

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

* The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Kerry Cutler

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

timmy nator

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Cutler Farms

**Property Address/
Location:**

lot 2 dp419260

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

**Site Address/
Location:**

 Postcode

Legal Description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☐ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- | | |
|-----------------------------------------------------------|-------------------------------------------------------------------|
| <input type="radio"/> Subdividing land | <input type="radio"/> Disturbing, removing or sampling soil |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

kerry cutler

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

timmy nator

Signature:

(signature of bill payer)

Date 16-May-2025

MANDATORY

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

timmy nator

Signature:



A signature is not required if the application is made by electronic means

Date 16-May-2025

Checklist (please tick if information is provided)

- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Preparing an Assessment of Environmental Effects (AEE) for a resource consent application

What is an AEE?

An AEE is a statement about the effects of a proposed activity or structure on the environment. A resource consent is considered incomplete if there is no AEE and no, you cannot simply say there are no effects without explaining why.

Effects include:

- Any positive or adverse effect
- Any temporary or permanent effect
- Any cumulative effect that arises over time or in combination with other effects
- Any potential effect that has a high probability of happening
- Any potential effect that has a low probability of happening but a high potential impact. For example while there may be a low probability of a hazardous substance spill there will be significant adverse effects on the environment if it does happen.

'Environment' includes:

- Ecosystems, including people, communities and the local neighbourhood.
- All natural and physical resources
- Amenity values (defined in the Resource Management Act 1991 (RMA) as "natural or physical qualities and characteristics of an area that contribute to people's appreciation of its pleasantness, aesthetic coherence and cultural and recreational attributes")
- Social, economic and cultural conditions which affect, or are affected by, the matters above.

Why do I need to do an AEE?

The RMA requires that an AEE must accompany all resource consent applications. An AEE is important because it helps the processing planner understand the effects on the environment. This is helpful when determining aspects of the consent such as potentially affected parties and conditions of approval. If you do not include an AEE with your resource consent application then your application will be returned to you. If the information in your AEE is inadequate then your application will either be returned to you or be subject to a further information request under Section 92 of the RMA. If this happens then your application will be placed on hold. (i.e. the processing of the application will be suspended until the information is received and accepted.)

How detailed should my AEE be?

The amount of detail provided in the AEE should match the scale and nature of the anticipated environmental effects. Generally, the larger or more complex the effects are, the more detail will be required to enable full and proper assessment by the processing planner.

Can I prepare an AEE myself?

Yes you can, by filling out the required sections of this form. You may wish to discuss this first with the Council duty planner. If your application has a technical aspect, it might be necessary or preferable to get professional help (such as from a consultant planner, engineer, acoustic specialist). A specialist report may also be necessary e.g. acoustic report, traffic impact assessment report. You need to include enough information in your AEE so Council can properly evaluate your proposal. Some proposals will require more detail and analysis than others. For example, adding a carport onto the side of a house is likely to require much less information and detail than a multi-storey development in an area that is valued for its natural attributes.

For further information on how to write an effective AEE, see the Ministry for the Environment. <https://environment.govt.nz/publications/a-guide-to-preparing-a-basic-assessment-of-environmental-effects/>

Assessment of Environmental Effects

Please fill out the sections of this form. The space under each section is a guide only. If you require more space, use separate sheets.

SECTION 1: THE PROPOSAL

Describe the proposed activity **in detail**. This section should include;

• Describing what the activity is (eg a childcare centre for 20 preschool children aged 2 – 5 years, retail furniture shop including the assembly and storage of products, implement shed, carport)
Proposed 2nd hand relocated dwelling to site.

SECTION 2: THE SITE

Describe the site and its features. This section should include:

- Topography – is the site flat or sloping?
- Water features – are there any wetlands, ponds, rivers or streams running through the site? If so, where are they?
- Vegetation – are there any significant trees or bush areas on the site? If so, where?
- Services – where are the existing water/sewer/stormwater/power/telephone services?

Site is gentle slope and covered with grass

Services are required soakage trench for stormwater and connect into council mains for septic

There is tree on site plan

SECTION 3: CHARACTER

What is the existing character of the surrounding neighbourhood? Will the proposal change the character of the area?

Building within existing has minimal effect on current neighbourhood and natural environment as its a small relocated dwelling. We are not undergoing much earthworks to keep the natural slope.

SECTION 4: VISUAL AMENITY

The RMA interprets amenity values as “those natural or physical qualities and characteristics of an area that contribute to people’s appreciation of its pleasantness, aesthetic coherence, and cultural and recreational attributes.”

- How will the proposal affect the outlook of surrounding neighbours i.e. how will it change? Will the development have any screening such as fences or vegetation?
- Will there be any signs? How many? What will their size in square metres be?
- Will there be any outdoor lighting required?
- Where will refuse be stored?

There will be a standard amount of planting. The house is just going in between other houses like a normal suburban area.

SECTION 5: TRAFFIC, CARPARKING AND ACCESS

Will the proposal generate extra traffic? Will car parking be provided on site? If so, how many spaces?

Where will manoeuvring occur? Where will access to the site be located? How far can drivers see up and down the road when pulling out onto it? Where will loading occur?

It's a small gravel driveway.. Makes no extra impact and carparking for multiple cars. It has onsite parking.

SECTION 6: NOISE EFFECTS

What noise effects will be generated by the proposal and how will these effects be mitigated (lessened)?

Will there be any vibration effects and who will be affected?

This will not effect anyone and minimal noise for minor building work

SECTION 7: BUILDING AND EARTHWORKS

- Will the proposal require any new buildings or additions to existing buildings?
- What will be the purpose/intended use of these buildings?
- What will the floor area of the building be (in square metres)?

- Will the buildings shade the adjoining property or properties?
- If earthworks are required, what will be the volume of earthworks in cubic metres (m³)?
proposed relocated dwelling size is 122m². Only earthworks is removing soil where the piles are to be dug

SECTION 8: SERVICES

Describe how/if the following services will be provided to the site:

- Wastewater
- Stormwater
- Water (where will it be sourced from?)
- Power and telephone

Add septic and stormwater

SECTION 9: VEGETATION AND LANDSCAPING

Will any existing vegetation be affected by the proposal? Is any planting or landscaping proposed?

No. Usual planting will be undertaken.

SECTION 10: CULTURAL IMPACTS

Will there be any cultural impacts or impacts on archaeological/ecological sites? It may be necessary to talk to your local Iwi or Heritage New Zealand Pouhere Taonga.

No issues.



Title Plan - LT 590327

Survey Number LT 590327
Surveyor Reference Cutler Farms 1509
Surveyor Shane Michael Stratton
Survey Firm Shane Stratton Surveying Ltd
Surveyor Declaration

Survey Details

Dataset Description Lots 1 to 7 and 9 to 13 Being a Subdivision of Lot 2 DP 419260
Status Initiated
Land District North Auckland
Submitted Date
Survey Class Class B
Survey Approval Date
Deposit Date

Territorial Authorities

Far North District

Comprised In

RT 473772

Created Parcels

Parcels	Parcel Intent	Area	RT Reference
Lot 1 Deposited Plan 590327	Fee Simple Title	2.9351 Ha	1128313
Lot 2 Deposited Plan 590327	Fee Simple Title	2.1081 Ha	1128314
Lot 3 Deposited Plan 590327	Fee Simple Title	2.0058 Ha	1128315
Lot 4 Deposited Plan 590327	Fee Simple Title	2.9015 Ha	1128316
Lot 5 Deposited Plan 590327	Fee Simple Title	2.5021 Ha	1128317
Lot 9 Deposited Plan 590327	Fee Simple Title	2.2907 Ha	1128318
Lot 10 Deposited Plan 590327	Fee Simple Title	3.2801 Ha	1128319
Lot 11 Deposited Plan 590327	Fee Simple Title	8.0644 Ha	1128320
Lot 12 Deposited Plan 590327	Fee Simple Title	7.6128 Ha	1128321
Lot 13 Deposited Plan 590327	Fee Simple Title	6.1310 Ha	1128322
Area A Deposited Plan 590327	Easement		
Area B Deposited Plan 590327	Easement		
Area C Deposited Plan 590327	Easement		
Area D Deposited Plan 590327	Easement		
Area E Deposited Plan 590327	Easement		
Area F Deposited Plan 590327	Easement		
Area G Deposited Plan 590327	Easement		
Area H Deposited Plan 590327	Easement		
Area I Deposited Plan 590327	Easement		
Area J Deposited Plan 590327	Easement		
Area K Deposited Plan 590327	Easement		
Area L Deposited Plan 590327	Easement		
Area M Deposited Plan 590327	Easement		
Area N Deposited Plan 590327	Easement		

Title Plan - LT 590327

Created Parcels

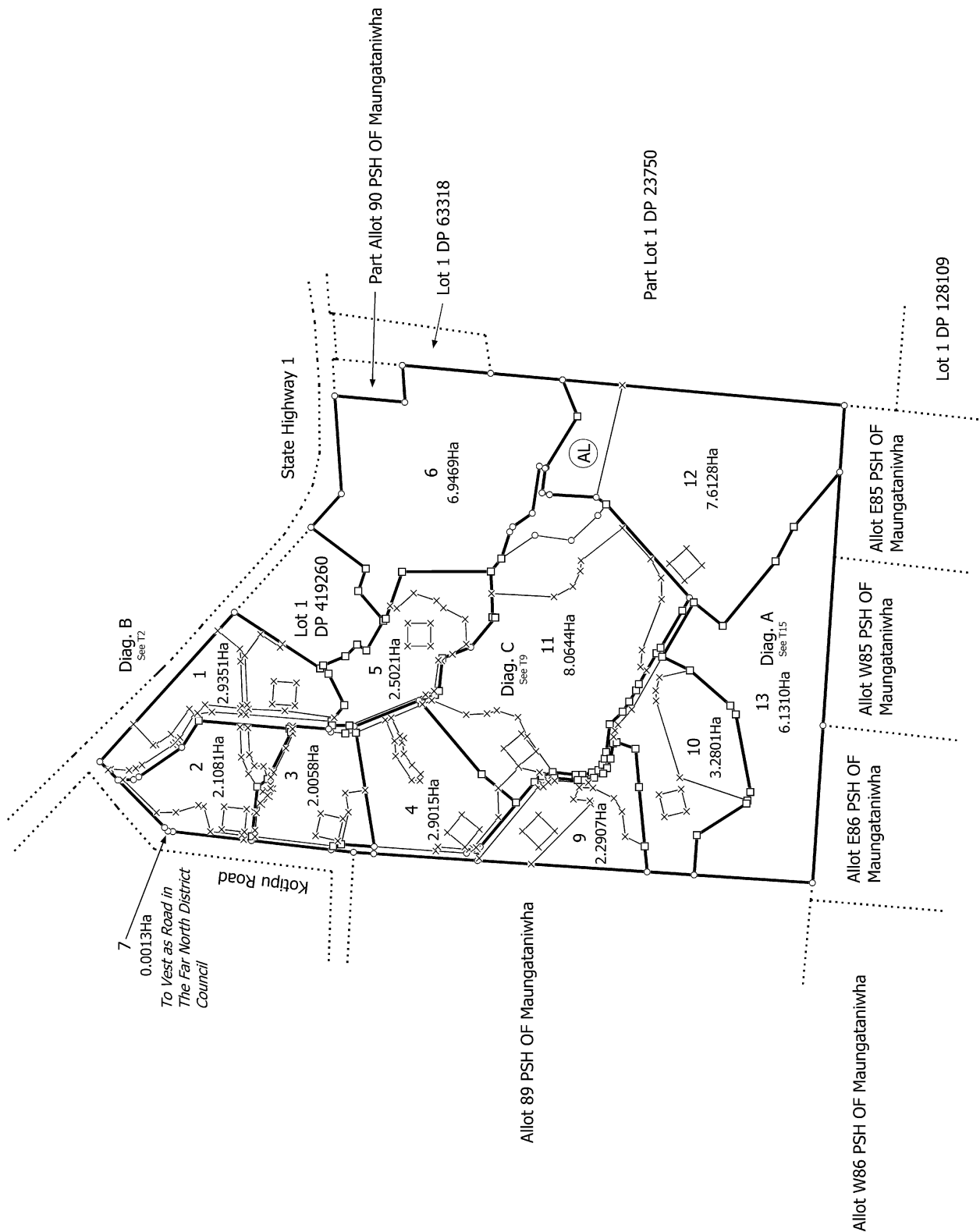
Parcels	Parcel Intent	Area	RT Reference
Area O Deposited Plan 590327	Easement		
Area P Deposited Plan 590327	Easement		
Area Q Deposited Plan 590327	Easement		
Area R Deposited Plan 590327	Easement		
Area S Deposited Plan 590327	Easement		
Area T Deposited Plan 590327	Easement		
Area U Deposited Plan 590327	Easement		
Area V Deposited Plan 590327	Easement		
Area W Deposited Plan 590327	Easement		
Area X Deposited Plan 590327	Easement		
Area Y Deposited Plan 590327	Easement		
Area Z Deposited Plan 590327	Easement		
Area AA Deposited Plan 590327	Easement		
Area AB Deposited Plan 590327	Easement		
Area AC Deposited Plan 590327	Easement		
Area AD Deposited Plan 590327	Easement		
Area AE Deposited Plan 590327	Easement		
Area AF Deposited Plan 590327	Easement		
Area AG Deposited Plan 590327	Easement		
Area AH Deposited Plan 590327	Easement		
Area AI Deposited Plan 590327	Easement		
Area AJ Deposited Plan 590327	Easement		
Lot 6 Deposited Plan 590327	Fee Simple Title	6.9469 Ha	1128341
Lot 7 Deposited Plan 590327	Vesting on Deposit for Road	0.0013 Ha	
Area AK Deposited Plan 590327	Easement		
Area AL Deposited Plan 590327	Easement		
Total Area		46.7798 Ha	

