

# Application for resource consent or fast-track resource consent

Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes  No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- |   |  |
|---|--|
| <input type="radio"/> Land Use                                    | <input type="radio"/> Discharge: Total volume = <input type="text"/> m <sup>3</sup><br><i>Note; volumes &gt;3m<sup>3</sup> requires NRC Consent.</i> |
| <input type="radio"/> Fast Track Land Use*                        | <input type="radio"/> Subdivision  |
| <input type="radio"/> Change of Consent Notice (s.221(3))         | <input type="radio"/> Existing Use Certificate (s.139A)  |
| <input type="radio"/> Certificate of Compliance (s.139)           | <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil)                            |
| <input type="radio"/> Extension of time (s.125)                   |  |
| <input type="radio"/> Other (please specify) <input type="text"/> |  |

\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

## 3. Would you like to opt out of the fast track process?

Yes  No

## 4. Consultation

Have you consulted with iwi/Hapū?  Yes  No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact:  
The Resource Consents Planning Technicians, [planning\\_technicians@fndc.govt.nz](mailto:planning_technicians@fndc.govt.nz)

## 5. Applicant details

**Name/s:**

KB & CL Moses and DG & AL Stephenson

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

Postcode

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991?  Yes  No

If yes, please provide details.


## 6. Address for correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Reyburn & Bryant

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

Postcode 0140

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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## 7. Details of property owner/s and occupier/s

*Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

KB & CL Moses own one title (NA 132C/461)- DG & AL Stephenson the other (NA 132C/460)

Property address/  
location:


## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/  
location:

  
  
 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?  Yes  No

Is there a dog on the property?  Yes  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

2009  2023

## 10. Would you like to request public notification?

Yes  No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)?  Yes  No  Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result?  Yes  No  Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

## 13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025?  Yes  No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

Flooding

Active Faults

Landslips

Liquefaction

Coastal Erosion

Tsunami

Coastal Inundation

*Please ensure all relevant technical reports are submitted with the application.*

## 14. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application  Yes

## 15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision?  Yes  No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 16. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

KB & CL Moses and DG & AL Stephenson

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Dave Stephenson

**Signature:**

(signature of bill payer)

**Date** 30-Apr-2026

**MANDATORY**

## 17. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 18. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name** (please write in full)

Brett Hood

**Signature**

**Date** 30-Apr-2026

*A signature is not required if the application is made by electronic means*

*See overleaf for a checklist of your information...*

## Checklist of your information

*Please tick if information is provided*

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application.  
Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

Subdivision consent application

**KB & CL MOSES AND DG & AL  
STEPHENSON**

33 Rewa Place, Russell (Tapeka Point)

Subdivision consent application

# KB & CL MOSES AND DG & AL STEPHENSON

Rewa Place, Russell (Tapeka Point)

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Report prepared for:	KB & CL Moses and DG and AL Stephenson
Author	Brett Hood, <i>Director</i>
Reviewed by:	Joseph Henehan, <i>Associate</i>
Consent authority:	Far North District Council
Report reference:	18859
Report status:	Final
Date:	April 2026

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## FORM 9

### APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To: Far North District Council  
Private Bag 752  
Kaikohe

1. **KB & CL Moses and DG and AL Stephenson** apply for consent to convert two existing unit titles to fee simple titles.
2. KB & CL Moses own one title (NA 132C/461) and DG and AL Stephenson the other (NA 132C/460).
3. The location of the proposed activity is 33 Rewa Place, Russell (Tapeka Point). The legal descriptions and title references are provided in Section 1.3 of this report, while the sites are identified in [Figure 1](#).
4. There are no other activities to which this application relates.
5. No additional resource consents or statutory approvals are needed for the activity to which this application relates that have not yet been applied for.
6. We attach an assessment of effects on the environment that:
  - (a) includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
  - (b) addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
  - (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.
7. We attach an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.

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8. We attach an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including information required by clause 2(2) of Schedule 4 of that Act.
  9. No other information is required to be included in the district or regional plan(s) or regulations.



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Brett Hood

30 April 2026

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Address for service:

Reyburn and Bryant 1999 Ltd  
PO Box 191, Whangarei

Telephone:

(09) 438 3563

Email:

brett@reyburnandbryant.co.nz

Contact person:

Brett Hood

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1. Scheme plan
2. Record of title

## ABBREVIATIONS

AEE	Assessment of Environmental Effects
FNDC	Far North District Council
FNDP	Far North District Plan
OFNDP	Operative Far North District Plan
PFNDP	Proposed Far North District Plan
HAIL	Hazardous Activities and Industries List
NES	National Environmental Standard – Soil Contamination
RMA	Resource Management Act, 1991
SUB	Subdivision

# **1. INTRODUCTION**

## **1.1 Report basis**

This report has been prepared for KB & CL Moses and DG and AL Stephenson in support of an application to subdivide land currently held in two unit titles into two standalone fee simple allotments at Rewa Place, being Lot 58 DP 61183.

