

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

2. Type of consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Shu Ping

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? Yes No

If yes, please provide details.

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6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Shu Ping

Property address/
location:

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8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Shaun Francois

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Shaun Francois

Signature:

(signature of bill payer)

Date

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Shaun Francois

Signature

Date

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Land Use Resource Consent
Shu Ping
73A Signal Station Road, Omapere

9 June 2026

Attention: Liz Searle and Jo Graham – Team Leader(s) Resource Consents

The Applicant is seeking to construct a non-habitable pavilion within their site at 73A Signal Station Road, Omapere. The pavilion is proposed to have a floor area of 70m² and is described as an “Entertainment Room’ with the roof being constructed as an observation deck. The maximum height of the pavilion above ground level is 6.9 metres.

The site is within the Coastal Living zone under the Operative District Plan (ODP) and is proposed to be rezoned to Rural Lifestyle under the Proposed District Plan (PDP) as well as being within the Coastal Environment Overlay. Consent is triggered under ODP Rules 10.7.5.1.1 Visual Amenity, 10.7.5.1.6 Stormwater Management and 10.7.5.1.7 Setback from Boundaries. The proposal has been assessed as a **Discretionary Activity** under the ODP.

There is an existing consent notice registered on the title under Document D579879.2. A variation to Condition 3 of this consent notice is requested given the proposed pavilion height will exceed the stated height of 4 metres within the consent notice. The requested amendment has been assessed as a **Discretionary Activity** under s221(3) of the Act.

A Landscape & Visual Effects Assessment has been completed by Hawthorn Landscape Architects (**Appendix 5**), in support of the application which provides mitigation measures of visual effects of the pavilion and amendment to the consent notice condition. A Stormwater Memo has also been completed by BG&E Consulting Ltd to address attenuation requirements for the increased impermeable surface coverage. This is attached within **Appendix 6**.

If you require further information, please do not hesitate to contact me.

Regards



Alex Billot

Resource Planner

Reviewed by



Sheryl Hansford

Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED

Table of Contents

Table of Contents.....	2
1. Description of the Proposed Activity	4
LAND USE	4
VARIATION TO CONSENT NOTICE CONDITION UNDER S221(3) OF THE ACT	6
2. Description of the Site and Surrounding Environment.....	7
TITLE.....	14
<i>CONSENT NOTICE D579879.2</i>	<i>14</i>
BACKGROUND	16
<i>1990059 - RMASUB.....</i>	<i>16</i>
<i>RC 2020235 & BC 2002-1294</i>	<i>16</i>
<i>RC 2190493 & BC 2019-112</i>	<i>16</i>
3. Reasons for Consent	16
OPERATIVE DISTRICT PLAN (ODP).....	16
<i>OPERATIVE DISTRICT PLAN ACTIVITY STATUS.....</i>	<i>20</i>
PROPOSED DISTRICT PLAN.....	20
<i>PROPOSED DISTRICT PLAN ACTIVITY STATUS</i>	<i>22</i>
VARIATION OF CONSENT NOTICE	22
NATIONAL ENVIRONMENTAL STANDARDS	23
<i>NATIONAL ENVIRONMENTAL STANDARDS FOR ASSESSING AND MANAGING CONTAMINANTS IN SOIL TO PROTECT HUMAN HEALTH 2011 (NESCS)</i>	<i>23</i>
<i>NATIONAL ENVIRONMENTAL STANDARDS FOR FRESHWATER MANAGEMENT 2020.....</i>	<i>23</i>
4. Statutory Assessment	23
SECTION 104B OF THE RESOURCE MANAGEMENT ACT 1991 (RMA)	23
RMA SECTION 104	23
ASSESSMENT OF EFFECTS ON THE ENVIRONMENT	24
<i>VISUAL AMENITY EFFECTS.....</i>	<i>24</i>
<i>SETBACK FROM BOUNDARIES.....</i>	<i>26</i>
<i>STORMWATER MANAGEMENT.....</i>	<i>28</i>
CHANGE TO CONSENT NOTICE CONDITION.....	31
RELEVANT STATUTORY PROVISIONS.....	33
<i>NEW ZEALAND COASTAL POLICY STATEMENT 2010 (WITH 2025 AMENDMENTS).....</i>	<i>33</i>
<i>REGIONAL POLICY STATEMENT FOR NORTHLAND (2016 - UPDATED 2018).....</i>	<i>34</i>
<i>FAR NORTH DISTRICT PLAN.....</i>	<i>35</i>
<i>PROPOSED FAR NORTH DISTRICT PLAN</i>	<i>37</i>
<i>PLAN WEIGHTING SUMMARY.....</i>	<i>38</i>
5. Notification Assessment	39
SECTION 95A – PUBLIC NOTIFICATION ASSESSMENT	39

SECTION 95B – LIMITED NOTIFICATION ASSESSMENT.....	41
6. Part 2 Assessment	44
7. Conclusion.....	45
8. Limitations	46

Appendices

- 1. Far North District Council Application Form**
- 2. Record of Title – *LINZ***
- 3. Consent Notice D579879.2 – *LINZ***
- 4. Site and Building Plans – *HM Design***
- 5. Landscape Memorandum – *Hawthorn Landscape Architects***
- 6. Stormwater Memorandum – *BG & E***
- 7. Correspondence – *HNZPT***
- 8. Written Approval – *Lot 2 DP 204637***
- 9. ODP and PDP Objectives and Policies – *Northland Planning and Development***

Assessment of Environment Effects Report

1. Description of the Proposed Activity

Land Use

- 1.1. The Applicant is seeking to construct a non-habitable pavilion within their site at 73A Signal Station Road, Omapere. The pavilion is proposed to have a floor area of 70m² with dimensions of 10m x 7m and is described as an “Entertainment Room’ with an observation deck constructed over top. Access to the pavilion will be via an outside walkway from the principal dwelling on the site, with a door provided at ground level. A set of stairs will provide access to the observation deck. The railing along the steps and around the edge of the observation deck is proposed to be glazing, with the roof balustrade being 1.5m high. This is detailed within the Plan Set contained within **Appendix 4**, with snips shown below for ease of reference. The maximum height of the pavilion above ground level will be 6.9 metres.
- 1.2. The site is within the Coastal Living zone under the ODP and is proposed to be rezoned to Rural Lifestyle under the PDP as well as being within the Coastal Environment Overlay.

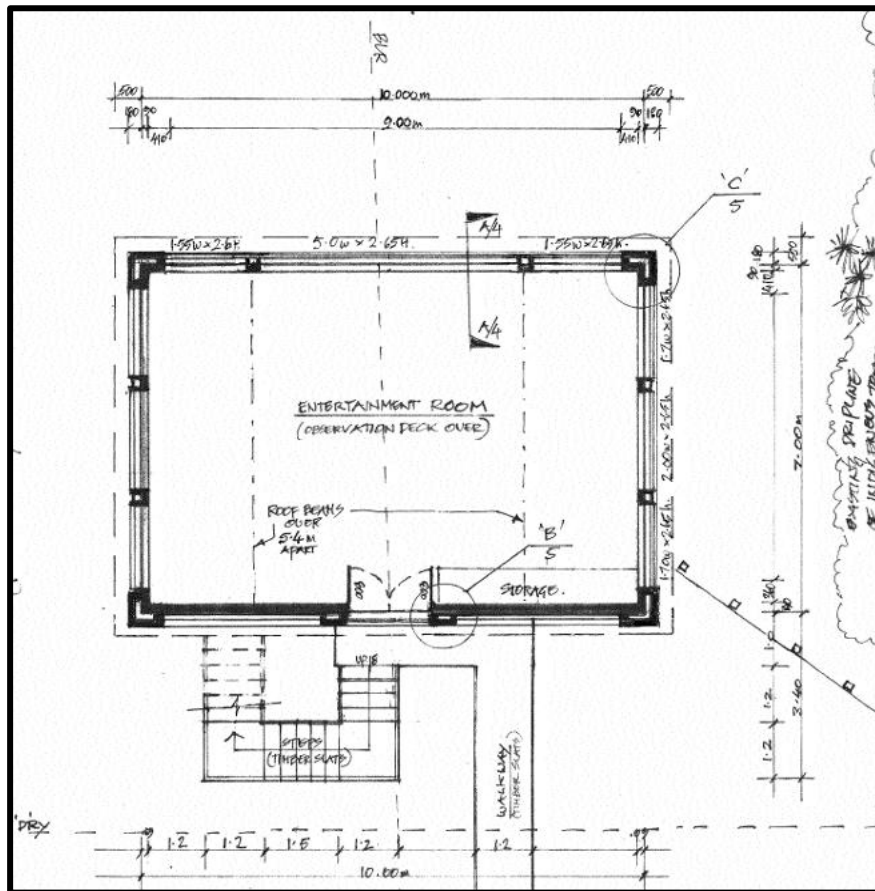


Figure 1: Proposed floor area of pavilion.

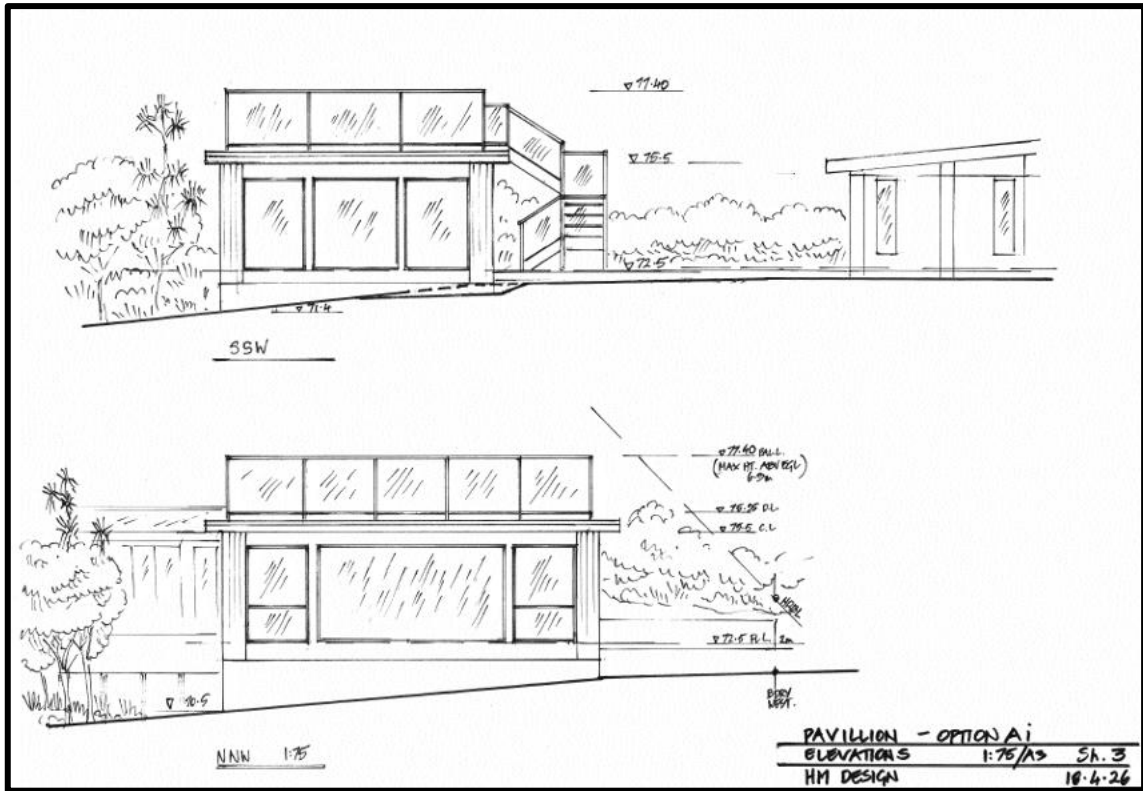


Figure 2: Elevations for pavilion

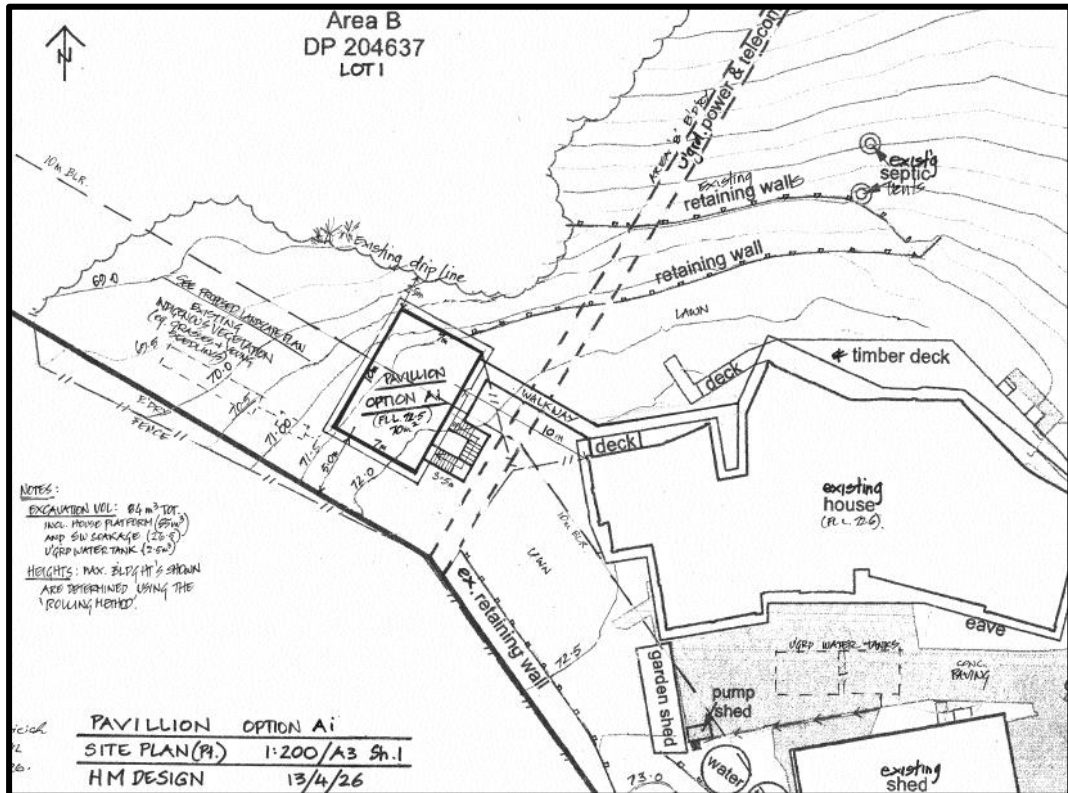


Figure 3: Site Plan showing location of pavilion in regard to existing dwelling on the site and bush areas.

- 1.3. The floor area of the pavilion will be 70m² and therefore triggers consent under *10.7.5.1.1 Visual Amenity*. The existing impermeable surfaces within the site amount to 1256m² and with the additional 70m² for the pavilion, this brings the total impermeable surface coverage within the site to 1326m² or 15.50% of the total site area, which results in an infringement of the permitted coverage within Rule *10.7.5.1.6 Stormwater Management*. The pavilion will also be located 5 metres from the privately owned allotment (Lot 2 DP 204637) along the westernmost boundary of the site, encroaching into the permitted 10 metre setback with adjoining Lot 2 DP 204637, and as such, consent is triggered for this infringement under *Rule 10.7.5.1.7 Setback from Boundaries*.
- 1.4. A Landscape & Visual Effects Assessment (“LVEA”) has been completed by Hawthorn Landscape Architects (**Appendix 5**), in support of the application which provides mitigation measures of visual effects of the pavilion. A Stormwater Memo has also been completed by BG&E Consulting Ltd to address attenuation requirements for the increased impermeable surface coverage. This is attached within **Appendix 6**.
- 1.5. The proposal has been assessed as a **Discretionary Activity** under the Operative District Plan (ODP).

Variation to Consent Notice Condition under s221(3) of the Act

- 1.6. There is an existing consent notice registered on the title under D579879.2 which is dated 20 December 2000. A copy of the consent notice document is attached within **Appendix 3**. This consent notice document includes three conditions which relate to the subject site. The proposal is assessed as complying with Conditions 1 & 2, as will be detailed further within this assessment.
- 1.7. Condition 3 restricts any building on the lot to a height of no more than 4 metres. Any building is also to be finished in natural colours and non-reflective surfaces. The proposed pavilion will have a maximum height of 6.9 metres and as such, the Applicant is seeking to amend this condition to exclude the pavilion. This amendment has been supported by Hawthorn Landscape Architects within the LVEA contained within **Appendix 5**.
- 1.8. The amendments to the consent notice are sought under S221(3) of the Act and is assessed as a **Discretionary Activity**.

2. Description of the Site and Surrounding Environment

- 2.1. The application site is located at 73A Signal Station Road, Omapere. The site is legally described as Lot 1 DP 204637. A copy of the record of title is attached in **Appendix 2**.
- 2.2. The site is 8550m² and is located west of the settlement of Omapere. The site is bounded by privately owned allotments on the western, eastern and southern boundaries of the site and bounded by Signal Heights Road along the northern boundary.
- 2.3. There is an existing consented dwelling and standalone shed on the site which are located slightly off centre, towards the southern portion of the site. Access is via an existing right of way along the eastern boundary, which leads to the internal access within the southeastern portion of the site. The northern portion of the site is dominated by native shrubland, as well as the western and southern boundaries.



Figure 4: Existing dwelling and shed. Image taken from the southern portion of the site, orientated north. Location of pavilion is to the far left of the image, to the north of the dwelling.



Figure 5: Existing internal access to the dwelling and shed.

2.4. The proposed pavilion will be within an existing open area of the site which is maintained lawn. It is noted that this area is protected by way of Consent Notice, depicted as “Area B” on the Title Plan. It is assumed the area where the pavilion is to be located was set aside to enable natural regeneration processes from the existing vegetated areas of Area “B”. A review of historical images shows that the area where the pavilion is to be located and the immediate surrounds has been devoid of native bush and has most likely remained as such given the high presence of weed species (kikuyu).



Figure 6: Location of proposed pavilion within existing open area.

2.5. Hawthorn Landscape Architects have completed a Landscape & Visual Effects Assessment (“LVEA”) which is contained within **Appendix 5**. Additional revegetation planting is proposed within the areas outside of the development area within Area “B” as well as additional planting within the site, to enhance the natural character of the landscape as well as offset the built development associated with the activity. This will be detailed further within this report.

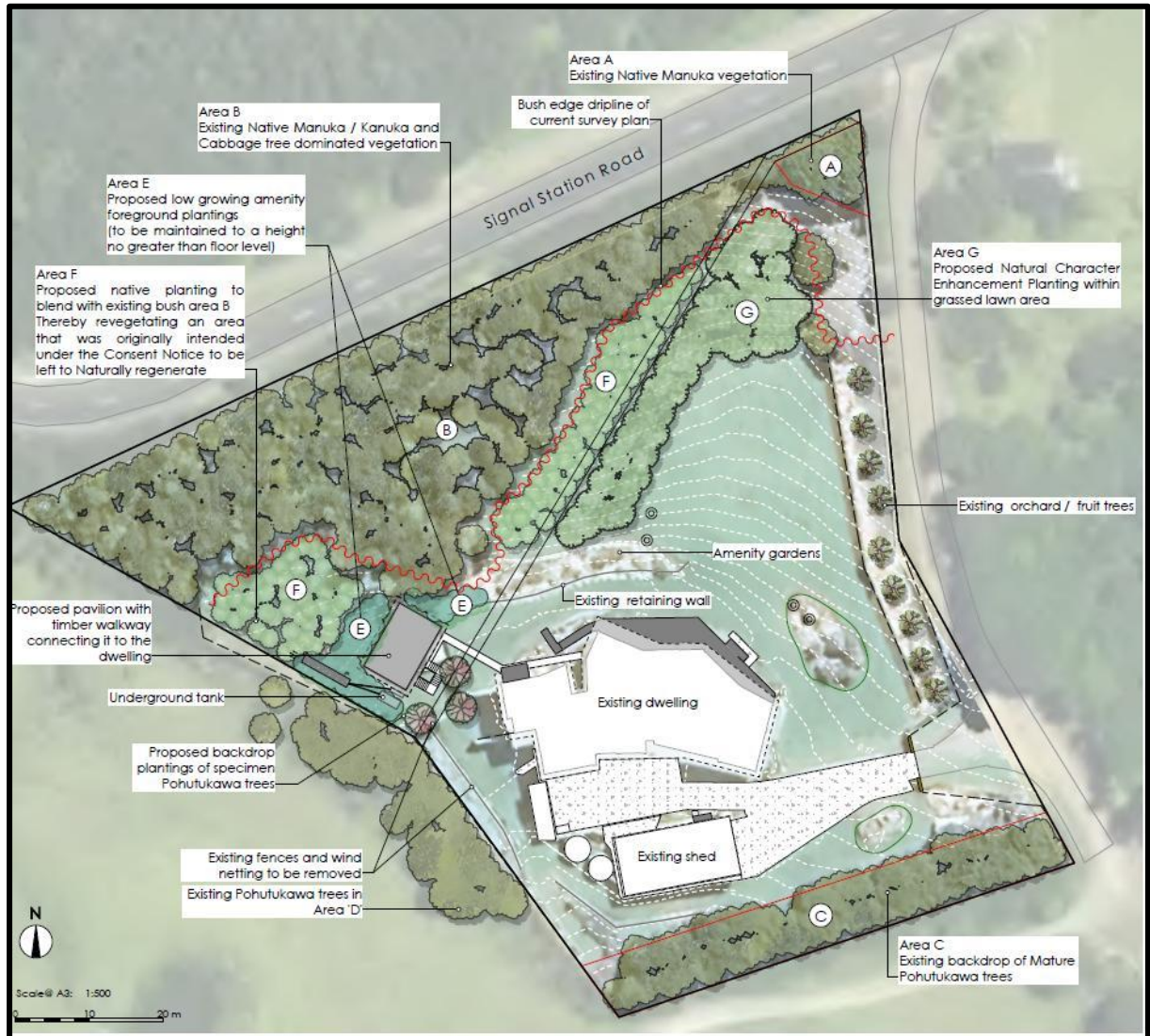


Figure 7: Proposed Landscape Plan.

2.6. The building design is a response to the gently sloping site topography and its vegetated location. Exterior cladding and roof colours will have a reflectance value that is less than 30%. Within the LVEA, it is also recommended that the glazing on the pavilion be a similar tinted colour to that of the existing dwelling, which consist of a darker tint minimising the reflectance of the glass. This will apply to the glass balustrade on top of the building, surrounding the observation deck as well as windows/ranch sliders within the lower level pavilion.

2.7. The pavilion is proposed to be located 5 metres from the westernmost boundary, which adjoins Lot 2 DP 204637. The Pohutukawas located directly on the opposite side of the southwestern boundary, located within Lot 2 DP 204637, are within a protected area of vegetation, shown as Area “D” on the Title Plan. As such, this vegetation will remain protected and will aid in visual mitigation and mitigation of the setback infringement. Currently there is an existing mesh cloth and poles located along the boundary (see *Figure 9* below). The LVEA has recommended that this be removed. Backdrop plantings have been proposed which will consist of Pohutakawa Trees to ensure consistency and coherence with the vegetation located on the adjoining site and within Area “D”. Written approval has been received by the owner of Lot 2 DP 204637, which is attached within **Appendix 8**.



Figure 8: Image showing Lot 2 DP 204637 which adjoins the subject site and is subject to the setback infringement.



Figure 9: Existing meshing and poles which will be removed, along dividing boundary of subject site and Lot 2 DP 204637. Vegetation located on opposite side of fence is protected.

2.8. The remainder of the site, which is not covered in built form or accessways, is open area and areas of protected vegetation. As per the LVEA, it is proposed to provide enhancement planting within an existing grassed lawn area, parallel to Area “B” shown in *Figure 10* below. This will offset the built development proposed within Area “B” as well as enhance the natural character of the area.



Figure 10: Proposed enhancement planting area in front of existing amenity gardens.

- 2.9. Given the proposed design of the pavilion, only minimal excavations are required for foundations. As such, there will be no significant change to the ground level. Some excavations will be required for the water tank, which will be within the permitted threshold for the zone. No vegetation clearance is required as a result of the proposal.
- 2.10. On-site infrastructure services are existing for the dwelling on the site and the proposed pavilion does not include any additional connections to onsite wastewater services. Stormwater will be managed as per the Memorandum completed by BG & E which includes directing water from the roof of the pavilion to a buried 3000L water tank. Overflow is directed to a rock filled soakage trench. The Stormwater Memorandum completed by BG & E is attached within **Appendix 6**.
- 2.11. The site is elevated from the road boundary and encapsulates views of the Hokianga Harbour to the north. Land on the opposite side of Signal Station Road is zoned as Conservation, as well as being identified as a Site of Cultural Significance. The land is also identified as being a Protected Area (Arai-Te-Uru Recreation Reserve Addition) and PNA (Te Kaiatewhetu Shrublands and Arai te Uru Coastal Strip). The Regional Policy Statement for Northland (RPSN) has also identified this land as being of High Natural Character (HNC), defined as “Catchment of Hokianga”.



Figure 11: Hokianga Harbour as seen from the dwelling with vegetation located on opposite side of Signal Station Road.