Memorandum of Easements			
Purpose	Shown	Servient Tenement (Burdened Land)	Dominant Tenement (Benefited land)
Right of Way, Right to convey electricity and telecommunications	A	Lot 1 hereon	Lot 5 hereon
	B	Lot 4 hereon	Lots 3, 9, 10, 11, 12 and 13 hereon
	C	Lot 9 hereon	Lots 10, 11, 12 and 13
	D	Lot 10 hereon	Lots 11, 12 and 13 hereon
	E	Lot 12 hereon	Lots 11 and 13 hereon
Right to convey Electricity	M and AA	Lot 3 hereon	Lots 1 and 5

Memorandum of Easements In Gross			
Purpose	Shown	Servient Tenement (Burdened Land)	Grantee
Right to convey Electricity	M	Lot 3 hereon	Top Energy Limited
	B	Lot 4 hereon	
	C	Lot 9 hereon	
	D	Lot 10 hereon	
	AK	Lot 4 hereon	

Note: Areas F, G, H and I (Lot 1 hereon), J and K (Lot 2 hereon), L, M, N and O (Lot 3 hereon), P, W and X (Lot 4 hereon), Q and R (Lot 5 hereon), U and Y (Lot 9 hereon), T (Lot 10 hereon), S, V and Z (Lot 11 hereon) and AL (Lot 12) are to be subject to land covenants.

Note: Areas AB, AC, AD, AE, AF, AG, AH, AI and AJ are to be subject to consent notices (building platforms)



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Land District: North Auckland

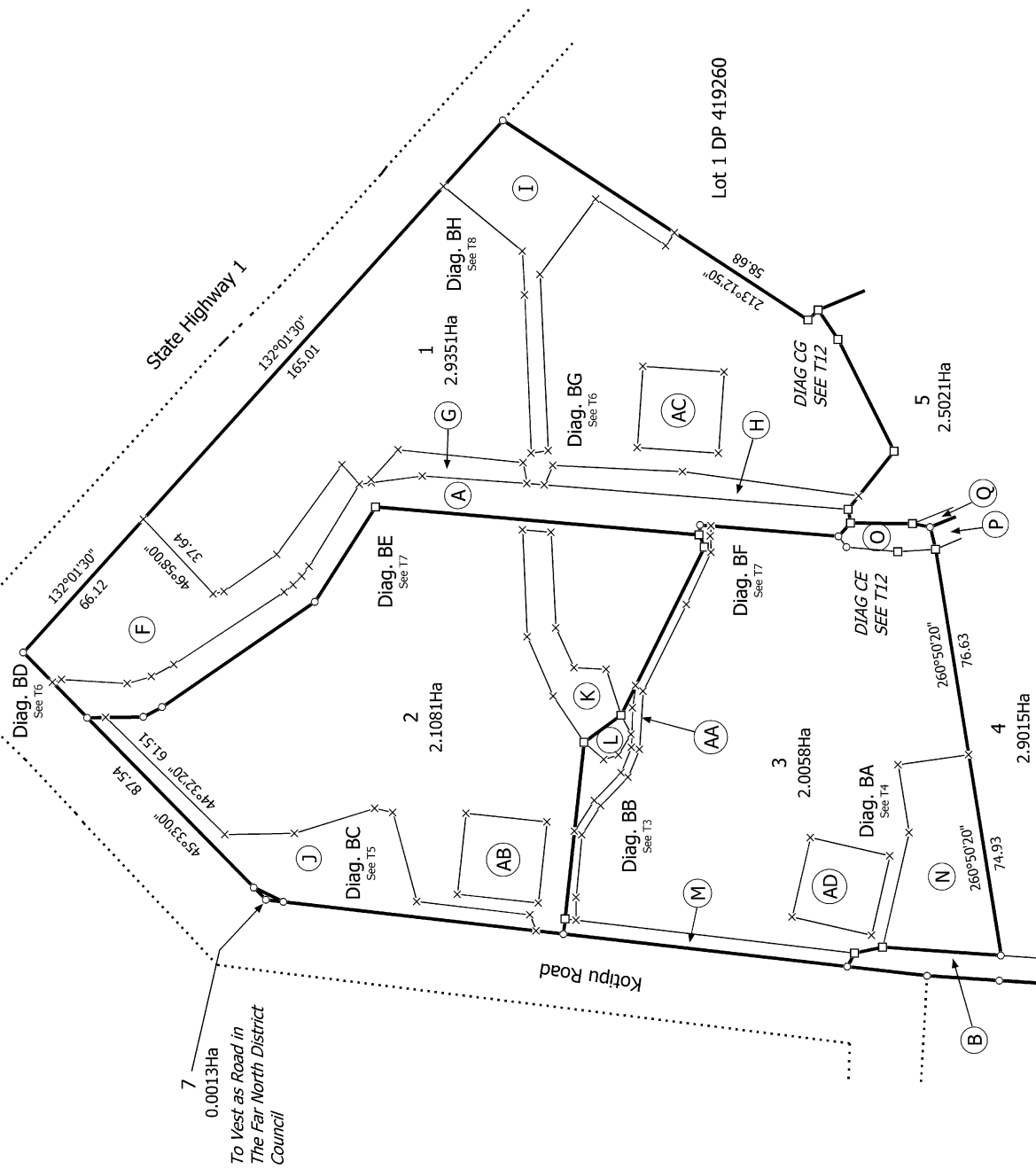
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Lots 1 to 7 and 9 to 13 Being a Subdivision of Lot 2 DP 419260

Surveyor: Shane Michael Stratton
Firm: Shane Stratton Surveying Ltd

Title Plan
LT 590327
DRAFT



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Land District: North Auckland

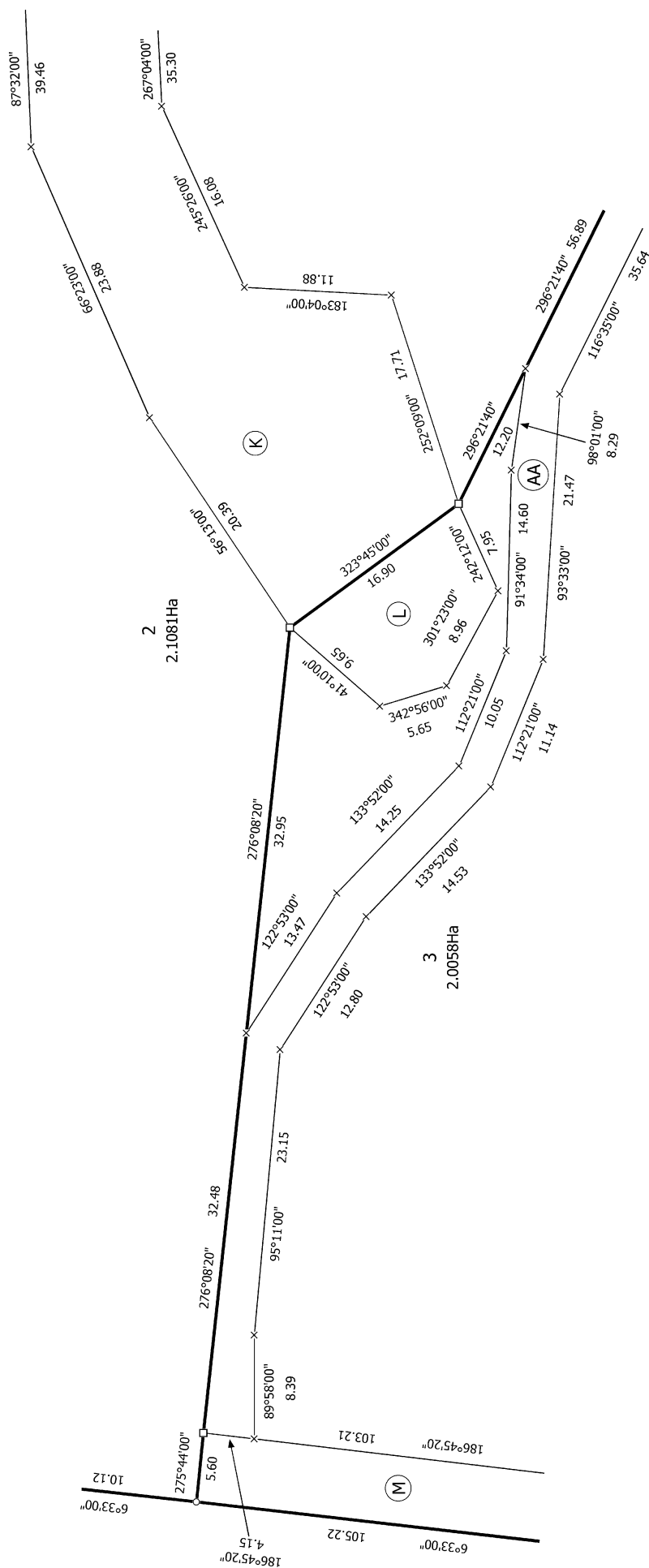
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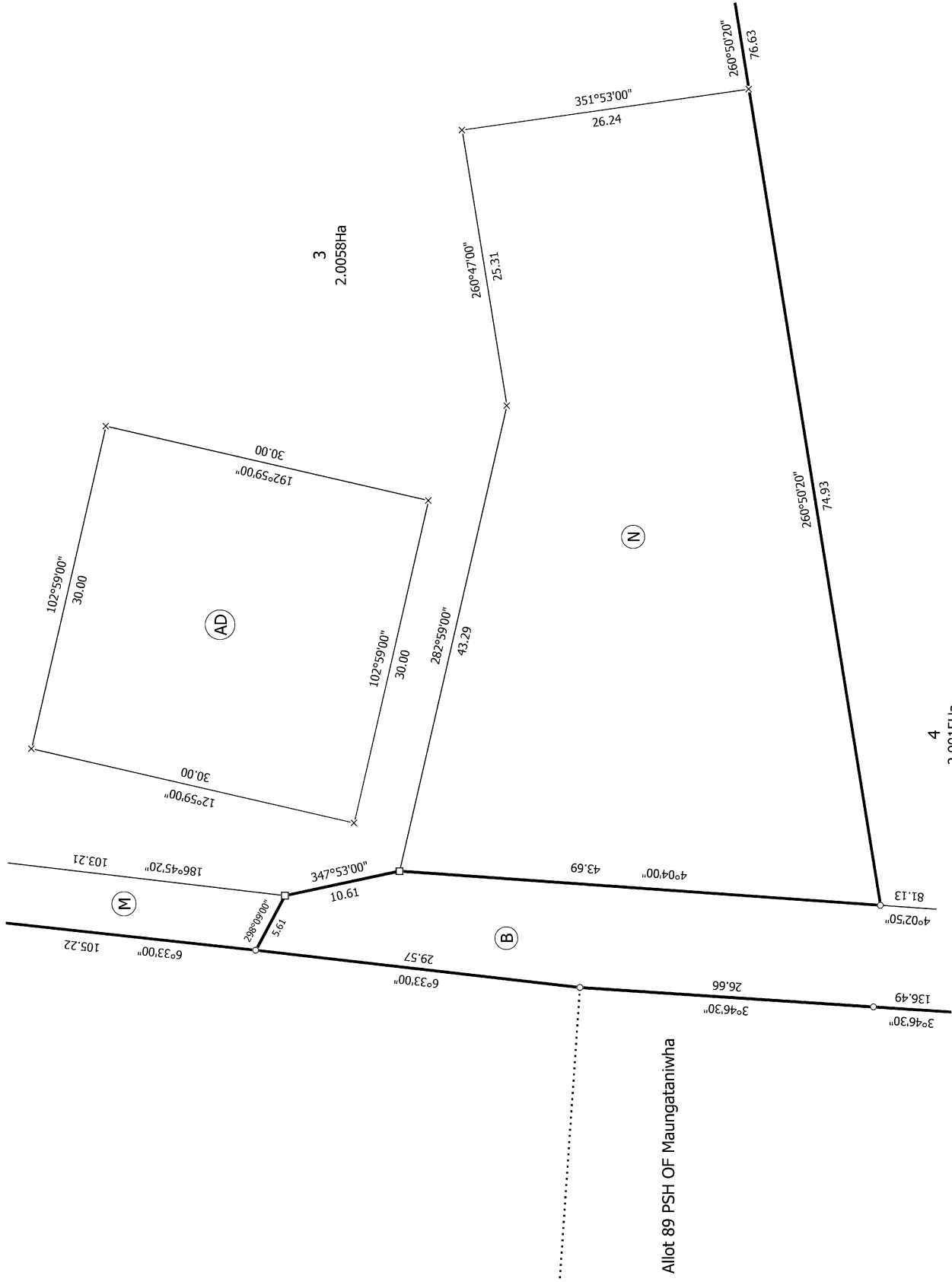
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Land District: North Auckland