The application has been prepared in accordance with Section 88 and the Fourth Schedule of the Resource Management Act, 1991 (RMA). Section 88 of the RMA requires that resource consent applications be accompanied by an Assessment of Environmental Effects (AEE) in accordance with the Fourth Schedule.

The report also includes an analysis of the relevant provisions of the district, regional and national planning documents that are pertinent to the assessment and decision required under s104 of the RMA.

## **1.2 Proposal summary**

This application seeks resource consent to subdivide land at Rewa Place, being Lot 58 DP 61183, currently held in two unit titles, into two stand-alone fee simple allotments.

Each proposed allotment contains an existing, lawfully established residential dwelling. The subdivision boundaries follow long-established patterns of occupation and use. No additional development, earthworks, or physical works are proposed to give effect to the subdivision.

The site is zoned 'Coastal Residential' under the Operative Far North District Plan. The proposal has a non-complying activity status under the subdivision rules of the Plan. Despite this status, the proposal does not result in any change to the physical environment, residential density, coastal character, amenity values, access arrangements, servicing, or natural hazard risk.

The assessment of environmental effects concludes that any adverse effects associated with the proposal are no more than negligible when assessed against the existing environment. The proposal is also consistent with the relevant objectives and policies of the Operative Far North District Plan, is not contrary to the intent of the Proposed Far North District Plan, and appropriately gives effect to national direction including the National Policy Statement for Natural Hazards 2025.

Given the absence of adverse effects and the administrative nature of the subdivision, the application is considered appropriate for approval on a non-notified basis.

### 1.3 Property details

<b>Applicant</b>	KB & CL Moses and DG and AL Stephenson
<b>Site location</b>	33 Rewa Place, Russell (Tapeka Point)
<b>Record of titles and legal descriptions</b>	NA132C/460 (Unit 1 DP 205683) and NA132C/461 (Unit 2 DP 205683)
<b>Site area</b>	700m <sup>2</sup>
<b>Operative District Plan zoning and overlays</b>	Coastal Residential Zone
<b>Proposed District Plan zoning and overlays</b>	General Residential Zone Coastal Area Overlay

*Table 1: Property details.*

### 1.4 Relevant title memorials

There are no relevant memorials on either title.

### 1.5 Resource consents sought

The proposal requires subdivision consent under the following rule of the FNDP.

Overall, the proposal is considered a **non-complying activity**.

## **1.6 PFNDP rule assessment**

The FNDC notified the PFNDP on 27 July 2022. In accordance with s86B(3) of the RMA, the rules that would ordinarily apply to this proposal do not currently have legal effect. Notwithstanding this, for completeness purposes, it is assessed that the proposed subdivision would have a discretionary activity status under Rule SUB-R3 of the PFNDP if it were to have legal effect.

## **1.7 Other approvals required**

No other approvals are required to give effect to the proposal.

## **1.8 Processing requests**

Prior to the issue of any decision for this consent, please forward the draft conditions for review.

## 2. THE SITES AND SURROUNDING ENVIRONMENT

### 2.1 Site description

#### General

The subject site is located at 33 Rewa Place and is legally described as Lot 58 Deposited Plan 61183. The site contains two dwellings held in two (respective) unit titles (Units 1 and 2 DP 205683).

The site slopes upward from Rewa Place, with the dwelling on Unit 2 (Moses) positioned upslope and above the dwelling on Unit 1 (Stephenson). The proposed subdivision boundaries follow existing patterns of occupation and use, with no changes proposed to the location, scale, or form of any buildings or associated residential activities.



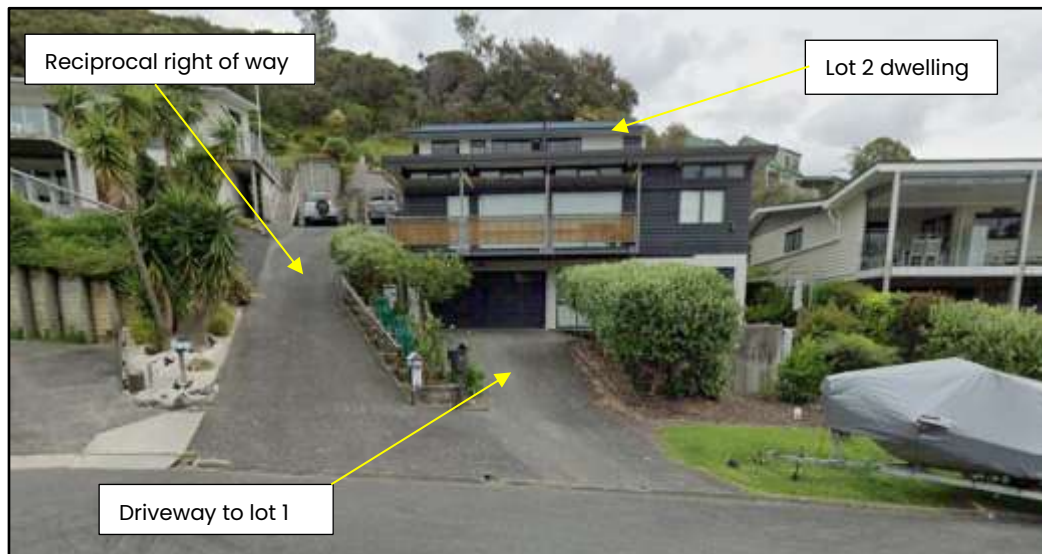
*Figure 1: Location map (Source: Google Maps).*

#### Access

Each proposed allotment has separate legal frontage and vehicle access to Rewa Place.

