



Office Use Only Application Number:

APPLICATION FOR RESOURCE CONSENT OR FAST-TRACK RESOURCE CONSENT

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA))

(If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Form 9)

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council’s web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? Yes / No

2. Type of Consent being applied for (more than one circle can be ticked):

- Land Use Fast Track Land Use* Subdivision Discharge
- Extension of time (s.125) Change of conditions (s.127) Change of Consent Notice (s.221(3))
- Consent under National Environmental Standard (e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____

***The fast track for simple land use consents is restricted to consents with a controlled activity status and requires you provide an electronic address for service.**

3. Would you like to opt out of the Fast Track Process? Yes / ~~No~~

4. Applicant Details:

Name/s: Paradise Found Developments Limited

Electronic Address for Service (E-mail):

Phone Numbers:

Postal Address: (or alternative method of service under section 352 of the Act)



5. Address for Correspondence: Name and address for service and correspondence (if using an Agent write their details here).

Name/s: Bay of Islands Planning Limited

Electronic Address for Service (E-mail): c/- office@bayplan.co.nz

Phone Numbers: Work: 4075253 Home: _____

Postal Address: PO Box 795 Kerikeri
(or alternative method of service under section 352 of the Act)

Post Code: 0230

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

6. Details of Property Owner/s and Occupier/s: Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s: Paradise Found Developments Limited

Property Address/ Location: c/-PO Box 795
Kerikeri

7. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site Address/ Location: 40 McKenzie Road
Kerikeri

Legal Description: Lot 12 DP 497523 Val Number: _____

Certificate of Title: As attached.
Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site Visit Requirements:

Is there a locked gate or security system restricting access by Council staff? Yes / No
Is there a dog on the property? Yes / No
Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. **This is important to avoid a wasted trip and having to re-arrange a second visit.**

Please contact the agents office before making any site visit.

8. Description of the Proposal:

Please enter a brief description of the proposal here. Attach a detailed description of the proposed activity and drawings (to a recognized scale, e.g. 1:100) to illustrate your proposal. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

Vary RC 2220242

If this is an application for an Extension of Time (s.125); Change of Consent Conditions (s.127) or Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s) or extension being sought, with reasons for requesting them.

9. Would you like to request Public Notification Yes/No

10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):

- Building Consent (BC ref # if known) Regional Council Consent (ref # if known)
- National Environmental Standard consent Other (please specify)

11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) yes no don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle). yes no don't know

- Subdividing land Changing the use of a piece of land
- Disturbing, removing or sampling soil Removing or replacing a fuel storage system

12. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Please attach your AEE to this application.

13. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full) Refer attached Billing Details _____

Email: _____

Postal Address: _____

_____ Post Code: _____

Phone Numbers: Work: _____ Home: _____ Fax: _____

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: _____ (please print)

Signature: _____ (signature of bill payer – **mandatory**) Date: _____

14. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

Declaration: The information I have supplied with this application is true and complete to the best of my knowledge.

Name: _____ (please print)

Signature: _____ (signature)

Date: 6 October 2021

(A signature is not required if the application is made by electronic means)

Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:

UNBOUND

SINGLE SIDED

NO LARGER THAN A3 in SIZE

10. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.
Name/s: (please write all names in full)

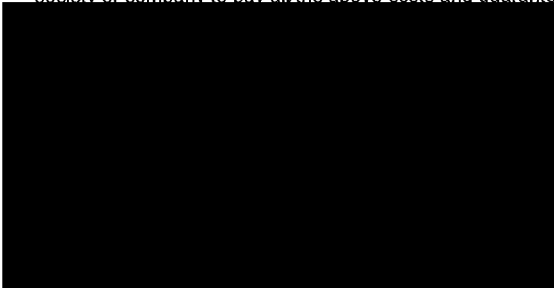
Postal Address:
PO Box 644, Wellesley Street, Auckland 1141

Post Code: 1141
Phone Numbers: Work: 09 355 9101 Home: 09 5200660

Fax: _____ Email: birnie@birniecapital.com

Fees Information: An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees: I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.



(Signature of bill payer – mandatory) Date: 6 Nov 2019

BAY OF ISLANDS PLANNING LIMITED

PO Box 318

Paihia



25 years serving
Northland

Phone [09] 407 5253; Email – office@bayplan.co.nz

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Resource Consents Department

Far North District Council

John Butler Centre

Kerikeri

16 November 2023

Dear Team Leaders

Re: Proposed Variation of RC

Our client seeks to vary RC 2220242 in relation to amendments to the proposed residential development on site.

In accordance with section 127 of the Resource Management Act, the application to vary the consent is a Discretionary Activity.

Please do not hesitate to contact me should you require any further information.

Yours sincerely,

[Redacted Signature]
Kenton Baxter
Consultant Planner

Reviewed

[Redacted Signature]
Steven Sanson
Consultant Planner

1.0 INTRODUCTION

1. The applicant, Paradise Found Developments Limited seeks to amend the design of the residential development on their property approved as part of land use consent RC 2220242 at Lot 12, Purerua, Te Tii. The site is legally described as Lot 12 DP 497523. A copy of the Record of Title and associated instruments are attached at **Appendix A**.
2. The original land use consent approved a residential dwelling along with varying consent notice conditions associated with the site.
3. This development was to be carried in accordance with the approved plans prepared by Arcline Architecture found in the decision documents for the dwelling found in RC 2220242 (Refer **Appendix B**).
4. The proposed variation is to amend the design of the residential dwelling including an additional 37m² of gross floor area and a proposed carport within 3m of the site boundary, this differs from what was approved under the original land use decision.
5. A copy of the amended architectural plans is attached at **Appendix C**. These can be referred to against the decision version for comparing / contrasting.
6. The previous consent application contained engineering reports and landscape assessment which are also considered as relevant and ingrained within the proposal given the minor changes assessed. These are found in **Appendix D** and are considered to assess previous reports and consent notice matters in their entirety.
7. The application is a Discretionary Activity in accordance with s127 of the Act. The scale and intensity of the land use activity arising from the proposed change remains the same. No persons are affected by the proposed amendments to the design of the residential dwelling.

2.0 SITE AND LOCALITY DESCRIPTION

8. The application site is located at Lot 12, Purerua, Te Tii. A detailed description of this property and its surrounds is provided in the assessment of effects on the environment (AEE) that supported the original land use application approved under RC 2220242. The application site is accessed off McKenzie Road. The original application can be provided on request.

3.0 DESCRIPTION OF THE PROPOSAL

9. As mentioned earlier, the land use consent aims to modify the design of the consented residential development. The modification includes extending a bedroom, adding a carport and changing the shape and type of pool.
10. The proposed changes will increase the gross floor area by 37m². The proposed carport is also within 3m of the site boundary, however approval from the affected neighbour is given as the applicant also owns the affected property. These minor changes are not anticipated to increase effects associated with the proposal beyond what was originally consented, given the height and appearance of the dwelling will remain the same.
11. The proposed variation to this consent would maintain the size and scale of the development. Proposed changes will not increase effects associated with this property.
12. A variation to conditions of consent is sought as follows:
13. The proposed change to conditions seeks the following amendments:
 1. *The activity shall be carried out in accordance with the approved plans prepared by Arcline Architecture, referenced Site Plan, Floor Plan, Ground Floor Plan, North and South Elevations, East and West Elevations, Perspectives, Height to Boundaries, dated 14/01/2024 16/8/23, and attached to this consent with the Council's "Approved Stamp" affixed to it.*

Consent Notice 10526054.25(a)(iii) be amended to read as follows:

(a) Any development shall be designed in accordance with the 'Wiroa Station architecture code and design approval process' document approved under RC2160044, and as attached to that resource consent decision. Any building consent or resource consent application shall include a report prepared by a suitable qualified architect and/or landscape architect demonstrating compliance. The report shall confirm that:

(iii) Subject to the exceptions as apply to the secondary residential unit on Lot 14 (refer to condition (g) below), at least 50% of the building's footprint must be within the 'nominal building location' as identified and marked as areas G, H, I, J, K, L, M, N, O, P, Q, R, S, Y, U, V, W, X, Y, Z AND ZZ on DP497523. Except in relation to Lot 12 which the extent of the building footprint is shown on the approved plans for RC 2220242-RMAVAR/A. ~~within the nominal building location shall be no less than 166m².~~

4.0 STATUTORY CONSIDERATIONS

Section 127 of the Resource Management Act (RMA)

2. Section 127 of the RMA requires:

127 Change or cancellation of consent condition on application by consent holder

- (1) The holder of a resource consent may apply to a consent authority for a change or cancellation of a condition of the consent, subject to the following:
 - (a) the holder of a subdivision consent must apply under this section for a change or cancellation of the consent before the deposit of the survey plan (and must apply under [section 221](#) for a variation or cancellation of a consent notice after the deposit of the survey plan); and
 - (b) no holder of any consent may apply for a change or cancellation of a condition on the duration of the consent.
- (2) *[Repealed]*
- (3) [Sections 88 to 121](#) apply, with all necessary modifications, as if—
 - (a) the application were an application for a resource consent for a discretionary activity; and
 - (b) the references to a resource consent and to the activity were references only to the change or cancellation of a condition and the effects of the change or cancellation respectively.
- (3A) If the resource consent is a coastal permit authorising aquaculture activities to be undertaken in the coastal marine area, no aquaculture decision is required in respect of the application if the application is for a change or cancellation of a condition of the consent and does not relate to a condition that has been specified under [section 186H\(3\)](#) of the Fisheries Act 1996 as a condition that may not be changed or cancelled until the chief executive of the Ministry of Fisheries makes a further aquaculture decision.
- (4) For the purposes of determining who is adversely affected by the change or cancellation, the consent authority must consider, in particular, every person who—
 - (a) made a submission on the original application; and
 - (b) may be affected by the change or cancellation.

Section 127(1): replaced, on 10 August 2005, by [section 70](#) of the Resource Management Amendment Act 2005 (2005 No 87).

Section 127(2): repealed, on 10 August 2005, by [section 70](#) of the Resource Management Amendment Act 2005 (2005 No 87).

Section 127(3): replaced, on 1 August 2003, by [section 53\(2\)](#) of the Resource Management Amendment Act 2003 (2003 No 23).

Section 127(3A): inserted, on 1 October 2011, by [section 34](#) of the Resource Management Amendment Act (No 2) 2011 (2011 No 70).

Section 127(4): replaced, on 1 August 2003, by [section 53\(2\)](#) of the Resource Management Amendment Act 2003 (2003 No 23).

Section 127(4): amended, on 1 October 2009, by [section 150](#) of the Resource Management (Simplifying and Streamlining) Amendment Act 2009 (2009 No 31).

3. The notification and substantive decision matters required to be assessed under Section 95 and Section 104 of the RMA apply to an application to change or cancel conditions of consent. The approved discretionary land use consent 2220242-RMALUC was determined on a non-notified basis under delegated authority.
4. It is considered that the minor changes proposed to the proposed residential dwelling, necessitating updated plans would result in potential adverse effects that are similar in scale and intensity to the original land use proposal and would not necessitate limited or public notification of this application.
5. Section 127 considerations also include the assessment matters to be considered under Section 104 of the RMA as follows:

“the consent authority must, subject to Part II, have regard to –

- (a) *any actual and potential effects on the environment of allowing the activity; and*
- (ab) *any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and*
- (b) *any relevant provisions of –*
 - i. *a national environmental standard;*
 - ii. *other regulations;*
 - iii. *a national policy statement;*
 - iv. *a New Zealand Coastal Policy Statement;*
 - v. *a regional policy statement or proposed regional policy statement;*

vi. a plan or proposed plan; and

(c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”

Section 104(1)(a) and (ab)

6. Potential effects on the environment arising from the proposed land use activity were comprehensively assessed in the assessment of effects on the environment (AEE) provided that supports the approved consent 2220242-RMALUC (available on request). The proposed alterations would lead to 37m² of additional gross floor area and the additional carport is proposed within the 3m boundary setback.
7. Effects associated with the proposed changes are largely anticipated to be similar to the existing approval. As previously mentioned, the proposed changes will slightly increase the gross floor area; however, the height and appearance of the buildings will be maintained. Therefore, the effects on visual amenity are similar to what was assessed within the original application 2220242-RMALUC. The effects associated with the additional setback to boundary breach created by the carport can be discounted as the applicant also owns the affected neighbouring property therefore approval is granted for this breach.
8. Adverse effects associated with the amendment to the consent notice are also not anticipated given the similarity between the originally approved plans and the updated proposal. The location is also almost identical except for the minor amendments as previously outlined.
9. The original application was completed after the Proposed District Plan was notified therefore no further assessment of these matters is required.

Section 104 (b)(vi) Plans or Proposed Plans

10. This land use application is subject to the provisions of the operative Far North District Plan. The extent to which the proposal would achieve the outcomes sought by the relevant provisions was assessed in the AEE that supported the application. This was confirmed in the Council's 'Reasons for the Decision'. The proposed residential dwelling plan amendments would not be contrary to the provisions of the Operative and Proposed Far North District Plan or the applicable Northland Regional Policy Statement or New Zealand Coastal Policy Statement.

Section 104 (c) Other Matters

11. There are no other matters that require consideration.

6.0 WRITTEN APPROVAL

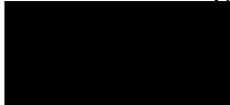
12. No written approvals were obtained with the original decision. The proposed amended plan includes a carport within 3m of the property boundary, approval from the affected neighbouring property owner can be assumed as this is also the applicant. Therefore, adverse effects associated with this amendment can be discounted.

7.0 CONCLUSION

13. The applicant, Paradise Found Developments Limited, seeks to modify the approved residential development plans, specifically increasing the gross floor area by 37m² and adding a carport within the property boundary setback. The proposed changes relate to the originally approved consent (2220242-RMALUC)

14. The application is subject to section 127 of the RMA, which is to be assessed as a Discretionary Activity. The proposed changes will be similar to the scale and intensity of the consented land use activities, nor would they generate adverse effects that are dissimilar to the approved development and which the Council has assessed to be no more than minor. There are no parties that would have an interest in the proposed change apart from those who have provided approval. The proposed amendments will not result in any adverse reverse sensitivity effects.

Yours sincerely,



Kenton Baxter
Consultant Planner

Reviewed



Steven Sanson
Consultant Planner



**Far North
District Council**

FAR NORTH DISTRICT COUNCIL

**FAR NORTH OPERATIVE DISTRICT PLAN
DECISION ON RESOURCE CONSENT APPLICATION (LANDUSE)**

Resource Consent Number: 2220242-RMALUC

Pursuant to section 104B and section 221(3) of the Resource Management Act 1991 (the Act), the Far North District Council hereby grants resource consent to:

Paradise Found Developments Limited

The activity to which this decision relates:

To establish a residential dwelling and to vary consent notice conditions in the General Coastal Zone, breaching the Visual Amenity, Sunlight, Setback from Boundaries and Excavation and Filling rules of the District Plan.

Variation of consent notice conditions

Subject Site Details

Address: 40 McKenzie Road, Kerikeri 0294
Legal Description: Lot 12 DP 497523
Record of Title reference: CT-735035

Pursuant to Section 108 of the Act, this consent is issued subject to the following conditions:

General

1. The activity shall be carried out in accordance with the approved plans prepared by Arcline Architecture, referenced Site Plan, Ground Floor Plan, North and South Elevations, East and West Elevations, Perspectives, Height to Boundaries, dated 14/01/2021, and attached to this consent with the Council's "Approved Stamp" affixed to it.
2. Within 3 months of the approval of this consent, the Consent Holder shall provide to Council's Resource Consent Monitoring Team, a revised landscaping plan which includes a minimum of two 4m high pohutukawa trees which are to be transplanted on the Southern Boundary for the purpose of visual softening as it relates to the approved dwelling.
3. The Consent Holder shall ensure that the activity is carried out in accordance with the revised landscaping plan required by Condition 2 of this consent (RC2220242) and approved by Council's Resource Consents Monitoring Team. The Planting Palette – Lot 12 Wiroa Station and Landscape Planting Implementation +

Maintenance, dated 27/02/2021 and attached to this consent with the Council's "Approved Stamp" affixed to it shall also be adhered to by the Consent Holder.

The approved Landscaping Plan is to be implemented within the 12 months of the completion of the dwelling and is to be maintained for the duration of the consent. Any plants that are removed or damaged are to be replaced as soon as possible, or within the next planting season (1 May to 30 September).

4. The Consent Holder shall ensure the cladding, roofing and windows are finished in the following schedule of colours (as provided in the s92 response with RC application 2220242 and correspondence with Council on 20/09/2022):

Feature	Colour
Cladding	Double Sea Fog (LRV 76%)
Roof	Thunder Grey
Window Joinery	Matte Titania
Windows	Shall not be reflective or mirrored glass

The building is to be finished in accordance with this schedule within three months of the occupation of the building and the approved schedule shall be adhered to for the duration of this consent.

Earthworks

Prior to construction commencing:

5. The consent holder is to establish and mark the location of the boundary pegs and mark all property boundaries adjacent to the proposed earthworks. No authorisation is given for works on legal road or on private property other than the lot subject to the land use consent. Where the consent holder is not the lot owner, the applicant is responsible for obtaining approval from the lot owner prior to commencing work.
6. The consent holder is to install a perimeter silt fence fully across the lower edge of the construction site (in accordance with the requirements detailed in Auckland Council document GD05) to remove silt and debris from Stormwater runoff prior to its discharge.
7. The consent holder is to provide evidence to the FNDC Resource Consents Monitoring Officer (Email to: Consents Monitoring rcmonitoring@fndc.govt.nz) that erosion and sediment controls are installed prior to the commencement of any earthworks. The installation of all erosion and sediment controls shall be supervised by an appropriately qualified and experienced person.
8. The consent holder is to provide evidence to the FNDC Resource Consents Monitoring Officer (Email to: Consents Monitoring rcmonitoring@fndc.govt.nz) that sediment control measures are constructed and maintained in accordance with the principles and practices contained the Auckland Council document entitled "GD05: Erosion and Sediment Control Guide for Land Disturbing Activities in the Auckland Region". These measures are to be maintained during the construction phase and can only be removed once appropriate stabilization has been completed.

9. The consent holder shall ensure that prior to any excavation commencing the consent holder is to provide evidence that all consents (resource consent) for the disposal of fill have been obtained for the receiving site.
10. The Consent Holder shall ensure that the foundations for the dwelling shall be specifically designed by a Chartered Professional Engineer with geotechnical expertise as recommended by the Site Suitability Report, prepared by PK Engineering Ltd, referenced Jon No: 21-020 and dated May 2021.
11. The Consent Holder shall ensure that the Erosion and Sediment Control Plan as shown on the PK Engineering Plans (provided with the Site Suitability Report, referenced A3/SG1, A3/SG2, A3/SG3, A3/SG4, A3/SS1 and A3/SS2, dated Mar 2021) be installed and maintained during the construction phase and are only removed once appropriate stabilization has been completed.
12. The Consent Holder shall ensure that all earthworks are carried out in general accordance with the PK Engineering Plans (provided with the Site Suitability Report, referenced A3/SG1, A3/SG2, A3/SG3, A3/SG4, A3/SS1 and A3/SS2, dated Mar 2021) and that any cut greater than 1.5m shall be retained to a suitability qualified engineer's design. In particular, the volume of earthworks shall not exceed 1080m³ of cut/fill.

During/following construction:

13. The consent holder is to ensure that all offsite stormwater is directed away from earthworks areas and no drainage pathways are constructed or permitted to flow over fill areas in a manner that increases erosion of the cut or fill material.
14. The consent holder is to ensure that all existing vegetation cover down slope of the proposed earthworks is retained to facilitate the filtering of silt from the stormwater runoff.
15. The consent holder is to provide evidence that all bare areas of land and fill are covered a suitable grass/legume mixture to achieve an 80% groundcover within three (3) months of the completion of earthworks. Temporary mulching or other suitable ground cover material shall be applied to achieve total ground cover of any areas unable to achieve the above requirements.

Pursuant to section 221(3) of the Act:

The following changes are made to Consent Notice Conditions insofar as they relate to Lot 12 DP 497523.

Consent Notice 10526054.25(a)(iii) be amended to read as follows:

- (a) Any development shall be designed in accordance with the '*Wiroa Station architecture code and design approval process*' document approved under RC2160044, and as attached to that resource consent decision. Any building consent or resource consent application shall include a report prepared by a suitable qualified architect and/or landscape architect demonstrating compliance. The report shall confirm that:

- (iii) Subject to the exceptions as apply to the secondary residential unit on Lot 14 (refer to condition (g) below), at least 50% of the building's footprint must be within the '*nominal building location*' as identified and marked as areas G, H, I, J,

K, L, M, N, O, P, Q, R, S, Y, U, V, W, X, Y, Z AND ZZ on DP497523. Except in relation to Lot 12 the extent of the building footprint within the nominal building location shall be no less than 166m².

Clause J of Consent Notice 10526054.25 be amended to read as follows:

(j) Stormwater disposal from hard surfaced areas of each Lot will be to a soakage area or areas. The specific engineering design of the soakage area shall accompany the building consent application for the development on the relevant Lot. Fulfilment of this condition can be attained via alternative disposal methods acceptable to Council.

For the purpose of clarity, the amended Consent Notices shall read as follows:

Consent Notice 10526054.25(a)(iii):

(a) Any development shall be designed in accordance with the '*Wiroa Station architecture code and design approval process*' document approved under RC2160044, and as attached to that resource consent decision. Any building consent or resource consent application shall include a report prepared by a suitable qualified architect and/or landscape architect demonstrating compliance. The report shall confirm that:

(iii) Subject to the exceptions as apply to the secondary residential unit on Lot 14 (refer to condition (g) below), at least 50% of the building's footprint must be within the '*nominal building location*' as identified and marked as areas G, H, I, J, K, L, M, N, O, P, Q, R, S, Y, U, V, W, X, Y, Z AND ZZ on DP497523. Except in relation to Lot 12 the extent of the building footprint within the nominal building location shall be no less than 166m².

Clause J of Consent Notice 10526054.25:

(j) Stormwater disposal from hard surfaced areas of each Lot will be to a soakage area or areas. The specific engineering design of the soakage area shall accompany the building consent application for the development on the relevant Lot. Fulfilment of this condition can be attained via alternative disposal methods acceptable to Council.

Advice Notes

1. Archaeological sites are protected pursuant to the Heritage New Zealand Pouhere Taonga Act 2014. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority issued pursuant to that Act. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of Heritage New Zealand's Archaeological Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.
2. During the assessment of your application, it was noted that a private Land Covenant exists on your property. Council does not enforce private land covenants, and this does not affect Council approving your plans. However, you may wish to get independent legal advice, as despite having a resource consent from Council, the private land covenant can be enforced by those parties specified in the covenant.

3. The consent holder is advised that any development and any earthworks undertaken as a result of this activity, or the consent conditions need to be undertaken in accordance with the relevant permitted rules and standards of the Proposed District Plan which was notified on the 27th of July 2022.
4. The Consent Holder shall be aware that there are Consent Notices held on the Record of Title which relate to the underlying subdivision consent which must be complied with at all times.
5. Any debris deposited on the public or private road as a result of the earthworks shall be removed by or at the expense of the applicant.
6. The Consent Holder shall ensure that the amended Consent Notice Conditions as approved by this consent (RC2220242) as it relates to Lot 14 DP 497523 is updated on the Record of Title through Land Information New Zealand.

Reasons for the Decision

1. The Council has determined (by way of an earlier report and resolution) that the adverse environmental effects associated with the proposed activity are no more than minor and that there are no affected persons or affected customary rights group or customary marine title group.
2. District Plan Rules Affected:

Operative District Plan:

Rule # & Name	Non Compliance Aspect
10.6.5.1.1 Visual Amenity	The proposed dwelling is > 25m ² in size and it sits both inside and outside of the existing approved building envelope
10.6.5.1.5 Sunlight	A small eave protrudes the sunlight requirements.
10.6.5.1.7 Setback from Boundaries	Part of the dwelling sits within the 3m setback requirement.
12.3.6.1.2 Excavation and Filling	The proposal includes 1,080m ³ of cut/fill.

The applicant has also applied for a variation to existing consent notice conditions pursuant to s221(3) of the Act.

Note: The Stormwater Management rule is also breached however the site has an authorisation to exceed this up to 50% coverage. This is therefore disregarded.

Adverse effects will be less than minor:

It is considered the relevant and potential effects have been addressed within the assessment of effects above, and it has been concluded that the adverse effects will be less than minor.

Objectives and policies of the District Plan:

The following objectives and policies of the District Plan have been considered:

- a. The objectives and policies of the coastal environment, and more specifically the general coastal zone which see to preserve the natural resources of the coastal environment, including the amenity values of landscapes. This is achieved by only allowing appropriate development which recognises the context of development and is designed appropriately. This activity has been designed in a manner which is consistent with these goals, particularly through the siting of the building outside of areas of significance and through management of built form and use of recessive finishes and landscaping.
- b. The objectives and policies relating to soils and minerals found in chapter 12.3 which seek to avoid the loss of versatile soils to urban development, and soil due to erosion in the coastal environment. The conditions imposed as a result of this consent will significantly reduce this risk, and the proposed development is not contrary to these objectives and policies.

The proposal is not contrary to the relevant objectives and policies of the District Plan.

Proposed Far North District Plan

The activity is consistent with the relevant objectives and policies of the Proposed District Plan because the potential effects as a result of the approved earthworks to people, infrastructure and property are managed and mitigated, ensuring the health, safety and resilience of inhabitants of the property through the imposition of the consent conditions above.

For this resource consent application, the relevant provisions of both an operative and any proposed plan must be considered. Weighting is relevant if different outcomes arise from assessments of objectives and policies under both the operative and proposed plans.

As the outcomes sought are the same under the operative and the proposed plan frameworks, no weighting is necessary.

3. In accordance with an assessment under s104(1)(b) of the RMA the proposal is consistent with the relevant statutory documents.
 - a) The Operative Far North District Plan 2009,
 - b) The Proposed Far North District Plan 2022,
 - c) New Zealand Coastal Policy Statement 2010.
4. No other non – statutory documents were considered relevant in making this decision.
5. No other matters were considered in relevant in making this decision.
6. Part 2 Matters

The Council has taken into account the purpose & principles outlined in sections 5, 6, 7 & 8 of the Act. It is considered that granting this resource consent application achieves the purpose of the Act.

7. In summary it is considered that the activity is consistent with the sustainable management purpose of the RMA.

Approval

This resource consent has been prepared by Hannah Kane, Intermediate Resource Planner and is granted under delegated authority (pursuant to section 34A of the Resource Management Act 1991) from the Far North District Council by:



Pat Killalea, Principal Planner

Date: 20th September 2022

Right of Objection

If you are dissatisfied with the decision or any part of it, you have the right (pursuant to section 357A of the Act) to object to the decision. The objection must be in writing, stating reasons for the objection and must be received by Council within 15 working days of the receipt of this decision.

Lapsing of Consent

Pursuant to section 125 of the Act, this resource consent will lapse 5 years after the date of commencement of consent unless, before the consent lapses;

The consent is given effect to; or

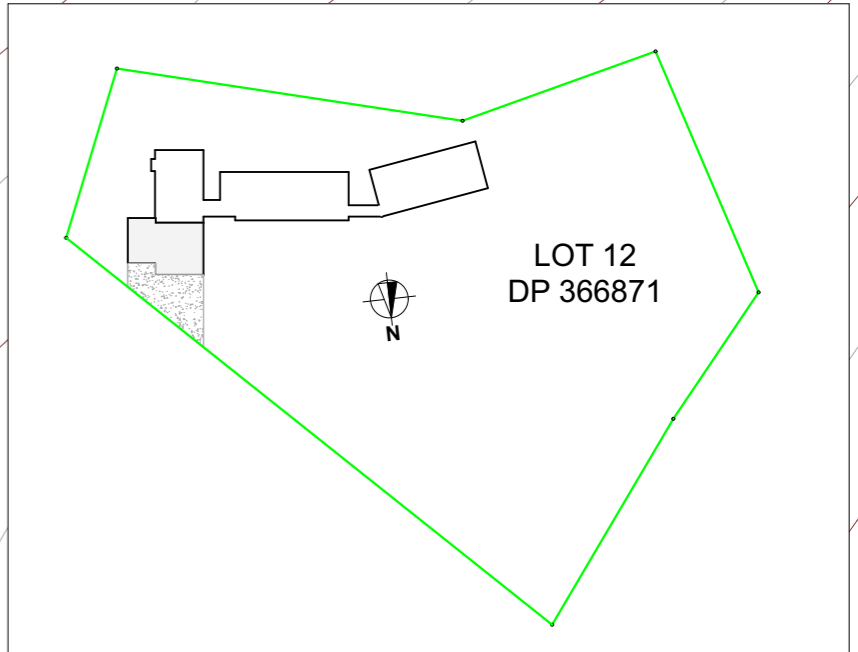
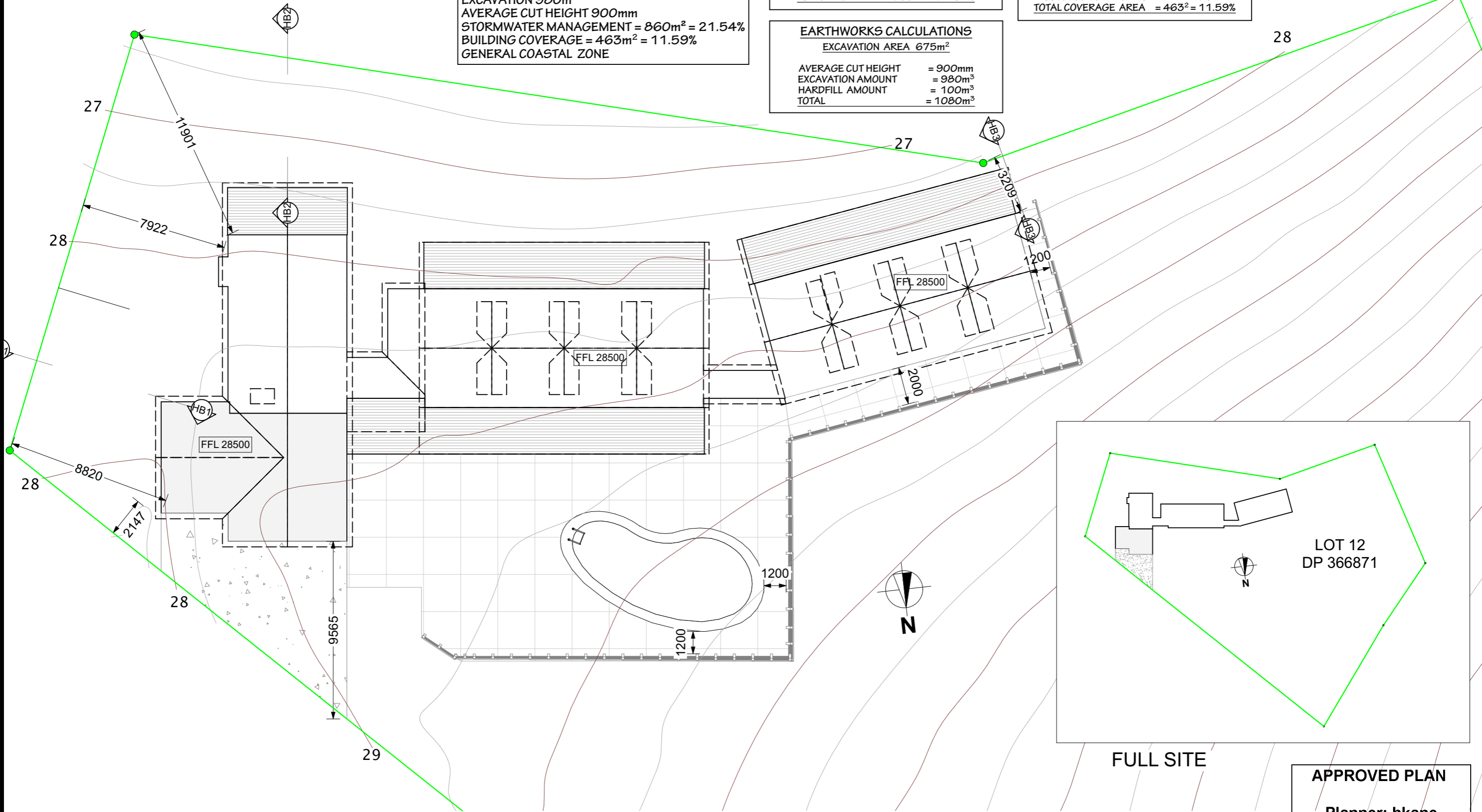
An application is made to the Council to extend the period of consent, and the council decides to grant an extension after taking into account the statutory considerations, set out in section 125(1)(b) of the Act.

LOT 12
 DP 366871
 SITE AREA 3993m²
 VERY HIGH WIND AREA
 SLOPING SITE
 EXPOSURE ZONE C
 EXCAVATION 980m³
 AVERAGE CUT HEIGHT 900mm
 STORMWATER MANAGEMENT = 860m² = 21.54%
 BUILDING COVERAGE = 463m² = 11.59%
 GENERAL COASTAL ZONE

STORMWATER MANAGEMENT CALCULATIONS
 3993²
 MAX STORMWATER MANAGEMENT AREA = 50%
 ROOF PLAN AREA = 512m²
 ALL PAVING AREAS = 348m²
 TOTAL AREA = 860m² = 21.54%

BUILDING COVERAGE CALCULATIONS
 3993²
 MAX ALLOWABLE BUILDING COVERAGE = 45%
 HOUSE FOOTPRINT AREA = 318m²
 GARAGE (CARTS) AREA = 22m²
 COVERED VERANDAS = 123m²
 TOTAL COVERAGE AREA = 463² = 11.59%

EARTHWORKS CALCULATIONS
 EXCAVATION AREA 675m²
 AVERAGE CUT HEIGHT = 900mm
 EXCAVATION AMOUNT = 980m³
 HARDFILL AMOUNT = 100m³
 TOTAL = 1080m³



BUILDER - OWNER TO CHECK ALL LEVELS, DIMENSIONS, CONNECTIONS AND MANUFACTURES SPECIFICATIONS, BEFORE BEGINNING OR FABRICATING ANY WORK TO MAKE SURE THAT ALL MATERIALS AND LABOUR NECESSARY TO COMPLETE THE BUILDING PROJECT ARE INCLUDED, WHETHER INFERRED, DRAWN ON PLANS OR NOT. LIABILITY WILL NOT BE ACCEPTED BY DESIGNERS FOR ANY MATERIALS & LABOUR NOT SHOWN ON DRAWINGS OR REQUIRED BY COUNCIL

SITE PLAN
 FULL SITE

APPROVED PLAN
 Planner: hkane
 RC: 2220242-RMALUC
 Date: 20/09/2022

Initial Issue Date: 23/4/19
 Scale: 1:200, 1:1000
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

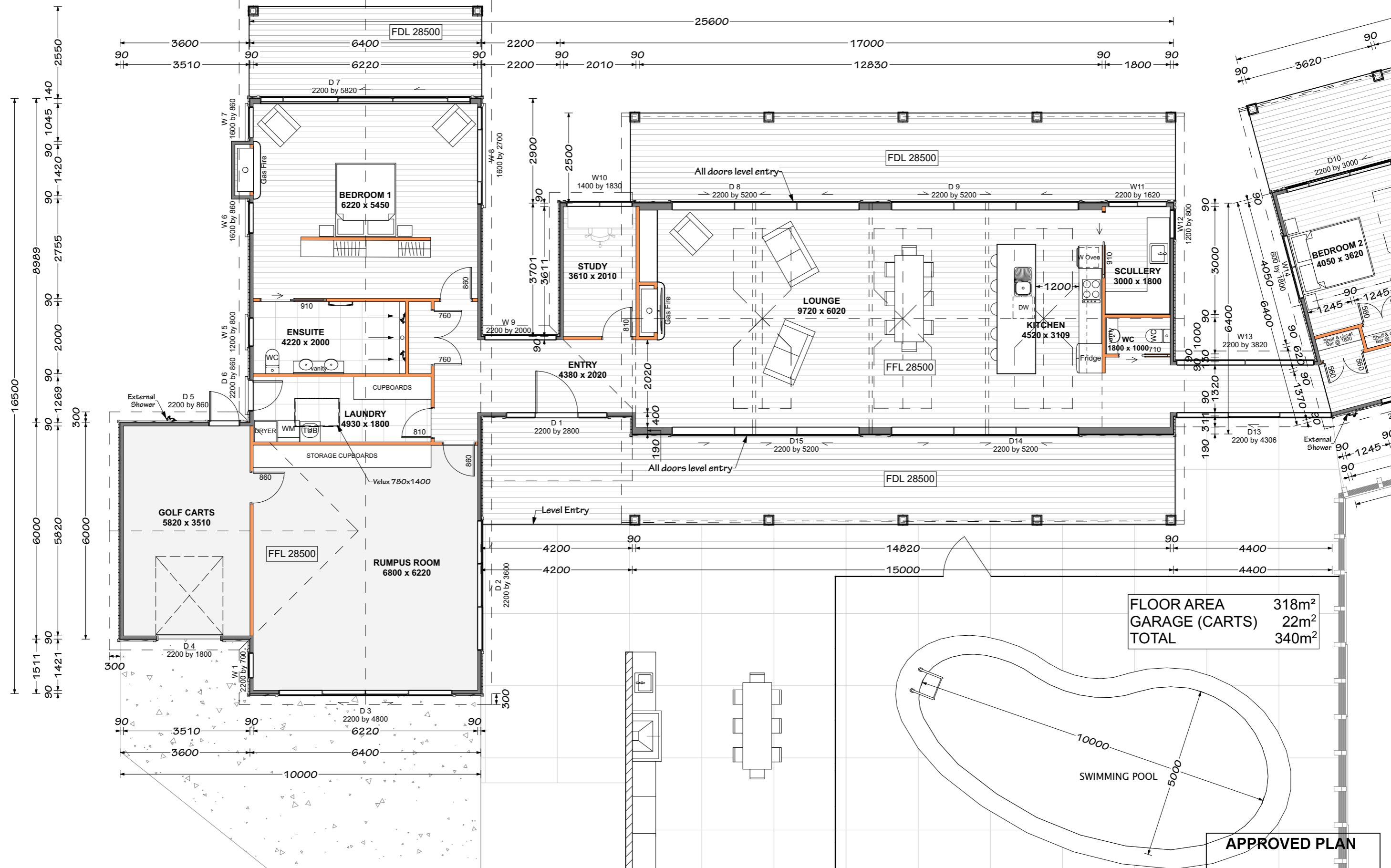
CLIENT APPROVED CONCEPT PLANS
 SIGNED
 DATE

ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND
 CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED


Arcline
 Architecture
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CONCEPT
 14/01/21
 Sheet# 1 of 9