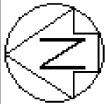
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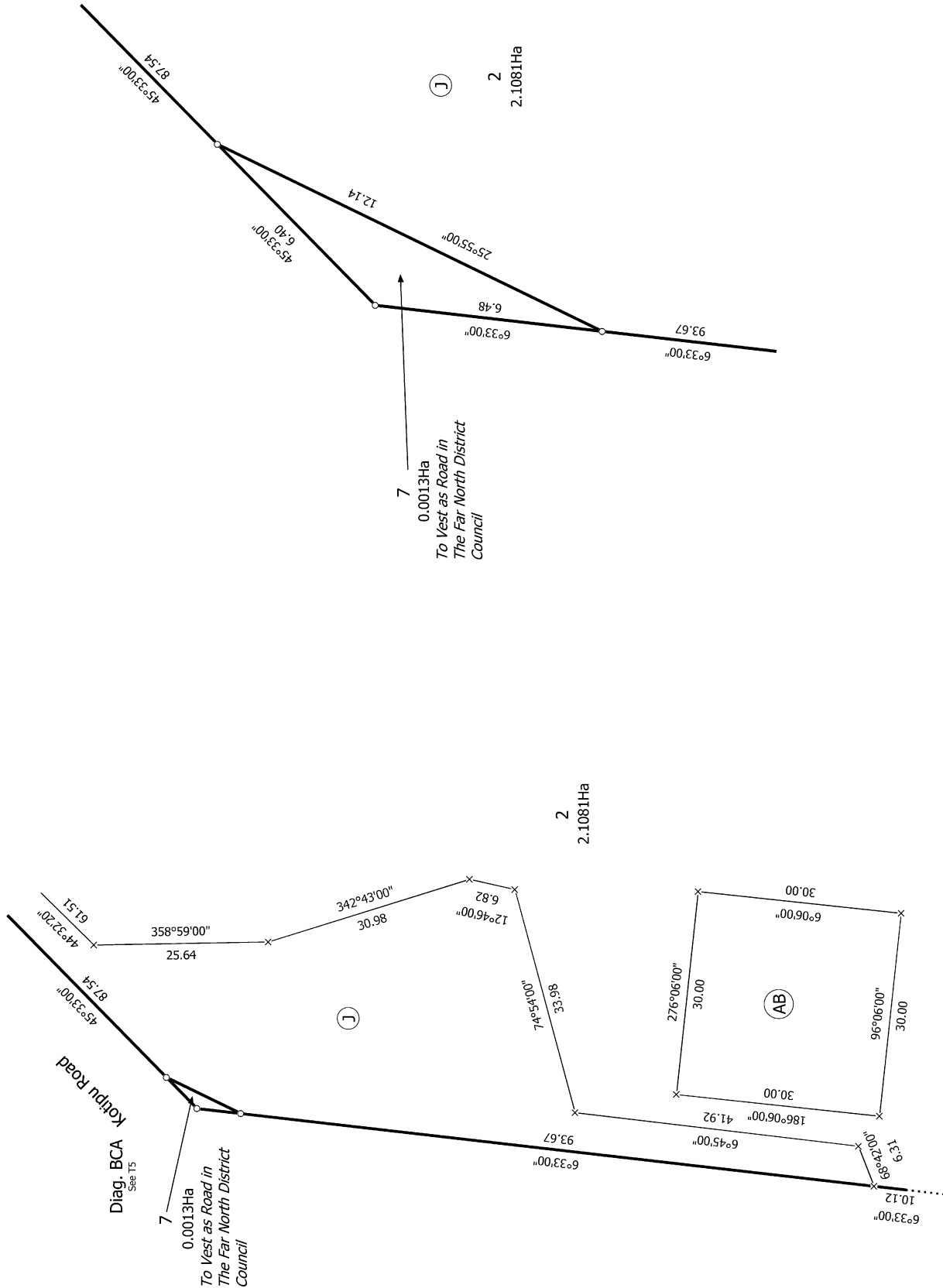
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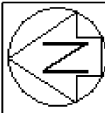


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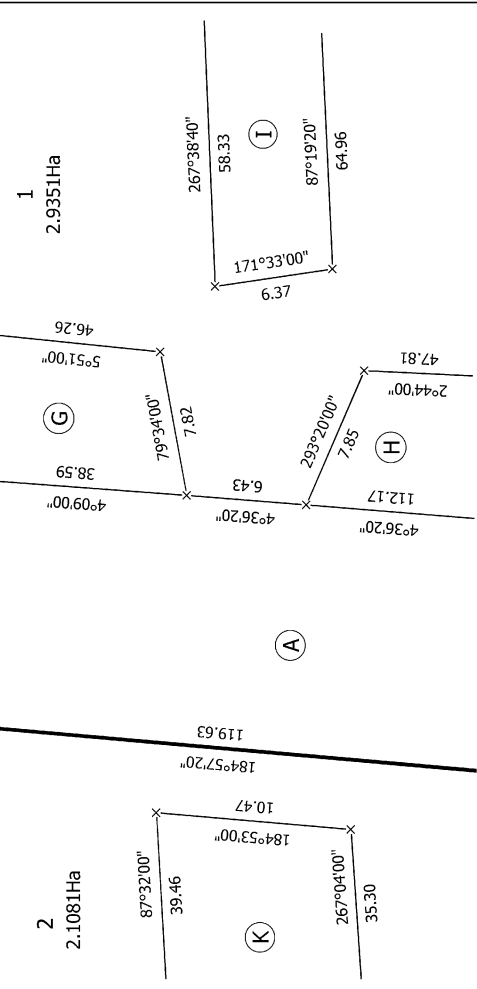
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State Highway 1

Kotipu Road



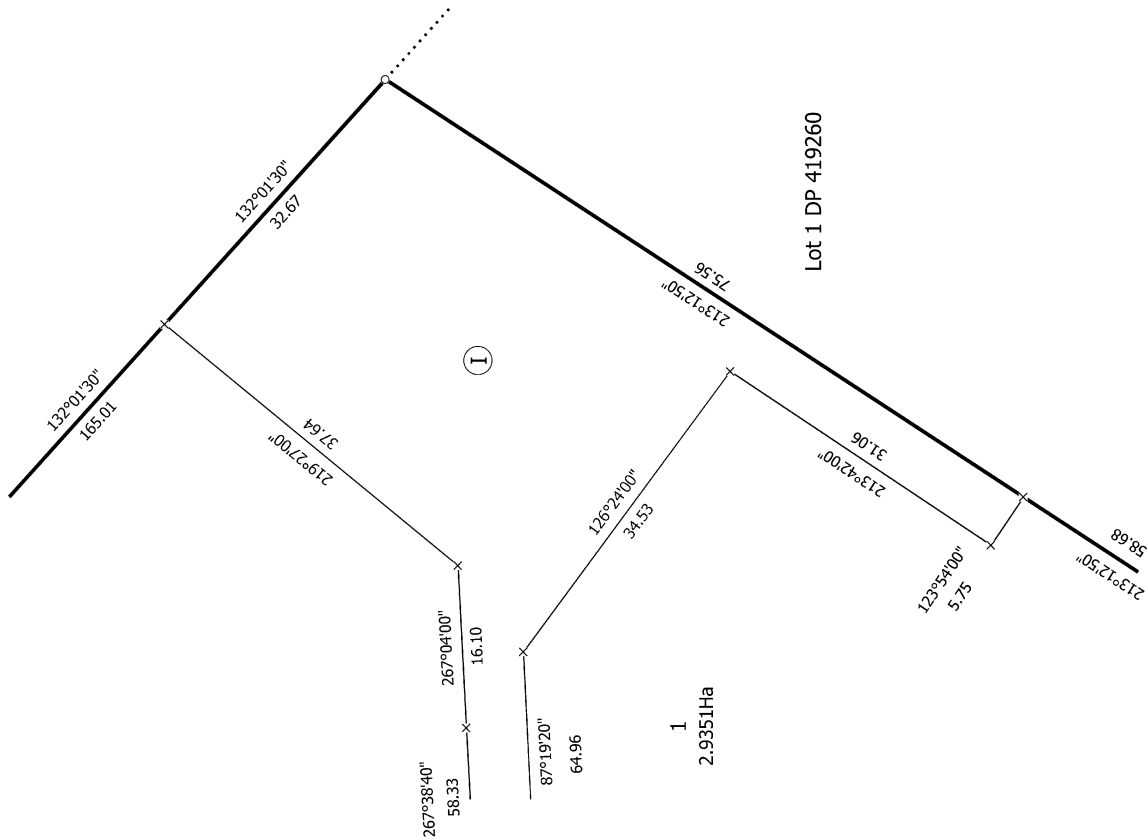
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Land District: North Auckland

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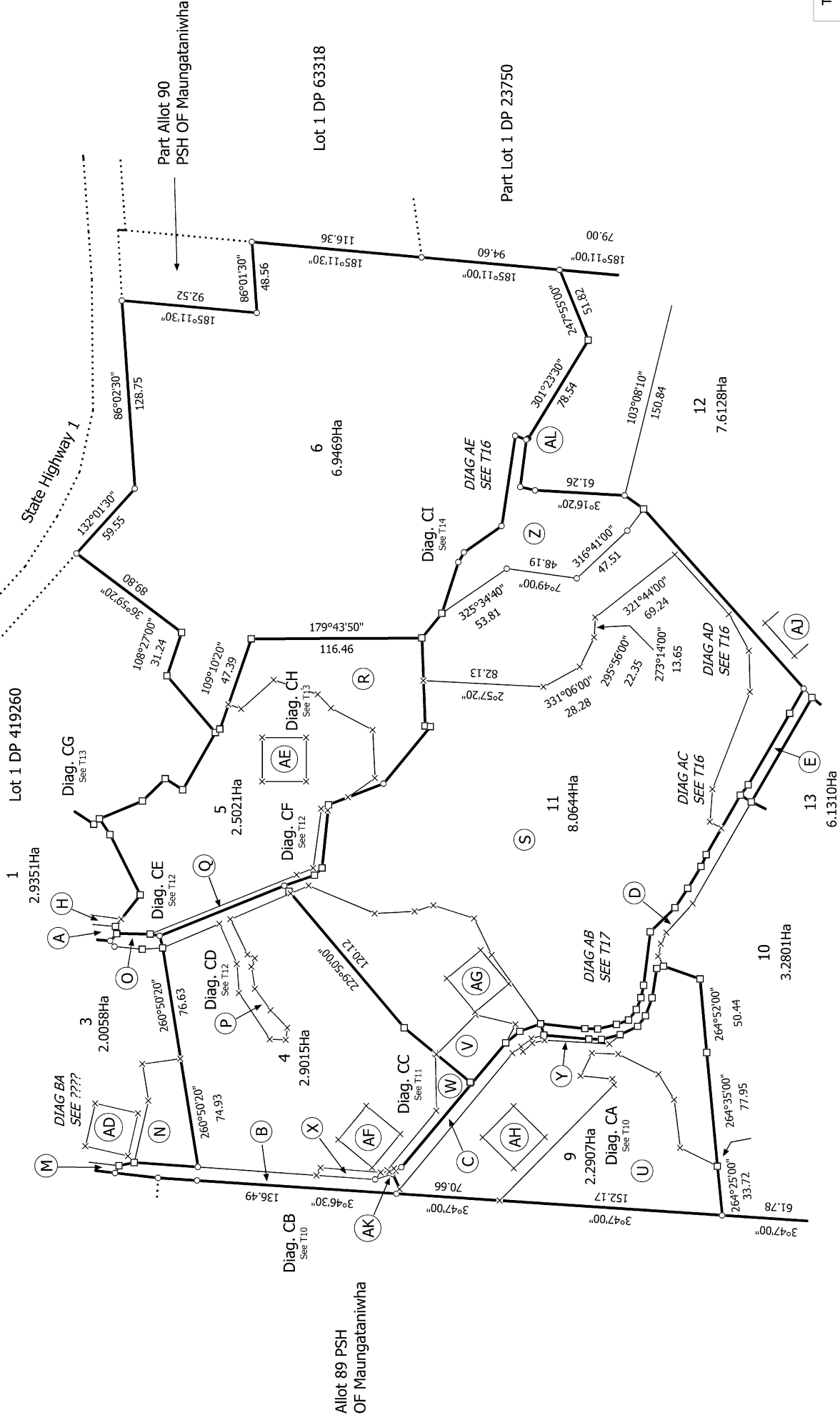
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Firm: Shane Stratton Surveying Ltd