As evident in **Figure 2** below, access to proposed Lot 2 is via an existing shared right of way arrangement with the neighbouring property at Lot 57 DP 61183. This reciprocal right of way is legally established, physically formed, and will remain unchanged as a result of the proposed subdivision.

The existing vehicle crossings and access surfaces are concrete and in good condition. No alterations to access are proposed.



**Figure 2.** Access arrangement.

### Servicing

Reticulated sewer, electricity, and telecommunications services are available at the road frontage. Both dwellings have separate connections to these services.

Both dwellings are supplied with water via on-site tank supply. All servicing for the dwelling on proposed Lot 2 is contained wholly within that allotment and does not cross proposed Lot 1.

No new servicing infrastructure or easements are required as part of the subdivision.

The site is zoned 'Coastal Residential' under the OFNDP. Under the PFNDP, the site is zoned 'General Residential' and is located within the 'Coastal

Environment' overlay, noting that these provisions do not currently have legal effect.

## **2.2 Surrounding environment**

The surrounding environment is characterised by low-density coastal residential development containing detached dwellings on individual allotments of around 500m<sup>2</sup>-600m<sup>2</sup>.

## **3. THE PROPOSAL**

### **3.1 General**

The proposed new lots are:

Lot 1: 285m<sup>2</sup>

Lot 2: 415m<sup>2</sup>

The areas shown above are approximate and are subject to final survey.

### **3.2 Design rationale**

The design rationale for the proposed subdivision is to dissolve the existing unit title arrangement and replace it with two stand-alone fee simple allotments that accurately reflect the established pattern of occupation, use, and development on the site.

Each proposed allotment will contain one existing lawfully established dwelling, with lot boundaries drawn to follow existing and long-established areas of use associated with each unit. The proposed subdivision does not enable additional development, increased density, or changes to built form, and no physical works are proposed to give effect to the subdivision.

The proposed lot layout ensures that each allotment has direct legal access to Rewa Place and that existing access arrangements, including the reciprocal right of way serving proposed Lot 2 in conjunction with Lot 57 DP 61183, are retained in their current form. This approach avoids the need for access upgrades or alterations and maintains the functional efficiency of the site.

All servicing arrangements are retained as existing, with services either available at the road frontage or contained wholly within individual allotment boundaries. The subdivision therefore avoids the need for new infrastructure, service extensions, or cross-boundary servicing arrangements (easements).

Overall, the proposed design represents an efficient and practical rationalisation of the existing title structure, while maintaining the existing coastal residential character, amenity values, and physical environment of the site.

### **3.3 Access arrangements**

No physical changes are proposed to access arrangements.

Both allotments will continue to be served via existing formed vehicle accesses to Rewa Place. Access to proposed Lot 2 via the existing reciprocal right of way with Lot 57 DP 61183 will remain unchanged, and no additional access rights are required.

### **3.4 Servicing arrangements**

The existing dwellings have existing connections to the Council wastewater and stormwater networks, noting that water supply to both houses are provided via roof collection / tank supply.

No change to the existing servicing arrangements is required to complete the subdivision. Easements will be created over the services as required at the survey stage, although no easements are currently anticipated.

### **3.5 Electricity and telecommunications**

Both the existing buildings have existing (and separate) electricity and telecommunications connections. No new connections will need to be provided as part of this subdivision. Easements will be created over the services at the survey stage where needed (none are anticipated).

## **4. ASSESSMENT OF ENVIRONMENTAL EFFECTS**

### **4.1 Existing environment**

Section 104(1)(a) of the Resource Management Act 1991 requires consideration of any actual and potential effects on the environment arising from the proposal. A necessary starting point for that assessment is an identification of the existing environment.

The subject land contains two lawfully established residential dwellings, each contained within its own unit title. The buildings, access arrangements, servicing infrastructure, and areas of residential use are well established and have existed in their current configuration for a substantial period of time.

The site slopes upward from Rewa Place, with the dwelling on the upper unit located above the lower dwelling. Each dwelling functions independently, with established access, private outdoor space, and servicing arrangements. Access, including the reciprocal right of way serving the upper dwelling in conjunction with the adjoining property at Lot 57 DP 61183, is legally established, physically formed, and operational.

Importantly, the proposed subdivision boundaries directly reflect the existing occupation, layout, and functional separation of residential use on the site. No physical changes to the land, buildings, access, or servicing are proposed. As such, the existing environment for the purposes of this assessment is one where two independent dwellings already exist and operate as discrete residential units.

### **4.2 Permitted baseline**

Section 104(2) of the RMA enables a consent authority to disregard adverse effects that arise from a permitted activity. In the present case, the relevance of the permitted baseline is limited.

