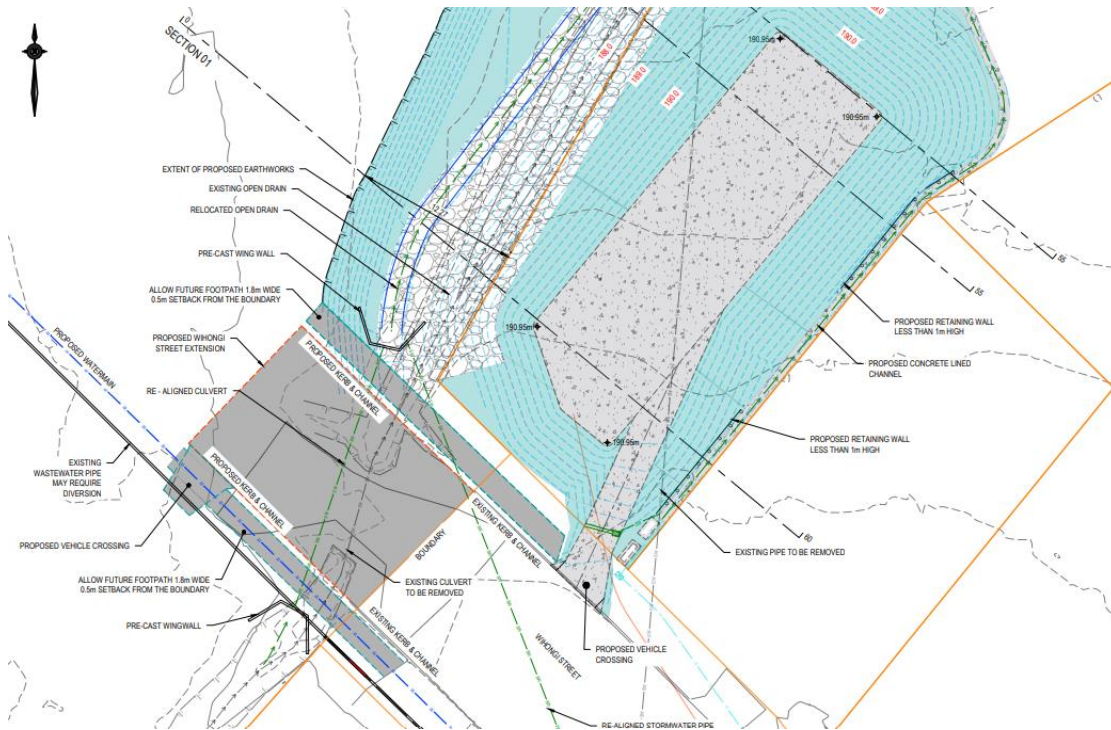


Fig. 5.2 Haigh Workman Site Plan of proposed works (see Appendix A).

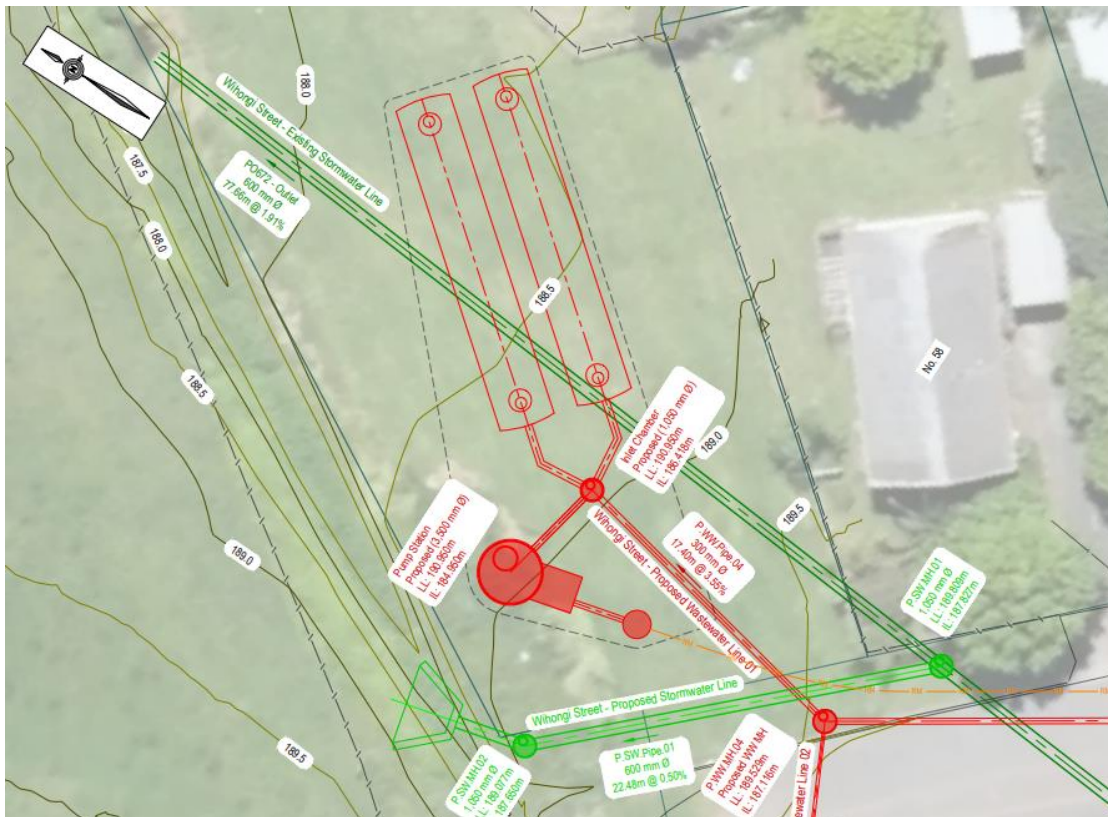


Fig. 5.3 Haigh Workman indicative design of pumpstation and storage tanks

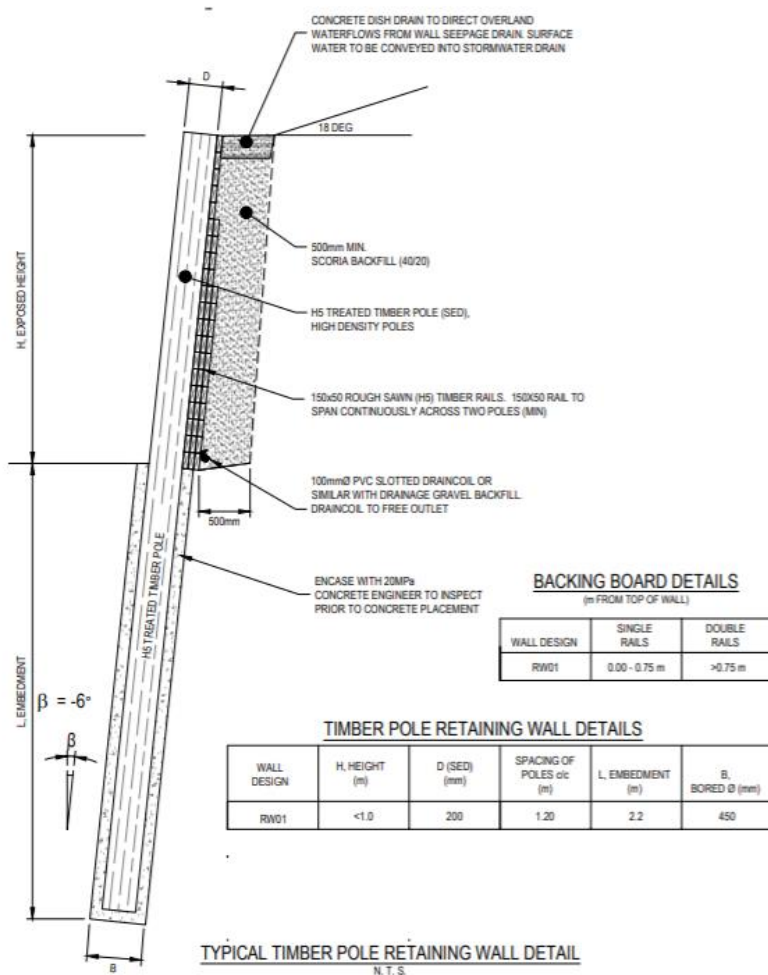


Fig 5.4 Haigh Workman indicative design of retaining wall (see Appendix D)

Access and Road Extension - Construction of the pumpstation and stormwater diversion requires upgrading the access to Pt Lot 2 DP 99705 (Fig.5.5). The proposed culvert and road extension involves the following activities.

- A 19.6m long culvert (Appendix D).
- Construction of road, footpath, kerb and channel to vest with FNDC (Appendix A).
- Earthworks associated with construction of the culvert and road construction as follows
  - Excavate existing culvert - 49m<sup>3</sup>
  - Backfill existing culvert including channel each end – 195m<sup>3</sup> (aggregate)
  - Excavate new culvert - 195m<sup>3</sup>
  - Backfill new culvert including headwalls each end – 135m<sup>3</sup> (aggregate)
  - Headwall barrier against falling 2 x 5m long = 10m long
  - Excavate carriageway pavement – 12 x 17 x 0.5 deep = 102m<sup>3</sup>
  - Construct carriageway pavement - 12 x 17 x 0.5 deep = 102m<sup>3</sup> (aggregate)



*Fig. 5.5 View of proposed new culvert and road extension site (15.09.2025).*

## 5.2 Consent Term

Landuse consents, once given effect to, do not have an expiry date. However, the proposed activity also requires consent from NRC. The NRC application sought the maximum term of 35-years because the anticipated lifespan of the pumpstation is approximately 50 years.

## 5.3 Any Other Activities that are Part of the Proposal

The proposal includes site rehabilitation through revegetation, landscape planting and boundary fencing. These activities will ensure that adverse effects on the residential character and amenity of Wihongi Street are no more than minor (see Section 7 and 9 of this report).



## 6 Reasons for Application

The proposed pumpstation and associated earthworks, retaining wall require resource consent as a non-complying activity pursuant to the following Operative Far North District Plan (FNDP) rules:

- Rule 9.6.5.2.6 Setback from Boundaries – Restricted Discretionary; and
- Rule 9.6.5.3 Purpose of Buildings – Non-complying; and
- Rule 12.3.6.2.1 Earthworks in the Recreational Activities Zone – Restricted Discretionary; and
- Rule 12.3.6.3 Earthworks in the Residential Zone - Discretionary activity

FNDC has notified the Proposed Far North District Plan (PDP). As of August 2025, the PDP has limited legal effect, and the Operative Far North District Plan (FNDP) prevails. However, because construction may commence after the PDP provisions become operative both the FNDP and PDP have been assessed below.

### 6.1 Operative Far North District Plan

#### 6.1.1 Earthworks

##### *Pumpstation Site*

Based on the site plan and elevations (Appendix A) and cross section in Fig.5.1 the proposed activity includes 1230m<sup>3</sup> of earthworks with a partly retained fill batter on the eastern boundary. The batter exceeds 1.5m but is less than 3m. Consequently, the FNDC earthworks rules must be considered.

Rule 12.3.6.1.2 – Permits excavation/filling on any site within the Recreational Activities zone provided it does not exceed 300m<sup>3</sup> in any 12-month period. The proposed activity does not comply with the permitted activity standard therefore resource consent is required.

Rule 12.3.6.2.1 – Excavation or filling within the Recreational Activities zone that exceeds 300 m<sup>3</sup> but does not exceed 2,000 m<sup>3</sup> in any 12-month period is a restricted discretionary activity and requires resource consent. This is contingent on the cut or filled face not exceeding 1.5m in height. Cut/fill face is defined as follows.

##### **CUT/FILL FACE**

Means the sloping or vertical exposed face resulting from earthworks (filling and/or excavation) but excludes any face of a height greater than 1.5 metres but no greater than 3 metres which is to be retained by a properly engineered retaining wall and for which a building consent has been issued.

The proposed earthworks and fill face on the pumpstation site are a **Restricted Discretionary** activity pursuant to rule 12.3.6.2.1 of the FNDP.

##### *Culvert and Road Extension Site*

The proposed activity on the culvert and road extension site cannot comply with the permitted or restricted discretionary standards for earthworks in the Residential zone. Rule 12.3.6.1.3 states the permitted volume of earthworks in the Residential zone is 200m<sup>3</sup> in any 12-month period per site. The culvert, road

extension and stormwater diversion will involve more than 500m<sup>3</sup> of earthworks. Therefore, consent is required as a **Discretionary** activity pursuant to rule 12.3.6.3.

### 6.1.2 Purpose of Buildings

The proposed pumpstation as shown in Fig.5.2 and Fig.5.3 includes structures and a retaining wall. Recreational Activity zone rule 9.6.5.1.1 (see below) permits new buildings that are directly for or ancillary to a recreational purpose.

#### 9.6.5.1.1 PURPOSE OF BUILDINGS

All new buildings shall be directly for, or ancillary to, the principal recreational activities on the site.