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Land District: North Auckland

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Lots 1 to 7 and 9 to 13 Being a Subdivision of Lot 2 DP 419260

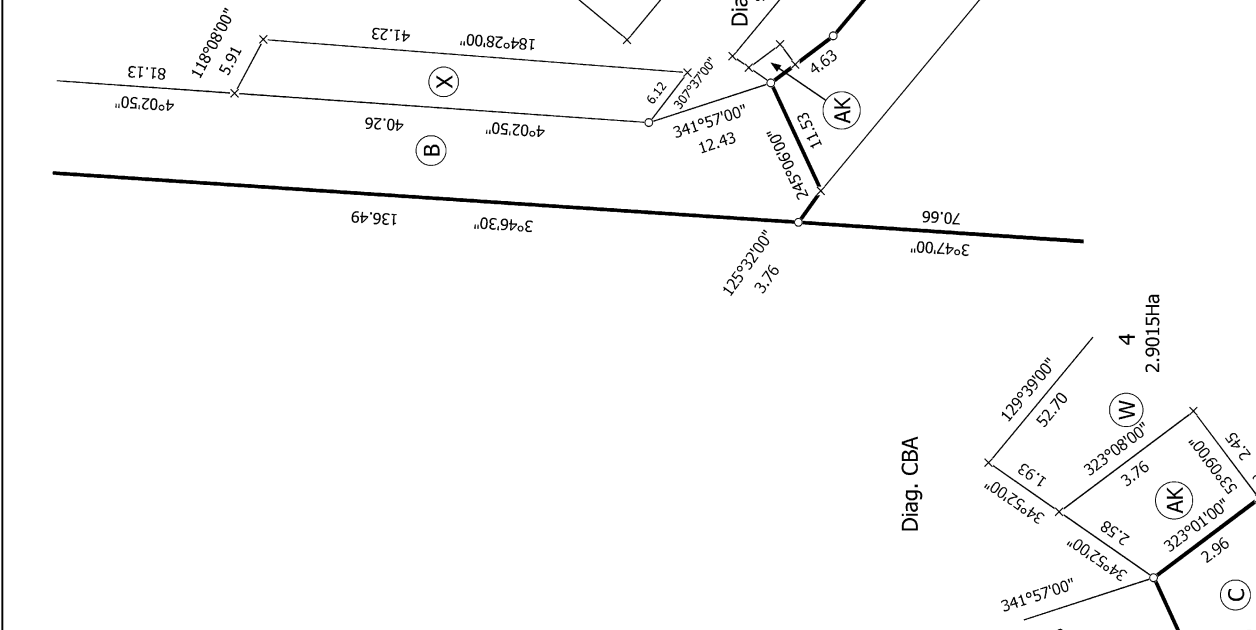
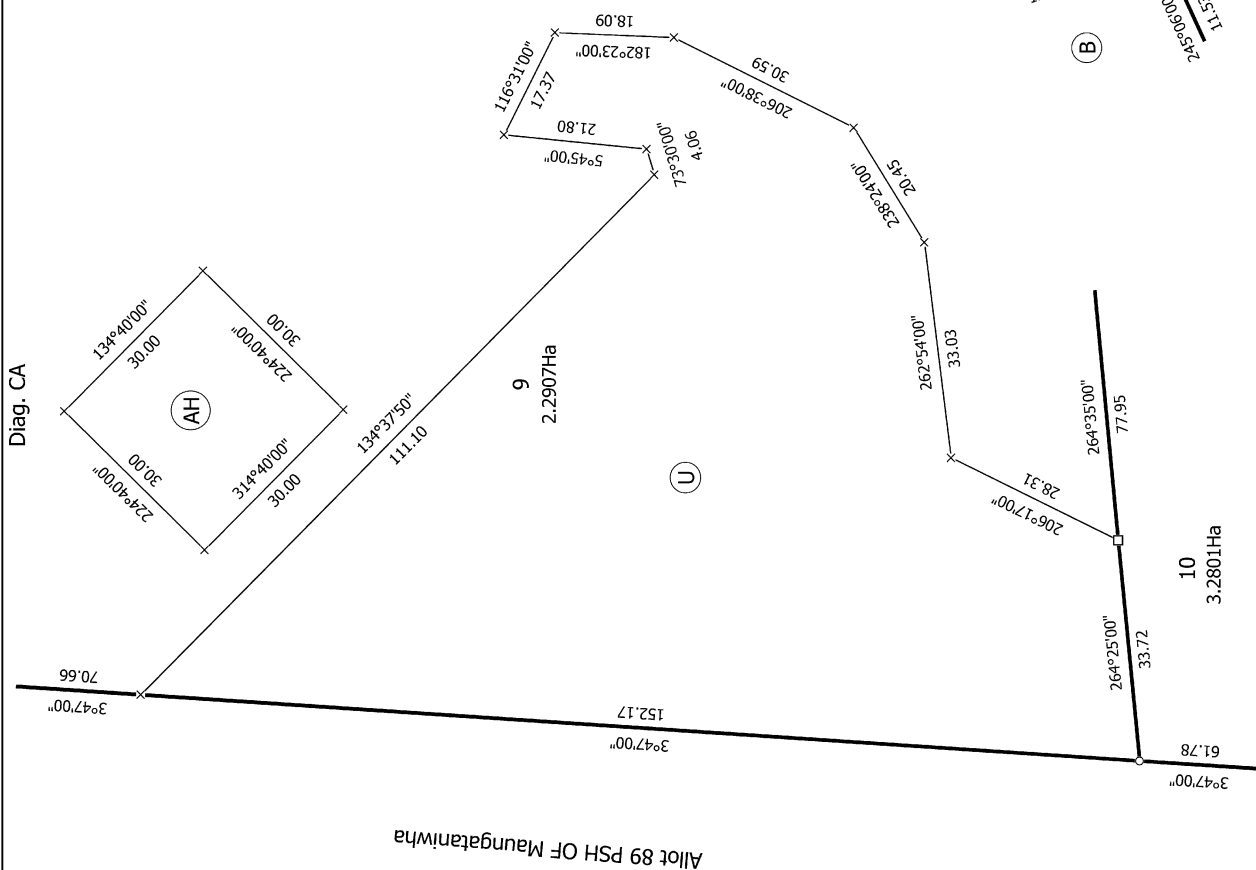
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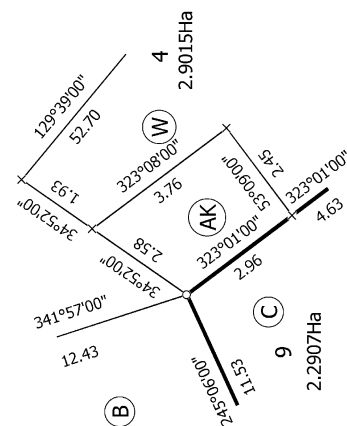


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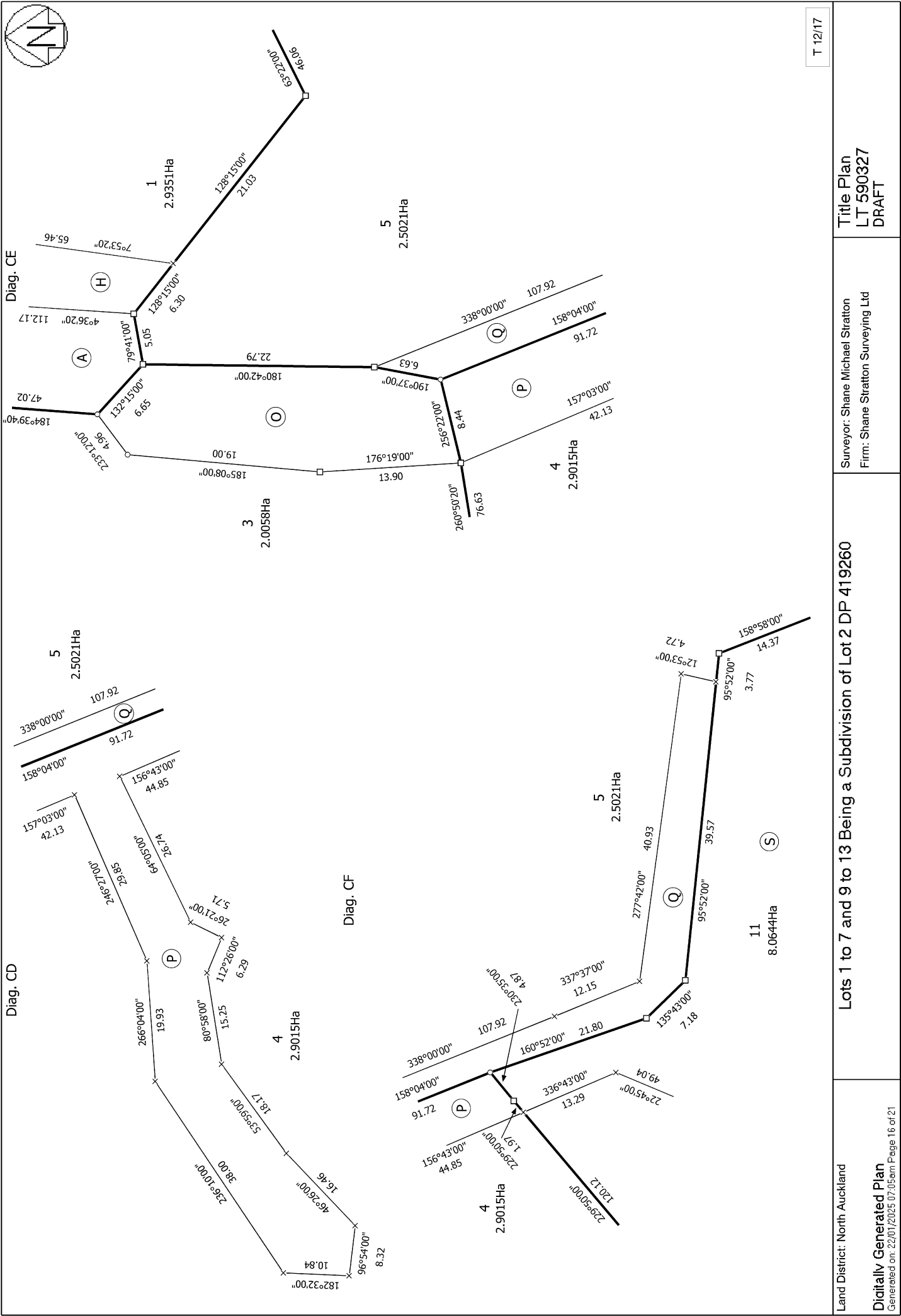
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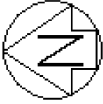
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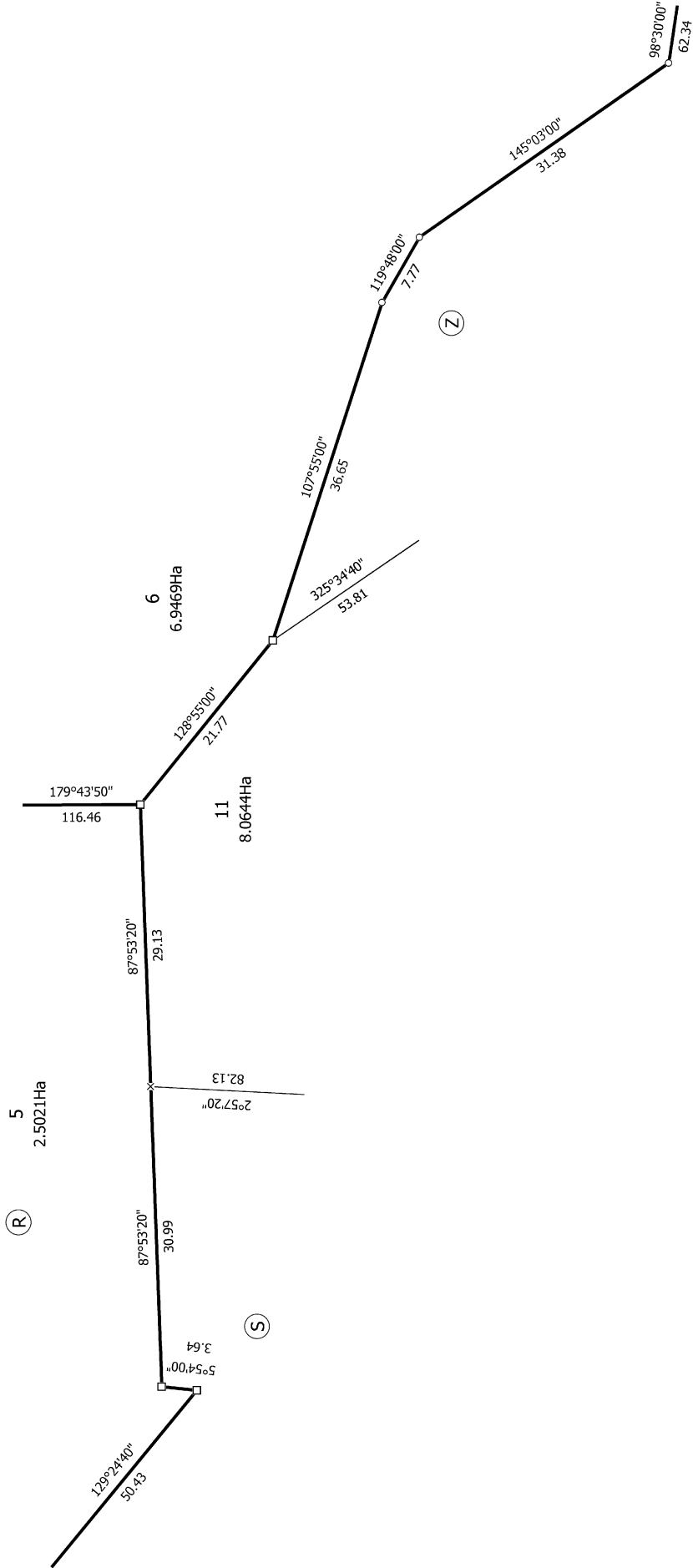