FLOOR AREA	318m ²
GARAGE (CARTS)	22m ²
TOTAL	340m ²

GROUND FLOOR PLAN

APPROVED PLAN
 Planner: hkane
 No: 20242-RMALUC
 Date: 20/09/2022

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Initial Issue Date: 23/4/19
 Scale: 1:100
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
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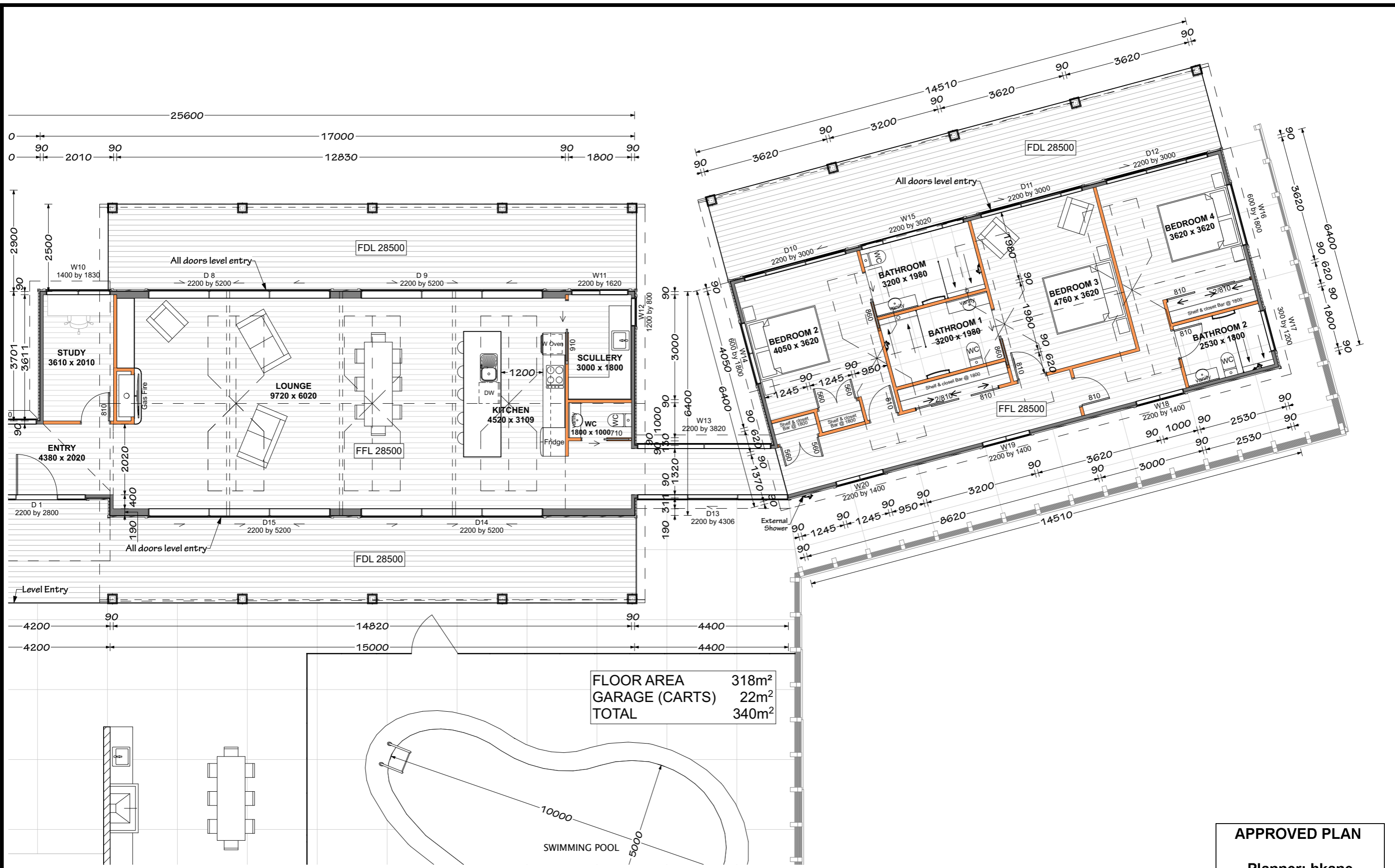
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CONCEPT
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 Sheet# 2 of 9



FLOOR AREA	318m ²
GARAGE (CARTS)	22m ²
TOTAL	340m ²

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GROUND FLOOR PLAN

APPROVED PLAN
 Planner: hkane
 No: 20242-RMALUC
 Date: 20/09/2022

Initial Issue Date: 23/4/19
 Scale: 1:100
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

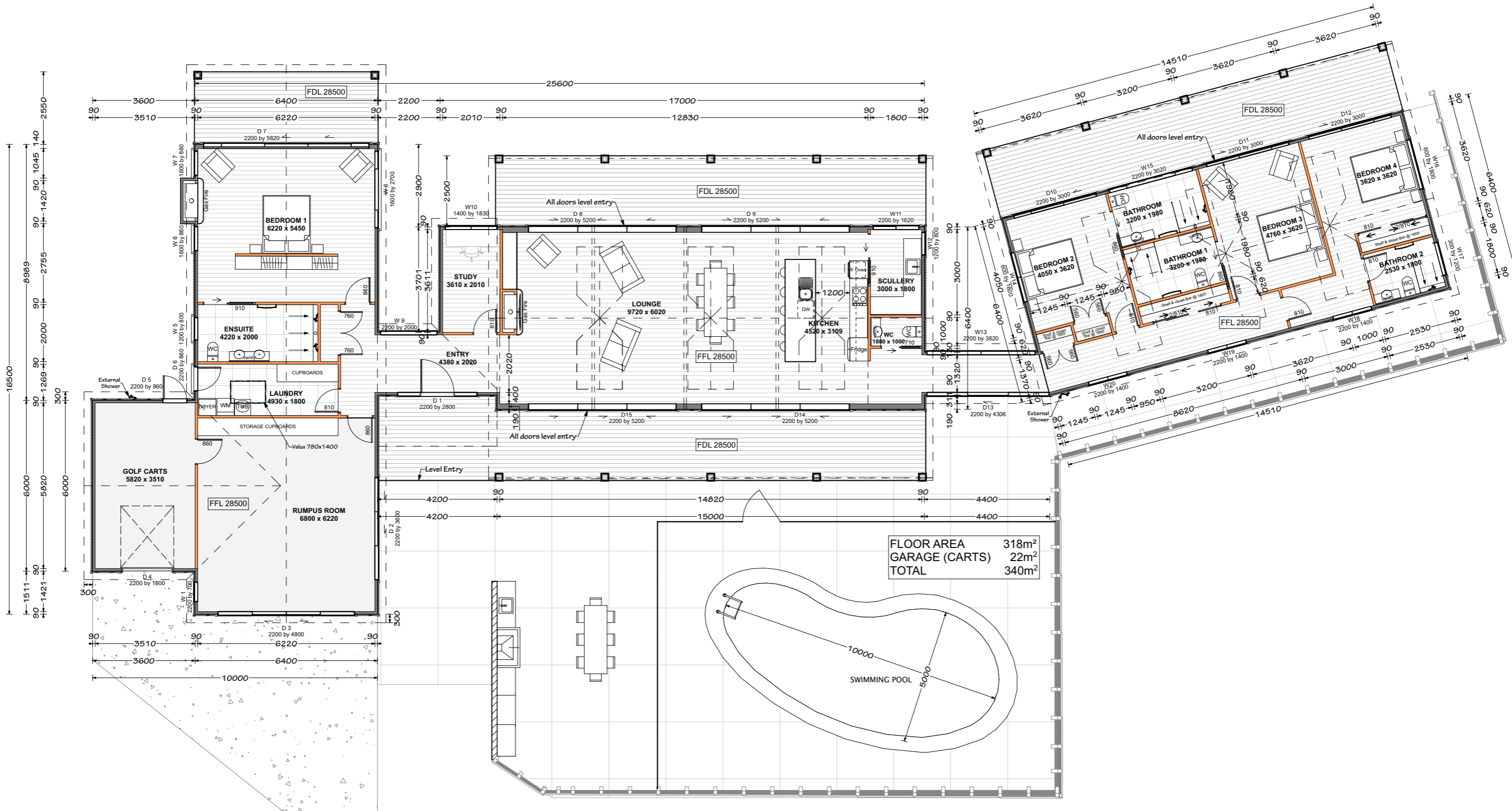
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CONCEPT
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 Sheet# 3 of 9



FLOOR AREA	318m ²
GARAGE (CARTS)	22m ²
TOTAL	340m ²

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GROUND FLOOR PLAN 1:150

APPROVED PLAN
 Planner: h Kane
 RC 221042-RMALUC
 Date: 20/09/2022

Initial Issue Date: 23/4/19
 Scale: 1:100
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

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CONCEPT
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 Sheet# 4 of 9



NORTH ELEVATION



SOUTH ELEVATION

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NORTH & SOUTH ELEVATIONS

APPROVED PLAN

Planner: h Kane
No. 2202/22 D R M A L U C
Date: 20/09/2022

Initial Issue Date: 23/4/19
Scale: 1:100
Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
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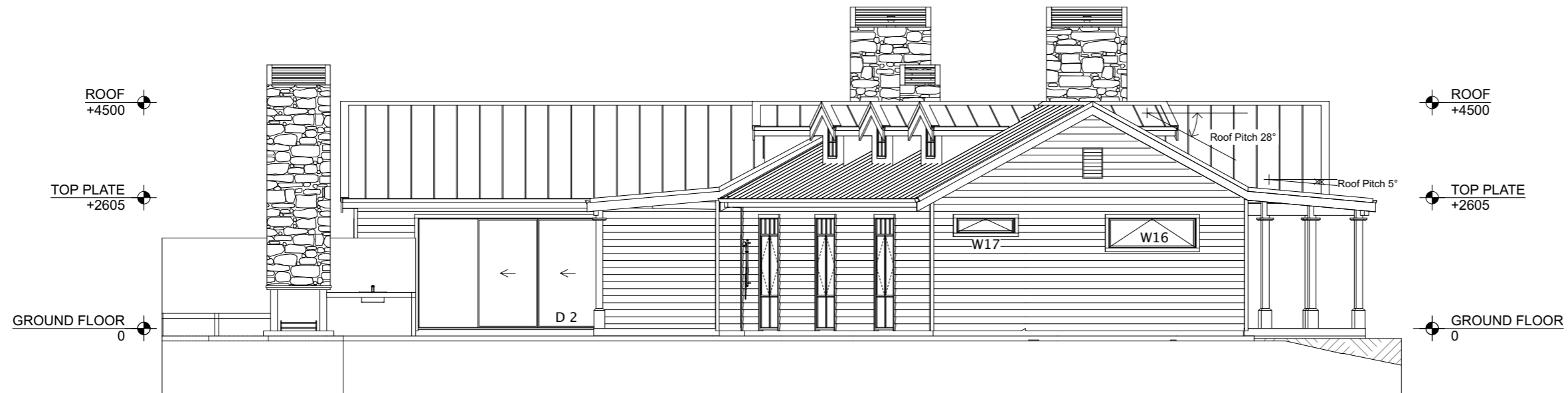
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CONCEPT
14/01/21
Sheet# 5 of 9



EAST ELEVATION



WEST ELEVATION

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EAST & WEST ELEVATIONS

APPROVED PLAN

Planner: hkane
 RO 21/02/22-RMALUC
 Date: 20/09/2022

Initial Issue Date: 23/4/19
 Scale: 1:100
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
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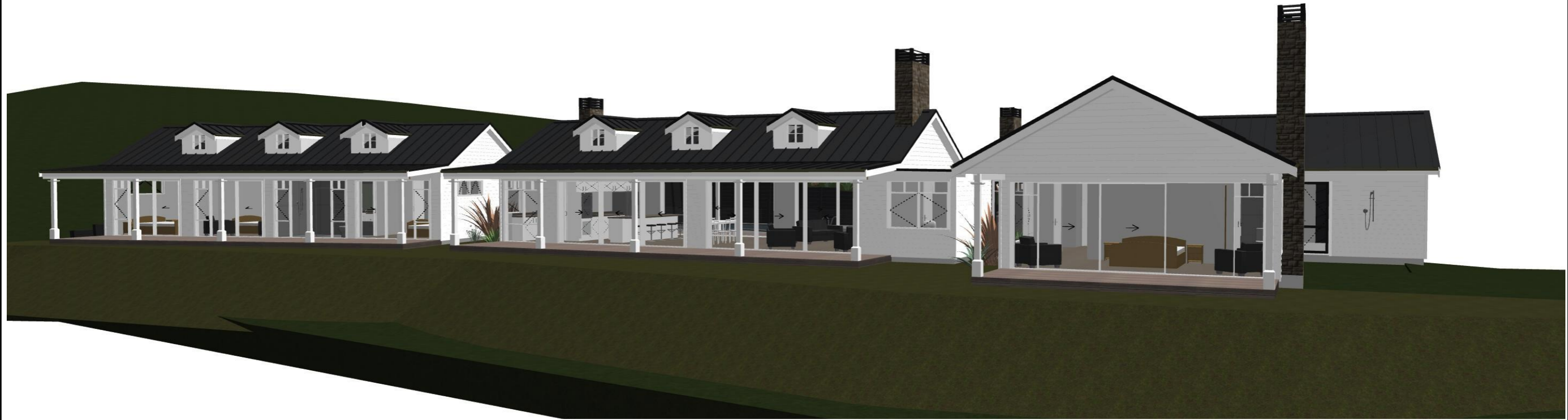
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CONCEPT
 14/01/21
 Sheet# 6 of 9



NORTH PERSPECTIVE



SOUTH PERSPECTIVE

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PERSPECTIVES

APPROVED PLAN

Planner: hkane
RC: 2220242-RMALUC
Date: 20/09/2022

Initial Issue Date: 23/4/19
Scale: 1:50
Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
PURERUA, BAY OF ISLANDS

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CONCEPT
14/01/21
Sheet# 7 of 9



WEST PERSPECTIVE



EAST PERSPECTIVE

PERSPECTIVES

**PROPOSED
NEW
RESIDENCE**

FOR

WIROA LOT 12

PURERUA, BAY OF ISLANDS



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**CLIENT APPROVED
CONCEPT PLANS**

SIGNED

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Initial Issue Date: 23/4/19

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APPROVED PLAN

Date this copy printed
Planner: *[Signature]*

RC 2220242-RMALUC

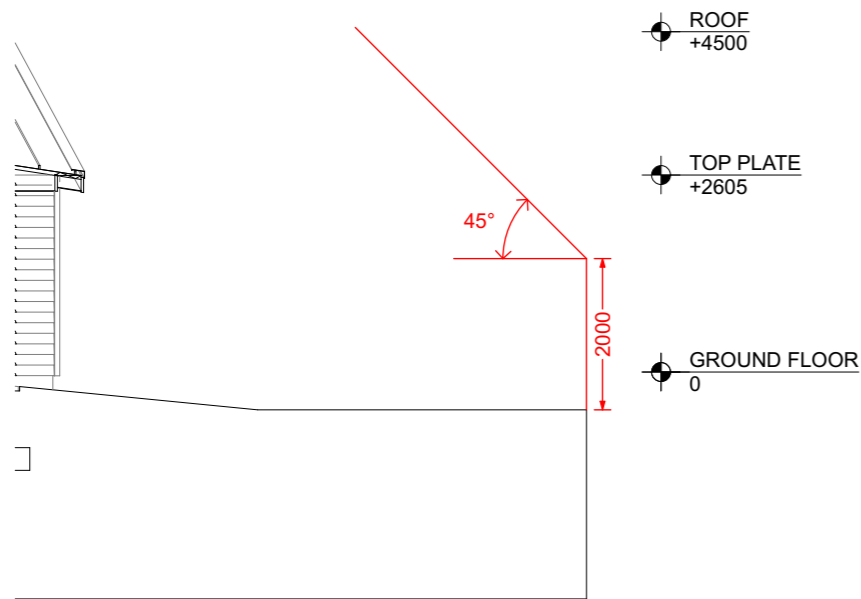
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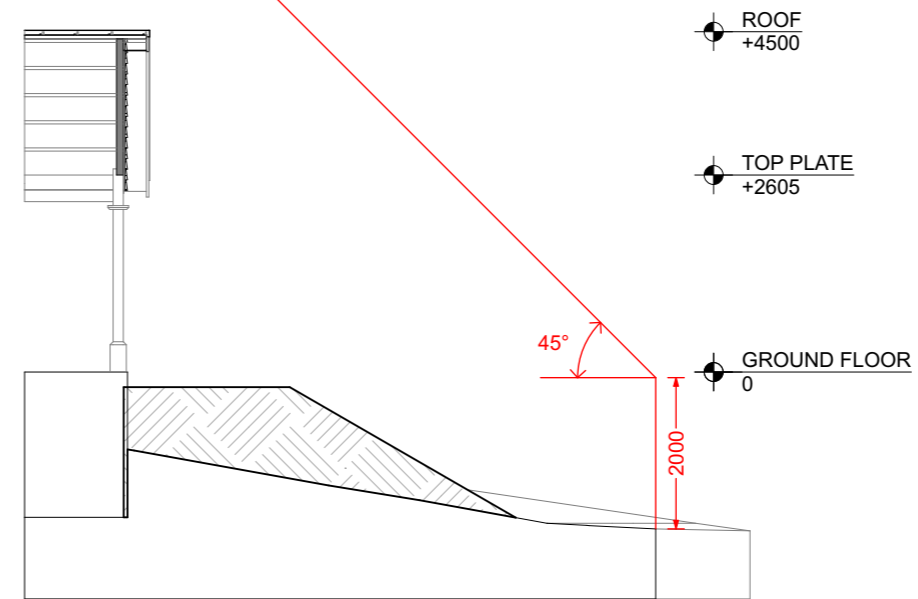
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Sheet# 8 of 9

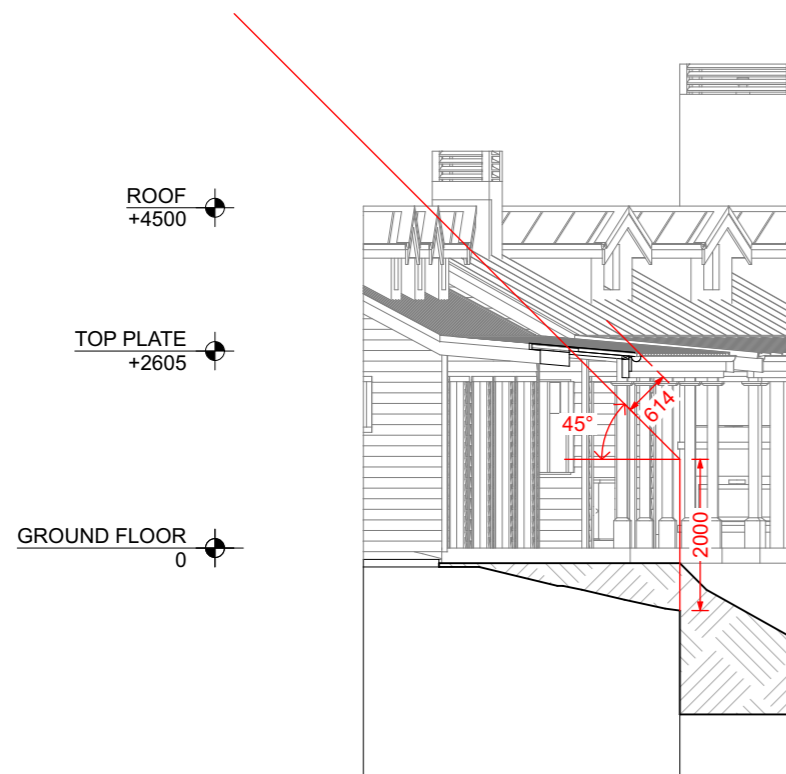
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○ HEIGHT TO BOUNDARY 1



○ HEIGHT TO BOUNDARY 2



3 HEIGHT TO BOUNDARY 3

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HEIGHT TO BOUNDARIES

APPROVED PLAN

Planner: hkane
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 Date: 20/09/2022

CONCEPT

14/01/21

Sheet# 9 of 9

Initial Issue Date: 23/4/19
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PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

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NOTE: All cubic metres are estimates.
Contractor to confirm on Site.
Arcline takes no liability for additional works if volumes change.
They do not include removal of Topsoil or any soft soils encountered.

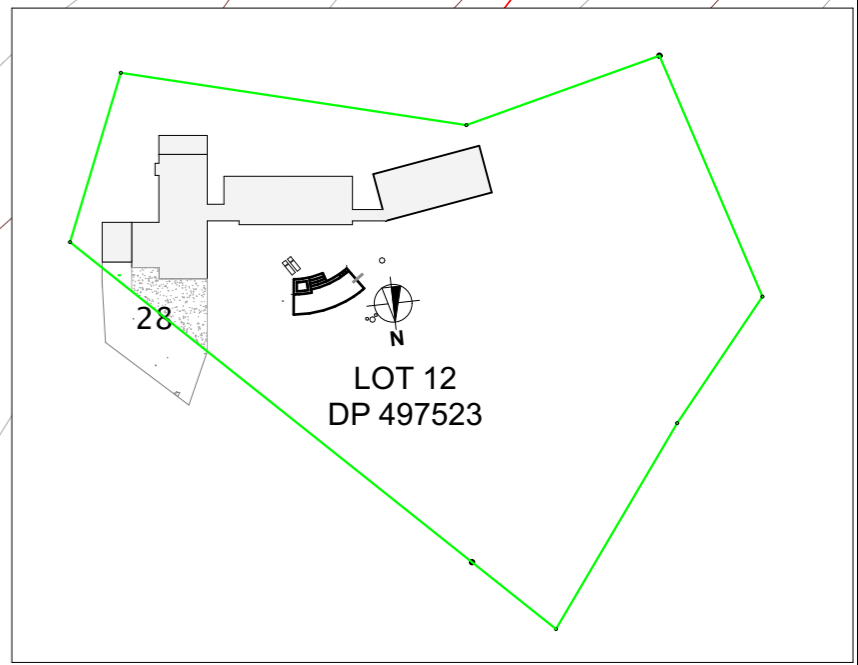
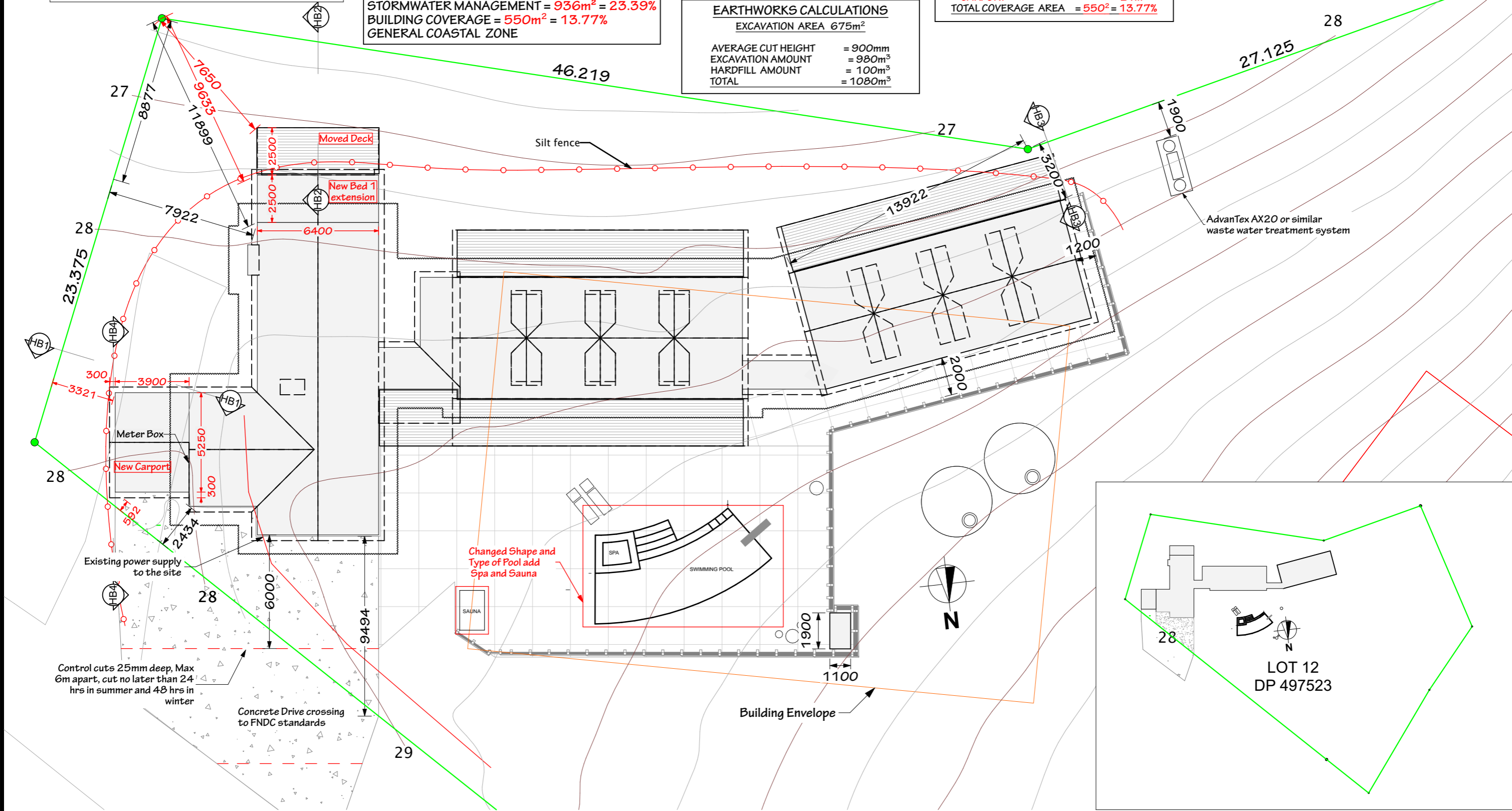
LOT 12
DP 497523
SITE AREA 3993m²
VERY HIGH WIND AREA
SLOPING SITE
EXPOSURE ZONE C
EXCAVATION 980m³
AVERAGE CUT HEIGHT 900mm
STORMWATER MANAGEMENT = 936m² = 23.39%
BUILDING COVERAGE = 550m² = 13.77%
GENERAL COASTAL ZONE

STORMWATER MANAGEMENT CALCULATIONS
3993²
MAX STORMWATER MANAGEMENT AREA = 50%
ROOF PLAN AREA = 545m²
ALL PAVING AREAS = 391m²
TOTAL AREA = 936m² = 23.39%

EARTHWORKS CALCULATIONS
EXCAVATION AREA 675m²
AVERAGE CUT HEIGHT = 900mm
EXCAVATION AMOUNT = 980m³
HARDFILL AMOUNT = 100m³
TOTAL = 1080m³

BUILDING COVERAGE CALCULATIONS
3993²
MAX ALLOWABLE BUILDING COVERAGE = 45%
HOUSE FOOTPRINT AREA = 334m²
GARAGE (CARTS) AREA = 22m²
COVERED VERANDAHS = 123m²
SWIMMING POOL = 50m²
CARPORT = 21m²
TOTAL COVERAGE AREA = 550m² = 13.77%

BUILDING ENVELOPE CALCULATIONS
HOUSE FOOTPRINT OUTSIDE ENVELOPE AREA = 224m²
HOUSE FOOTPRINT + POOL INSIDE ENVELOPE AREA = 166m²
BUILDING ENVELOPE AREA = 600m²



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SITE PLAN FULL SITE

Initial Issue Date: 23/4/19
Scale: 1:200, 1:1000
Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
PURERUA, BAY OF ISLANDS

Revision Name	Date
Add Carport, Extend Bed1, move deck	30/5/23
Change shape and pool type, add Sauna + Spa	16/8/23

ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND
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AMENDMENTS
16/8/23
Sheet# 1 of 66

**PROPOSED
NEW
RESIDENCE**
FOR
WIROA LOT 12
PURERUA, BAY OF
ISLANDS



Revision Name	Date
Added note for shower base 25mm above path, Add pool height	23/3/22
Added Hydrostatic Valve	
Move Ensuite to where Laundry was, New W/Rode where ensuite was, Move laundry to Golf Cart room	20/4/23
Extend Bed 1 and Move deck, Add Carport,	30/5/23
Shorten Carport	16/6/23
Add Outdoor Sauna, Change Pool shape and Type, Add Spa	7/8/23

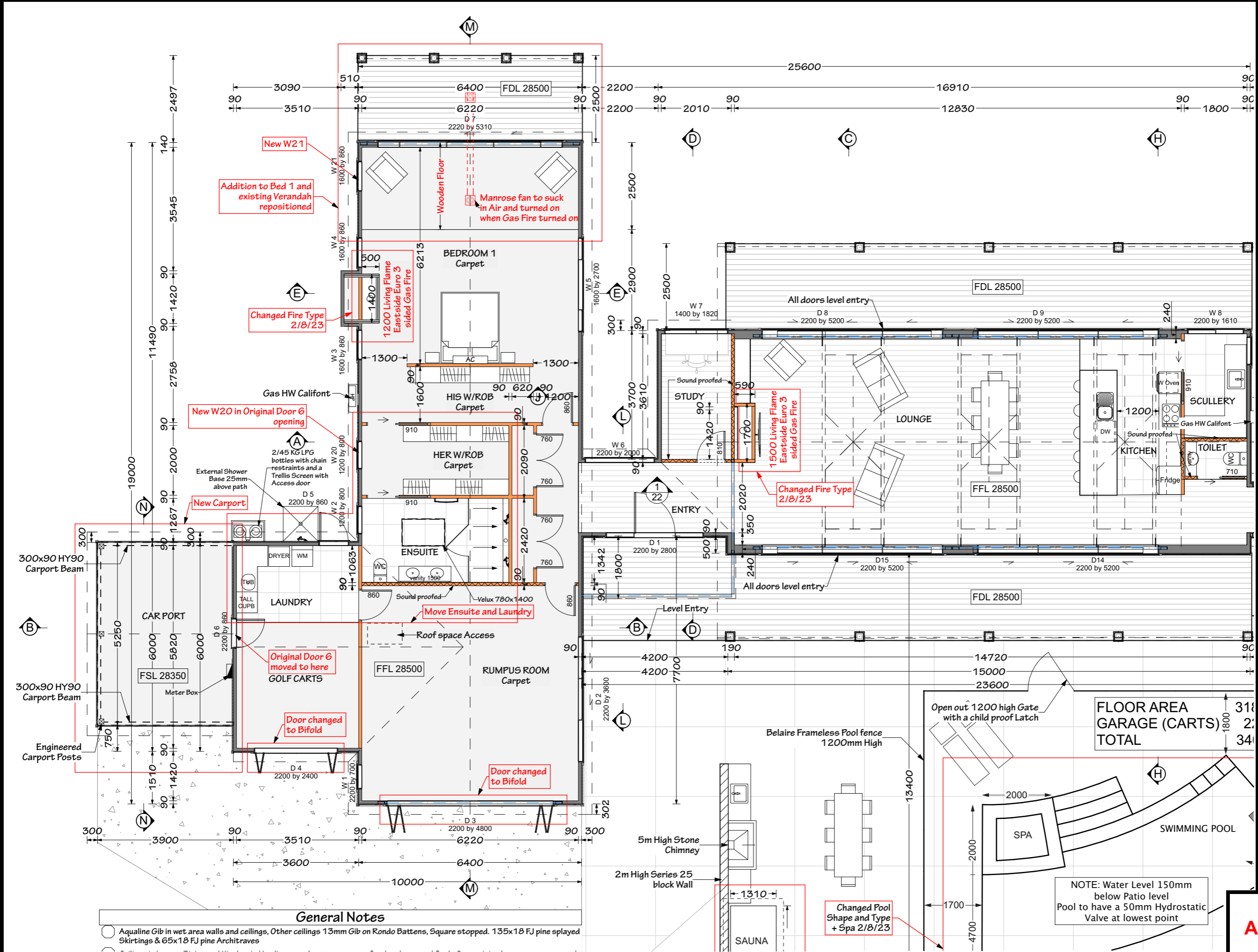
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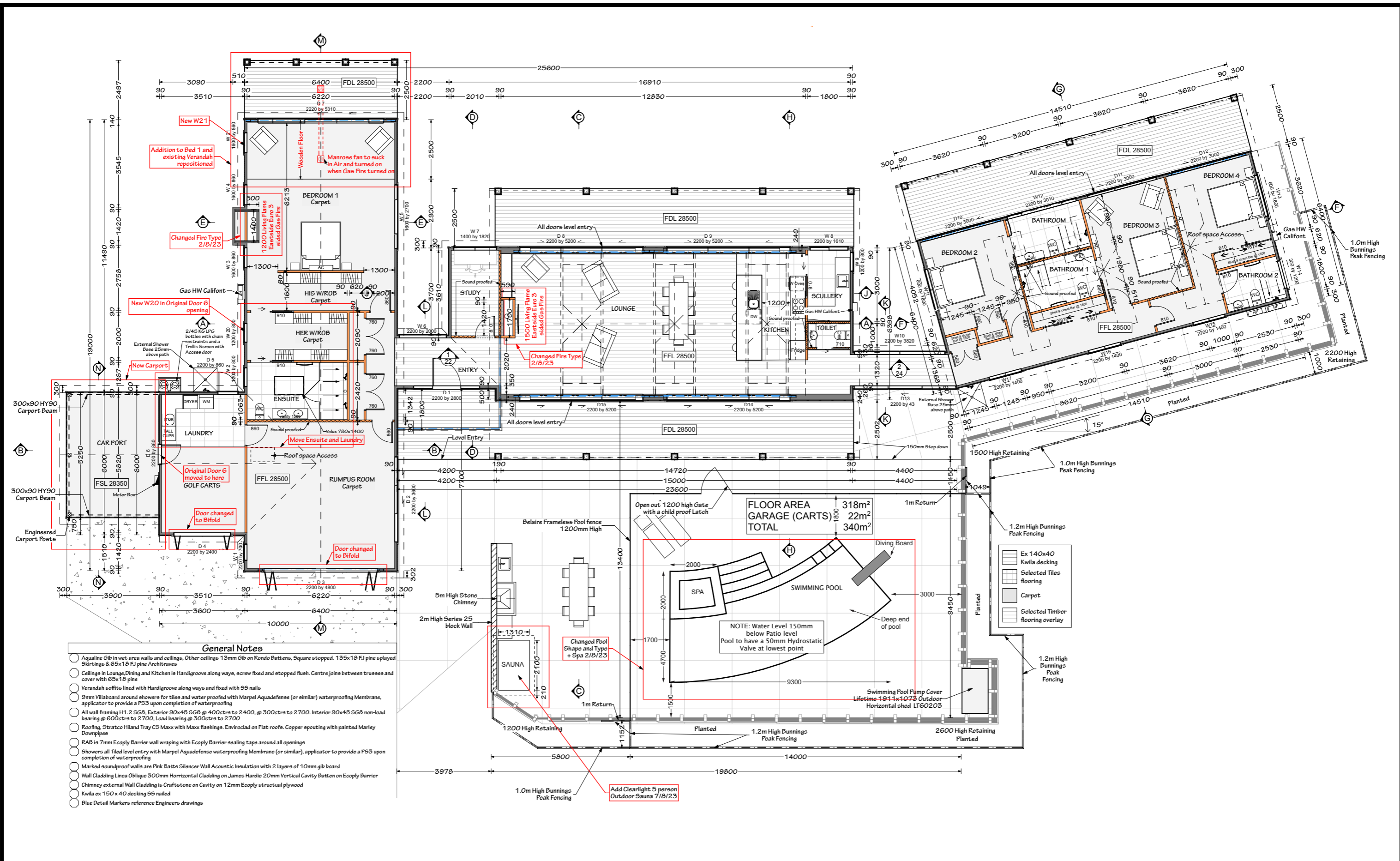
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AMENDMENTS
16/8/23
Sheet# 4 of 66



General Notes
Aqualine Gib in wet area walls and ceilings, Other ceilings 13mm Gib on Rondo Battens, Square stopped. 135x18 FJ pine splayed Skirtings & 65x18 FJ pine Architraves
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FLOOR PLAN



- General Notes**
- Aqualine Gib in wet area walls and ceilings, Other ceilings 13mm Gib on Rondo Battens, Square stopped. 135x18 FJ pine splayed Skirtings & 65x18 FJ pine Architraves
 - Ceilings in Lounge, Dining and Kitchen is Hardigroove along ways, screw fixed and stopped flush. Centre joins between trusses and cover with 65x18 pine
 - Verandah soffits lined with Hardigroove along ways and fixed with S5 nails
 - 9mm Villaboard around showers for tiles and water proofed with Marpel Aquadefense (or similar) waterproofing Membrane, applicator to provide a P53 upon completion of waterproofing
 - All wall framing H1.2 SG8, Exterior 90x45 SG8 @ 400ctrs to 2400, @ 300ctrs to 2700. Interior 90x45 SG8 non-load bearing @ 600ctrs to 2700, Load bearing @ 300ctrs to 2700
 - Roofing, Stratco Hland Tray CS Maxx with Maxx flashings, Enviroclad on Flat roofs. Copper spouting with painted Marley Downpipes
 - RAB is 7mm Ecoply Barrier wall wrapping with Ecoply Barrier sealing tape around all openings
 - Showers all tiled level entry with Marpel Aquadefense waterproofing Membrane (or similar), applicator to provide a P53 upon completion of waterproofing
 - Marked soundproof walls are Pink Batts Silencer Wall Acoustic Insulation with 2 layers of 10mm gib board
 - Wall Cladding Linea Oblique 300mm Horizontal Cladding on James Hardie 20mm Vertical Cavity Batten on Ecoply Barrier
 - Chimney external Wall Cladding is Craftstone on Cavity on 12mm Ecoply structural plywood
 - Kwila ex 150x40 decking S5 nailed
 - Blue Detail Markers reference Engineers drawings

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GROUND FLOOR PLAN 1:150

Initial Issue Date: 23/4/19
 Scale: 1:100, 1:150
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

Revision Name	Date
New Sauna and Changed Pool shape and type + Spa	7/8/23

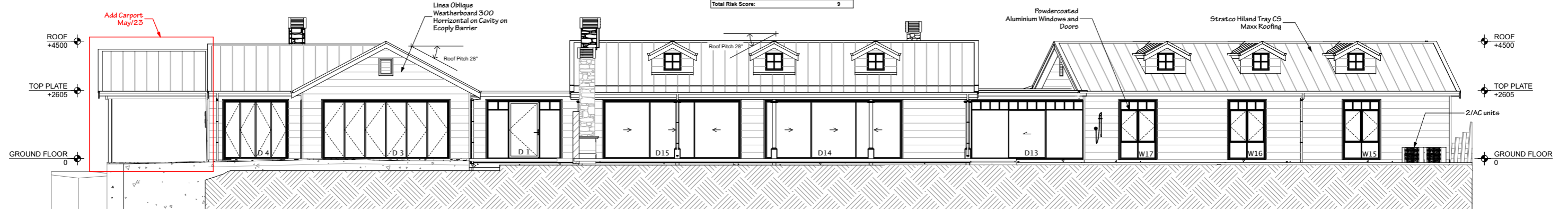
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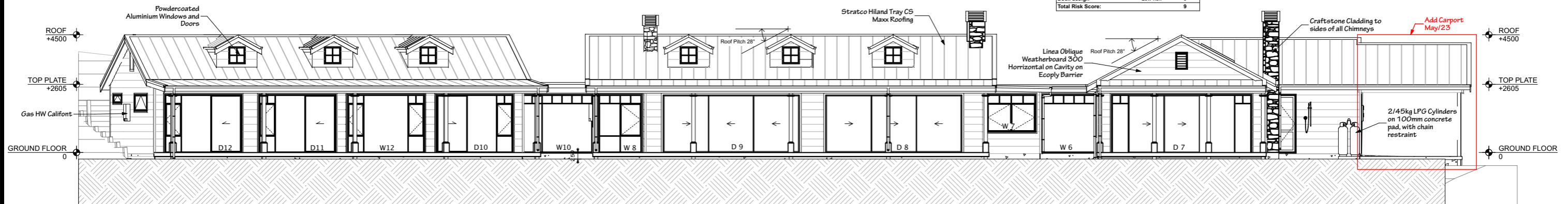
AMENDMENTS
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BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



NORTH ELEVATION


BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



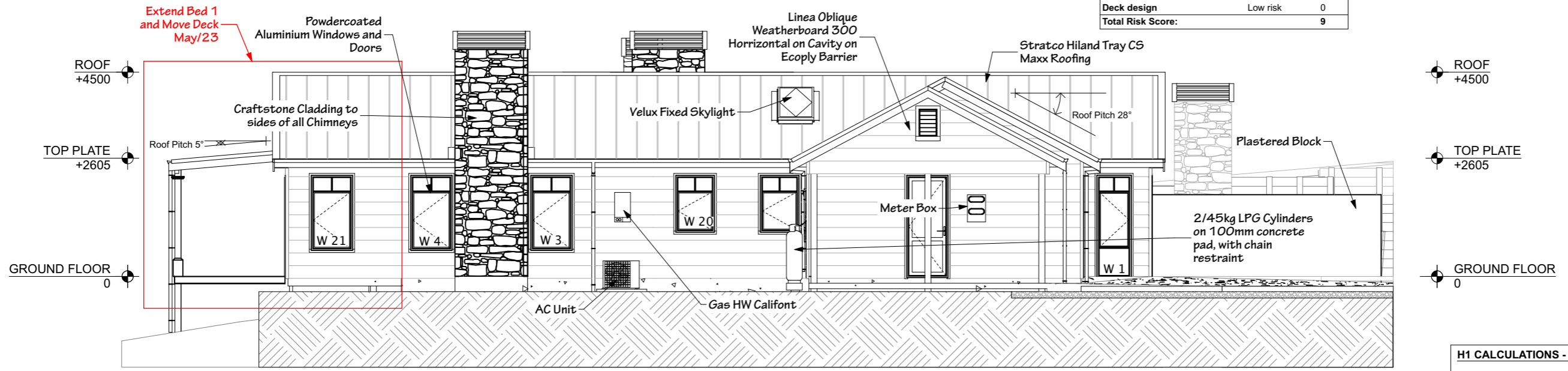
SOUTH ELEVATION

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NORTH & SOUTH ELEVATIONS

Initial Issue Date: 23/4/19 Scale: 1:100 Drawn By: STEPHEN	PROPOSED NEW RESIDENCE FOR WIROA LOT 12 PURERUA, BAY OF ISLANDS	Revision Name: Add Carport Date: 30/5/23	ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED	 49 Matthews Ave, Kaitaia 0410 Ph (09) 4082233 Email info@arcline.co.nz www.arcline.co.nz	Date this copy printed/emailed: 17/08/23	AMENDMENTS 16/8/23 Sheet# 7 of 66

BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



EAST ELEVATION

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9

H1 CALCULATIONS - NORTHERN SCHEDULE METHOD

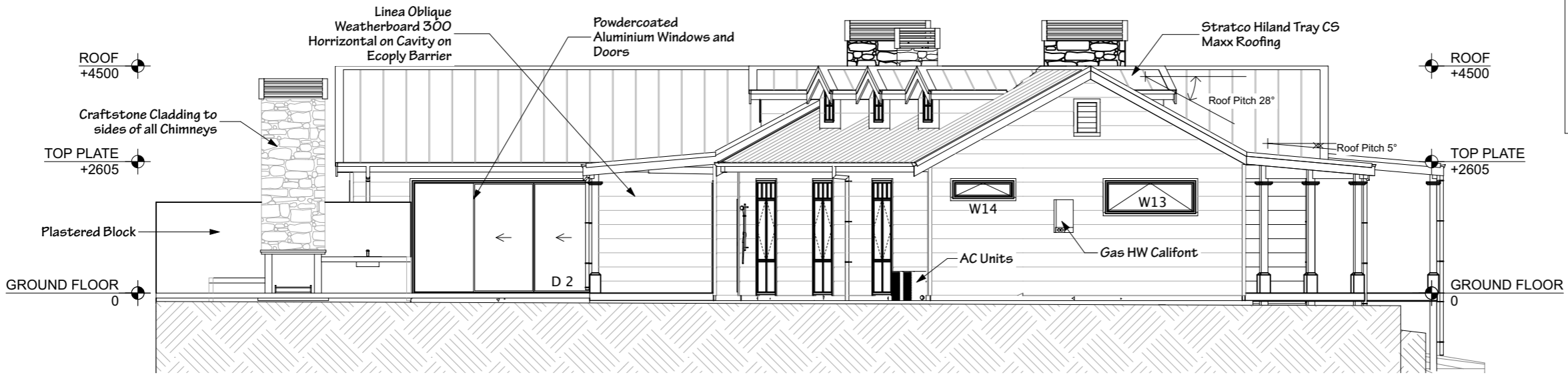
Date	Required	Construction R-Value Achieved
Wall Insulation	R1.9	R2.4
Roof Insulation	R2.9	R3.2
Floor Insulation	R1.3	R1.6
Glazing	R0.26	R0.26

Note: Construction R-Values are sourced from BRANZ House Insulation Guide or Design Navigator

Glazing vs Wall Area Calculations

Wall facing	M² of Wall	M² of Windows	% Windows of Wall
West	59.09	12.99	21.98
East	33.30	7.75	23.27
South	103.23	70.64	68.43
North	103.76	46.96	45.26
TOTAL	299.38	138.34	46.22

Total glazing of East, South, North & West walls is Less than 50% of these walls total wall area so passes the H1 Northern Schedule Method.