2.12. The land parcel to the south of the site is identified as being Coastal Living (northern portion), with the southern portion being zoned as Conservation. This land is also identified as being of an Outstanding Landscape Feature (OLF) as well as a Site of Cultural Significance. The OLF overlay is not shown within the RPSN Maps nor the Proposed District Plan (PDP) Maps. The site and surrounding environment are identified as being within the Coastal Environment under the RPSN.

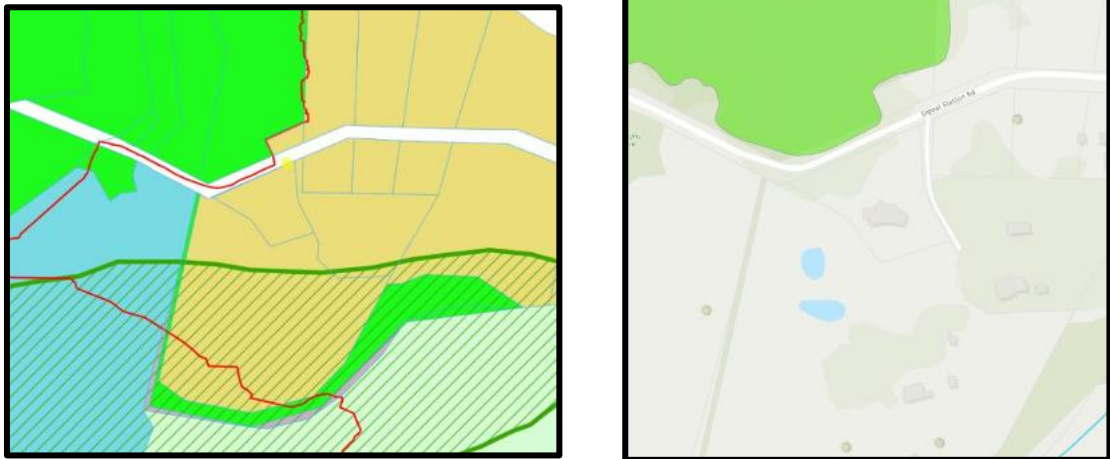


Figure 12: ODP Zoning Maps showing surrounding zones and overlays (left) and RPSN Maps showing area of HNC on opposite side of Signal Station Road (right).

2.13. The OLF to the south of the site is noted as “Pukekohe No. 3” and is described as a “Peak on south head of Hokianga Harbour” with a rocky outcrop to the left known as Te Hunoke. Arai te Uru is the name given to the south head of the Hokianga Harbour. *Figure 13* below depicts these natural features and areas of significance.



Figure 13: View from the harbour showing Pukekohe No. 3 (grassland) and Te Hunoke (rocky outcrop). Subject site is located below these features.

- 2.14. The site and surrounding environment are not known to be classified as an area where kiwi are present.
- 2.15. There are multiple archaeological sites within the surrounding environment. Heritage NZ Pouhere Taonga have been contacted as part of the pre-application process, with the response included within **Appendix 7**. An ADP approach has been recommended.
- 2.16. The site is not shown to be susceptible to natural hazards and is within the 'safe' zone for Tsunami.

Title

- 2.17. The site is held within Record of Title NA132C/62 which is dated 15th February 2001. The site has a legal area of 8550m². There is one consent notice document registered on the title under D579879.2, as mentioned earlier in this report. The site also has existing easements registered on the title which will remain unaffected by this proposal.

Consent Notice D579879.2

- 2.18. This consent notice document is contained within **Appendix 3**. As mentioned, a variation to Condition 3 is proposed given the height of the pavilion exceeds the 4 metre restriction. An assessment of the consent notice document is detailed below.

- 1. The construction of any building and clearance of or damage to any indigenous vegetation on the area marked "C" on the survey plan is prohibited.*
- 2. The clearance of or damaged to any indigenous vegetation within the areas marked "A" and "B" on the survey plan is prohibited.*
- 3. Any building constructed on proposed Lot 1 shall not exceed a height of 4m and shall be finished in natural colours and non-reflective surfaces (apart from glass areas) to the satisfaction of the Environmental Services Manager. For the purposes of this condition the "height" of any building shall be the vertical distance between ground level at any point and the highest part of the building immediately above that point.*

- 2.19. Condition 1 prohibits building and clearance of vegetation within the area marked "C" on the survey plan. This area is located along the southernmost boundary of the site. The proposal does not include any proposed works within this area and hence, no change or cancellation of this condition is proposed.

2.20. Condition 2 prohibits clearance of indigenous vegetation within areas marked “A” and “B”. The proposal does not include any indigenous vegetation clearance. The area where the pavilion is to be located is an historical open area of the site as shown in *Figures 14 and 15* below. It is assumed that this open area was set aside to naturally regenerate, however given the large presence of invasive species (kikuyu etc), revegetation has never taken hold. The proposal will see the area outside of the pavilion planted as per the LVEA prepared by Hawthorn Landscape Architects. The proposal is assessed as being compliant with this consent notice condition as no indigenous vegetation clearance within these areas will take place.



Figure 14: 1987 aerial image showing area where pavilion is to be located as open space.



Figure 15: 2014 - 2016 aerial showing area where pavilion is to be located as open space.

2.21. Condition 3 restricts any building on the lot to a height of no more than 4 metres. Any building is also to be finished in natural colours and non-reflective surfaces. The proposed pavilion will have a maximum height of 6.9 metres and as such, the Applicant is seeking to amend this condition to exclude the pavilion. This amendment has been supported by the LVEA contained within **Appendix 5**. It is noted that a previous resource consent application under 2190493 – RMALUC was approved on 10th May 2019 to vary this consent notice condition to exclude the shed which is now on site, given the height of the shed was 4.57m. This change to the consent notice condition was approved. As such, the proposed variation will be similar to this previous approved variation.

Background

2.22. In order to provide some context on the subject site and the consenting history, a summary of previously approved consents has been provided below.

1990059 - RMASUB

2.23. This subdivision created the subject site and was a non-complying subdivision that was granted by the Hearings Committee on 20th October 1998. Subsequently, the subject site and adjoining Lot 2 DP 204637 were created.

RC 2020235 & BC 2002-1294

2.24. The above RC and BC were approved for the dwelling on the site. The RC was triggered for visual effects. The RC was approved on 23rd October 2001.

RC 2190493 & BC 2019-112

2.25. The above RC and BC were approved for the detached shed. RC was triggered for visual amenity and stormwater management as well as a request to amend Condition 3 of Consent Notice Document D579879.2 given the shed height exceeded 4 metres. The RC decision was issued on 10th May 2019.

3. Reasons for Consent

Operative District Plan (ODP)

3.1. The site is zoned 'Coastal Living' (CLZ) under the Operative Far North District Plan (ODP). There are no other resource layers that apply to the site.

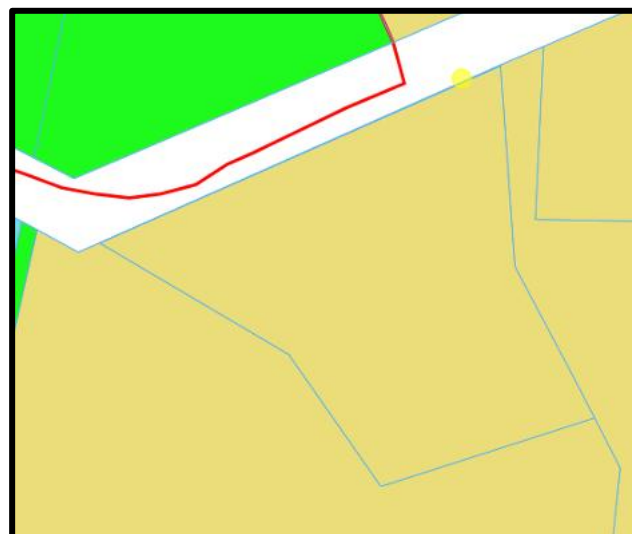


Figure 16: ODP Coastal Living zoning applied to the site.

3.2. The proposed activity is assessed against the following CLZ rules set out in Table 1 below and the District-wide rules in Table 2.

Table 1 - Assessment of the Permitted Section 10.675.1 Coastal Living Zone		
Plan Reference	Rule	Performance of Proposal
10.7.5.1.1	Visual Amenity	<p>Restricted Discretionary.</p> <p>(a) Any new building over 50m² triggers consent under this rule. The proposed pavilion will be 70m².</p> <p>(b) Not applicable as the proposal does not involve an alteration or addition.</p> <p>(c) Not applicable as the proposal does not include a replacement building.</p> <p>(d) Not applicable as the proposal is not renovation or maintenance.</p>
10.7.5.1.2	Residential Intensity	<p>Permitted.</p> <p>The proposal will not alter the number of residential units on the site as the pavilion will be utilised as an accessory building to the principal dwelling on the site.</p>
10.7.5.1.3	Scale of Activities	<p>Permitted.</p> <p>No non-residential activities are proposed.</p>
10.7.5.1.4	Building Height	<p>Permitted.</p> <p>The maximum height of the building is 6.9m above ground level which is well within the permitted height of 8m.</p>
10.7.5.1.5	Sunlight	<p>Permitted.</p> <p>The proposed pavilion will comply with the sunlight recession plane building setback requirements as per the Plan Set.</p>
10.7.5.1.6	Stormwater Management	<p>Discretionary.</p> <p>The permitted impermeable surface coverage for the Coastal Living zone is 600m² or 10% of the site area,</p>

		<p>whichever is the lesser. In this instance, 600m² is the lesser.</p> <p>The existing impermeable surfaces within the site amount to 1256m² and with the additional 70m² pavilion, this brings the total amount to 1326m² or 15.5% of the total site area, which infringes the permitted standard. The proposed walkway and stairs will be timber slatted and therefore are not included as an impermeable surface.</p> <p>The proposal cannot comply with the Restricted Discretionary threshold, as the impermeable surfaces are more than 15% of the total site area.</p> <p>As such, consent is required as a Discretionary Activity. A Stormwater Report has been completed by BG & E in support of this application and is attached within Appendix 6.</p>
10.7.5.1.7	Setback from Boundaries	<p>Restricted Discretionary.</p> <p>The pavilion will be located 5 metres from the western boundary, which encroaches into the permitted 10 metre setback with adjoining Lot 2 DP 204637.</p> <p>Written approval from the affected neighbour has been obtained.</p>
10.7.5.1.8	Screening for Neighbours Non-Residential Activities	Not Applicable.
10.7.5.1.9	Transportation	<p>Permitted.</p> <p><u>Traffic</u></p> <p>The proposal will not alter the existing TIF of the site.</p> <p><u>Parking</u></p> <p>Parking is existing and the proposal will not alter the required parking spaces.</p> <p><u>Access</u></p> <p>Access will be provided for via existing provisions.</p>
10.7.5.1.10	Hours of Operation Non-Residential Activities	Not applicable.

10.7.5.1.11	Keeping of Animals	Not applicable.
10.7.5.1.12	Noise	Permitted.
10.7.5.1.13	Helicopter Landing Area	Not applicable.

TABLE 2 - ASSESSMENT AGAINST THE APPLICABLE OPERATIVE PLAN DISTRICT-WIDE RULES:

Plan Reference	Rule	Performance of Proposal
12.1	LANDSCAPE AND NATURAL FEATURES	Not applicable The proposed building site is not within any mapped outstanding landscape or natural feature.
12.2	INDIGENOUS FLORA AND FAUNA	Permitted. The proposal will not result in any indigenous vegetation clearance given the pavilion will be located within an existing open area of the site.
12.3	SOILS AND MINERALS	Permitted. Excavations will be required for the foundations for the pavilion as well as to bury the water tank and soakage fields. Excavations for building foundations are excluded from the definition of excavation under the ODP. Excavation works associated with the water tank and soakage field are not exempt but as these works will be within 300m ³ , consent is not triggered.
12.4	NATURAL HAZARDS	Permitted. The proposal does not propose a residential unit and the site is not identified as being within a coastal hazard area.
12.5	HERITAGE	Permitted There are no registered archaeological sites that would be affected by the proposed development.
12.7	LAKES, RIVERS, WETLANDS AND THE COASTLINE	Permitted

12.8	HAZARDOUS SUBSTANCES	Not applicable
12.9	RENEWABLE ENERGY AND ENERGY EFFICIENCY	Not applicable

Operative District Plan Activity Status

3.3. Overall, the proposed activity is a ‘**Discretionary**’ activity under the ODP. This relates to the combined visual amenity, stormwater management and setback from boundaries aspects of the proposed activity.

Proposed District Plan

3.4. Under the Proposed Far North District Plan (PDP), the site is zoned ‘Rural Lifestyle.’ The site is within the ‘Coastal Environment’ overlay. There are no historic or natural hazard overlays that apply to the site.



Figure 17: PDP Zoning & Overlay Maps.

3.5. An assessment against PDP rules that have immediate legal effect is set out in **Table 3** below.

TABLE 3 - ASSESSMENT AGAINST THE PDP RULES THAT HAVE IMMEDIATE LEGAL EFFECT

Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	The following rules have immediate legal effect:	Not applicable

	Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource Rules HS-R5, HS-R6, HS-R9	
Heritage Area Overlays	All rules have immediate legal effect (HA-R1 to HA-R14) All standards have immediate legal effect (HA-S1 to HA-S3)	Not applicable The application site is not within a proposed Heritage Area.
Historic Heritage	All rules have immediate legal effect (HH-R1 to HH-R10) Schedule 2 has immediate legal effect	Permitted The site does not contain any scheduled heritage items.
Notable Trees	All rules have immediate legal effect (NT-R1 to NT-R9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect	Not applicable. The site does not contain any scheduled notable trees.
Sites and Areas of Significance to Māori	All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect	Not applicable
Ecosystems and Indigenous Biodiversity	All rules have immediate legal effect (IB-R1 to IB-R5)	Permitted No indigenous vegetation clearance is proposed as part of this application given all works will be undertaken within open areas of the site.
Subdivision	The following rules have immediate legal effect:	Not applicable. The proposal is not a subdivision

	SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17	
Activities on the Surface of Water	All rules have immediate legal effect (ASW-R1 to ASW-R4)	Not applicable.
Earthworks	<p>The following rules have immediate legal effect: EW-R12, EW-R13</p> <p>The following standards have immediate legal effect: EW-S3, EW-S5</p>	Permitted The proposed earthworks will adhere to the accidental discovery protocol (EW-12) and erosion and sediment control (EW-13) rule standards that have immediate legal effect.
Signs	<p>The following rules have immediate legal effect: SIGN-R9, SIGN-R10</p> <p>All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area</p>	Not applicable.
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	Not applicable.

Proposed District Plan Activity Status

3.6. The proposal is a 'Permitted' activity under the notified PDP rules that have current legal effect.

Variation of Consent Notice

3.7. As detailed earlier in this application, it is requested to vary Condition 3 held within CN Document 579879.2 as it affects the subject site.

3.8. This request is completed under s221(3) of the Act and is assessed as a **Discretionary Activity**.

National Environmental Standards

National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011 (NESCS)

- 3.9. The site is not a HAIL site and has no known history of HAIL activity. The proposal is considered Permitted in terms of this NES.

National Environmental Standards for Freshwater Management 2020

- 3.10. There are no freshwater wetlands or other stream bodies affected by the proposal. The proposal is considered Permitted in terms of this NES.

4. Statutory Assessment

Section 104B of the Resource Management Act 1991 (RMA)

- 4.1. Section 104B governs the determination of applications for a Discretionary Activity. A consent authority may grant or refuse consent and impose conditions under section 108.

RMA Section 104

- 4.2. The application proposal is subject to the matters set out in Section 104.
- 4.3. Section 104(1) of the RMA states that when considering an application for resource consent –
- “the consent authority must, subject to Part 2, and section 77M have regard to –*
- (a) any actual and potential effects on the environment of allowing the activity; and*
 - (ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and*
 - (b) any relevant provisions of –*
 - i. a national environmental standard:*
 - ii. other regulations:*
 - iii. a national policy statement:*
 - iv. a New Zealand Coastal Policy Statement:*
 - v. a regional policy statement or proposed regional policy statement:*
 - vi. a plan or proposed plan; and*
 - (c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.”*

Assessment of Effects on the Environment

- 4.4. Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (as described in section 3 of the RMA). Positive effects arising from this proposal include the establishment of a pavilion which will be utilised in association with the principal dwelling on the site. Additional revegetation of the site is proposed in order to enhance the natural character of the surrounding environment as well as enhance the existing native vegetation within the site boundaries.
- 4.5. Potential adverse effects on the environment that go beyond the threshold of effects permitted in the Coastal Living zone include the visual amenity and setback impact of a new building in the landscape as well as stormwater management of the increased impermeable surfaces within the site.

Visual Amenity Effects

- 4.6. The ODP limits the permitted area of buildings in coastal environment landscapes to protect natural character. This is an RMA section 6(a) matter. The site is in the Coastal Living zone (CLZ), which is generally a rural area with a coastal influence, where natural character predominates. Residential buildings are provided for, however habitable and non-habitable buildings larger than 50m² are required to meet specified criteria to minimise their visual impact. The PDP proposes a Rural Lifestyle zone. In terms of the management of visual effects, proposed coastal environment overlay rules will regulate the size of permitted buildings outside of an area of ONC or HNC to 100m², with controls on exterior colour and materials. Permitted building height is proposed to be limited to 5m above ground level.
- 4.7. The proposal is for a 70m² pavilion which will act as an entertainment room, with an observation deck on the upper storey. A set of stairs will enable access to the observation deck, with a timber walkway connecting the pavilion to the dwelling on the site. The railing along the steps and around the edge of the observation deck is proposed to be glazing, with the roof balustrade being 1.5m high. As indicated within the Plan Set attached within **Appendix 4**, the roof height (with the exception of the 1.5m balustrade) will be similar to the existing dwelling, ensuring coherence between built form on the site.
- 4.8. An LVEA has been completed by Hawthorn Landscape Architects and is attached within **Appendix 5**. The LVEA has recommended foreground, background and offset planting within the site to mitigate visual effects. A natural recessive colour scheme has been recommended

as well as recessive glass tinting, similar to the existing dwelling. Curtains within the pavilion have also been recommended to have dark backing rather than white and lighting within the observation deck has been restricted, apart from safety lighting, with controls imposed to ensure that visual effects are mitigated. The LVEA has provided extensive detail on the effects on the surrounding environment including effects on landscape and adjoining properties and features. With the recommendations adhered to within the LVEA, the report concluded that the proposal will have less than minor effects on landscape, visual and natural character values. The proposal was assessed as not having a more than minor effect on the nearby HNC and OLF, with the proposed native plantings having a positive effect upon natural character and the existing native bush within the site. The LVEA also concluded that the proposal is consistent with the relevant zone rules, RPS and NZCPS in terms of visual, landscape and natural character and values.

4.9. It is considered that the recommendations within the LVEA will assist with the reduction of the potential prominence of the built form in relation to neighbouring residential properties and the wider landscape.

4.10. The assessment criteria within *Section 11.5 Visual Amenity in the General Coastal, South Kerikeri Inlet and Coastal Living Zones* of the ODP has been provided below.

(a) The size, bulk, height and siting of the building or addition relative to skyline, ridges, areas of indigenous vegetation and habitat of indigenous fauna, or outstanding landscapes and natural features.

(b) The extent to which landscaping of the site, and in particular the planting of indigenous trees, can mitigate adverse visual effects.

(c) The location and design of vehicle access, manoeuvring and parking areas.

(d) The means by which permanent screening of the building from public viewing points on a public road, public reserve, or the foreshore may be achieved.

(e) The degree to which the landscape will retain the qualities that give it naturalness and visual value as seen from the coastal marine area.

(f) Where a building is in the coastal environment and it is proposed to be located on a ridgeline, whether other more suitable sites should be used and if not, whether landscaping, planting or other forms of mitigation can be used to ensure no more than minor adverse visual effects on the coastal environment.

(g) The extent to which the activity may cause or exacerbate natural hazards or may be adversely affected by natural hazards, and therefore increase the risk to life, property and the environment.

(h) the extent to which private open space can be provided for future uses;

(i) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;

(j) the extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent sites.

- 4.11. The matters within the relevant assessment criteria within the ODP (detailed above) have been discussed in detail within the accompanying LVEA and we accept and adopt the recommendations and conclusions made within the LVEA.
- 4.12. The combination of the recommended design controls as well as the proposed revegetation, replacement vegetation and progressive management of the vegetated areas will ensure that the building is integrated into a vegetative setting. This will ensure that the visual effects as seen from neighbouring properties and public areas will be less than minor. The effects on landscape and natural character values are also assessed as being less than minor as well as visual amenity effects. Given the spatial and vegetated separation between the proposed pavilion location and adjoining properties, cumulative effects are considered to be less than minor. Overall, it is considered that effects from the proposal will be less than minor subject to the recommendations within the LVEA being adhered to.

Setback From Boundaries

- 4.13. The proposed design results in an encroachment along the western side, into the permitted 10 metre setback. This boundary adjoins a privately owned allotment (Lot 2 DP 204637) which is a larger 6ha allotment and contains an existing dwelling located approximately 100 metres south of the subject site and over approximately 160 metres from the proposed pavilion building. There is an existing protected area of bush along the affected boundary (within Area "D"), which is wholly contained within Lot 2 DP 204637. This protected vegetation provides a visual and physical buffer from the proposed pavilion building to Lot 2 DP 204637. The LVEA has recommended that the existing mesh fencing and poles be removed and additional native vegetation planted between the pavilion and the affected boundary, to act as backdrop plantings. Written approval from the affected property owner has been obtained and is contained within **Appendix 8** of this application. It is noted that only one owner has signed the written approval form given the second owner is deceased. Given that written approval has been received, effects can be disregarded. However, a brief assessment of Section 11.6 in relation to the setback infringement will be undertaken for completeness.



Figure 18: Aerial Image showing existing vegetation within Area "D" on adjoining lot and existing built development and vegetation on subject lot.

4.14. The proposal is a Discretionary Activity. Section 11.6 of the ODP contains discretionary assessment criteria for setback from boundaries. These are commented on as follows:

(a) Where there is a setback, the extent to which the proposal is in keeping with the existing character and form of the street or road, in particular with the external scale, proportions and buildings on the site and on adjacent sites.

4.14.1. The pavilion itself is of modest size and is not considered to be objectionable with the surrounding environment. As has been detailed within the LVEA, the proposed building will not be objectionable within the surrounding environment and will be well integrated into the existing built form within the site given the existing and proposed vegetative plantings.

(b) The extent to which the building(s) intrudes into the street scene or reduces outlook and privacy of adjacent properties.

4.14.2. The proposal does not result in a setback infringement from the road boundary and is therefore not considered to intrude into the street scene. The proposed building is located over 160 metres from the dwelling within Lot 2 DP 204637 and adjoins an existing area of protected bush which then expands into grazed farmland. Furthermore, additional native vegetation and Pohutukawa plantings will be provided along this boundary. Given this,

outlook and privacy of adjacent properties are therefore not considered to be adversely affected.

(c) The extent to which the buildings restrict visibility for vehicle manoeuvring.

4.14.3. Vehicle manoeuvring will not be restricted as determined by the design.

(d) The ability to mitigate any adverse effects on the surrounding environment, for example by way of street planting.

4.14.4. Additional native vegetation planting is proposed as per the LVEA, to provide coherence with the existing vegetation on the site and directly adjoining the site. As per the LVEA, effects are considered to be mitigated to a less than minor degree.

(e) The extent to which provision has been made to enable and facilitate all building maintenance and construction activities to be contained within the boundaries of the site.

4.14.5. Building maintenance and construction activities can be adequately contained within the boundaries of the site.

Stormwater Management

4.15. The permitted impermeable surface coverage for the Coastal Living zone is 600m² or 10% of the site area, whichever is the lesser. In this instance, 600m² is the lesser.

4.16. The existing impermeable surfaces within the site amount to 1256m² and with the additional pavilion, this brings the total amount to 1326m² or 15.5% of the total site area, which increases the degree of non-compliance of the proposal in terms of impermeable surface coverage. The proposal cannot comply with the Restricted Discretionary threshold, as the impermeable surfaces are more than 15% of the total site area.

4.17. BG & E have completed a Memorandum in support of the works in regard to the stormwater management approach for the pavilion development. BG & E have recommended that the roof runoff from the pavilion is directed to a 3000L water tank, with overflow then being directed

to a rock filled soakage trench. The proposed system has been designed to attenuate the 50% and 20% AEP storm events prior to controlled discharge to the soakage trench.



Figure 19: Proposed stormwater management for the pavilion.

4.18. An assessment of the criteria within Section 11.3 of the ODP has been undertaken below, with some comments adopted from the Memorandum prepared by BG & E:

(a) The extent to which building site coverage and impermeable surfaces result in increased stormwater runoff and contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment.

4.18.1. The proposal results in an increase of approximately 70m² of impermeable surface within the site. BG&E have recommended tank attenuation in order to attenuate back to permitted flows for the 50% & 20% AEP storm event, adjusted for climate change.

(b) The extent to which Low Impact Design principles have been used to reduce site impermeability.