The proposed retaining wall meets the FNDP definition of a “building” because it will require building consent under the Building Act 2004 (see section 8 of this report). The retaining wall is not directly for or ancillary to a recreational activity. Resource consent is therefore required as a **Non-Complying** activity pursuant to rule 9.6.5.3 (see below).

#### 9.6.5.3 DISCRETIONARY ACTIVITIES

An activity is a discretionary activity in the Recreational Activities Zone if:

- (a) it complies with **Rules 9.6.5.1.1 Purpose of Buildings** for permitted activities above; and
- (b) it complies with the relevant standards for permitted, controlled, restricted discretionary or discretionary activities set out in **Part 3 of the Plan - District Wide Provisions**; but
- (c) it does not comply with one or more of the other standards for permitted or restricted discretionary activities in this zone as set out under **Rules 9.6.5.1** and **9.6.5.2** above.

The Council may impose conditions of consent on a discretionary activity or it may refuse consent to the application. When considering a discretionary activity application, the Council will have regard to the assessment criteria set out under **Chapter 11**.

If an activity does not comply with the standards for a discretionary activity, it will be a non-complying activity in this zone.

### 6.1.3 Setback from Boundaries

The proposed retaining wall shown in Fig.7 is within 1m of the eastern boundary. The permitted activity standard for setback from side boundaries is 2m (see below).

#### 9.6.5.1.6 SETBACK FROM BOUNDARIES

The minimum building setback from road boundaries shall be 3m. The minimum building setback from all other boundaries shall be 2m.

Attention is also drawn to the setback from **Lakes, Rivers, Wetlands and the Coastline** provisions in **Chapter 12.7**.

**Note:** This rule does not apply to the below ground components of wastewater disposal systems. However, provisions in **Chapter 12.7 – Lakes Rivers Wetlands and the Coastline** still apply to below ground components of wastewater treatment systems.

Attention is also drawn to the **TP58 On-site Wastewater Systems: Design and Management Manual** and the **Regional Water and Soil Plan for Northland**, as consent may be required.

Resource consent is required as a **Restricted Discretionary** activity pursuant to FNDP rule 9.6.5.2.6. Residents of Wihongi Street currently enjoy the amenity of the reserve as an open space. This is likely to be changed by the proposed activity (see section 7 and 9 of this report).

#### 6.1.4 Summary

As demonstrated above, an assessment has been carried out against the relevant rules in Chapter 9.6 Recreational Zone and Chapter 12.3 Soils and Minerals. The following rules are unable to be complied with:

- Rule 12.3.6.1.2 Excavation in the Recreational Zone – Permitted; and
- Rule 12.3.6.1.3 Excavation in the Residential Zone - Permitted; and
- Rule 12.3.6.2.1 Excavation in the Recreational – Restricted Discretionary; and
- Rule 12.3.6.2.2 Excavation in the Residential Zone – Restricted Discretionary; and
- Rule 9.6.5.1.1 Purpose of Buildings – Permitted; and
- Rule 9.6.5.3 (a) - Discretionary Activities
- Rule 9.6.5.1.6 Setback from Boundaries – Permitted.

Therefore, resource consent is required pursuant to the following rules:

- Rule 9.6.5.2.6 Setback from Boundaries – Restricted Discretionary; and
- Rule 9.6.5.3 Purpose of Buildings – Non-complying; and
- Rule 12.3.6.2.1 Excavation in the Recreational Activities Zone – Restricted Discretionary; and
- Rule 12.3.6.3 Earthworks in the Residential Zone - Discretionary activity.

Overall, the proposed activity requires resource consent as a **Non-Complying** activity under the  
Operative District Plan.

#### 6.2 Permitted Activities

##### *National Environmental Standards*

In accordance with Schedule 4 clause 2 (1)(g) of the RMA, the applicant has considered all relevant National Environmental Standards (NES) when preparing this application. The proposed activity complies with the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCOS). The subject site has not been subject to any landuses stated in the Hazardous Activities and Industries List (HAIL).

##### *Noise*

Recreation zone rule 9.6.5.1.12 states the permitted standard for noise (see below). The proposed pumpstation will be designed to ensure that noise emitted from the pumpstation complies with this standard.

##### **9.6.5.1.12 NOISE**

All activities shall be conducted so as to ensure that noise from the site shall not exceed the following noise limits as measured at or within the boundary of any site in the Residential, Coastal Residential or Russell Township Zones, or at or within the notional boundary of any dwelling in any other rural or coastal zones:

0700 to 2200 hours 55 dBA L<sub>10</sub>  
2200 to 0700 hours 45 dBA L<sub>10</sub> and  
70 dBA L<sub>max</sub>

### *Below Ground Services*

The below ground components of the pumpstation and wastewater storage are a permitted activity pursuant to FNDP rule 17.2.6.1.1 (see below).

#### **17.2.6.1.1 UTILITY SERVICES SITUATED BELOW GROUND IN ALL ZONES**

All underground or in ground utility services with the exception of high pressure gas lines with a gauge pressure of more than 2,000 kilopascals; provided that:

- (a) closed system structures for the conveyance of water or sewage, and incidental equipment including connections; and/or
- (b) closed system pipes and fittings for the distribution or transmission of water, whether treated or untreated, for supply, including irrigation may be located above ground level where necessary for stream crossings and areas where gravity flow requires otherwise.

**Note 1:** Underground means that the utility service has been placed underneath the ground and is covered.

**Note 2:** Inground means that the utility service is placed in the ground but is not necessarily entirely covered over. For example it could be placed in a pit.

### *New Roads*

Rule 15.1.6C.1.9 permits new roads if built in accordance with Engineering Standards and Guidelines.

#### **15.1.6C.4.3 NEW ROADS**

- (a) Whether the new road complies with the *"Engineering Standards and Guidelines" (June 2004 – Revised 2009)*.

The proposed culvert and road extension will be designed and constructed to comply with the 2009 Engineering Standards and Guidelines.

### **6.3 Proposed Far North District Plan**

FNDP has notified a proposed district plan (PDP). The proposed activity has been assessed as unable to comply with the following proposed rules:

- EW-R1 Earthworks for buildings or structures, and extensions to existing buildings or structures, permitted
- EW-R8 Earthworks for new infrastructure or repair and upgrades of existing infrastructure owned by network utility providers or requiring authority, permitted
- OSZ-R1 New building or structure, and extension or alteration to an existing building or structure, permitted
- NH-R1 Maintenance, repair or upgrading of infrastructure, including structural mitigation assets, permitted
- NH-R3 New buildings or structures, permitted
- NH-R7 New buildings, and extensions or alterations that increase the GFA of existing buildings, restricted discretionary.
- NH-R9 New structures (excluding buildings) or infrastructure, and extensions or alterations that increase the footprint of an existing structure (excluding buildings) or infrastructure (excluding structural mitigation assets)

Overall, the proposed activity is a **Discretionary** under the following PDP rules.

- NH – R11 Activities not otherwise a permitted, restricted discretionary or discretionary activity in a 1 in 100 year river flood hazard area, discretionary.
- OSZ-R16 Activities not otherwise listed in Open Space zone.

*Earthworks* – Most of the PDP earthworks provisions are not yet operative. Immediately operative earthworks provisions relating to accidental discovery protocol and silt and sediment controls can be complied with. However, the proposed activity includes a stormwater diversion. Consequently, the proposed earthworks do not comply with performance standard EW-S9. Pursuant to rules EW- R1 and EW -R8 the activity is **estricted discretionary**.

*Natural hazards* – The proposed activity has a functional need to be located within a 1:100 flood plain. As the proposed activity involves a stormwater diversion, it cannot comply with the performance standards of the permitted and restricted discretionary activity rules. Accordingly, pursuant to rule NH – R11, the activity is classified as **discretionary**.

*Open Space* – The proposed activity has a functional need to be located within a reserve with proposed open space zoning. While the pumpstation itself qualifies as a permitted activity under the Infrastructure provision I-R2, the proposed boundary retaining wall does not comply with performance standards Per 1 and Per 2, as it is not associated with a permitted activity and is less than 1.2m from the boundary. Accordingly, pursuant to rule OSZ – R1, the activity is classified as **discretionary**.

## 6.4 Other Authorisations Required

### 6.4.1 Proposed Regional Plan for Northland

The proposed stormwater diversion and earthworks within a flood hazard area require resource consent from NRC as a Discretionary activity pursuant to rules C.3.1.9 and C.8.3.3 of the PRPN.

### 6.4.2 Other Legislation

The proposed pumpstation is on land classified as Recreation Reserve under s.17 of the Reserves Act 1977. The applicant will seek a change of classification to Local Purpose Reserve from FNDC pursuant to s.24 of the Reserve Act.

# 7     **Assessment of Environmental Effects**

This assessment of environmental effects (AEE) provides the information required under Schedule 4 of the Act and is commensurate with the scale and nature of the proposed activity.

## 7.1 Positive Effects

Kaikohe’s current wastewater infrastructure is outdated and under-capacity leading to overflow incidents during wet weather. FNDC obtained funding from the Infrastructure Acceleration Fund (IAF) to help address these issues and support the construction of 365 new homes in Kaikohe.

<i>Enable</i>	<i>Housing</i>	<i>Development</i>
The proposed pumpstation is a critical component for increasing capacity of wastewater reticulation in Kaikohe. Completion of the reticulation upgrades will support new housing developments at Bisset Road and accommodate future growth, thereby contributing to improved socio-economic and housing outcomes in Kaikohe.		

In July 2024, FNDC commissioned Market Economics (M.E) to undertake an analysis associated with preparing a Housing and Business Capacity Assessment (HBA), as outlined in the National Policy Statement for Urban Development (NPSUD). While FNDC is not required to complete a detailed HBA, the assessment identified the availability of affordable housing was a particular issue in Kaikohe,<sup>2</sup> reinforcing the importance of infrastructure upgrades such as the proposed pump station to facilitate sustainable urban growth and improved socio-economic outcomes.

<i>Protect</i>	<i>Waterways</i>
Improvements to wastewater reticulation will not only increase system capacity but will also significantly reduce the likelihood of overflow incidents, thereby protecting local waterways from contamination. By mitigating the risk of untreated wastewater entering the environment, these upgrades will deliver tangible environmental benefits, support public health, and contribute to the long-term resilience and sustainability of Kaikohe’s wastewater network.	

*Transport & Roding Assets*

The culvert and road extension will vest in Council as road. This will improve the transport/access opportunities in a yet undeveloped residential zone that did not have suitable safe access. The proposal includes footpaths thereby extending pedestrian access into the future residential area.

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<sup>2</sup> The assessment is publicly available at  
[https://www.fndc.govt.nz/\\_\\_data/assets/pdf\\_file/0021/31566/HBA-Report\\_FINAL.pdf](https://www.fndc.govt.nz/__data/assets/pdf_file/0021/31566/HBA-Report_FINAL.pdf)

## 7.2 Potential Adverse Effects

### **Earthworks**

The proposed 1230m<sup>3</sup> of earthworks at the pumpstation site are a restricted discretionary activity pursuant to FNDC rule 12.3.6.2.1. The relevant matters of discretion are as follows:

- (i) *the effects of the area and volume of soils and other materials to be excavated; and*
- (ii) *the effects of height and slope of the cut or filled faces; and*
- (iii) *the time of the year when the earthworks will be carried out and the duration of the activity; and*
- (iv) *the degree to which the activity may cause or exacerbate erosion and/or other natural hazards on the site or in the vicinity of the site, particularly lakes, rivers, wetlands and the coastline; and*
- (v) *the extent to which the activity may adversely impact on visual and amenity values; and*
- (vi) *the extent to which the activity may adversely affect cultural and spiritual values; and*
- (vii) *the extent to which the activity may adversely affect areas of significant indigenous vegetation or significant habitats of indigenous fauna; and*
- (viii) *the number, trip pattern and type of vehicles associated with the activity; and*
- (ix) *the location, adequacy and safety of vehicular access and egress; and*
- (x) *the means by which any adverse environmental effects of the activity will be avoided, remedied or mitigated.*

The proposed culvert and road extension site earthworks exceed 500m<sup>3</sup> in the Residential zone and requires resource consent as a discretionary activity pursuant to rule 12.3.6.3. Because of the discretionary activity status the consent authority may consider any relevant matter when assessing the application. The criteria stated above are considered relevant for assessing both rule breaches.

### **Erosion and sediment control**

- An Erosion and Sediment Control Plan, in accordance with the requirements of GD05, will be provided for FNDC and NRC approval prior to commencing construction.
- All vegetation will be reinstated within 3 months of the completion of the earthworks.
- Earthworks shall be carried out within the construction season, unless otherwise approved by NRC and FNDC.
- Earthworks will be carried out in accordance with the plans and specifications designed by Haigh Workman. The applicant suggests a consent condition requiring a silt and sediment control plan be provided and approved by FNDC and NRC prior to construction commencing.
- Subject to compliance with consent conditions and the implementation of GD05 best practice, the adverse effects from erosion and sediment will be temporary and no more than minor.