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Land District: North Auckland

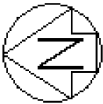
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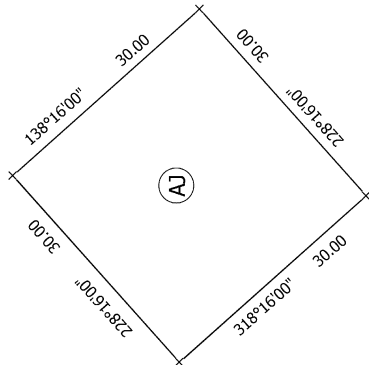
Lots 1 to 7 and 9 to 13 Being a Subdivision of Lot 2 DP 419260

Surveyor: Shane Michael Stratton
Firm: Shane Stratton Surveying Ltd

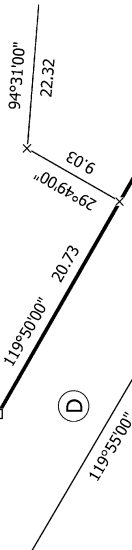
Title Plan
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DRAFT



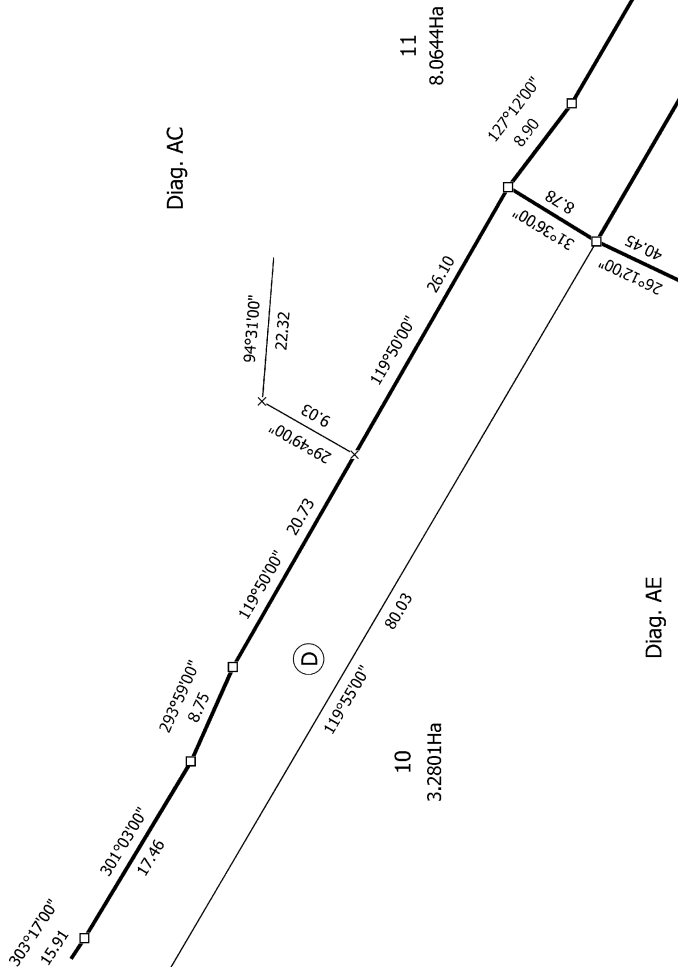
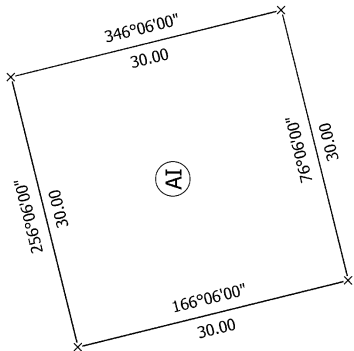
Diag. AD



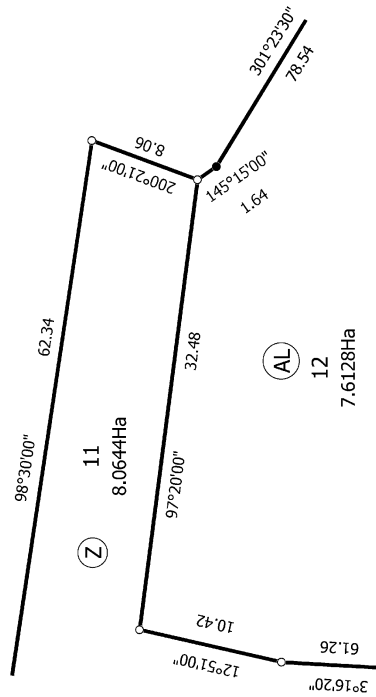
Diag. AC



Diag. AA



Diag. AE



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Land District: North Auckland

Digitally Generated Plan

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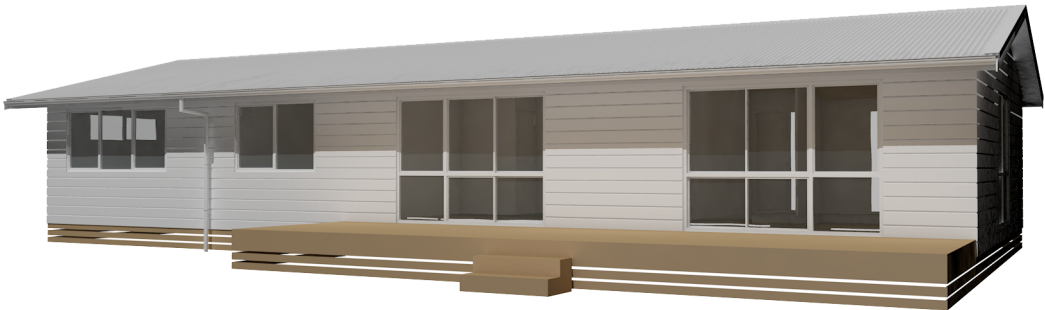
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Title Plan
LT 590327
DRAFT

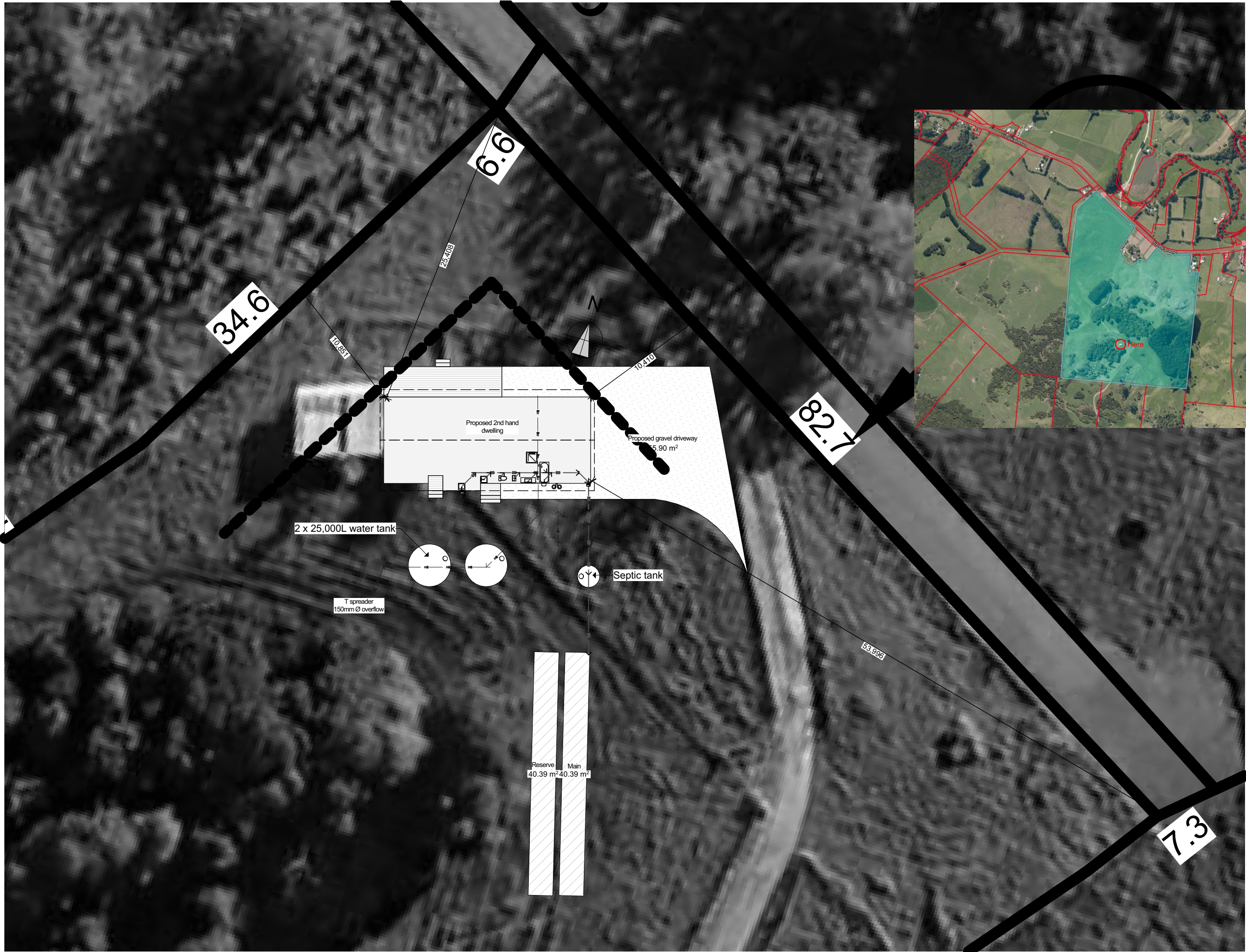


Proposed 2nd hand relocated dwelling
for
Kerry Cutler
@
#Client Full Address



SHEET NAME	
0	Cover Page
1	Site Plan
2	Floor Plan
3	Foundation Plan
4	Elevations
5	Sections
6	Pile Fixing Details
7	Deck Details





- KEY**
- Existing plumbing fixtures
 - Stormwater line
 - Sanitary sewer line



NOTE: Plumbing indicative only contractors need to check and confirm on-site prior to commencing work

WATER SUPPLY NOTES (RURAL):

- Rainwater collected from roof catchments to storage tank.
- Leaf guards to all gutters.
- Debris strainers or first-flush diverters to all downpipes.
- Potable water filtration system to be installed post-tank (AS/NZS 4020 compliant).
- Include UV filter system such as Bug Buster Pro Series Platinum or similar.
- System to provide safe drinking water per NZBC G12.
- Install per manufacturer specs by licensed plumber.