- 4.18.2. Low Impact Design has been utilised by minimising proposed impermeable surfaces, and adding a 3000L water tank to attenuate runoff. These measures reduce runoff volumes consistent with the permitted activity threshold.

(c) Any cumulative effects on total catchment impermeability.

- 4.18.3. Cumulative effects will be managed via the methods detailed within the Memorandum prepared by BG&E.

(d) The extent to which building site coverage and impermeable surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water.

- 4.18.4. Natural contour will be altered slightly but drainage patterns will continue given roof runoff will be directed to a tank.

(e) The physical qualities of the soil type.

- 4.18.5. See Stormwater Memorandum for detail.

(f) Any adverse effects on the life supporting capacity of soils.

- 4.18.6. Life supporting capacity of soils is not considered to be adversely affected given the existing use of the site and the proposal resulting in ancillary activities to the existing dwelling on the site. Existing attenuation methods will be utilised.

(g) The availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites.

- 4.18.7. Disposal of effluent will remain unaffected. Existing stormwater management methods will continue to be managed by the existing system via sealed pipes, as well as the new proposed system.

(h) The extent to which paved, impermeable surfaces are necessary for the proposed activity.

- 4.18.8. All are necessary for normal residential activities.

(i) The extent to which landscaping may reduce adverse effects of run-off.

4.18.9. There is existing vegetation within the site and additional landscaping has been proposed for visual purposes.

(j) Any recognised standards promulgated by industry groups.

4.18.10. Unknown.

(k) The means and effectiveness of mitigating stormwater run-off to that expected by the permitted activity threshold.

4.18.11. BG&E have stated that tank attenuation as proposed, the runoff from the proposed development will be attenuated back to permitted flows for the 50% & 20% AEP storm event, adjusted for climate change.

(l) The extent to which the proposal has considered and provided for climate change.

4.18.12. BG & E have accounted for climate change within the Stormwater Memorandum.

(m) The extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.

4.18.13. BG & E have not recommended detention ponds or other engineering solutions.

Change to Consent Notice Condition

4.19. As detailed earlier in this report, there is an existing consent notice registered on the title under D579879.2 which is dated 20.12.2000. This consent notice document includes three conditions which relate to the subject site.

4.20. No change to Conditions 1 and 2 are proposed as the proposal has been assessed as being compliant with these conditions.

4.21. Condition 3 restricts any building on the lot to a height of no more than 4 metres. Any building is also to be finished in natural colours and non-reflective surfaces. The proposed pavilion will have a maximum height of 6.9 and as such, the Applicant is seeking to amend this condition to exclude the pavilion. This amendment has been supported by the LVEA contained within **Appendix 5**. It is noted that a previous resource consent application under 2190493 – RMALUC

was approved on 10th May 2019 to vary this consent notice condition to exclude the shed which is now on site, given the height of the shed was 4.57m. This change to the consent notice condition was approved.

- 4.22. To provide some context as to why the 4 metre height restriction was imposed on the subject site title, some research has been done on documents within property file and subdivision which created the subject site under RC 1990059. It is noted that as part of RC 1990059, there were some concerns about the visual dominance that future development on the allotments would have on the surrounding environment. As part of the application for RC 1990059, a 4 metre height restriction was offered by the Applicant within the Planning Report to minimise visual impact of any built development. The subdivision went through the hearings process and was subsequently approved.
- 4.23. Similarly, as concluded within RC 2190493, it is considered that although the pavilion will be above the four metre height restriction, given this is supported by a Landscape & Visual Effects Assessment with mitigation measures imposed such as design controls and additional foreground and background planting, it is considered that the proposal will have a less than minor effect. Written approval has been obtained from the property owner who owns the land to the west and south further ensuring effects are less than minor. The pavilion will be an ancillary building to the principal dwelling on site and is not considered to be out of character within the surrounding environment. The pavilion height will be consistent with the dwelling height, excluding the glass balustrade, but given the balustrade will be of a dark tint, visual effects have been concluded as less than minor within the LVEA.
- 4.24. The LVEA concluded that *'the sites topographic type, residential use and presence of a backdrop and foreground vegetation will visually absorb the additional height whilst keeping potential adverse visual and landscape effects to a low level.*
There is an area of existing bush that is within Area "B" that extends right up to the proposed building site. This area of foreground vegetation is critical for the integration of the pavilion into the landscape as it breaks up the built form. This bush area is already protected by the current consent notice and should continue to be protected.
Providing the pavilion is recessively coloured the building will be able to be visually absorbed into the context of the existing setting resulting in a low level of potential effects upon landscape, visual and natural character values. The proposal will not affect the nearby HNC area or OLF.'

- 4.25. It is therefore considered appropriate to amend Condition 3 as per below (amendments shown in red and underlined):

Condition 3:

Any building constructed on Proposed Lot 1 shall not exceed a height of four metres and shall be finished in natural colours and non-reflective surfaces (apart from glassed areas) to the satisfaction of the Environmental Services Manager. For the purposes of this condition, the “height” of any building shall be the vertical distance between ground level at any point and the highest part of the building immediately above that point. An exemption is provided for the building height for the 70m² pavilion which is to be a maximum of 6.9 metres as shown on the elevation plans prepared by HM Design, dated 18/4/26, referenced Pavillion Option Ai.

- 4.26. It is considered based on the findings of the LVEA and the existing development in the surrounding environment being of similar height and character, it is appropriate to amend Condition 3 of Consent Notice document D579879.2. The amendments to the consent notice are sought under S221(3) of the Act.

Relevant Statutory Provisions

- 4.27. Section 104(1)(b) requires the consideration of any relevant provisions found in national policy statements or standards, regional policy statements or plans and operative or proposed district plans. Relevant statutory documents include:

- New Zealand Coastal Policy Statement
- Regional Policy Statement for Northland
- Far North District Plan
- Proposed Far North District Plan

- 4.28. The scale of development is such that the National Policy Statement for Indigenous Biodiversity has limited relevance.

New Zealand Coastal Policy Statement 2010 (with 2025 amendments)

- 4.29. The NZCPS provisions apply to this proposal but are generally given effect to within the context of the District Plan and the higher order RPSN. The NZCPS is concerned with sustainable management of the coastal environment including its ecological function, and the preservation of its natural character and landscape values. Effects on Te Tiriti values, public access to the coast, coastal hazards and the wellbeing of people are also relevant considerations.
- 4.30. The site is within the coastal environment as mapped by the Regional Policy Statement for Northland. The current District Plan site zone is CLZ, which is within the ODP coastal environment. The PDP zoning is Rural Lifestyle. Coastal values and features are to be managed via a coastal environment overlay. Matters relating to the preservation of natural character and associated landscape and ecological values subject to building (visual amenity) that are directly relevant to RMA s6(a) matters of national importance.
- 4.31. The subject site includes existing consented built development comprising of a dwelling and shed. The site includes indigenous vegetation that sits above the coastal marine area; however the District Plan zone enables associated built development on the site. This is consistent with development within the surrounding environment which in this location is characterised by dwellings scattered within both native and exotic vegetation. The consolidation of development within existing coastal settlements is supported by the NZCPS (Policy 6). The proposal will maintain and enhance the existing native vegetation on the site by ensuring areas within the HNC are maintained and preserved by locating the built development and access outside of these areas (Objective 1 & Policy 11). The natural character of the environment will be enhanced by the proposed additional planting, whilst ensuring ongoing protection of the existing vegetation on the site. Natural character will be preserved and visual effects mitigated as concluded within the LVEA, given the vegetated backdrop and foreground and use of design controls of the pavilion (Objective 2 & Policy 6, 13 & 15).
- 4.32. Overall, the proposal is considered to be consistent with the relevant objective and policies of the NZCPS.

Regional Policy Statement for Northland (2016 - updated 2018)

- 4.33. The purpose of the Regional Policy Statement for Northland (RPS) is to promote the sustainable management of Northland's natural and physical resources by providing an overview of the region's resource management issues.

- 4.34. The RPS sets out policies and methods to achieve integrated management of Northland's natural and physical resources. The proposed building location will be located outside of any regionally mapped outstanding landscape. The site does not include areas of high natural character, however there are areas of such character within the surrounding environment.
- 4.35. Objective 3.4 seeks to protect areas of significant indigenous vegetation and fauna habitats, maintain the extent of ecosystem diversity and habitat and where practicable, enhance these environments. Within the coastal environment, this includes avoiding adverse effects on threatened or at-risk indigenous species and avoiding significant adverse effects on areas of indigenous vegetation, habitats that have recreational, commercial, traditional or cultural value.¹ The application site is within a previously developed area and is zoned for low density residential development. Existing indigenous vegetation and associated habitat values will be protected to the extent possible, with additional background and foreground planting proposed to enhance the existing native vegetation within the site as well as enhance the natural character of the surrounding environment. No landform modification or vegetation clearance is required.
- 4.36. It is considered that in the context of the existing site zoning and the extent to which existing vegetation will be retained and new native vegetation planted, the proposed development will not be contrary to the objectives and policies of the RPSN.

Far North District Plan

- 4.37. The proposed activity has been assessed against the applicable objectives and policies of the ODP. A copy of these provisions is attached at **Appendix 9**.

Coastal Environment & Coastal Living Zone

- 4.38. The application site is within the ODP Coastal Environment which comprises rural and coastal land along the District's coastline. The site location sits above the settlement of Omapere and the Hokianga Harbour, where there is residential development of varying intensity, significant bush areas and indigenous fauna habitat (particularly for kiwi). Within the Coastal Environment, it is expected that where natural character exists it will be preserved and that landscape and visual qualities will be protected from inappropriate development. Wherever

¹ RPSN Policy 4.4.1(1)-(2)

possible, development is to be consolidated within existing settlements to provide medium and low-density settlements along the coastline.²

- 4.39. Coastal Environment Objective 10.3.1 recognises the tension between managing avoiding the adverse effects of subdivision and development and the practicalities around providing for appropriate development. As per s6(a) of the RMA, the NZCPS and the RPSN, the preservation of the natural character of the coastline and the coastal environment and any other associated natural and landscape values is sought (Objective 10.3.2). The CLZ forms part of the coastal environment and is generally similar to rural living areas with a coastal focus and where natural character predominates. Generally, lots within the CLZ are larger than the more intensely developed coastal residential zone, encapsulating areas of bush or rural land mixed with bush. Given the vulnerability of the natural environment, preserving and restoring the environment is a key objective.
- 4.40. In the context of the application and the Coastal Living zone, appropriate development includes development consistent with the need to preserve natural character (Objective 10.7.3.2, Policy 10.7.4.1, 10.7.4.3(a)). The proposal achieves this by developing an existing open area of the site located outside of the vegetated areas. The use of a natural recessive colour scheme with the vegetated backdrop ensures that natural character is preserved as well as the additional background and foreground planting. The LVEA attached within **Appendix 5** of this application concluded that the visual and landscape qualities of the site will be protected (Policy 10.7.4.3(b)). The preservation and enhancement of the vegetation on the site will ensure that the vegetated landscape is maintained throughout the site with connectivity through adjoining lots (Policy 10.7.4.3(e)). Historic heritage is considered to be protected given there are no known archaeological sites within the property and an ADP approach has been recommended by HNZPT (Policy 10.7.4.3(f)). The proposal will ensure effects on natural character and amenity are mitigated to a less than minor degree (Objective 10.7.3.1).
- 4.41. In accordance with Policy 10.7.4.3, the proposed building location will be within an existing open area of the site, where there will be least impact on the natural character and indigenous vegetation as is intended. Visual impacts will be mitigated as detailed within the LVEA attached with this application. The proposed development will not have any known adverse effects on nearby archaeological sites or sites of interest to Iwi. The surrounding area of Omapere is

² Coastal Environment – Expected Outcomes 10.2.1, 10.2.2, 10.2.3

known to have significance to Māori given the history of the area. This is also reflected within the ODP and PDP Maps which indicate that the Hokianga Harbour and surrounding reserve areas are of significance to Māori and local Iwi. The site is not located within these areas and given the recommendations within the LVEA, the proposed pavilion is not anticipated to adversely affect these features nor the natural character of the surrounding environment. The pavilion building is designed so it is not prominent within the landscape and the design controls and additional planting will ensure this. The pavilion will be set against existing built form within the site such that it will be seen as an extension rather than an alteration to the existing landform. Adverse effects are considered to have been mitigated to a less than minor degree through the visual considerations and location of the proposed building as well as through additional planting. Earthworks will be minimal and given this, is not expected to create adverse effects on natural character.

- 4.42. It is considered that the proposed pavilion would not be contrary to the Coastal Environment or Coastal Living Zone objectives and policies.

Proposed Far North District Plan

Rural Lifestyle Zone & Coastal Environment Overlay

- 4.43. The proposed site zoning is Rural Lifestyle which has been applied to coastal land that is currently zoned Coastal Living. Zone rules, objectives and policies do not have current legal effect, however they do provide an indication of how this part of the district is to be managed.
- 4.44. RLZ-O1, RLZ-O2 & RLZ-P1 encourage low density residential activities and farming activities within sites smaller than the Rural Production zone which may contain areas of vegetation, natural features and open space. The proposed activity is considered to be of low density given it will be an ancillary building to the principal dwelling on the site. The existing character of the site and surrounding environment will be preserved and enhanced given the measures recommended within the LVEA. Given the existing use of the site and surrounding environment, the proposal will not result in incompatible land use activities particularly on primary production activities (RLZ-O3, RLZ-O4, RLZ-P2 & RLZ-P3). In regard to RLZ-P4, the proposed activity has been assessed as consistent with the scale and character of the environment as well as coherent with other built form on the site. The site is not located at a zone interface. Onsite infrastructure can be adequately contained within the site. The

proposed activity will not alter the TIF of the site and the site is not shown to be affected by natural hazards. No adverse effects on historic heritage, cultural values, natural features, landscapes and indigenous biodiversity are anticipated.

- 4.45. To manage resource management issues relating to the coastal environment, a mapped coastal overlay has been applied to District land to differentiate between land that is within, or outside of, the mapped coastal environment. To manage effects on the natural environment, the PDP has adopted environment overlays, including a high natural character overlay, which does not apply to the site.
- 4.46. Currently, in respect of this application, only rules relating to aspects of earthworks activities have current legal effect. The proposed excavation volumes are anticipated to be minimal with the relevant standards being adhered to. No indigenous vegetation clearance is proposed.
- 4.47. The location of an ancillary building on a site which contains an existing dwelling, in the coastal environment would not be contrary to the objectives and policies of the PDP that have current legal effect.

Plan Weighting Summary

- 4.48. As required by Section 104(1)(b) of the RMA, a decision on this application must consider the extent to which a proposal is consistent with the relevant provisions of the ODP and the PDP. As the operative plan, the ODP provisions retain the greatest weight until such time as the PDP has advanced beyond a Council decision and the resolution of any appeals.
- 4.49. Hearings on the PDP have concluded and the Independent Hearings Panel (IHP) recommendations have been released. The IHP recommendations are based on a lengthy and rigorous hearing process that has included considerable submitter expert evidence and advice from Council reporting officers, including legal counsel. The IHP has not recommended any change to the zoning of the site, which will remain as Rural Lifestyle.
- 4.50. Regarding the ODP objectives and policies, the intent of the Rural Lifestyle zone is given effect to as the activity is small scale, located within a mixed-use environment and will not have any

impact on the existing activities within adjoining sites. Areas of indigenous vegetation will be preserved and enhanced.

5. Notification Assessment

- 5.1. Section 95A-95G sets out the public and limited notification criteria for resource consent applications.

Section 95A – Public Notification Assessment

- 5.2. Section 95A requires a council to follow specific steps when deciding whether to publicly notify an application for resource consent. These steps are set out and commented on as follows.

Step 1: Mandatory public notification in certain circumstances

S95A(3)(a)	The applicant requests public notification
S95A(3)(b)	Public notification is required under section 95C
S95A(3)(c)	The application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

- 5.3. The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.

Step 2: If not required by step 1, public notification in certain circumstances

S95A(5)(a)	Is the application for a resource consent for one or more activities and each activity is subject to a rule or national environmental standard that precludes public notification.
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but not other, activities; a controlled activity; a restricted discretionary, discretionary or non-complying activity, but only if the activity is a boundary activity.

- 5.4. The proposed activity applied for is not precluded from notification by a rule or a national environmental standard. The activity is not solely for a boundary activity.

Step 3: If not precluded by step 2, public notification required in certain circumstances

S95A(8)(a)	The application is for a resource consent for 1 or more activities, and any one of those activities is subject to a rule or national environmental standard that requires public notification.
S95(8)(b)	In accordance with section 95D, the activity has or is likely to have adverse effects on the environment that are more than minor.

5.5. The proposed activity applied for is not subject to a rule or national environmental standard that requires public notification.

5.6. Section 95D specifies the criteria by which a consent authority may decide whether an activity will have or is likely to have adverse effects on the environment that are more than minor. This includes what a council may or may not have regard to:

S95D(a)(i)-(ii)	A consent authority <u>must</u> disregard any effects on persons who own or occupy- (i) The land in, on, or over which the activity will occur, or (ii) Any land adjacent to that land
S95D(b)	A consent authority <u>may</u> disregard an adverse effect of the activity if a rule or national environmental standard permits an activity with that effect.
S95D(c)	A consent authority <u>must</u> , in the case of a restricted discretionary activity, disregard an adverse effect of the activity that does not relate to a matter for which a rule or national environmental standard restricts its discretion.
S95D(d)	A consent authority <u>must</u> disregard trade competition and the effects of trade competition.
S95D(e)	A consent authority <u>must</u> disregard any effect on a person who has given written approval to the relevant application

5.7. For the purposes of deciding public notification, any effects on persons who own or occupy the application site, or adjacent land may be disregarded. The proposal is not considered to create adverse effects as detailed within this application.

- 5.8. In accordance with Section 95D(b), the council has discretion to disregard the effects of an activity if a rule or a national environmental standard permits an activity with that effect, referred to as the permitted baseline. In terms of building setback, the proposed activity infringes the required minimum building setback from the western boundary. Consent is also required for visual amenity and stormwater management. No rule or national environmental standard permits activities with the above-mentioned effects.
- 5.9. The proposed activity is not a restricted discretionary activity such that the matters over which the Council has discretion is limited to a national standard or rule.
- 5.10. Written approval from the affected landowner of the setback infringement is provided with this application. Potential adverse effects on these persons may be disregarded. Potential adverse effects that extend beyond the site boundary and the immediately adjacent properties are assessed to be less than minor and would not be of a wider public interest to the extent that public notification is warranted.

Step 4: Public notification in special circumstances

S95(9)	Do special circumstances exist in relation to the application that warrant the application being publicly notified?
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- 5.11. When considering public notification, current caselaw has defined ‘special circumstances’ as those outside the common run of things which are exceptional, abnormal or unusual, but they may be less than extraordinary or unique. The proposed activity is to construct a pavilion which will act as an ancillary building to the existing principal dwelling on the site. The proposed activity is located on a low-density coastal living type site that is anticipated by the District Plan. There are no extraordinary or unique circumstances.
- 5.12. Potential adverse effects beyond the immediate site boundary are less than minor. Public notification of the application is not deemed necessary, nor is it required.

Section 95B – Limited Notification Assessment

- 5.13. If an application is not publicly notified, a consent authority must follow the steps of section 95B to decide if limited notification is required. A Section 95B assessment requires a decision about whether there are any specified affected groups or affected persons (under section 95E).

Step 1: Certain affected groups and affected persons must be notified

S95B(2)(a)	Are there any affected protected customary rights groups
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?
S95B(3)(a)	Is the proposed activity adjacent to, or may affect land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?

5.14. The proposed activity would not affect any protected customary rights groups or marine title groups. Hokianga Harbour and Arai-Te-Uru Recreation Reserve are noted as a Statutory Acknowledgement Areas, however the site does not directly adjoin these areas and as such consultation is not considered to be required.

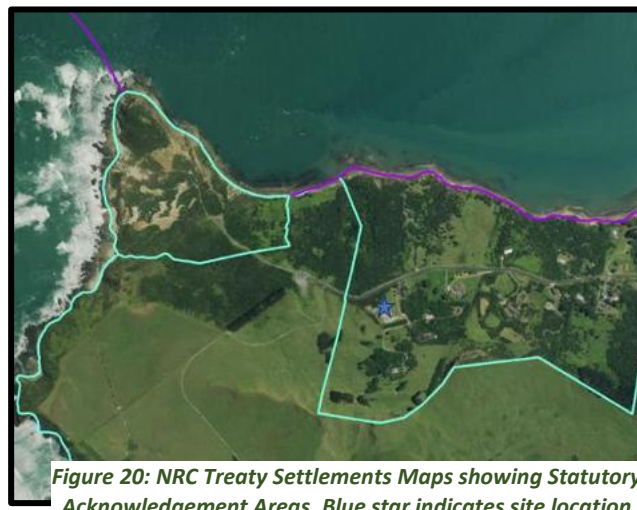


Figure 20: NRC Treaty Settlements Maps showing Statutory Acknowledgement Areas. Blue star indicates site location

Step 2: If not required by step 1, limited notification precluded in certain circumstances

S95B(6)(a)	The application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification.
S95B(6)(b)	The application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 5.15. The proposed activity is not subject to a rule or national environmental standard that precludes limited notification. The application activity status is not ‘controlled’.

Step 3: If not precluded by step 2, certain other affected persons must be notified

S95B(7)	In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.
S95B(8)	In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

- 5.16. The proposed activity does not solely involve a boundary activity. The proposed activity is a Discretionary Activity arising from an infringement to the building setback rule, visual amenity and stormwater management, given the permitted thresholds are exceeded. Consent is also sought to vary a consent notice condition.
- 5.17. Section 95E provides the basis on which a person is deemed to be affected by a proposed activity. Section 95E(1) a person is an affected person if the consent authority decides that the activity’s adverse effects on the person are minor or more than minor (but not less than minor). Section 95E(2)(a)-(c) sets out the adverse effects a consent authority can disregard or matters it must have regard to when assessing adverse effects on a person:

Affected Persons

S95E(2)(a)	A consent authority <u>may</u> disregard adverse effect of an activity on the person if a rule or a national environmental standard permits an activity with that effect.
S95E(2)(b)	A consent authority <u>must</u> disregard an adverse effect arising from a controlled activity or a restricted discretionary activity if the effect of the activity does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion.
S95E(2)(c)	A consent authority <u>must</u> have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

- 5.18. The application proposal is a Discretionary Activity. It is not a Controlled Activity or a Restricted Discretionary Activity. An assessment of the proposal requires consideration of all potential effects on the environment. The Council may disregard the effects of an activity where they are permitted under a rule or a national environmental standard.
- 5.19. For the purpose of determining if a person is affected by a proposed activity, Section 95(3) states that a person is not affected in relation to an application if the person has given written approval. As detailed earlier in this assessment, the affected landowner of the setback infringement has given their written approval to the application, which is attached within **Appendix 8**. The infringements are not considered to create any effects that would be more than if the proposal complied with the required setback distances. As such, effects on adjoining property owners are considered to be no more than minor. On that basis, it is considered that there are no persons who are affected by the proposed activity.
- 5.20. The Applicant requests that the application be processed on a non-notified basis.

6. Part 2 Assessment

- 6.1. The application must be considered in relation to the purpose and principles of the Resource Management Act 1991 which are contained in Section 5 to 8 of the Act inclusive.
- 6.2. The proposal will meet Section 5 of the RMA as the proposal will sustain the potential of natural and physical resources whilst meeting the foreseeable needs of future generations. The proposal is considered to retain the existing use of the land while still providing for their social, economic and cultural well-being. In addition, the proposal will avoid adverse effects on the environment and maintain the natural coastal character of the site and surrounding environment in keeping with the intent of the CLZ.
- 6.3. Section 6 of the Act contains the matters of national importance. These matters of national importance are considered relevant to this application. The proposal is located within the coastal environment. The site contains existing protected areas of intact indigenous vegetation, which will be preserved and enhanced by the additional planting proposed as per the LVEA. Providing for the social and economic wellbeing of the Applicant must be balanced with natural environment protection policies where locations are not identified as being outstanding and where residential development potential is signalled as being appropriate.

Given the recommendations within the LVEA, it is considered that the natural character of the site and surrounding environment will be enhanced and the visual effects of the proposed pavilion will be less than minor as well as effects on landscape and character values. The site is not known to contain any historic heritage nor be of significance to Māori. There is land within the surrounding environment which is shown to be of significance to Māori, however given recommendations within the LVEA area adhered to, effects on these features are anticipated to be no more than minor. It is therefore considered that the proposal is consistent with Section 6 of the Act.

- 6.4. Section 7 identifies a number of “other matters” to be given particular regard by a Council in the consideration of any assessment for resource consent, including the maintenance and enhancement of amenity values. The proposal maintains amenity values in the area.
- 6.5. Section 8 requires Council to take into account the principals of the Treaty of Waitangi. It is considered that the proposal raises no Treaty issues. The subject site is not within a documented area of significance to Māori and HNZPT have recommended proceeding on the basis of an ADP. The proposal has considered the principals of the Treaty of Waitangi and would not be contrary to these principals.
- 6.6. Overall, the application is assessed to be consistent with the relevant provisions of Part 2 of the Act, as expressed through the objectives, policies and rules reviewed in earlier sections of this application. Given that consistency, we conclude that the proposal achieves the purposes of sustainable management set out by Sections 5-8 of the Act.