The key characteristics of the site, including the number of dwellings, the scale and form of development, access arrangements, and servicing, are already lawfully established and form part of the existing environment. The proposed subdivision does not introduce new development, enable additional residential activity, or alter how the land is used or occupied.

Accordingly, the assessment of effects appropriately focuses on whether the change in title structure gives rise to any new or different effects beyond those that already exist. As discussed below, it does not.

### **4.3 Effects on amenity, landscape and character values**

The subject site is located within the 'Coastal Residential' Zone. The objectives and policies seek to maintain residential amenity values and recognise the sensitivity of the coastal environment.

The proposed subdivision will not result in any change to built form, site coverage, landscaping, or visual appearance of the site. No additional dwellings are proposed, and no intensification of residential activity will occur. The subdivision boundaries reflect existing areas of use and occupation and do not alter the relationship of buildings to one another or to neighbouring properties.

From an amenity perspective, residents and neighbours will experience no change in outlook, privacy, shading, noise, or general residential character. The coastal character of the area will remain unchanged, as the proposal does not involve earthworks, vegetation removal, or modification of landform.

Any technical departures from zoning density or site standards are already present as part of the existing environment and are not created or exacerbated by the subdivision. As a result, any adverse effects on amenity, landscape, or character values are negligible.

#### **4.4 Natural hazards**

The site contains existing residential dwellings and established access and servicing infrastructure. The proposed subdivision does not involve any earthworks, landform modification, or physical development that could alter exposure to natural hazards.

The subdivision follows existing use and occupation and does not increase site occupancy or intensity of residential use. Accordingly, the level of natural hazard risk applying to the site following subdivision will be unchanged from that which currently exists.

No new or increased natural hazard effects are anticipated as a result of the proposal.

#### **4.5 Access and servicing arrangements**

There will be no change to the existing access or servicing arrangements serving the site.

Each proposed allotment has established legal and physical access to Rewa Place. Access to the upper dwelling (proposed Lot 2) will continue to be provided via the existing reciprocal right of way arrangement shared with Lot 57 DP 61183. This arrangement is legally established and physically formed (good quality concrete formation). No new vehicle crossings or access upgrades are proposed.

Servicing arrangements will remain unchanged. Reticulated sewer, electricity, and telecommunications services are available at the road frontage. Both dwellings are supplied with water via existing on-site tank systems contained within the respective lot boundaries. All servicing associated with the upper dwelling is located wholly within the boundaries of that allotment and does not cross the lower allotment.

As the subdivision does not require new infrastructure or modifications to existing services, any adverse effects associated with access and servicing are negligible.

#### **4.6 Cultural Effects**

There are no recorded archaeological sites or sites of significance to Māori identified on the subject land. The proposal does not involve earthworks or modification of land that could disturb subsurface cultural material.

Given that the subdivision is limited to a change in title structure and does not alter how the land is physically used or occupied, no cultural effects are anticipated.

#### **4.7 Adverse effects conclusion**

The proposed subdivision will not result in any physical change to the site or its operation. It does not introduce additional development, increase residential density, or alter access, servicing, or amenity conditions.

The subdivision reflects long-established patterns of occupation and use, and the resulting fee simple allotments will function in the same manner as the existing unit titles. Any adverse effects arising from the proposal are therefore negligible when assessed against the existing environment.

## **5. PLANNING ASSESSMENT**

### **5.1 Relevant planning documents**

Section 104(1) of the Resource Management Act 1991 requires that, subject to Part 2, the consent authority have regard to the actual and potential effects on the environment, and to relevant provisions of planning documents.

The relevant planning documents for the assessment of this application are:

- The Operative Far North District Plan (OFNDP).
- The Proposed Far North District Plan (PFNDP), notwithstanding its limited statutory weight.
- The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NES-CS).
- The National Policy Statement for Natural Hazards (NPS-NH).

### **5.2 Objectives and policies assessment – Operative FNDP**

#### **Planning Context**

Under the OFNDP, the subject site is zoned 'Coastal Residential'. The purpose of this zone is to provide for residential activities while maintaining coastal character, residential amenity values, and environmental quality in areas adjacent to or influenced by the coastal environment.

The proposed subdivision is a non-complying activity under Rule 13.11, as the proposal does not meet applicable subdivision standards (specifically lot area). As a result, the assessment focuses on whether the proposal is inconsistent with the relevant objectives and policies and whether adverse effects are significant.

### **Coastal Residential Zone Objectives and Policies (General)**

The 'Coastal Residential Zone' objectives and policies seek to:

- Enable residential use while recognising the sensitivity of the coastal environment
- Maintain residential amenity values and coastal character
- Ensure subdivision patterns avoid adverse environmental effects
- Avoid inappropriate intensification or development that would degrade coastal values

The proposed subdivision is consistent with these objectives and policies for the reasons set out below.

#### **Residential density and coastal character**

The proposal does not provide for additional residential development, increased density, or intensified land use. Two residential dwellings already exist on the site, and the subdivision simply formalises their long-established independent use through fee simple titles.