NOTE: Read all reports before commencing any work
Refer to:
- Geotechnical report
- Wastewater report
- Stormwater report
- Survey plan & any other docs if any
If any discrepancies or questions call first & stop work

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NOTES:

Site area: 61,600m²
Floor area: 122m²
Site coverage: 0.19%

Date	Revision

ARCHX DETAILS:
Timmy Nator
021 872 870
info@archx.co.nz

CLIENT DETAILS:
Kerry Cutler
021 0236 0665
cutlerfarms@farmside.co.nz

JOB: Proposed 2nd hand relocated dwelling

FLOOR AREA: 122m²
LOT & DP: Lot 2 DP 419260
SITE AREA: 46.7724 ha
WIND ZONE: Extra High
EXPOSURE ZONE: Zone B
EARTHQUAKE ZONE: Zone 1
STATUS: BC

PAGE:

ISSUE: 9/05/2025





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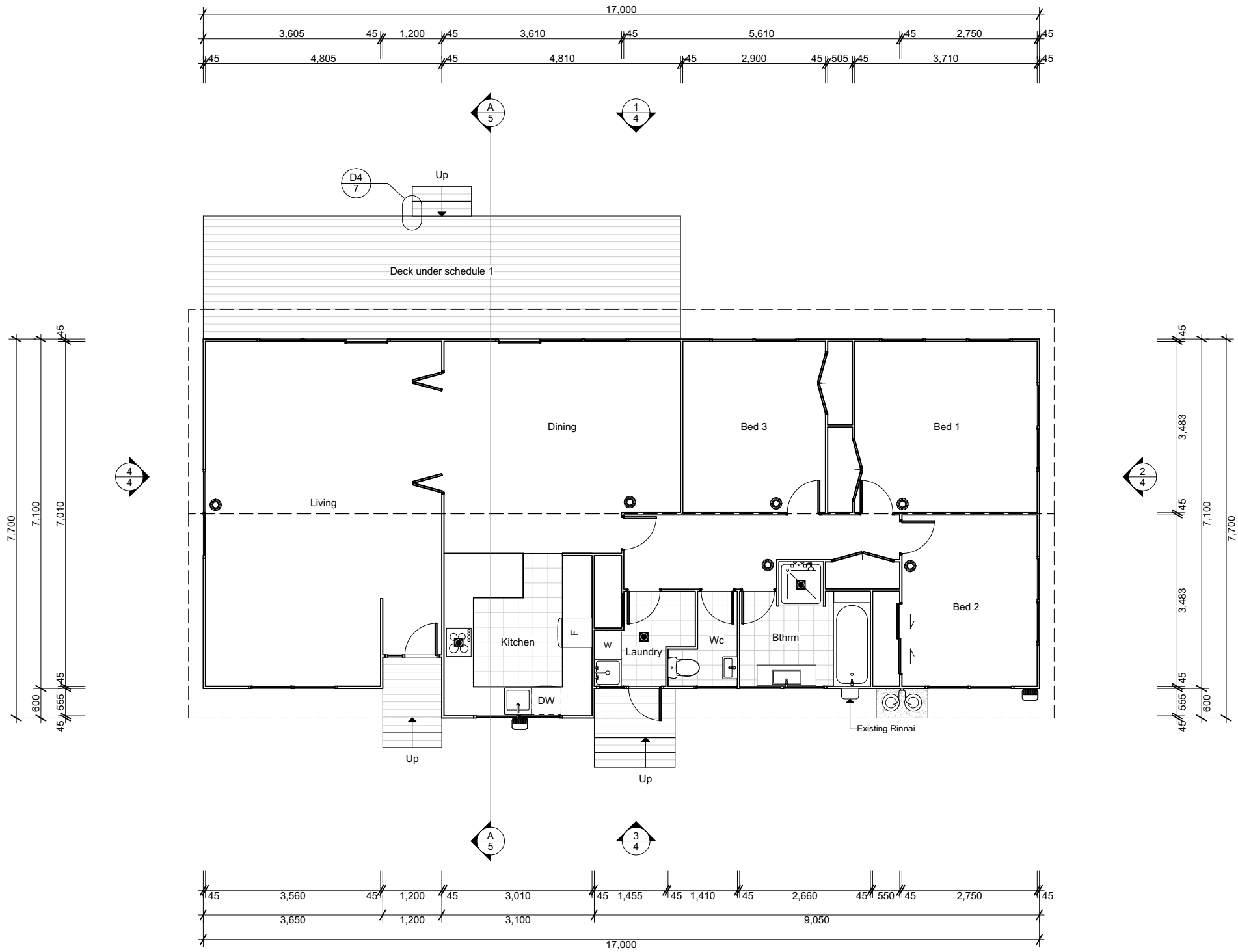
Site Plan

SCALE: 1:300

SHEET 1

KEY

-  Existing plumbing fixtures
-  Existing 90x45mm timber framing
- SA  Inter connected smoke alarms
10 year battery life min
-  Extractor fan



- NOTES:**
- General:
- Contractor responsible to verify all dimensions, angles & levels on site prior to commence any work.
 - These drawings purposes are to be used only as shown below under project status.
 - Drawings are to be read in conjunction with written specifications, details and other consultant's drawings, details, reports and documents.
 - All work shall be watertight. All timber joinery to be installed with head, jamb and sill flashings and air seals in accordance with NZBC E2/AS1.
 - All propriety products to be fixed/applied in accordance to the manufacturer's instructions.
 - All construction to comply with NZ Building Code
 - Do not scale off drawings, if in doubt! Refer to designer or contractor
 - Verify all dimensions on site before commencing any work. Refer to figured dimensions only.
 - Refer all discrepancies to drafter. Check all existing levels and dimensions prior to commencing work. Site boundaries, building floor levels & profile to be provided & pegged by a registered surveyor. The contractor will be solely responsible for checking for all underground services prior to commencement of work. All drawings are to be read in conjunction

- NOTES:**
- F5.3.3 Where a construction or demolition site contains any hazard which might be expected to attract the unauthorised entry of children, the hazard shall be enclosed to restrict access by children.
- F5.3.4 Suitable barriers shall be constructed to provide a safe route for people where lifting equipment creates a risk of accident from objects falling on a place of public access, or where a similar risk results from the height at which construction or demolition work is being carried out.

- STAIRS:**
- Dwelling access with stairs to deck landing to be - 190mm max. Riser height.
- 280mm min. tread length.
- Deck landing to dwelling minimum clearances (incl. cladding & decking) Requires 12mm min. clearance.
- To comply with D1 Building Code.**

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- NOTES:**
- 2x 45kg gas bottles with 3/4 gas pipe feeding the Rinnai (199mg ph) secure bottles with 12mm stainless steel chain to garage wall on stainless hook with shackle or clip installed on concrete pad to where existing connection is.

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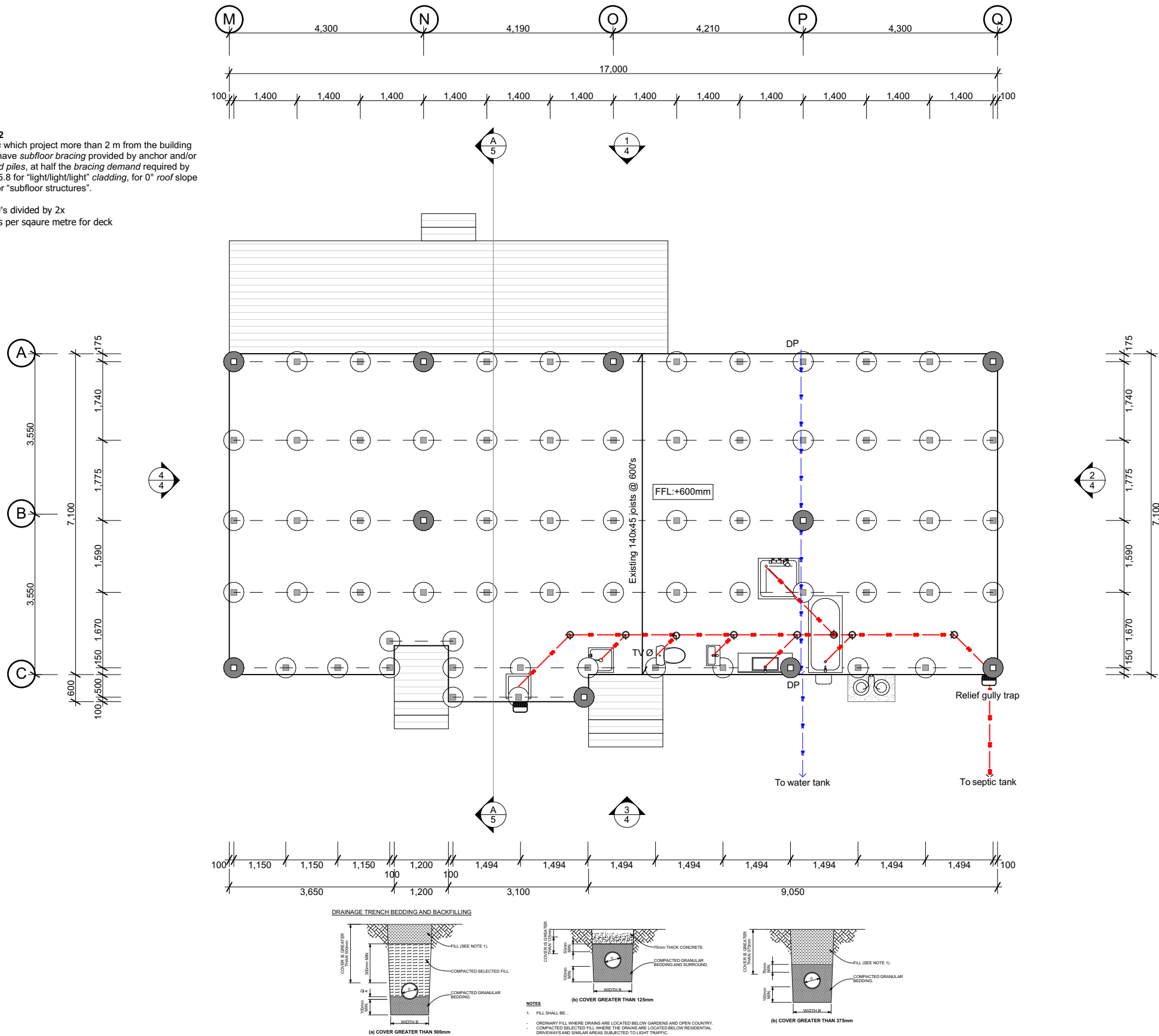
Floor Plan

SCALE: 1:100

SHEET 2

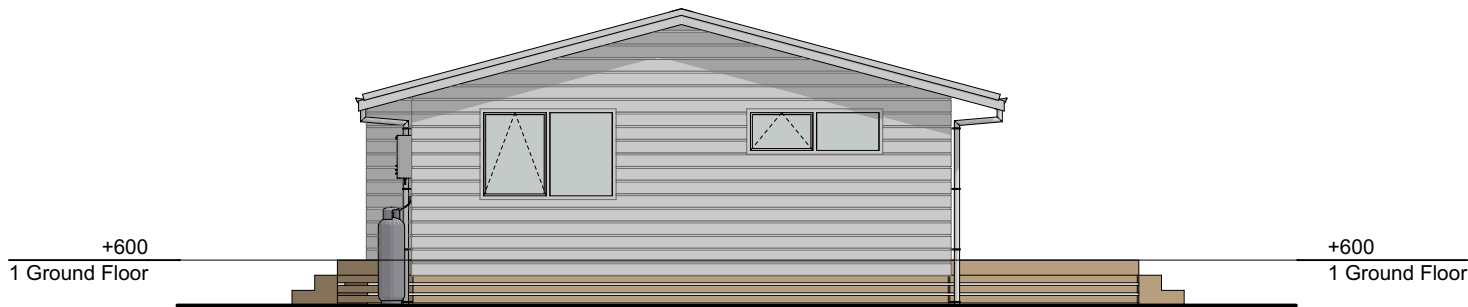
7.4.2.2
Decks which project more than 2 m from the building shall have subfloor bracing provided by anchor and/or braced piles, at half the bracing demand required by table 5.8 for "light/light/light" cladding, for 0° roof slope and for "subfloor structures".

15 BU's divided by 2x
7.5bus per sqaure metre for deck





1 North Elevation 1:100



2 East Elevation 1:100



3 South Elevation 1:100



4 West Elevation 1:100

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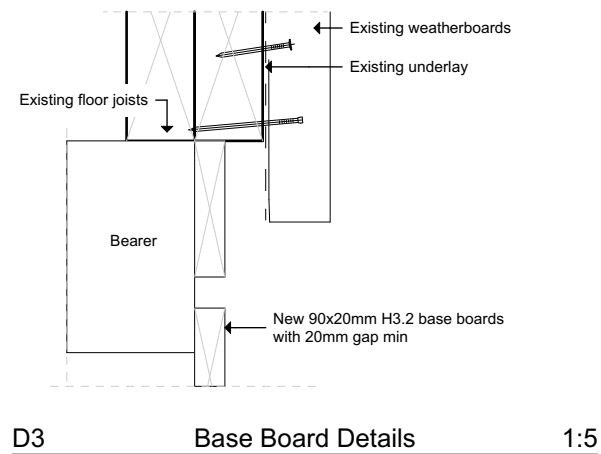
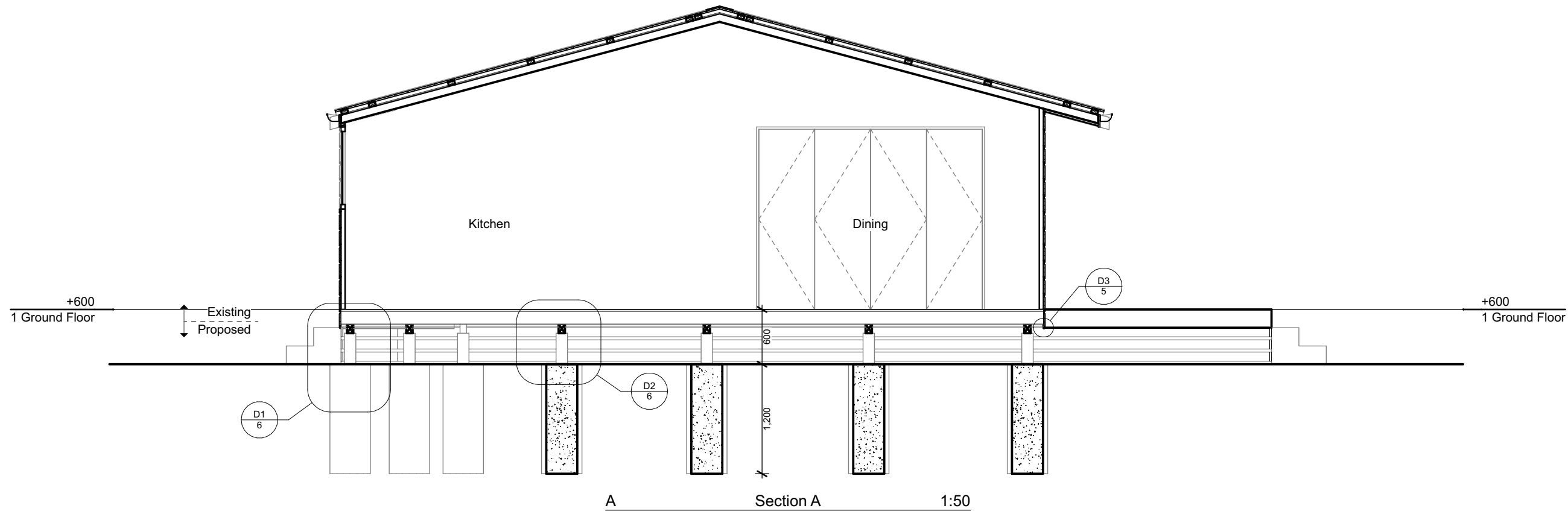
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Elevations