7. Conclusion

- 7.1. The Applicant is seeking to construct a 70m² pavilion within the site, which will include an observation deck on the upper storey. A timber walkway will connect the pavilion to the existing dwelling on the site.
- 7.2. The site is zoned Coastal Living within the ODP and Rural Lifestyle within the PDP as well as being within the Coastal Environment overlay. Low density residential activity is enabled by both zones, subject to avoiding and / or mitigating potential adverse effects on the natural character values of the site, including coastal character. The activity is Discretionary overall for matters relating to visual amenity, setback from boundaries and stormwater management.

The proposed activity complies with all other ODP and PDP (with current legal effect) permitted standards.

- 7.3. The proposal also includes variation to an existing consent notice condition to allow the pavilion to be a maximum of 6.9 metres in height from ground level. A LVEA has been completed in support of the proposed activity which has recommended design controls for the pavilion as well as additional native vegetation planting within the site to offset the additional built form and enhance the site and surrounding natural character. The variation to consent notice condition is assessed as a Discretionary Activity under the Act.
- 7.4. An assessment of potential adverse effects on the environment concludes that the effects of the proposal will be no more than minor. The site is located within an area of mixed use, adjoining other rural lifestyle properties and recreational sites being located within the immediate area. The surrounding environment of Omapere has significance to Māori given the history of the area, however the site is not located within such areas and given the conclusions within the LVEA, the proposal is not considered to have any effects on such sites that would result in more than minor effects. Written approval has been received from the affected adjoining landowner for the setback infringement. To the extent possible, the proposal has been designed to comply with the permitted standards of both the ODP and the PDP.
- 7.5. The relevant provisions of the ODP and PDP apply with greater weight given to the ODP in the absence of a Council decision on submissions and the resolution of any appeals. The proposed activity is consistent with the overall intent of the ODP CLZ which contemplates low density development where these are not detrimental to natural character.

8. Limitations

- 8.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 8.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals,

without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.

- 8.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 8.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




R. W. Muir
Registrar-General
of Land

Identifier NA132C/62
Land Registration District North Auckland
Date Issued 15 February 2001

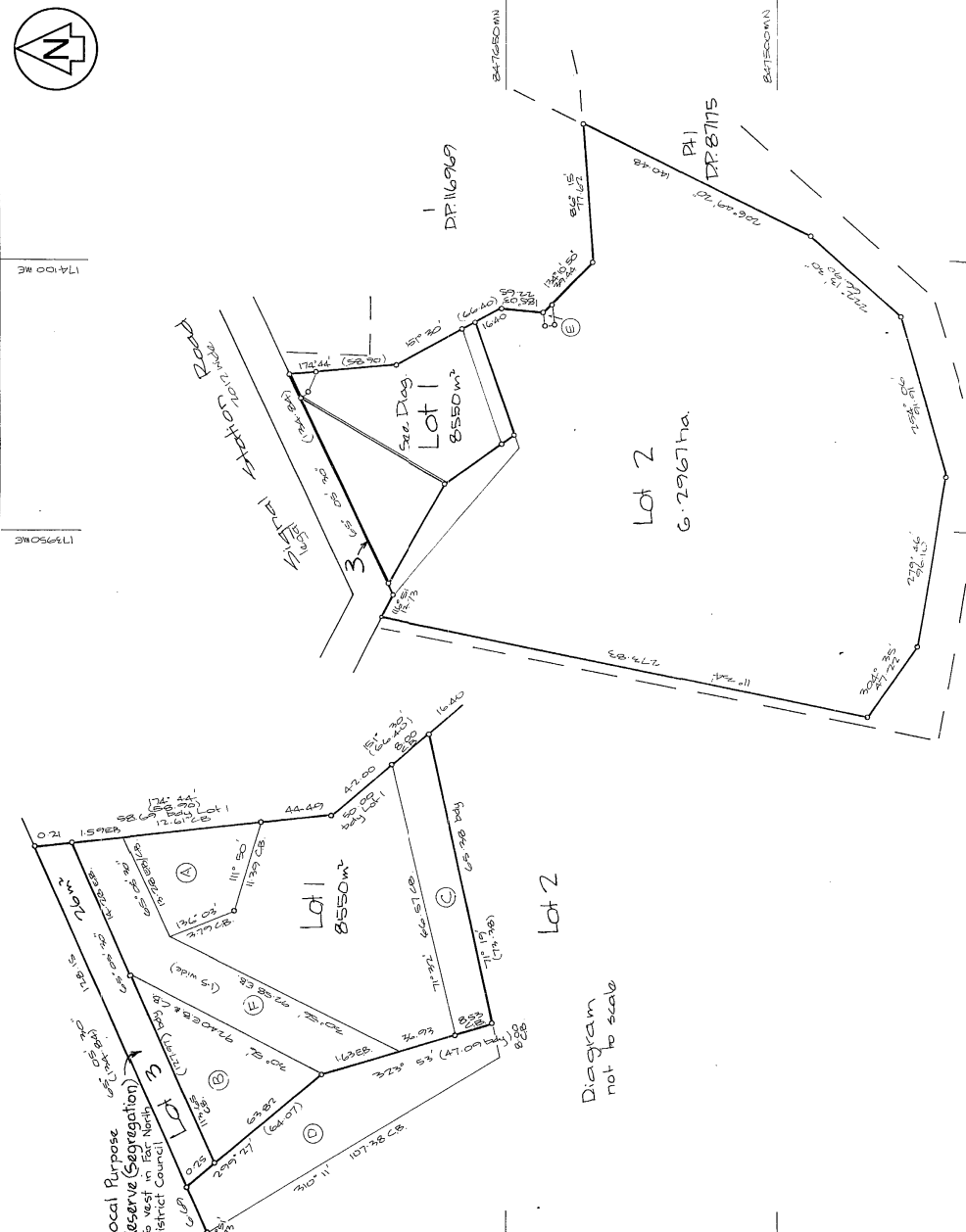
Prior References
NA66C/253

Estate Fee Simple
Area 8550 square metres more or less
Legal Description Lot 1 Deposited Plan 204637
Registered Owners
Shu Ping

Interests

Appurtenant hereto is a right of way specified in Easement Certificate B733842.3 - 25.9.1987 at 2.48 pm
D579879.2 Consent Notice pursuant to Section 221(1) Resource Management Act 1991 - 15.2.2001 at 9.00 am
Subject to telecommunications and electricity supply rights over part marked F on DP 204637 specified in Easement Certificate D579879.5 - 15.2.2001 at 9.00 am
The easements specified in Easement Certificate D579879.5 are subject to Section 243 (a) Resource Management Act 1991

<p>Approvals</p> <p>The Council, on the 17th day of May 2000, approved this plan and the plan was approved by the Fair North District Council pursuant to Section 223 of the Resource Management Act 1991 on the 17th day of May 2000 subject to the signing or reserving of the easement set out in the Memorandum hereon.</p> <p><i>P. Williams</i> Authorized Officer</p>	
<p>Memorandum of Easement</p> <p>Grant: [Blank] Subjunctive: [Blank] Easement: [Blank] Lot 1 hereon</p> <p>Lot 2 hereon</p>	
<p>Existing Easement</p> <p>Purpose shown: [Blank] Created by: [Blank]</p> <p>Drainage: [Blank] B.73882.3 Transfer: B.87880.1</p>	
<p>Areas shown (A) (B) (C) (D) are to be subject to a restrictive land covenant which will prohibit the erection of any structure or any indigenous vegetation</p> <p>Approved: [Blank]</p> <p>Registered Owners: J. Marovich L.N. Marovich</p> <p>Classes of Survey: Lots 1 & 3 Class I Lot 2 in Class III</p> <p>Map Set Allocated: Lot 1: 132C/62 Lot 2: 132C/63 Lot 3: 132C/64</p> <p>Total Area: 7.1543 Ha.</p> <p>Comprised in: C.I. 666/257s All</p>	
<p>Notes</p> <p>(a) This survey is to be carried out in accordance with the Survey Act 1986 and the Survey Regulations.</p> <p>(b) This survey is to be carried out in accordance with the Survey Act 1986 and the Survey Regulations.</p> <p>Signed: <i>N. Ross</i> Date: 10.8.2000</p> <p>Field Book: [Blank] Reference Plans: [Blank] Examined: [Blank] Approved as to Survey: [Blank]</p> <p>Deposited this 17th day of May 2000</p> <p>Registrar General of Land</p> <p>Record Map No. 32</p> <p>DP 204637</p>	



LAND DISTRICT North Auckland
 Survey Bk & Dist IX Hokianaga
 NZMS 261 Sheet 006 Record Map No. 32

TERRITORIAL AUTHORITY Fair North District
 Surveyed by Surveyors North
 Scale 1:1500 Date May 2000

Lots 1, 2 & 3 being subdivision of Lot 2 DP 116969

4359

NOIHERANGI VING

4 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50

D579879.2

C.20



FAR NORTH DISTRICT COUNCIL

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221: CONSENT NOTICE

REGARDING RC 1990059

The subdivision of

Lot 2 DP 116969

North Auckland Registry.

DP 204637

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the titles of the appropriate lots.

1. SCHEDULE

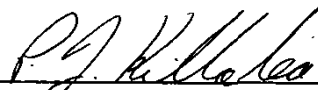
(A) Lot 1.

1. The construction of any building and the clearance of, or damage to any indigenous vegetation on the area marked "C" on the survey plan is prohibited.
2. The clearance of, or damage to, any indigenous vegetation within the areas marked "A" & "B" on the survey plan is prohibited.
3. Any building constructed on proposed Lot 1 shall not exceed a height of four metres and shall be finished in natural colours and non-reflective surfaces (apart from glassed areas) to the satisfaction of the Environmental Services Manager. For the purposes of this condition, the "height" of any building shall be the vertical distance between ground level at any point and the highest part of the building immediately above that point.

(B) Lot 2

1. The clearance of, or damage to, any indigenous vegetation within the area marked "D" on the survey plan is prohibited.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this 20th day of December 2000

LINZ COPY

9.00 15.FEB01 D 579879

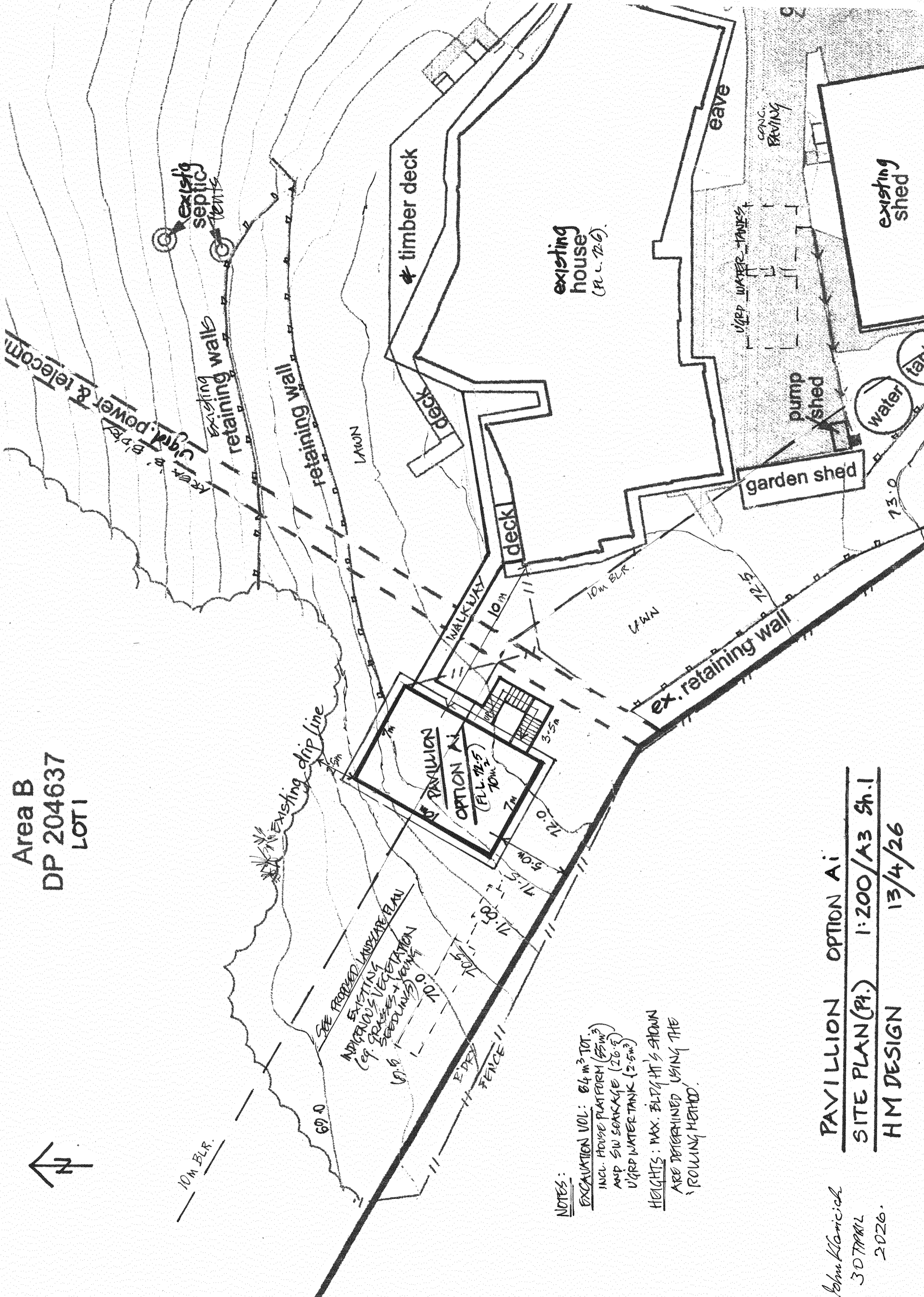
REGISTRAR GENERAL
LAND REGISTRY
NEW ZEALAND



1253



Area B
DP 204637
LOT 1



NOTES:
 EXCAVATION VOL: 84 m³ TOT.
 INCL. HOUSE PLATFORM (55m³)
 AND SW SOAKAGE (26.5)
 UGRP WATER TANK (2.5m³)
 HEIGHTS: MAX. BLDG HT'S SHOWN
 ARE DETERMINED USING THE
 'ROLLING METHOD'.

PAVILLION OPTION A1
 SITE PLAN (Pt.) 1:200/A3 Sh.1
 HM DESIGN 13/4/26

John Klamicich
 30 APRIL
 2026.

SEA VIEW

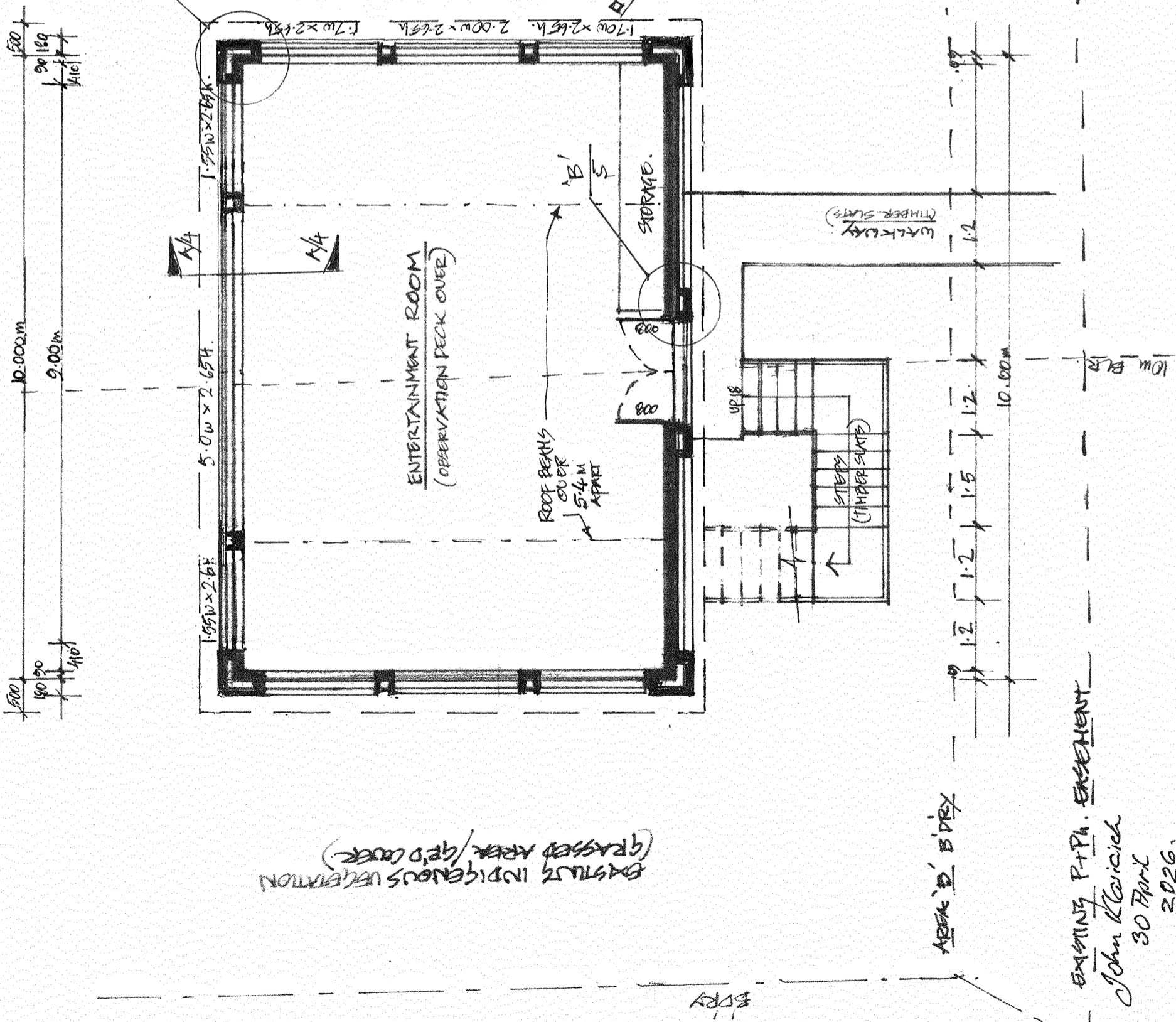


EXISTING INDIGENOUS VEGETATION (GRASSED AREA / GPD COVER)

NOTES:
FRAMED CAVITIES AT ALL CORNERS (PLASTERS) FOR CONCEALING DOWNPIPES SEE SHEETS 4 & 5

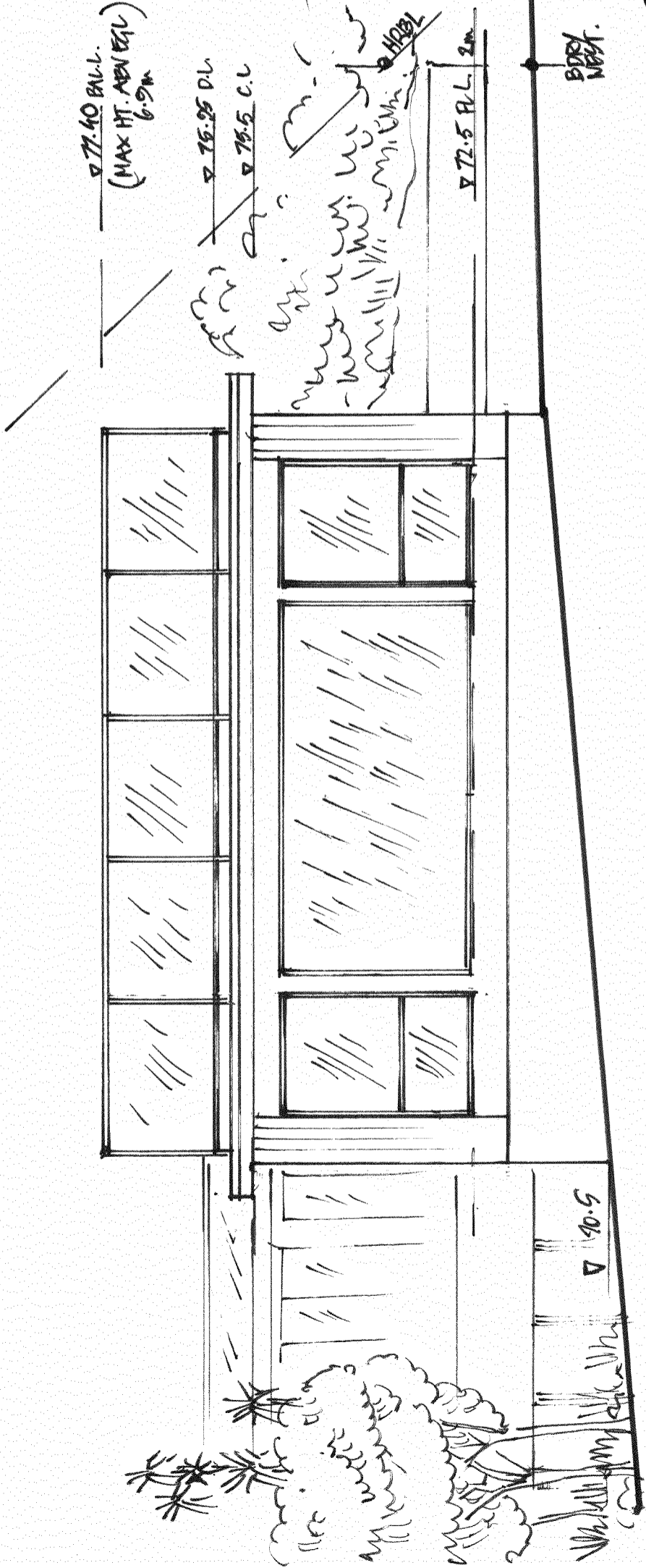
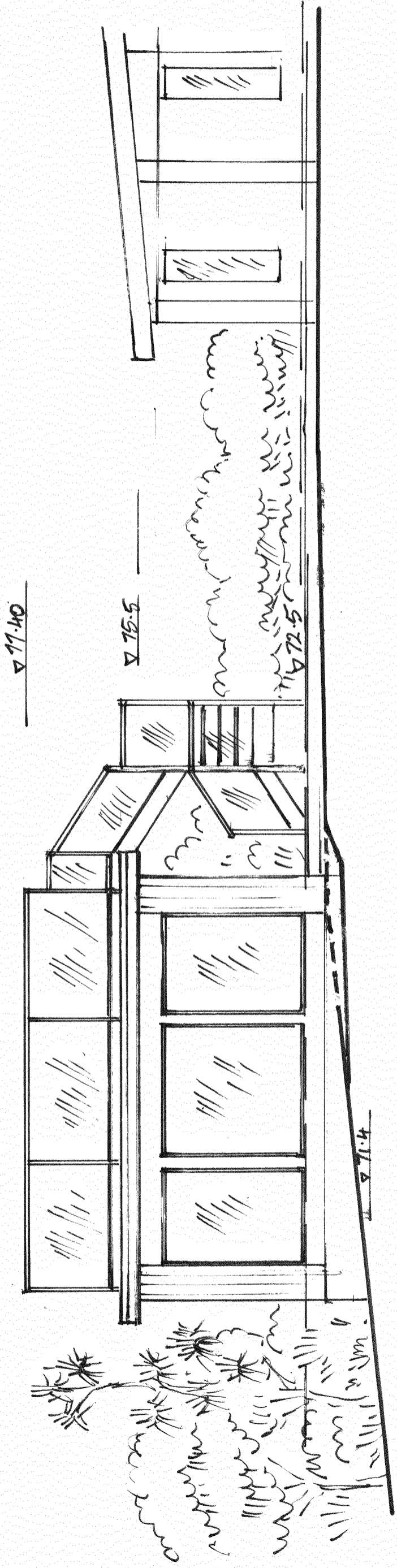
EXISTING DRIPPIES OF JUSTICE TREES (MAMUKA TOUTAKAWA) (CREATE FRILLS etc)

EXISTING RW. 1900k.



PAVILION OPTION A1
 FLOOR PLAN 1:75/A3 Sheet 2
 HM DESIGN
 Amended Glazing 27/5/26 18/A/26

EXISTING P+Ph. EASEMENT
 John Klaricich
 30 April 2026.