WEST ELEVATION

EAST & WEST ELEVATIONS

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PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

Revision Name	Date
Extend Bed 1 and move deck	30/5/23

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PURERUA, BAY OF ISLANDS



Revision Name	Date
Add Carport and Extend Bed 1	16/8/23

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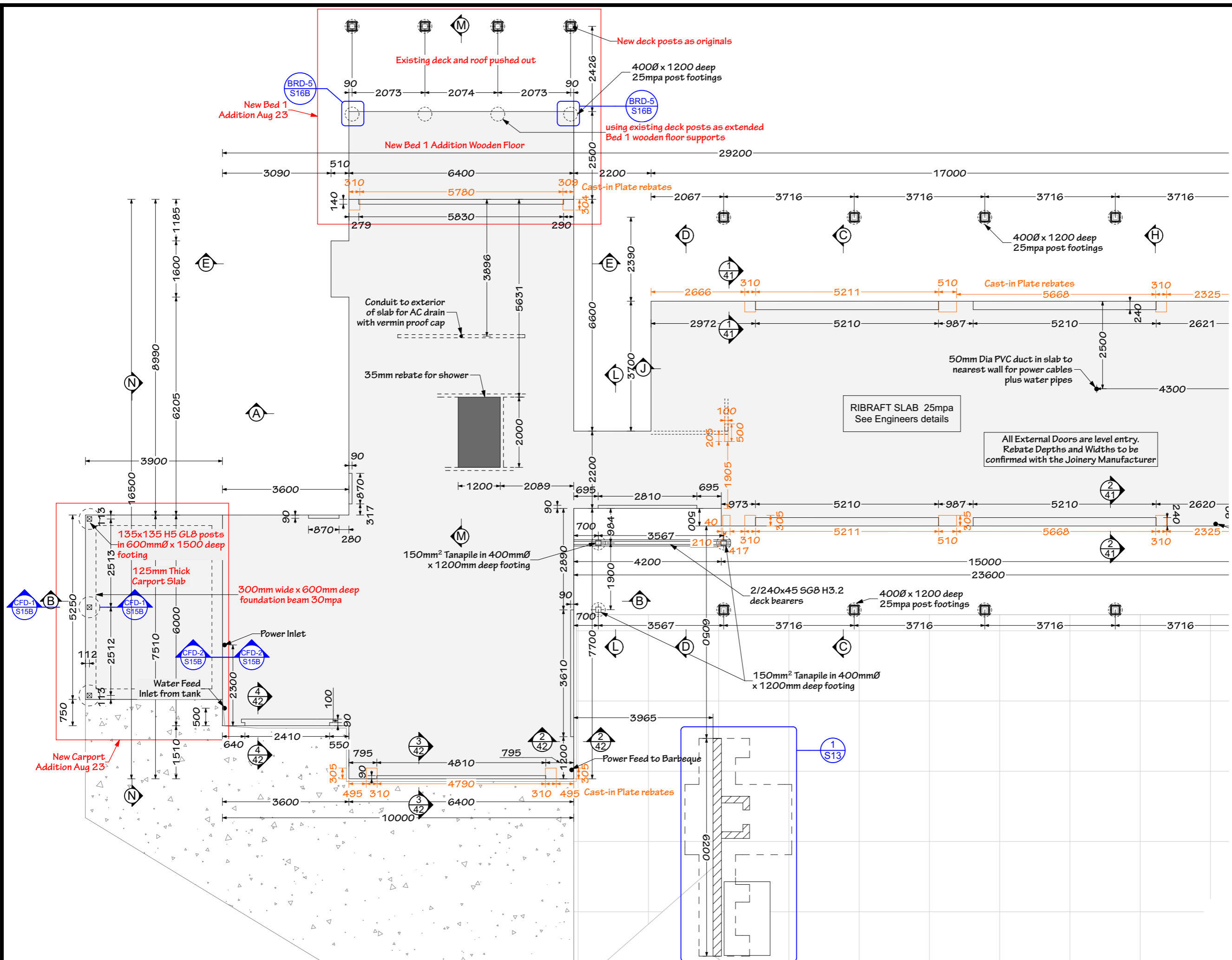
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FLOOR SLAB PLAN

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Revision Name	Date
Changed Chimney framing Treatment Added vents and vented battens	
Changed Fire to Living Flame Euro Gas	16/8/23

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Initial Issue Date: 23/4/19

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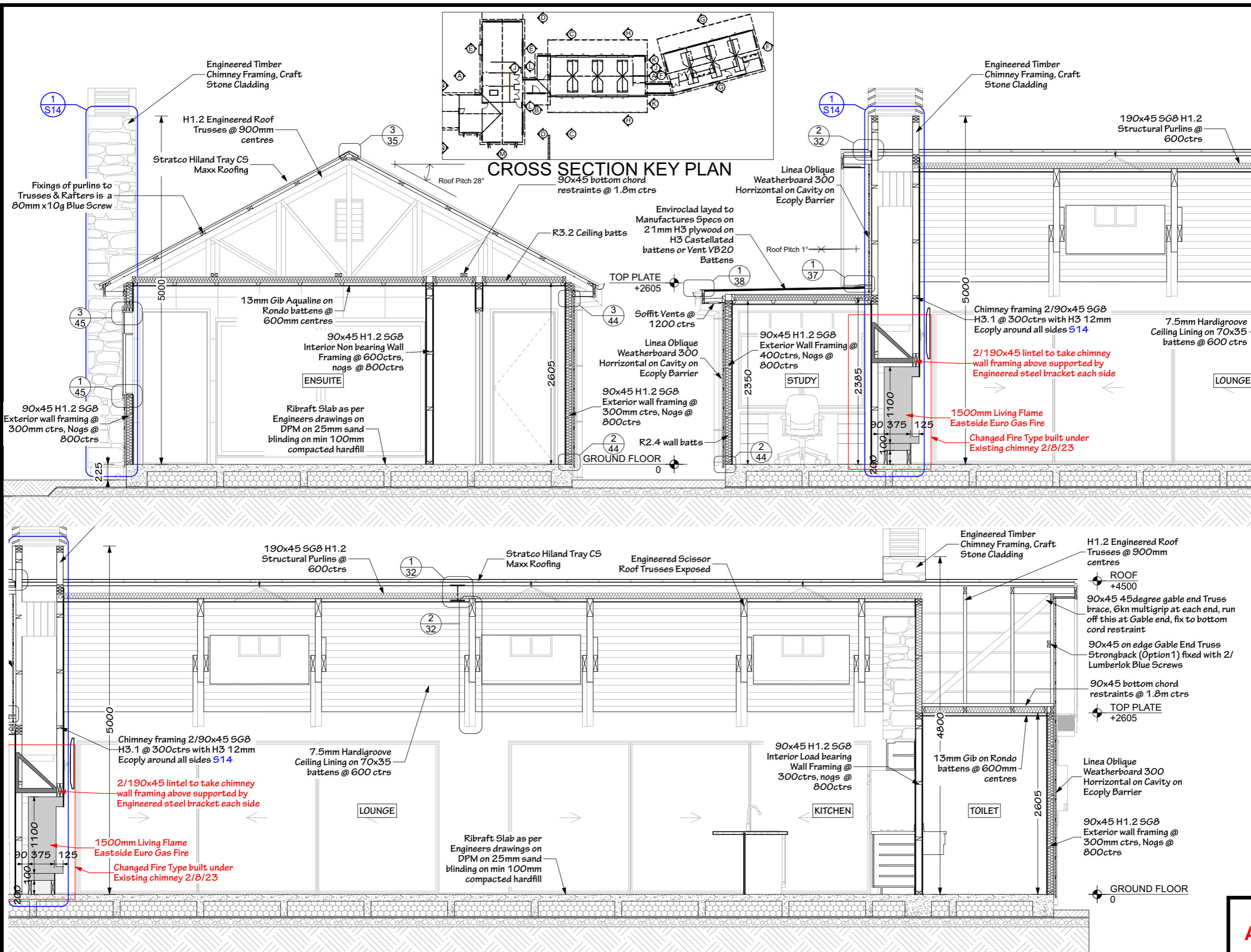
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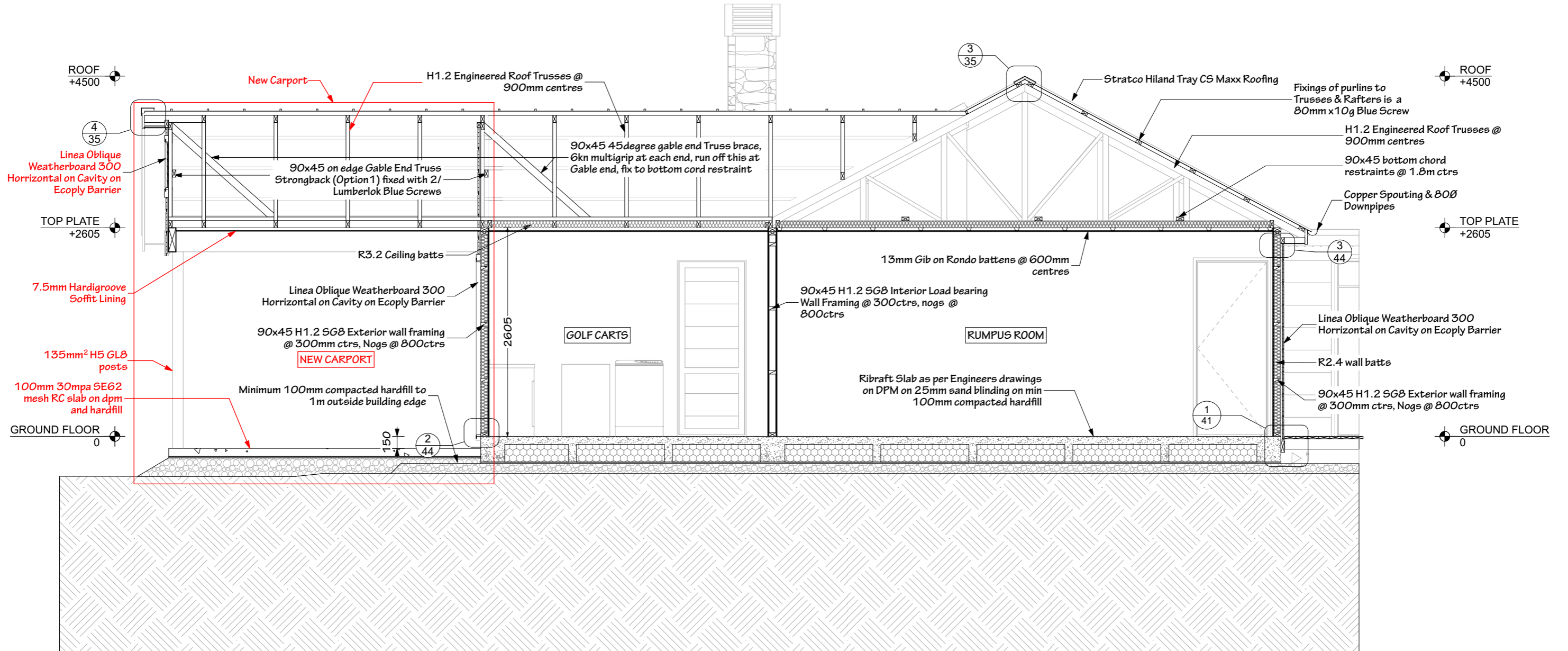
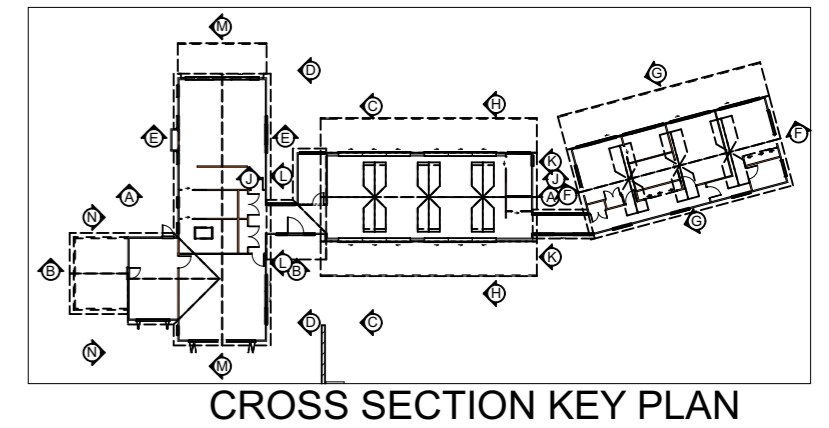
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CROSS SECTION A



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CROSS SECTION B

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PROPOSED NEW RESIDENCE
 FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

Revision Name	Date
Add New Carport	31/5/23

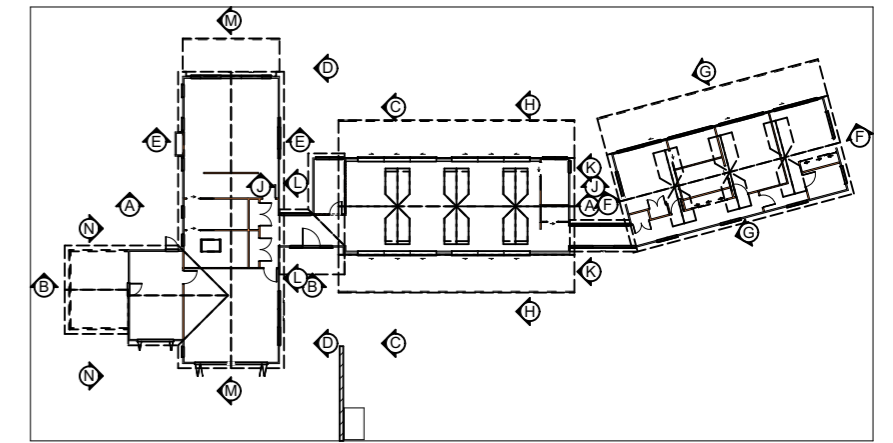
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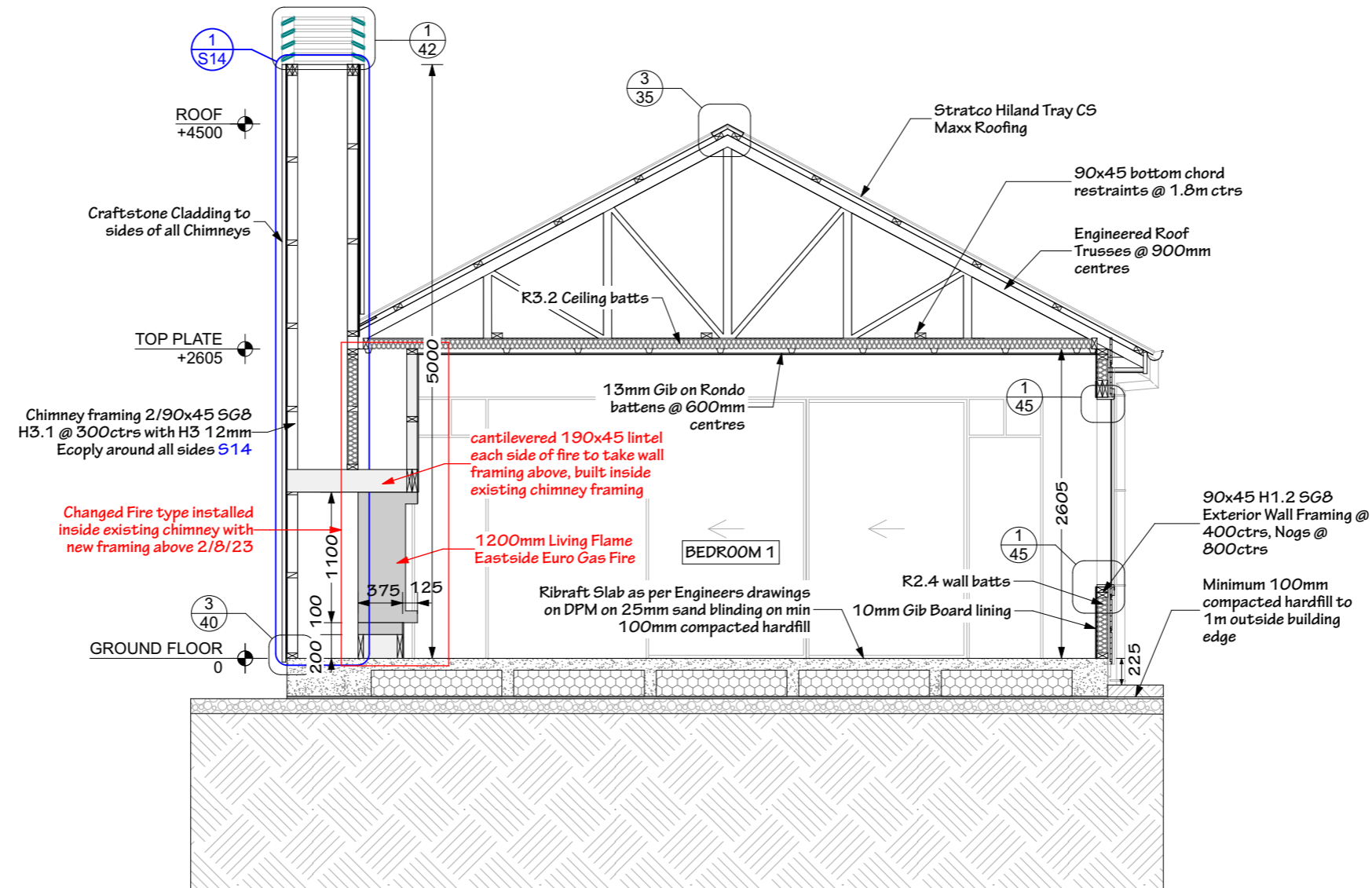
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CROSS SECTION KEY PLAN



CROSS SECTION E

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PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

Revision Name	Date
Changed Chimney framing treatment	23/3/22
Changed Fire to Living Flame Euro	16/8/23

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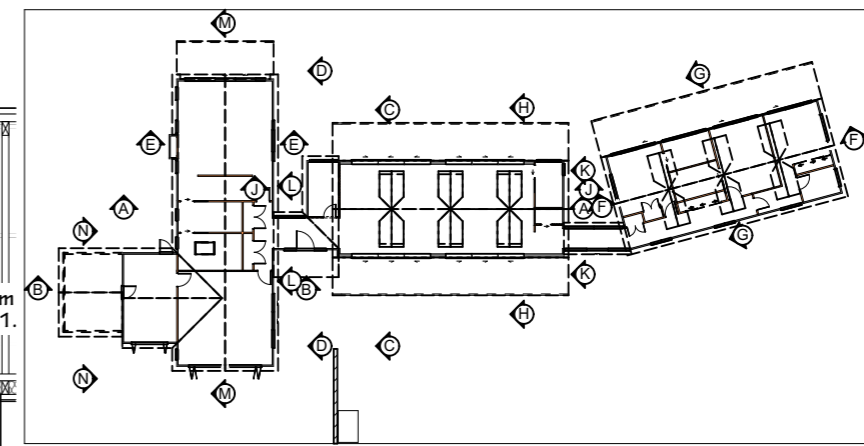
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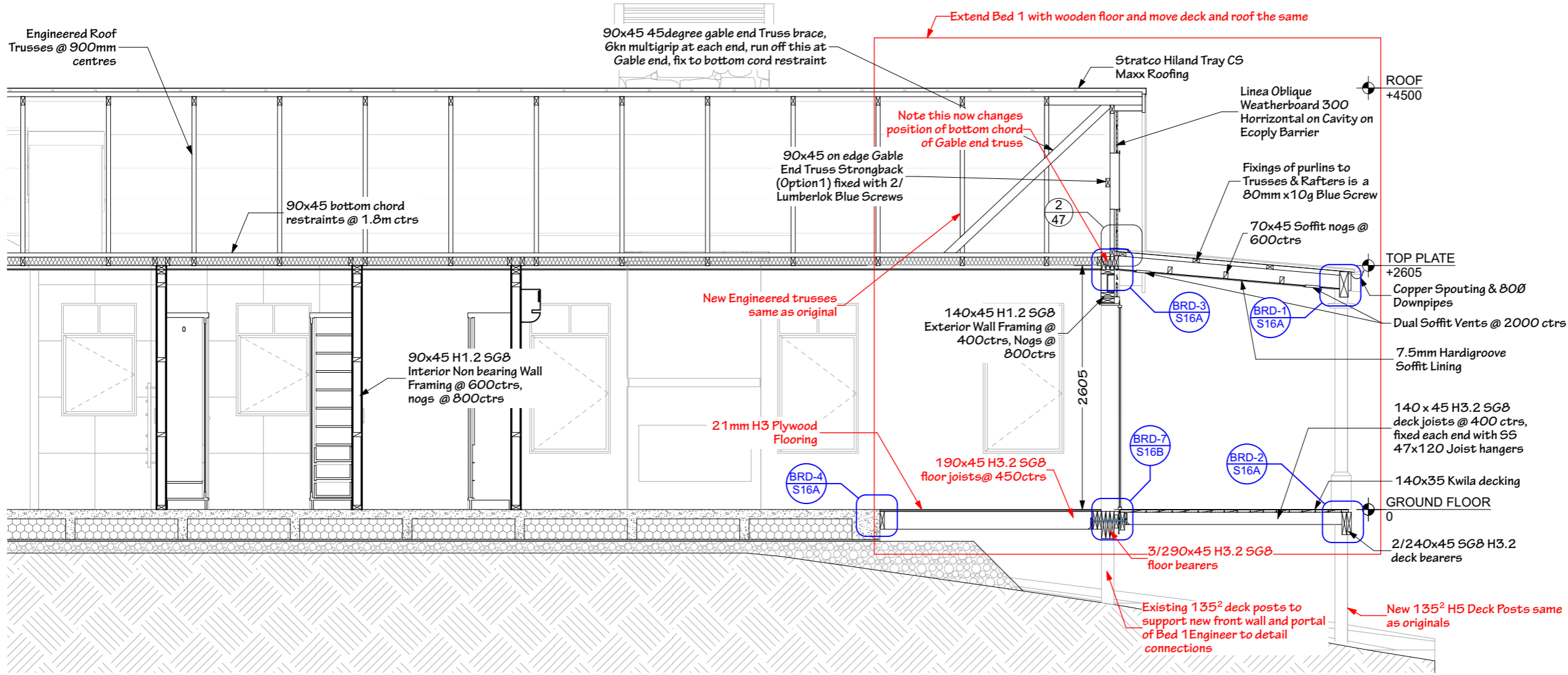
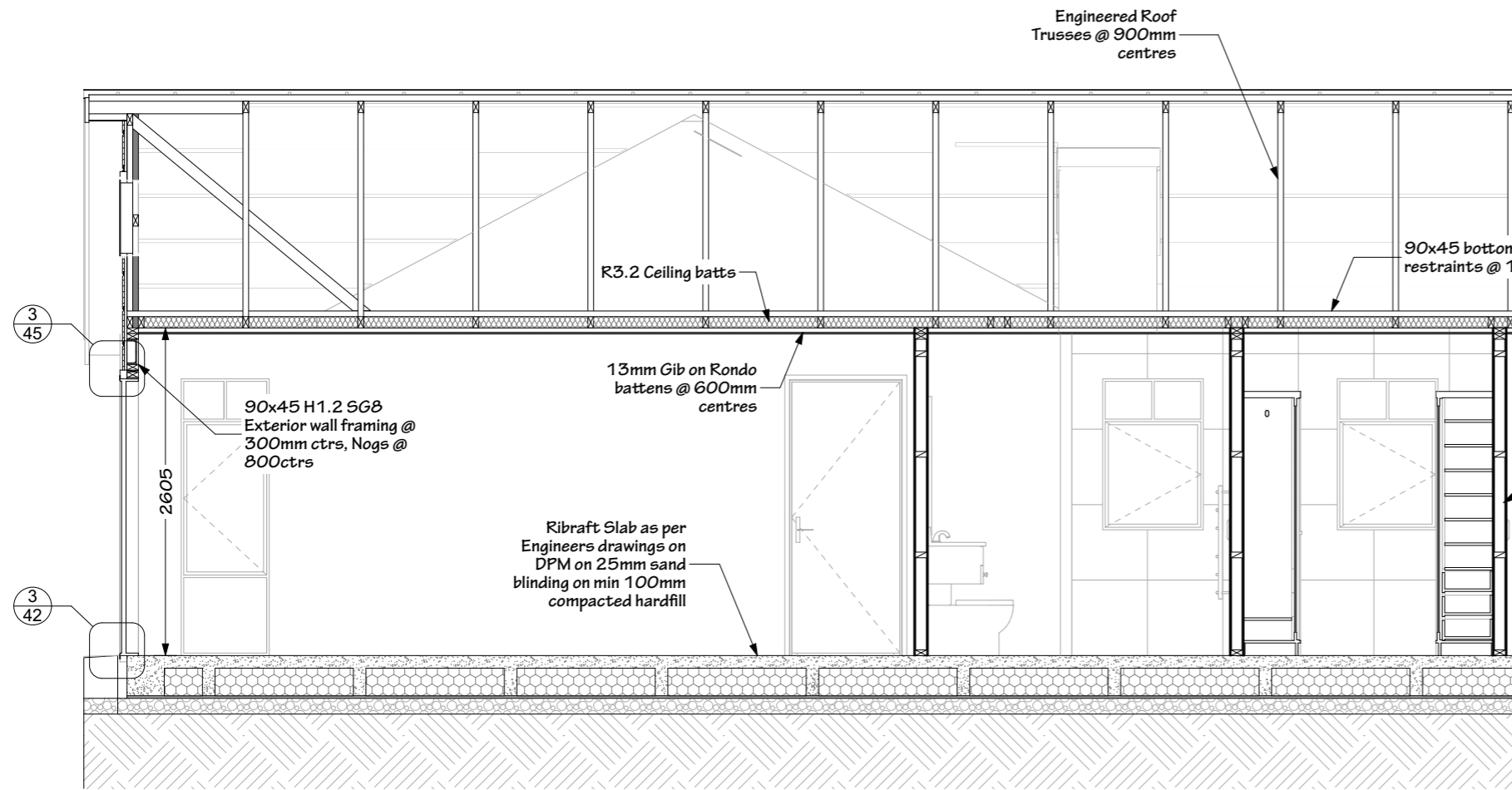
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CROSS SECTION KEY PLAN



CROSS SECTION M

Revision Name	Date
Added Soffit Vents	23/3/22
Extend Bed 1	31/5/23
Extend Bed 1 and reposition Deck and Verandah Roof	16/8/23

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Revision Name	Date
Add Carpet and Extend Bed 1	16/8/23

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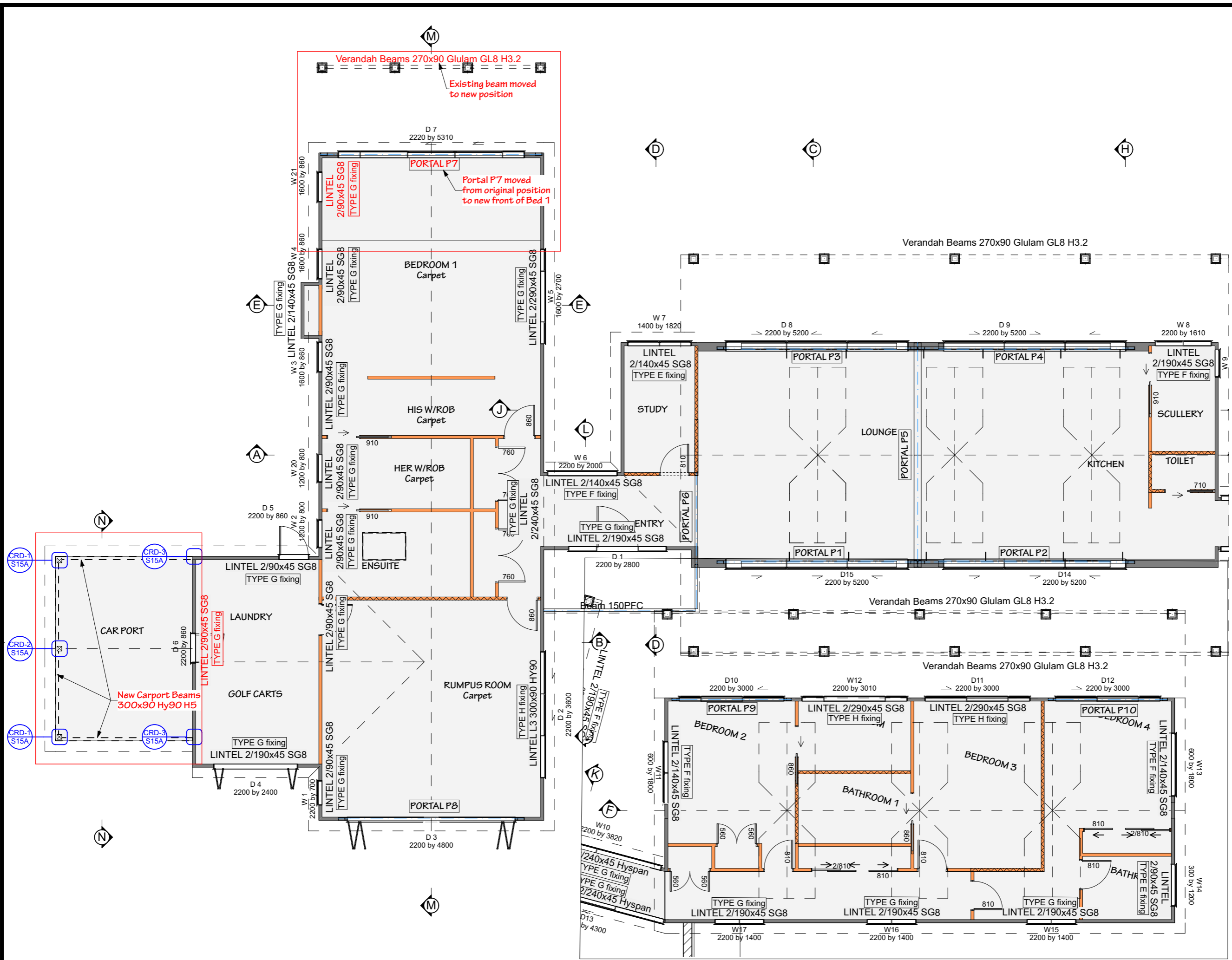
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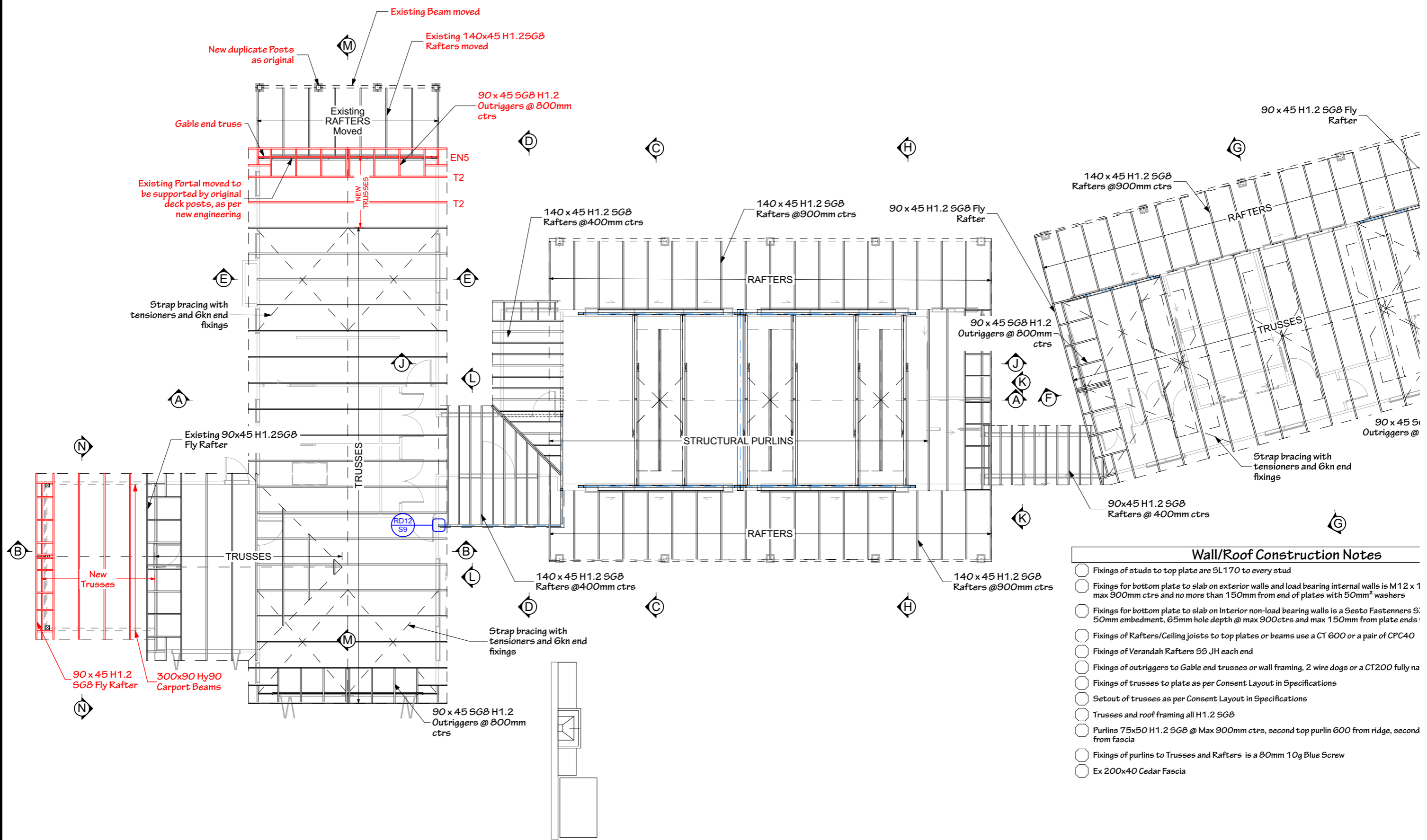
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LINTEL PLAN


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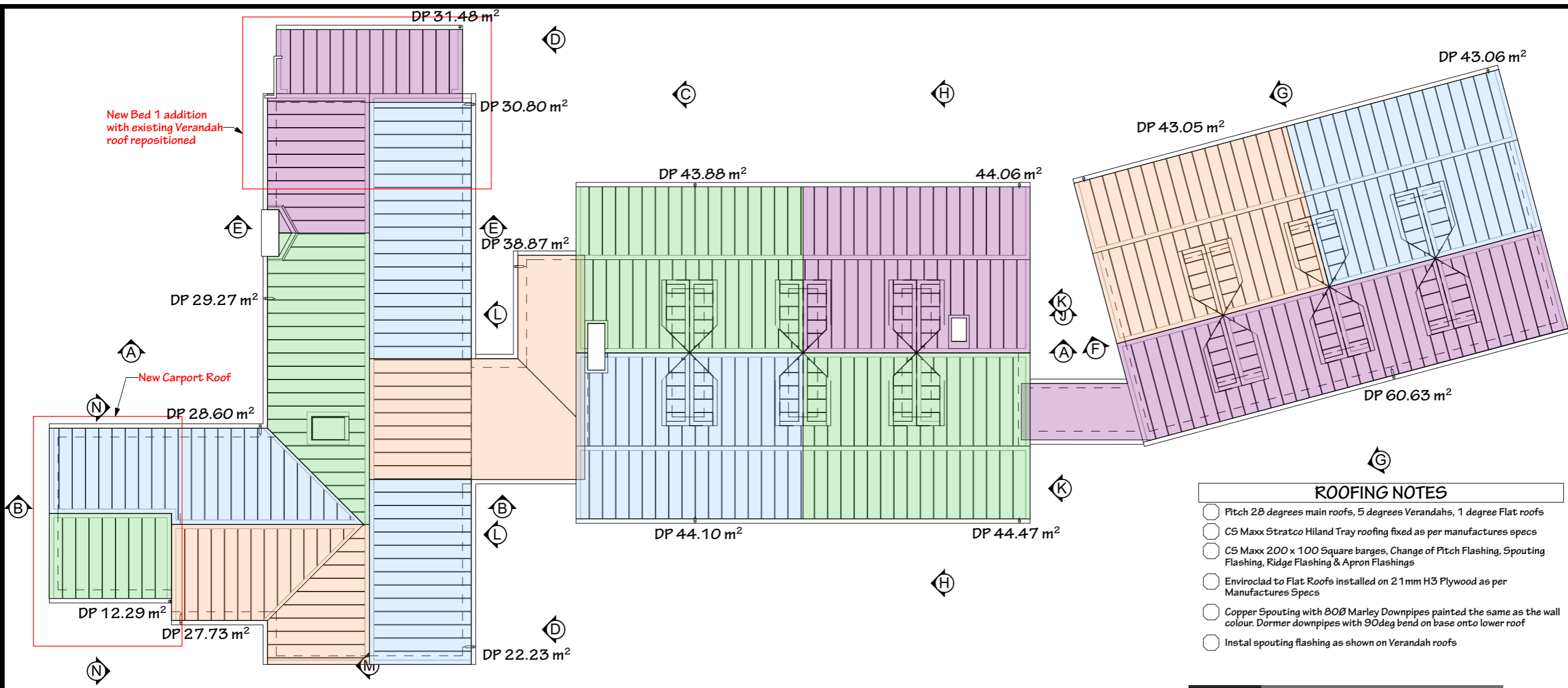