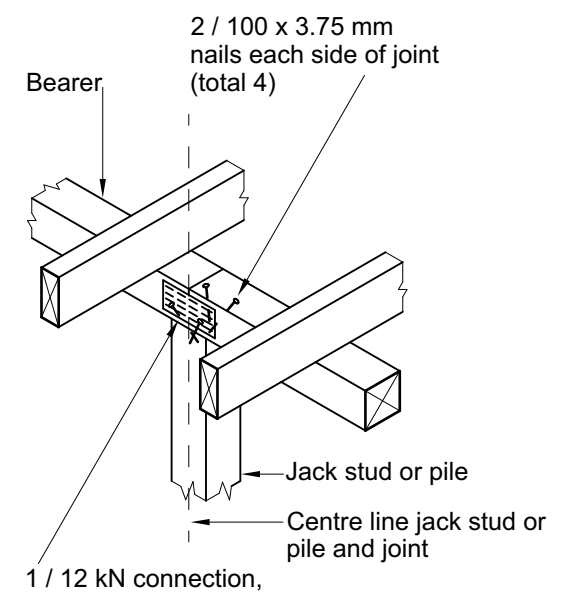
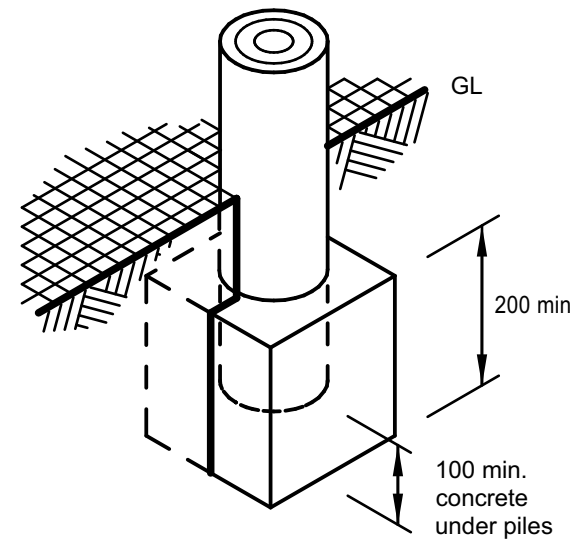
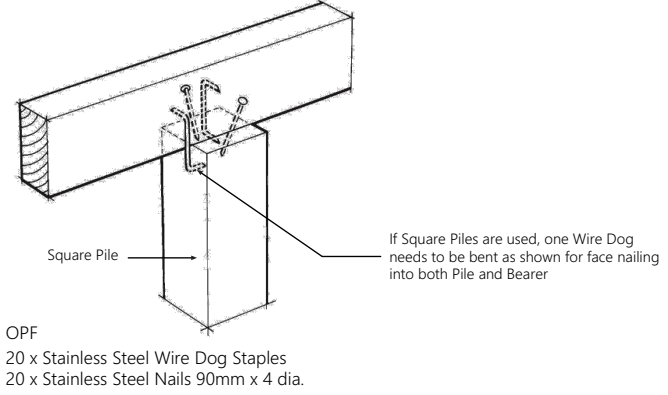
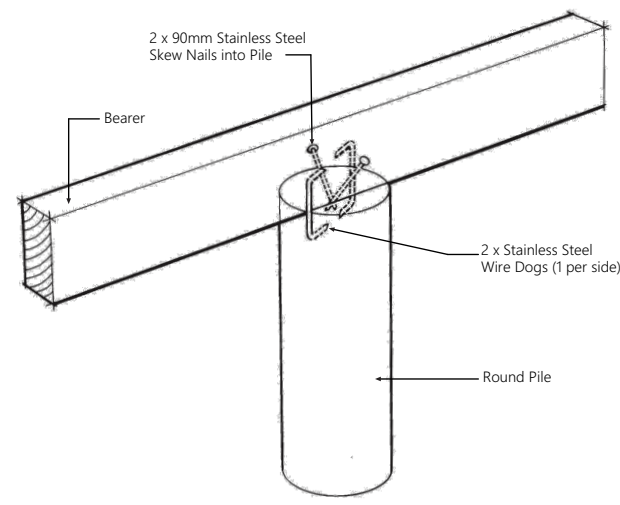
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SHEET 4

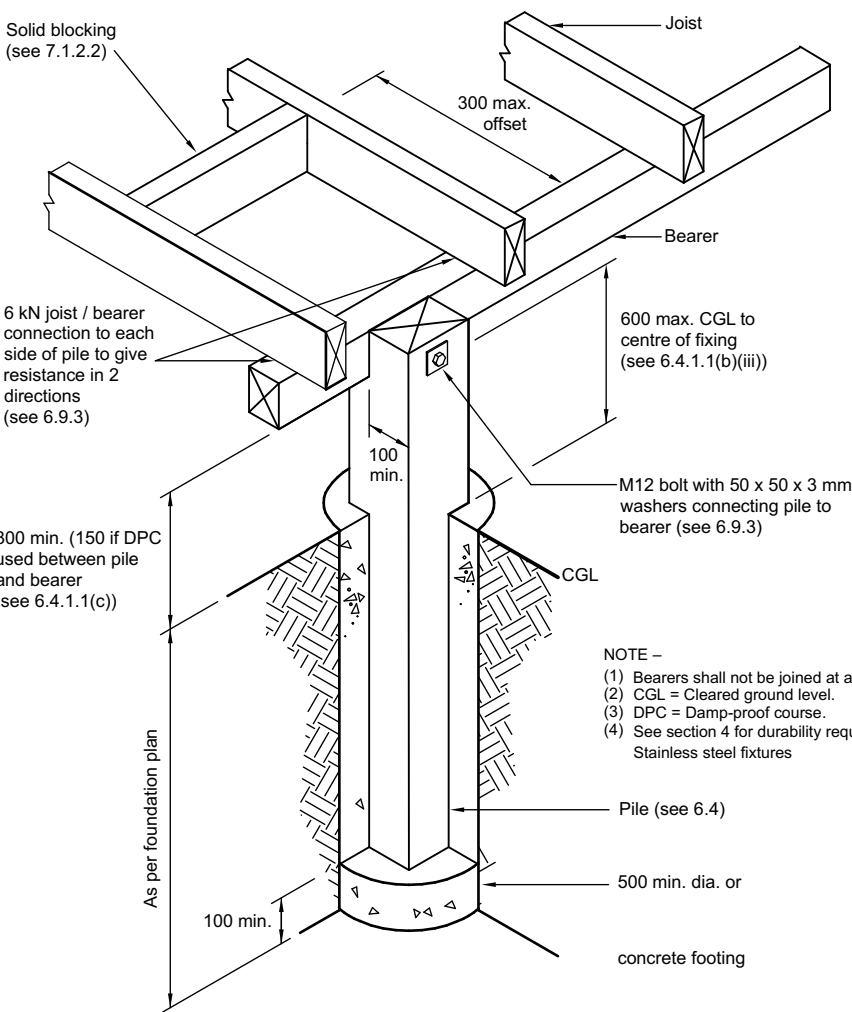


ORDINARY PILE FIXING

- ★ Complies with NZS 3604:2011
- ★ All Fixings Stainless Steel
- ★ For all Ordinary Piles (Refer Figure 6.3 NZS 3604:2011)



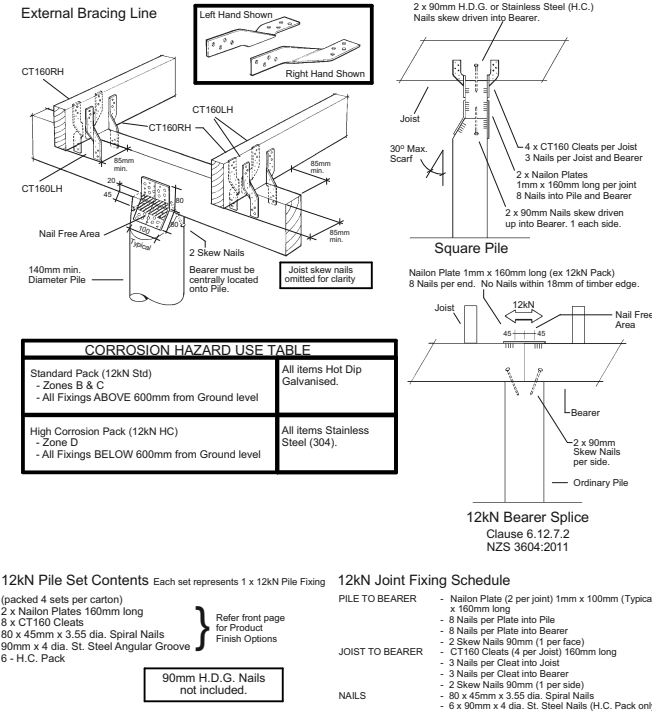
12kN PILE FIXING



NOTE –
(1) Bearers shall not be joined at an anchor pile.
(2) CGL = Cleared ground level.
(3) DPC = Damp-proof course.
(4) See section 4 for durability requirements.
Stainless steel fixtures

Bracing units	
Wind	160
Earthquake	120

12kN PILE FIXING



CORROSION HAZARD USE TABLE	
Standard Pack (12kN Std) - Zone B & C - All Fixings ABOVE 600mm from Ground level	All items Hot Dip Galvanised.
High Corrosion Pack (12kN HC) - Zone D - All Fixings BELOW 600mm from Ground level	All items Stainless Steel (304).

12kN Pile Set Contents Each set represents 1 x 12kN Pile Fixing
(packed 4 sets per carton)
2 x Nail Plates 160mm long
8 x CT160 Cleats
80 x 45mm x 3.55 dia. Spiral Nails
90mm x 4 dia. St. Steel Angular Groove
6 - H.C. Pack

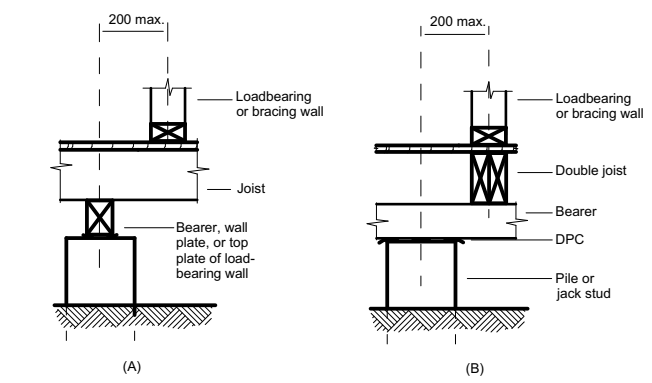
12kN Joint Fixing Schedule

PILE TO BEARER

- Nailon Plate (2 per joint) 1mm x 100mm (Typical) x 160mm long
- 8 Nails per Plate into Pile
- 8 Nails per Plate into Bearer
- 2 Skew Nails 90mm (1 per face)
- CT160 Cleats (4 per joint) 160mm long
- 3 Nails per Cleat into Joist
- 3 Nails per Cleat into Bearer
- 2 Skew Nails 90mm (1 per side)
- 80 x 45mm x 3.55 dia. St. Steel Nails (H.C. Pack only)
- 6 x 90mm x 4 dia. St. Steel Nails (H.C. Pack only)