PAVILION - OPTION A1
 ELEVATIONS 1:75/A3 Sh. 3
 HM DESIGN 18.4.26

▽ 4.20 (77.40R)

1.5m h. ALUM. GLAZED BALUSTRADES

FIXED ONTO MEMBRANE COVERED STRUCTURAL FIXING PADS TO ATTACHED PS1# DETAILS

150D x 250W MEMBRANED GUTTER 1:100F BOTHWAYS TO 100x50 D/P'S 5/5' APART

▽ 3.0 (75.5R)

300L x 50W VENTILATION STRIPS TO SOFFITS

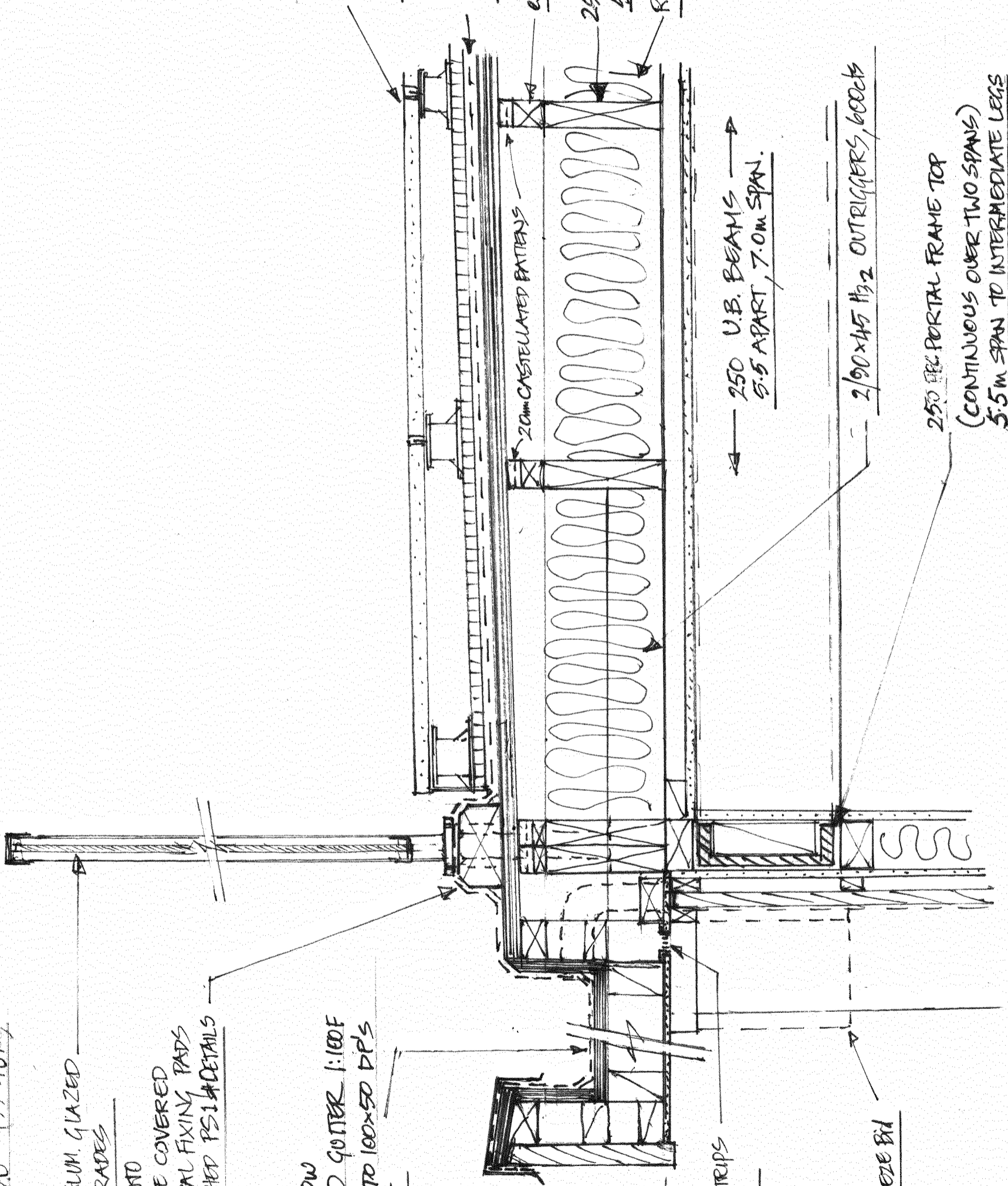
▽ 2.7

POSSIBLE FRIEZE BR

32

500

90



20mm TH CERAMIC NON-SLIP TILES ON NURAJACKS, 600 x 600, ON NURAGRID EDGE

1:80 FALL MIN TO NURALITE 3PM MEMBRANE ON 22mm H₃2 PLY SUBSTRATE

EX 20x45 H₃2 GRADUATED CLEATS

250x45 HYSPAN JOISTS 5.5m SPAN MAX / 600CS

R6 POLYESTER INSULN

250 U.B. BEAMS 5.5 APART, 7.0M SPAN

250 REC PORTAL FRAME TOP

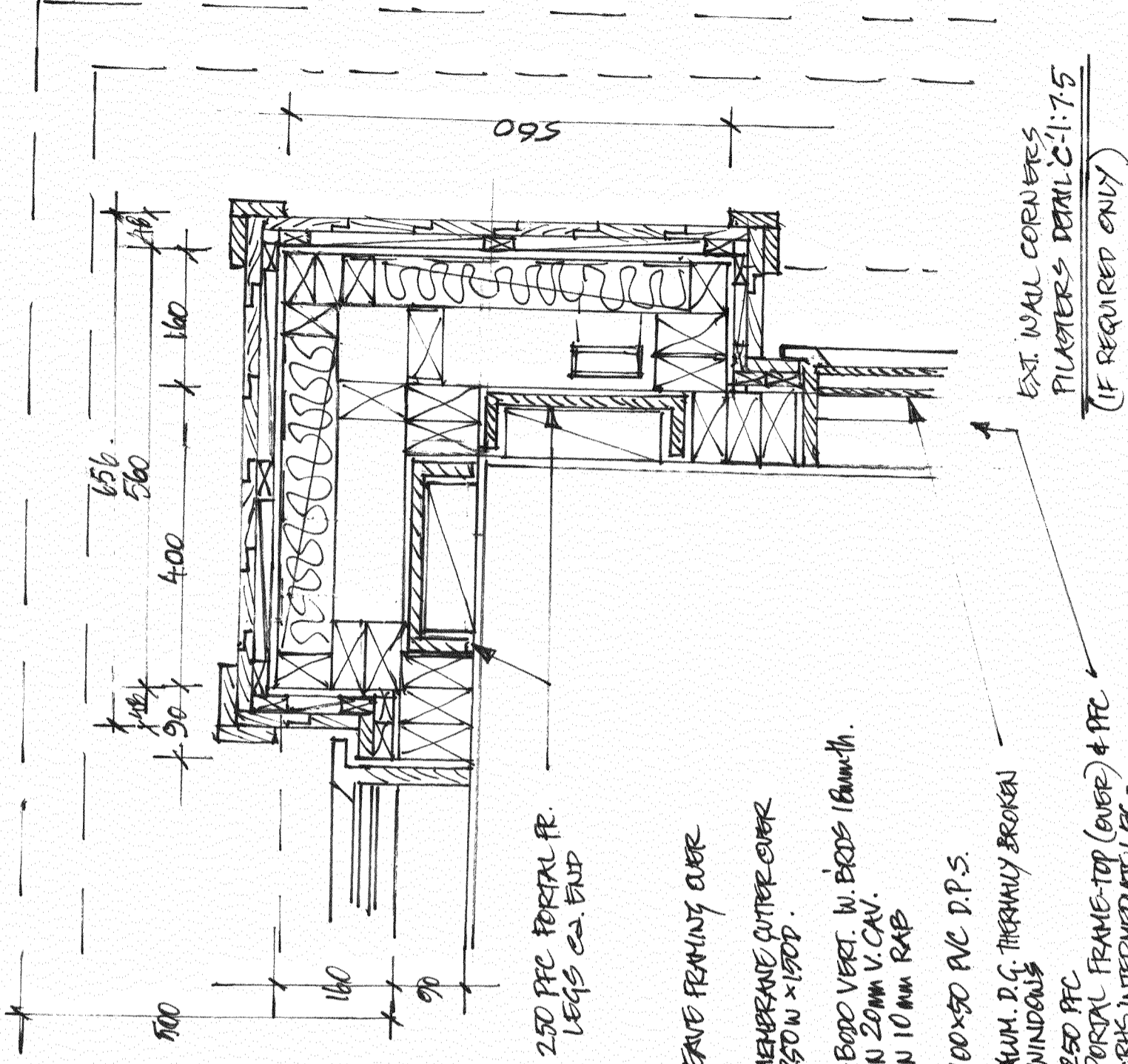
(CONTINUOUS OVER TWO SPANS) 5.5m SPAN TO INTERMEDIATE LEGS

PAVILLION - ROOF / DECK EDGE

CROSS-SECTION DETAIL 1:1.5/A3 SH4

HM DESIGN

22-5-26



250 PFC PORTAL FR. LEGS EA. END

EAVE FRAMING OVER

MEMBRANE CUTTER OVER 250W x 150D.

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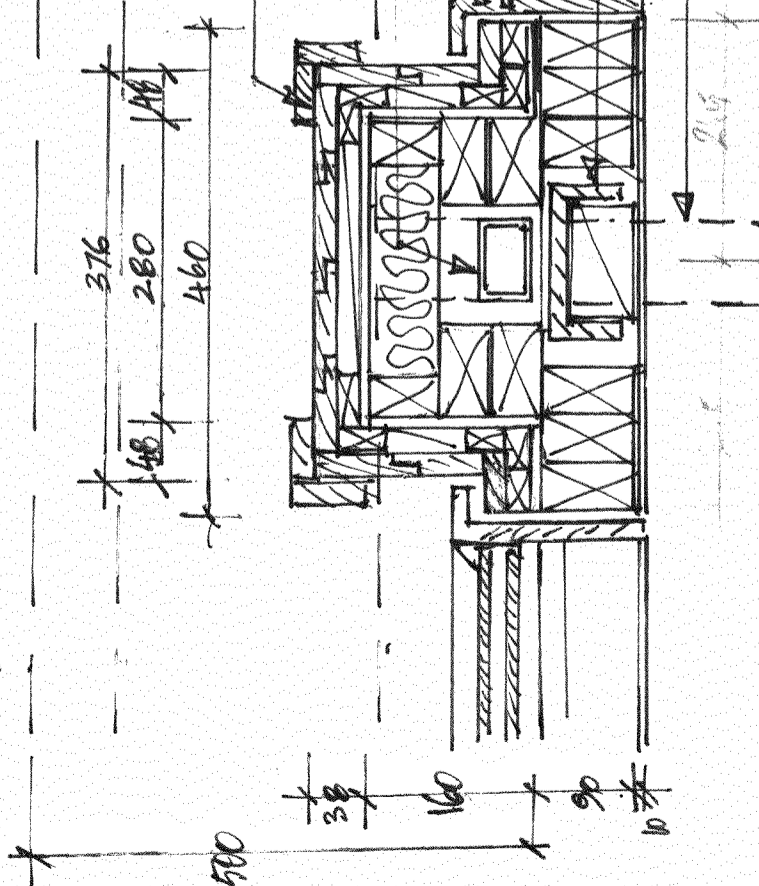
100x50 PVC D.P.S.

ALUM. D.G. THERMALLY BROKEN WINDOWS

250 PFC

PORTAL FRAME-TOP (OVER) & PFC ON RHS INTERMEDIATE LEG. & 250 UP ROOF DECK BEAM (OVER)

EXT. WALL CORNERS PLASTER DETAIL C'-1:1.75 (IF REQUIRED ONLY)



WALL PLASTER PLAN DETAIL 'B'-1:75 (IF REQUIRED ONLY)

PAVILLION - WALL CLADDING
 PLAN DETAILS 1:7.5/A3 SH.5
 HM DESIGN 24/5/26



HAWTHORN
Landscape Architects

Landscape & Visual Effects Assessment

Proposed Pavilion

73a Signal Station Road, Ōmāpere



Prepared For: Hailand Holdings Ltd

Prepared By: Christine Hawthorn BLA (Hons)

Date: May 2026



TABLE OF CONTENTS

1.0	INTRODUCTION	3
2.0	METHODOLOGY	4
3.0	THE SITE AND ITS LANDSCAPE CONTEXT	
3.1	Site Location	4
3.2	Application Site	4
3.3	Neighbourhood Context	6
4.0	THE PROPOSAL	
4.1	Proposed Pavillion	8
4.2	Landscape Integration Plantings	10
5.0	ASSESSMENT OF LANDSCAPE AND VISUAL EFFECTS	
5.1	Introduction	12
5.2	Visual Effects	12
5.3	Landscape Effects	17
5.4	Natural Character Effects	17
6.0	STATUTORYCONTEXT	
6.1	The Far North District Plan	18
6.2	Northland Regional Policy Statement	21
6.3	New Zealand Coastal Policy Statement	23
7.0	CONCLUSION	24

APPENDICES:

Appendix 1 – Location Map
Appendix 2 – Development Plans
Appendix 3 – On Site Photographs
Appendix 4 – Off Site Viewpoints
Appendix 5 – Landscape Plan
Appendix 6 – Landscape Overlays

Supplement A: Landscape and Visual Effects Assessment Methodology



1. INTRODUCTION

Hawthorn Landscape Architects Ltd (HLA) have been engaged by Hailand Holdings Ltd (the applicant) to assess the potential landscape, natural character and visual amenity effects anticipated from the development of a small pavilion adjacent to the existing house on their property at 73a Signal Station Road, Ōmāpere.

Within the Operative Far North District Plan the application site zoned Coastal Living, and has no landscape overlays. There is an Outstanding Landscape Feature (OLF 'Pukekohe No.3') to the south of the property. This is a "Peak on south head of Hokianga Harbour, overlooking Signal Station Rd and harbour", it is noted that this ONL has not been carried over into the more recent mapping completed for the Regional Policy Statement for Northland (RPS).

Under the Proposed Far North District Plan, the site is zoned Rural Lifestyle and has a Coastal Environment Overlay.

The following Consent Notice items apply to Lot 1.

- 1. The construction of any building and clearance of or damage to any indigenous vegetation on the area marked "C" on the survey plan is prohibited.*
- 2. The clearance of or damaged to any indigenous vegetation within the areas marked "A" and "B" on the survey plan is prohibited.*
- 3. Any building constructed on proposed Lot 1 shall not exceed a height of 4m and shall be finished in natural colours and non-reflective surfaces (apart from glass areas) to the satisfaction of the Environmental Services Manager. For the purposes of this condition the "height" of any building shall be the vertical distance between ground level at any point and the highest part of the building immediately above that point.*

The proposed building site for the pavilion is located within Area "B" and will exceed the 4m height limit stipulated in the consent notice.

This report has been prepared to determine the potential impact of the proposal upon the landscape, visual amenity and natural character values of the site and surrounding coastal environment.

This report provides a full assessment of the landscape, natural character and visual effects associated with the proposal, in the context of the existing environment and the relevant statutory planning framework.

The potential effects are considered with respect to the pavilion and surrounding vegetation, proposed natural character enhancement plantings and the relationship with the rural and coastal landscape setting.

In undertaking this assessment, the author has visited the property to understand the nature of the site, its physical and visual relationship to the coastal environment, adjacent properties as well as the context, character, visual catchment and viewing audiences from the wider area including those from the Coastal Marine Area ("CMA").



2. METHODOLOGY

The following methodology was used in the preparation of this landscape and visual effects assessment.

- Desktop review of the relevant statutory documents (Regional and District Plan text and mapping);
- Site visit and filed survey of the local area;
- Identification of the visual catchment and viewing audiences;
- Description of the site and existing landscape character, visual/aesthetic quality and amenity values of the surrounding environment;
- Identification and description of the nature of the proposed development;
- Assessment of anticipated character, landscape and visual effects;
- Ranking of landscape and visual effects;
- Review of the relevant planning documentation and reports;
- Identification of the proposed landscape and visual mitigation approach, options considered and recommendations.

To determine the overall nature and significance of the landscape and visual effects, an understanding of the sensitivity of the landscape and viewing audience has been combined with an assessment of the magnitude of the change resulting from the proposal in order to determine the overall significance of effects.

An outline of the effects ratings and definitions used in this assessment is provided in **Supplement A**. In summary, the significance of effects identified in this assessment are based on a seven-point scale which includes very low; low; low-moderate; moderate; moderate-high; high and very high ratings.

This assessment has been prepared by a qualified Landscape Architect and in accordance with the NZILA (New Zealand Institute of Landscape Architects) Code of Conduct and with reference to the Quality Planning Guidelines Note¹.

3.0 THE SITE AND ITS LANDSCAPE CONTEXT

3.1 Site Location

The application site is located at 73a Signal Station Road, to the west of Omapere approximately 700m along Signal Station Road from the intersection with SH 12.

It is located on the southern side of the road, upon the northern facing hillslopes that overlook the Hokianga Harbour. Refer to **Appendix 1 - Location and Viewpoint Map**.

3.2 Application Site

The application site currently accommodates an existing dwelling and shed. The dwelling is a single-story building with a low lineal style roof. The northern facing facade that overlooks the Harbour is predominantly glazing, with the rest of the building being constructed out of earthy coloured brick. The glazing has a warm brown/grey tint which minimise reflectivity, as shown in **Figure 1**.

¹ <http://qualityplanning.org.nz/index.php/planning-tools/land/landscape>



Figure 1: Existing dwelling exterior and glazing

A deck area extends along the northern side of the dwelling, this overlooks the immediate gardens and retaining walls. Beyond this a mown lawn area falls away towards the native bush that is located within Areas "A" and "B", which separates the house site from Signal Station Road. Refer to the Site Photographs contained in **Appendix 3, and Figure 2.**



Figure 2: View of mown grassed area located between the house and native bush area A & B.

A shed is located to south of the dwelling and is an off-white colour; it is mostly obscured from view. This building was constructed after the dwelling under a separate consent.

To the northwest of the house there is a series of timber screen fences . The proposed

building site for the pavilion is located just to the west of these within an open grassed area. This small sloping grassed area falls to the north-west from the proposed building site and is then bound by existing native vegetation. This vegetation extends right up to the northern most corner of the proposed pavilion.

Along a portion of the southwestern boundary there is an area of green wind netting supported by large poles. Just beyond this is an area of Pohutukawa trees that are located in Area "D", these trees are on the neighbour's property, as shown in **Figure 3**.

This vegetation and the stand of Pohutukawa trees in Area "C" on the application site provide a vegetated backdrop to the existing dwelling, fences and wind netting.



Figure 3: Proposed building site of the pavilion, showing existing fences and wind netting.

The existing vegetation in Area "B" to the north of the house and pavilion site, is dominated by a mix of regenerating shrubland manuka, kanuka and ti kouka (cabbage tree). The ground cover is predominantly kikuyu grass and occasional pockets of indigenous ground cover. There are also some bare areas that are not currently vegetated with native bush within Area "B".

3.3 Neighbourhood Context

The site is positioned on the northern facing slopes close to South Head, overlooking the entrance to the Hokianga Harbour. This area is accessed via Signal Station Road from SH12. Signal Station Road is located approximately 200m inland from the edge of the harbour.

The hillslope the site is located on rises from sea level to an elevation of 159m asl to Pukekohe No. 3 which is the grassed hill on the skyline shown in **Figure 4**. The rocky outcrop to the left of this is known as Te Hunoke and is 170m asl.

Arai te Uru is the name given to the south head of the Hokianga Harbour. This headland offers spectacular views of the Tasman Sea and the giant sand dunes on the opposite side of the harbour entrance. According to Māori mythology, Arai Te Uru and Niua (the north head of the harbour) were two taniwha who had the job of guarding the harbour entrance.

Arai te Uru Reserve is located at the end of Signal Station Road, to the west of the site, and there are several walking tracks to the nearby beaches and the scenic lookout.

To the south of Pukekohe No. 3, and Te Hunoke the landscape is dominated by farmland and the exposed nature of the open coastline and expansive views overlooking the Tasman Sea.



Figure 4: View from the harbour edge showing Pukekohe No. 3, and te Hunoke on the skyline, with the application site located below.

The application site is located within the coastal environment as shown on the Landscape Overlays in **Appendix 6**. It does not include any areas of High or Outstanding Natural Character (although there are areas of bush located to the north of Signal Station Road that do have HNC values).

There are no Outstanding Natural Landscapes or Features as recorded within the Regional Policy Statement. Lot 1 is not identified as being covered by the nearby Outstanding Landscape Feature (OLF 'Pukekohe No.3').

The small harbour-side settlement of Omapere is located to the northeast of the site. Residential and commercial built development lines the edge of the harbour on the lower flat contours adjacent to the water's edge as shown in **Figure 5**.

The hill slopes then rise into the surrounding bush clad hill slopes and farmland. The application site and land surrounding Signal Station Road has a more undeveloped character, due to the larger lot sizes and presence of the patchwork of indigenous vegetation. Apart from a few white house's most built development is relatively inconspicuous as it is set within this vegetation and not viewed on a skyline.



Figure 5: View of Omapere in the foreground, the Hokianga harbour mouth, and the application site located on the vegetated slopes below Pukekohe No. 3, and te Hunoke in the distance on South Head.

4.0 THE PROPOSAL

4.1 Proposed Pavilion

The proposal is set out in the HM Design drawing package which includes a range of illustrative material to demonstrate the proposal's building form and elevational treatment and materiality. Refer to **Appendix 2 and Figure 6**.

As mentioned, the following Consent Notice items apply to the application site.

1. *The construction of any building and clearance of or damage to any indigenous vegetation on the area marked "C" on the survey plan is prohibited.*
2. *The clearance of or damaged to any indigenous vegetation within the areas marked "A" and "B" on the survey plan is prohibited.*
3. *Any building constructed on proposed Lot 1 shall not exceed a height of 4m and shall be finished in natural colours and non-reflective surfaces (apart from glass areas) to the satisfaction of the Environmental Services Manager. For the purposes of this condition the "height" of any building shall be the vertical distance between ground level at any point and the highest part of the building immediately above that point.*

The proposed pavilion will be located within. Area "B", which from reading the consent notice it can be assumed was set aside from development so that the natural regeneration process could occur, allowing the native forest to recolonize any bare patches.



In 2015 there were some bare areas still present within Area "B" as shown in **Figure 6**. The location of the proposed pavilion is in one of these bare areas that was devoid of native bush. It is noted that there were a few scattered Manuka trees present in 2015, that are not present now. At my site visit I noted that there were some tree trunks in a pile adjacent to the bush line. It is difficult to tell when the trees were cut down.

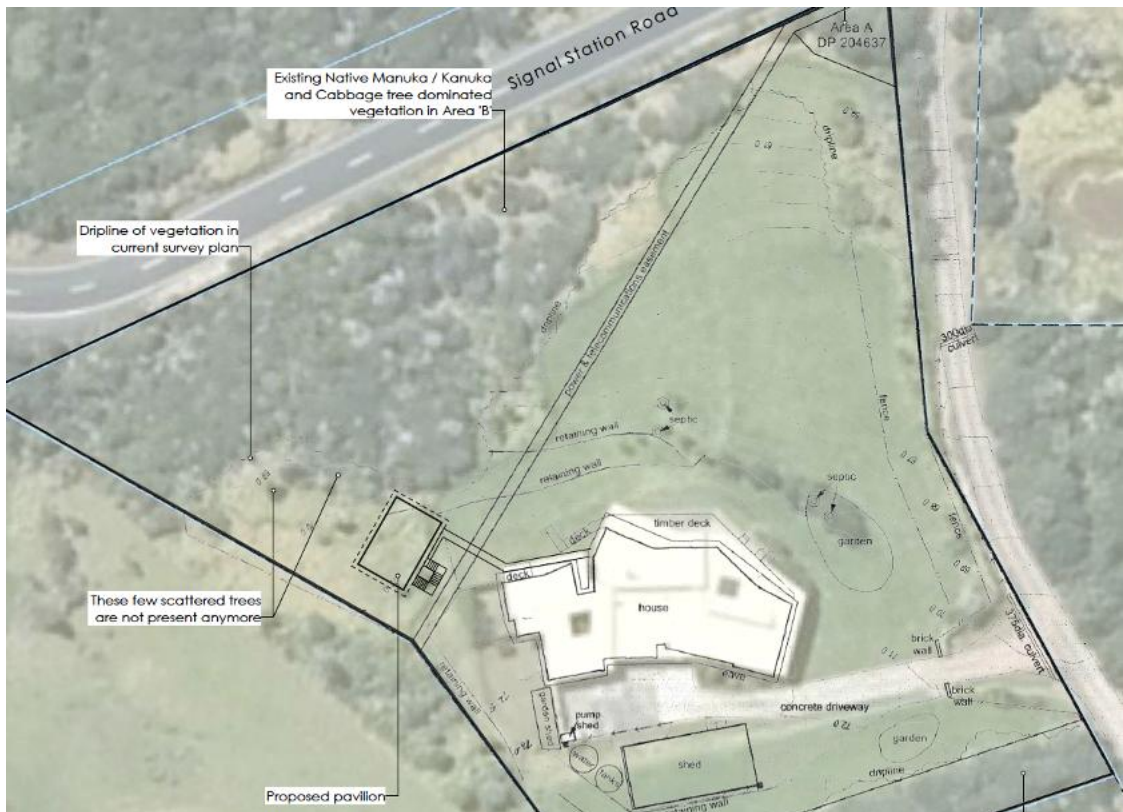


Figure 6: A 2015 aerial image showing the coverage of vegetation within Area "B" and the proposed location of the pavilion within an area clear of bush.

The architectural plans illustrate that the proposed pavilion is a rectangular shape of 10m by 7m covering a floor area of 70m². The facades that look out to sea are proposed to be predominantly glazed, with the wall facing southeast to be solid.