### **Effects of flood hazard risks, land instability and land subsidence on other property**

- The stormwater diversion to the west and stormwater bypass to the east have a cross-sectional area equivalent to the cross-sectional area of the obstruction. Consequently, the obstruction does not reduce the capacity of the flood plain and should not adversely affect any downstream properties (refer to Appendix B).



- The earthworks and associated retaining wall have been designed by a suitably qualified and experienced engineer and the design is appropriate for the location (refer to Appendix A).
- The pumpstation site is a reserve managed by FNDC. There will be no land instability or subsidence effects on adjacent properties. Written approval was sought from the owners of adjacent properties (See Section 9 of this report).
- The site topography is flat to gently sloping and therefore low risk for landslip (see Fig. 7.1).

#### *Visual Effects and Amenity*

- The vegetation on site is mostly grass (see Fig 7.1). The site will be revegetated within three months of the completion of earthworks.
- Pedestrian access through the reserve will be reinstated after the construction period.
- The built form will be consistent with the urban character of the neighbourhood.
- Landscape planting will improve the amenity of what is currently a neglected unused reserve.



*Fig 7.1 View from existing drain toward 58 Wihongi Street. Site is gently sloping and has a low risk of instability or landslip.*

#### *Adverse effects on water bodies, vegetation and habitat*

- The proposed activities include earthworks and re-routing an existing manmade drain (see Fig 7.2). The nearest waterbody that meets the RMA definition of a river is 130m to the north-east.

**river** means a continually or intermittently flowing body of fresh water; and includes a stream and modified watercourse; but does not include any artificial watercourse (including an irrigation canal, water supply race, canal for the supply of water for electricity power generation, and farm drainage canal)

- Subject to implementing proposed silt and sediment controls the adverse effects on any natural water bodies will be less than minor.
- The subject site is in an urban area. There are no areas of indigenous vegetation or habitat.



- Overall, the adverse effects on water bodies, indigenous vegetation and habitats will be less than minor.



Fig 7.2 Proposed activity includes rerouting this manmade drain.

#### ***Cultural, Spiritual and Heritage Values***

- There are no sites of significance to Māori or heritage sites in the surrounding environment.
- The accidental discovery protocol will be followed as per operative PDP earthworks rules.
- The proposed activity is within an existing urban area and development of infrastructure and housing is an anticipated environmental outcome.

#### ***Traffic Safety and Vehicle Access***

- A construction management plan and traffic management plan will be provided prior to construction commencing. The applicant will work with the FNDC Roding department to ensure that the road surface is reinstated and pedestrian and vehicular safety is maintained.
- A new vehicle crossing will be constructed within three months of completing construction of the pumpstation tanks and associated earthworks. The crossing will be constructed in accordance with FNDC Engineering Standards and Guidelines.
- The number of vehicles accessing the site will reduce significantly after construction. It is anticipated a wastewater operator will visit the site a few times a week.
- Overall, the effects of the proposed activity on traffic safety and access will be less than minor.

#### ***Buildings in the Recreational Activities Zone***

The proposed retaining wall requires a building consent. Consequently, the retaining wall meets the definition of building stated in Chapter 3 of the FNDP.

The proposed retaining wall cannot comply with permitted activity rule 9.6.5.1.1 *Purpose of Buildings*. This rule requires that “*All new buildings shall be directly for, or ancillary to, the principal recreational activities on the site.*” In this case the building is a retaining wall and cannot contain any activity.

Furthermore, there are no recreational activities on the site. I consider this a “technical breach” as the District Plan is unlikely to have anticipated the rule applying to a retaining wall.

Activities that cannot comply with rule 9.6.5.1.1 are non-complying activities pursuant to FNDP rule 9.6.5.3. The processing planner may consider any relevant matter when assessing a non-complying activity. However, section 11.17 of the FNDP states the following matters are of particular interest and should be addressed in the application:

**11.17 PURPOSE OF BUILDINGS IN THE RECREATION/CONSERVATION ENVIRONMENT**

- (a) The necessity of the building for conducting the principal recreational or conservation activity on the site.
- (b) The compatibility of the building with the natural or landscaped character of the site, and with the level of amenity in the surrounding area.
- (c) The necessity of the building for a utility service.

Clause (a) - The site is not used for any recreational activities. The site is occasionally used as pedestrian access between Wihongi Street and Totara Place (see Fig 7.4). The pedestrian access will be reinstated after site works are completed

Clause (b) - The proposed retaining wall is less than 1.5m high and compatible with the character and amenity of the surrounding urban area (see Fig 7.3). The neighbourhood contains residences, fences, garages and other structures with similar scale to the proposed retaining wall. See section 9 of this report for assessment of potentially affected persons.

Clause (c) – The retaining wall is essential to retain the earthworks around the pumpstation. The pumpstation itself is essential to improving the capacity of the Kaikohe wastewater network.



*Fig 7.3 The proposed retaining wall will be consistent with the character of existing development on Wihongi Street.*





Fig 7.4 Pedestrian entry to Reserve from Totara Place

Overall, the breach of rule 9.6.5.1.1 is a technical breach. The adverse effects of the retaining wall on recreational activities and amenity will be no more than minor. The proposed activity is consistent with objectives and policies for the Recreational Activities and Residential zones (see section 8 of this report).

### **Setback from Boundaries**

The proposed retaining wall requires a building consent. Consequently, the retaining wall meets the definition of building stated in Chapter 3 of the FNDP. The proposed retaining wall is approximately 3m from the road boundary but less than 2m from the side boundary. Consequently, it cannot comply with permitted activity rule 9.6.5.1.6 *Setback from Boundaries*. The retaining wall is a restricted discretionary activity pursuant to 9.6.5.2.6 *Setback from Boundaries*.

Council has restricted its discretion to the following matters:

- (a) the extent to which the proposal is in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites;*
- (b) the extent to which the building(s) intrudes into the street scene or reduces outlook and privacy of adjacent properties;*
- (c) the extent to which the buildings restrict visibility for vehicle manoeuvring;*
- (d) the ability to mitigate any adverse effects on the surrounding environment, for example by way of street planting;*
- (e) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.*

An assessment of these matters is provided below.

*Existing Character and Form* - The proposed retaining wall is consistent with the character and form of the surrounding street (see Fig 7.3).

*Street Scene and Outlook* - The proposed retaining wall is setback approximately 3m from the road boundary and runs perpendicular to Wihongi street and is less than 1m wide. Therefore, it is considered that the proposed retaining wall will not adversely affect the outlook onto the street. In addition, the proposed retaining wall is approximately 1.5m from the southeastern boundary. There is potentially a reduction in outlook onto the reserve for residents of 58 Wihongi Street and 7 Totara Place (see potentially affected parties assessment in section 9 of this report). The adverse effect on the street scene will be less than minor.

*Visibility and Vehicle Safety* – The proposed retaining wall is setback approximately 3m from the road boundary. It will not reduce site distances for vehicles entering or egressing on Wihongi Street. The retaining wall will not intrude upon the road or create a vehicle safety hazard. A traffic management plan will be in place during construction.

*Mitigation and Landscaping* – It is proposed to include some landscaping along the Wihongi Street boundary. This will soften the visual impact of the earthworks and screen the view of the retaining wall.

#### *Public Use and Enjoyment*

The Reserve does not contain any recreational facilities. It is occasionally used as a pedestrian throughfare between Wihongi Street and Totara Place (see Fig 7.5). Public access will be prevented during construction of the pumpstation but will be reinstated once construction is complete.



Fig 7.5 View from Wihongi Street across reserve to pedestrian throughfare onto Totara Place

### 7.3 Assessment of Environmental Effects Summary

The proposed pumpstation, culvert and road extension will have positive effects including enabling residential development, improving transport and access, and reducing wastewater overflows.

The proposed earthworks will be designed and carried out in accordance with industry best practice. The adverse effects of the proposed earthworks on amenity, cultural and spiritual values, vehicle safety, natural hazard risk, water quality and biodiversity will be no more than minor.

The proposed retaining wall is similar in character and scale to existing developments along Wihongi Street. The adverse effects on character, amenity, traffic safety and public enjoyment of open space will be less than minor.

The adverse effects of the proposed earthworks on amenity, cultural and spiritual values, natural hazard risks, water quality and biodiversity will be no more than minor.

Overall, the adverse effects on the wider environment will be no more than minor.

## 8 Statutory Assessment

### 8.1 Section 104(1)(a) of the Act

Section 104(1)(a) requires that when considering an application for a resource consent, the consent authority must, subject to Part 2, have regard to 'any actual and potential effects on the environment of allowing the activity'. An assessment of the adverse effects of the proposal is set out in Section 7 above, where it was considered the adverse effects on the environment were no more than minor.

### 8.2 Section 104(1)(b) of the Act

Section 104(1)(b) of the Act requires that when considering an application for a resource consent, the council must, subject to Part 2, have regard to:

any relevant provisions of—

- (i) a national environmental standard:
- (ii) other regulations:
- (iii) a national policy statement:
- (iv) a New Zealand coastal policy statement:
- (v) a regional policy statement or proposed regional policy statement:
- (vi) a plan or proposed plan; and

The relevant documents to be assessed are tabled below.

Requirement	Document
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Regional Policy Statement	Northland Regional Policy Statement 2016 (RPS)
Operative District Plan	Operative Far North District Plan 2009 (FNDP)
Proposed District Plan	Proposed Far North District Plan (PDP)

### 8.2.1 Northland Regional Policy Statement

The purpose of a regional policy statement is set out in Section 59 of the Act, which states:

*“The purpose of a regional policy statement is to achieve the purpose of the Act by providing an overview of the resource management issues of the region and policies and methods to achieve integrated management of the natural and physical resources of the whole region”.*

The RPS was made operative in 2016. The FNDP was written in 2009. Consequently, the relevant RPS provisions may not have been carried through to the FNDP. An assessment of the proposed activity against the RPS is therefore provided below.

*Objective 3.5 Enabling economic wellbeing - Northland’s natural and physical resources are sustainably managed in a way that is attractive for business and investment that will improve the economic wellbeing of Northland and its communities.*

The proposed pumpstation is part of a wider programme of wastewater reticulation investments that will enable housing development in the Kaikohe community.

*Objective 3.7 Regionally significant infrastructure - Recognise and promote the benefits of regionally significant infrastructure, (a physical resource), which through its use of natural and physical resources can significantly enhance Northland’s economic, cultural, environmental and social wellbeing*

The proposed pumpstation meets the definition of Regionally Significant Infrastructure (see Appendix 3 10(h) of the RPS).

*Objective 3.8 Efficient and effective infrastructure - Manage resource use to:*

- (a) Optimise the use of existing infrastructure;*
- (b) Ensure new infrastructure is flexible, adaptable, and resilient, and meets the reasonably foreseeable needs of the community; and*
- (c) Strategically enable infrastructure to lead or support regional economic development and community wellbeing.*

The proposed pumpstation upgrades the reticulation to meet reasonably foreseeable needs of the community. This will support housing development and community wellbeing.

*Objective 3.13 Natural Hazard Risk - The risks and impacts of natural hazard events (including the influence of climate change) on people, communities, property, natural systems, infrastructure and our regional economy are minimised by:*

*(g) Recognising that in justified circumstances, critical infrastructure may have to be located in natural hazard-prone areas*

Alternative locations for the pumpstation were investigated. However, due to topography, subsoil conditions and the functional requirements of the reticulation network, the subject site is considered the only viable option. If FNDC is unable to utilise this site for the pump station, the entire wastewater reticulation upgrade could be compromised, potentially delaying or limiting the delivery of critical infrastructure improvements. This would result in considerable economic loss such as loss of IAF funding and the opportunity cost of not being able to develop land for affordable housing.

*Summary* – The proposed earthworks and stormwater diversion is consistent with the objectives of the RPS because it will enable regionally significant infrastructure and support community well-being while maintaining the ecological values and flood plain capacity of the Mangamutu Stream.

#### 8.2.2 Operative Far North District Plan 2009

The purpose of a district plan is set out in s.72 of the Act which states,

*“The purpose of the preparation, implementation, and administration of district plans is to assist territorial authorities to carry out their functions in order to achieve the purpose of this Act.”*

The proposed pumpstation and associated earthworks and retaining wall are a non-complying activity under the FNDC. Pursuant to s.104D (1)(b) of the RMA, the consent authority must be satisfied that the proposed non-complying activity is not contrary to the relevant proposed and operative plan. An assessment of the proposed activity against the relevant objectives and policies of the FNDC is set out below.

Note: The proposed activity is non-complying only because the retaining wall (building) is not for a recreation purpose. It is a discretionary activity under the PDP.

#### **Recreational Activities Zone**

The proposed pumpstation and associated earthworks and retaining wall are located in the Recreational Activities zone. The Recreational Activities zone is intended to provide areas for the recreational needs of the community (FNDC provision 9.6.2.1). The subject site is not currently used for recreational purposes due to lack of pedestrian access, flooding and encroachment of adjacent residences. The pumpstation project includes seeking a change of reserve status to local purpose reserve (see section 6.3.2 of this report).