No changes are proposed to building footprints, site coverage, landform, or vegetation. As a result, the coastal character and visual qualities of the site and surrounding environment will remain unchanged. The subdivision does not introduce built form closer to the coast, increase prominence, or alter the physical relationship between development and the coastal environment.

#### **Amenity values**

Residential amenity values, including privacy, outlook, noise environment, and site functionality, will remain unchanged following subdivision. The dwellings already operate independently, with established access and private outdoor areas.

The proposed allotment boundaries follow existing patterns of occupation and use and do not alter how the site functions or is experienced by occupants or

neighbours. Any departures from density or site standards already exist and form part of the baseline environment.

### **Subdivision pattern and environmental effects**

The subdivision represents a rationalisation of an existing title structure rather than the creation of new residential development. The proposed allotments reflect established use patterns, avoid fragmentation of land, and do not generate new demand for infrastructure or services.

Given that no physical works are proposed and no additional development rights are created beyond those already exercised, the subdivision does not produce adverse environmental effects inconsistent with the 'Coastal Residential Zone' framework.

### **Conclusion**

Overall, the proposal is consistent with the intent, objectives, and policies of the 'Coastal Residential Zone'. While technically non-complying, the subdivision does not undermine the policy direction of the zone and simply changes the underlying tenure of residential development that is already established on the site.

## **5.3 Objectives and policies assessment –PFNDP**

### **Planning context and weighting**

The PFNDP was notified in July 2022. While some provisions may have legal effect, the zoning and overlay provisions relevant to this site do not. Accordingly, the objectives and policies of the Proposed Plan are a relevant but secondary consideration under section 104(1)(b) of the RMA and should be afforded limited weight.

Under the Proposed Plan, the site is zoned 'General Residential' and is located within a 'Coastal Environment' overlay.

### **Assessment against Proposed District Plan direction**

The objectives and policies of the 'General Residential Zone' and 'Coastal Environment' overlay seek to:

- Enable residential activities in a manner that maintains amenity values.
- Avoid degradation of coastal character and environmental quality.
- Ensure subdivision design is efficient and effects-based.

The proposed subdivision aligns with these directions, as it does not alter land use intensity, built form, or physical site characteristics. The coastal environment will not be modified, and coastal character values will remain unaffected.

The proposal represents efficient land use by simplifying the title framework for two existing dwellings without introducing further environmental demands or effects.

### **Conclusion**

While the PFNDP provisions carry limited weight, the proposed subdivision is consistent with their intent and direction, particularly in relation to maintaining coastal values and avoiding unnecessary intensification.

## **5.4 NES-CS**

The application involves subdivision but does not involve earthworks or a change in land use.

A review of the site's existing and historical use indicates that it has been used for residential purposes and is not associated with activities listed on the Hazardous Activities and Industries List (HAIL). Accordingly, the provisions of the NES-CS are not triggered, and no further assessment is required.

## **5.5 National Policy Statement for Natural Hazards 2025 (NPS-NH)**

### **Statutory Context and Weight**

The National Policy Statement for Natural Hazards 2025 (NPS-NH) was notified in December 2025 and came into force on 15 January 2026. The NPS-NH provides national direction for the management of natural hazard risk under the Resource Management Act 1991 and applies to all zones and environments, including coastal environments.

The NPS-NH applies to subdivision, use, and development, except for infrastructure and primary production activities, neither of which are relevant to this proposal.

### **NPS-NH Objective**

The overarching objective of the NPS-NH is to ensure that natural hazard risk is managed using a risk-based and proportionate approach, having regard to the likelihood and consequence of natural hazard events.

### **Assessment of the proposal against the NPS-NH**

#### Nature of the Proposal

The proposal involves the conversion of an existing unit title arrangement into two stand-alone fee simple allotments. Each allotment already contains a lawfully established residential dwelling, with established access and servicing arrangements.

No physical works, earthworks, landform modification, or new development are proposed, and the subdivision boundaries follow long-established patterns of occupation and use.

### Natural hazard risk and existing environment

The NPS-NH requires decision-makers to assess natural hazard risk by considering both the likelihood of a hazard occurring and the consequences should it occur, using a nationally consistent risk-based framework.

In this case:

- The site already contains two residential dwellings that lawfully occupy the land.
- The proposal does not introduce additional development, increase residential density, or change how people or assets are exposed to natural hazards.
- No changes are proposed to access, landform, or servicing that could alter hazard vulnerability.
- Natural hazard exposure and consequences following subdivision will be the same as those that currently exist.

Accordingly, the proposal does not result in a change to the natural hazard risk profile of the site.

### Proportionate management of natural hazard risk

A core principle of the NPS-NH is that natural hazard risk must be managed proportionately to the level of risk involved.

Given the administrative nature of the subdivision and the absence of any change to physical development or land use:

- There is no basis for additional hazard mitigation measures.
- There is no justification for imposing more restrictive controls than those already applying to the site.
- The proposal does not give rise to new or increased risks requiring further assessment or management.