A timber walkway will connect the pavilion with the house; it will be located approximately 10m from the house and 5m from the southern boundary. Proposed finished floor level will be 72.5m.

The roof of the pavilion is proposed to be used as a viewing deck, with a set of steps along the southeastern facade leading to the roof. The railing along the steps and around the edge of the roof is proposed to be glazing. The glazing for the balustrade on the roof will be 1.5m high, so that it also acts as wind protection.

The heights of the building above ground level are illustrated on the HM Design drawings, and as shown in **Figure 7**. The elevations show the relationship between the height of the existing house and pavilion. The maximum height of the pavilion above ground level will be 6.9m.

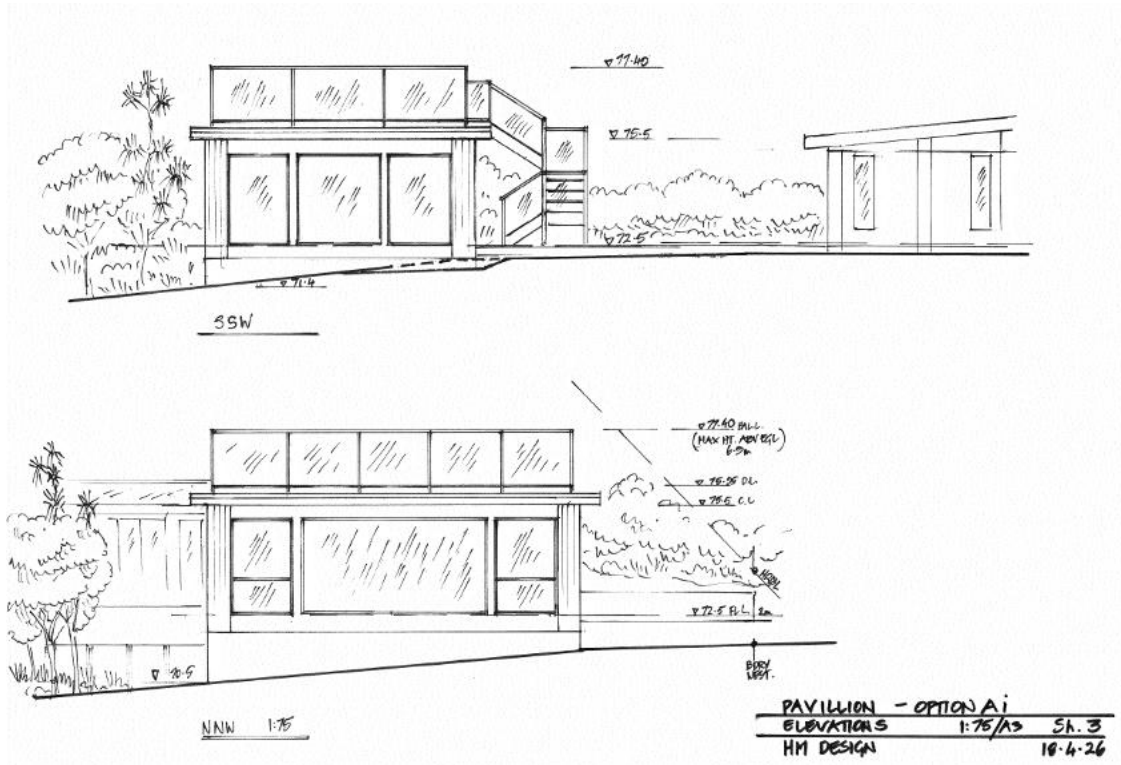


Figure 7: Elevations of pavilion

4.2 Landscape Integration Plantings

To assist with minimising the potential landscape, visual and natural character effects of the proposed development several landscape integration and restoration plantings are proposed as detailed on the Landscape Plan contained in **Appendix 5** and shown in **Figure 8**.

Area E – Foreground Amenity Plantings

Proposed foreground amenity plantings located just to the west and north of the proposed pavilion will provide a foreground setting and screen the base of the building. These plants are lower growing and provide a buffer between the building and the native revegetation plantings located further down the slope. The plants may be trimmed and maintained at a height no lower than the floor level of the proposed building. The plants specified are low flammability species.

Area F – Native Revegetation Plantings

The bare area to the west of the pavilion which is located in Area “B” shall be revegetated with a mix of locally occurring native species. This will provide a foreground linkage of vegetation between the pavilion and existing bush line. As this planting will mimic the surrounding bush area it will enhance natural character and visual amenity values and blend the proposed building into the landscape setting.

In addition, another existing bare area in Area “B” which is located along the east of the existing bush line will also be revegetated with locally occurring native species.

Area G – Natural Character Enhancement Plantings

Some of the current grassed lawn area to the north of the existing dwelling and retaining walls will be revegetated with a mix of native species to blend with the existing dominant native vegetation pattern.

This planting will “off set” the presence of the proposed pavilion within an area that was to have no vegetation removed (with the obvious intent of natural regeneration to occur, and thus the area to be vegetated). This proposed planting will ameliorate the potential adverse landscape effects of the proposed pavilion.

Specimen Trees

Pohutukawa trees located to the south, and east of the pavilion will provide a vegetated backdrop and a linkage into the existing Pohutukawa trees on the site. The trees located between the pavilion and house will soften the two built forms. Plants with a height of at least 3m in the planter bag should be purchased.



Figure 8: Landscape Plan

5.0 ASSESMENT OF LANDSCAPE AND VISUAL EFFECTS

5.1 Introduction

The landscape and visual effects assessment process provides a framework for assessing and identifying the nature and significance of potential landscape and visual effects that may result from a proposed development. Such effects can occur in relation to changes to physical elements and existing character of the landscape and impacts on viewing audiences and visual amenity.

The existing landscape and it's a visual context form the baseline for landscape and visual effects assessments. The assessment of visual effects considers how changes to the physical landscape affect the viewing audience.

In assessing effects on landscape there is a distinction made between landscape effects (effects on the character and amenity of a landscape, this may not be visible to the public), and visual effects (the response of a viewing audience, principally from public viewing positions, but also surrounding privately owned properties).

These effects are assessed in terms of the degree of change brought about by a development. The degree of landscape and visual effects resulting from a development may be negative (adverse), or positive (beneficial), contributing to the visual character and quality of the environment.

The landscape and visual effects assessment will consider the following:

- Visual amenity effects from the identified viewing audiences.
- Landscape effects, resulting from the physical modification of the site,
- Natural character effects generated by the proposal.

5.2 Visual Effects

The potential visual effects of this development will be generated by the visual changes to the landscape due to the proposal, with the significance of the effects measured by the response of the viewing audience.

This is influenced by the degree of visibility, whether the proposal is the focal point or part of a wider view, whether the view is transient or permanent and the degree of contrast with the surrounding environment. The visual qualities of the proposal and the ability to integrate any change within this landscape setting also influences the degree of effects.

The following is an assessment of a number of representative viewing areas that gain views towards the proposed development. From each of the viewpoints photographs were taken to illustrate the view of the property and the context of its setting. Refer to the Location Map contained in **Appendix 1** for the location of the viewpoints and **Appendix 4 - Off Site Viewpoints**.

Viewpoint 1

This viewing position is located at the start of the walkway along Arai te uru reserve approximately 250m to the northwest of the application site. This view is obtained by visitors to the headland and walkway. Their view is temporary and ever changing as

they visit the headland. Viewpoints 2 - 5 depict a similar view of the site from along the walkway.

The proposed building site for the pavilion has been indicated and is adjacent to the existing dwelling, in the area where the screen fences and wind netting is present. The pavilion will constitute a very small part of an expansive and dramatic view.

The backdrop of this view is dominated by the rocky outcrop known as Te Hunoke which is visible on the skyline. The midground view accommodates the scattering of dwellings that are located on the hillslope within a highly vegetated setting, overlooking the Hokianga Harbour.

Access to these dwelling is via Signal Station Road, which is located within this area, although not visible, due to the presence of the existing vegetation. Much of the vegetation on the seaward side of Signal Station Road is located within a High Natural Character area. Refer to Landscape Overlays in **Appendix 6**.

The immediate foreground view takes in the car park for the reserve and the grassed area at the start of the walkway.

Due to the long focal lengths from the viewing positions along the Arai te uru reserve walkway the proposed development will constitute a very small part of the expansive view on offer.

A recessively coloured structure will blend with the existing vegetation and assimilate with the nearby dwelling and other neighboring houses. It will be in keeping with the scattered built form that is currently present along this hill side. The building will not be viewed on the skyline and will have a vegetated backdrop of existing and proposed plantings.



Figure 9: Zoomed in view of the site from the Arai te uru reserve walkway.

To get a clearer idea of how the proposed pavilion will sit within the existing site I have zoomed in on Viewpoint 1, the view from the start of the Arai te uru reserve walkway, as shown in **Figure 9**.

The upper part of the existing dwelling is visible above the foreground bush and is well integrated into the landscape and recessively coloured. The white area visible is the shed behind the house, and the green area is the wind netting.

The proposed pavilion will be located between the wind netting and house, timber fences. The pavilion will screen the view of the small white area (shed). The pavilion room itself will be a similar height to the dwelling, with a viewing deck on top. The 1.5m high glass balustrade will be located upon the top of the building. This will be viewed with a backdrop of the existing Pohutukawa trees located in Area "C". The existing foreground vegetation to the northwest of the pavilion will partially screen the lower portion of the building.

The proposed landscape integration plantings detailed on the Landscape Plan will further integrate the proposed building into this landscape setting thus minimising potential adverse landscape, visual and natural character effects to a low level (less than minor).

It's recommended that the glazing on the pavilion be a similar tinted colour to that of the existing dwelling. This darker tint will assist with minimising the reflectance of the glass. In addition, there should be no night light on the upper viewing deck that would draw attention to the 1.5m high glass balustrade. Any drapes located within the pavilion should have a dark backing, so that when closed they do not draw attention to the pavilion (as often drapes are backed by white lining).

As mentioned, this is a zoomed in view to illustrate the existing landscape and built setting of the pavilion. From all of the viewing positions (Viewpoints 1- 5) located along the Arai te uru reserve walkway (250m – 800m away) the proposed pavilion will form a very small element. The degree of change to the landscape is very small, and the proposal will be viewed in the context of the existing settlement and built pattern already present along this part of the hillslope overlooking Singal Station Road and the Harbour below Te Hunoke and Pukekohe No.3. The viewing audience will not be adversely affected, and their appreciation levels will not be lowered.

Viewpoint 2

This viewing position is located approximately 500m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated and is adjacent to the existing dwelling. Te Hunoke is visible on the skyline; the vegetated coastal escarpment falls away to the coastline of Hokianga Harbour. The assessment of potential adverse visual effects for this viewing position is similar to that for Viewpoint 1, albeit at a longer focal length, so will be lessened to a degree by this longer viewing distance.

Viewpoint 3

This viewing position is located approximately 600m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated and is adjacent to the existing dwelling. Te Hunoke, the vegetated coastal escarpment, Hokianga Harbour and Omapere are all dominant landscape elements within the view. The assessment of potential adverse visual effects for this viewing position is similar to that for

Viewpoint 1, albeit at a longer focal length, so will be lessened to a degree by this longer viewing distance.

Viewpoint 4

This viewing position is located approximately 700m to the northwest of the application site near the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated. The landscape along the walkway on the headland forms the dominant landscape elements on view, with Omapere, and Te Hunoke and area around the application site forming the backdrop view. The assessment of potential adverse visual effects for this viewing position is similar to that for Viewpoint 1, albeit at a longer focal length, so will be lessened to a degree by this longer viewing distance.

Viewpoint 5

This viewing position is located approximately 800m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated. The landscape setting along the walkway on the headland forms the dominant landscape element on view. Omapere, Te Hunoke and area around the application site form the distant backdrop view. The assessment of potential adverse visual effects for this viewing position is similar to that for Viewpoint 1, albeit at a longer focal length, so will be lessened to a degree by this longer viewing distance.

Viewpoint 6

This viewing position is located along Signal Station Road, just to the northeast of the application site. The existing dwelling is visible, and the area where the pavilion will be located is just to the west of this. The foreground view takes in a shed on a neighboring property. The grassed hill in the backdrop on the skyline is Pukekohe No. 3 and is an Outstanding Landscape Feature.

The proposed pavilion will be mostly screened by the existing bush in Area "B" in the foreground that comes right up to the building site. The glass balustrade around the top of the pavilion will be the part of the structure that will be visible. Providing this is constructed out of glazing that has a darker tint to it, similar to that on the existing dwelling, and with no white or reflective steel railings, it will blend into the surrounding vegetation. The structure will be located well below the skyline, and within the darker vegetation, rather than viewed against the grassed hill behind.

This view will be momentary as the viewer passes by, and will generate a very low level of potential adverse visual effects.

Viewpoint 7

This viewing position is located on the wharf at Omapere. From this location the existing dwelling and proposed location for the pavilion is not visible.

Viewpoint 8

This viewing position is located approximately 1.8km away along the edge of the Harbour, between Omapere and Opononi. The proposed building site for the pavilion is adjacent the existing dwelling set within a vegetated setting.

Te Hunoke, Pukekohe No. 3 and Arai te uru form the dominant landscape elements, with the Hokianga Harbour being the foreground focus.

I have illustrated the setting in the zoomed in view shown in **Figure 10**. Again, it's important to note this is a zoomed in view, and not what the viewer sees from the 1.8km long focal length from this viewing position.

This zoomed in view is to be used as a tool to illustrate how the proposed pavilion will sit into the landscape adjacent to the existing dwelling. How it will have a vegetated foreground and backdrop. In addition, the current timber screen fences result in a built element already existing adjacent to the dwelling. The proposed pavilion will replace this fence and will be of a similar height to the existing dwelling, with the addition of the glass balustrade on top, this will extend above the height of the existing dwelling.

Providing this glass is a darker tint like the dwelling glazing, it will seamlessly blend with the surrounding dark vegetation colours.

The potential adverse visual effects of the proposal from the Harbour edge, will be very low (less than minor). This is due to the small scale of the proposal and high visual absorption capabilities of the landscape, and the very long focal lengths limiting the visibility of the proposal.



Figure 10: Zoomed in view from Viewpoint 8.

Viewpoint 9

This viewing position is located approximately 2.3km away along the edge of the Harbour, close to Opononi. The proposed building site for the pavilion has been indicated, on the hill slopes of the headland set within existing vegetation. Te Hunoke, Pukekohe No. 3 and Arai te uru form the dominant landscape elements, with the Hokianga Harbour being the foreground focus.

The assessment of potential adverse visual effects for this viewing position is similar to that for Viewpoint 8, albeit at a longer focal length, so will be lessened to a degree by this longer viewing distance.

5.3 Landscape Effects

Potential landscape effects of a development can be generated by either landform or land-cover modification or may be more subtle such as influencing the overall pattern and character of the landscape.

Landscape character is the distinct and recognisable pattern of elements that occur consistently in a particular landscape. It reflects combinations of geology, landform, soils, vegetation, land use and human settlement.

The significance of the landscape effects will be determined by the extent of the change, the sensitivity of the landscape, its context, existing levels of development surrounding the site and the contour of the land. It will also be dependent upon the presence or absence of screening and/or backdrop vegetation, and the characteristics of the future activities associated with the development on the application site.

The scale of the proposal is very small within such a large expansive landscape and is consistent with the surrounding pattern of development.

There will be no landform modification or vegetation removal resulting from the proposal, as such there are no potential landscape effects from these aspects.

The overall pattern of the landscape will not change, as the proposal is in context with the existing character and use of the site and surrounding area.

The recognisable character of the area will not change as the proposal can be integrated into the fabric of the existing character through recessive colours and the proposed landscape plantings. In addition, there is existing vegetation which will partially screen and soften the development, providing a vegetated foreground and backdrop.

The development is not set within the HNC area or OLF, so will not affect these sensitive landscape areas.

Overall, it is considered that the proposal will generate a very low level of adverse physical landscape effects, as the key characteristics and values of the site and surrounding landscape character will be maintained. The proposal will not adversely affect the nearby HNC area and OLF.

5.4 Natural Character Effects

When assessing landscape character and quality values it is important to know how "landscape" is defined. The New Zealand Institute of Landscape Architects defines landscape as "*reflecting the cumulative effects of physical and cultural processes*".

Landscape is therefore the result of the relationship between culture and nature. The quality a landscape portrays, and its resulting "natural" character is dependent upon

the degree of cultural modification, and how well the natural processes are functioning.

Natural character is a term used to describe the naturalness of an environment. The degree or level of natural character within an area depends on:

- The extent to which natural elements, patterns and processes occur; and
- The nature and extent of modifications to the ecosystems and landscape/ riverscape.

The application site has not been identified in the OFNDP as having high or outstanding natural character values, and it is not within the Outstanding Natural Feature.

Within the NRPS the site is not mapped as containing any Outstanding Natural Landscape or Features, Outstanding or High Natural Character areas.

The proposed pavilion will be located within a part of the site that is highly modified. It is adjacent to the existing dwelling, located within a grassed area where there are existing timber screen fences and wind netting/poles. As such this area of the application site does not exhibit high natural character values.

The nearby bush areas on the site, and on neighbouring properties do have higher natural character values. The proposal includes measures to ensure the proposed development is well integrated into the landscape so that it does not adversely affect any nearby areas that have been identified as having high natural character values.

The proposed natural character enhancement plantings will enhance the ecological values of the bush area within Area "B" and the natural character values of the wider landscape and coastal environment.

Overall, it is considered that the level of potential adverse natural character effects will be very low (less than minor), and the proposed plantings will have a positive effect upon natural character values.

6. STATUTORY CONTEXT

6.1 Operative Far North District Plan (OFNDP)

Within the Operative Far North District Plan (OFNDP) the application site is zoned Coastal Living, with no landscape overlays as shown in **Figures 11 and 12**.

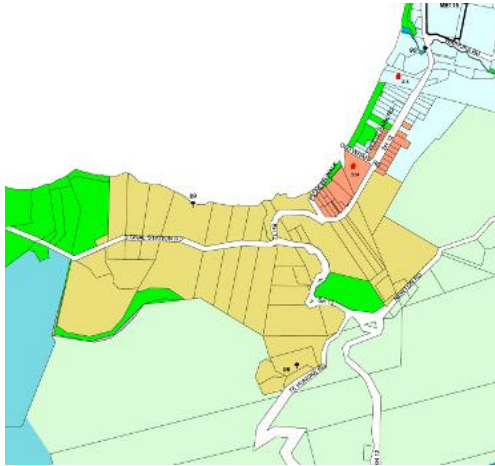


Figure 11: Zone Map

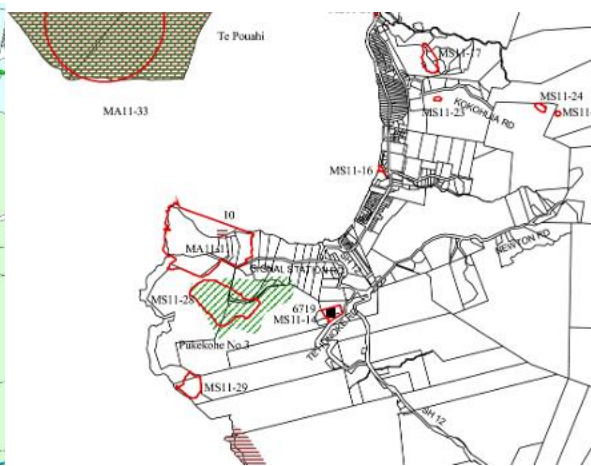


Figure 12: Resource Map

The objectives and policies of the Coastal Living Zone in the Operative District Plan are relevant to this proposal.

Chapter 10.7 Coastal Living Zone

10.7.3 Objectives

10.7.3.1

To provide for the well-being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.

10.7.3.2

To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.

10.7.4 Policies

10.7.4.1

That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.

10.7.4.2

That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.

10.7.4.3

Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to *só* matters, and shall avoid adverse effects as far as practicable by using techniques including:

(a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;

(b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;

(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;

Comment:

The proposal will result in a level of development that can be visually absorbed into the existing landscape setting without adversely affecting landscape, visual or natural character values.

The existing vegetation on site and the proposed landscape enhancement plantings will maintain and enhance the natural character values of the coastal environment.

10.6.5.3.1 Visual Amenity Rule

i. The location of the building;

The proposed pavilion will be located upon the site as shown on the Development Plans. It is positioned on the site where the landscape is already highly modified and where the surrounding landscape has the ability to visually absorb it into the landscape setting.

ii. The size, bulk and height of the building in relation to ridgelines and natural features;

The proposed pavilion is located well below the backdrop ridgeline which is an OLF. The building will be viewed with a vegetated backdrop and foreground which will visually absorb the height of the structure. The size and bulk of the building will also be softened and integrated by the existing and proposed plantings.

iii. The colour and reflectivity of the building;

The pavilion shall be recessively coloured. Although most of the facades that are visible are glazing, the use of a dark tint similar to that of the dwelling glazing will ensure that the building is recessive.

iv. The extent to which planting can mitigate visual effects;

The existing vegetation surrounding the site provides a vegetated backdrop and foreground which visually softens and partially screens the building from view. Supplementary native plantings are also proposed, and this will mitigate any potential adverse visual and natural character effects to a low level.

v. Any earthworks and or vegetation clearance associated with the building;

There is no vegetation clearance and no landform modification associated with the development.

vi. The location and design of associated vehicle access, manoeuvring and parking areas;

These are positioned on the site behind the existing dwelling, and will not be viewed from the CMA.

vii. The extent to which the building and any associated overhead utility lines will be visually obtrusive

The utility services will all be laid underground. The building will not be visually obtrusive as it can be readily absorbed into the landscape due to topographic type and the presence of the surrounding vegetation.

viii. *The cumulative visual effects of all the buildings on the site;*

The application site can visually absorb the proposed pavilion that is to be located next to the existing dwelling. This will read as one dwelling site that is softened by the existing bush and proposed landscape plantings. This minimises any potential adverse cumulative visual effects to a low level.

ix. *The degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;*

The proposal is in keeping with the current settlement pattern and character of the area and will not diminish the qualities that give this landscape its naturalness, visual and amenity values. The proposal will result in low potential adverse visual and landscape effects and will not affect the natural character values of the coastal environment.

x. *The extent to which private open space can be provided for future users;*

The property is of a large enough size that results in ample private open space being provided for the owners.

xi. *The extent to which siting, setback and design of buildings avoid visual dominance on landscapes, adjacent sites and the surrounding environment;*

The proposed building will not be located on a ridgeline so won't visually dominate the landscape. The building site is positioned well away from any neighbouring dwellings and will be softened and visually integrated by existing and proposed vegetation.

xii. *The extent to which non-compliance affects the privacy, outlook and enjoyment of private open spaces on adjacent site.*

The proposed pavilion is located where it will not adversely affect the privacy or outlook of the neighbouring properties.

6.2 Regional Policy Statement for Northland (RPS)

In 2012, the Northland Regional Mapping Project ("Mapping Project") was undertaken by the Northland Mapping Group (on behalf of the NRC). The purpose of the Mapping Project was to determine the delineation of the Coastal Environment, and the natural heritage areas within the region comprising Outstanding Natural Landscapes ("ONL"), Outstanding Natural Features ("ONF") and areas of High or Outstanding Natural Character.

These are now included within the Regional Policy Statement (operative 2016) for Northland, thereby meeting the requirements under the New Zealand Coastal Policy Statement 2010 in ("NZCPS") in the Resource Management Act 1991.

Within the RPS the site is identified as being within the Coastal Environment as shown in **Figure 13**. The property has no recorded Outstanding Natural Landscape, Outstanding Natural Features or Outstanding Natural Character or High Natural Character values. As noted before the OLF identified in the OFNDP has not been carried over into the more recent mapping completed for the Regional Policy Statement for Northland.



Figure 13: RPS Map

Policy 4.6.1 Managing effects on the characteristics and qualities natural character, natural features and landscape.

(1) In the coastal environment:

- a) *Avoid adverse effects of subdivision use and development on the characteristics and qualities which make up the outstanding values of areas of outstanding natural character, outstanding natural features and outstanding natural landscapes.*
- b) *Where (a) does not apply, avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of subdivision, use and development on natural character, natural features and natural landscapes.*

Methods which may achieve this include:

- (i) Ensuring the location, intensity, scale and form of subdivision and built development is appropriate having regard to natural elements, landforms and processes, including vegetation patterns, ridgelines, headlands, peninsulas, dune systems, reefs and freshwater bodies and their margins; and*
- (ii) In areas of high natural character, minimising to the extent practicable indigenous vegetation clearance and modification (including earthworks/disturbance, structures, discharges and extraction of water) to natural wetlands, the beds of lakes, rivers and the coastal marine area and their margins; and*
- (iii) Encouraging any new subdivision and built development to consolidate within and around existing settlements or where natural character and landscape has already been compromised.*

Comment:

The property is located within the Coastal Environment. The site has no identified Outstanding Natural Features or Landscapes and no High or Outstanding Natural Character areas.

The building site is set into the topography of the landform with a vegetated backdrop and foreground. There is no landform modification or vegetation clearance required for the development.