The FNDC has acknowledged recreational zoning is not appropriate and proposes to zone the site Open Space. However, the FNDC zoning provisions are not yet operative. Consequently, the relevant objectives and policies of the Recreational Activities Zone are set out below.

9.3.1 - The proposed pumpstation is not directly intended for a conservation or recreation purpose. The reserve was created in 1977 when the surrounding land was subdivided. Due to lack of pedestrian connectivity, flooding and encroachment the reserve has not historically been used as a recreation reserve. Using the reserve for a pumpstation would provide a community and conservation benefit by enabling housing and reducing the risk of wastewater overflows.

9.3.2 – The subject site does not contain areas of high conservation value.

9.3.3 – The site is not currently used for any recreational purpose. The proposed pumpstation optimises the use of vacant reserve land for community benefit.

9.4.1 – As demonstrated in section 7 of this report, the adverse effects on the wider environment will be no more than minor. Landscape planting and fencing will preserve the amenity of the residential street.

9.4.2 – 9.4.4 Not applicable as the subject site is not used for recreation or conservation purposes.

#### *Summary*

The proposed retaining wall activity is not contrary to the objectives and policies of the Recreational Activity zone.

#### ***Soils and Minerals (Earthworks)***

The proposed earthworks and associated stormwater diversion are restricted discretionary activities in the Recreational Activities zone and 1:100 ARI flood hazard area. An assessment of the relevant objectives and policies relating to earthworks is set out below.

12.3.3.1 – This objective directs the consent authority to take an integrated approach with NRC. The applicant has made an application to NRC for the Regional Plan breaches stated in section 6.3.2 of this report. The applicant anticipates FNDC will liaise with NRC regarding consent conditions for the proposed earthworks.

12.3.3.2 – The proposed earthworks are in an urban area surrounded by residential zoning. The site is not on production or conservation land that depends on life-supporting capacity of soil.

12.3.3.3, 12.3.4.1, 12.3.4.4 – Section 7 of this report demonstrates that, subject to compliance with conditions, the adverse effects of the proposed earthworks will be no more than minor. The work will be carried out and the site reinstated in accordance with industry best practice.

12.3.3.4-12.3.3.8 – Not applicable. The proposed activity is not mineral extraction.

12.3.4.3 – The site does not contain significant ecological, landscape, cultural or heritage values. The site is subject to flood hazards. However, the flood risk assessment demonstrated that the risks associated with the earthworks were no more than minor (Section 7 and Appendix B).

12.3.4.9 – 12.3.4.10 – The proposed pumpstation and associated earthworks are not within the National Grid Yard.

#### *Summary*



The proposed activity is consistent with Chapter 12.3 objectives and policies because:

- There will be an integrated approach to managing the adverse effects.
- Effects on the environment and neighborhood amenity will be no more than minor.

### ***Utility Services***

The proposed wastewater pumpstation is a utility and is a permitted activity under FNDP rule 17.2.6.1.1. The associated earthworks and retaining wall are not permitted activities but are necessary to ensure the safe and effective function of the pumpstation. An assessment of the relevant objectives and policies relating to utility services is set out below.

17.2.3.1 – The proposed pumpstation is an efficient way to meet the reasonably foreseeable wastewater service needs of the Kaikohe community. As demonstrated in Section 7 of this report, the adverse effects of the proposed activity will be no more than minor. The positive effects in terms of enabling housing are significant.

17.2.4.1 and 17.2.4.3 These policies direct that the upgrading of utilities should be provided for, particularly if there is demand due to growth. In this instance the proposed pumpstation is required to support affordable housing. The pumpstation itself is a permitted activity but cannot be constructed without consenting associated earthworks and retaining wall structures.

### ***Summary***

The proposed activity is not contrary to the objectives and policies of Chapter 17.2. Further, the proposed activity actively contributes to providing for utility services by enabling upgrades that meet the foreseeable needs of the Kaikohe community. The site is located within a wider urban residential context. The proposed activity is consistent with the residential zone objectives relating to enabling residential density (see below).

### ***Residential***

The subject site is surrounded by land zoned Residential. The proposed activity is required to enable residential development. It is therefore relevant to consider the residential objectives and policies in Chapter 7.6.3 and 7.6.4.

7.6.3.1, 7.6.4.4 – The proposed activity will enable further residential development and a range of housing types by providing for essential wastewater reticulation.

7.6.3.2, 7.6.4.5, 7.6.4.6 – As demonstrated in Section 7 of this report, landscape planting and fencing can mitigate the adverse effects of the proposed activity on residential amenity to the extent that effects will be less than minor.

### ***Summary***

The proposed pumpstation gives effect to Residential zone objectives and policies relating to enabling housing while mitigating effects on existing amenity.

### *Section 104D Conclusion*

Overall, the proposed pumpstation, associated earthworks, retaining wall and road extension are consistent with the objectives and policies of the operative district plan because:

- The adverse effects on the wider environment will be no more than minor (see section 7 of this report).
- The proposed activity will enable the use of the Residential zone for residential development.
- The proposed activity will optimize the use of public land for community benefit.

### 8.2.3 Proposed Far North District Plan 2025

FNDC has notified the Proposed Far North District Plan (PDP). Pursuant to s.86B of the RMA most provisions of the PDP do not yet have legal effect. However, the objectives and policies of the proposed plan are a relevant indicator of changes in policy direction.

The PDP objectives and policies for Earthworks do not differ significantly from the FNDC. The assessment provided in Section 8.2.2 above is still applicable. However, the PDP objectives and policies for the Open Space zone, General Residential Zone, and Infrastructure (Utilities in FNDC) are significantly different from the FNDC.

#### ***Open Space Zone***

The proposed activity is on land that is currently zoned Recreational Activities zone. The PDP recognises that this land is more appropriately zoned Open Space.

The pumpstation itself is a permitted activity under PDP rule *I-R2 New underground network utilities*. However, the proposed retaining wall requires consent under rule OSZ-R1 as a discretionary activity because it does not satisfy performance standard PER-1 and accommodate a permitted activity. The word “accommodate” indicates the PDP did not intend that this rule apply to retaining walls.

The proposed retaining wall also breaches performance standard PER-2 standard OSZ-S3 *Setback*. This is a restricted discretionary activity. If PER-1 is set aside, then the scope of matters to be considered is restricted to the matters stated in OSZ-S3 a-g. These have been considered in Section 7 of this report.

*OSZ-P1 and OSZ-P2* – The proposed activity is not consistent with these policies. Access to the reserve for recreational activities will be compromised. However, as stated in Section 7 of this report, the adverse effects will be less than minor given the current use of the reserve and surrounding landuses. The “gateway” test can still be satisfied.

*OSZ-P3 and OSZ-P4* – The proposed activity is not compatible with the values of the open space zone but is compatible with the values of the surrounding General Residential zone. The pumpstation will benefit tangata whenua and the community by enabling residential development and improving wastewater management. As set out in Section 7 above, the adverse effects on neighbourhood amenity will be less than minor and consistent with the values of the General Residential zone (see below).

## **General Residential Zone**

The PDP provisions GRZ-O1 to GRZ -O3 emphasize the need for infrastructure development to provide for residential density and respond to demand.

*GRZ-O1 The General Residential zone provides a variety of densities, housing types and lot sizes that respond to:*

- a) housing needs and demand;*
- b) the adequacy and capacity of available or programmed development infrastructure;*
- c) the amenity and character of the receiving residential environment; and*
- d) historic heritage.*

*GRZ-O2 The General Residential zone consolidates urban residential development around available or programmed development infrastructure to improve the function and resilience of the receiving residential environment while reducing urban sprawl.*

*GRZ-O3 Non-residential activities contribute to the well-being of the community while complementing the scale, character and amenity of the General Residential zone.*

The proposed pumpstation is not just consistent with these objectives, it gives effect to them. As demonstrated in Section 7 of this report the adverse effects on the amenity of the residential area will be less than minor. The proposed activity will enable residential development that the Kaikohe community needs.

### *Infrastructure*

The PDP Infrastructure provisions I-O1 – I-O2 direct the consent authority to “recognize and provide for” infrastructure as a way of enhancing social wellbeing.

*I-O1 The district has safe, efficient and resilient infrastructure that services the current and future needs of people and communities in the district.*

*I-O2 The economic and community benefits of infrastructure are recognised and provided for, including the benefits of regionally significant infrastructure to enhance economic, cultural, environmental and social well-being in the district.*

The proposed pumpstation is critical to providing safe, efficient and resilient infrastructure for the community of Kaikohe. The ability to meet the communities reasonably foreseeable housing needs is dependent on infrastructure capacity upgrades. The proposed activity is consistent with, and gives effect to, PDP objectives regarding infrastructure.

### **8.2.4 Section 104(1)(b) Summary**

The above assessments demonstrate that the proposal is consistent with the relevant objectives and policies of the relevant statutory documents. It would frustrate the wider policy direction of the PDP if the weighting of policy priorities errs toward existing FNDP recreation zone provisions.

### **8.3 Section 104(1)(c) of the Act**

Section 104(1)(c) of the Act states that consideration must be given to “any other matters that the consent authority considers relevant and reasonably necessary to determine the application.”

All relevant matters have been considered.

## **9 Notification Assessment – Sections 95A to 95G of the RMA**

### **9.1 Public Notification Assessment**

A public notification assessment has been conducted in accordance with Section 95A. Public notification is not required for the following reasons:

- The applicant has not requested notification.
- There is no mandatory requirement to notify
- There are no special circumstances requiring notification.
- The adverse effects on the wider environment will be no more than minor (see AEE in section 7).

A determination not to publicly notify the application should therefore be made.

### **9.2 Limited Notification**

A limited notification assessment has been conducted in accordance with Section 95B. Limited notification is not required for the following reasons:

- The proposed activity will not adversely affect any land or persons that are the subject of a statutory acknowledgement.
- No special circumstances exist.
- The applicant considers that the adverse effects of the proposed activity on adjacent properties will be less than minor. However, written approvals are being sought (see section 9.3 of this report).



### **9.3 Written Approvals**

There are three properties that have been identified as potentially affected by the proposed activity (see Figure 9.1 below). The potentially affected properties are identified by blue circles below.




Figure 9.1 Potentially affected properties indicated with blue circle.

The address and legal description of the potentially affected properties are tabled below.

Site	Address and Legal Description	Comment
	58 Wihongi Street, Kaikohe  Lot 49 Deposited Plan 80834	The property owner is potentially affected by the earthworks, stormwater bypass and retaining wall close to the property boundary. The applicant is seeking written approval from the property owner.
	7 Totara Place, Kaikohe  Lot 9 Deposited Plan 82811,	The property owner is potentially affected by the change of use and outlook onto the reserve (FNDC landuse application). The applicant is seeking written approval from the property owner.



	<p>Part Lot 2 Deposited Plan 99705</p>	<p>The culvert, road extension and stormwater diversion are located on Part Lot 2. The property owners approval is required before construction can commence. FNDC is negotiating with the property owner regarding potential improvements to the culvert at the end of Wihongi Street that may compensate the property owner for hosting the stormwater diversion.</p>
---	--	---

## 10 Part 2 – Purpose of the Act

Section 5 in Part 2 of the Act identifies the purpose of the Act as being the sustainable management of natural and physical resources.

The proposed pumpstation, associated earthworks, retaining wall and road extension represents a sustainable use of existing resources that allows the community to provide for its social and economic well-being in a manner that avoids and mitigates adverse effects on the environment. The infrastructure upgrade will enable affordable housing development and reduce the risk of wastewater overflows.

## 11 Conclusion

Section 104B of the Act states the matters to be considered when determining an application for a discretionary or non-complying activity.

*104B Determination of applications for discretionary or non-complying activities*

*After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—*

*(a) may grant or refuse the application; and*

*(b) if it grants the application, may impose conditions under [section 108](#).*

This application and associated appendices have provided sufficient information to demonstrate that the adverse effects of the proposed earthworks and associated stormwater diversion on the wider environment will be no more than minor.

The flood risk assessment (Appendix B) concluded that the adverse effects on the owners and occupiers of downstream properties would be less than minor.

The proposed pumpstation is necessary to enable affordable housing development, reduce wastewater overflows and improve access to undeveloped residential land.

The applicant respectfully requests that FNDC grant landuse consent without notification.