- ### Wall/Roof Construction Notes
- Fixings of studs to top plate are SL170 to every stud
 - Fixings for bottom plate to slab on exterior walls and load bearing internal walls is M12 x 1 max 900mm ctrs and no more than 150mm from end of plates with 50mm² washers
 - Fixings for bottom plate to slab on interior non-load bearing walls is a Sesto Fasteners S: 50mm embedment, 65mm hole depth @ max 900ctrs and max 150mm from plate ends
 - Fixings of Rafters/Ceiling joists to top plates or beams use a CT 600 or a pair of CPC40
 - Fixings of Verandah Rafters SS JH each end
 - Fixings of outriggers to Gable end trusses or wall framing, 2 wire dogs or a CT200 fully na
 - Fixings of trusses to plate as per Consent Layout in Specifications
 - Setout of trusses as per Consent Layout in Specifications
 - Trusses and roof framing all H1.2 SGB
 - Purlins 75x50 H1.2 SGB @ Max 900mm ctrs, second top purlin 600 from ridge, second from fascia
 - Fixings of purlins to Trusses and Rafters is a 80mm 10g Blue Screw
 - Ex 200x40 Cedar Fascia

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ROOF FRAMING PLAN

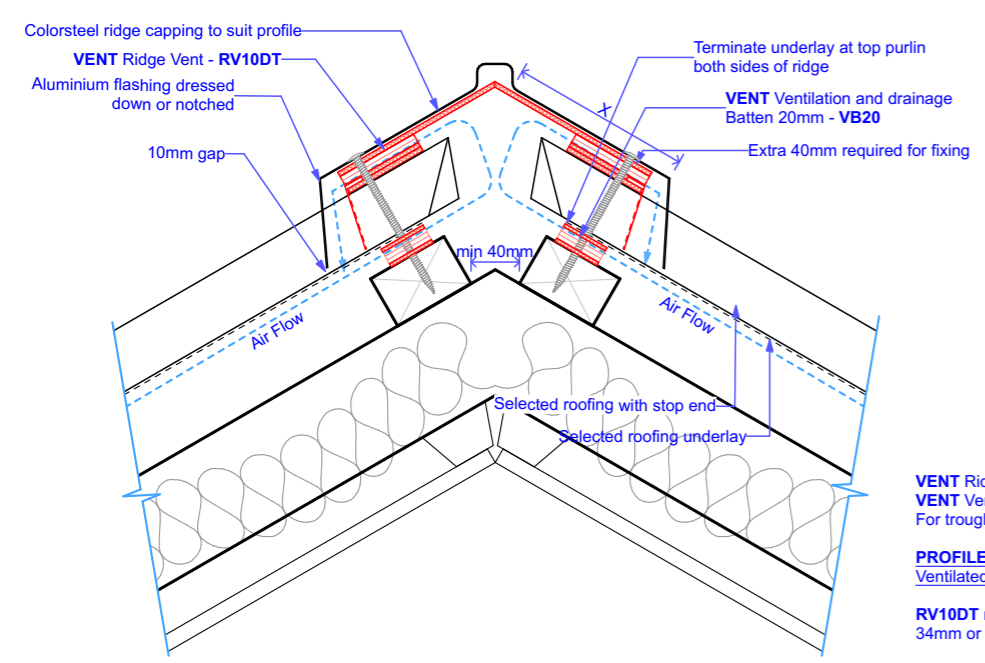
Initial Issue Date: 23/4/19 Scale: 1:125 Drawn By: STEPHEN	PROPOSED NEW RESIDENCE FOR WIROA LOT 12 PURERUA, BAY OF ISLANDS	Revision Name	Date	ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED	 49 Matthews Ave, Kaitia 0410 Ph (09) 4082233 Email info@arcline.co.nz www.arcline.co.nz	Date this copy printed/emailed 17/08/23	AMENDMENTS 16/8/23 Sheet# 27 of 66
		Extend Bed 1 Add Carport	31/5/23				



ROOFING NOTES

- Pitch 28 degrees main roofs, 5 degrees Verandahs, 1 degree Flat roofs
- CS Maxx Stratco Hilland Tray roofing fixed as per manufactures specs
- CS Maxx 200 x 100 Square barges, Change of Pitch Flashing, Spouting Flashing, Ridge Flashing & Apron Flashings
- Enviroclad to Flat Roofs installed on 21mm H3 Plywood as per Manufactures Specs
- Copper Spouting with 80Ø Marley Downpipes painted the same as the wall colour. Dormer downpipes with 90deg bend on base onto lower roof
- Instal spouting flashing as shown on Verandah roofs

Revision Name	Date
Add Carport, Add extension to Bed 1 reposition existing Verandah,	Aug 2023



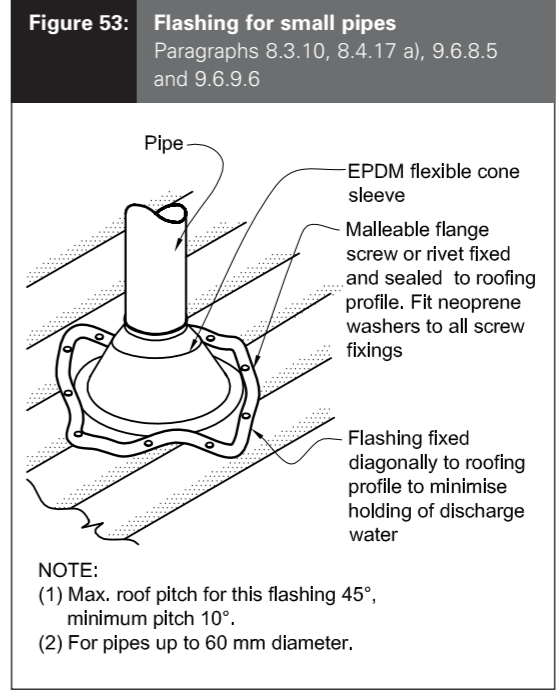
VENT Ridge Vent - RV10DT
VENT Ventilation and drainage Batten 20mm - VB20
For trough depth >34mm

PROFIED STEEL ROOF CLADDING - CLIPPED SYSTEM
Ventilated Ridge - Skillion Roof

RV10DT recommended for roof claddings with trough depth 34mm or greater

Main contractor to ensure correct placement of purlins for fixing of Ridge Vent

The Ridge cap is to be supplied by the roof cladding supplier. Refer to E2/AS1 for minimum values of X, recommend 200mm min to hide flashing tape



PENETRATION FLASHINGS

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ROOF PLAN

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Revision Name	Date
Changed Overflow pipe size. Add Notes, Added note about using a Cartridge Filter	23/3/22
Changed pool shape and Type Add Carpet, Add extension to Bed 1 reposition existing Verandah, move Ensuite and Laundry Aug 2023	

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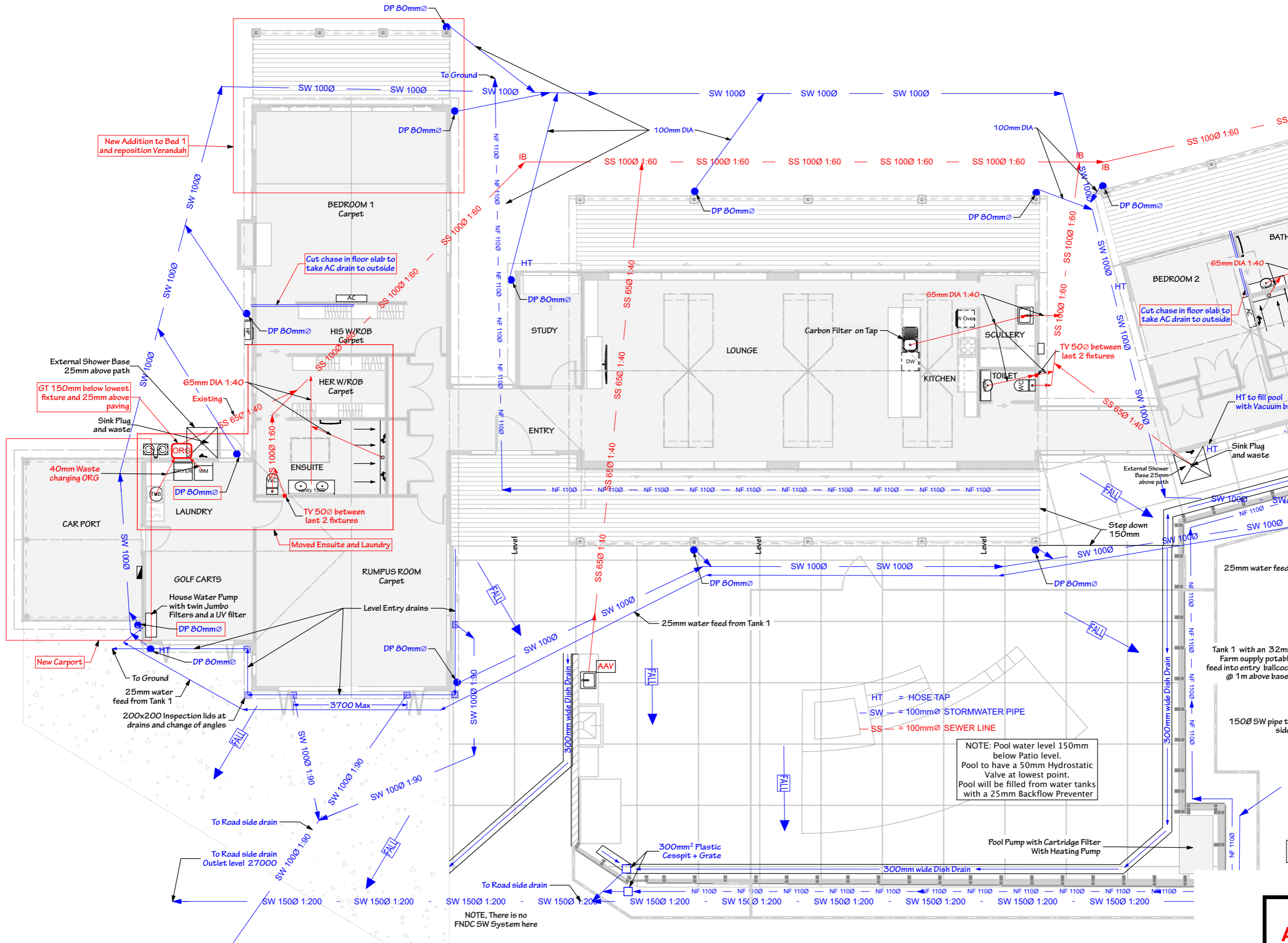
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PLUMBING PLAN

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Revision Name	Date
Add Carport, Add extension to Bed 1 reposition existing Verandah, move Ensuite and Laundry Aug 2023	

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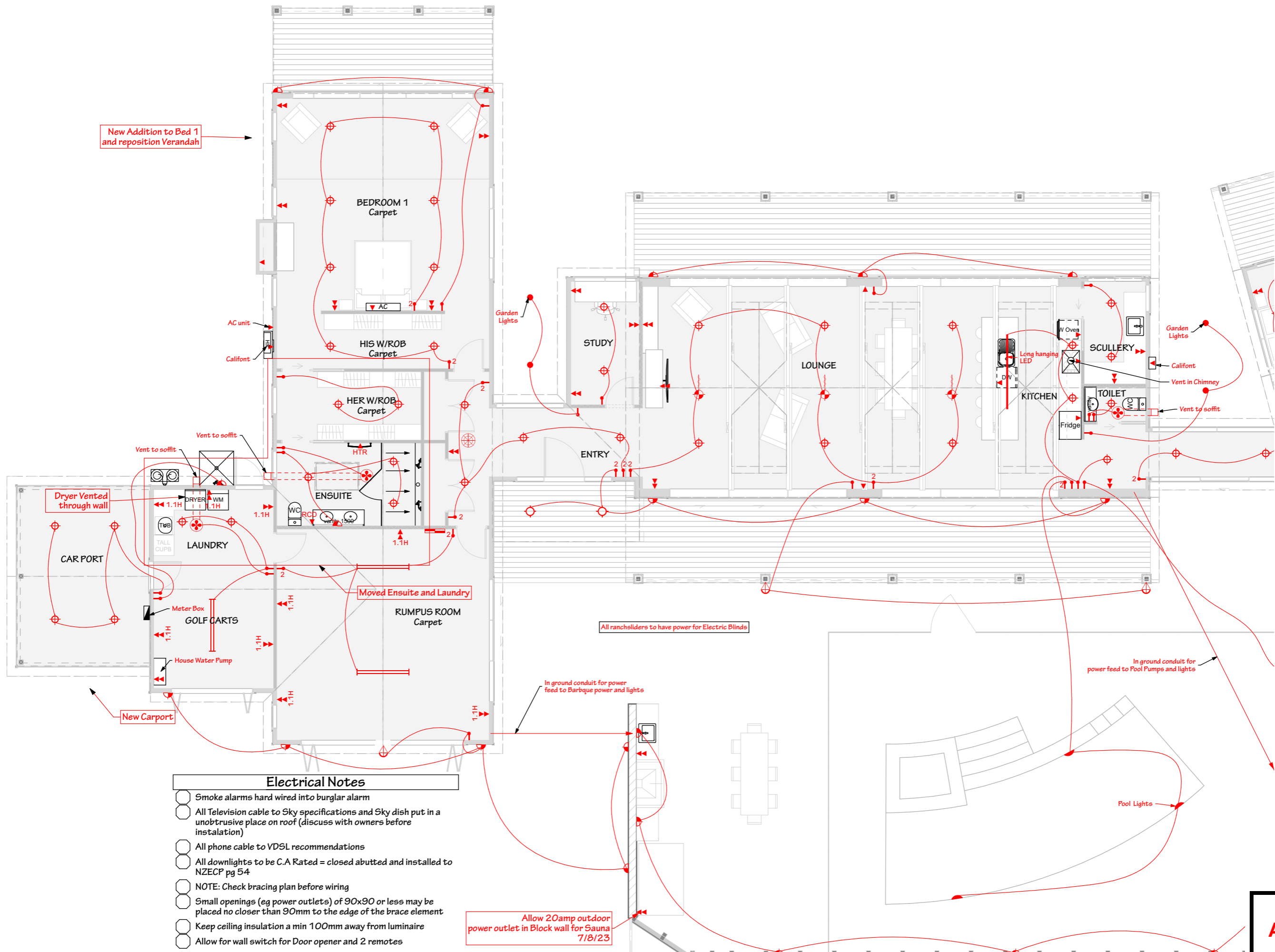
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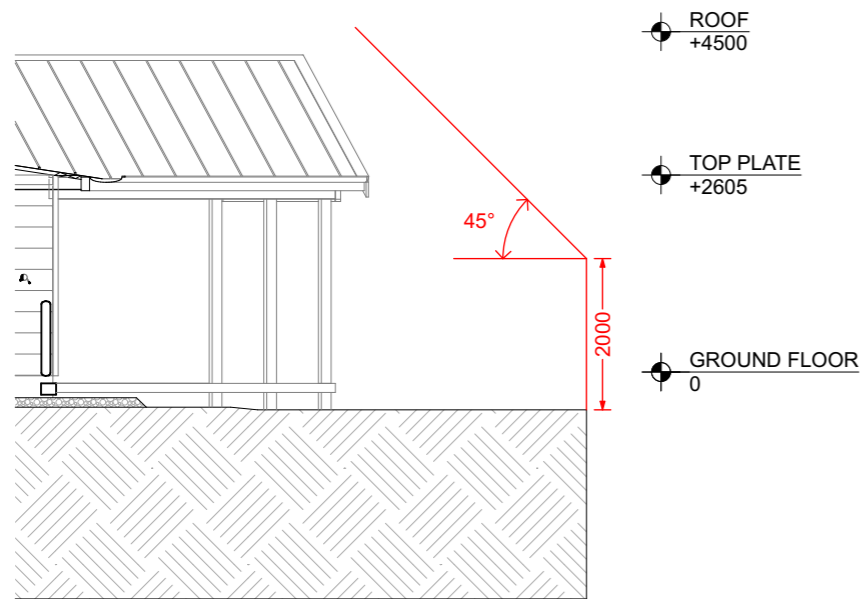


- Electrical Notes**
- Smoke alarms hard wired into burglar alarm
 - All Television cable to Sky specifications and Sky dish put in a unobtrusive place on roof (discuss with owners before instalation)
 - All phone cable to VDSL recommendations
 - All downlights to be C.A Rated = closed abutted and installed to NZECP pg 54
 - NOTE: Check bracing plan before wiring
 - Small openings (eg power outlets) of 90x90 or less may be placed no closer than 90mm to the edge of the brace element
 - Keep ceiling insulation a min 100mm away from luminaire
 - Allow for wall switch for Door opener and 2 remotes

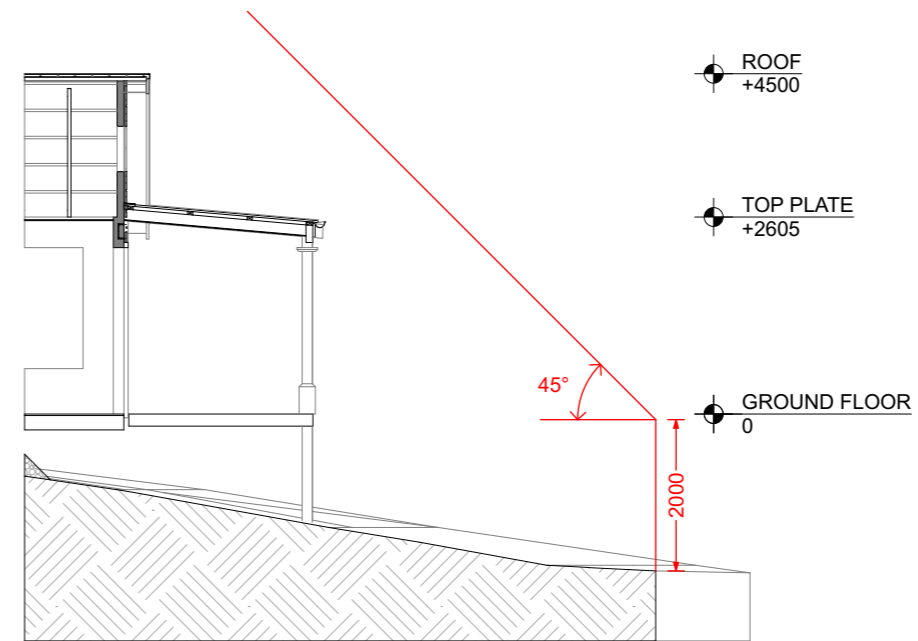
Allow 20amp outdoor power outlet in Block wall for Sauna 7/8/23

ELECTRICAL PLAN

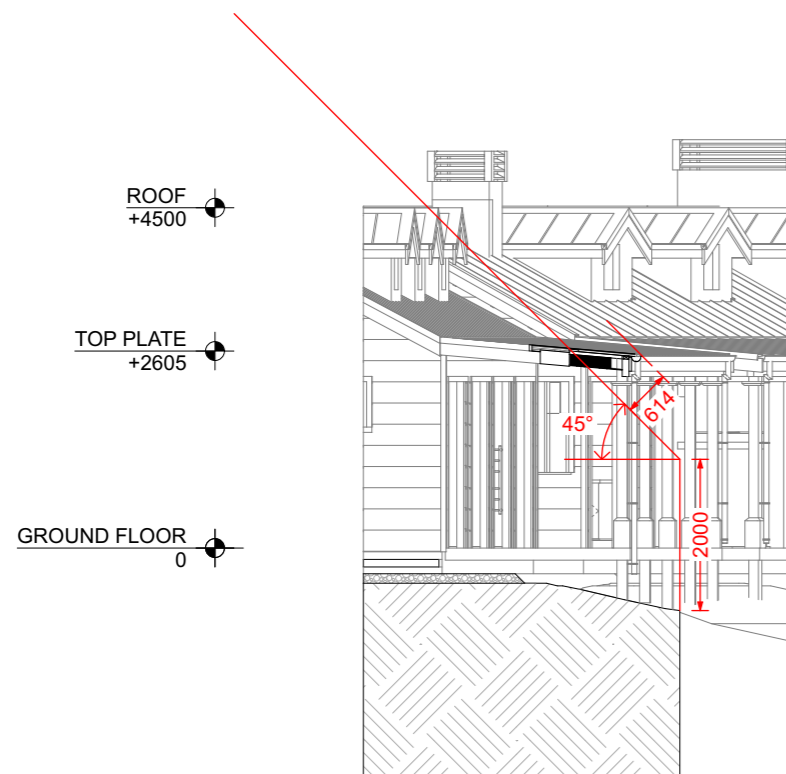
BUILDER - OWNER TO CHECK ALL LEVELS, DIMENSIONS, CONNECTIONS AND MANUFACTURES SPECIFICATIONS, BEFORE BEGINNING OR FABRICATING ANY WORK TO MAKE SURE THAT ALL MATERIALS AND LABOUR NECESSARY TO COMPLETE THE BUILDING PROJECT ARE INCLUDED, WHETHER INFERRED, DRAWN ON PLANS OR NOT. LIABILITY WILL NOT BE ACCEPTED BY DESIGNERS FOR ANY MATERIALS & LABOUR NOT SHOWN ON DRAWINGS OR REQUIRED BY COUNCIL



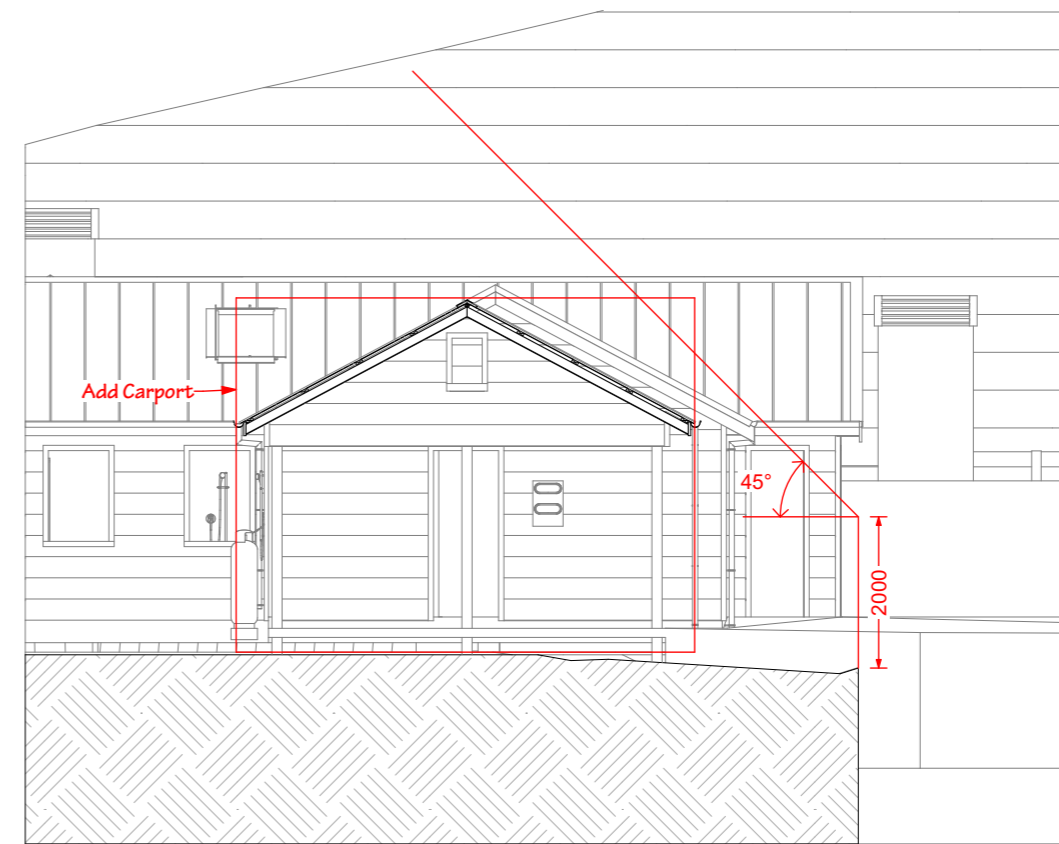
○ HEIGHT TO BOUNDARY 1



○ HEIGHT TO BOUNDARY 2




3 ○ HEIGHT TO BOUNDARY 3

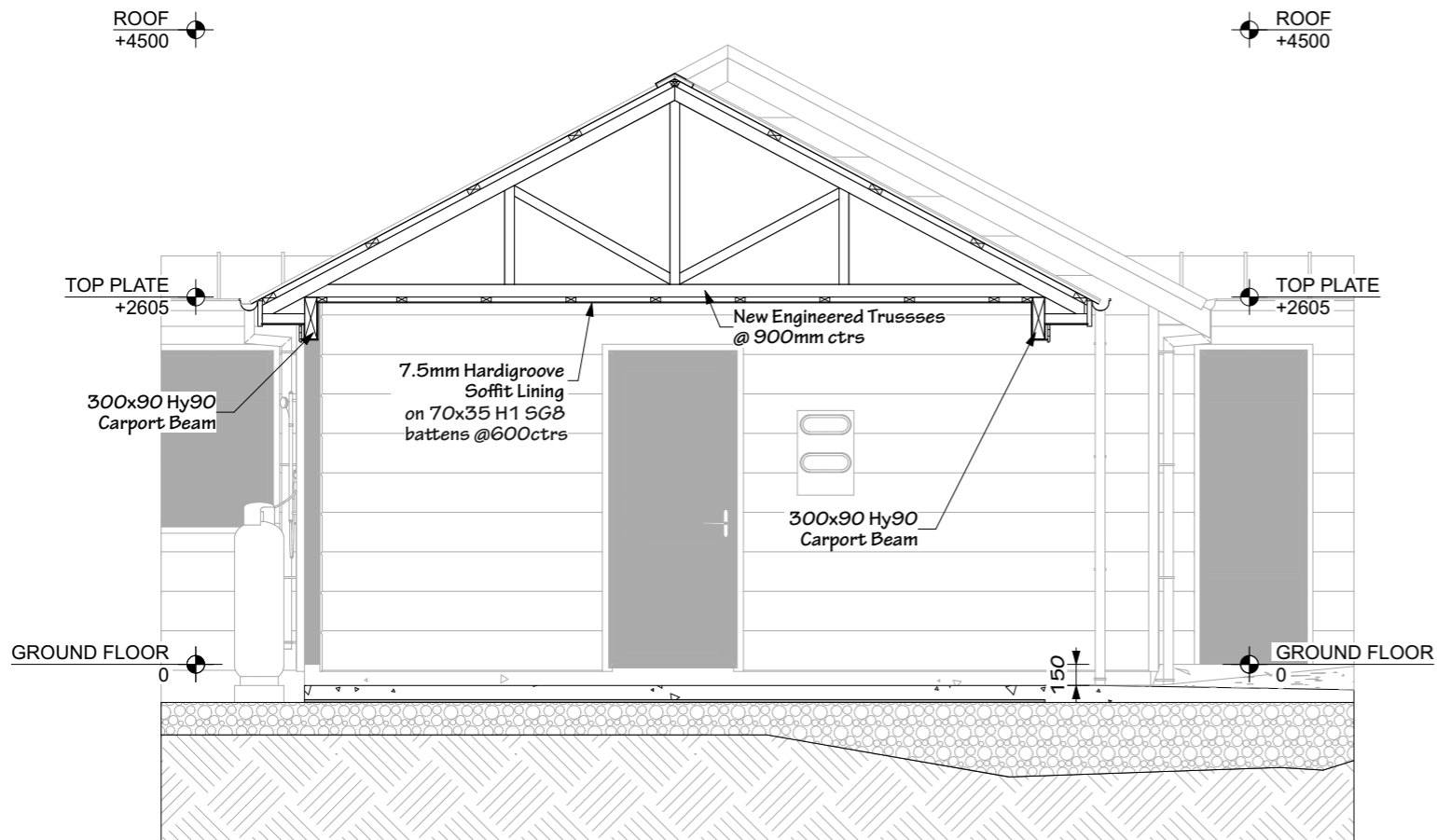


○ HEIGHT TO BOUNDARY 4

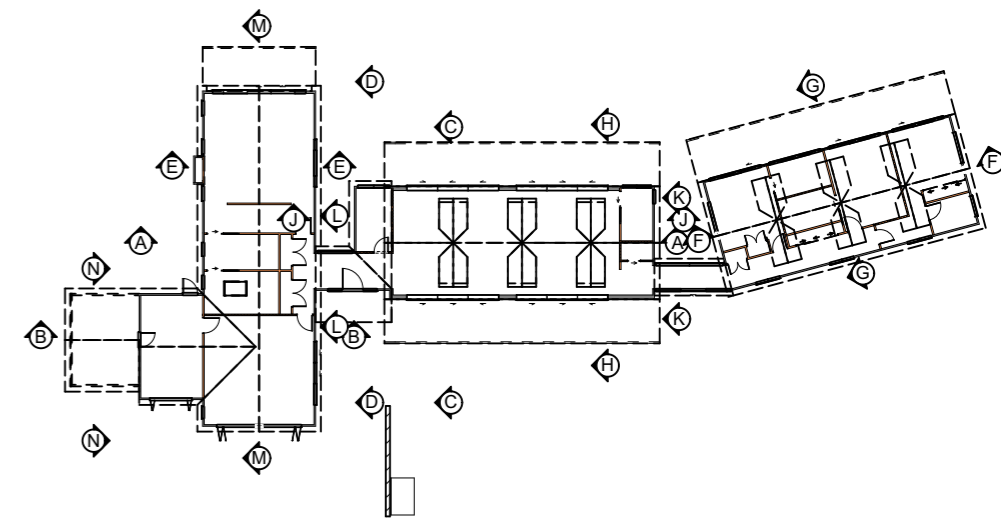
BUILDER - OWNER TO CHECK ALL LEVELS, DIMENSIONS, CONNECTIONS AND MANUFACTURES SPECIFICATIONS, BEFORE BEGINNING OR FABRICATING ANY WORK TO MAKE SURE THAT ALL MATERIALS AND LABOUR NECESSARY TO COMPLETE THE BUILDING PROJECT ARE INCLUDED, WHETHER INFERRED, DRAWN ON PLANS OR NOT. LIABILITY WILL NOT BE ACCEPTED BY DESIGNERS FOR ANY MATERIALS & LABOUR NOT SHOWN ON DRAWINGS OR REQUIRED BY COUNCIL

HEIGHT TO BOUNDARYS

<p>Initial Issue Date: 23/4/19</p> <p>Scale: 1:100</p> <p>Drawn By: STEPHEN</p>	<p>PROPOSED NEW RESIDENCE FOR WIROA LOT 12</p> <p>PURERUA, BAY OF ISLANDS</p>	<table border="1"> <thead> <tr> <th>Revision Name</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>Add HTB 4 for Carport</td> <td>30/5/23</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Revision Name	Date	Add HTB 4 for Carport	30/5/23							<p>ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND</p> <p>CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED</p>	 <p>Arcline Architecture</p> <p>49 Matthews Ave, Kaitaia 0410 Ph (09) 4082233 Email info@arcline.co.nz www.arcline.co.nz</p>	<p>Date this copy printed/emailed 17/08/23</p>	<p>AMENDMENTS</p> <p>16/8/23</p> <p>Sheet# 59 of 66</p>
Revision Name	Date															
Add HTB 4 for Carport	30/5/23															



CROSS SECTION N



CROSS SECTION KEY PLAN

BUILDER - OWNER TO CHECK ALL LEVELS, DIMENSIONS, CONNECTIONS AND MANUFACTURES SPECIFICATIONS, BEFORE BEGINNING OR FABRICATING ANY WORK TO MAKE SURE THAT ALL MATERIALS AND LABOUR NECESSARY TO COMPLETE THE BUILDING PROJECT ARE INCLUDED, WHETHER INFERRED, DRAWN ON PLANS OR NOT. LIABILITY WILL NOT BE ACCEPTED BY DESIGNERS FOR ANY MATERIALS & LABOUR NOT SHOWN ON DRAWINGS OR REQUIRED BY COUNCIL

CROSS SECTION N

Initial Issue Date: 23/4/19
 Scale: 1:50, 1:300
 Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

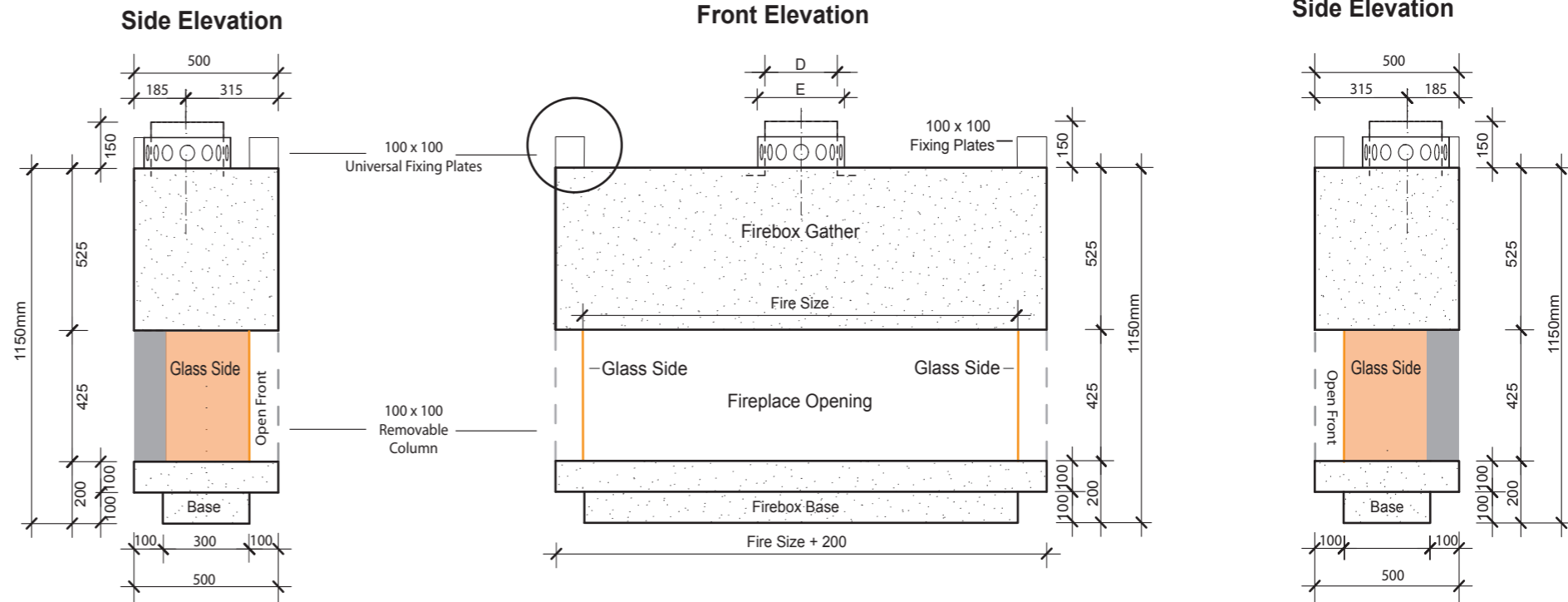
Revision Name	Date
C/Section new Carport	31/5/23

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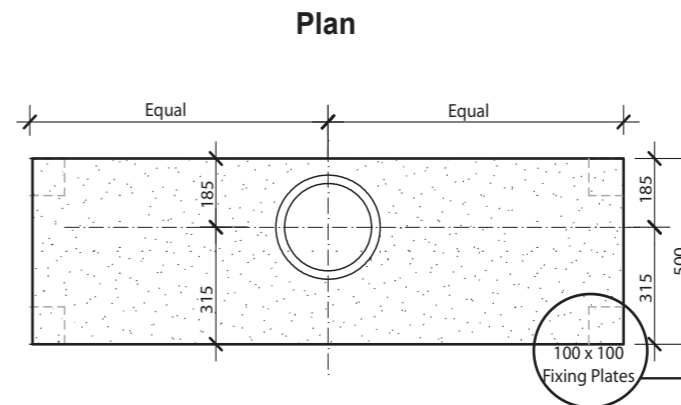
Date this copy printed/emailed
 17/08/23

AMENDMENTS
 16/8/23
 Sheet# 61 of 66

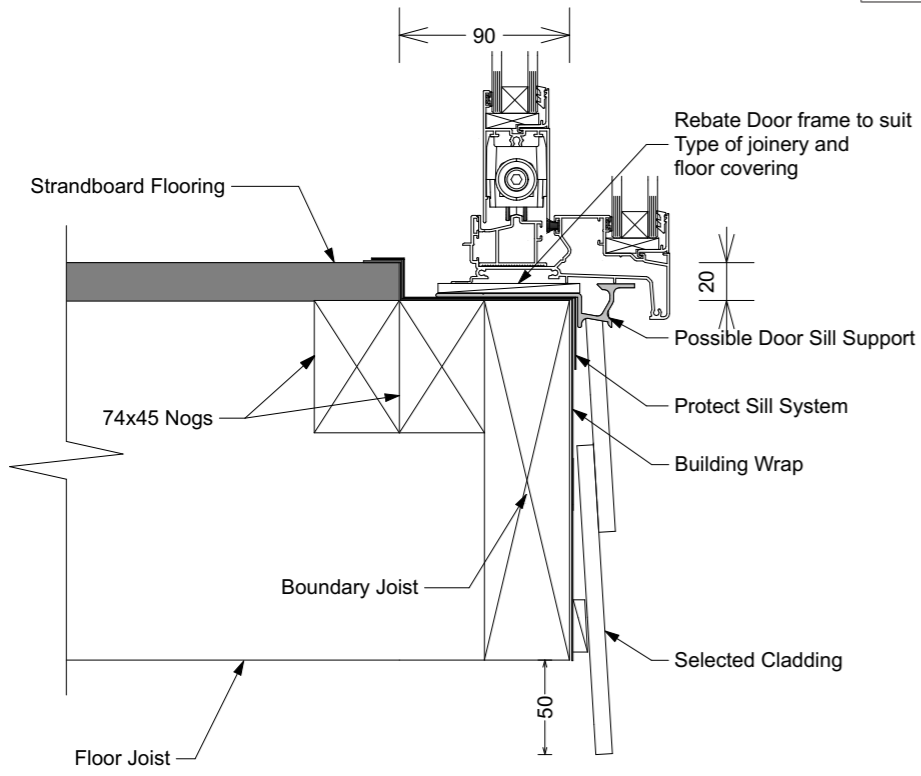
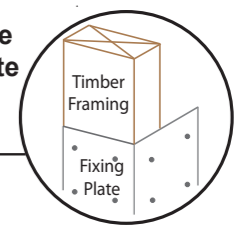


Dimensions

Fire Size	Height Of Fire Box Base	Height Of Fire Box	Depth Of Fire Box	D Flue Inner Size	E Flue Liner Size	Number of Burners
700	200	1150	500	200	250	Single
900	200	1150	500	250	300	Single
1200	200	1150	500	250	300	Single
1500	200	1150	500	275	325	Single



Adjustable Fixing Plate



TYPICAL WOODEN FLOOR DOOR REBATE

Living Flame - Auckland 343b Church Street PO Box 12964, Penrose P: 09 6221148 F: 9 6221179 Email: info@livingflame.co.nz Web: www.livingflame.co.nz	Drawing Title Eastside Euro Dimensions Eastside Euro 700 / 900 / 1200 / 1500 Standard Gather	Drawn Living Flame Date Feb 2016 Scale Revised Drawing Number
---	--	---

Technical details are subject to change and the use of any Living Flame details is intended for estimating purposes only and shall be verified by the Designer/Builder to include specific installation details for the specific installation circumstances

Living Flame Euro Dimensions 700,900,1200,1500

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CONSTRUCTION DETAILS

Initial Issue Date: 23/4/19 Scale: 1:4, 1:1 Drawn By: STEPHEN	PROPOSED NEW RESIDENCE FOR WIROA LOT 12 PURERUA, BAY OF ISLANDS	<table border="1"> <thead> <tr> <th>Revision Name</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>Change Fire Types and Extend Bedroom 1</td> <td>AUG 2023</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Revision Name	Date	Change Fire Types and Extend Bedroom 1	AUG 2023							ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED	 Arcline Architecture 49 Matthews Ave, Kaitaia 0410 Ph (09) 4082233 Email info@arcline.co.nz www.arcline.co.nz	Date this copy printed/emailed 17/08/23	AMENDMENTS 16/8/23 Sheet# 65 of 66
Revision Name	Date															
Change Fire Types and Extend Bedroom 1	AUG 2023															