This approach is consistent with the NPS-NH's intention to avoid unnecessary regulatory burden where no additional risk is created.

#### Coastal Environment Considerations

The NPS-NH expressly applies to the coastal environment.

In this instance:

- The proposal does not alter coastal character, landform, or coastal processes.
- No development is proposed that would affect coastal erosion, inundation, or other coastal hazards.
- The proposal does not undermine the intent or effect of NZCPS policies or coastal hazard management outcomes.

#### **Existing Use Rights**

The NPS-NH explicitly states that it does not override existing use rights under section 10 of the RMA. The existing dwellings and their occupation are lawfully established, and the proposal does not alter or extend those rights.

#### **Conclusion – NPS-NH**

The proposed subdivision is consistent with the objective and policies of the National Policy Statement for Natural Hazards 2025. It adopts a proportionate, risk-based approach by recognising that the proposal:

- Does not introduce new natural hazard risk,
- Does not increase exposure or consequence,
- Does not require mitigation or restriction beyond the existing environment, and
- Does not result in adverse effects associated with natural hazards.

Accordingly, appropriate regard has been given to the NPS-NH under section 104(1)(b)(iv) of the Resource Management Act 1991.

## **5.6 Part 2 assessment (RMA)**

An assessment under Part 2 of the RMA is generally unnecessary where the proposal is appropriately assessed under relevant planning documents and no gaps or inconsistencies exist.

In this case, the OFNDP provides a clear framework for assessment. Nonetheless, for completeness, the proposal is consistent with the purpose and principles of the RMA, as it:

- Enables efficient use and development of land.
- Maintains existing amenity values and environmental quality.
- Avoids adverse effects on the coastal environment.
- Does not give rise to risks to human health or safety.

## **5.7 Overall planning conclusion**

The proposed subdivision is fundamentally administrative in nature and gives effect to a long-established pattern of residential occupation. It does not result in adverse environmental effects, is consistent with the objectives and policies of the OFNDP and is not contrary to the relevant direction of the PDP.

## **6. NOTIFICATION**

### **6.1 Public notification**

Public notification is governed by section 95A of the Resource Management Act 1991. An application must be publicly notified unless the adverse effects of the activity on the environment are more than minor, or public notification is required by a rule or national direction.

In this case, the proposed subdivision results in no physical change to the site and does not enable additional development, increased density, or changes to land use or intensity. The subdivision reflects long-established patterns of occupation and use, with each proposed allotment containing an existing dwelling.

The assessment of environmental effects concludes that any adverse effects arising from the proposal are no more than negligible. There are no effects on coastal character, amenity values, access, servicing, or natural hazard risk beyond those that already exist.

Accordingly, the application does not meet the statutory threshold for public notification.

### **6.2 Limited notification**

Sections 95B and 95E–95G of the RMA require limited notification where adverse effects on identified persons are more than minor.

The proposed subdivision does not alter the physical or functional relationship between the site and neighbouring properties. Access arrangements, including the reciprocal right of way with Lot 57 DP 61183, will remain unchanged. No new activities or effects will be generated that could adversely affect adjacent landowners or other persons.

There are therefore no affected persons for the purposes of section 95E of the RMA.

### **6.3 Notification conclusion**

Having regard to sections 95A and 95B of the RMA, the assessment of effects undertaken in this report, and the nature of the proposal, the application can be appropriately processed on a non-notified basis.

## 7. CONCLUSION

This application seeks consent to subdivide land currently held in two unit titles into two stand-alone fee simple allotments within the Coastal Residential Zone.

The proposal is administrative in nature and does not result in any change to the existing physical environment, residential density, coastal character, amenity values, access arrangements, servicing, or exposure to natural hazards. Each proposed allotment will contain an existing, lawfully established dwelling, and subdivision boundaries follow long-established patterns of occupation and use.

The assessment of environmental effects confirms that any adverse effects associated with the proposal are no more than negligible. The proposal is consistent with the objectives and policies of the OFNDP, is not contrary to the relevant direction of the PFNDP, and appropriately responds to national direction including the NPS-NH.

Having regard to the matters set out in sections 104 and 104B of the Resource Management Act 1991, the proposal can be approved subject to standard conditions of consent.

# APPENDIX 1

## SCHEME PLAN

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- CAUTION:**
1. THIS DRAWING SHOULD NOT BE AMENDED MANUALLY.
  2. AREAS & DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY.
  3. THE VENDOR & PURCHASER MUST CONTACT THE SURVEYOR IF SALE & PURCHASE AGREEMENTS ARE ENTERED INTO USING THIS PLAN. SERVICES MUST NOT BE POSITIONED USING THIS PLAN.
  4. DO NOT SCALE OFF DRAWINGS.
  5. THIS PLAN IS COPYRIGHT TO REYBURN & BRYANT (1999) LIMITED.
  6. DESIGNED BY REYBURN & BRYANT - WHANGAREI - NEW ZEALAND
  7. 01m 2014-2015 URBAN AERIAL SOURCED FROM AERIAL SURVEYS LTD
  8. INFORMATION AVAILABLE ON LINZ DATA SERVICE.
  9. BOUNDARIES SOURCED FROM GRIP. COORDINATES IN TERMS OF MOUNT EDEN 2000.