## **Schedule of Appendices**

Appendix A – Site plan and elevations

Appendix B – Flood hazard risk assessment

Appendix C – Retaining wall detail

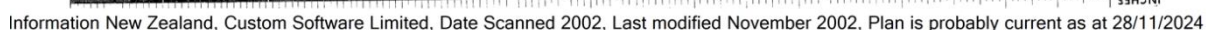
Appendix D – Culvert detail

Appendix E – Record of Title

**RECORD OF TITLE  
DERIVED FROM LAND INFORMATION NEW ZEALAND  
FREEHOLD**

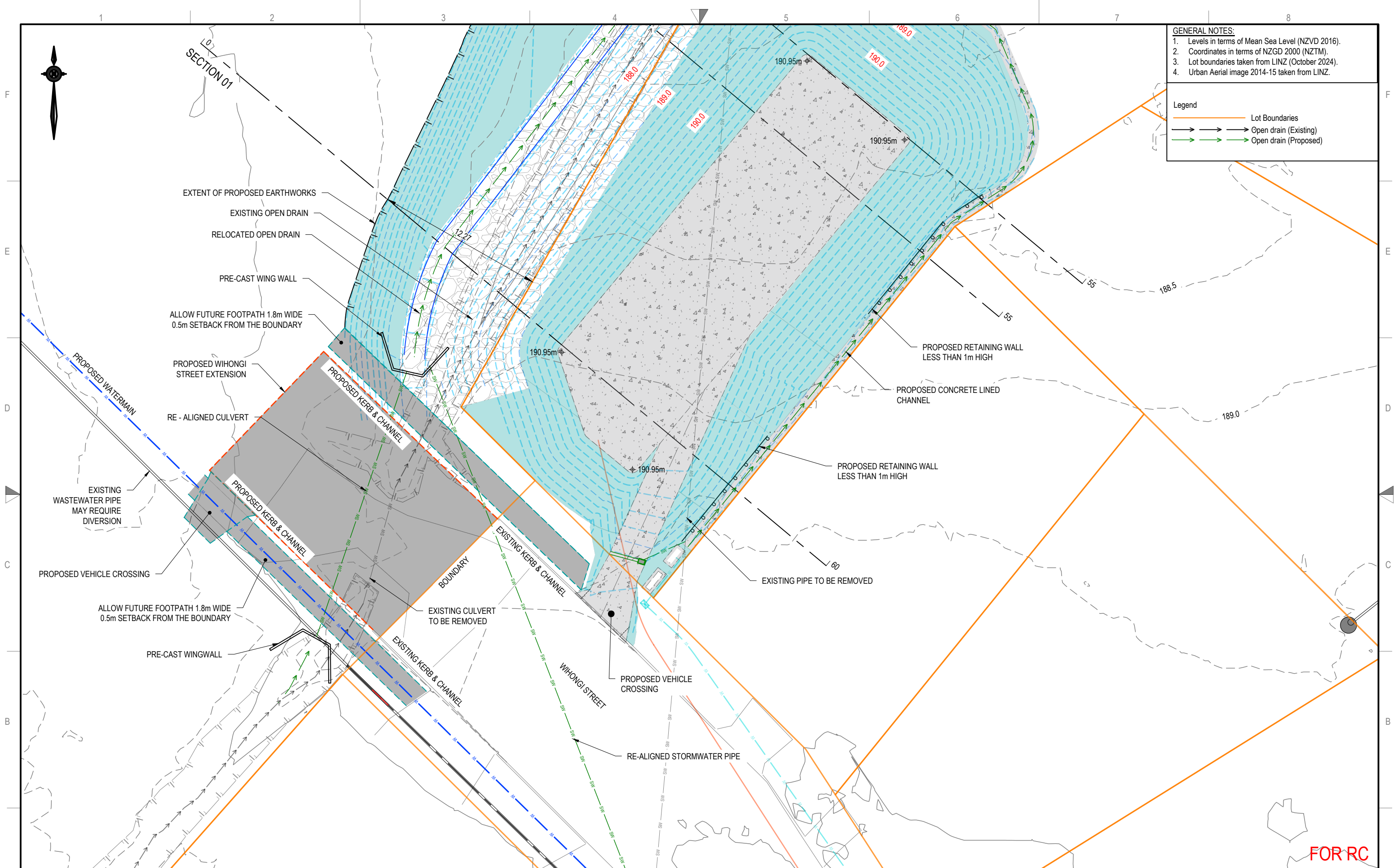
NA35C/433

SUBJECT TO THE RESERVES AND DOMAINS ACT 1953









**GENERAL NOTES:**

1. Levels in terms of Mean Sea Level (NZVD 2016).
2. Coordinates in terms of NZGD 2000 (NZTM).
3. Lot boundaries taken from LINZ (October 2024).
4. Urban Aerial image 2014-15 taken from LINZ.

**Legend**

- Lot Boundaries
- Open drain (Existing)
- Open drain (Proposed)

FOR RC

Rev	Date	Description	By	Checked
A	30/09/2025	NEW SHEET. ISSUED FOR RC	LP	TMA

DWG WIHONGI PUMP STATION  
OPEN DRAIN DIVERSION AND WIHONGI ROAD EXTENSION  
PLAN 2 OF 2

A3 Scale 1:250

0

5m

12.5m

Date 30/09/2025

Drawn LP

Checked TMA

Approved TMA

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**HAIGH WORKMAN**  
Civil & Structural Engineers

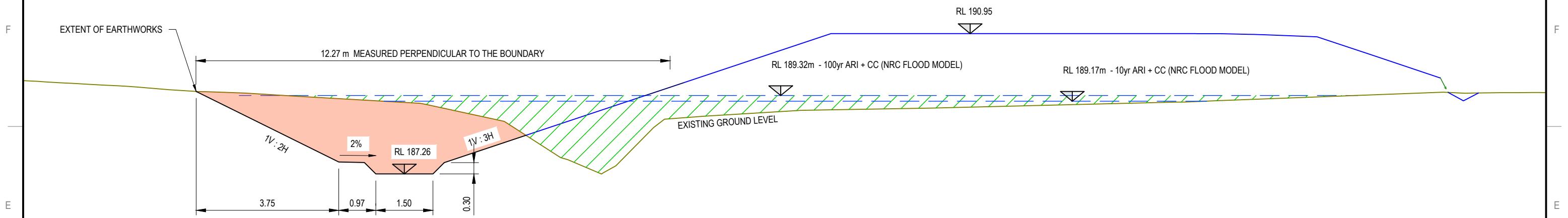
6 Fairway Drive  
Kerikeri, Bay of Islands  
New Zealand

T: 09 407 8327  
E: info@haighworkman.co.nz

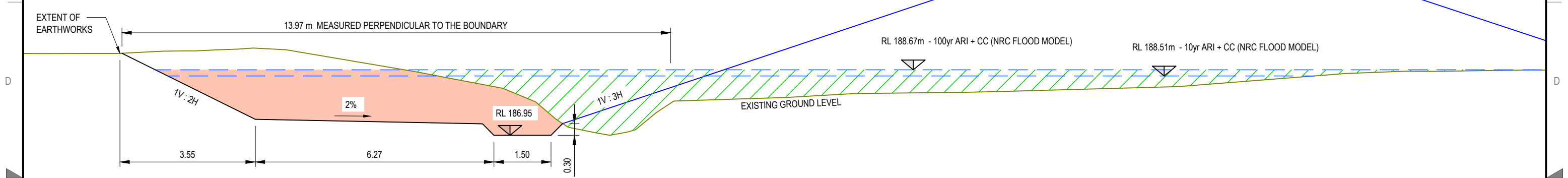
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Project	INFRASTRUCTURE ACCELERATION FUND - KAIKOHE WASTEWATER PACKAGE 1B		Stage
Client	FAR NORTH DISTRICT COUNCIL		Dwg No. WW1-FLO2
Project No. 24 213	RC no.		Sheet No. 2 of 2

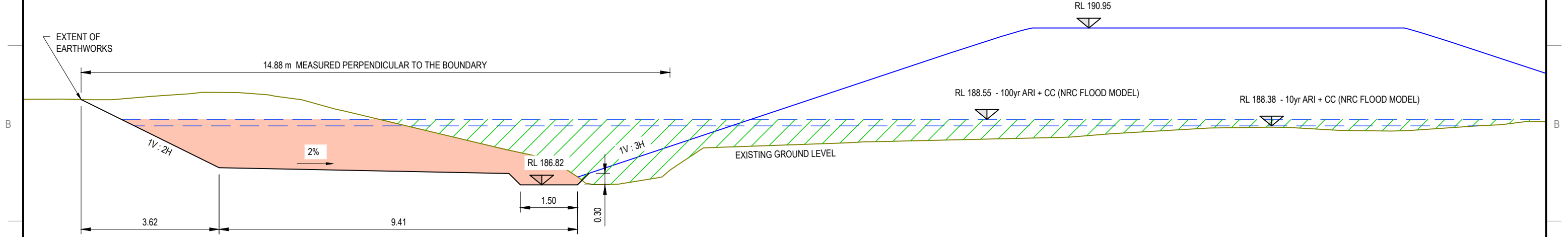
SECTION 1



SECTION 2



SECTION 3



FOR RC

Rev	Date	Description	By	Checked
A	04/09/2025	FOR CONSENT	LP	TMA
B	30/09/2025	CHANGED THE EXTENT OF WORK. ISSUED FOR RC.	LP	TMA

DWG WIHONGI STREET PUMP STATION  
OPEN DRAIN DIVERSION  
SECTIONS 1, 2 AND 3

A3 Scale 1:100

0 2m 5m

Date 30/09/2025

Drawn LP

Checked TMA

Approved TMA

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Client	FAR NORTH DISTRICT COUNCIL
Project No.	24 213
RC no.	

Stage	
Dwg No.	WW1-FL03
Sheet No.	1 of 1

25 157

9<sup>th</sup> September 2025

FNDC Infrastructure Services

By email: [Louise.Wilson@fndc.govt.nz](mailto:Louise.Wilson@fndc.govt.nz)

Attention: Louise Wilson

Dear Louise,

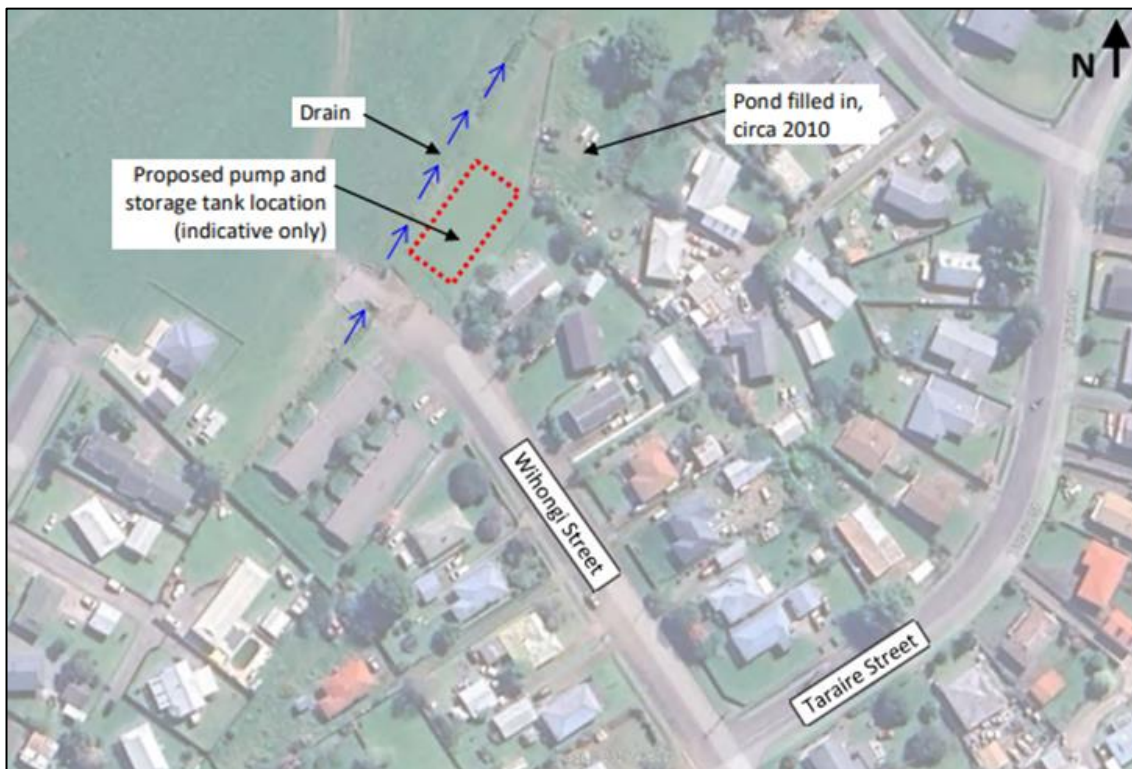
### **Wihongi Street Proposed Pumpstation IAF Project 1B - Flood Hazard Assessment**

#### **Background**

Haigh Workman Limited (Haigh Workman) was commissioned by Far North District Council (the client) to undertake a flood hazard assessment for the proposed development of a wastewater pump station on land at Lot 13 DP82811, Wihongi Street, Kaitaia (the site).

A new pumpstation is required at Wihongi Street to enable the Infrastructure Acceleration Funded (IAF) Kaikohe wastewater reticulation upgrades. The location at the end of Wihongi Street as indicated below in Figure 1. The pumpstation will be below ground and comprise an inlet chamber, two large storage tanks, 6.5m deep pump chamber, flowmeter chamber, connecting pipe work, odour control and an electrical control cabinet. The work will require the ground level to be raised by a depth ranging 2.0 to 2.5m.