Owen Glen Additions
Lot 12

Wiroa Station, Purerua

Roof Pitch : 28deg
Roof Material : Galv Iron .5mm
Ceiling : Gib 13mm/Rondo Clipped
Wind : Very High
Overhang : 300mm

Truss Fixings

-  A - JH47x90 Joist Hanger
-  B - JH47x120 Joist Hanger
-  D - JH47x190 Joist Hanger
-  E - JH95x165 Joist Hanger
-  O - CT200 Ceiling Ties (Pair)
-  M - Multi Grips (Pair)
-  N - Nailon Plate
-  W - (Single) CPC40 Cleat
-  R - (Single) CPC80 Cleat
-  G - 9kN CPC40 TTP set
-  K - 16kN CPC80 TTP set

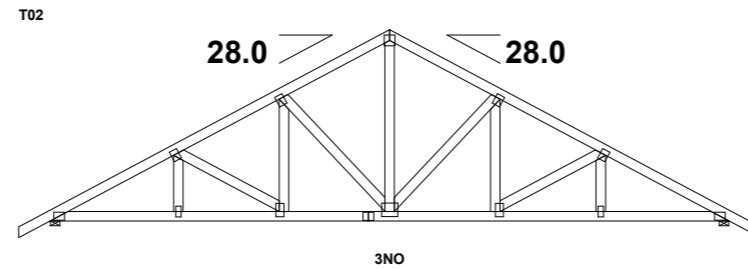
Truss Fixing NOTES:

MINIMUM connections to all other areas that are not indicated otherwise are to be
TRUSS - to - TOP PLATE = 2 / 90mm x 3.15mm skew nails & a pair of Wire Dogs
TRUSS-to-TRUSS = 2 / 90mm x 3.15mm nails

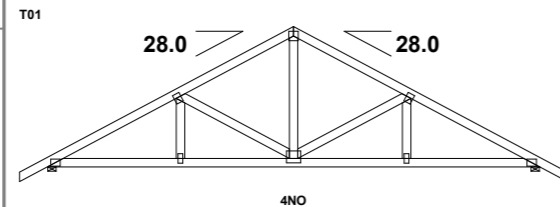
Refer to: LUMBERLOK Timber Connectors
Characteristic Loadings Data brochure 08/2014

BUILDERS: to read this drawing in conjunction with Architectural plans and Specifications

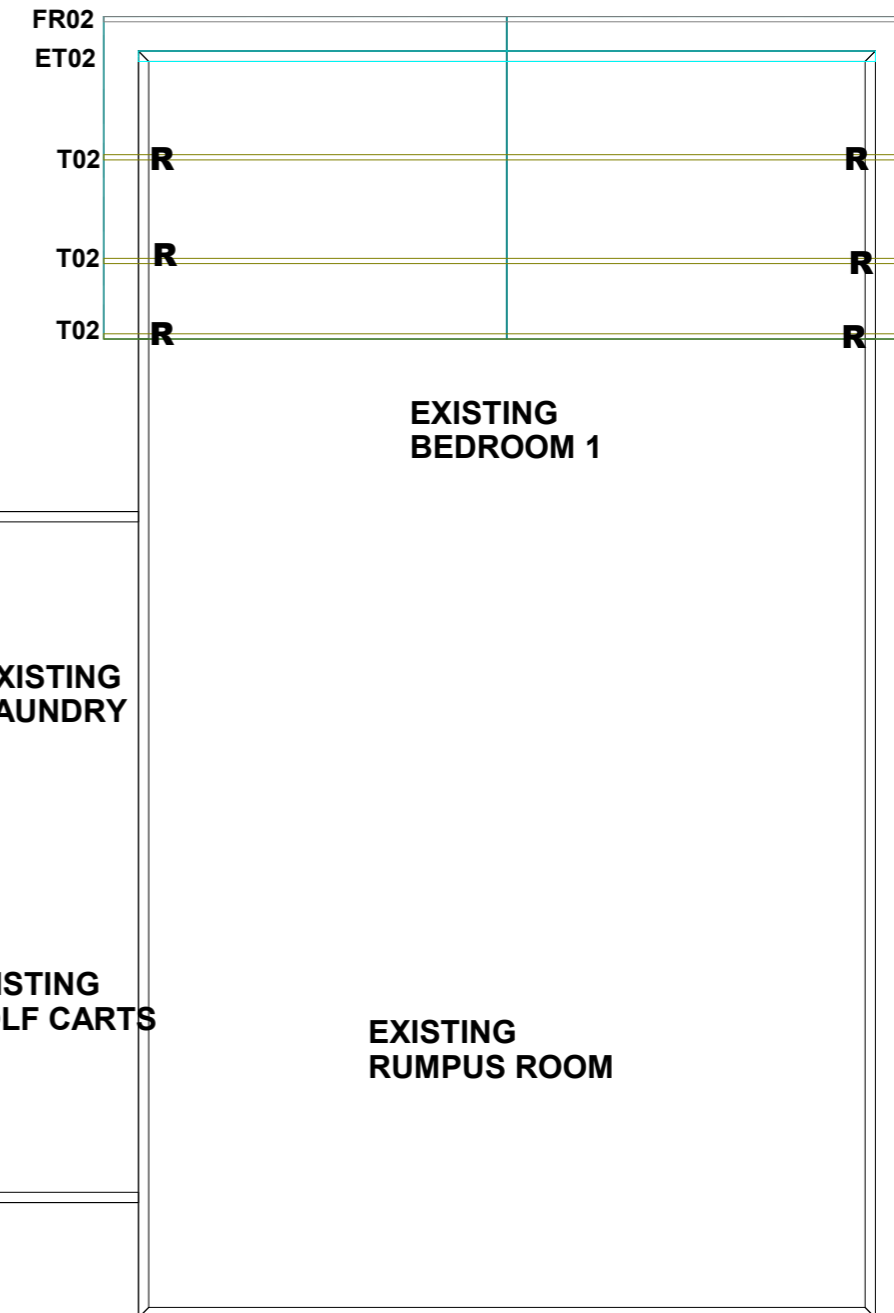
Accredited Member of



T/C 45 X 90 MSG8
B/C 45 X 90 MSG8
WEB 45 X 90 MSG8




T/C 45 X 90 MSG8
B/C 45 X 90 MSG8
WEB 45 X 90 MSG8



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ADDITIONS TRUSS DESIGN

<p>Initial Issue Date: 23/4/19</p> <p>Scale: NTS</p> <p>Drawn By: STEPHEN</p>	<p>PROPOSED NEW RESIDENCE</p> <p>FOR WIROA LOT 12</p> <p>PURERUA, BAY OF ISLANDS</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 60%;">Revision Name</th> <th style="width: 40%;">Date</th> </tr> </thead> <tbody> <tr> <td>Add Carport, Add extension to Bed 1, reposition existing Verandah</td> <td>Aug 2023</td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	Revision Name	Date	Add Carport, Add extension to Bed 1, reposition existing Verandah	Aug 2023							<p>ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND</p> <p>CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED</p>	 <p>49 Matthews Ave, Kaitaia 0410 Ph (09) 4082233 Email info@arcline.co.nz www.arcline.co.nz</p>	<p>Date this copy printed/emailed 17/08/23</p>	<p>AMENDMENTS</p> <p>16/8/23</p> <p>Sheet# 66 of 66</p>
Revision Name	Date															
Add Carport, Add extension to Bed 1, reposition existing Verandah	Aug 2023															

NOTE: All cubic metres are estimates.
Contractor to confirm on Site.
Arcline takes no liability for additional works if volumes change.
They do not include removal of Topsoil or any soft soils encountered.

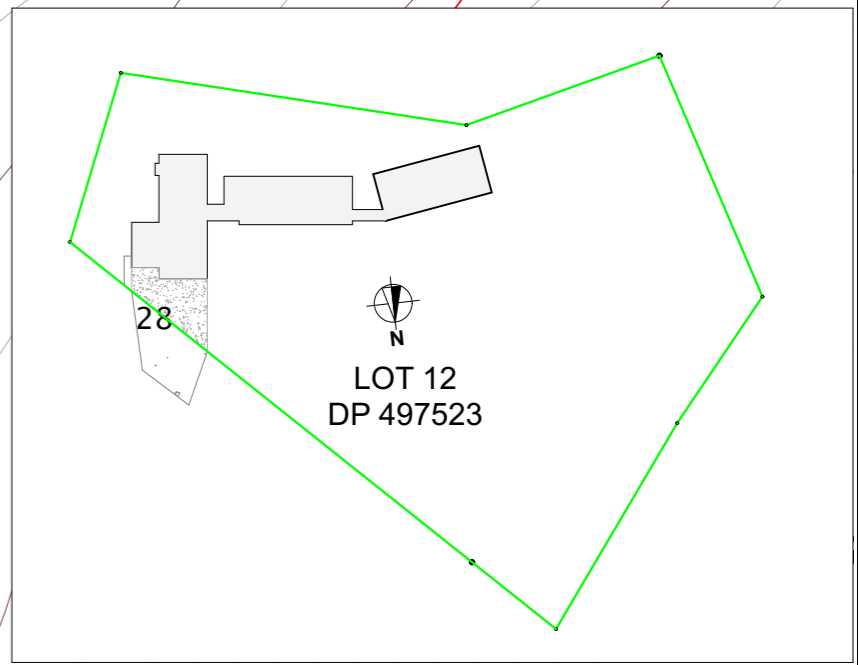
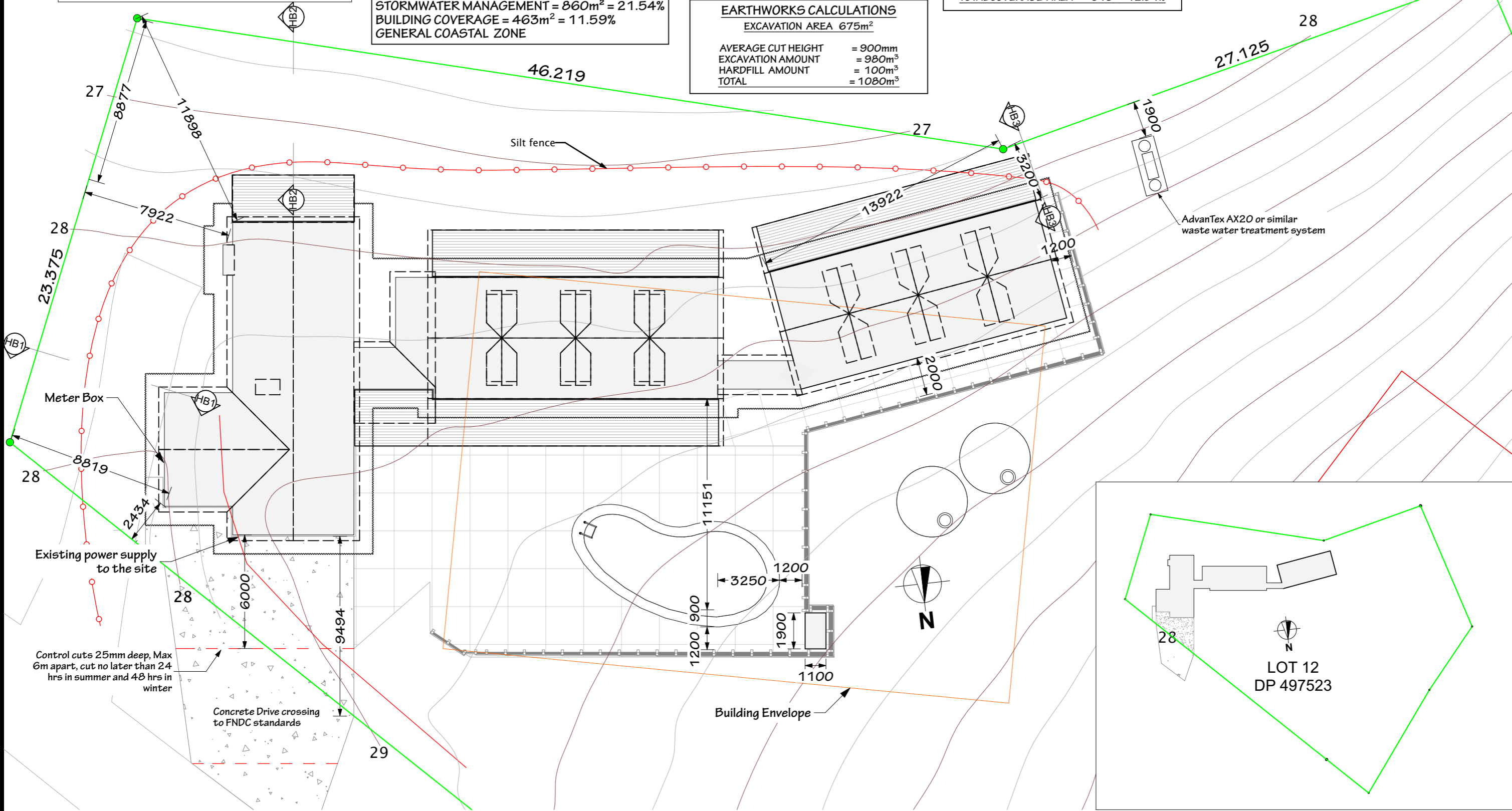
LOT 12
DP 497523
SITE AREA 3993m²
VERY HIGH WIND AREA
SLOPING SITE
EXPOSURE ZONE C
EXCAVATION 980m³
AVERAGE CUT HEIGHT 900mm
STORMWATER MANAGEMENT = 860m² = 21.54%
BUILDING COVERAGE = 463m² = 11.59%
GENERAL COASTAL ZONE

STORMWATER MANAGEMENT CALCULATIONS
3993²
MAX STORMWATER MANAGEMENT AREA = 50%
ROOF PLAN AREA = 512m²
ALL PAVING AREAS = 348m²
TOTAL AREA = 860m² = 21.54%

EARTHWORKS CALCULATIONS
EXCAVATION AREA 675m²
AVERAGE CUT HEIGHT = 900mm
EXCAVATION AMOUNT = 980m³
HARDFILL AMOUNT = 100m³
TOTAL = 1080m³

BUILDING COVERAGE CALCULATIONS
3993²
MAX ALLOWABLE BUILDING COVERAGE = 45%
HOUSE FOOTPRINT AREA = 318m²
GARAGE (CARTS) AREA = 22m²
COVERED VERANDAHS = 123m²
SWIMMING POOL = 50m²
TOTAL COVERAGE AREA = 513² = 12.84%

BUILDING ENVELOPE CALCULATIONS
HOUSE FOOTPRINT OUTSIDE ENVELOPE AREA = 224m²
HOUSE FOOTPRINT + POOL INSIDE ENVELOPE AREA = 166m²
BUILDING ENVELOPE AREA = 600m²



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SITE PLAN **FULL SITE**

Initial Issue Date: 23/4/19
Scale: 1:200, 1:1000
Drawn By: **STEPHEN**

PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
PURERUA, BAY OF ISLANDS

Revision Name	Date

ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND
CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED

Arcline
Architecture
49 Matthews Ave, Kaitiaki 0410
Ph (09) 4082233
Email info@arcline.co.nz www.arcline.co.nz

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CONSTRUCTION
7/4/21
Sheet# 1 of 60

**PROPOSED
NEW
RESIDENCE**
FOR
WIROA LOT 12

PURERUA, BAY OF ISLANDS



Arcline
Architecture
49 Matthews Ave, Kaitiaki 0410
Ph (09) 4082233
Email info@arcline.co.nz
www.arcline.co.nz

Revision Name	Date
Added note for shower base 25mm above path, Add pool height	
Added Hydrostatic Valve	23/3/22
Move Ensuite to where Laundry was, New W/Rode where ensuite was, Move laundry to Golf Cart room	20/4/23

CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED

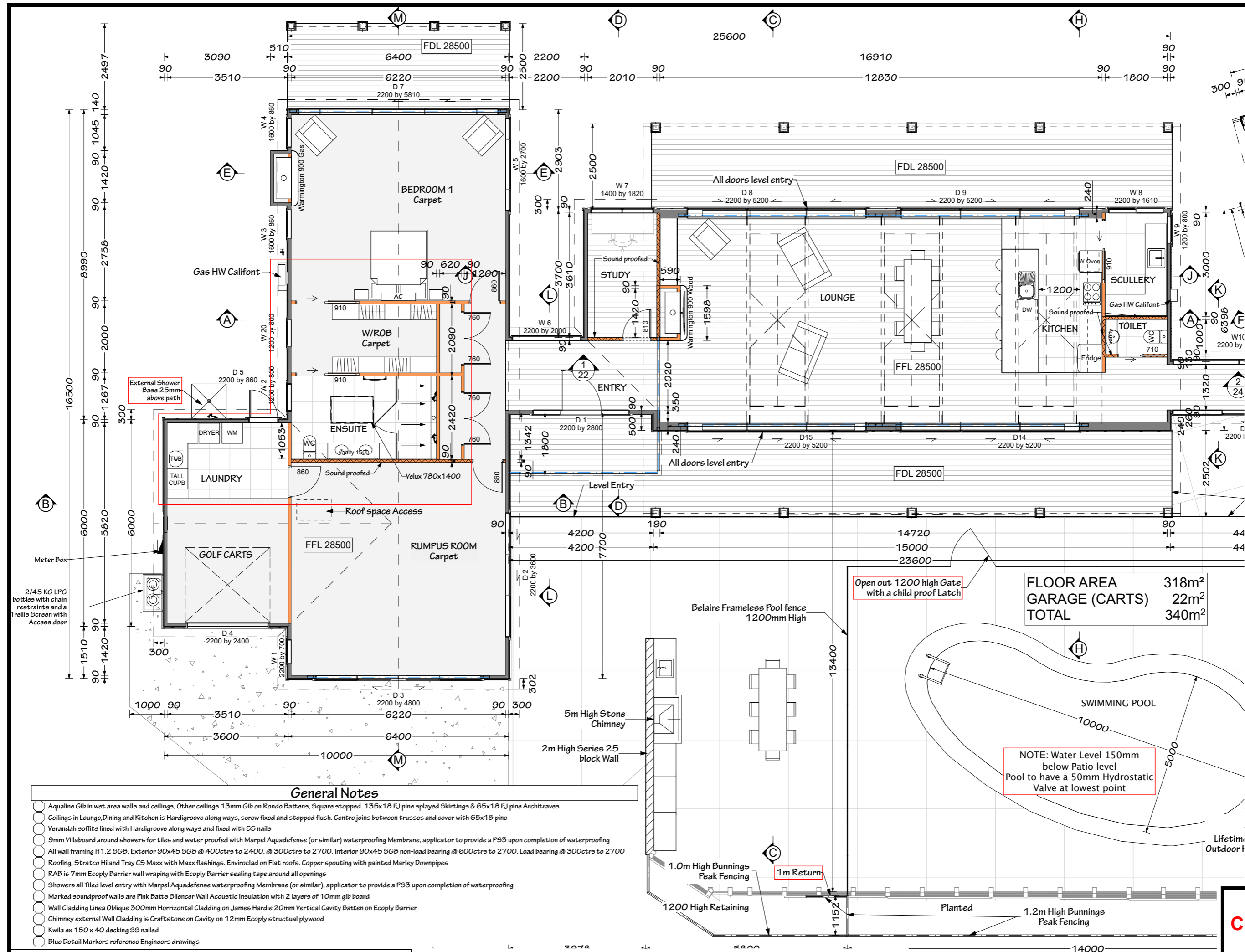
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CONSTRUCTION

7/4/21



- General Notes**
- Aqualine Gib in wet area walls and ceilings, Other ceilings 13mm Gib on Rondo Battens, Square stopped. 135x18 FJ pine splayed Skirtings & 65x18 FJ pine Architraves
 - Ceilings in Lounge, Dining and Kitchen is Hardgroove along ways, screw fixed and stopped flush. Centre joins between trusses and cover with 65x18 pine
 - Verandah soffits lined with Hardgroove along ways and fixed with SS nails
 - 9mm Villaboard around showers for tiles and water proofed with Marpel Aquadefense (or similar) waterproofing Membrane, applicator to provide a P53 upon completion of waterproofing
 - All wall framing H1.2 SG8, Exterior 90x45 SG8 @ 400ctrs to 2400, @ 300ctrs to 2700. Interior 90x45 SG8 non-load bearing @ 600ctrs to 2700, Load bearing @ 300ctrs to 2700
 - Roofing, Stratco Hiland Tray C5 Maxx with Maxx flashings. Enviroclad on Flat roofs. Copper spouting with painted Marley Downpipes
 - RAB is 7mm Ecoply Barrier wall wrapping with Ecoply Barrier sealing tape around all openings
 - Showers all Tiled level entry with Marpel Aquadefense waterproofing Membrane (or similar), applicator to provide a P53 upon completion of waterproofing
 - Marked soundproof walls are Pink Batts Silencer Wall Acoustic Insulation with 2 layers of 10mm gib board
 - Wall Cladding Linea Oblique 300mm Horizontal Cladding on James Hardie 20mm Vertical Cavity Batten on Ecoply Barrier
 - Chimney external Wall Cladding is Craftstone on Cavity on 12mm Ecoply structural plywood
 - Kwila ex 150 x 40 decking SS nailed
 - Blue Detail Markers reference Engineers drawings

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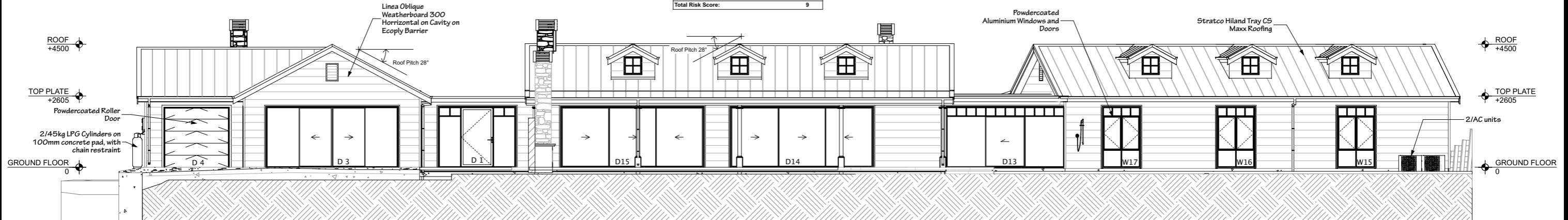
FLOOR PLAN

FLOOR AREA 318m²
GARAGE (CARTS) 22m²
TOTAL 340m²

Open out 1200 high Gate with a child proof Latch

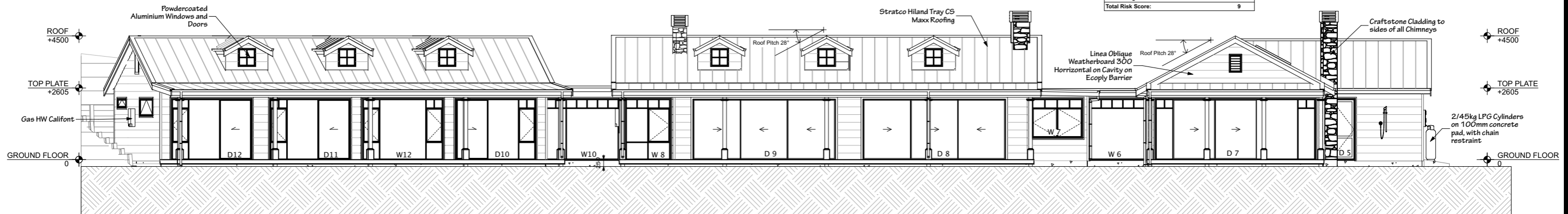
NOTE: Water Level 150mm below Patio level
Pool to have a 50mm Hydrostatic Valve at lowest point

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



NORTH ELEVATION


BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



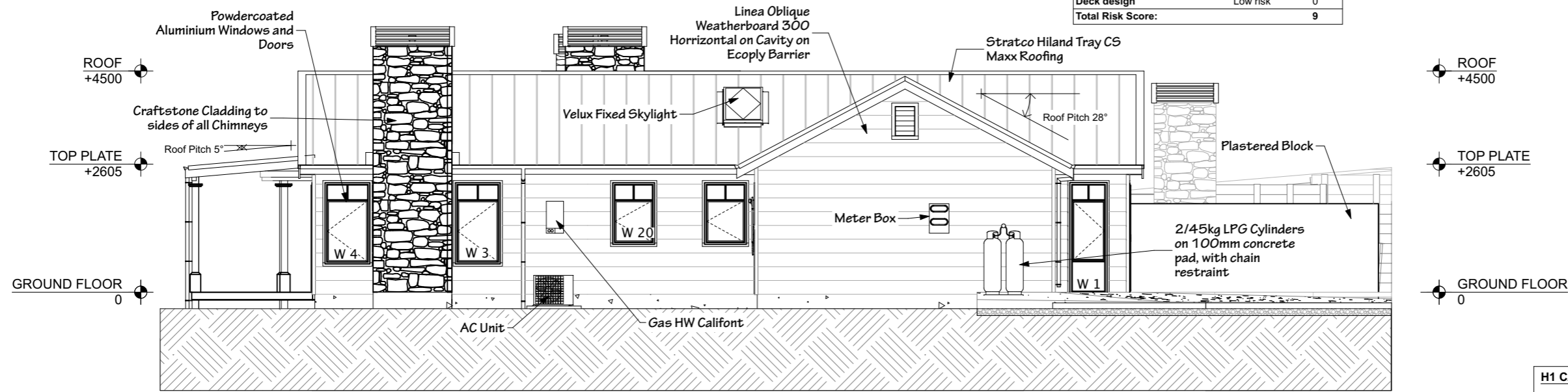
SOUTH ELEVATION

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NORTH & SOUTH ELEVATIONS

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BUILDING ENVELOPE RISK MATRIX		
East Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9



EAST ELEVATION

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	High risk	2
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		9

H1 CALCULATIONS - NORTHERN SCHEDULE METHOD

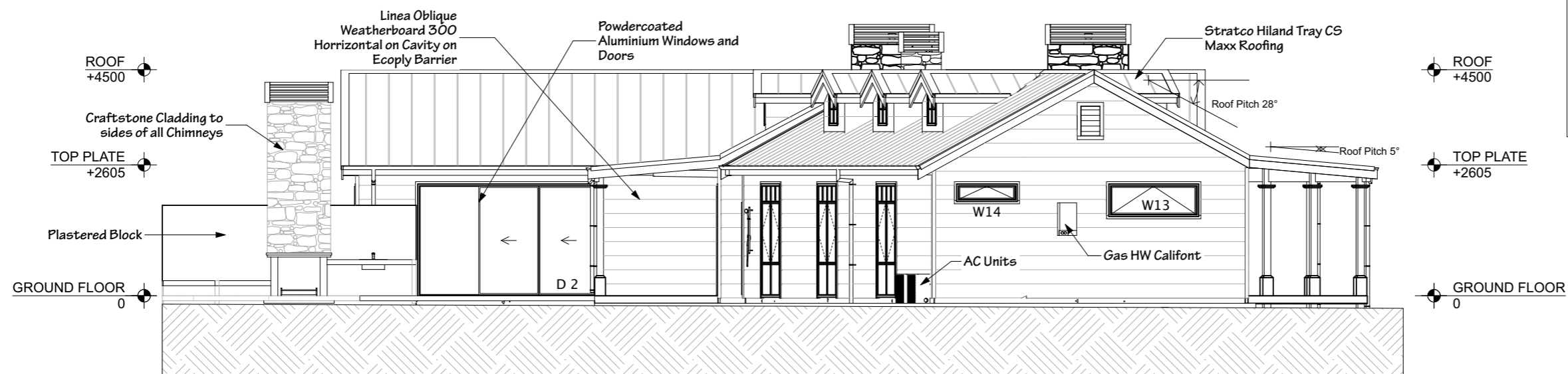
Date	Required	Construction R-Value Achieved
Wall Insulation	R1.9	R2.4
Roof Insulation	R2.9	R3.2
Floor Insulation	R1.3	R1.6
Glazing	R0.26	R0.26

Note: Construction R-Values are sourced from BRANZ House Insulation Guide or Design Navigator

Glazing vs Wall Area Calculations

Wall facing	M² of Wall	M² of Windows	% Windows of Wall
West	53.09	12.99	24.47
East	27.30	6.45	23.62
South	103.23	70.64	68.43
North	103.76	46.96	45.26
TOTAL	287.38	137.04	47.68

Total glazing of East, South, North & West walls is Less than 50% of these walls total wall area so passes the H1 Northern Schedule Method.



WEST ELEVATION

EAST & WEST ELEVATIONS

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PROPOSED NEW RESIDENCE FOR **WIROA LOT 12**
 PURERUA, BAY OF ISLANDS

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CONSTRUCTION
 7/4/21
 Sheet# 8 of 60



26th February 2021

Pat Killalea
Far North District Council
John Butler Centre
Kerikeri

Dear Pat

Re: Proposed Dwelling on Lot 12 Wiroa Station – Landscape and Visual Effects Assessment

1. INTRODUCTION

The applicant proposes to construct a new dwelling on Lot 12 DP 497523 in the Wiroa Station subdivision, located off McKenzie Road, Purerua peninsular, Kerikeri.

To evaluate the potential impact that the proposed dwelling may have upon the landscape values and natural character of the coastal environment the applicant has commissioned Hawthorn Landscape Architects Ltd. to undertake a landscape and visual impact assessment to accompany the consent application.

I have viewed the architectural plans of the proposed dwelling prepared by Arcline Architecture and I have visited the property to determine the site conditions, its visibility and the extent and type of the existing vegetation on site.

The application site is located at Wiroa Station which has been developed under the conditions of RC 2160044–RMACOM. Consent was granted for 20 lifestyle lots of between 3,550m² and 4,000m² in early December of 2015.

This assessment will determine if the proposed dwellings is in accord with the consent notice conditions and applicable Wiroa Station Architecture code and Landscape Performance Specification.

A Landscape Plan has been developed that provides proposed plantings to soften the built form of the proposed dwelling and tie it into the landscape minimising any potential adverse landscape and visual effects to a low level.

This assessment has been prepared by a qualified Landscape Architect and in accordance with the NZILA (New Zealand Institute of Landscape Architects) Code of Conduct.

2. PROPOSED DEVELOPMENT

The applicant proposes to construct a single story residential dwelling on their property located at Lot 12 Wiroa Station.

The Development Plans contained in Appendix 2 illustrate the proposed design of the dwelling. These architectural plans prepared by Arcline Architecture illustrate the floor layout, elevations and 3d model of what the building will look like. The 463m² dwelling is divided into three wings, with a bedroom wing to the west, a living wing centrally located and the master bedroom and garaging wing to the east.



HAWTHORN

Landscape Architects

The style of the dwelling is a horizontal form of approximately 4.5m tall designed in a traditional colonial style. The building will have verandahs and decking on both sides with a swimming pool and outdoor living area located on the northern side. This area will be dug into the contour, and the slope will be retained with a low retaining wall.

The proposed dwelling has been designed following the Wiroa Station Architecture Code and the relevant consent notice conditions associated with the property.

Landscape enhancement plantings are proposed around the dwelling to soften the built form and tie it into the landscape. The plantings will provide a vegetated land backdrop when viewed from the visual cone that extends generally to the south, across the Te Puna Inlet and towards the Opito Bay peninsula.

3. CONSENT NOTICES UNDER RC 2160044 – RMACOM

The consent notices applying to the overall property under item 4 require the following conditions that have visual amenity and landscape relevance and shall be complied with:

Building design

(i) Any development shall be designed in accordance with the 'Wiroa Station architecture code and design approval process' document approved under RC2160044, as attached to the resource consent. Any building consent or resource consent application shall include a report prepared by a suitably qualified architect and/or landscape architect demonstrating compliance. The report shall confirm that:

(a) Development shall be consistent with the requirements of the 'Wiroa Station architecture code and design approval process' document.

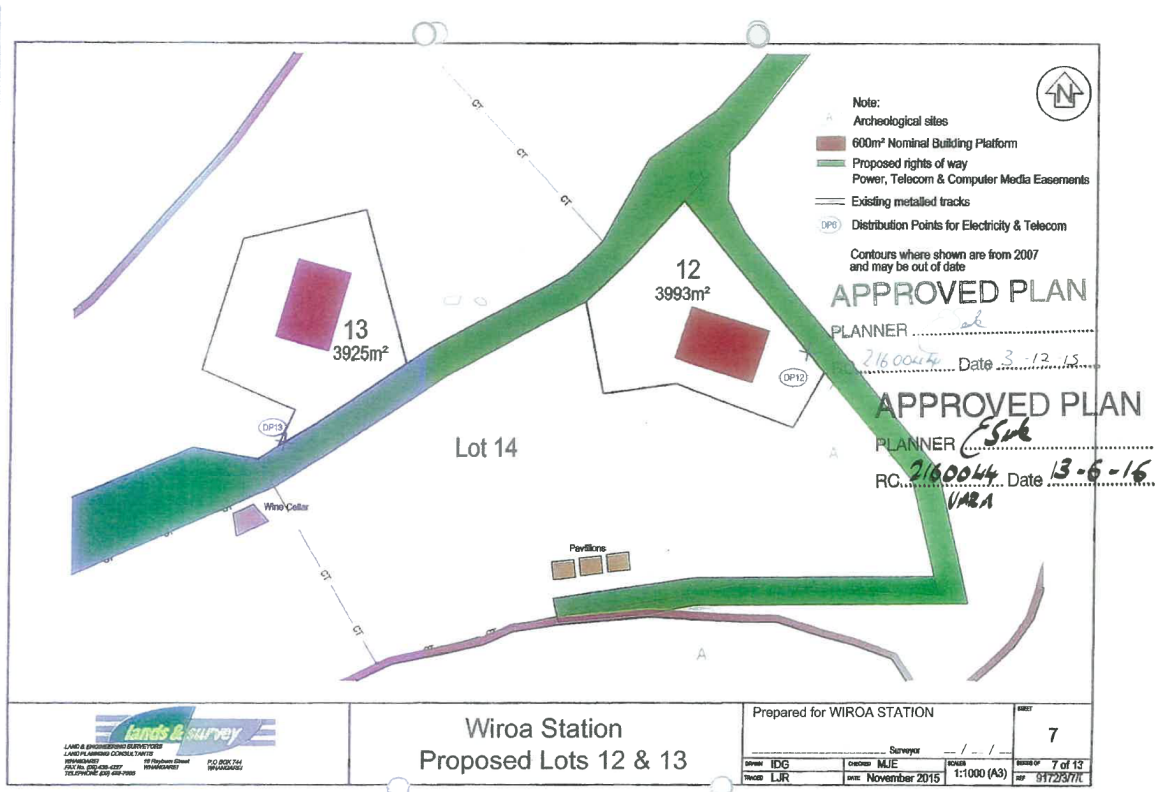
(b) The development incorporates and protects the specimen tree planting detail as shown on the plans approved under condition 3(h) and carried out under condition 3(i) RC2160044. This specimen tree planting shall be maintained on a continuing basis by the respective lot owner to the satisfaction of Council's duly delegated officer.

(c) Subject to the exceptions as apply to the secondary residential unit on Lot 14 (refer to condition xxii below), at least 50% of the building's footprint must be within the 'nominal building location' as identified on the plans prepared by Lands and Survey, references 9172/3, sheets 1-13, dated November 2015 (as shown on the survey plan).

(d) The interior ground floor area (excluding cellars, first floors, mezzanines, terraces, decks and verandahs) of each house shall be no more than 600m².

(e) The maximum rolling height above ground level (as described in the District Plan) shall not exceed the relevant Lot in Table 1 below. [Lot 12 = 4.5m max height].

The approved 600m² nominated building platform on Lot 12 is shown on the plan below.



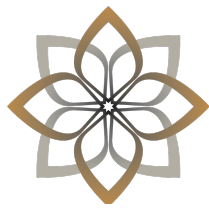
The proposed dwelling will have a 463m² building footprint. An area of 224m² will be located outside of this nominated building platform and a 166m² will be located inside this. This has resulted due to the desire to construct a dwelling the fully flows with the contours of the site. Rather than requiring a large cut on the northern side of the dwelling to cut the depth required for this floor area, the design utilises a narrower form that wraps around the contour.

The existing 4m tall Pohutukawa trees that were planted as part of the subdivision consent are located to the west of the building platform and will not be affected by the location of the proposed dwelling.

Maintenance of required specimen planting

(xxiii) The proprietor of the respective lot subject to the specimen tree planting shall be responsible for the ongoing maintenance of the planting within that lot as carried out under condition (3i) of RC2160044. Such maintenance shall be to the satisfaction of Councils duly delegated officer.

No pruning or similar of the trees shall be undertaken within five years of planting, except where the written approval of Councils duly delegated officer has been obtained. Any pruning's thereafter shall be limited to limbing up by use of secateurs or loppers, (ie. No handsaws or chainsaws) of branches less than 50mm in diameter, provided that no more than one third of the foliage of that tree shall be removed in any 12 month period and it shall not reduce the overall height of the tree. Any further works shall be subject to the prior written approval of Councils duly delegated officer and may be subject to works being



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completed by, or under the supervision of, a contractor approved by the New Zealand Arboriculture Association.

Council shall be advised in the event of any of the trees failing, with the specimen trees to be replaced to the satisfaction of Councils duly delegated officer no later than the end of the planting season (May to August) immediately following failure.

4. WIROA STATION ARCHITECTURE CODE AND DESIGN APPROVAL PROCESS

As the Wiroa Station subdivision consent RC2160044 – RMACOM created an approved building envelope for a house on each of the approved building platforms the Wiroa Station Architecture Code provide design guidelines for future built development upon each lot.

The General Design Guidelines promote the following:

- A high standard of NZ architecture and landscape design,
- Simple classical barn forms that sit calmly/expectedly within the landscape,
- Landscape design to be integrated with the built form,
- Creation of informal spaces using simple rectangular planning, with internal living spaces to address large outdoor living terraces,
- Building arrangements are to promote a sense of enclosure or compound, where an outdoor terrace may be defined by the careful planning of various surrounding buildings,
- Building arrangements are to respect the privacy of adjoining sites and incorporate privacy walls where necessary,
- No extravagant forms, application of decorative or pastiche finishes allowed and
- Building using pole/platform construction are not permitted.

Further design guidelines are provided under the following headings:

- Walls
- Privacy Walls
- Attachments
- Roofing
- Openings
- Landscaping
- Design Approval

A full copy of the Architecture Code provides further details of the design parameters under these heading. Refer to Appendix 6 for a copy of the Wiroa Station Architecture Code.

The proposed dwelling designed by Arcline Architecture illustrated in Appendix 2 – Development Plans depicts the floor layout and exterior aesthetics of the proposed dwelling. The dwelling will be 463m² and will accommodate 4 bedrooms, a main living wing and an attached garaging.

The building has been configured to maximise views whilst maintaining privacy for adjoining lots. The dwelling is a single-story structure and is within the 4.5m building high limit for this lot.



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It will be coloured in neutral tones that harmonise with the landscape. The Stratco CS Maxx roofing will be a dark grey colour while the exterior walls will be a warm grey Linea weatherboard. The chimneys will be clad in natural stone.

The dwelling has been set on a building platform that has been cut into the hillslope slightly. This results in a small retaining wall on the northern side of the building which creates a courtyard space within which the swimming pool and outdoor living areas will be housed. This area will have privacy from adjoining lots.

The dwelling has been designed to hug the landscape and follow the curvature of the contours of the hill slope which has resulted in the building being broken up into three wings which all have the same building style, roof pitch and form. Decking covered by verandahs is located on the southern and northern sides of the house. The overhanging verandah create shadows on the facade of the building and minimises the reflectivity of the windows.

A landscape plan (refer to Appendix 5) has been prepared for the area around the proposed dwelling to integrate the built form into the landscape. The landscape plan is consistent with the principals of the Detailed House Site Design Plans prepared by Boffa Miskell.

The proposed dwelling is considered to be consistent with the design guidelines found within the Wiroa Station Architecture Code.