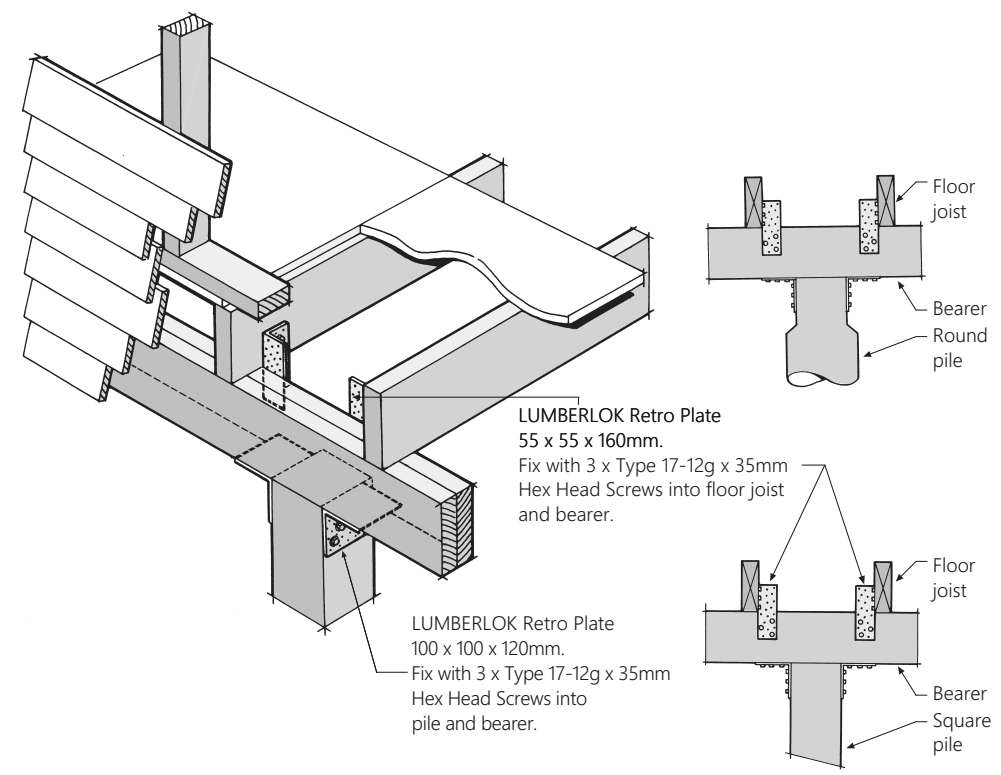
JOIST TO BEARER

NAILS



12kN RETRO SUBFLOOR FIXING

- ★ Fixing to be used when the outside face of the bearer is not accessible e.g. fixing relocatable houses to piles.
- ★ Hot Dip Galvanised or Stainless Steel options available for required corrosive zone.



Code: 12KNRF
Material: 0.91mm G300 Z275 (Hot Dip Galvanised Steel)

Code: 12KNRFH
Material: 0.9mm Stainless Steel 304-2B

Packed: 8 x Retro Plate 55 x 55 x 160mm
8 x Retro Plate 100 x 100 x 120mm
100 x Type 17-12g x 35mm Hex Head Screws



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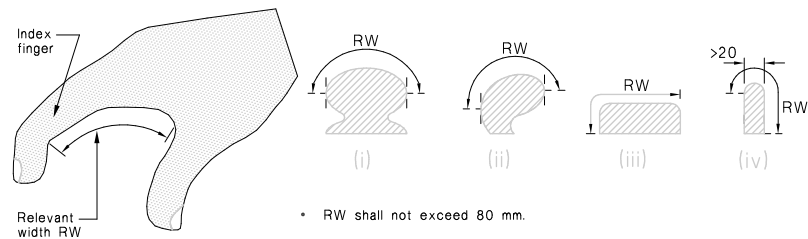
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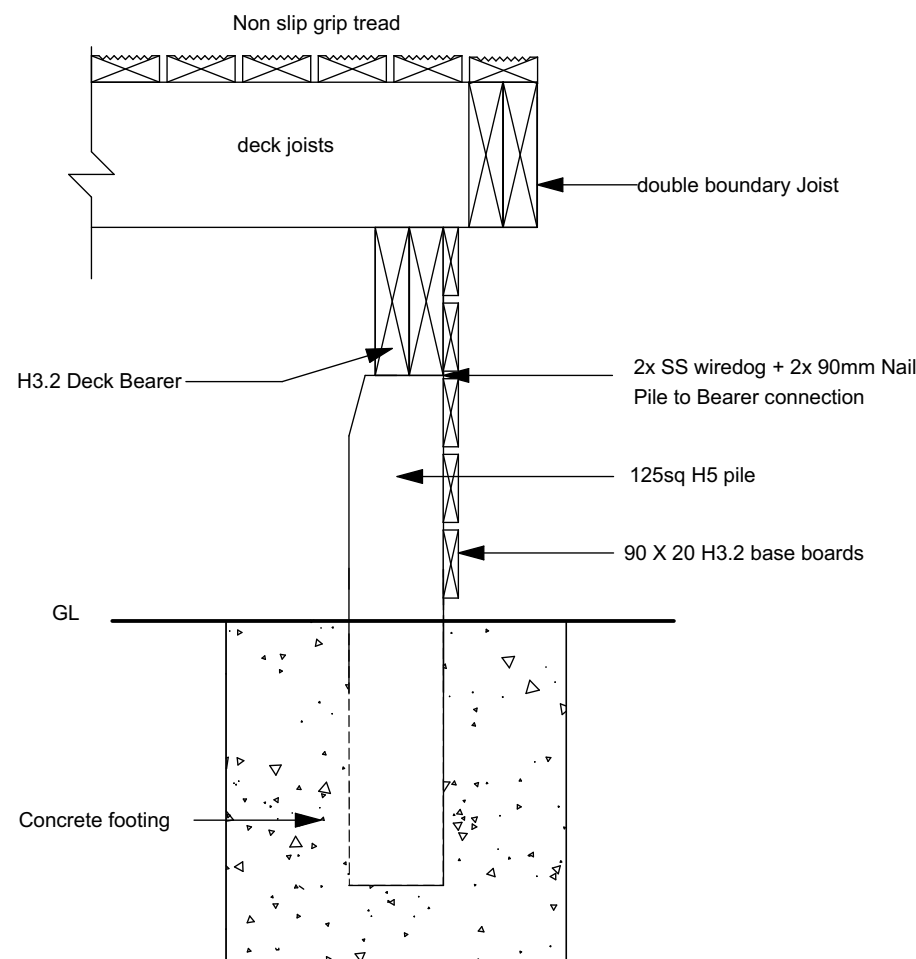
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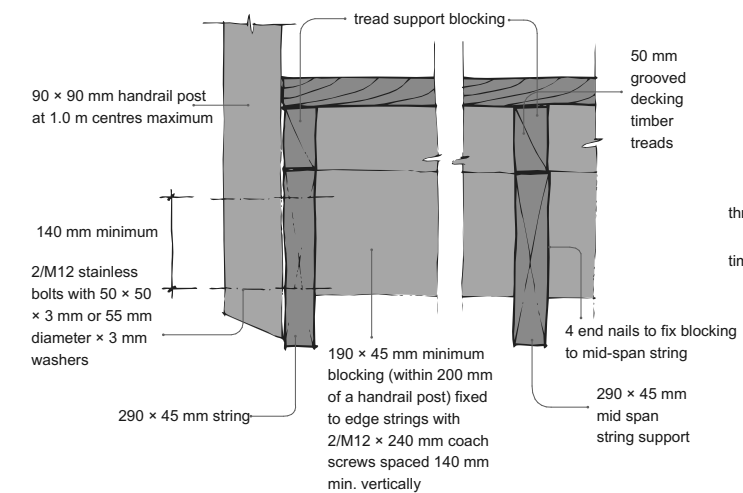
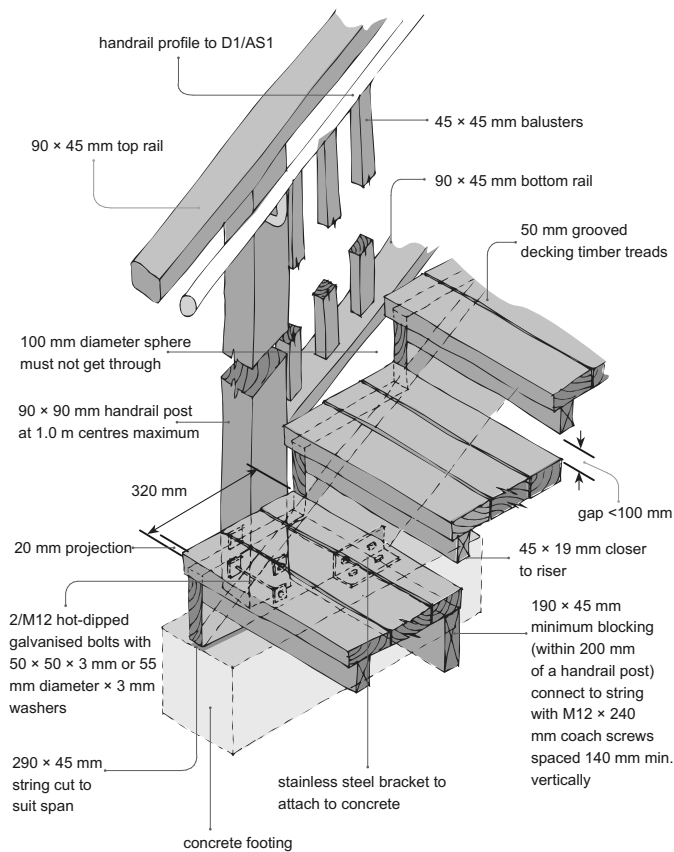
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ISSUE:	9/05/2025	SCALE:	1:5.3815,
REV		SHEET	6



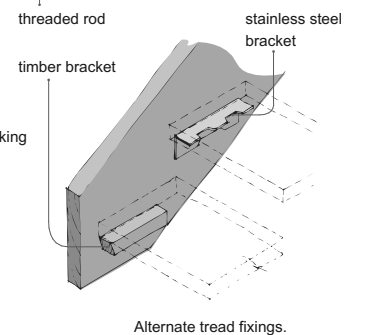
- RW shall not exceed 80 mm.
- RW (relevant width) is measured around the upper surface perimeter of the handrail section between the vertical tangents on either side.
- Variations in shape are acceptable provided the effective grip is not reduced. For example, the side faces shown as vertical in details (iii) and (iv) are still acceptable even if slightly curved or sloped up to 5° from vertical.
- See fig. 26 (b) for wall clearances.



Deck Bearer Detail 1:10



Handrail post fixing to stair string and mid-span string for wider stairs.

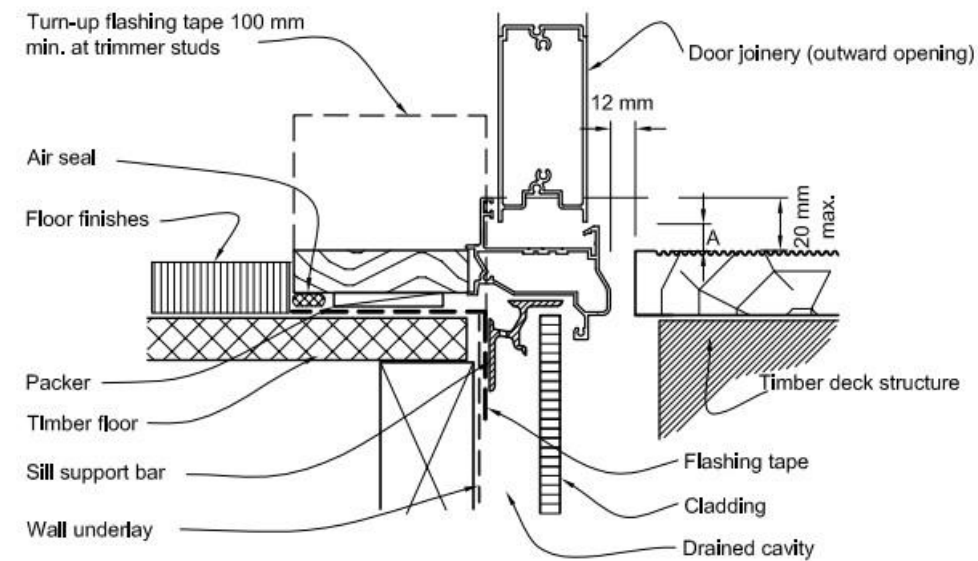


Alternate tread fixings.

BRANZ MAXIMUM SPAN FOR SG8 (H3.2) STRING SIZES.

STRING SIZE	MAXIMUM SPAN
290 x 45 mm	4.0 m
240 x 45 mm	3.3 m
190x 45 mm	2.6 m
140x 45 mm	1.9 m

D4 Stair Details 1:20



(b) TIMBER FLOOR

NOTE: 'A' to be the minimum dimension to maintain clearance from the bottom of the door to finished floor or deck, to manufacturer's requirements, and to keep sill upstand height to less than 20 mm

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Extra High

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Zone B

EARTHQUAKE ZONE:

Zone 1

STATUS:

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PAGE:

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Deck Details

SCALE: 1:20

SHEET 7