The site lies within the flood plain of an unnamed tributary of the Mangamutu Stream. This report assesses the impact of proposed earthworks filling on the mapped flood hazard.



**Figure 1: Site Location**



### Flood Hazard

The site has been mapped by Northland Regional Council as subject to flooding during the 10% and 1% Annual Exceedance Probability (AEP) events. Refer Figure 2. Detailed flood levels across the site were also provided by NRC, see attached. The mapping is unpublished and currently not available on the Council GIS. Earlier mapping available on the FNDC GIS (GHD in 2007) does not include flood levels so has not been used for this assessment.

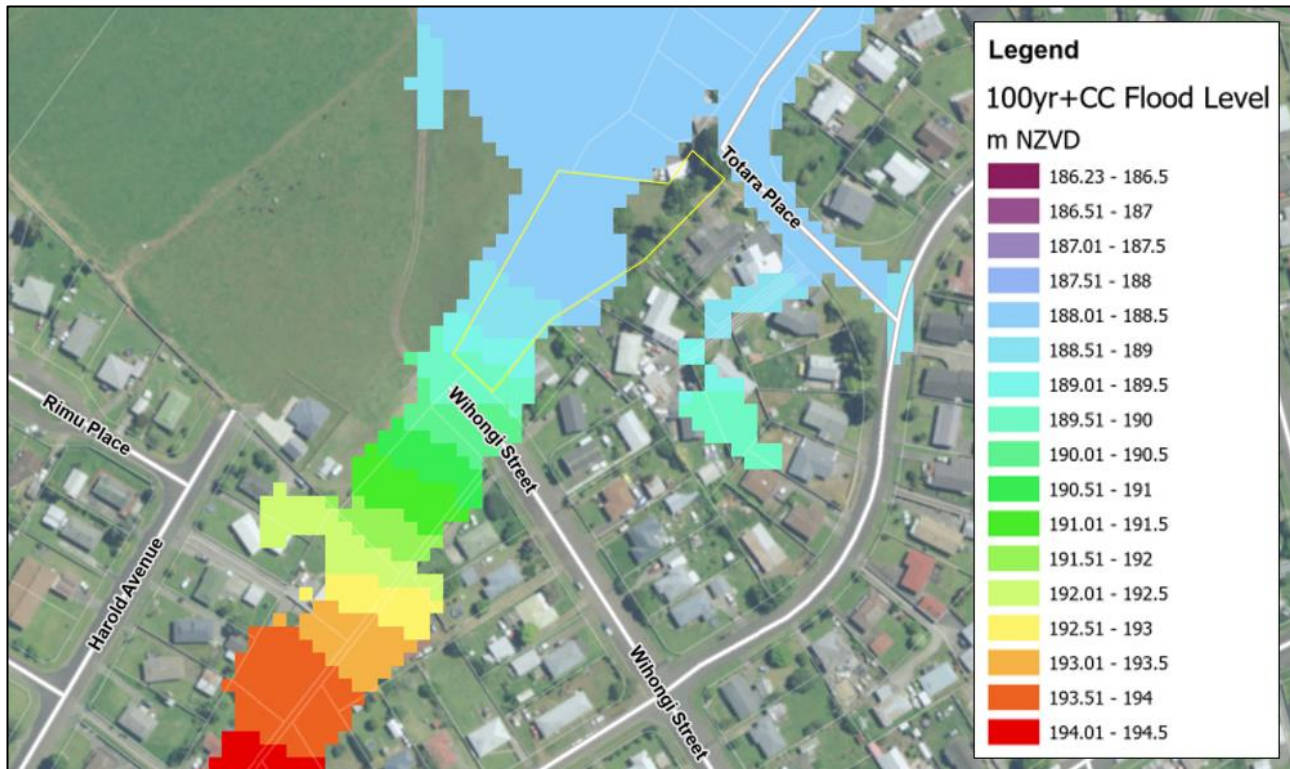


Figure 2: NRC flood Hazard mapping 1% AEP + CC

### Proposed Earthworks Filling

The proposed filling of 2.0 to 2.5m is within the mapped flood hazard and will displace flood waters onto neighbouring property including raising the flood level, unless action is taken to compensate for the loss of the flood way.

To avoid raising the flood level and displacing water onto developed land to the east of the site, it is proposed to form a bypass channel along the northwestern side as shown by the attached plans.

The bypass cross-sectional area has been sized to match the cross-sectional area of the flood hazard occupied by the filling thus avoiding any increase in the flood level. Earthworks shaping for the bypass will be more uniform and smoother than the existing natural channel so can be expected to pass the flow more effectively.

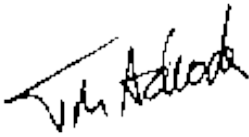
### Conclusion

By forming a bypass channel as per the attached plans, the proposed earthworks filling within the flood hazard will be mitigated with no increase in flood level.

### Disclaimer

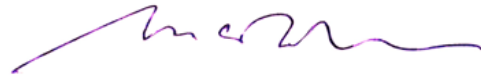
This report has been prepared for the sole use of our client Far North District Council with respect to the particular brief outlined to us. It may not be used or relied on (in whole or part) by anyone else, or for any other purpose or in any other contexts, without our prior written agreement. This report may not be read or reproduced except in its entirety.

Prepared:



**Tom Adcock**  
Senior Civil Engineer  
BEng (Civil), MEngNZ

Approved by:

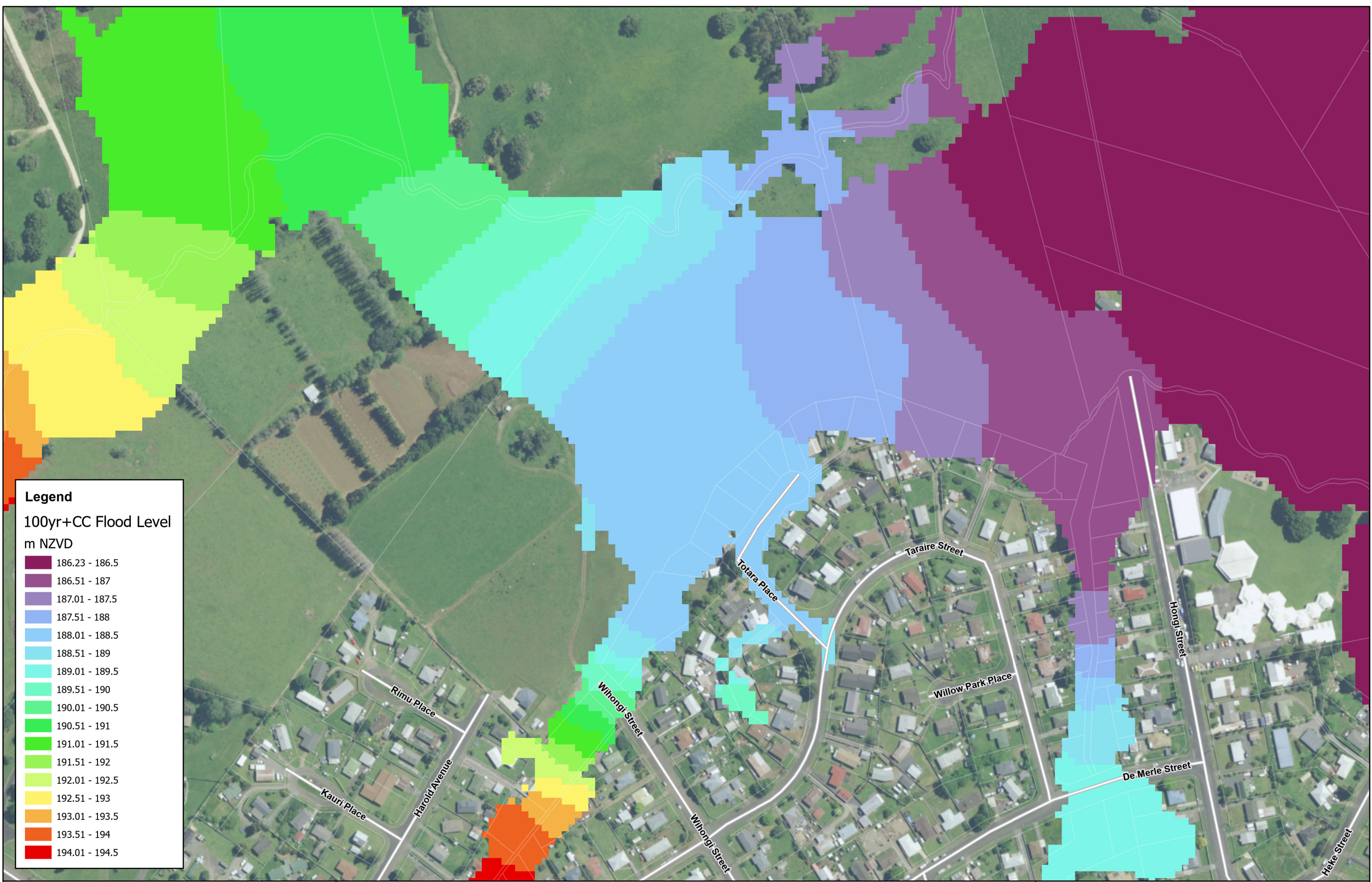


**Mark Robison**  
Senior Civil Engineer

Attachments:

1. NRC Drawing - Wihongi Street 100yr. + CC Flood Levels
2. NRC Drawing - Wihongi Street 10yr. Flood Levels (with spot levels)
3. NRC Drawing - Wihongi Street 100yr. + CC Flood Levels (with spot levels)
4. HWL Drawing – WW1-FL01
5. HWL Drawing – WW1-FL02





**Legend**  
100yr+CC Flood Level  
m NZVD

186.23 - 186.5
186.51 - 187
187.01 - 187.5
187.51 - 188
188.01 - 188.5
188.51 - 189
189.01 - 189.5
189.51 - 190
190.01 - 190.5
190.51 - 191
191.01 - 191.5
191.51 - 192
192.01 - 192.5
192.51 - 193
193.01 - 193.5
193.51 - 194
194.01 - 194.5