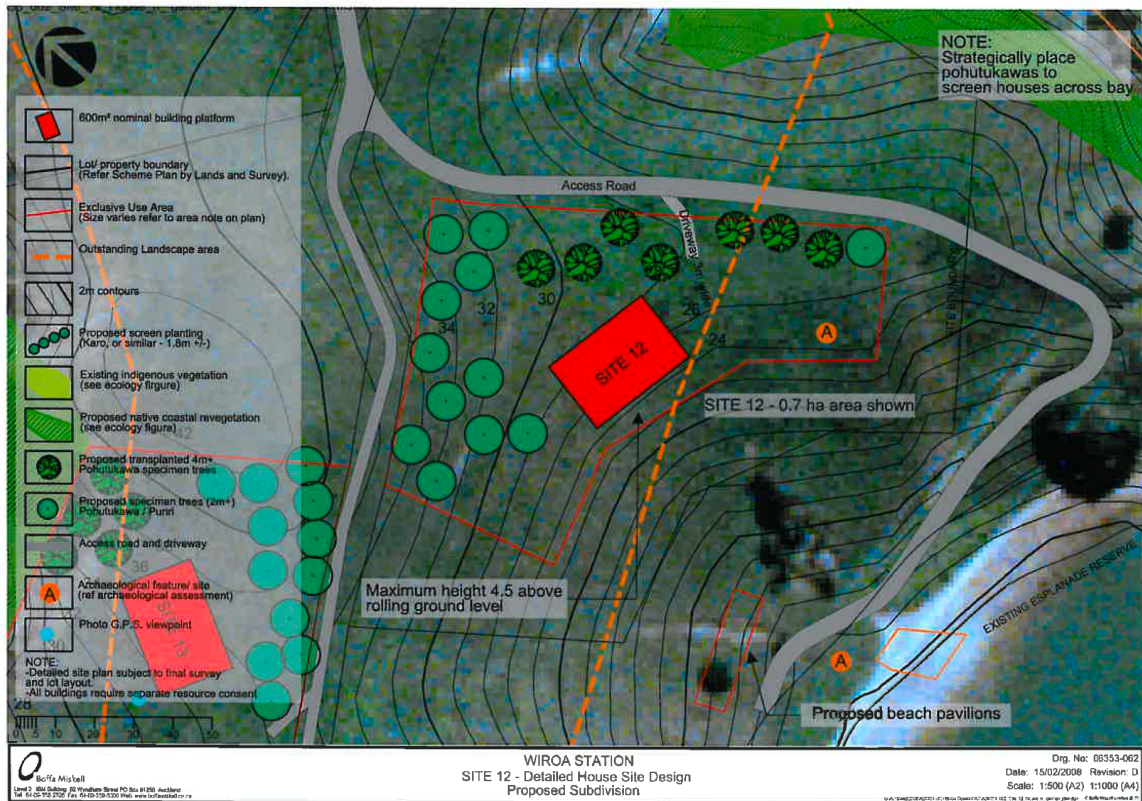
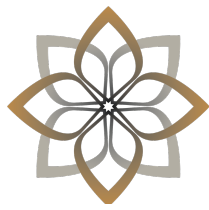
5. LANDSCAPE PERFORMANCE SPECIFICATION

The Landscape Performance Specifications prepared by Boffa Miskell Limited in September 2008 contains 15 Sections, covering aspects such as Fencing, Weed and Pest Management, Maintenance, Plant Species and Planting of areas such as road batters, swamps, Pohutukawa tree plantings and gully revegetation.

The strategic vision of the landscape management of Wiroa Station included the over-riding objective of the protection and enhancement of landscape values, including water quality, habitat and biodiversity.

This document's primary intention was to inform the wider restoration, mitigation and management initiatives of the subdivision process and as such, the majority of the document is not directed towards the subsequent development of individual sites within the Station.

Section 6.4 of the Specification requires that 4m tall Pohutukawa specimen trees shall be planted around the houses sites as shown on the Detailed House Site Design plans (Site 12 shown below). There are seven of these trees shown to the north of the building site on Lot 12. There are also twelve specimen trees of 2m tall shown to the west of the building site.



Section 9.4 of the Specification described that the layout of the Pohutukawa tree plantings indicated on the Detailed House Site Design plans have been strategically placed to integrate the future houses in terms of internal and external views.

This planting was to be implemented as part of the subdivision consent process by the developer and was to be implemented and signed off prior to the survey plan being approved by Council under 223 of the RMA.

The key features of the proposed landscape enhancement and mitigation planting detailed on the Landscape Plan contained in Appendix 5 are:

- Foreground shrub planting located out from the western and eastern ends of the dwelling to ground the building and link into the Pohutukawa tree specimen plantings,
- Large field grown Pohutukawa tree specimens located off the eastern end of the dwelling and to the north by the driveway to mirror the Pohutukawa trees that are located on the west. These large grade trees will instantly provide a vegetated context and setting for the proposed dwelling to be located within,
- Planting between the three wings to visually soften and break up the built form,
- Amenity planting on the hill slope above to the north of the house, including large field grow Nikau palms to provide height and a vegetated backdrop when viewed from the south and below on the nearby beach.

Overall, the applicant's proposal is considered to closely align to the principles of the Landscape Performance Specification, whilst recognising that it was not the purpose of that document to direct detailed planting associated with individual house sites.



6. VISUAL AND LANDSCAPE EFFECTS

The existing landscape and its visual context contributes to the existing baseline for landscape and visual effects assessment. The existing landscape or 'environment' to use as the baseline for this assessment also includes the future state of the landscape or environment.

Therefore in assessing the 'environment' I have included the future state of the environment, which may be modified from what is currently visible today. The assessment is therefore not limited to the existing landscape character but will take into account how it can be modified in the future by the utilisation of rights to carry out a permitted activity under the district plan, and the implementation of approved resource consents.

In this instance the landscape that the site is located within is part of the Wiroa Station subdivision that has consent for 20 residential dwellings to be developed following architecture design and landscape enhancement guidelines.

This assessment will establish the potential visibility of the application site and future placement of the dwelling on lot 12. It will also determine who the potentially effected viewing audience is, and level of potential adverse visual and landscape effects.

Potential visual effects can be generated through visual changes to the landscape as a result of a development. The significance of these effects is measured by the response of a particular viewing audience.

Visual sensitivity is influenced by a number of factors including its visibility, the nature and extent of the viewing audience, whether the proposal is the focal point or part of a wider view, whether the view is transient or permanent and the degree of contrast with the surrounding environment. The visual qualities of the proposal and the ability to integrate any change within the landscape setting also influence the significance of effects.

The degree of adverse visual effects generated by a proposal also depends upon the character of the surrounding landscape (the context), existing levels of development on the application site, the contour of the land, the presence or absence of screening and/or backdrop vegetation, and the characteristics of the future activities facilitated by the application.

The photographs contained in Appendix 4 Off Site Viewpoints depict a number of representative viewing positions that illustrate the potential view of the application site. The location of the viewpoints are shown in Appendix 1.

The visual cone that extends from the site within which the application site is visible is relatively narrow. The area the visual cone encompasses is depicted in the photos contained within Appendix 3 – On Site Photos. The visual cone extends generally to the south of the site, taking in a small wedge of the Te Puna Inlet, the beach below the site and a section of the Opito Bay peninsula located over 3 kilometers away.

The viewing audience includes visitors to the beach below the site, the number of visitors to this beach are small due to the lack of public land-based access. It also includes visitors to the wedge of the Te Puna Inlet generally to the south of the site,



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and visitors and residents along the northern facing slopes of a small section of the Opito Bay peninsula. The viewing audiences' views range from close up to very long focal lengths, with a mix of transitory and permanent views.

Viewpoints 1 and 2

These viewing positions are located on the beach below the building site to the south of the site, and represent the closest views any visitors to the beach would have of the site and future dwelling placed on it. The number of visitors to this beach will be small as there is no public land access to it. Only visitors by boat will be able to gain this view.

The existing pavilions located next to the beach are visible as the foreground built form. The building site on lot 12 is located on the hill slope as indicated upon the consented building platform and is just to the west of the existing transplanted Pohutukawa trees that are visible on the hill slope.

These existing trees and proposed landscape enhancement and mitigation plantings will soften the built form of the proposed dwelling and tie it into the landscape. The use of additional large grade field grown Pohutukawa trees positioned to the east of the dwelling will mirror the existing large pohutukawa's and blend the house into the landform.

Although the proposed dwelling will be visible as a readily noticeable change to the current landscape scene, the proposed dwelling is located upon a consented building site and has been designed so that it complies with the Wiroa Station Architecture Design code. Therefore, the proposed development is aligned with the anticipated future change for this lot.

The proposed landscape enhancement plantings will soften the built form and blend it into the landscape, minimising any potential adverse visual amenity effects to a low level.

Viewpoint 3 & 4

Viewpoint 3 is located on a private road on the Opito Bay peninsula to the southwest of the site, approximately 3.3 km away. Views are obtained across the foreground Te Puna Inlet, with the building site on Lot 12 located on the hill slopes upon the consented building platform as indicated.

Viewpoint 4 is located on Opito Bay Road looking north towards the application site, which is located approximately 4km away. From these long focal distances the proposed dwelling will be inconspicuous and it will be difficult to distinguish it at a glance.

The site is not located on the skyline and is located within the Wiroa Station development that will eventually accommodate 20 dwellings sites. From these distant



viewing positions along the Opito Bay peninsula it will result in a very low level of visual change and will not impact negatively upon the landscape and visual quality values of the surrounding landscape.

The view from the water within the Te Puna Inlet will be a mixture of close up and distant views ranging between the views shown in Viewpoint 1 to Viewpoint 4. As described above the potential effects of the development upon a water-based viewing audience will be similar to the assessment of the viewing positions 1 – 4.

In summary the potential adverse landscape and visual effects of the proposed development upon the general viewing audience is assessed as being low.

7. STATUTORY CONTEXT

The property is located within the General Coastal Zone as depicted on Zone Map 29 within the FNDP. The resource Map 29 identifies that the coastal edge of the property is identified as having an Outstanding Landscape designation, however the proposed dwelling is not located within this. There are no Outstanding Landscape Features or Natural Features identified on the site.

Far North District Plan (FNDP)

The following is an assessment of the proposal against the relevant assessment criteria found within the Visual Amenity Rule 10.6.5.3.1 of the FNDP.

10.6.5.3.1 Visual Amenity Rule

i. The location of the building;

The proposed dwelling is partially located within the 600m² nominated building platform that was identified on the Detailed House Site Design plans prepared by Boffa Miskell in 2008.

The dwelling has a 463m² building footprint, with 224m² located outside of this nominated building platform and a 166m² located inside this.

The dwelling will be located as anticipated at the time of the subdivision consent. It has been designed and located following the Wiroa Station Architecture Code so will comply with the relevant consent notice conditions relating to location.

ii. The size, bulk and height of the building in relation to ridgelines and natural features;

The size of proposed dwelling is 463m² so it is within the approved size for this lot. The height of the dwelling is within the 4.5m height restriction for this lot, with the bulk of the structure being a horizontal form wrapping around the contours of the site, hugging the landscape. The dwelling is broken up into three wings with landscaping between each wing to break up the overall mass of the built form.

The northern edge of the dwelling and courtyard for the swimming pool is dug into the hill slope slightly so that the development sits into the landscape.



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The development is located on a rolling hillslope that when viewed from within the wider landscape is not viewed as being on a ridgeline, it is viewed with a land backdrop. When viewed from directly below the site on the beach the building site is viewed on the skyline. This will be mitigated through the implementation of landscape enhancement and mitigation plantings.

There are no natural features on the site or located within close proximity of the site.

iii. The colour and reflectivity of the building;

The proposed dwelling will be coloured in natural tones, including dark grey for the roof and a mid grey for the exteriors cladding, thus complying with the Wiroa Station Architecture Code. The veranda located along the southern side of the dwelling will also create shadows and will result in the dwelling being recessive in the landscape.

iv. The extent to which planting can mitigate visual effects;

The Landscape Plan contained in Appendix 5 details areas of proposed foreground and backdrop planting and additional large grade Pohutukawa specimen trees to be planted around the building site. This landscape enhancement planting will mitigate any potential adverse landscape and visual effects of the proposed dwelling to a less than minor level.

v. Any earthworks and or vegetation clearance associated with the building;

The development includes a small amount of earthworks to create the outdoor living courtyard to the north of the house around the swimming pool. The cut batters will be retained by retaining walls that will be screened from the coast by the house itself. One or two of the smaller Pohutukawa trees that are located to the north of the building footprint will be relocated to the north of the building site to provide additional backdrop planting when viewed from the beach below.

vi. The location and design of associated vehicle access, manoeuvring and parking areas;

The access driveway to the house will be off the existing subdivision roading network. The garaging and parking areas are located to the north of the house and will be screened by the house and landscaping when viewed from the coast and wider landscape.

vii. The extent to which the building and any associated overhead utility lines will be visually obtrusive

The utility services will all be laid underground. The proposed dwelling has been designed to be in accord with the Wiroa Station Architecture Code so will result in an appropriately located, scaled and coloured building being built on the site. The proposed landscape planting will then visually integrate the built form into the landscape so that it will not be visually obtrusive.

viii. The cumulative visual effects of all the buildings on the site;



There is only one dwelling intended to be located on this lot.

- ix. *The degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;*

This site is part of the wider Wiroa Station subdivision that will eventually accommodate 20 dwellings located on the nominated building platforms. This will see the current rural character of the landscape change to a landscape that accommodates residential development, as anticipated and approved under the Wiroa Station subdivision consent.

The proposed dwelling will form part of this pattern of built development located within this landscape setting. As the proposed dwelling will be in accord with the Architecture Code and the proposed landscape plantings will minimise any potential adverse landscape and visual effects the landscape values of the site and wider landscape will be protected.

- x. *The extent to which private open space can be provided for future users;*

The property is of a nature, size and in a location that results in ample private open space being provided for the owners and any future users.

- xi. *The extent to which siting, setback and design of buildings avoid visual dominance on landscapes, adjacent sites and the surrounding environment;*

The design of the dwelling, outdoor living areas and landscaping will avoid any visual dominance on the landscape and adjacent sites.

- xii. *The extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent site.*

There are no non-complying aspects of the proposal that will result in any adverse effects upon the privacy, outlook or enjoyment of the private open space on the adjoining sites.

8. CONCLUSION

The dwelling that is the subject of this application will be located within the Wiroa Station 20-lot rural residential subdivision. There are consent notice conditions and architectural and landscape design guidelines attached to this subdivision consent.

The proposed dwelling will be located upon the consented building platform and it will be in accord with the design parameters for the Wiroa Station subdivision and for Lot 12 specifically. It will comply with the approved building height and building footprint size for this lot.

I have assessed the potential visual and landscape effects of the development and evaluated the proposal against the relevant assessment criteria within the Visual Amenity Rule 10.6.5.3.1 of the FNDP and found that the potential adverse landscape and visual amenity effects will be low.



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This is due to the proposed development being designed so that it is in accord with the consented design controls and FNDC assessment criteria, in addition the proposed landscape enhancement plantings will minimise potential adverse effects and soften the built form blending it into the landscape.

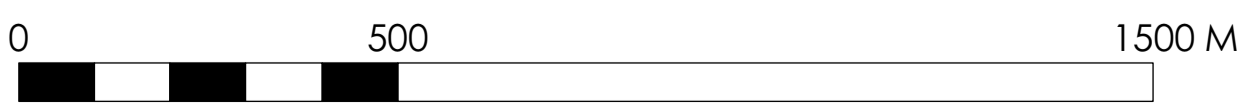
Yours sincerely




Christine Hawthorn
BLA (Hons.)
Hawthorn Landscape Architects Ltd.

Attachments:

- Appendix 1 – Location and Viewpoint Location Map
- Appendix 2 – Development Plans
- Appendix 3 – On Site Photos
- Appendix 4 – Off Site Viewpoints
- Appendix 5 – Landscape Plan
- Appendix 6 – Wiroa Station Architecture Code





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Appendix 1
Location & Viewpoint Location Maps
Wiroa Station

Scale	Drawn By
1:10,000 @ A1, 1:20,000 @ A3	DOL
Drawing #	Rev #
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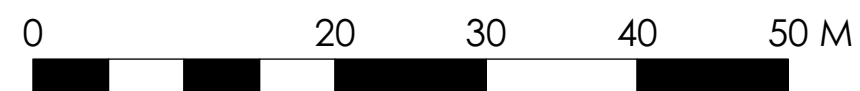





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Wiroa Station

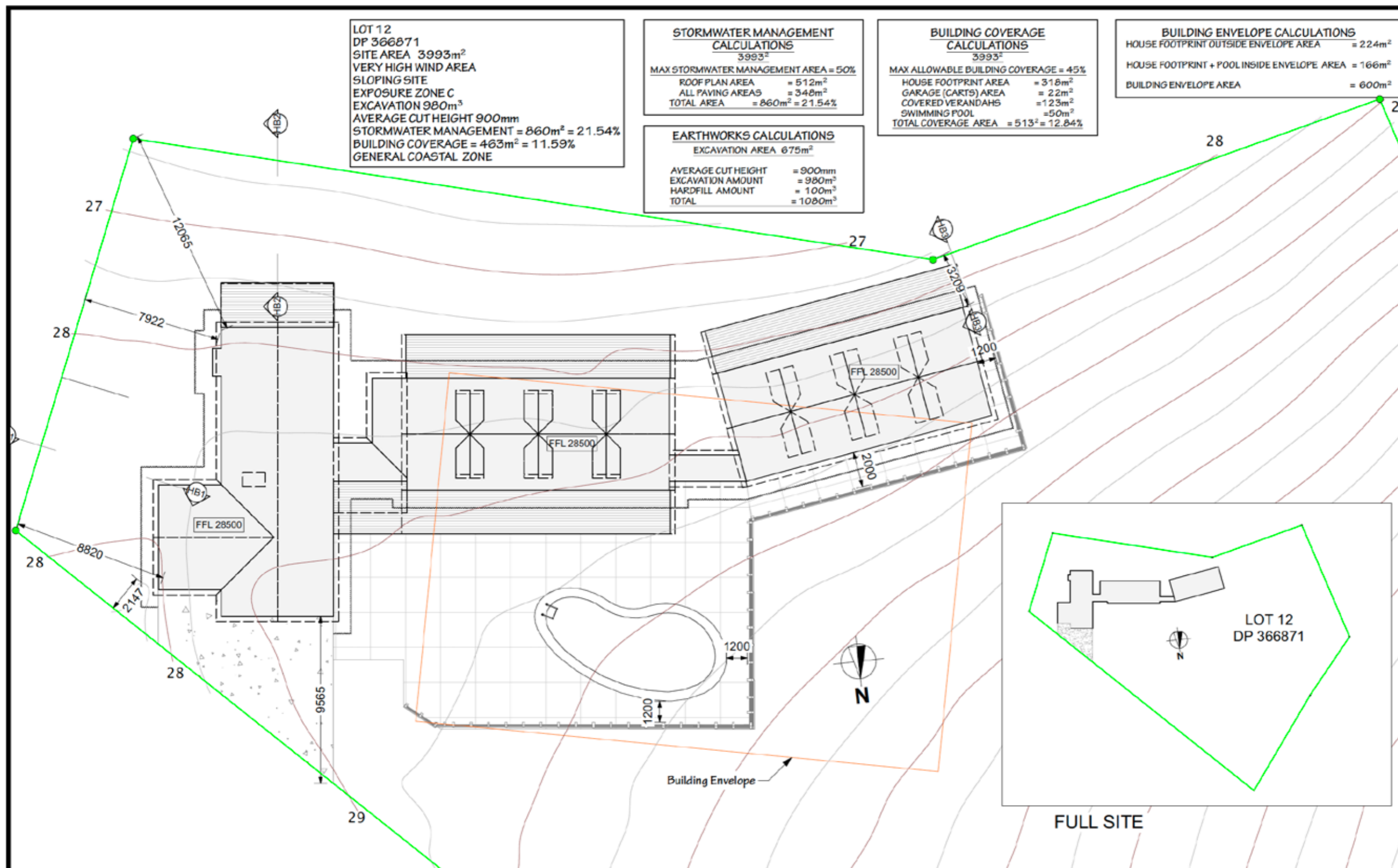
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Initial Issue Date: 23/4/19 Scale: 1:200, 1:1000 Drawn By: STEPHEN	PROPOSED NEW RESIDENCE FOR WIROA LOT 12 PURURUA, BAY OF ISLANDS	<table border="1"> <thead> <tr><th>Revision Name</th><th>Date</th></tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	Revision Name	Date									ALL WORK SHALL COMPLY WITH NZS3604 2011 AND THE BUILDING CODE OF NEW ZEALAND. CHANGES TO PLANS AFTER THE CONCEPT PLANS HAVE BEEN APPROVED WILL BE INVOICED	 Arcline Architecture 49 Matthews Ave, Kaitia 0410 Ph (09) 4062233 Fax (09) 4062358 Email info@arcline.co.nz www.arcline.co.nz	 DAVID REID HOMES STANDARD	Date this copy printed/emailed 11/02/21	ENGINEER/TRUSSES 11/2/21 Sheet# 1 of 19
Revision Name	Date																



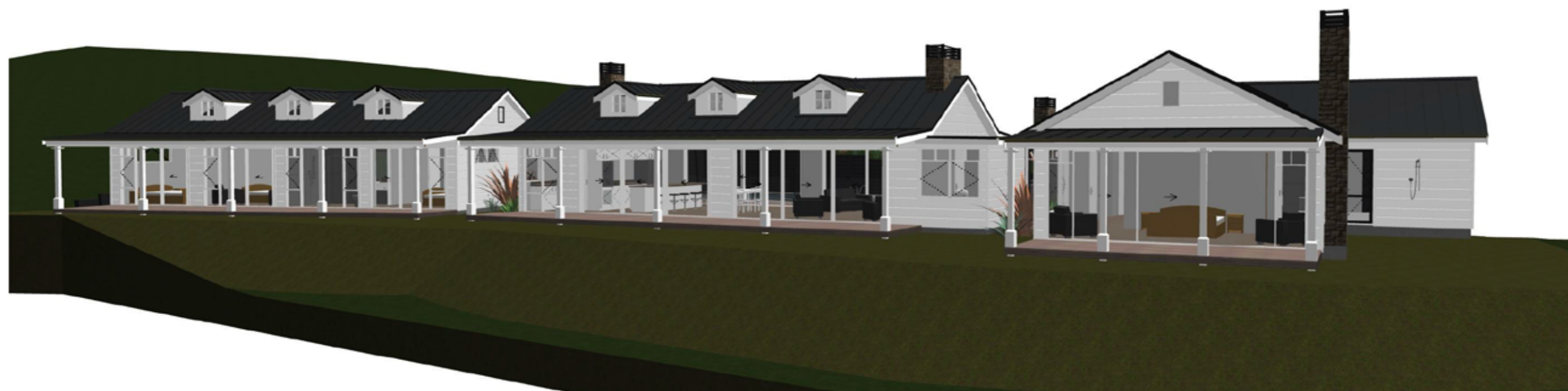
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NORTH PERSPECTIVE



SOUTH PERSPECTIVE

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PERSPECTIVES

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**PROPOSED
NEW
RESIDENCE**
FOR
WIROA LOT 12

PURERUA, BAY OF
ISLANDS


Arcline
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Revision Name	Date

CHANGES TO PLANS AFTER
THE CONCEPT PLANS HAVE
BEEN APPROVED WILL BE
INVOICED

ALL WORK SHALL COMPLY
WITH NZS3604 2011 AND
THE BUILDING
CODE OF NEW ZEALAND

Initial Issue
Date: 23/4/19

Scale: 1:50

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11/2/21

Sheet# 19 of 19



WEST PERSPECTIVE



EAST PERSPECTIVE

PERSPECTIVES

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Photo 1 - View looking east across the northern edge of the building site



Photo 2 - View looking south from the building site



Photo 3 - View looking west across the building site



Photo 4 - View looking southwest showing the existing large grade Pohutukawa trees

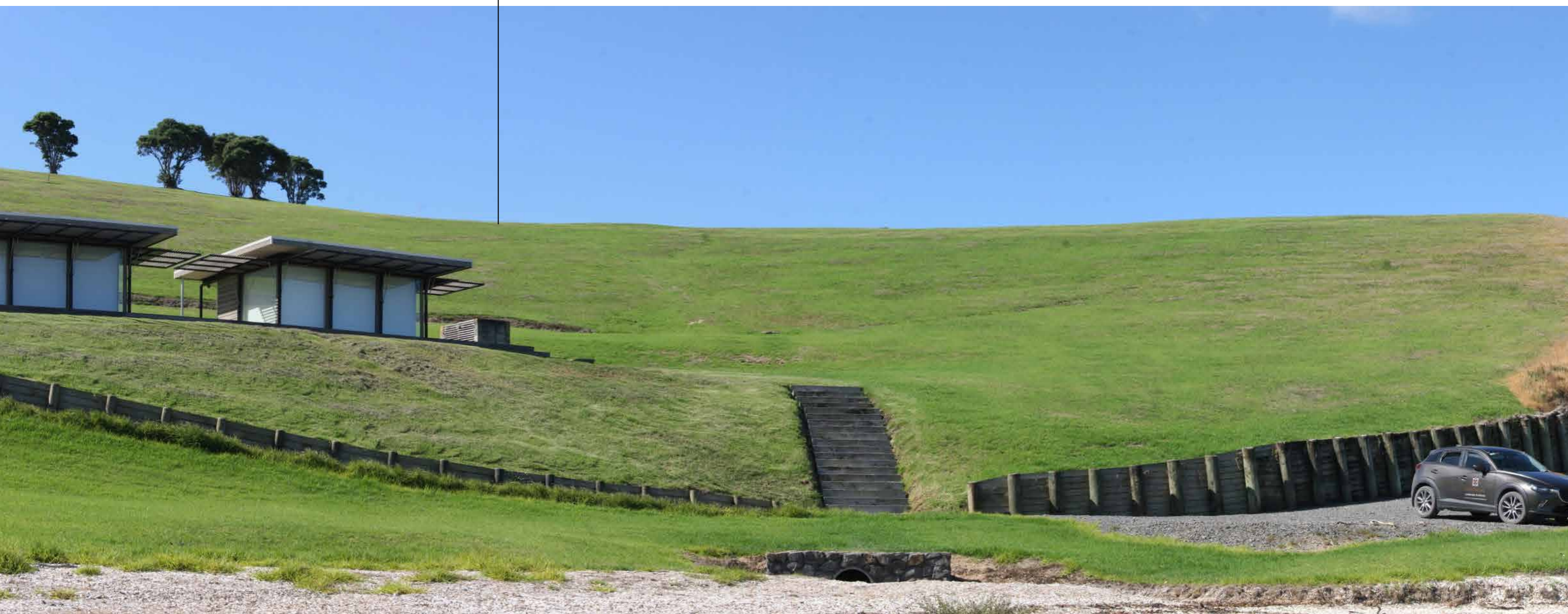


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Building Site



Viewpoint 1

Located on the beach below the building site to the south of the site. The existing pavilions located next to the beach are visible as the foreground form. The building site on lot 12 is located on the hill slope as indicated. The existing transplanted Pohutukawa trees that are visible on the hill slope will be located just to the west of the proposed dwelling and will soften the build form and tie it into the landscape. The proposed landscape enhancement and mitigation plantings will also tie the proposed dwelling into the landscape. The use of large grade field grown Pohutukawa trees positioned to the east of the dwelling will mirror the existing large pohutukawa's and blend the house into the landform.

Appendix 4 - Off Site Viewpoints
Lot 12 Wiroa Station
McKenzie Road
Kerikeri

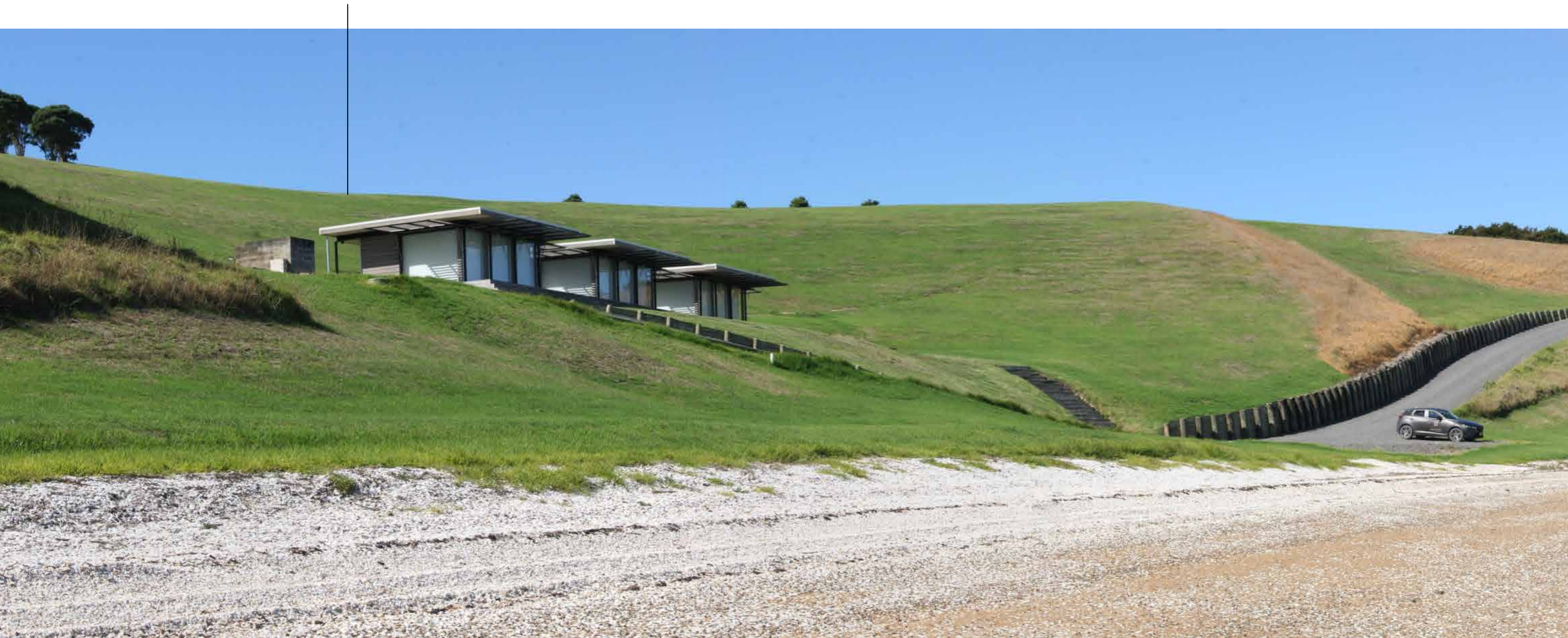


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Building Site



Viewpoint 2

Located on the beach a little further around the foreshore to the west. The existing Pavilions are still visible in the foreground. The building site on lot 12 is located on the hillslope behind these pavilions as indicated. The smaller grade Pohutukawa trees that are located to the north of the building site are visible from this location. These trees are approximately 2.5m tall and will continue to grow and will provide a vegetated backdrop to the proposed dwelling. Other mature landscape plantings will be located around the dwelling to soften it and blend it into the landscape.

Appendix 4 - Off Site Viewpoints
Lot 12 Wiroa Station
McKenzie Road
Kerikeri



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Building Site



Viewpoint 3

This viewing position is located on a private road on the Opito Bay peninsula to the southwest of the site, approximately 3.3 km away. Views are obtained across the foreground Te Puna Inlet. The building site on Lot 12 I located on the hill slopes as indicated. The site is not located on the skyline and is located within the Wiroa Station development that will eventually accommodate 20 dwellings sites.

Appendix 4 - Off Site Viewpoints
Lot 12 Wiroa Station
McKenzie Road
Kerikeri



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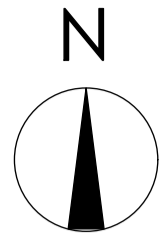
Building Site



Viewpoint 4

Located on Opito bay Road looking north towards the application site, which is located approximately 4km away. From this distance the proposed dwelling will be viewed as a very small object in the wider landscape and will be difficult to distinguish.

Appendix 4 - Off Site Viewpoints
Lot 12 Wiroa Station
McKenzie Road
Kerikeri

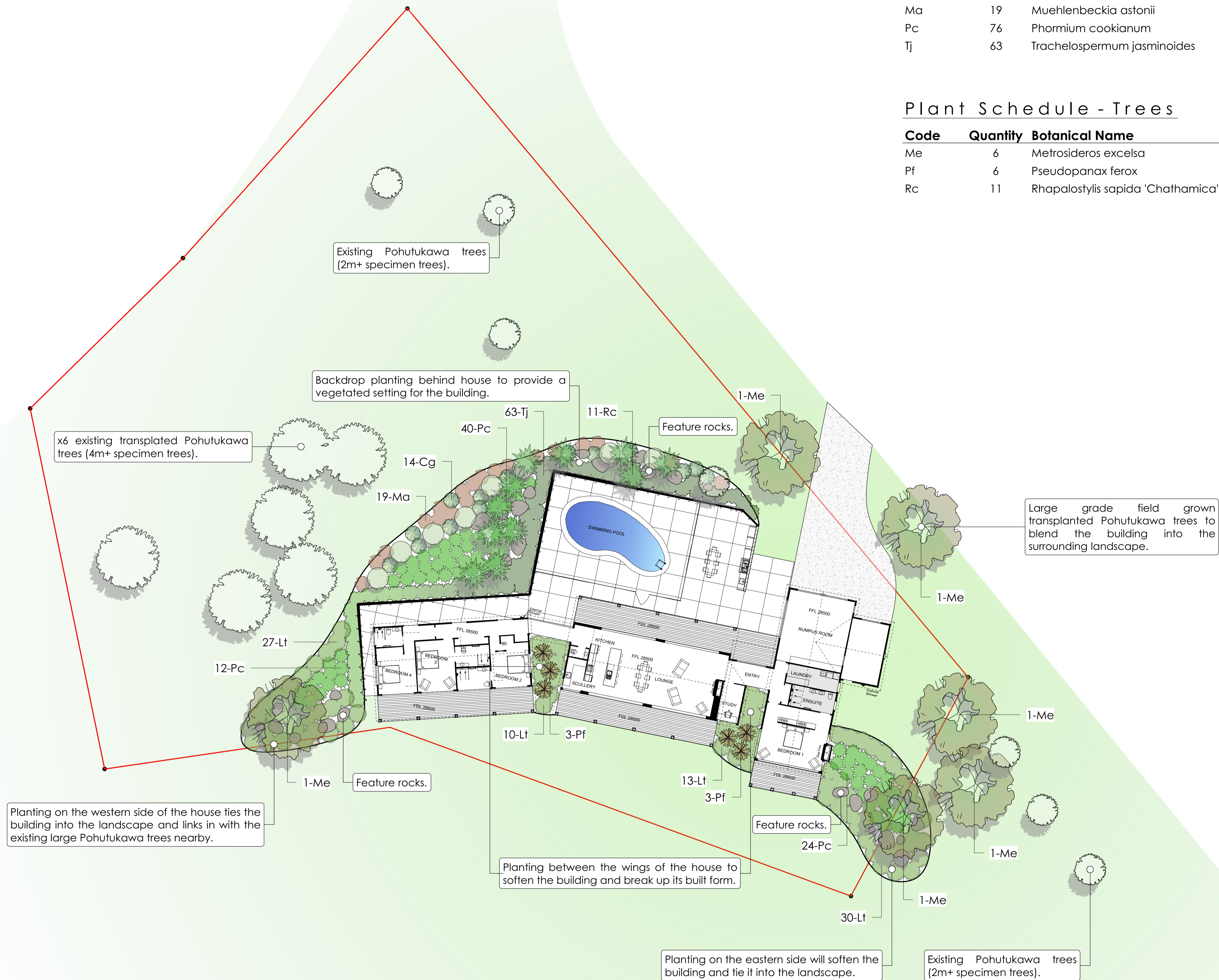


Plant Schedule - Shrubs + Groundcovers

Code	Quantity	Botanical Name	Common Name	Scheduled Size
Cg	14	Corokia sp.	Corokia Globes	PB 5
Lt	80	Lomandra longifolia 'Tanika'	Lomandra Grass	PB 3
Ma	19	Muehlenbeckia astonii	Wiggy-wig bush	PB 5
Pc	76	Phormium cookianum	Mountain Flax	PB 5
Tj	63	Trachelospermum jasminoides	Star Jasmine	PB 5

Plant Schedule - Trees

Code	Quantity	Botanical Name	Common Name	Scheduled Size
Me	6	Metrosideros excelsa	Pohutukawa tree	Field Grown
Pf	6	Pseudopanax ferox	Toothed Lancewood	PB 95
Rc	11	Rhapalostylis sapida 'Chathamica'	Chatham Is Nikau	Field Grown





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Appendix 5
Landscape Plan

Lot 12
Wiroa Station

Scale	Drawn By
1:200 @ A1, 1:400 @ A3	DOL
Drawing #	Rev #
001	

- This drawing is the property of Hawthorn Landscape Architects Ltd and must not be used, copied or reproduced without prior written permission.
- Contractors shall verify and be responsible for all dimensions on site.
- Do not scale off this drawing.
- Landscape Architect to be notified of any variations between on site dimensions and those shown on the plan. Hawthorn Landscape Architects accepts no liability for unauthorised changes to the details changes to the details shown in these drawings.
- All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.



Planting Palette - Lot 12 Wiroa Station



Lomandra tanika



Rhapalostylis sapida Chathamica



Metrosideros excelsa



Pseudopanax ferox



Phormium cookianum



Trachelospermum jasminoides



Corokia species



Muehlenbeckia astonii



Feature rocks

Landscape Planting Implementation + Maintenance

Implementation Scope

The scope of the planting is:

- i. Preparation of planting areas;
- ii. Timing of planting;
- iii. Plant material;
- iv. Siting of plants in accordance with the planting plan;
- v. Planting;
- vi. Watering in newly planted shrubs, and;
- vii. General maintenance, and;
- viii. Weed pest and disease control.

Preparation of Planting Areas

- i. Undertake clearance of any exotic weed species. No native vegetation shall be removed.
- ii. The initial weed control should be carried out during the autumn months prior to the winter planting, when plants are still actively growing and therefore more susceptible to herbicides.
- iii. Blanket spray planting areas three weeks before planting. A follow up spray should be applied if required.
- iv. Apart from grasses one of the main weeds that may require spraying is gorse. For gorse the following is recommended:

For Gorse spray:

- Spray with 5g metsulfuron-methyl (600g/kg e.g. Escort®) + 10 ml penetrant per 10 litres water; or
- Gun and hose at a rate of 35g metsulfuron-methyl + 100ml penetrant per 100 litres water.

For grasses spray:

- Spray 100ml glyphosate (e.g. Roundup)+ 20ml penetrant per 10litres water

Timing of Planting

- i. Planting shall only be undertaken between the months of April to September. If planting is undertaken early or late in the season, plants should be irrigated during any dry periods.

Plant Material

- i. Plants shall be purchased from a reputable nursery. All plants shall be best nursery stock, being healthy and vigorous. Root systems shall be well developed and in balance with the amount of foliage growth of the plant.
- ii. Root-bound plants or those with badly spiraling root systems shall not be acceptable. Plants should have a root ball of fine, fresh root growth. This should be sliced through vertically with a sharp knife when removing the planter bag.
- iii. Plants are to be planted as soon as possible after delivery and no later than 3 days after delivery.

Siting of Plants

- i. Planting shall be in accordance with and as shown on the Proposed Individual Site Landscape Plan.

Planting

- i. In areas where mass planting/total vegetation replacement is proposed a 150mm layer of 50/50 mix locally sourced compost and topsoil should be placed over the whole area to receive planting. More of this soil/compost mix should also be mixed into individual plant holes during planting (as described below).
- ii. Hessian matting to be placed over any steeper areas or those close to a water source to prevent excessive runoff.
- iii. Plants should be well watered in their containers prior to planting.
- iv. Holes for the larger (pb3 and above) plants should be dug approximately 1.5 times wider than the root ball, so that the roots are not cramped. Some loose soil should be left in the bottom of the hole to aid root growth and drainage.
- v. Approximately one tablespoon of good quality eighteen to twenty-four month slowrelease fertiliser should be placed in the bottom of the plant hole, and mixed in with the loose soil, ensuring that the fertiliser is not sitting directly on the roots (as it may burn them).
- vi. Soil returned around the roots should be firmed with the foot, with a small amount of loose soil left at the top of the hole.
- vii. Holes for large plants may exceed the depth of topsoil. In these cases the subsoil is to be thoroughly broken and well mixed with topsoil, which has been added as a 100mm layer to the bottom of the planting hole. Any compacted soil pan is to be thoroughly broken by relevant measures ensuring good root penetration and drainage.
- viii. Individual specimens should be planted approx 50mm proud of the existing ground level to prevent waterlogging.
- ix. The base of the planting hole is to be filled and firmed with backfilling material to a level where the top of the plant root ball is level with surrounding ground.
- x. All care shall be taken to keep the root ball of the plant intact during placement.
- xi. Finish all newly planted areas with a 70mm layer of locally sourced, high quality mulch.