The integrity of the natural character of the wider coastal environment within which the development is located will not be adversely affected by the proposed development. The proposed structure will not adversely affect the characteristics and qualities that make up the values of this landscape setting.

Overall, the development is in accord with the relevant landscape objectives and policies of the NRPS.

6.3 New Zealand Coastal Policy Statement

The application site is located within the coastal environment therefore the following policies are of relevance. Policy 6 - Activities in the coastal environment, Policy 13 - Preservation of natural character, and Policy 15 Natural features and natural landscapes.

Policy 6 Activities in the coastal environment

(1) In relation to the coastal environment:

(f) consider where development that maintains the character of the existing built development should be encouraged, and where development resulting in a change in character would be acceptable;

(i) set back development from the coastal marine area and other water bodies, where practicable and reasonable, to protect the natural character, open space, public access and amenity values of the coastal environment;

Policy 13 Preservation of natural character

(1) To preserve the natural character of the coastal environment and to protect it from inappropriate subdivision, use, and development:

(a) avoid adverse effects of activities on natural character in areas of the coastal environment with outstanding natural character; and

(b) avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of activities on natural character in all other areas of the coastal environment;

(2) Recognise that natural character is not the same as natural features and landscapes or amenity values and may include matters such as:

(a) natural elements, processes and patterns;

(b) biophysical, ecological, geological and geomorphological aspects;

(c) natural landforms such as headlands, peninsulas, cliffs, dunes, wetlands, reefs, freshwater springs and surf breaks;

(d) the natural movement of water and sediment;

(e) the natural darkness of the night sky;

- (f) places or areas that are wild or scenic;*
- (g) a range of natural character from pristine to modified; and*
- (h) experiential attributes, including the sounds and smell of the sea; and their context or setting.*

Policy 15 Natural Features and natural landscapes

To protect the natural features and natural landscapes (including Seascapes) of the coastal environment from inappropriate subdivision, use and development.

- (a) avoid adverse effects of activities on outstanding natural features and outstanding natural landscapes in the coastal environment; and*
- (b) avoid significant adverse effects and avoid, remedy, or mitigate other adverse effects of activities on other natural features and natural landscapes in the coastal environment;*

Comment:

The application site has not been recorded within the Regional Policy Statement as being identified as having any Outstanding Landscape Features or Outstanding Natural Features on the site.

The proposed development maintains the character of the existing built settlement pattern found along Signal Station Road and South Head.

The proposed development will not degrade the existing characteristics and qualities of the landscapes natural character values.

Overall, the development will result in an acceptable change to the site, and this change will not have any adverse effects upon the natural character values of this site or surrounding coastal marine area. The development is in accord with the relevant landscape objectives and policies of the NZCPS.

7. CONCLUSION

This assessment has provided an understanding of the existing character and quality of the site and surrounding landscape, and the visual components of the proposed development.

The terrestrial viewing audience is made up of visitors along Signal Station Road, and the walkway to the lookout at Arai te uru reserve, and further away along the Harbour edge within Omapere. The site is also visible from within the Hokianga Harbour itself.

The focal lengths are long, the scale of the proposal is small, and will be readily absorbed into the landscape setting, blending with the current land uses. The potential adverse visual and landscape effects of the proposal for the representative viewer groups have been assessed as low (less than minor).

The pavilion building is proposed to be located within an area that is currently set aside for vegetation protection via a consent notice. The footprint and immediate area within which the pavilion is proposed to be located is not currently covered by vegetation. The proposed pavilion will replace other built forms that are currently

located on the proposed building site, these being the timber screen fences and wind netting.

The aerial image from 2015 illustrates that the proposed building site has been free of vegetation in the past, and has not naturally regenerated, possibly due to the presence of thick kikuyu grass inhabiting the natural regeneration process.

To offset the proposed use of this area within Area "B" by the pavilion, native revegetation plantings are proposed to revegetate all the other bare areas within Area "B". In addition, natural character enhancement plantings along the edge of Area "B" will enhance the existing native bush area and minimise edge effects.

The proposed building site already has an existing backdrop of vegetation, some on the applicant's property, and some on the neighbour's (Area "D"). Additional Pohutukawa trees planted behind the pavilion will provide additional backdrop planting on the application site.

The proposed pavilion will exceed the 4m building height limit on the property. The maximum height of the pavilion will be 6.9m above rolling ground level. The sites topographic type, residential use and presence of a backdrop and foreground vegetation will visually absorb the additional height whilst keeping potential adverse visual and landscape effects to a low level.

There is an area of existing bush that is within Area "B" that extends right up to the proposed building site. This area of foreground vegetation is critical for the integration of the pavilion into the landscape as it breaks up the built form. This bush area is already protected by the current consent notice and should continue to be protected.

Providing the pavilion is recessively coloured the building will be able to be visually absorbed into the context of the existing setting resulting in a low level of potential effects upon landscape, visual and natural character values. The proposal will not affect the nearby HNC area or OLF.

The proposed native plantings will have a positive effect upon natural character values, and the existing bush within Area "B".

This is a development that is consistent with the relevant zone rules and assessment criteria found within the OFNDP, RPS and NZCPS.

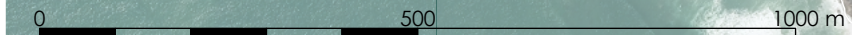
Christine Hawthorn




BLA (Hons.)
Hawthorn Landscape Architects Ltd.



Scale@ A3: 1:10000

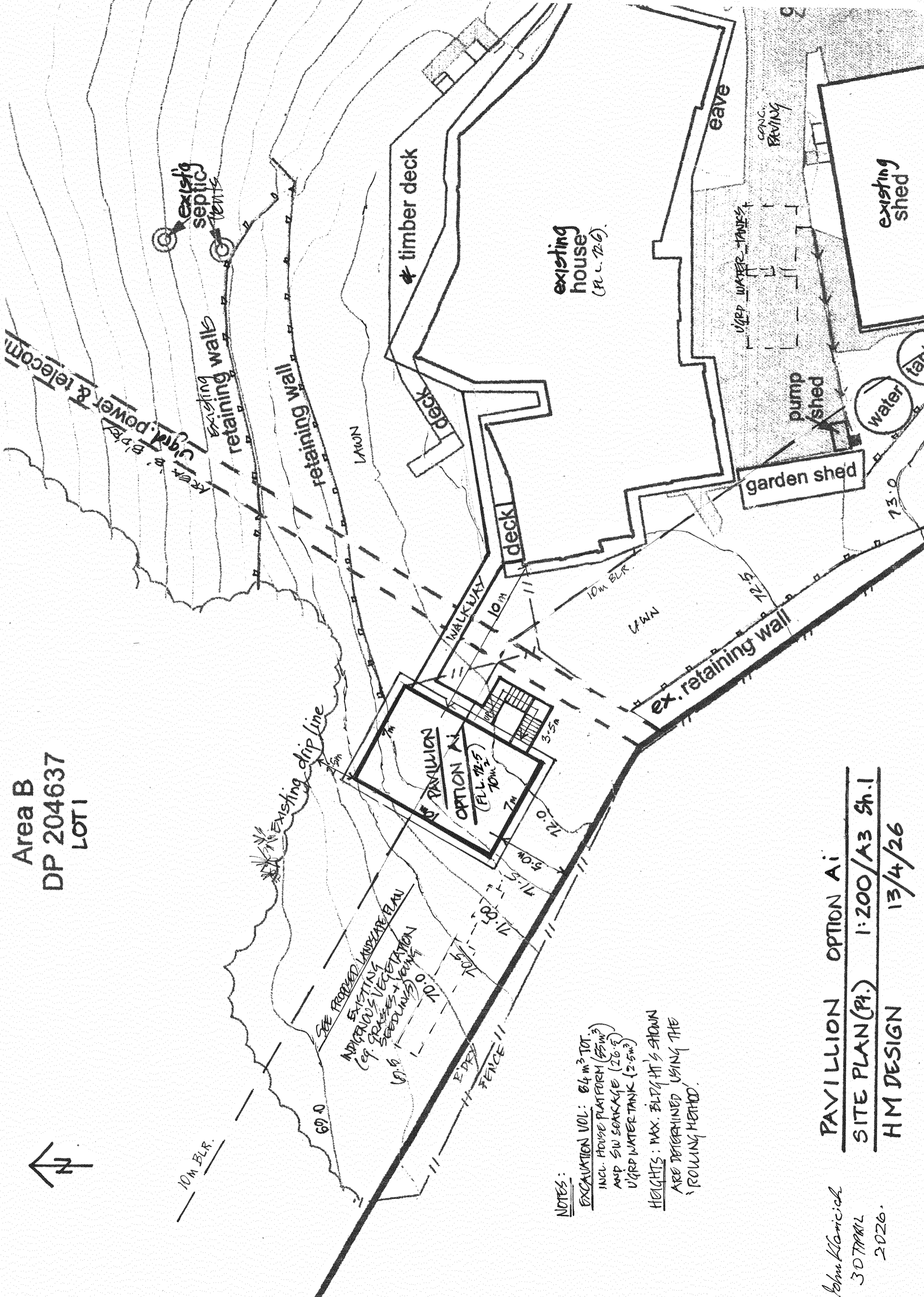


1/06/2026	
Location and Viewpoint Location Map Proposed Pavilion	
Hailand Holdings LOT 1 DP 204637 73A Signal Station Road, Omapere	
Scale as shown	Drawn By Cad Design
Drawing # 1.0	Rev # A

KEY
 Viewpoint Location

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4. All construction work based on these plans is to comply with relevant local authority regulations and all NZ building codes and standards.

Area B
DP 204637
LOT 1



NOTES:
 EXCAVATION VOL: 84 m³ TOT.
 INCL. HOUSE PLATFORM (55m³)
 AND SW SOAKAGE (26.5)
 UGRP WATER TANK (2.5m³)
 HEIGHTS: MAX. BLDG HT'S SHOWN
 ARE DETERMINED USING THE
 'ROLLING METHOD'.

PAVILLION OPTION A1
SITE PLAN (Pt.) 1:200/A3 Sh.1
HM DESIGN 13/4/26

John Klamic
 30 APRIL
 2026.

SEA VIEW

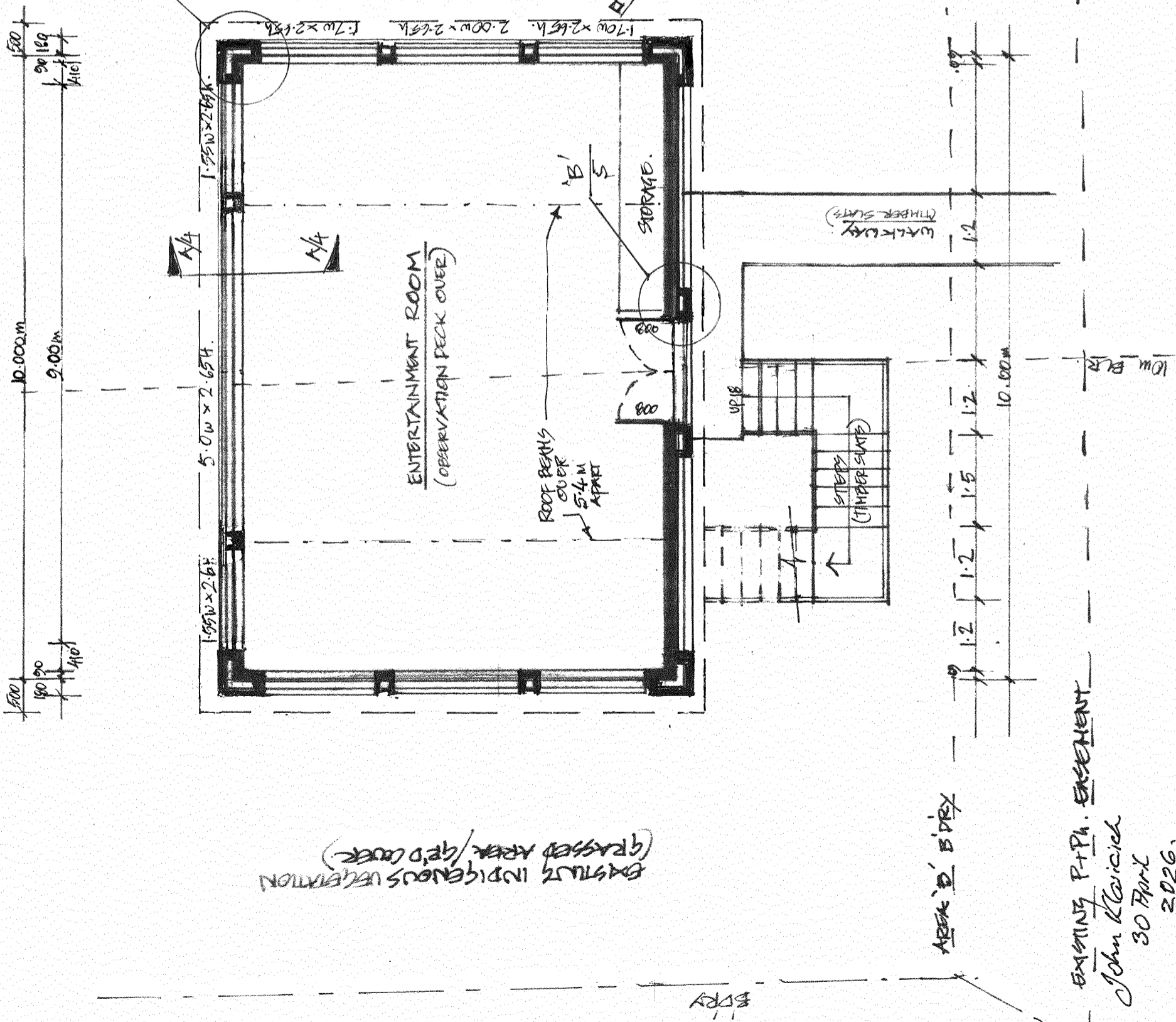


EXISTING INDIGENOUS VEGETATION (GRASSED AREA / GPD COVER)

NOTES:
FRAMED CAVITIES AT ALL CORNERS (PLASTERS) FOR CONCEALING DOWNPIPES SEE SHEETS 4 & 5

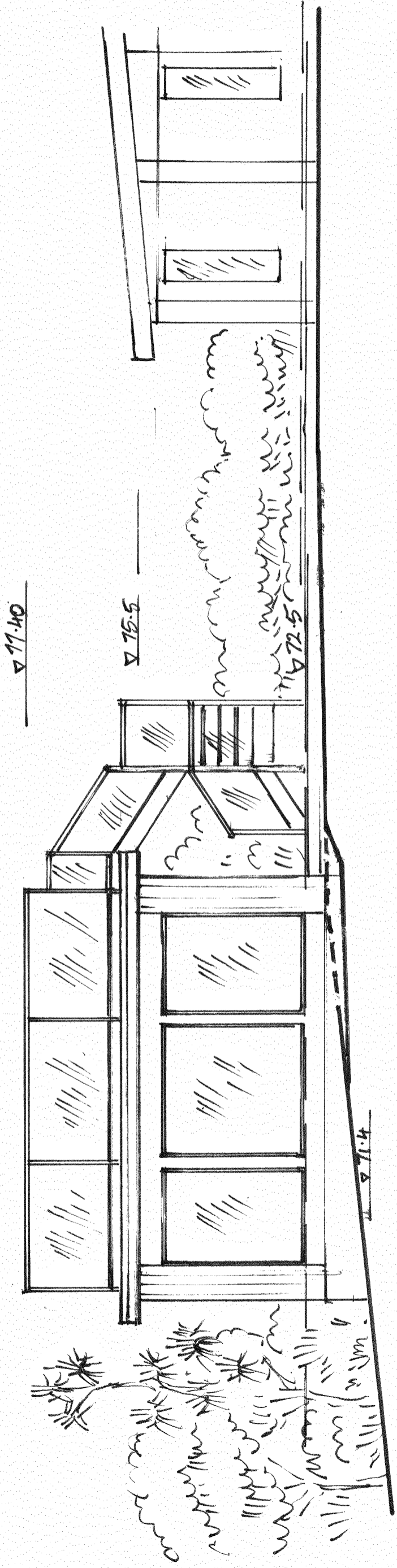
EXISTING DRIPPIES OF JUSTICE TREES (MAMUKA TOUTAKAWA) (CREATE FRILLS etc)

EXISTING RW. 1900k.

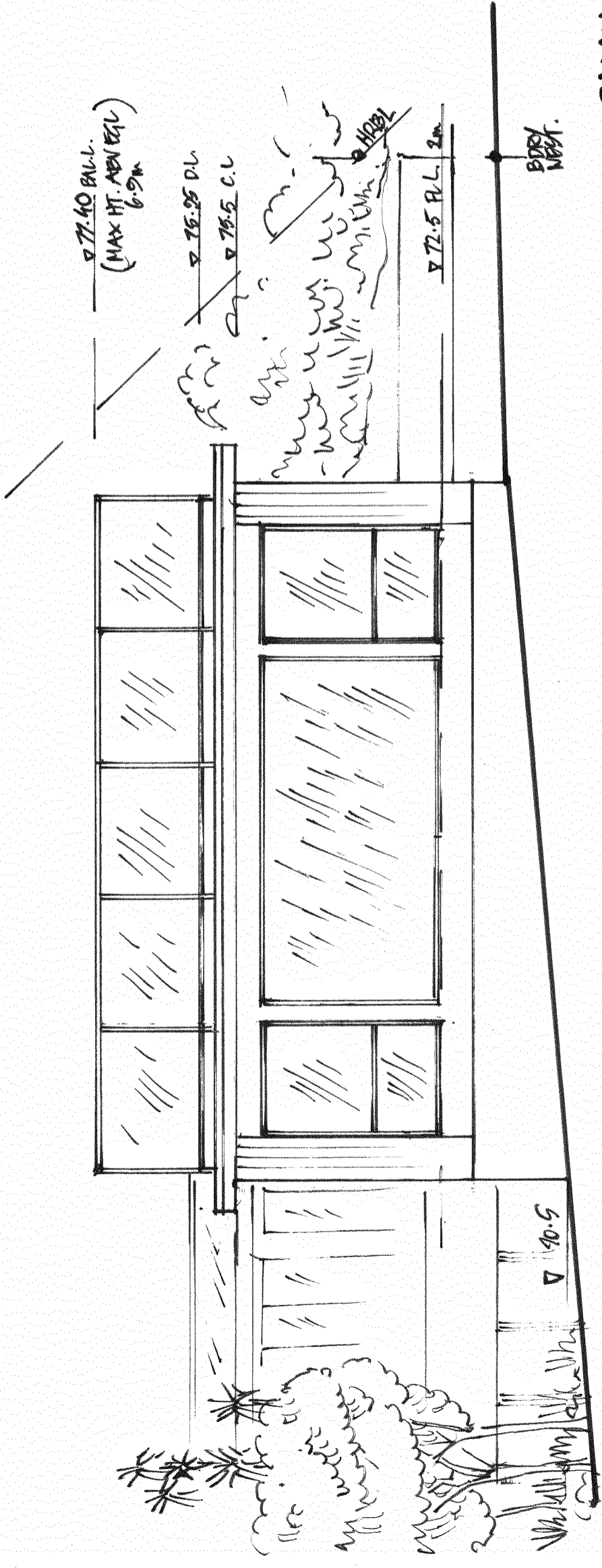


PAVILION OPTION A1
 FLOOR PLAN 1:75/A3 Sheet 2
 HM DESIGN
 Amended Glazing 27/5/26 18/A/26

EXISTING P+Ph. EASEMENT
 John Klaricich
 30 April 2026.



SSW



NNW 1:75

▽ 4.20 (77.40R)

1.5m h. ALUM. GLAZED BALUSTRADES

FIXED ONTO MEMBRANE COVERED STRUCTURAL FIXING PADS TO ATTACHED PS1# DETAILS

150D x 250W MEMBRANED GUTTER 1:100F BOTHWAYS TO 100x50 D.P.'S 5/5' APART

▽ 3.0 (75.5R)