10yr Flood Level

m NZVD

187.77 - 188

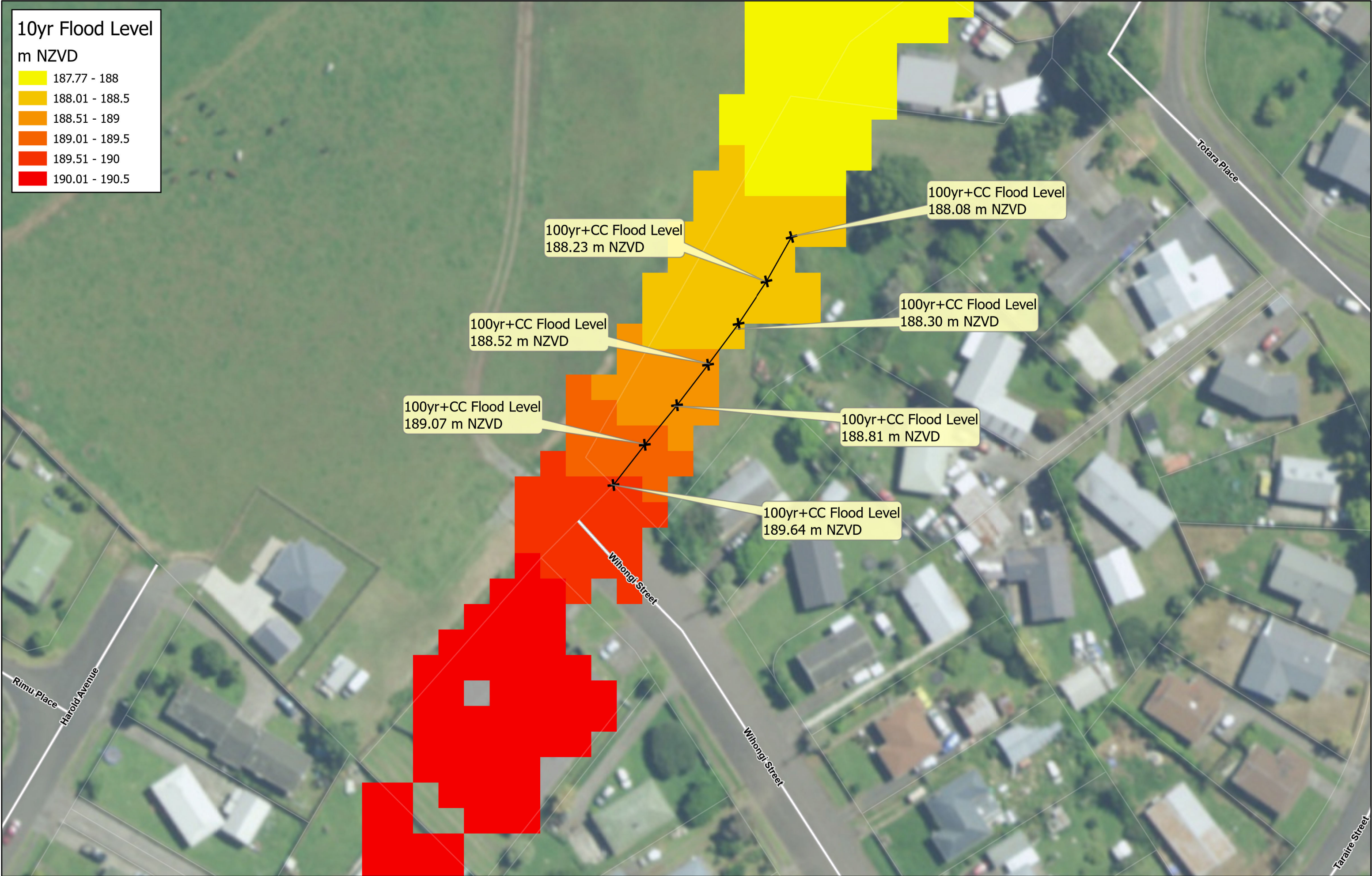
188.01 - 188.5

188.51 - 189

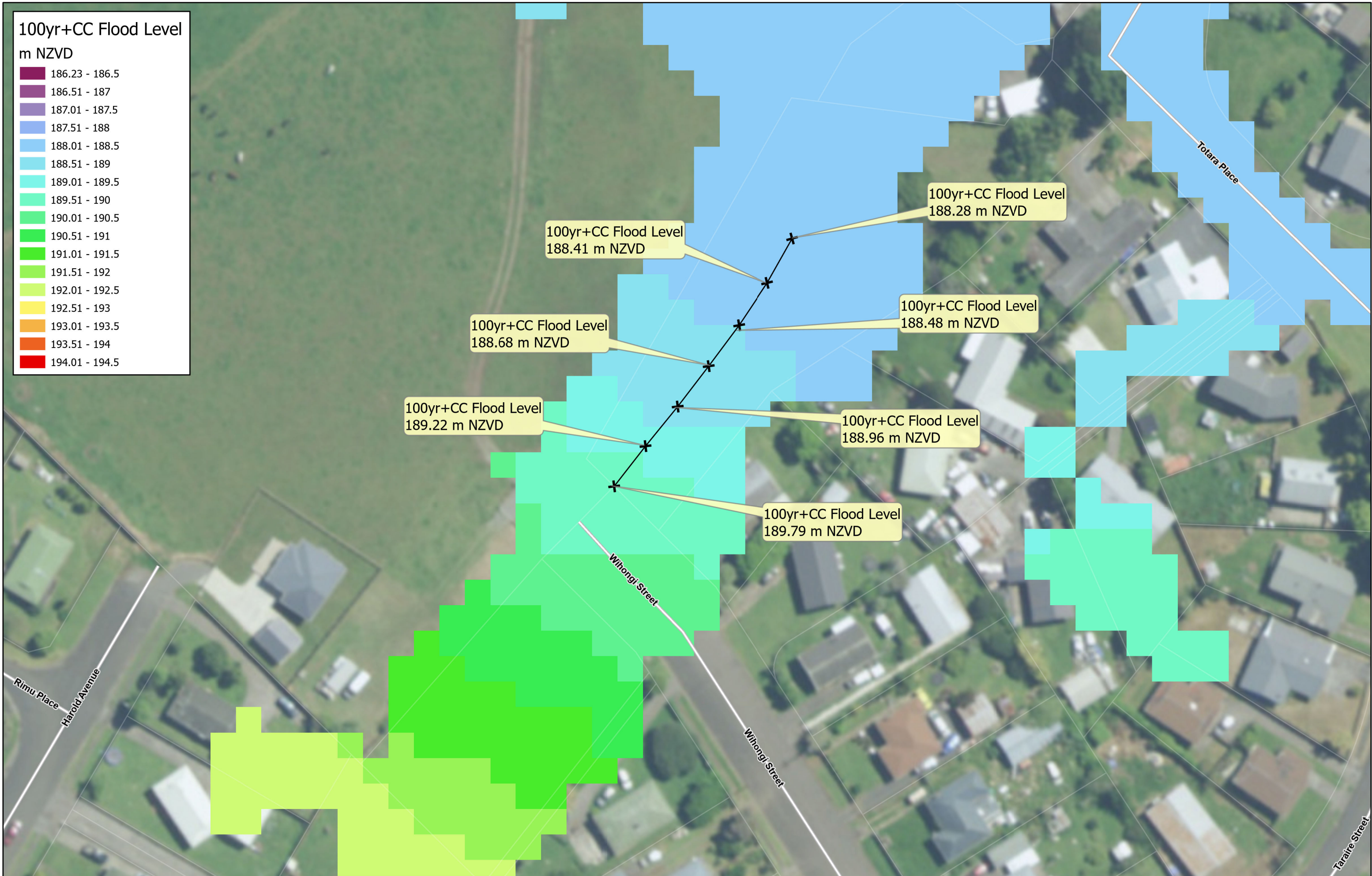
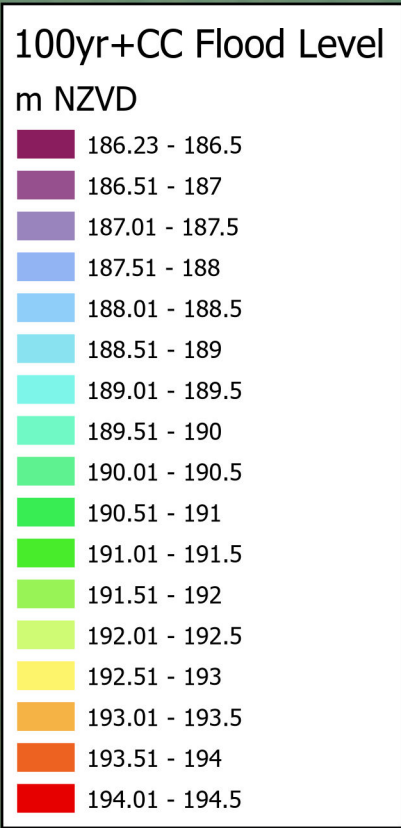
189.01 - 189.5

189.51 - 190

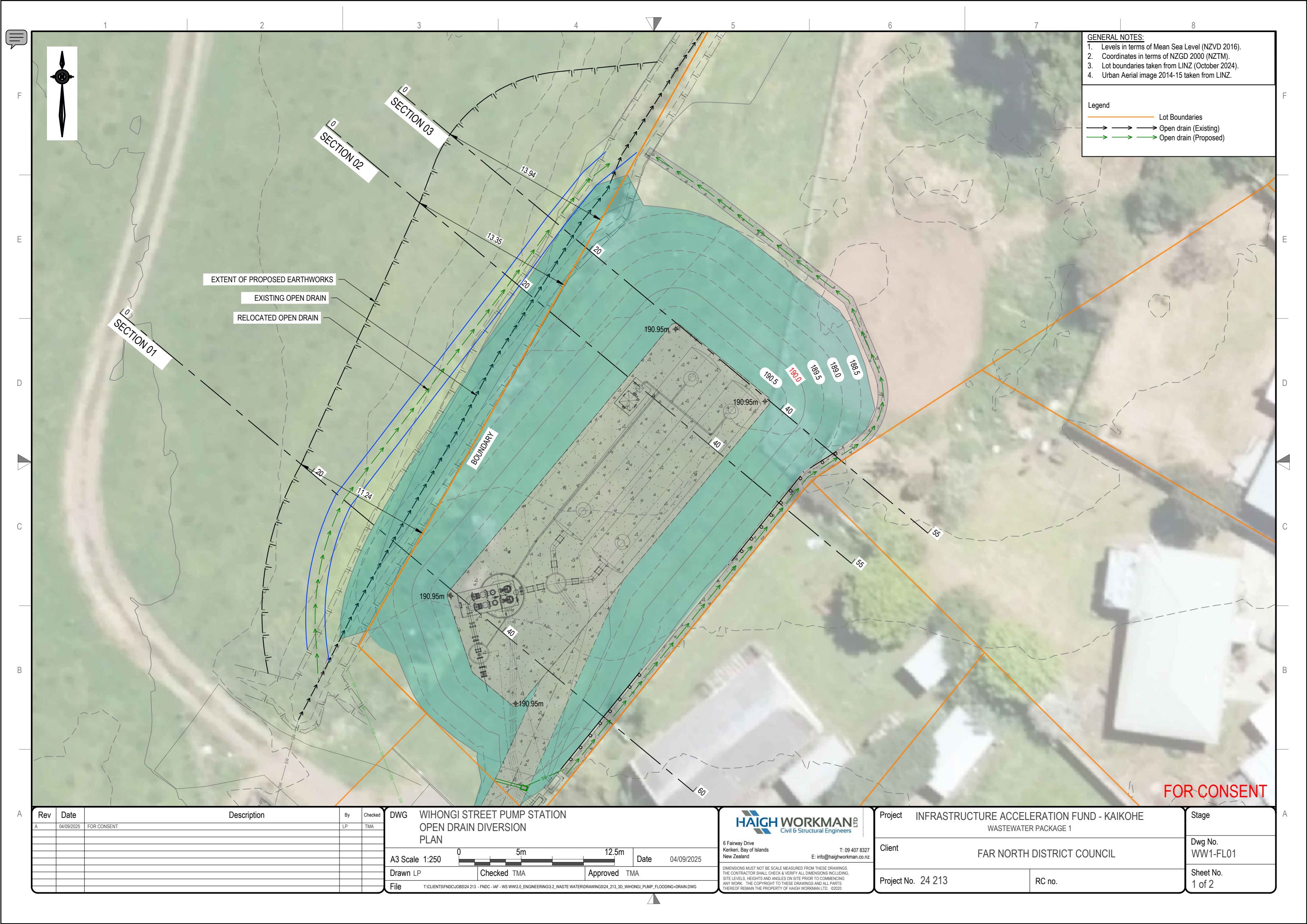
190.01 - 190.5











- GENERAL NOTES:
1. Levels in terms of Mean Sea Level (NZVD 2016).
  2. Coordinates in terms of NZGD 2000 (NZTM).
  3. Lot boundaries taken from LINZ (October 2024).
  4. Urban Aerial image 2014-15 taken from LINZ.

- Legend
- Lot Boundaries
  - Open drain (Existing)
  - Open drain (Proposed)

EXTENT OF PROPOSED EARTHWORKS  
EXISTING OPEN DRAIN  
RELOCATED OPEN DRAIN

BOUNDARY

FOR CONSENT

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A	04/09/2025	FOR CONSENT	LP	TMA

DWG WIHONGI STREET PUMP STATION  
OPEN DRAIN DIVERSION  
PLAN

A3 Scale 1:250 0 5m 12.5m Date 04/09/2025

Drawn LP Checked TMA Approved TMA

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Client	FAR NORTH DISTRICT COUNCIL		Dwg No. WW1-FL01
Project No. 24 213	RC no.		Sheet No. 1 of 2