Specimen Tree Planting

- i. Ground preparation to take place prior to planting; consisting of a 1m³ hole for each pb95 grade tree. Integrate existing soil within this hole with a 50/50 mix of locally sourced compost and topsoil.
- ii. Trees should be planted approx 50mm proud of the existing ground level to prevent waterlogging.
- iii. Finish with a 70mm layer of locally sourced, high quality mulch to a 1m diameter around tree trunk, do not mound up around trunk.
- iv. Stake trees with appropriate wooden stakes and soft tree tie.

Watering In

Immediately after planting all of the plants are to be thoroughly watered until the planting hole is saturated. The foliage of plants is also to be thoroughly wetted. This is to be done even if soil conditions are already wet.

General Maintenance

- i. Maintenance weed control should commence within three months following the planting, and then twice annually (see table 1.1 for maintenance timing).
- ii. Maintenance shall be undertaken for a minimum period of 3 years following practical completion in accordance with this specification and the accompanying plan.
- iii. Care should be taken to identify and control any weeds that may have been introduced to the property in potting mix associated with the new plants.
- iv. All weeds should be cleared from the site by appropriate physical and chemical control. The majority of weeds growing close to the plant can be pulled by hand (taking care not to damage the roots of the plant) or, if appropriate, sprayed with herbicide by an experienced operator.
- v. During this three-year maintenance programme, any dead plants will need to be replaced.
- vi. An annual top up of mulch is required throughout all mass planted areas, and around each specimen, to achieve a 70mm layer.
- vii. Selective pruning/trimming of specimen trees shall be undertaken to remove any dead wood or damaged growth and to maintain healthy vigour and good form.

Maintenance Task	Frequency	Time of Year to Complete Tasks												
		Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
Maintenance weeding around specimen trees and in all mass planted areas.	2x annually													
Top up of mulch on all trees and mass planted areas to achieve a 70mm layer.	2x annually													
Removal and replacement of any damaged or dead specimens.	1x annually													
Selective pruning/trimming of specimen trees to remove any dead wood or damaged growth and to maintain healthy vigour and good form.	1x annually													



SITE SUITABILITY REPORT

FOR

PROPOSED NEW DWELLING

AT

LOT 12 WIROA STATION

FOR

SIR OWEN GLENN

Job No: 21- 020
Date: March 2021
Revised May 2021



1. INTRODUCTION

This report was requested by Arcline and has been prepared to assess the suitability of Lot 12 DP 497523, Lot 12 Wiroa Station, Te Tii for future development.

This report assesses the proposed Lot 12 in regard to land stability, foundation requirements, ground retention requirements, wastewater disposal and stormwater flows and has been prepared for the sole use of Sir Owen Glenn. It shall not be used, reproduced or copied in any manner or form without the permission of P K Engineering Limited.

2. GENERAL SITE DESCRIPTION

Lot 12 encompasses an area of approximately 3993m² and is located on a country road off the Purerua Road. The ground is sloping moderately toward the south-east at grades of 6-17°. The lot is predominantly covered by grass and regenerating bush.

A building site is proposed to be located as indicated on Site plan, Sheet SG1, Appendix A. An existing gravel driveway off the ROW in the south-east corner of the lot currently provides access to the site.

No ground excavations have yet been undertaken on the site. A site topographic survey has been conducted by a registered Surveyor and the locations and dimensions of all features as shown on the accompanying plans and discussed in this report are from that survey and information supplied by the client.

The subsurface conditions discussed in this report have been determined at very specific locations and will not identify any variations in ground strength or composition at other locations on the site. During construction should ground conditions be found to vary significantly from those described in this report PK Engineering is to be notified immediately.

3. NATURAL HAZARDS

The Northern end of the proposed lot falls within the tsunami hazard zone – *“Yellow Inundation Zone. This zone should be evacuated in an official warning for larger than the 3 – 5 m threat level (2,500-year return period) or in the case of a natural or informal warning where the potential wave height is unknown. The Yellow Zone encompasses the Orange Zone and Shore Evacuation Zone.” Northland Regional council – Tsunami hazard zones.* The proposed building platform is inside the safe zone.

The site has mainly cohesive soil types which are not prone to liquefaction.

4. SITE INVESTIGATIONS

4.1 VISUAL INSPECTION

A thorough walkover of the proposed building site and surrounding slopes was undertaken and geotechnical features relating to site stability and stormwater flows were noted.

4.2 SUBSURFACE INVESTIGATIONS

Three subsurface exploratory auger holes were drilled at the locations shown on the attached plan as AH1 - AH6. In situ undrained shear strength readings were taken at regular intervals in each hole. All the auger holes were drilled to depths of 3.0m below existing ground level. Scala penetrometer tests were then undertaken from the base of the auger holes to a target depth of 5.0m below ground level or to termination where impenetrable ground was discovered.

All the auger holes intercepted firm, undisturbed silty and sandy clays with in-situ undrained shear strength in excess of 100kPa. Scala penetrometer tests were taken from the base of each auger hole (PT1 – PT6). PT1, PT4 and PT5 found firm clays transitioning to semi weathered rock at ~3.9m depth below existing ground level and was terminated in rock at 4.3m depth below existing ground level. PT2 and PT3 found firm clays transitioning to semi weathered rock at 3.6m depth below existing ground level and was terminated in rock at 3.9m depth below existing ground level. PT6 found firm clays transitioning to semi weathered rock at 3.9m depth below existing ground level and was terminated in rock at 4.5m depth below existing ground level.

Cross section A – A, B – B are shown on Sheet SG3 give an illustration of the inferred sub-soil profile.

The groundwater table was not found in all of the auger holes.

The logs of these auger holes and scala penetrometer tests are given in Appendix A.

4.3 SOAKAGE TESTS

Two Soakage tests (SH1 & SH2) were undertaken for this lot to assist in wastewater disposal design. These tests were located as shown on the accompanying Site Plan SG1. These tests were conducted in accordance with the TP 58 guidelines. The test results are given in Appendix A.

The tests revealed the sub-soil to have moderate to slow drainage rates. We recommend that the sub-soil for this lot be categorised as a Category 5 type soil.

5. GEOLOGY

The local soil type has been classified as “*Marua light brown clay loam*” overlying “*Interbedded sandstone and mudstone (greywacke and argillite).....*” NZMS 290, Sheet Q04/05, Bay of Islands soil and rock maps.

6. SITE STABILITY

6.1 GENERAL

The sub soils on this site are of high strength, with strong bedrock located at ~4.0– 4.8m beneath existing ground level.

A rib raft type of foundation may be utilised for the proposed dwelling at the south-eastern portion of the lot. The raft foundation to be constructed as 3 individual rafts to allow for possible differential settlement. Hardfill under raft to extend 1-meter past building envelope.

All foundation design to be conducted by a suitably experienced Chartered Professional Engineer.

Ground retaining will be required at the south-eastern corner of the dwelling, refer Site Plan Sheet SG1 for location. Timber pole retaining walls should be utilised. Any retaining of greater than 1.0m height or subject to surcharge loading (buildings, driveways or backslope exceeding 15°) should be designed by a suitably experienced Chartered Professional Engineer.

Up to 1500mm may be cut out and battered back at 1:2 (i.e. 26° max) to accommodate the south western side of the proposed dwelling.

6.2 BUILDING FOUNDATIONS

The following parameters should be utilized for the design of footings and piled foundations:

IN STIFF CLAY:

Bulk Density	= 18 kN/m ³
Ultimate Bearing Capacity	= 300kPa
Allowable Bearing Capacity (F.O.S = 3)	= 100kPa
Dependable Bearing Capacity ($\phi = 0.5$)	= 150kPa

IN WEAK CLAY:

Bulk Density	= 18 kN/m ³
Ultimate Bearing Capacity	= 150kPa
Allowable Bearing Capacity (F.O.S = 3)	= 50kPa
Dependable Bearing Capacity ($\phi = 0.5$)	= 75kPa

IN SEMI-WEATHERED ROCK:

Bulk Density	= 25 kN/m ³
Ultimate Bearing Capacity	= 6MPa
Allowable Bearing Capacity (F.O.S = 3)	= 2MPa
Dependable Bearing Capacity (ϕ = 0.5)	= 3MPa

6.3 CUT BATTER SLOPES

Maximum cut batters up to 1.5m may be used in developing this site provided they have a maximum slope of 1 vertical to 2.0 horizontal. All cut batter slopes should be planted in vegetation (e.g. vetiver grass) following excavation.

7. STORMWATER

The careful management of stormwater runoff is vital to the continued stability of the proposed building platform. All stormwater flows should be piped away from the building platform.

This site is zoned as General Coastal Zone under the Far North District Plan. In order to constitute a permitted activity, a maximum of 10% of the total site area may be used for impermeable surfaces (roofs, driveway & sealed areas). However Bay of Islands Planning advises that This site is permitted 50% coverage of impermeable surfaces.

The proposed new dwelling roof area is to be ~512m² and other paving areas is to be 348m², therefore bringing the total impermeable surface area to approximately 860m² – 21.5% of the gross site area. This site therefore remains within the permitted category as far as stormwater management is concerned.

Overflow from the tanks to be directed to a suitable dispersal system to provide sheet flow to natural flow paths.

A Consent notice on RC 2160044-RMAVAR/A states that for all lots;

“(j) Stormwater Storm-water disposal from hard surface areas of each lot will be to a soakage area or areas. The specific engineering design of the soakage area shall accompany the building consent application for the development on the relevant lot.”

Our experience with ground conditions in this area leads us to the conclusion that discharging stormwater runoff to soakage in the soils of this site will result in slope instability and we recommend no stormwater to be discharged to soakage. We propose an alternative solution below.

Stormwater runoff from the driveway to be caught in a formed concrete swale drain and discharged to the existing roadside swale drain as indicated on Sheet SS1 accompanying.

Stormwater runoff from the courtyard to be caught in a catchpit and discharged, via a 100mm diameter uPVC pipe, to a suitable dispersal system providing sheet flow to natural flow paths. Refer sheet SG4 appendix A for dispersal system detail.

The overflow from the water storage tanks to be discharged, via a 150mm diameter uPVC pipe, to a suitable dispersal system providing sheet flow to natural flow paths. Please refer to Site Plan Stormwater, Sheet SS1 accompanying.

The backwash from the swimming pool to be discharged to a scoria filled soakage pit. This soakage pit to be 0.5m diameter and drilled to 6m depth to allow backwash water to discharge into the fractured rock rather than the silts and clays. The soak pit to be filled with clean 20/40 scoria to within 0.4m from the surface, BIDIM A19 to be laid over the scoria and the pit capped with a raised clay plug to prevent surface water ingress. Refer Soak Pit Detail Sheet SS2 and Sheet SS1 accompanying.

8. WASTEWATER DISPOSAL

Option 1: Existing Subdivision Wastewater Disposal system

Wastewater can be piped directly into the existing subdivision wastewater disposal system via an Eone pump chamber. A standard wastewater 40mm PN12 pressure pipe is appropriate. The existing TET disposal mound will need to be completed to the satisfaction of FNDC requirements as noted in the letter from them - included in Appendix A – prior to connecting the Eone pump chamber to the existing disposal system.

Option 2: Home Aeration Plant

The soils that exist on this site exhibit slow drainage rates. It has been classified as a category 5 type of earth as per the recommendations set by Technical Publication No. TP58.

To achieve a secondary level of treatment it is recommended to use an aerated treatment plant for this site. For this purpose, an AdvanTex AX20 from Innoflow or similar, capable of treating at least 2,000l/day of wastewater flow is recommended. The maintenance programme for the treatment system should be strictly followed as per the supplier's recommendations.

We believe that a dosing rate of 3mm per day is quite conservative for this site provided that the whole disposal area is closely planted with high evapotranspiration plant species.

We recommended using a Sub Surface Pressure Compensating drip irrigation system for the disposal field. The disposal field to consist of 370 lineal metres of surface irrigation lines with emitters at 1m centres and 1m spacing between lines, to give a total area of 360m². This design is based on a 4-bedroom dwelling with a 6-person occupancy using 180ltrs/day per person giving a total wastewater production of 1080ltrs/day and a loading rate of 3ltrs/m²/day. Sub surface irrigation lines are recommended. The irrigation lines to be covered with a minimum of 50mm topsoil, bark, or mulch.

A 30% reserve area is available if required. Refer Site Plan Sheet SG1A, Appendix A

It must be ensured that the wastewater disposal field and reserve area maintain the following minimum setback distances:

- 1.5m from property boundary
- 3m from buildings
- 15m from surface water and open drains

- 0.6m above the winter groundwater table.
- 3m from the retaining walls.

The disposal field to be fenced to prevent children and animals coming into contact with the leachate. A swale surface water interceptor to be constructed on the uphill side of the disposal field to prevent surface water entering the field.

Only Bio-Degradable detergents and cleaning agents are to be used in any water discharging to the wastewater system.

9. ACCESS

Access to the site is currently provided via an access way in the south-eastern corner of the proposed lot. This access way to be upgraded to provide a suitable access and turn around area for the proposed dwelling as illustrated on the Site Plan, Sheet SG1.

The driveway should have a formed concrete swale along one edge to catch all run off and carry it to a suitable discharge structure at the lowest point of the new driveway. For discharge to the existing stream.

10. RECOMMENDATIONS

I recommend that:

- This site is considered suitable for proposed new dwelling.
- The dwelling foundation be a rib raft platform type of foundation.

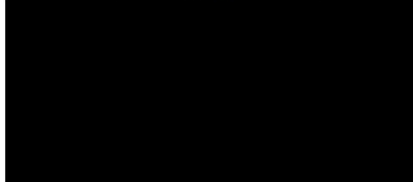
- Foundation design should be conducted by a suitably experienced Chartered Professional Engineer.
- Ground retaining will be required on the south-eastern side of the dwelling.
- Any retaining of greater than 1.0m height or subject to surcharge loading (buildings, driveways or backslope exceeding 15°) should be designed by a suitably experienced Chartered Professional Engineer.
- All earthworks are to be inspected and approved by an engineer. All hardfill over 600mm depth is to be inspected and approved by an engineer.
- No stormwater flows from the developments are allowed to discharge onto the slopes surrounding the building platform.
- Stormwater management as per section 7 of this report.
- Wastewater be either treated to a secondary level by an aerated treatment plant and disposed of by 360 lineal metres of PCDI lines as outlined in section 8 of this report and a 30% reserve area is to be provided, or can be piped directly to the existing subdivision wastewater disposal system.
- The required setbacks for the wastewater system are maintained as per section 8 of this report.
- Only Bio-Degradable detergents and cleaning agents are to be used in any water discharging to the wastewater system.

11. CONCLUSION

This site is suitable for the proposed developments and a stable building platform can be made available provided that the recommendations in this report are followed correctly.

All foundation design and retaining wall design should be conducted by a Chartered Professional Engineer.

All Earthworks will need to be inspected and approved by a Chartered Professional Engineer.



Pradeep Kumar.
B.E hons, NZCE, MIPENZ,
IntPE, CP Eng.
(Structural, Geotechnical)
Chartered Professional Engineer.

APPENDIX A

- AUGER HOLE LOGS
- SCALA PENETROMETER LOGS
- SOAKAGE TEST RESULTS
- PS1 PRODUCER STATEMENT
- TP-58 APPENDIX E
- LIST OF PLANT SPECIES
- SITE PLAN 'SG1'
- WASTEWATER PLAN 'SG2'
- CROSS SECTION A – A, B - B 'SG3'
- STORM WATER PLAN 'SS1'
- POOL BACKWASH SOAK PIT DETAIL 'SS2'
- DISPERSAL SYSTEM DETAIL 'SG4'

BOREHOLE LOG AH1

Project: Proposed New Dwelling
Client: Glenn Owen
Job No: 21-020



Graphic Symbol	@@@	#####	%%%	000	####	█	DDDD	In situ shear vane reading	█
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	█
								Scale Penetrometer	●

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
				Dark Brown Dry Topsoil	203	
300	#####			Dry Crumbly Orange/Yellow Silty Clay Rock Inclusion	203	
600	#####				203	
900	#####				203	
1200	#####				203	
1500	#####			Moist Crumbly Yellow Pink Orange Mottled White Silty ClayRock Inclusion	203	
1800	#####			Moist Dark Orange Crumbly Mottled White Rock Inclusion	203	
2100	#####				203	
2400	#####				203	
2700	#####			Crumbly Pink Mottled Orange/White Silty Clay	203	
3000	#####			Moist White Silty Clay Mottled Yellow	44 / 189	
3300						
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Ground Water Level not Intercepted

Marua Light Brown Clay Loam

Drill Methods	50-100 mm hand auger	Note: 1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location. 2. UTP - Unable to penetrate.
Test Location	Refer to site plan	
Test Date	16/03/2021	
Inspector	TY & DF	

BOREHOLE LOG AH2

Project: Proposed New Dwelling
Client: Glenn Owen
Job No: 21-020



Graphic Symbol	@@@	#####	%%%	000	####	█	DDDD	In situ shear vane reading	
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	
								Scale Penetrometer	

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
		Ground Water Level not Intercepted	Marua Light Brown Clay Loam	Dark Brown Dry Topsoil Rootlets	203	
300	#####			Dry Crumbly Yellow Mottled Black Silty Clay	203	
600	#####			Moist Yellow Mottled White Clay Rock Inclusion	203	
900	#####			Orange Mottled White Silty Clay	203	
1200	#####			Crumbly Moist Orange Pink Mottled White Silty Clay	203	
1500	#####			Pink Mottled Orange/white Silty Clay	203	
1800	#####			Crumbly Orange White Silty Clay	203	
2100	#####				203	
2400	#####				203	
2700	#####				203	
3000	#####				203	
3300						
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Drill Methods	50-100 mm hand auger	Note: 1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location. 2. UTP - Unable to penetrate.
Test Location	Refer to site plan	
Test Date	16/03/2021	
Inspector	TY & DF	

BOREHOLE LOG AH3

Project: Proposed New Dwelling
Client: Glenn Owen
Job No: 21-020



Graphic Symbol	@@@	#####	%%%	000	####	■	DDDD	In situ shear vane reading	■
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	■
								Scale Penetrometer	●

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
				Dark Brown Dry Topsoil	203	
300	#####			Dry Yellow Silty Clay	203	
600	#####		203			
900	#####		203			
1200	#####		203			
1500	#####			Moist Yellow Silty Clay Mottled White Orange Lamination	203	
1800	#####			Crumbly Moist Orange/Brown/White Silty Clay Mottled Pink	44	
2100	#####		203			
2400	#####		203			
2700	#####		203			
3000	#####			Crumbly Pink Silty Clay Mottled White/Brown/Orange Semi-Weathered Rock Inclusion	203	
3300	#####					
3600	#####					
3900	#####					
4200	#####					
4500	#####					
4800	#####					
5100	#####					
5400	#####					

Ground Water Level not Intercepted

Marua Light Brown Clay Loam

Drill Methods	50-100 mm hand auger	Note: 1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location. 2. UTP - Unable to penetrate.
Test Location	Refer to site plan	
Test Date	16/03/2021	
Inspector	TY & DF	

BOREHOLE LOG AH4

Project: Proposed New Dwelling
Client: Glenn Owen
Job No: 21-020



Graphic Symbol	@@@	#####	%%%	000	####	█	DDDD	In situ shear vane reading	
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	
								Scale Penetrometer	

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)	
300		Ground Water Level not Intercepted	Marua Light Brown Clay Loam	Dark Brown Dry Topsoil Rootlet	203		
600	#####			Dry Yellow Mottled Brown Silty Clay Rock Inclusion	203		
900	#####				203		
1200	#####				203		
1500	#####				Dry Crumbly Yellow/White Mottled Orange	203	
1800	#####					203	
2100	#####				Crumbly Pink/White/Orange Silty Clay with Semi-Weathered Rock	191	80
2400	#####					203	
2700	%%%				Crumbly Dark Pink/White/Orange Silty Clay	203	
3000	%%%					203	
3300							
3600							
3900							
4200							
4500							
4800							
5100							
5400							

Drill Methods	50-100 mm hand auger	Note: 1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location. 2. UTP - Unable to penetrate.
Test Location	Refer to site plan	
Test Date	16/03/2021	
Inspector	TY & DF	

BOREHOLE LOG AH5

Project: Proposed New Dwelling
Client: Glenn Owen
Job No: 21-020



Graphic Symbol	@@@	#####	%%%	000	####	■	DDDD	In situ shear vane reading	■
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	■
								Scale Penetrometer	●

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
		Ground Water Level not Intercepted	Marua Light Brown Clay Loam	Dark Brown Dry Topsoil with Rootlets	203	
300	#####			Moist Yellow Silty Clay Mottled Black Rock Inclusion	203	
600	#####			Moist Yellow/White Silty Clay	183	55
900	#####				160	41
1200	#####				203	
1500	#####			Moist Orange/Yellow/White Silty Clay	203	
1800	#####			Moist Crumbly Orange/White/Pink Silty Clay	191	67
2100	#####				203	
2400	#####			Moist Orange/White Silty Clay	203	
2700	#####			White Mottled Pink/Orange/Black Silty Clay Rock Inclusion	180	70
	#####			Pink/White/Orange Mottled Black Silty Clay Rock Inclusion	203	
3000	#####			White/Orange/Pink Silty Clay		
3300						
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Drill Methods	50-100 mm hand auger	Note: 1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location. 2. UTP - Unable to penetrate.
Test Location	Refer to site plan	
Test Date	16/03/2021	
Inspector	TY & DF	

BOREHOLE LOG AH6

Project: Proposed New Dwelling
Client: Glenn Owen
Job No: 21-020



Graphic Symbol	@@@	#####	%%%	000	####	■	DDDD	In situ shear vane reading	■
	FILL	CLAY	SILT	SAND	GRAVEL	TOP SOIL	Organic Soil	Remoulded shear vane reading	■
								Scale Penetrometer	●

Depth (mm)	Graphical Log	GWL	Soil Type	Field Description	Undrained Shear Strength (kPa)	Scale Penetrometer (blows/300mm)
300	■	Ground Water Level not Intercepted	Marua Light Brown Clay Loam	Dark Brown Dry Topsoil	203	
600	#####			Yellow Silty Clay Mottled White	186	
900	#####				203	
1200	#####				203	
1500	#####			Crumbly Moist White Silty Clay Mottled Brown/Orange	203	
1800	#####			Pink/White Silty Clay Mottled Brown	194	
2100	#####			Pink/Orange/White Silty Clay	200	
2400	%%%			Crumbly Orange/White/White Clayey Silt	0	
2700	%%%				203	
3000	%%%			Pratially Silty Clay, Partially Clayey Silt		
3300						
3600						
3900						
4200						
4500						
4800						
5100						
5400						

Drill Methods	50-100 mm hand auger	Note: 1. The subsurface data described above has been determined at a specific borehole location. The data will not identify any variations away from the location. 2. UTP - Unable to penetrate.
Test Location	Refer to site plan	
Test Date	16/03/2021	
Inspector	TY & DF	



Location: Lot 12 Wiroa Station

Client: Glenn Owen

Job No: 21-020

Tested by: TY

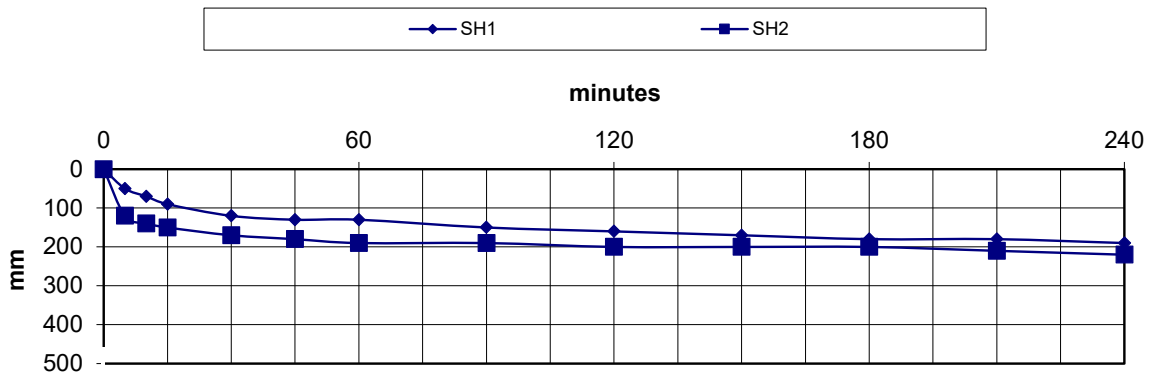
SOAKAGE TEST RESULTS

GWL:

Date: 16/03/2021

Soak hole No:	Start	(mins)											
	0	5	10	15	30	45	60	90	120	150	180	210	240
SH1	0 300	50	70	90	120	130	130	150	160	170	180	180	190
SH2	0 300	120	140	150	170	180	190	190	200	200	200	210	220
SH3	0												
SH4													
SH5													
SH6													

TP58 SOAKAGE TEST



PRODUCER STATEMENT

DESIGN: ON-SITE EFFLUENT DISPOSAL SYSTEM (T.P.58)

ISSUED BY: PRADEEP KUMAR *(Approved qualified design professional)*

TO: Glenn Owen *(Owner)*

TO BE SUPPLIED TO: FAR NORTH DISTRICT COUNCIL

PROPERTY LOCATION: Lot 12 Wiroa Station

LOT: LOT 12..... DP: 497523.....

VALUATION NUMBER:

TO PROVIDE: Design an on-site effluent disposal system in accordance with Technical Publication 58 and provide a schedule to the owner for the system maintenance.

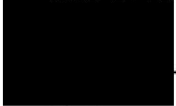
THE DESIGN: has been in accordance with G13 (Foul Water) G14 (Industrial Liquid Waste) B2 (durability 15 years) of the Building Regulations 1992.

As an independent approved design professional covered by a current policy of Professional Indemnity Insurance (Design) to a minimum value of \$2000,000.00,

I BELIEVE ON REASONABLE GROUNDS that subject to:

- (1) The site verification of the soil types.
- (2) All proprietary products met the performance requirements.

The proposed design will meet the relevant provisions of the Building Code and 8.15 of The Far North District Council Engineering Standards.



_____*(Signature of approved design professional)*

BE hons, NZCE, MIPENZ, IntPE, CPEng *(Professional Qualifications)*

IPENZ No. 203058 *(Licence Number or Professional Registration Number)*

Address: Level 1 ANZ Bank Building, 90 Kerikeri Road, Kerikeri,
New Zealand

Date: November 2020
Telephone: 09 407 3255
Email: teampk@pkengin.co.nz

Note: This form is to accompany every application for a Building Consent incorporating a T.P.58. Approval as a design professional is at councils discretion.

On-site Wastewater Disposal Site Evaluation Investigation Checklist

PART A: CONTACT DETAILS

1. Applicant Details:

Applicant Name	Glenn Owen
Company Name	n/a

Property Owners Name(s)	Glenn Owen

Nature of Applicant*	Owner
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(* i.e. Owner, Lessee, Prospective Purchaser, Developer)

2. Consultant/Site Evaluator Details

Consultant/Agent Name	PK Engineering Ltd		
Site Evaluator Name			
Postal Address	P O Box 464, Kerikeri.		
Phone Number	Business	09 4073255	Private
	Mobile		Fax
Name of Contact Person	PK		
E-mail Address	teampk@pkengin.co.nz		

OFFICE USE ONLY

3. Are there any previous existing discharge consents relating to this proposal or other waste discharge/disposal on the site?

yes		no	
-----	--	----	--

if yes, give reference numbers and description

--

4. List any other consents in relation to this proposal site and indicate whether or not they have been applied for or granted.

If so, specify application details and consent No:

(e.g. Land use, Water intake, Subdivision, Earthworks, or Stormwater Consents)

PART B: PROPERTY DETAILS

1. Property for which this application relates:

Physical Address of Property	Wiroa Station Lot 12		
Territorial Local Authority	FAR NORTH DISTRICT COUNCIL		
Regional Council	NORTHLAND REGIONAL COUNCIL		
Legal Status of Activity	<input checked="" type="checkbox"/> Permitted	<input type="checkbox"/> Controlled	<input type="checkbox"/> Discretionary
Relevant Regional Rules (Note 1)			
Total Property Area (m ²)	3,993		
Map Grid Reference of Property if known			

2. Legal description of land (as shown on Certificate of Title)

Lot No.	12	DP No.	497523	CT No.	
Other (specify)					

Please ensure copy of Certificate of title is attached

PART C: SITE ASSESSMENT - SURFACE EVALUATION

(Refer TP58 - Sn 5.1 General Purpose of Site Evaluation and Sn 5.2.2(a) Site Surface Evaluation)

Note: Underlined terms defined in Table 1, attached

1. Has a relevant property history study been conducted?

yes		no	
-----	--	----	--

if yes please specify the findings of the history study, and if not please specify why this was not considered necessary.

Previously undeveloped site

2. Has a Slope Stability Assessment been carried out on the property?

yes		no	
-----	--	----	--

If No, why not?

Our site investigations indicate stable gently(5 - 7degrees) sloping site in the area for wastewater disposal Refer to P K Engineering site suitability report

If yes, please give details of report (and if possible, please attach report):

Author	
Company/Agency	
Date of Report	

3. Site Characteristics (see table 1 attached):

Provide descriptive details below:	
Performance of Adjacent Systems:	Not established
Estimated Rainfall and Seasonal Variation:	Information available from N.I.W.A. MET RESEARCH
Annual Rainfall:1800-2000mm	Annual Potential Evapotranspiration: 1200mm
Typical sub-tropical climate - short duration intense Rainfalls	
Vegetation/Tree Cover:	
Grass covered and few pohutukawa trees	
Slope Shape: (please provide diagrams)	
Slope Angle: 6-17 degrees	
Surface Water Drainage Characteristics:	
Slow draining clay loam	
Flooding Potential:	yes no
If yes, specify relevant flood levels on appended site plan, i.e. 1 in 5 years and/or 20 year and/or 100 year return period flood level, relative to disposal area.	
Surface Water Separation:	
15m+	
Site Characteristics: or any other limitation influencing factors	
NIL	

4. Site Geology

Check Rock Maps

The local soil type has been classified as Marua light brown clay loam		
The underlying rock has been classified asinterbedded sandstone and mudtone (greywacke and argillite)		
geological map reference number	Department of Lands and Survey NZMS 29C	(Q04/05)

5. What Aspects does the proposed disposal system face?

North		West	
North-West		South-West	
North-East		South-East	
East		South	

6. Site Clearances, (Indicate on site plan where relevant)

Check Council Requirements

Separation distance from	Treatment Separation Distance	Disposal Field Separation Distance
Boundaries	1.5m minimum	1.5m minimum
Surface Water, rivers, creeks, drains etc.	15m minimum	15m minimum
Groundwater		600mm minimum
Stands of Trees/Shrubs		
Wells, water bores	N/A	N/A
Embankments /retaining walls	3m minimum	3m minimum
Buildings	3m minimum	3m minimum
Other (specify)		

PART D: SITE ASSESSMENT - SUBSOIL INVESTIGATION

(Refer TP58 - Sn 5.1 General Purpose of Site Surface Evaluation, and Sn 5.2.2(a) Site Surface Evaluation and Sn 5.3 Subsurface Investigations)

Note: Underlined Terms Defined in Table 2, attached

1. Please identify the soil profile determination method:

Test Pit		Depth		m	No of test pits	
Bore Hole		Depth	3	m	No of Bore Holes	6
Other (specify):						

Soil Report attached?

yes		no	
------------	--	----	--

2. Was fill material intercepted during the subsoil investigation?

yes		no	
------------	--	-----------	--

If yes, please specify the effect of the fill on wastewater disposal

3. percolation testing (mandatory and site specific for trenches an soil type 4 to 7)

As per TP58 guidelines for percolation tests

test report attached?

yes		no	
------------	--	----	--

4. are surface water interception/diversion drains required?

yes		no	
------------	--	----	--

Shown on attached site plan

4a. Are subsurface drains required

yes		no	
------------	--	-----------	--

Shown on attached site plan

5. Please state depth of the seasonal water table:

Winter	3	m	Measured		Estimated	
Summer	>3.5	m	Measured		Estimated	

6. Are there any potential stormwater short circuit paths?

yes		no	
-----	--	----	--

If the answer is yes, please explain how these have been addressed

7. Based on the results of subsoil investigation above, please indicate the disposal field soil category (refer TP58 Table 5.1)

Is Topsoil Present?	yes	no	If so, Topsoil Depth?	200	mm
---------------------	-----	----	-----------------------	-----	----

Soil Category	Description	Drainage
1	Gravel, Coarse sand	Rapid draining
2	Coarse to medium sand	Free draining
3	Medium-fine and loamy sand	good drainage
4	Sandy loam, loam and silt loam	Moderate drainage
5	sandy clay-loam, clay loam and silty clay loam	Moderate to slow drainage
6	Sandy clay, non-swelling clay and silty clay	slow draining
7	swelling clay, grey clay, hardpan	poorly or non-draining

Reasons for placing in stated category results of bore holes and percolation tests.

PART E: DISCHARGE DETAILS

1. Water supply source for the property:

Rainwater (roof collection)	Yes
Bore/well	
Public Supply	

2. Calculate the maximum daily volume of wastewater to be discharged, unless accurate water meter readings are available (Refer Table 6.1 & 6.2):

Number of Bedrooms	4	
Design Occupancy	6	(number of people)
Per capita Wastewater Production	180	(litres per person per day)
Other - Specify		
Total Daily Wastewater Production	1080	(litres per day)

3. Do you propose to install:

a) Full Water Conservation Devices?	Yes	No
b) Water Recycling - what %?	%	No

The disposal area is based on a 3 bedroom dwelling, total 5 persons (800 litres/day) using roof water tank supply type B water source for Households with dual flush toilets and standard fixtures.

4. Is Daily Wastewater Discharge Volume more than 2000 Litres:

no

if answer to above is yes, an NRC wastewater discharge permit may be required

5. Gross Lot Area to Discharge Ratio:

Gross Lot Area	3,993	m ²
Total Daily Wastewater Production	1080	(Litres per Day)
Lot Area to Discharge Ratio	3.70	

7. Does this proposal comply with the Northland Regional Council Gross Lot Area to Discharge Ratio of Greater than 3

yes

8. Is a Northland Regional Council Discharge Consent Required?

no

PART F: PRIMARY TREATMENT (refer TP58 Section 7.2)

1. Please indicate below the no. and capacity (litres) of all septic tanks including type (single/dual chamber grease traps) to be installed or currently existing: if not 4500 dual chambered explain why not

No. of Tanks	Type of Tank	Capacity of Tank (Litres)
	Total Capacity	

2. Is a Septic Tank Outlet Filter to be Installed?

Yes No

If Yes, please state the type

PART G: SECONDARY AND TERTIARY TREATMENT (refer TP58 Section 7.3, 7.4, 7.5 & 7.6)

1. Please indicate the type of additional treatment, if any, proposed to be installed in the system:

Secondary Treatment			
Home Aeration Plant			
Commercial Aeration Plant			
Intermediate Sand Filter			
Recirculating Sand Filter			
Recirculating Textile Filter			
Clarification Tank			
Tertiary Treatment			
Ultraviolet Disinfection			
Chlorination			
Other	Specify <table border="1" style="display: inline-table; vertical-align: middle;"><tr><td> </td></tr><tr><td> </td></tr></table>		

PART H: LAND DISPOSAL METHOD (refer TP58 Section 8)

1. Please indicate the proposed loading disposal method:

Gravity
Dosing Siphon
Pump

2. Is a high water level alarm being installed in pump chambers?

yes n/a no n/a

if not to be installed, explain why

3. If a pump is being used, please provide the following information:

Total Design Head	TBC	(m)
Pump Chamber Volume	TBC	(Litres)
Emergency Storage Volume	TBC	(Litres)

4. Please identify the type(s) of land disposal method proposed for the site (refer TP58 Sections 9 & 10)

Surface Dripper Irrigation
Sub-surface Dripper Irrigation
Standard Trench
Deep Trench
Mound
Evapo-transpiration Mounds
Other (please specify)

5. Please Identify the loading rate you propose for the option selected in part H, Section 4 above stating reasons for selecting this loading rate:

Loading Rate	Basal	(Litres/m ² /day)
	Areal	3 (Litres/m ² /day)
Disposal Area	Design	360 (m ²)
	Reserve	108 (m ²)

Explanation (Refer TP58 Sections 9 & 10)

Conservative loading rate for site.

6. What is the available reserve wastewater disposal area (Refer TP58 Table 5.3)

Reserve Disposal Area (m ²)	108
Percentage of Primary Disposal Area (%)	30%

7. Please provide a detailed description of the design and dimensions of the disposal field and attach a detailed plan of the field relative to the property site:

Description and Dimensions of Disposal Field:

360 lineal metres of subsurface PCDI irrigation lines with emitters at 1m centres and lines spaced 1m apart.
Irrigation lines to be firmly fixed to the ground and covered with minimum 50 mm bark/topsoil
Area to be densely planted with suitable high evapotranspiration plant species
Plan Attached <input checked="" type="checkbox"/> Yes
if not explain why not

PART I: MAINTENANCE & MANAGEMENT (Refer TP58 section 12.2)

1. Has a maintenance agreement been made with the treatment and disposal system suppliers?

<input type="checkbox"/> yes	<input checked="" type="checkbox"/> Not known	<input type="checkbox"/> no	<input type="checkbox"/> Not known
Name of Suppliers tbc			

PART J: ASSESSMENT OF ENVIRONMENTAL EFFECTS

1. Is an assessment of environmental effects (AEE) included with this application?

(refer TP58 Section5. Ensure all issues concerning potential effects addressed)

<input type="checkbox"/> yes	<input checked="" type="checkbox"/> no
If yes, list and explain possible effects	


PART K: IS YOUR APPLICATION COMPLETE?

1. In order to provide a complete application you have to remember to:

Fully Complete this Assessment Form	Yes
Include a Location Plan and Site Plan (with scale bars)	Yes
Include a Property Title (Certificate of Title)	
Attach an Assessment of Environmental Effects (AEE)	

2. Declaration

I hereby certify that to the best of my knowledge and belief, the information given in this application is true and complete.

Name	Pradeep Kumar	Signature	
Position	Professional Chartered Engineer	Date	

Note

Any alteration to the site plan or design after approval will result in non compliance.

Plant Species

Astelia grandis

Wide olive green leaves with a silvery sheen beneath and reddish purple midribs, the clump can be up to 2m high. It is an inhabitant of swampy ground from lowland to montane altitudes throughout the North Island and to Southern Canterbury. Preferring a damp soil, it is able to withstand permanently wet feet.

1.5-2m

Alocasia nigrescens (Black Taro)

Large black green blunt arrow shaped leaves on dark purple stalks from loose clumps in damp part shaded areas.

0.5/0.5m

Apodasmia similis (Oioi)

An extremely elegant native reed with blueish green foliage with brownly bract at the joins. Grows up to 1m and has a creeping rhizome. Thrives in marshlands and estuaries. Will grow in most conditions. Is very hardy.

1.5/2.0m

Arthropodium Cirratum (Rengarenga Lily)

An attractive perennial plant, known as the Rengarenga Lily. A clump forming plant with drooping fleshy strap leaves. Masses of white starry flower heads throughout summer. It can grow in a wide range of conditions, including coastal and shade. Will not tolerate severe frosting.

1.0/1.0m

Blechnum Novae Zealandiae

An attractive creeping fern with drooping fronds. New growth is always reddish. An easy to grow fern which looks most attractive when grown on a bank, or as a ground cover, provided there is ample moisture.

0.8-1m

Carex Dispacea

This sedge is densely tufted. The narrow leaves are light green and make an attractive contrast to darker foliage. In the garden it should have a sunny or semi-shaded site. Prefers damp conditions.

0.7/0.6m

Carex dissita

An attractive sedge with an arching habit. The ribbed leaves are a fresh bright green and contrast with the very dark seed heads that are carried on the stems. It can be grown in quite shady areas, such as under trees, or in an open situation, but it requires a moist soil.

0.7/0.7m

Carex maorica

This sedge grows into upright clumps with ribbed light green leaves. The foliage is fragile and can snap easily making it an unattractive garden specimen. It is best suited to environmental plantings.