EXISTING EASEMENT SCHEDULE			
PURPOSE	SHOWN	BURDENED	BENEFITED / CREATED
RIGHT OF WAY	A	LOT 1 HEREON	LOT 57 DP 61183 #D598096.3

TOTAL TITLE AREA: 700m<sup>2</sup>  
 COMPRISED IN: RST NA132C/460 & NA132C/461 (ALL)  
 THIS SITE IS ZONED 'RESIDENTIAL' AND THE BUILDING SETBACKS ARE THUS: 3m FROM ROAD BOUNDARIES, 1.2m FROM ALL OTHER BOUNDARIES.

REV	DATE	DESCRIPTION
B	05.05.26	1m BOUNDARY SETBACK FROM HOUSE - BH/KM
A	24.04.26	FIRST ISSUE - BH/KM

**reyburn & bryant**

Ph: 09 438 3563 PO Box 191, Whangarei 0140  
 7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

CLIENT

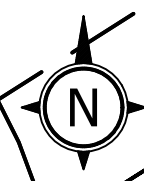
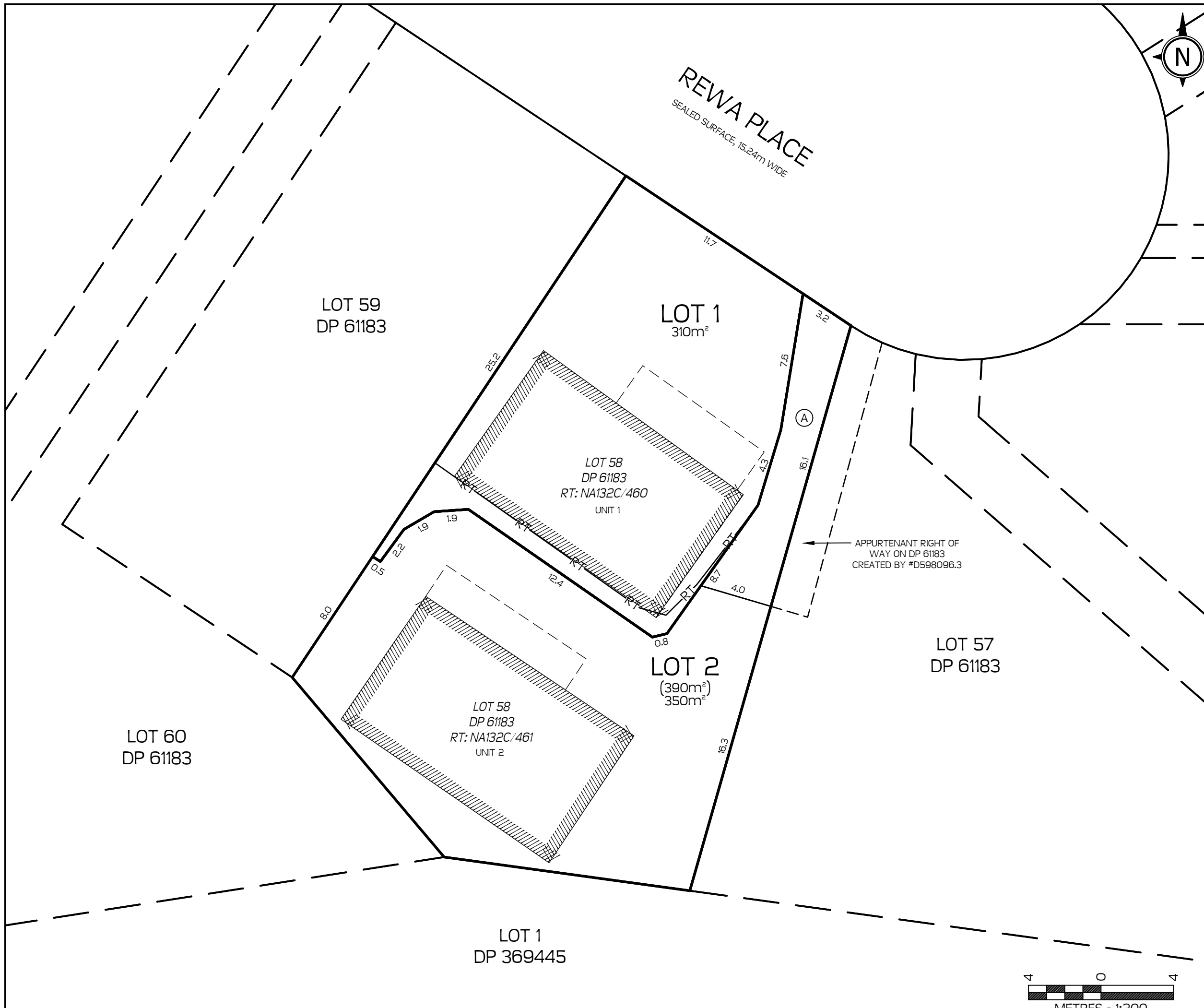
DCG & AL STEPHENSON & KB & CL MOSES  
 33A & 33B REWA PLACE, RUSSELL