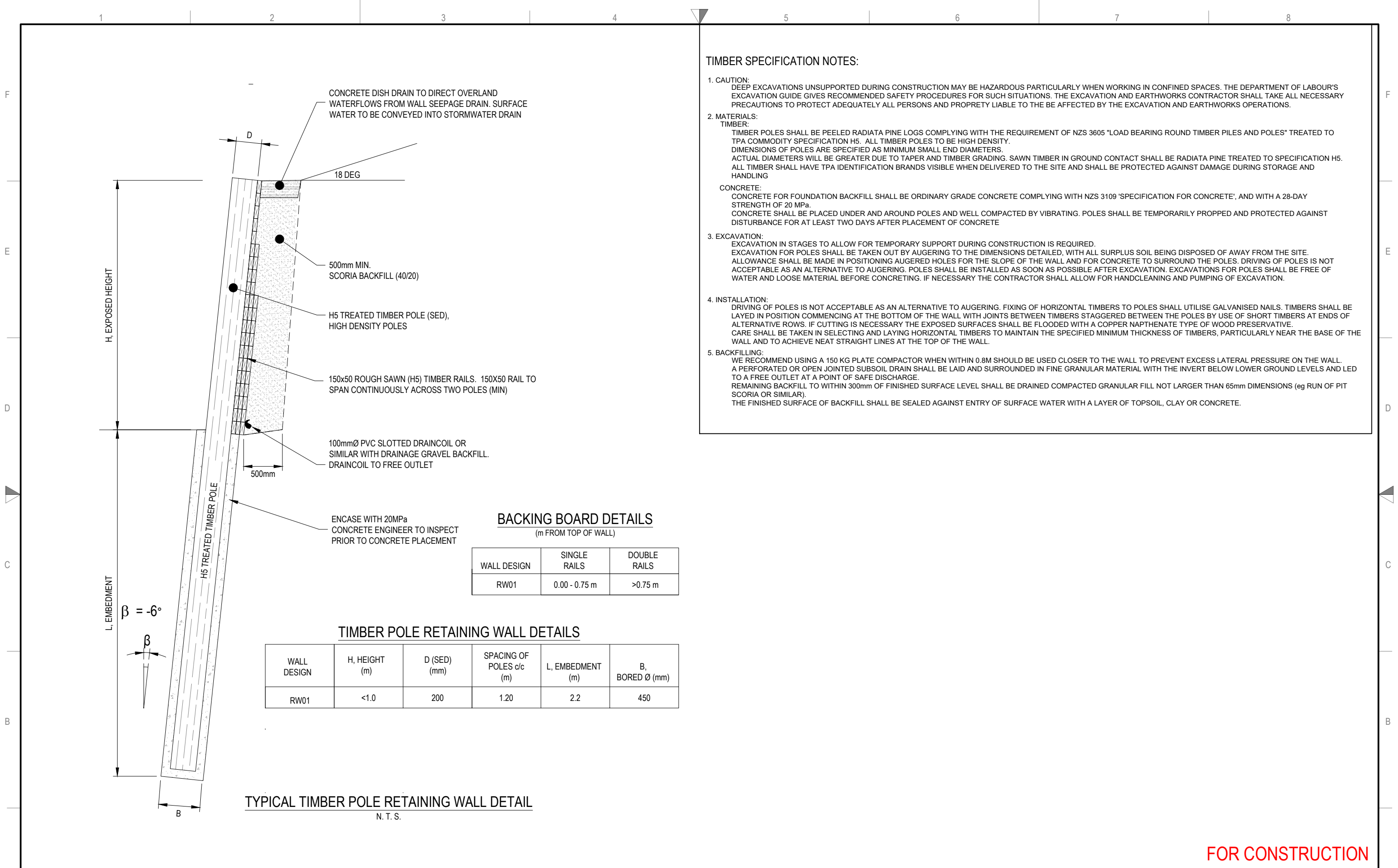
## F



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Rev	Date	Description	By	Checked	DWG		WIHONGI STREET PUMP STATION OPEN DRAIN DIVERSION SECTIONS 1, 2 AND 3				Project		INFRASTRUCTURE ACCELERATION FUND - KAIKOHE WASTEWATER PACKAGE 1		Stage		A
A	04/09/2025	FOR CONSENT	LP	TMA					6 Fairway Drive Kenikeri, Bay of Islands New Zealand T: 09 407 8327 E: info@haighworkman.co.nz		Client		FAR NORTH DISTRICT COUNCIL		Dwg No. WW1-FL02		
					A3 Scale 1:100				Date 04/09/2025						Sheet No. 2 of 2		
					Drawn LP		Checked TMA		Approved TMA								
					File		T:\CLIENTS\FNDC\JOBS24 213 - FNDC - IAF - WS WW3.0_ENGINEERING\3.2_WASTE WATER\DRAWINGS\24_213_3D_WIHONGI_PUMP_FLOODING-RAIN DWG				Project No. 24 213		RC no.				





**TIMBER SPECIFICATION NOTES:**

1. CAUTION:  
DEEP EXCAVATIONS UNSUPPORTED DURING CONSTRUCTION MAY BE HAZARDOUS PARTICULARLY WHEN WORKING IN CONFINED SPACES. THE DEPARTMENT OF LABOUR'S EXCAVATION GUIDE GIVES RECOMMENDED SAFETY PROCEDURES FOR SUCH SITUATIONS. THE EXCAVATION AND EARTHWORKS CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADEQUATELY ALL PERSONS AND PROPERTY LIABLE TO BE AFFECTED BY THE EXCAVATION AND EARTHWORKS OPERATIONS.


2. MATERIALS:  
TIMBER:  
TIMBER POLES SHALL BE PEELED RADIATA PINE LOGS COMPLYING WITH THE REQUIREMENT OF NZS 3605 "LOAD BEARING ROUND TIMBER PILES AND POLES" TREATED TO TPA COMMODITY SPECIFICATION H5. ALL TIMBER POLES TO BE HIGH DENSITY. DIMENSIONS OF POLES ARE SPECIFIED AS MINIMUM SMALL END DIAMETERS. ACTUAL DIAMETERS WILL BE GREATER DUE TO TAPER AND TIMBER GRADING. SAWN TIMBER IN GROUND CONTACT SHALL BE RADIATA PINE TREATED TO SPECIFICATION H5. ALL TIMBER SHALL HAVE TPA IDENTIFICATION BRANDS VISIBLE WHEN DELIVERED TO THE SITE AND SHALL BE PROTECTED AGAINST DAMAGE DURING STORAGE AND HANDLING

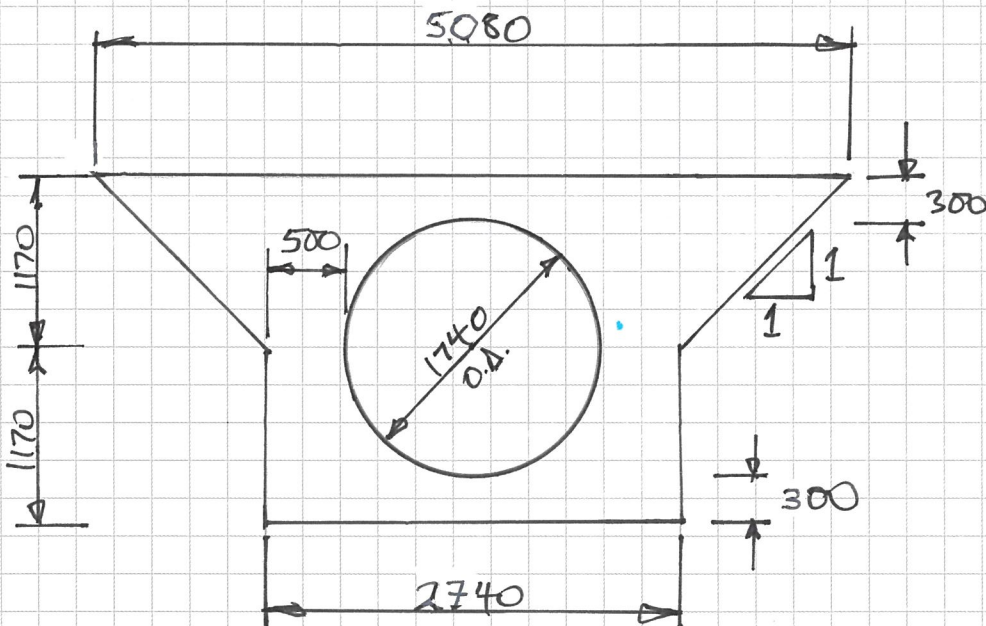
CONCRETE:  
CONCRETE FOR FOUNDATION BACKFILL SHALL BE ORDINARY GRADE CONCRETE COMPLYING WITH NZS 3109 'SPECIFICATION FOR CONCRETE', AND WITH A 28-DAY STRENGTH OF 20 MPa. CONCRETE SHALL BE PLACED UNDER AND AROUND POLES AND WELL COMPACTED BY VIBRATING. POLES SHALL BE TEMPORARILY PROPPED AND PROTECTED AGAINST DISTURBANCE FOR AT LEAST TWO DAYS AFTER PLACEMENT OF CONCRETE

3. EXCAVATION:  
EXCAVATION IN STAGES TO ALLOW FOR TEMPORARY SUPPORT DURING CONSTRUCTION IS REQUIRED. EXCAVATION FOR POLES SHALL BE TAKEN OUT BY AUGERING TO THE DIMENSIONS DETAILED, WITH ALL SURPLUS SOIL BEING DISPOSED OF AWAY FROM THE SITE. ALLOWANCE SHALL BE MADE IN POSITIONING AUGERED HOLES FOR THE SLOPE OF THE WALL AND FOR CONCRETE TO SURROUND THE POLES. DRIVING OF POLES IS NOT ACCEPTABLE AS AN ALTERNATIVE TO AUGERING. POLES SHALL BE INSTALLED AS SOON AS POSSIBLE AFTER EXCAVATION. EXCAVATIONS FOR POLES SHALL BE FREE OF WATER AND LOOSE MATERIAL BEFORE CONCRETING. IF NECESSARY THE CONTRACTOR SHALL ALLOW FOR HANDCLEANING AND PUMPING OF EXCAVATION.

4. INSTALLATION:  
DRIVING OF POLES IS NOT ACCEPTABLE AS AN ALTERNATIVE TO AUGERING. FIXING OF HORIZONTAL TIMBERS TO POLES SHALL UTILISE GALVANISED NAILS. TIMBERS SHALL BE LAYED IN POSITION COMMENCING AT THE BOTTOM OF THE WALL WITH JOINTS BETWEEN TIMBERS STAGGERED BETWEEN THE POLES BY USE OF SHORT TIMBERS AT ENDS OF ALTERNATIVE ROWS. IF CUTTING IS NECESSARY THE EXPOSED SURFACES SHALL BE FLOODED WITH A COPPER NAPHTHENATE TYPE OF WOOD PRESERVATIVE. CARE SHALL BE TAKEN IN SELECTING AND LAYING HORIZONTAL TIMBERS TO MAINTAIN THE SPECIFIED MINIMUM THICKNESS OF TIMBERS, PARTICULARLY NEAR THE BASE OF THE WALL AND TO ACHIEVE NEAT STRAIGHT LINES AT THE TOP OF THE WALL.

5. BACKFILLING:  
WE RECOMMEND USING A 150 KG PLATE COMPACTOR WHEN WITHIN 0.8M SHOULD BE USED CLOSER TO THE WALL TO PREVENT EXCESS LATERAL PRESSURE ON THE WALL. A PERFORATED OR OPEN JOINTED SUBSOIL DRAIN SHALL BE LAID AND SURROUNDED IN FINE GRANULAR MATERIAL WITH THE INVERT BELOW LOWER GROUND LEVELS AND LED TO A FREE OUTLET AT A POINT OF SAFE DISCHARGE. REMAINING BACKFILL TO WITHIN 300mm OF FINISHED SURFACE LEVEL SHALL BE DRAINED COMPACTED GRANULAR FILL NOT LARGER THAN 65mm DIMENSIONS (eg RUN OF PIT SCORIA OR SIMILAR). THE FINISHED SURFACE OF BACKFILL SHALL BE SEALED AGAINST ENTRY OF SURFACE WATER WITH A LAYER OF TOPSOIL, CLAY OR CONCRETE.

Rev		Date	Description	By	Checked	DWG		WIHONGI STREET PUMP STATION TIMBER POLE WALL RW01 TYPICAL DETAIL		 6 Fairway Drive Kerikeri, Bay of Islands New Zealand T: 09 407 8327 E: info@haighworkman.co.nz		Project	INFRASTRUCTURE ACCELERATION FUND - KAIKOHE WASTEWATER PACKAGE 1B		Stage
A		25/08/2025	NEW DRAWING, FOR CONSTRUCTION	WT	JP							Client	FAR NORTH DISTRICT COUNCIL		Dwg No. WW1-PSD04
						A3 Scale		Not to Scale	Date	25/08/2025					
						Drawn		WT	Checked	JP	Approved	JP			Sheet No. 1 of 1
						File		T:\CLIENTS\FNDC\JOBS\24 213 - FNDC - IAF - WS WW3\3_ENGINEERING\3_2_WASTE WATER\DRAWINGS\24_213_DETAILS_WASTEWATER.DWG							



Typical cross-section  
1500 Culvert  
Scale 1:50

Exc. existing 1200 =  $7.8 - 1.3 = 6.5 \times 7.5 \text{ long} = 49 \text{ m}^3$

Backfill existing 1200 =  $7.8 \times 25 \text{ long} = 195 \text{ m}^3$

\*Exc new 1500 =  $7.8 \times 25 \text{ long} = 195 \text{ m}^3$

Backfill new 1500 =  $7.8 - 2.4 = 5.4 \times 25 \text{ long} = 135 \text{ m}^3$

\* includes pre-cast headwalls

## NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

**PART A – To be completed by Applicant**

Applicant/s Name:	Far North District Council
Address of proposed activity:	Lot 13 DP82811, Wihongi St, Kaikohe
Legal description:	Lot 13 DP82811
Description of the proposal (including why you need resource consent):	Proposed wastewater pumpstation, earthworks and stormwater diversion as per attached plans for consent. Consent is required for earthworks that divert overland flow path. Earthworks exceeding 300m <sup>3</sup> within the zone Retaining wall breaches minimum setback from boundry
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> <li>1. <u>WW1-FL01</u></li> <li>2. <u>WW1-FL02</u></li> <li>3. <u>Resource Consent Application - To be provided</u></li> <li>4. _____</li> <li>5. _____</li> <li>6. _____</li> </ol>

### Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

**PART B – To be completed by Parties giving approval**

**Notes to the party giving written approval:**

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

GAYLEEN KATHLEEN DAY

Address of affected property including legal description

7 TOTARA PLACE, KAIKOHE

Contact Phone Number/s and email address

Daytime:

021 299 5911

email:

gayleenday@gmail.com

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

*Please note: in most instances the approval of **all** the legal owners and the occupiers of the affected property will be necessary.*

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

Gayleen Day

Date

08-10-25

Signature

Date

Signature

Date

Signature

Date