0.7/0.6m

Carex secta

This is a common plant of swampy areas throughout New Zealand. It forms large tussocks with weeping yellowish green leaves. At its best beside water, it will grow in any moist soil in sun or semi-shade. Old specimens in moist to wet sites often form thick sturdy trunks from the matted roots and old stem bases.

1.0/0.6m

Carex tenuiculmis

This species is a common plant of swampy areas it is of a reddish bronze colour and is at its best beside water. It will grow in any moist soil in the sun or semi-shade. This species does not form a trunk.

0.7/0.6m

Carex virgata

A vigorous sedge that has narrow arching bright green leaves. It is a useful species for waterside planting and very damp soils but will also grow on dry sites and in sun or semi-shade.

0.7/0.6m

Carpodetus serratus (Marble leaf)

An attractive tree with upright spreading branches, found throughout New Zealand on forest margins and stream banks. The juvenile form has tangled growth.

3-5m

Cordyline australis (Cabbage Tree)

One of NZs best known and most distinctive plants. The young tree has long narrow, mid green leaves which arise directly from a single trunk, having an effect similar to ornamental grasses. The creamy and fragrant flowers are a stunning feature, appearing in large densely packed panicles during late spring and summer. An excellent plant for landscaping, being suitable for group and specimen planting.

7.5/2.0m

Cordyline Midnight Star

A variety of the red or maroon Cabbage Tree. A good selection for a visual impact within the garden.

7.5/2.0m

Cortaderia fulvida (Toi toi)

This is one of the smaller toetoe, with a height of 1.5 – 2.5m when flowering. The blueish green leaves are shiny beneath and up to 4 cm wide and 2m long. Its golden flower plumes sometimes have a pinkish tinge.

2.0/2.0m

Coprosma Rugosa

A tough colourful and interesting alpine shrub with very tangled bright orange new growth. Bears berries attractive to birds. Can be clipped into an interesting hedge or allowed to grow freely will become a medium sized shrub.

1.5-3m

Coprosma Grandfolia

It is a good coloniser or shelter species tolerating a wide range of soils, and shade to full sun. Its clusters of orange/red fruits are attractive to birds, though to have fruits you may need to grow several, as coprosma plants bear flowers of only one sex. Flowers appear in late autumn and winter, and are pale but quite conspicuous.

up to 6m

Cyperus ustulus

This is a plant of damper areas. It is very vigorous, growing into a clump with deep olive-green, very sharp edged leaves. The flowering stems are up to 1.2 m or more, with a ruff of leafy bracts below the spikelets. A useful plant for revegetation in wet areas, but it is generally considered too vigorous for most garden situations.

0.8/1.2m

Dianella King Alfred

An attractive form of Dianella. This selected form has an ability to survive a wide range of conditions. It has a small flax like appearance.

0.8/0.6m

Dianella nigra

This is a hardy tufted plant resembling a small fine leaved flax. It grows to about 60cm high and bears insignificant flowers from late spring to summer. These are followed by the plants most ornamental feature, its berries. In the best form these are a glossy dark blue, but can vary to quite pale colours. Grows in sun or semi-shade and in a range of soil conditions. Looks good planted as a ground cover.

0.6/0.6m

Elatostema Rugosum

Naturally inhabiting damp shady streamsides and gullies; it has dark stems with pinnate leaves that are rough and wrinkled and have serrated margins.

The leaves are dark bronzy green with purple tonings. An interesting foliage plant that makes a very good groundcover for a wet shady position.

0.5-1m

Fuchsia Excorticata

The largest *Fuchsia* in the world. A small tree with stunning orange-brown papery bark and interesting twisted shape. Purple-red flowers early spring to summer. The edible fleshy Konini fruit from January to March is sweet and tasty. It was made into jams and desserts by early settlers.

Attractive to bees. Prefers a moist soil. Deciduous. Hardy.

5m

Hebe Stricta

Hebe stricta is an open branching shrub found throughout New Zealand. Its long narrow leaves are deep green and glossy. The white mauve-tinged flowers appear on 7-15cm spikes during summer. Pruning is important to maintain a good shape. It is also a hardy landscape plant. Depth of colour and handsome foliage places this hebe in a class of its own.

1-3m

Juncus Gregiflorus

A rush of swampy areas throughout New Zealand. It grows into a tight clump 1-2m tall with bright green stems. It is ideal for revegetation of wetlands and riparian areas and is useful for damp landscaping areas.

1-2m

Leptospermum Burgundy Queen (Flowering Ti Tree)

Exquisite double flowers of deep burgundy red late winter and spring, Dark reddish bronze foliage.

2.0/1.5m

Libertia Grandiflora

Larger flowered species found in damp situations. Brownish green linear leaves to 90x1.5cm tapering to a point. Attractive white 3-5 cm flowers with olive or bronze keel are carried on 90cm lightly branched stems in early summer, followed in autumn by decorative golden brown seed capsules.

0.9/0.7m

Leptospermum scoparium

It is a primary species which provides a natural habitat that allows other New Zealand native species to become established. It naturally dies out after 20-25 years. It is often found growing at the margins of a mature forest. Manuka has small narrow sharply pointed dark green leaves, and bears masses of small white or pale pink flowers from spring into early summer. It is tolerant of practically any conditions and is used in most revegetation projects nation wide.

4-8m

Libertia peregrinans

Simple but interesting plant. Sword like leaves to 25-2cm, brownish green or khaki with well defined orange yellow midrib, tapering to a sharp point, arranged in fans. The plant is sustained by underground rhizomes from which new fans of leaves appear. Small white 3 peatled flowers on short stems in spring, followed by bronze yellow capsules.

0.3/1.0m

Melicytus Ramiflorus

The pointed oval leaves are a bright green, with fresh growth being quite soft and an even brighter green. The bark is grayish white and becomes attractively mottled with lichens. The tiny flowers are produced abundantly in spring and are followed by numerous purple black berries.

5m

Phormium Tenax

The foliage is khaki green coloured and up to 3m long. The nectar from the flowers, borne on tall slender flower stalks, is a great attractor to native birds such as Tui. Harakeke is abundant throughout New Zealand particularly in wetland areas. Perfect for revegetation, riparian plantings, and for landscaping.

2-3m

Phormium Surfer

Flax. An excellent compact dwarf clump forming perennial, producing olive green weeping leaves with bronze margins. Excellent all round garden specimen growing anywhere from dry to damp conditions. Withstands strong coastal winds and is frost hardy. Use in mass landscape with other natives.

0.5/0.5m

Schefflera Digitata

The large deep green, rather soft leaves are composed of up to 9 oval leaflets arising from a single point. They get progressively bigger as they radiate outwards, with the biggest leaflet being up to 20cm. The margins are finely serrated and tinged with pinkish red, as are the veins and midribs. Large panicles of tiny greenish white flowers hang below the leaves in summer and are followed by white to purple berries. Pate should be given a shady and sheltered position in good moist soil. Could be used to good effect in a tropical planting or as a background plant.



FAR NORTH DISTRICT COUNCIL

Pursuant to a Transfer of Powers from Northland Regional Council pursuant to section 33 of the Resource Management Act 1991.

REGIONAL WATER & SOIL PLAN FOR NORTHLAND

DECISION ON RESOURCE CONSENT APPLICATION (DISCHARGE)

Resource Consent Number: 2170516-RMADIS

Pursuant to a transfer of powers from the Northland Regional Council under section 33 of the Resource Management Act 1991 (the Act), and pursuant to section 104B of the Act, the Far North District Council hereby grants resource consent to:

Treat and dispose of wastewater by way of secondary treatment from the Caretakers Shed/Accommodation, Wine Cellar and Pavilions 1&2 at Wiroa Station located within the General Coastal zone.

Subject Site Details

Address: 40 McKenzie Road, Kerikeri 0294
Legal Description: Lot 14 DP 497523
Certificate of Title reference: CT-735035

Pursuant to Section 108 of the Act, this consent is issued subject to the following conditions:

1. The consent holder shall ensure that the quantity of wastewater discharged from the system shall not exceed 2900 litres in any consecutive 24 hour period.
2. The consent holder shall ensure that the treatment and disposal system is constructed generally in accordance with the recommendations contained within the design report and overall site plan (sheet 1) prepared by PK Engineering, Job No 16-76 dated September 2016.
3. The consent holder shall provide evidence that a Building Code of Compliance Certificate has been obtained for related Building Consent 2017-119 and any subsequent amendments for the installation of the wastewater treatment and effluent disposal system within 4 weeks of the commissioning of plant.
4. The consent holder shall in conjunction with obtaining Building Code of compliance Certificate, submit to the Council's consents engineer or designate Final "as built" plans that show the siting of all components of the wastewater treatment and disposal system. For the purpose of this Condition, the Consent Holder shall ensure that the "as built" plans are drawn to scale and provide sufficient detail for a Council monitoring officer to locate all features identified on the plans.
5. The consent holder shall for the duration of the consent ensure that no ponding of wastewater within, or surface runoff of any contaminants from the wastewater treatment areas as a result of the exercise of this consent.

6. The consent holder shall for the duration of the consent ensure that stormwater from all roofed, road and paved areas is diverted away from the wastewater treatment and disposal areas. In addition, stormwater overland flow from surrounding areas shall be prevented from entering the treatment system.
7. The consent holder shall for the duration of the consent ensure that a written record of all maintenance undertaken on the wastewater treatment system and forward a copy of these records to the Council immediately on written request by the council.
8. The consent holder shall install prior to the commissioning of the onsite wastewater plant and maintain for the duration of the consent a meter with an accuracy of $\pm 5\%$ on the outlet from the wastewater treatment system to the TET beds. This meter shall be used to measure the quantity of wastewater discharged.
9. The consent holder shall keep written records for the duration of the consent of the quantity of treated wastewater discharged on a weekly basis during the months of November, December, January and February, March and monthly for each other month of the year. A copy of the written records for the previous year (1 April to 31 March) shall be forwarded to the Council's Resource Consents Monitoring Officer or designate by 1 May each year, or immediately on written request by the Council.
10. The consent holder shall, for the purposes of adequately monitoring the consents as required under Section 35 of the Act, on becoming aware of any contaminant associated with the consent holder's operations escaping otherwise than in conformity with these consents:
 - (i) Immediately take such action, or execute such work as may be necessary, to stop and/or contain such escape;
 - (ii) Immediately notify Council by telephone of an escape of contaminant;
 - (iii) Take all reasonable steps to remedy or mitigate any adverse effects on the environment resulting from the escape; and
 - (iv) Report to Council in writing within one week on the cause of the escape of the contaminant and the steps taken or being taken to effectively control or prevent such escape.
11. The consent holder shall as a minimum, for the duration of the consent ensure all wastewater receives secondary treatment prior to being disposed of to TET Beds.
12. The consent holder shall ensure that an audible and visual high wastewater level alarm system is installed and maintained within all wastewater pump chambers. In addition, there shall be at least 24 hours emergency wastewater storage capacity within the treatment system above the level at which the high wastewater level alarm is activated.
13. The Consent holder shall for the duration of the consent ensure that the Maintenance, Monitoring and Irrigation plan, produced by PK Engineering, dated August 2017, Job No 16-76 is followed in general accordance with the recommendations within the Report and Overall Site Plan, dated Sept 2016 Sheet 1 produced by PK Engineering ref 16-76.
14. The consent holder shall enter into a maintenance contract with a suitably qualified and experienced person to maintain the wastewater treatment system so that it works effectively at all times. At a minimum, all maintenance shall be in accordance with the recommendations of the Operation and Maintenance Manual prepared by the system supplier.
15. In accordance with section 128 of the Resource Management Act 1991, the Far North District Council may serve notice on the consent holder of its intention to review those

ongoing conditions of this consent that are subject to consent notices, annually during the month of July . The review may be initiated for any one or more of the following purposes:

- (i) To deal with any adverse effects on the environment that may arise from the exercise of the consent and which it is appropriate to deal with at a latter stage, or to deal with any such effects following assessment of the result of the Far North District Council of duly delegated Council Officer monitoring the state of the environment in the area.
- (ii) To require the adoption of the best practicable option to remove or reduce any adverse effect on the environment.
- (iii) To deal with any inadequacies or inconsistencies the Far North District Council or duly delegated Council Officer considers there to be, in the conditions of the consent, following the establishment of the activity the subject of this consent.
- (iv) To deal with any material inaccuracies that may in future be found in the information made available with the application (notice may be served at anytime for this reason).
- (v) The consent holder shall meet all reasonable costs of any such review.

16. This consent shall be valid for a period of 15 years from the date of issue.

Advice Notes

1. Archaeological sites are protected pursuant to the Historic Places Act 1993. It is an offence, pursuant to the Act, to modify, damage or destroy an archaeological site without an archaeological authority obtained from the Historic Places Trust. Should any site be inadvertently uncovered, the procedure is that work should cease, with the Trust and local iwi consulted immediately. The New Zealand Police should also be consulted if the discovery includes koiwi (human remains). A copy of the Historic Places Trust's Accidental Discovery Protocol (ADP) is attached for your information. This should be made available to all person(s) working on site.
2. During the assessment of your application it was noted that a private Land Covenant exists on your property. Council does not enforce private land covenants, and this does not affect Council approving your plans. However, you may wish to get independent legal advice, as despite having a resource consent from Council, the private land covenant can be enforced by those parties specified in the covenant.

Reasons for the Decision

1. Description of the Activity:

To install an on-site wastewater treatment system in accordance with recommendations made in the report titles '*Wastewater Disposal Report*' prepared by PK Engineering dated September 2016 and referenced 16-76. Specifically, the report recommends an Eloy Oxyfix FIXEUC90 treatment plant consisting of two 6000 litre tanks discharging to disposal fields and six Total Evapo-transpiration mounds.

2. District Plan Rules Affected:

The proposed activity does not meet the requirements of the permitted activity rule 15.1.5(f) of the Regional Water & Soil Plan for Northland and is a discretionary activity in accordance with Rule 15.3 of the Regional Water and Soil Plan.

3. Principal Issue[s] in Contention and Main Findings on those Issues:

As the system is not designed in accordance with the standards prescribed in 15.1.4(f) and is not commonly used in this environment, there were concerns regarding the suitability and effectiveness of the system. However, it is considered

that the proposed monitoring and maintenance requirements will ensure that any inadequacies in terms of functionality of the system are identified. Should functionality issues establish, the review condition will enable Council to address any resulting adverse effects via amended/further conditions of consent..

4. Relevant Statutory Provisions:

Policy Statements & Plan Provisions:;

The Northland Regional Water & Soil Plan:

Relevant objectives and policies of the Regional Water and Spoil Plan for Northland have been assessed, Section 6 (Maori Culture and Traditions) was considered to be of particular relevance given the proximity of the site to the CMA.

The loss of mauri of water bodies and the loss of tradition Maori fisheries from the adverse effects of activities such as sewage discharges is identified as being an issue within the region.

Iwi were circulated a copy of the application as an interested party, after consultation with the applicant it was established that there were no concerns in regards to the proposed activities.

The proposal is considered consistent with the purposes of the relevant objectives and policies of the Regional Water and Soil Plan for Northland.

Part 2 Matters

The Council has taken into account the purpose & principles outlined in sections 5, 6, 7 & 8 of the Act. It is considered that granting this resource consent application achieves the purpose of the Act.

5. Notification and Affected Parties

The Council has determined (by way of an earlier report and resolution) that the adverse environmental effects associated with the proposed activity are no more than minor and that there are no affected persons or affected order holders.

6. Overall Evaluation

Overall, it is considered that pursuant to conditions impose, the proposal will have no more than minor effects on the environment.

The proposal is consistent with the objectives and policies of the Regional Water and Soil Plan for Northland, and with the sustainable management purpose of the Resource Management Act.

Approval

This resource consent has been prepared by Alice Hosted Resource Planner and is granted under delegated authority (pursuant to section 34A of the Resource Management Act 1991) from the Far North District Council by:

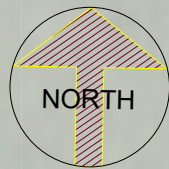

Pat Killalea, Principal Planner

26th September 2017

Date

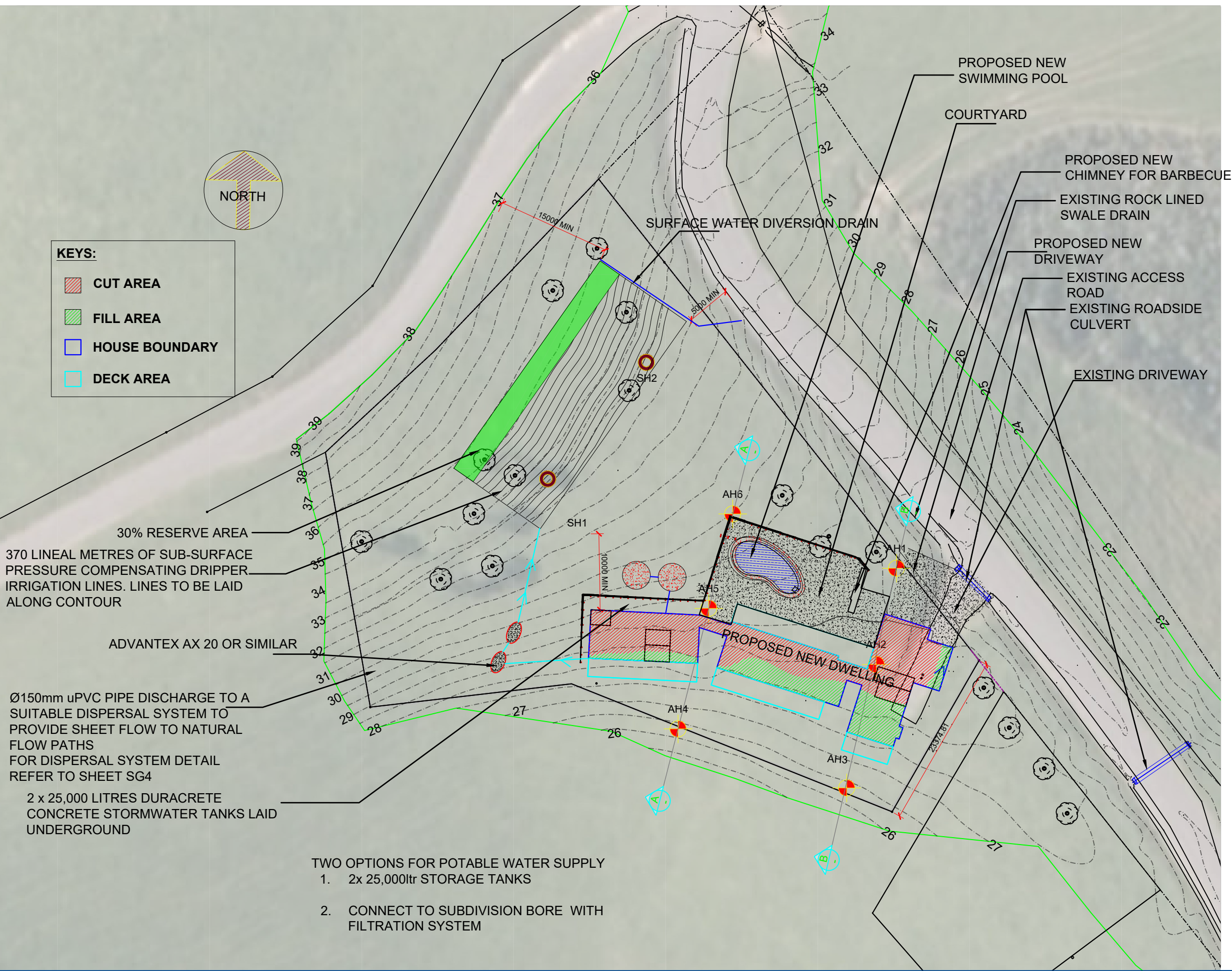
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KEYS:

- CUT AREA
- FILL AREA
- HOUSE BOUNDARY
- DECK AREA



30% RESERVE AREA
 370 LINEAL METRES OF SUB-SURFACE PRESSURE COMPENSATING DRIPPER IRRIGATION LINES. LINES TO BE LAID ALONG CONTOUR

ADVANTECH AX 20 OR SIMILAR

Ø150mm uPVC PIPE DISCHARGE TO A SUITABLE DISPERSAL SYSTEM TO PROVIDE SHEET FLOW TO NATURAL FLOW PATHS FOR DISPERSAL SYSTEM DETAIL REFER TO SHEET SG4

2 x 25,000 LITRES DURACRETE CONCRETE STORMWATER TANKS LAID UNDERGROUND

- TWO OPTIONS FOR POTABLE WATER SUPPLY
1. 2x 25,000ltr STORAGE TANKS
 2. CONNECT TO SUBDIVISION BORE WITH FILTRATION SYSTEM

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		ISSUED TO CLIENT	



LEVEL 1, ANZ BANK
 90 KERIKERI ROAD, KERIKERI
 PO BOX 464, KERIKERI
 Phone Number: 09 407 3255
 Email: teampk@pkengin.co.nz

CLIENT: GLENN OWEN
 WIROA LOT 12
 TE TII

SITE: WIROA LOT 12
 LOT 12 DP 497523

TITLE: PROPOSED NEW DWELLING
 SITE PLAN

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:500	\	TY	PK
PROJECT NO:	DRAWING NO:	REVISION:	
21-020	A3/SG1	0	

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 Phone Number: 09 407 3255
 Email: teampk@pkengin.co.nz

CLIENT:	GLENN OWEN WIROA LOT 12 TE TII
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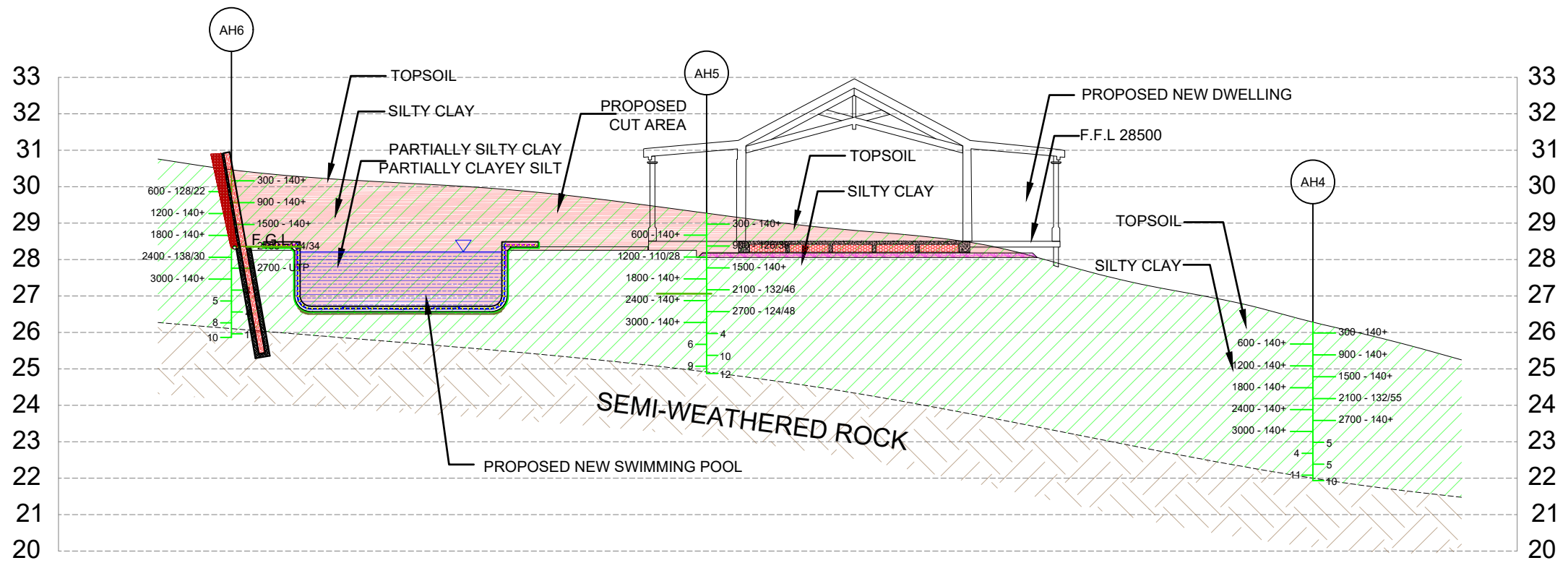
SITE:	WIROA LOT 12 LOT 12 DP 497523
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TITLE:	PROPOSED NEW DWELLING WASTEWATER PLAN
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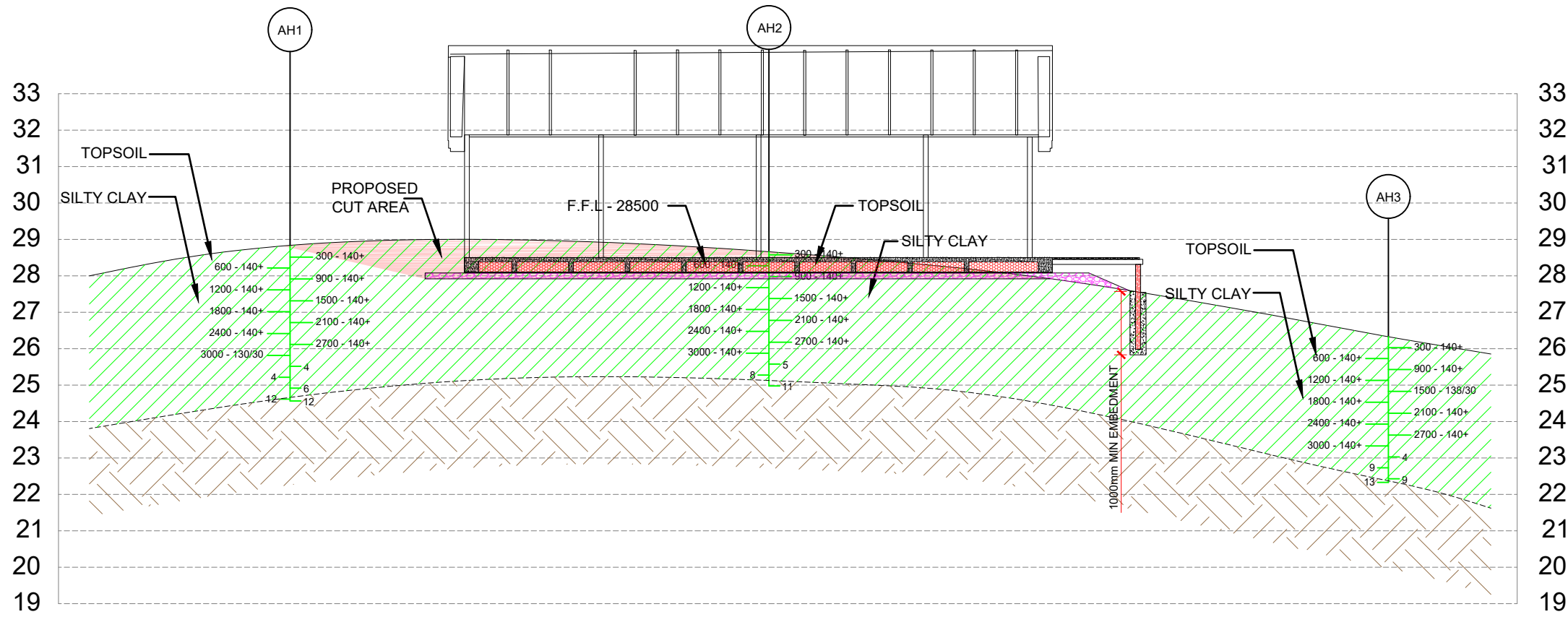
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CROSS-SECTION A - A
SCALE 1:150 @A3



CROSS-SECTION B - B
SCALE 1:150 @A3

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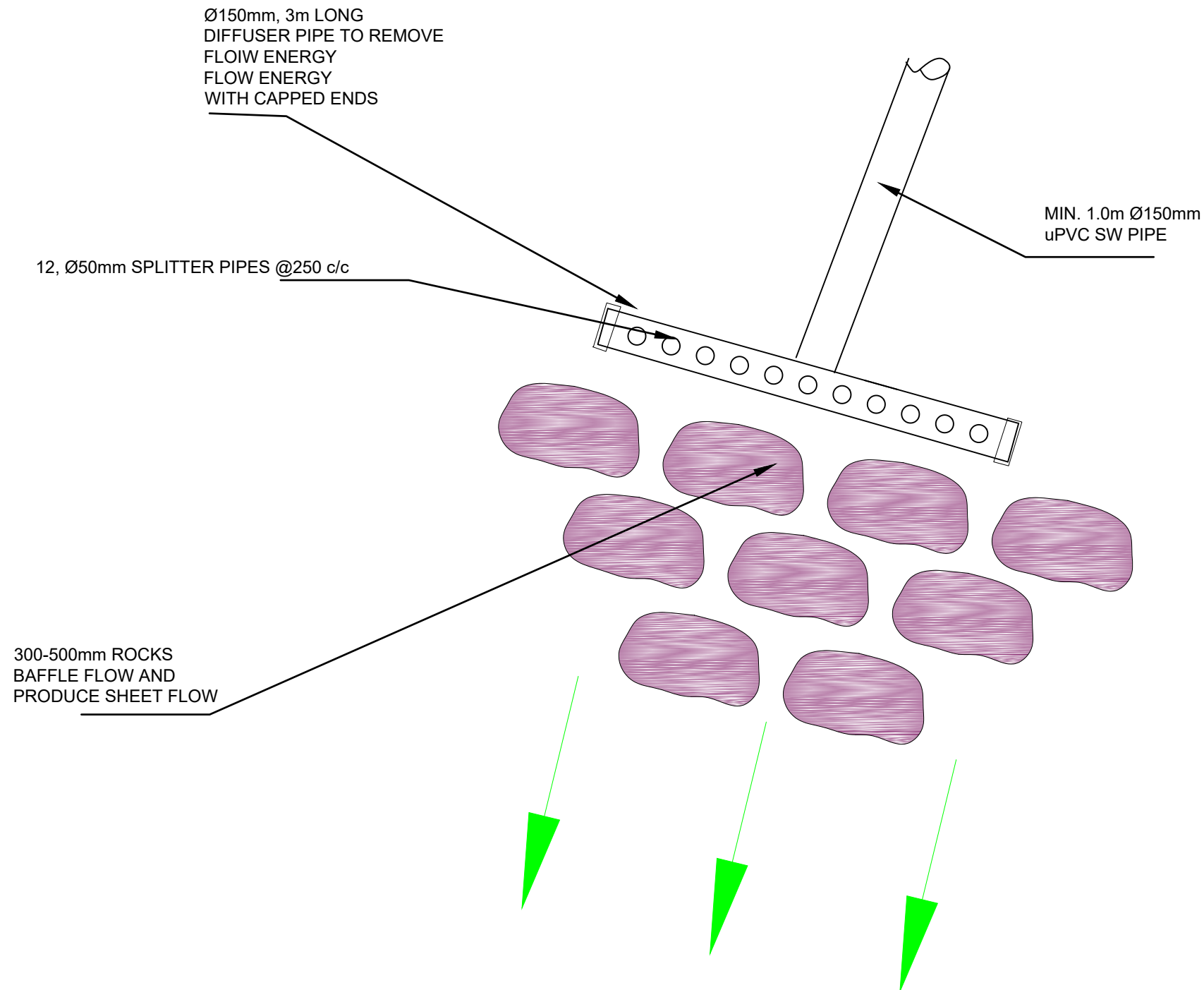
SITE:	WIROA LOT 12 LOT 12 DP 497523
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TITLE:	PROPOSED NEW DWELLING CROSS-SECTION
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SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:150	MAR 2021	TY	PK
PROJECT NO:	DRAWING NO:	REVISION:	
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**TYPICAL DISPERSAL SYSTEM
DETAIL
NOT TO SCALE**

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CLIENT: GLENN OWEN
WIROA LOT 12
TE TII

SITE: WIROA LOT 12
LOT 12 DP 497523

TITLE: PROPOSED NEW DWELLING
DISPERSAL SYSTEM DETAIL

SCALE AT A3: NTS	DATE: MAR 2021	DRAWN: TY	CHECKED: PK
PROJECT NO: 21-020	DRAWING NO: A3/SG4	REVISION: 0	

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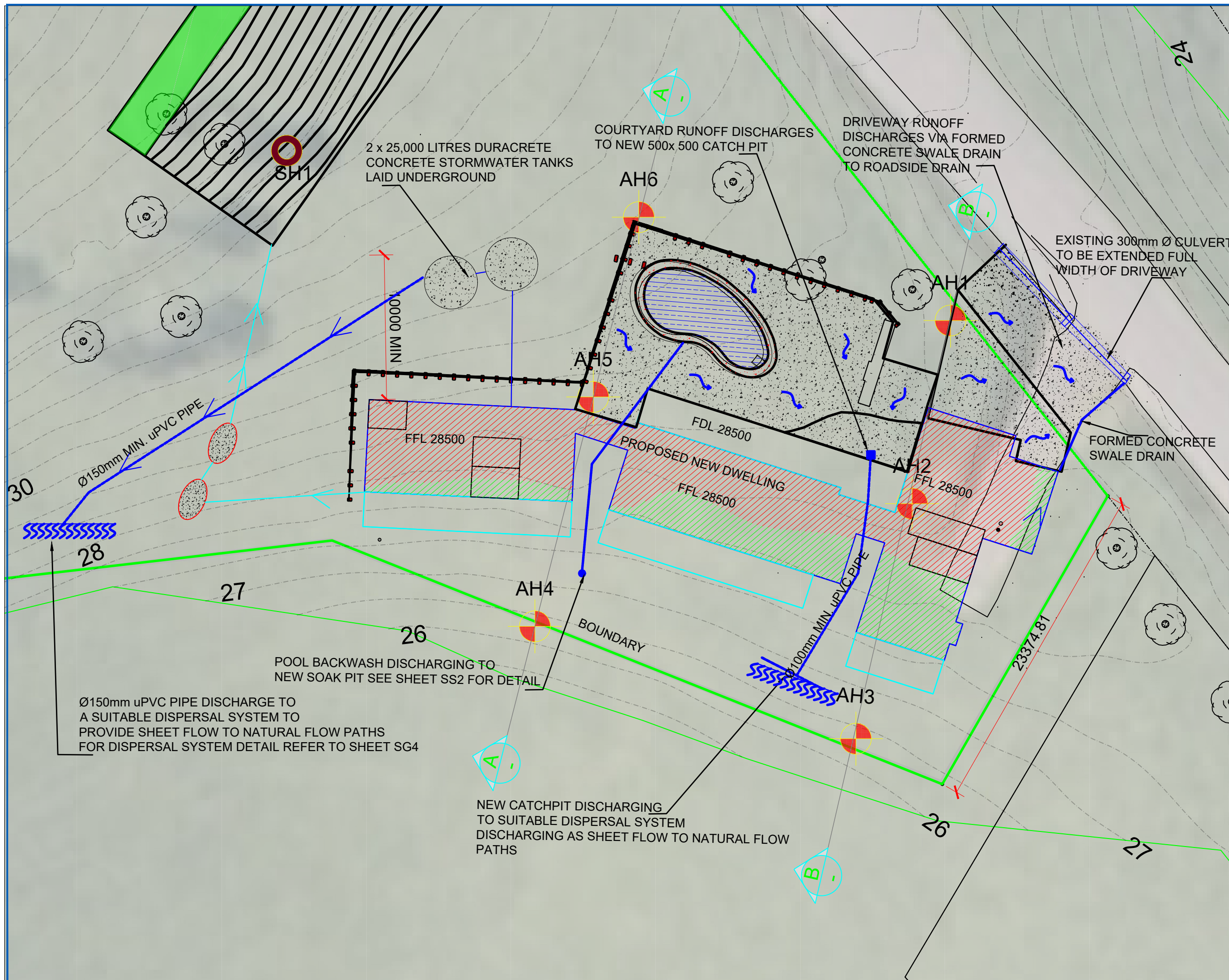
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 PO BOX 464, KERIKERI
 Phone Number: 09 407 3255
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CLIENT: SIR OWEN GLENN
 WIROA LOT 12
 TE TII

SITE: WIROA LOT 12
 LOT 12 DP 497523

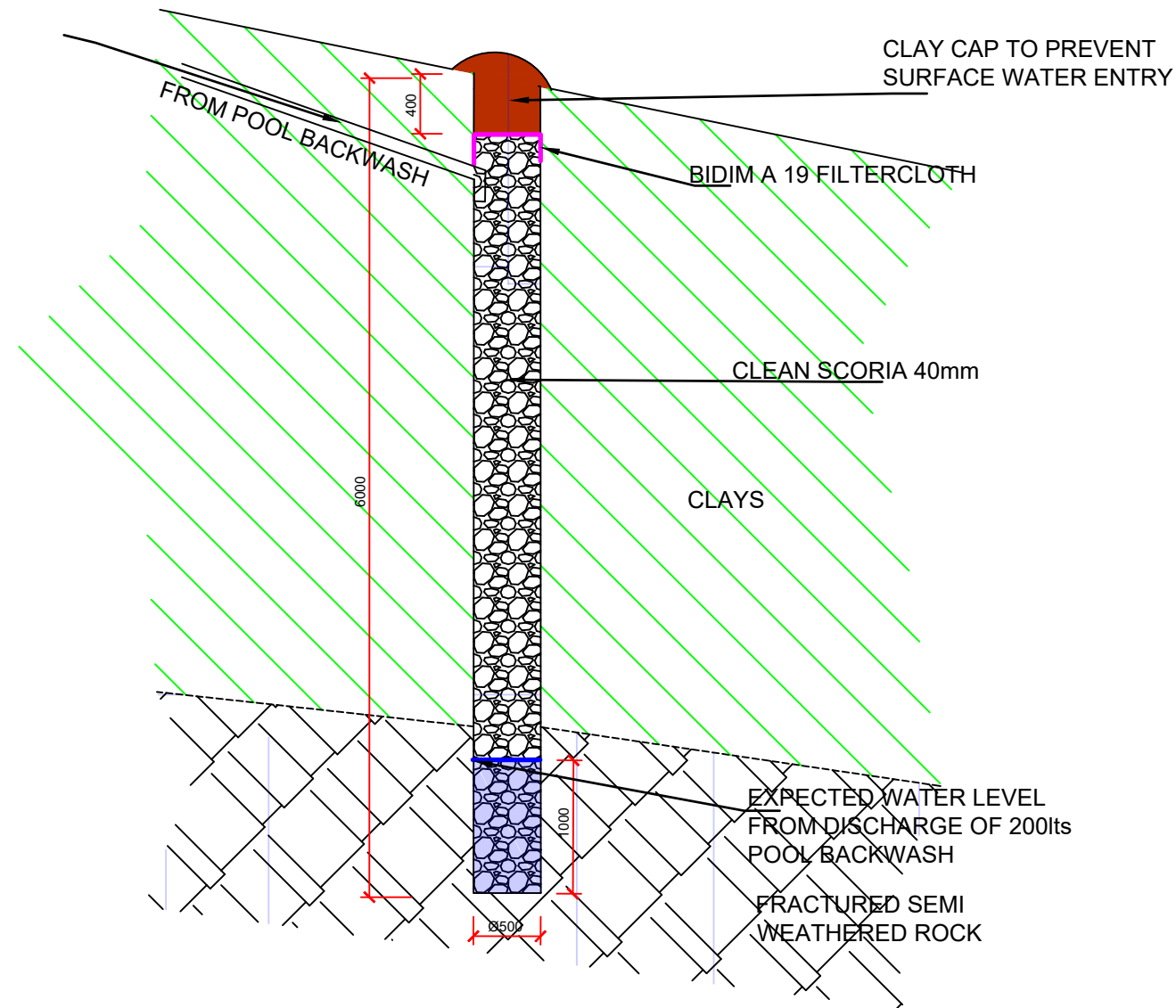
TITLE: PROPOSED NEW DWELLING
 SITE PLAN STORMWATER

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
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PROJECT NO:	DRAWING NO:	REVISION:	
21-020	A3/SS1	0	



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POOL BACKWASH SOAK PIT DETAIL

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 90 KERIKERI ROAD, KERIKERI
 PO BOX 464, KERIKERI
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 Email: teampk@pkengin.co.nz

CLIENT:	SIR OWEN GLENN WIROA LOT 12 TE TI
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SITE:	WIROA LOT 12 LOT 12 DP 497523
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TITLE:	PROPOSED NEW DWELLING CROSS SECTION SOAK PIT
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SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:50	\	TY	PK
PROJECT NO:	DRAWING NO:	REVISION:	
21-020	A3/SS2	0	