TITLE

**PROPOSED SUBDIVISION OF LOT 58 DP 61183**

DATE	MAY 2026	SCALE	1:200 @A3
DRAWING REF.	S18859	SHEET	01 OF 01
		REV	B





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EXISTING EASEMENT SCHEDULE			
PURPOSE	SHOWN	BURDENED	BENEFITED / CREATED
RIGHT OF WAY	A	LOT 1 HEREON	LOT 57 DP 61183 #D598096.3

TOTAL TITLE AREA: 700m<sup>2</sup>  
 COMPRISED IN: RST NA132C/460 & NA132C/461 (ALL)  
 THIS SITE IS ZONED 'RESIDENTIAL' AND THE BUILDING SETBACKS ARE THUS: 3m FROM ROAD BOUNDARIES, 1.2m FROM ALL OTHER BOUNDARIES.

REV	DATE	DESCRIPTION
B	05.05.26	1m BOUNDARY SETBACK FROM HOUSE - BH/KM
A	24.04.26	FIRST ISSUE - BH/KM

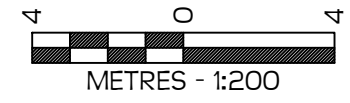
REF. DATA:

Ph: 09 438 3563 PO Box 191, Whangarei 0140  
 7 Selwyn Ave, Whangarei www.reyburnandbryant.co.nz

CLIENT  
 DCG & AL STEPHENSON & KB & CL MOSES  
 33A & 33B REWA PLACE, RUSSELL

TITLE  
**PROPOSED SUBDIVISION OF LOT 58 DP 61183**

DATE	MAY 2026	SCALE	1:200 @A3
DRAWING REF.	S18859	SHEET	01 OF 01
REV	B		



# **APPENDIX 2**

## **RECORD OF TITLE**

---



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
UNIT TITLE  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA132C/460**  
**Land Registration District** **North Auckland**  
**Date Issued** 24 April 2001

**Prior References**  
NA16C/953

**Supplementary Record Sheet**  
NA132C/462

---

**Estate** Stratum in Freehold  
**Legal Description** Unit 1 Deposited Plan 205683  
**Registered Owners**  
David George Christopher Stephenson and Anna Lee Stephenson

---

**The above estates are subject to the reservations, restrictions, encumbrances, liens and interests noted below and on the relevant unit plan and supplementary record sheet**

10520261.2 Mortgage to Westpac New Zealand Limited - 1.9.2016 at 7:02 am  
11325091.1 Variation of Mortgage 10520261.2 - 21.12.2018 at 3:29 pm



**SUPPLEMENTARY RECORD SHEET  
UNDER UNIT TITLES ACT 1972****Search Copy**

**Identifier** NA132C/462  
**Land Registration District** North Auckland  
**Date Issued** 24 April 2001  
**Plan Number** DP 205683

**Subdivision of**  
Lot 58 Deposited Plan 61183

**Prior References**  
NA16C/953

**Unit Titles Issued**  
NA132C/460 NA132C/461

---

**Interests****OWNERSHIP OF COMMON PROPERTY**

Pursuant to Section 47 Unit Titles Act 2010 -

(a) the body corporate owns the common property and

(b) the owners of all the units are beneficially entitled to the common property as tenants in common in shares proportional to the ownership interest (or proposed ownership interest) in respect of their respective units.

The above memorial has been added to Supplementary Record Sheets issued under the Unit Titles Act 1972 to give effect to Section 47 of the Unit Titles Act 2010.

Appurtenant hereto is a right of way created by Transfer D598096.3 - 24.4.2001 at 1.54 pm

Subject to a right of way over part marked A on DP 205683 created by Transfer D598096.3 - 24.4.2001 at 1.54 pm

The easements created by Transfer D598096.3 are subject to Section 243 (a) Resource Management Act 1991



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
UNIT TITLE  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA132C/461**  
**Land Registration District** **North Auckland**  
**Date Issued** 24 April 2001

**Prior References**  
NA16C/953

**Supplementary Record Sheet**  
NA132C/462

---

**Estate** Stratum in Freehold  
**Legal Description** Unit 2 Deposited Plan 205683  
**Registered Owners**  
Kelvin Brett Moses and Christine Lilian Moses

---

**The above estates are subject to the reservations, restrictions, encumbrances, liens and interests noted below and on the relevant unit plan and supplementary record sheet**





**SUPPLEMENTARY RECORD SHEET  
UNDER UNIT TITLES ACT 1972**

**Search Copy**

**Identifier** NA132C/462  
**Land Registration District** North Auckland  
**Date Issued** 24 April 2001  
**Plan Number** DP 205683

**Subdivision of**  
Lot 58 Deposited Plan 61183

**Prior References**  
NA16C/953

**Unit Titles Issued**  
NA132C/460 NA132C/461

**Interests**

**OWNERSHIP OF COMMON PROPERTY**

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