300L x 50W VENTILATION STRIPS TO SOFFITS

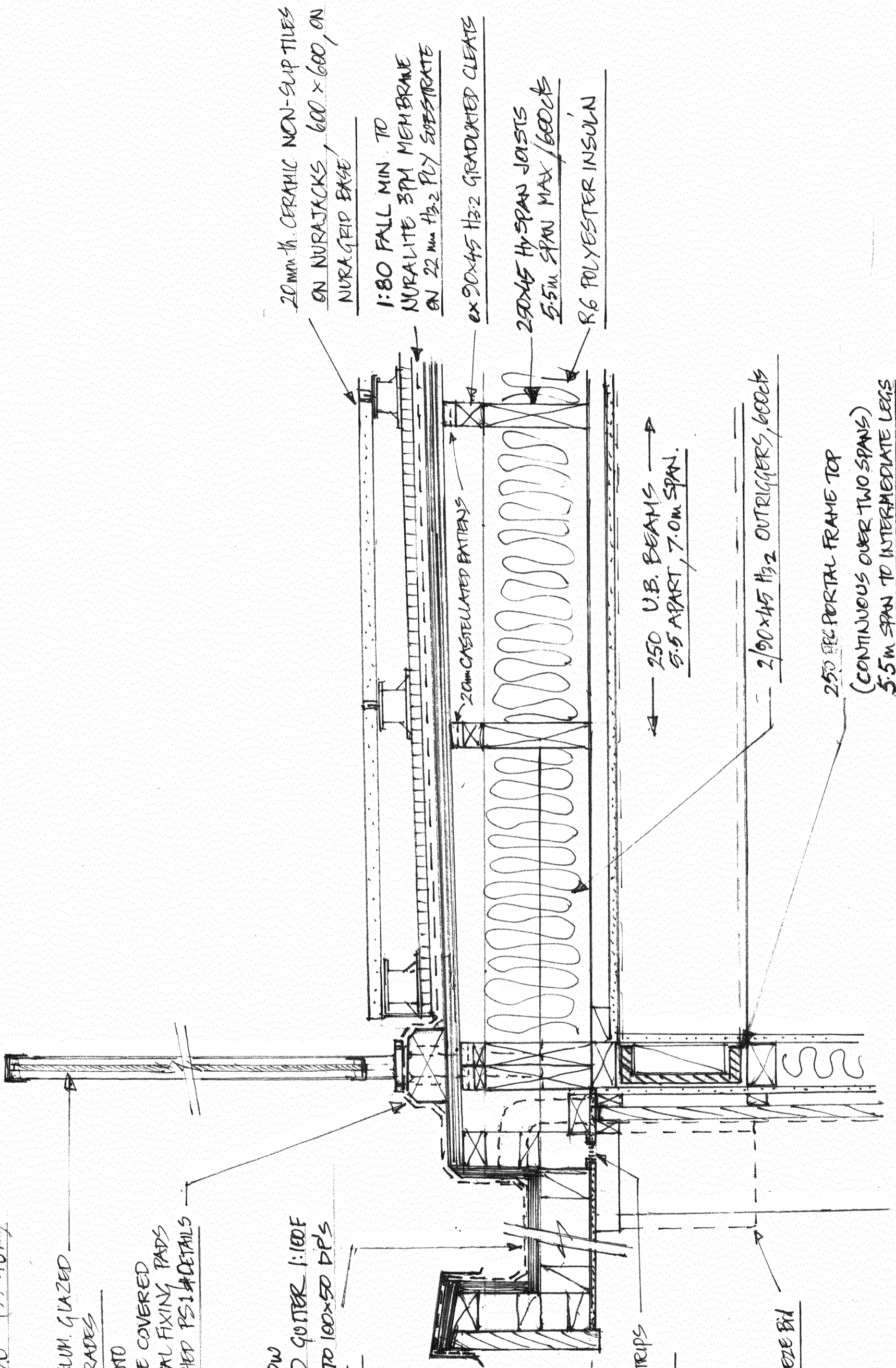
▽ 2.7

POSSIBLE FRIEZE BR

32

500

90



20mm TH CERAMIC NON-SLIP TILES ON NURAJACKS, 600 x 600, ON NURAGRID EDGE

1:80 FALL MIN TO NURALITE 3PM MEMBRANE ON 22mm H3.2 PLY SUBSTRATE

EX 20x45 H3.2 GRADUATED CLEATS

250x45 HYSPAN JOISTS 5.5m SPAN MAX / 600CS

R6 POLYESTER INSULN

250 U.B. BEAMS 5.5 APART, 7.0M SPAN

250 REC PORTAL FRAME TOP

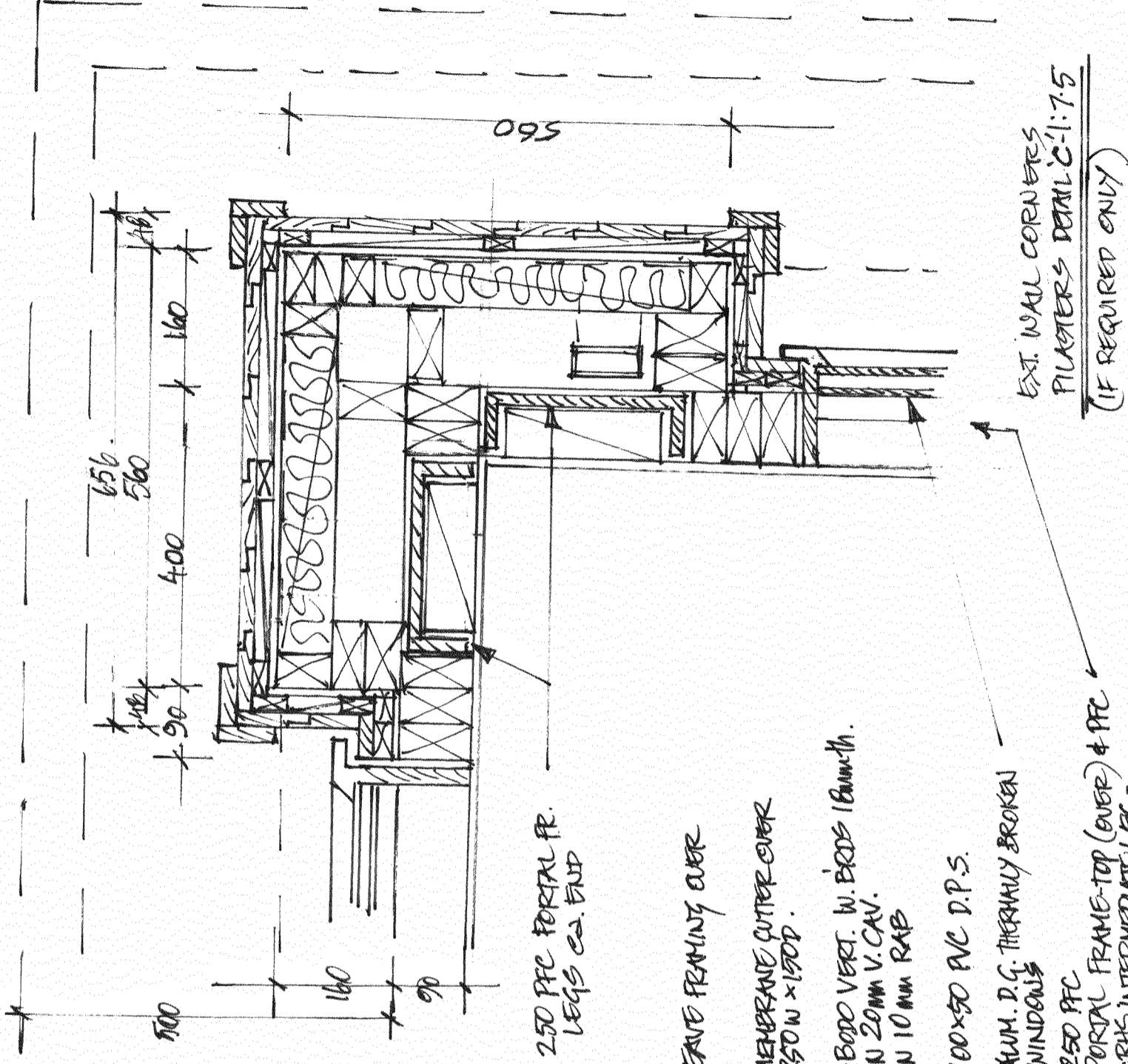
(CONTINUOUS OVER TWO SPANS) 5.5m SPAN TO INTERMEDIATE LEGS

PAVILLION - ROOF / DECK EDGE

CROSS-SECTION DETAIL 1:1.5/A3 SH4

HM DESIGN

22-5-26



250 PFC PORTAL FR.
LEGS EA. END

EAVE FRAMING OVER

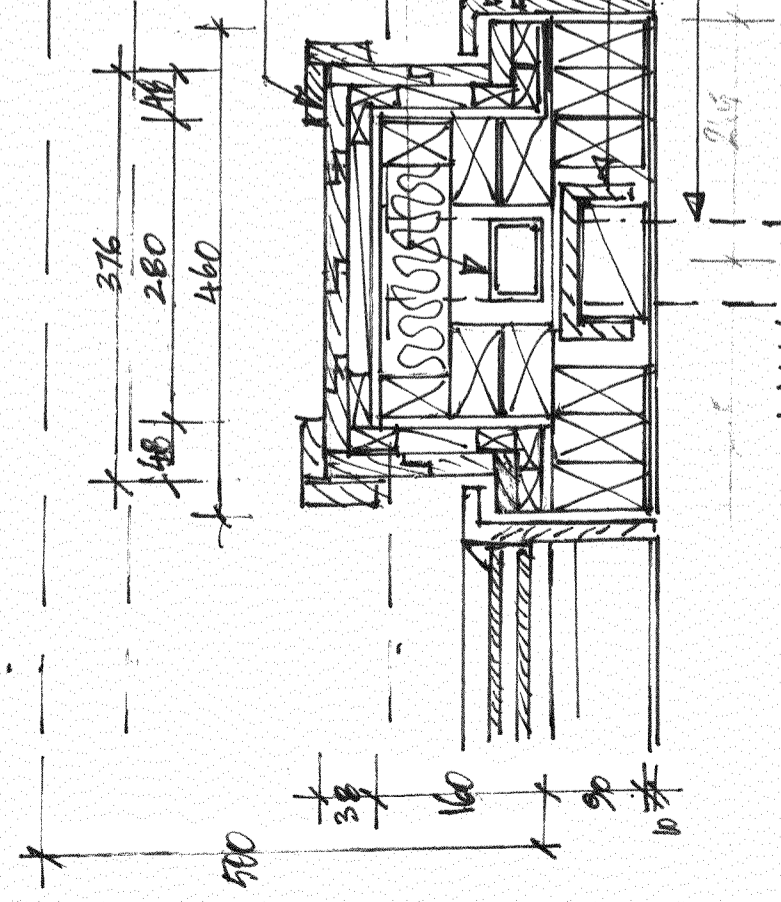
MEMBRANE CUTTER OVER
250W x 150D.

ALUM. D.G. THERMALLY BROKEN
WINDOWS

250 PFC
PORTAL FRAME-TOP (OVER) & PFC
OR RHS INTERMEDIATE LEG.
& 250 UP ROOF DECK BEAM (OVER)

EXT. WALL CORNERS
PLASTER DETAIL C'-1:1.75
(IF REQUIRED ONLY)

100x50 PVC D.P.S.



WALL
PLASTER PLAN
DETAIL 'B'-1:1.75
(IF REQUIRED ONLY)

PAVILLION - WALL CLADDING
PLAN DETAILS 1:7.5/A3 SH.5
HM DESIGN 24/5/26



Photo 1 – View from the deck of the existing dwelling, looking northwest towards the proposed building site for the pavilion, located beyond the timber screen fence. The bush area within Area “B” extends right up to the building site.



Photo 2 – View looking towards Omapere and Opononi and the Hokianga Harbour from the existing dwelling.





Arai Te uru reserve

Bush Area B extending up to building site

Fences to be removed

Photo 3 – View from the pavilion building site, looking northwest towards the Harbour entrance and Arai te Uru reserve. The grassed area that is visible in this image is located within Area “B”. A small area of existing bush within Area B extends right up to the building site, which will assist with visually integrating it, as it will break up the built form so that not all of the pavilion is visible at once.



Bush Area B extending up to building site

Netting and poles to be removed

Photo 4 – View looking back towards the existing dwelling, and the area where the proposed pavilion will be located. The area of existing bush in Area “B” that assist with visually integrating the building has been indicated. The existing timber fence and green wind netting and poles should be removed to assist with minimising the visibility of the building site and built forms.





Bush Area B extending up to building site

Photo 5 – View looking east towards the existing dwelling, and the area where the proposed pavilion will be located. The area of existing bush in Area “B” that assist with visually integrating the building has been indicated. It is important that this area of vegetation is retained and not removed.





Viewpoint 1 – This viewing position is located at the start of the walkway along Arai te uru reserve approximately 250m to the northwest of the application site. The proposed building site for the pavilion has been indicated and is adjacent to the existing dwelling. The backdrop of this view is dominated by the rocky outcrop known as Te Hunoke which is visible on the skyline.



Viewpoint 2 – This viewing position is located approximately 500m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated and is adjacent to the existing dwelling. Te Hunoke is visible on the skyline, the vegetated coastal escarpment fall away to the coastline of Hokianga Harbour.

Off Site Viewpoints

Proposed Pavilion
 Hailand Holdings
 73a Signal Station Road - Omapere





Viewpoint 3 – This viewing position is located approximately 600m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated and is adjacent to the existing dwelling. Te Hunoke, the vegetated coastal escarpment, Hokianga Harbour and Omapere are all dominant landscape elements within the view..



Viewpoint 4 – This viewing position is located approximately 700m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated. The landscape along the walkway on the headland forms the dominant landscape elements on view, with Omapere, and Te Hunoke and area around the application site forming the backdrop view.

Off Site Viewpoints

Proposed Pavilion
 Hailand Holdings
 73a Signal Station Road - Omapere





Viewpoint 5 – This viewing position is located approximately 800m to the northwest of the application site along the walkway heading to the lookout on Arai te uru reserve. The proposed building site for the pavilion has been indicated. The landscape setting along the walkway on the headland forms the dominant landscape element on view. Omapere, Te Hunoke and area around the application site form the distant backdrop view.



Viewpoint 6 – This viewing position is located along Signal Station Road, just to the northeast of the application site. The existing dwelling is visible, and the area where the pavilion will be located is just to the west of this, as indicated. The foreground view takes in a shed on a neighboring property. The grassed hill in the backdrop on the skyline is Pukekohe No. 3 and is an Outstanding Landscape Feature.



Off Site Viewpoints

Proposed Pavilion
Hailand Holdings
73a Signal Station Road - Omapere



Viewpoint 7 – This viewing position is located on the wharf at Omapere. From this location the existing dwelling and proposed location for the pavilion is not visible as it is obscured from view by vegetation.



Viewpoint 8 – This viewing position is located approximately 1.8km away along the edge of the Harbour, between Omapere and Opononi. The proposed building site for the pavilion has been indicated, on the hill slopes of the headland set within existing vegetation. Te Hunoke, Pukekohe No. 3 and Arai te uru form the dominant landscape elements, with the Hokianga Harbour being the foreground focus.





Viewpoint 9 – This viewing position is located approximately 2.3km away along the edge of the Harbour, close to Opononi. The proposed building site for the pavilion has been indicated, on the hill slopes of the headland set within existing vegetation. Te Hunoke, Pukekohe No. 3 and Arai te uru form the dominant landscape elements, with the Hokianga Harbour being the foreground focus.





Plant Schedules

Area E — Foreground Amenity Plantings

Proposed foreground amenity plantings located just to the west and north of the proposed pavilion will provide a foreground setting and screen the base of the building. The following plants may be trimmed so that the plants do not block the sea views. They should be maintained at a height no lower than the floor level of the proposed building. The following plants are low flammability species.

Botanical Name	Common Name	Spacing	Mature Height
Corokia "Geenty's Green"	Korokio	1m	1.5m
Hebe parviflora	Hebe	1.2m	2m
Hebe stricta	Hebe	1m	1.2m
Phormium cookianum	Dwarf flax	1.2m	1.2m

Area F — Native Revegetation Plantings

The bare area to the west of the pavilion shall be revegetated with a mix of the following native species. This will provide a foreground linkage of vegetation between the pavilion and existing bush line. This will enhance natural character and visual amenity values and blend the proposed building into the landscape setting. The bare area along the east of the existing bush line (which is also located within the original area of the Consent Notice where clearance of indigenous vegetation was prohibited), shall also be revegetated. The following plants are low flammability species.

Botanical Name	Common Name	Spacing	Mature Height
Coprosma robusta	Karamu	1m	4m
Geniostoma ligustrifolium	Hangehange	1m	2.5m
Hebe parviflora	Hebe	1.2m	2m
Myrsine australis	Red Matipo	1m	3m

Area G — Natural Character Enhancement Plantings

An area of the grassed lawn area to the north of the existing dwelling and retaining walls shall be revegetated with a mix of the following native species, so to blend with the existing dominant native vegetation pattern. This planting will off-set the presence of the proposed pavilion within an area that was to have no vegetation removed (with the obvious intent of natural regeneration to occur, and thus the area to be vegetated). This proposed planting will ameliorate the potential adverse landscape effects of the proposed pavilion.

Botanical Name	Common Name	Spacing	Mature Height
Coprosma robusta	karamu	1m	4m
Cordylone australis	Cabbage tree	clustered	6m
Geniostoma ligustrifolium	Hangehange	1m	2.5m
Kunzea ericoides	Kanuka	1m	5m
Leptospermum scoparium	Manuka	1m	5m
Myrsine australis	Red Matipo	1m	3m

Specimen Trees

Pohutukawa trees located to the south, and east of the pavilion will provide a vegetated backdrop and a linkage into the existing Pohutukawa trees on the site. The trees located between the pavilion and house will soften the two built forms. Plants with a height of at least 3m in the planter bag should be purchased.

Botanical Name	Common Name	Mature Height	Plant size
Metrosideros Māori Princess	Pohutukawa	10m	3m



2/06/2026

Landscape Plan Proposed Pavilion

Hailand Holdings
LOT 1 DP 204637
73A Signal Station Road, Omapere

Scale as shown	Drawn By Cad Design
Drawing # 2.0	Rev # A

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Existing Native Manuka
vegetation in Area 'A'

Existing Native Manuka / Kanuka
and Cabbage tree dominated
vegetation in Area 'B'

Dripline of vegetation in
current survey plan

These few scattered trees
are not present anymore

Proposed pavilion
located within area
that was free of any
vegetation in 2015

Existing backdrop of Mature
Pohutukawa trees in Area 'C'



2/06/2026

**Site Vegetation 2015
Proposed Pavilion**

Holland Holdings
LOT 1 DP 204637
73A Signal Station Road, Omapere

Scale as shown	Drawn By Cad Design
Drawing # 3.0	Rev # A

Scale@ A3: 1:500
0 10 20 m

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Coprosma robusta



Cordyline australis



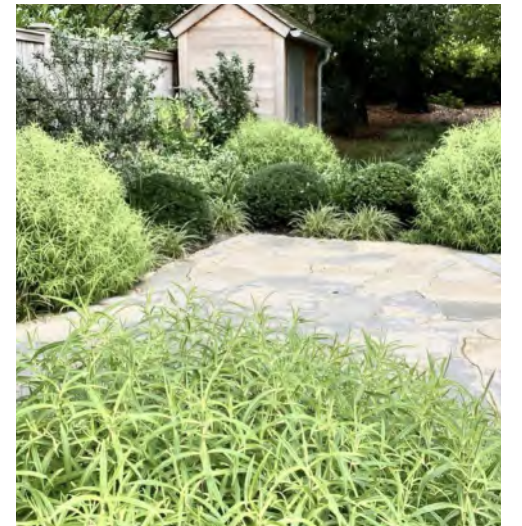
Corokia "Geenty's Green"



Geniostoma ligustrifolium



Phormium cookianum



Hebe parviflora



Hebe stricta



Kunzea ericoides



Leptospermum scoparium



Metrosideros Māori Princess



Myrsine australis



Proposed pavilion location

Signal Station Road







1/06/2026

**Landscape Overlays
Proposed Pavilion**

Hailand Holdings
LOT 1 DP 204637
73A Signal Station Road, Omapere

Scale as shown	Drawn By Cad Design
Drawing # 1.1	Rev # A

KEY

-  Coastal Environment line
-  Outstanding Landscape Feature (Operative FNDP)
-  High Natural Character area (NRPS)
-  ③ Viewpoint Location

Scale@ A3: 1:5000

0 250 500 m

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SUPPLEMENT A:

Natural Character and Landscape Effects Assessment Method

Updated 2 November 2022

Introduction

The Natural Character, Landscape and Visual Effects Assessment (NCLVEA) process provides a framework for assessing and identifying the nature and level of likely effects that may result from a proposed development. Such effects can occur in relation to changes to physical elements, changes in the existing character or condition of the landscape and the associated experiences of such change. In addition, the landscape assessment method may include (where appropriate) an iterative design development processes, which seeks to avoid, remedy or mitigate adverse effects (see **Figure 1**).

This outline of the landscape and visual effects assessment methodology has been undertaken with reference to the **Te Tangi A Te Manu: Aotearoa New Zealand Landscape Assessment Guidelines** and its signposts to examples of best practice, which include the **Quality Planning Landscape Guidance Note**¹ and the **UK guidelines for landscape and visual impact assessment**².

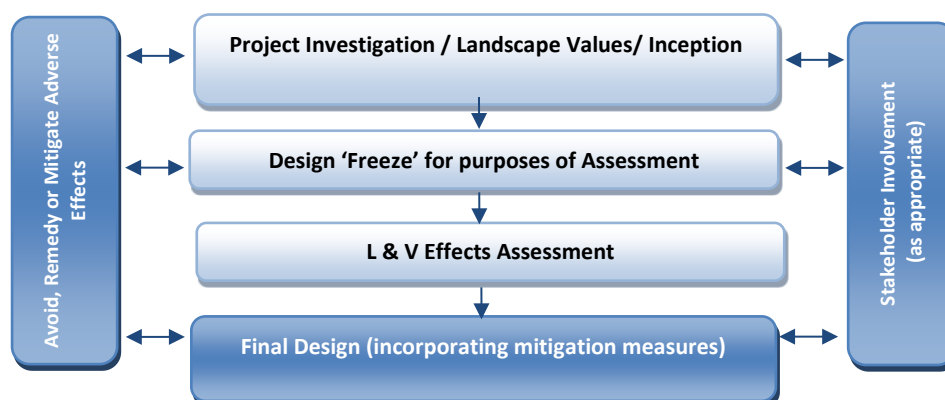


Figure 1: Design feedback loop

When undertaking any landscape assessment, it is important that a **structured and consistent approach** is used to ensure that **findings are clear and objective**. Judgement should be based on skills and experience and be supported by explicit evidence and reasoned argument.

While natural character, landscape and visual effects assessments are closely related, they form separate procedures. Natural character effects consider the characteristics and qualities and associated degree of modification relating specifically to waterbodies and their margins, including the coastal environment. The assessment of the potential effects on landscape considers effects on landscape character and values. The assessment of visual effects considers how changes to the physical landscape affect the viewing audience. The types of effects can be summarised as follows:

Natural Character effects: *Change in the characteristics or qualities including the level of naturalness.*

Landscape effects: *Change in the physical landscape, which may affect its characteristics or values*

Visual effects: *Change to views which may affect the visual amenity experienced by people*

¹ <http://www.qualityplanning.org.nz/index.php/planning-tools/land/landscape>

² Landscape Institute and Institute of Environmental Management and Assessment (2013) Guidelines for Landscape and Visual Impact Assessment, 3rd Edition (GLVIA3)

The policy context, existing landscape resource and locations from which a development or change is visible, all inform the 'baseline' for landscape and visual effects assessments. To assess effects, the first step requires identification of the landscape's **character** and **values** including the **attributes** on which such values depend. This requires that the landscape is first **described**, including an understanding of relevant physical, sensory and associative landscape dimensions. This process, known as landscape characterisation, is the basic tool for understanding landscape character and may involve subdividing the landscape into character areas or types. The condition of the landscape (i.e. the state of an individual area of landscape or landscape feature) should also be described together with, a judgement made on the value or importance of the potentially affected landscape.

Natural Character Effects

In terms of the RMA, natural character specifically relates to the coastal environment as well as freshwater bodies and their margins. The RMA provides no definition of natural character. RMA, section 6(a) considers natural character as a matter of national importance:

...the preservation of the natural character of the coastal environment (including the coastal marine area), wetlands, and lakes and rivers and their margins, and the protection of them from inappropriate subdivision, use, and development.

Natural character comprises the natural elements, patterns and processes of the coastal environment, waterbodies and their margins, and how they are perceived and experienced. This assessment interprets natural character as being the degree of naturalness consistent with the following definition:

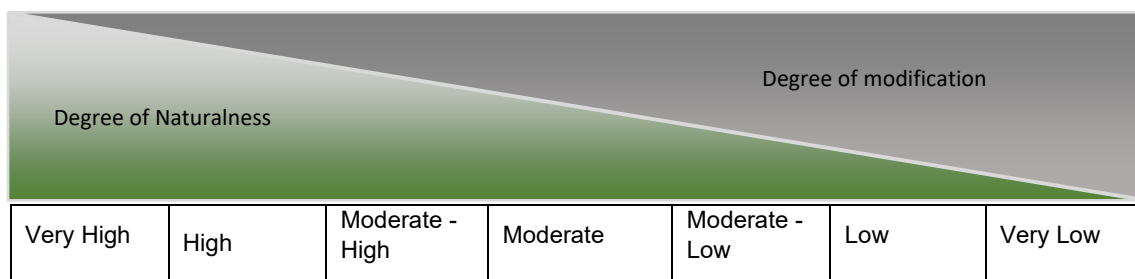
Natural character is a term used to describe the naturalness of waterbodies and their margins. The degree or level of natural character depends on:

- *The extent to which natural elements, patterns and processes occur;*
- *The nature and extent of modifications to the ecosystems and landscape/seascape;*
- *The highest degree of natural character (greatest naturalness) occurs where there is least modification; and*
- *The effect of different types of modification upon the natural character of an area varies with the context and may be perceived differently by different parts of the community.*

The process to assess natural character involves an understanding of the many systems and attributes that contribute to waterbodies and their margins, including biophysical and experiential factors. This can be supported through the input of technical disciplines such as marine, aquatic and terrestrial ecology, and landscape architecture.

Defining the Level of Natural Character

The level of natural character is assessed in relation to a seven-point scale. The diagram below illustrates the relationship between the degree of naturalness and degree of modification. A high level of natural character means the waterbody is less modified and vice versa.



Scale of Assessment

When defining levels of natural character, it is important to clearly identify the spatial scale considered. The scale at which natural character is assessed will typically depend on the study area or likely impacts and nature of a proposed development. Within a district or region-wide study, assessment scales may be divided into broader areas which consider an overall section of coastline or river with similar characteristics, and finer more detailed 'component' scales considering separate more local parts, such as specific bays, reaches or escarpments. The assessment of natural character effects has therefore considered the change to attributes which indicate levels of natural character at a defined scale.

Effects on Natural Character

An assessment of the effects on natural character of an activity involves consideration of the proposed changes to the current condition compared to the existing. This can be negative or positive.



The natural character effects assessment involves the following steps;

- assessing the existing level of natural character;
- assessing the level of natural character anticipated (post construction); and
- considering the significance of the change

Landscape Effects

Assessing landscape effects requires an understanding of the landscape resource and the magnitude of change which results from a proposed activity to determine the overall level of landscape effects.

Landscape Resource

Assessing the sensitivity of the landscape resource considers the key characteristics and qualities. This involves an understanding of both the ability of an area of landscape to absorb change and the value of the landscape.

Ability of an area to absorb change

This will vary upon the following factors:

- Physical elements such as topography / hydrology / soils / vegetation;
- Existing land use;
- The pattern and scale of the landscape;
- Visual enclosure / openness of views and distribution of the viewing audience;
- The zoning of the land and its associated anticipated level of development;
- The scope for mitigation, appropriate to the existing landscape.

The ability of an area of landscape to absorb change takes account of both the attributes of the receiving environment and the characteristics of the proposed development. It considers the ability of a specific type of change occurring without generating adverse effects and/or achievement of landscape planning policies and strategies.

The value of the Landscape

Landscape value derives from the importance that people and communities, including tangata whenua, attach to particular landscapes and landscape attributes. This may include the classification of Outstanding Natural Feature or Landscape (ONFL) (RMA s.6(b)) based on important physical, sensory and associative landscape attributes, which have potential to be affected by a proposed development. A landscape can have value even if it is not recognised as being an ONFL.

Magnitude of Landscape Change

The magnitude of landscape change judges the amount of change that is likely to occur to areas of landscape, landscape features, or key landscape attributes. In undertaking this assessment, it is important that the size or scale of the change is considered within the geographical extent of the area influenced and the duration of

change, including whether the change is reversible. In some situations, the loss /change or enhancement to existing landscape elements such as vegetation or earthworks should also be quantified.

When assessing the level of landscape effects, it is important to be clear about what factors have been considered when making professional judgements. This can include consideration of any benefits which result from a proposed development. **Table 1** below helps to explain this process. The tabulating of effects is only intended to inform overall judgements.

Contributing Factors		Higher	Lower
Landscape (sensitivity)	Ability to absorb change	The landscape context has limited existing landscape detractors which make it highly vulnerable to the type of change resulting from the proposed development.	The landscape context has many detractors and can easily accommodate the proposed development without undue consequences to landscape character.
	The value of the landscape	The landscape includes important biophysical, sensory and shared and recognised attributes. The landscape requires protection as a matter of national importance (ONF/L).	The landscape lacks any important biophysical, sensory or shared and recognised attributes. The landscape is of low or local importance.
Magnitude of Change	Size or scale	Total loss or addition of key features or elements. Major changes in the key characteristics of the landscape, including significant aesthetic or perceptual elements.	The majority of key features or elements are retained. Key characteristics of the landscape remain intact with limited aesthetic or perceptual change apparent.
	Geographical extent	Wider landscape scale.	Site scale, immediate setting.
	Duration and reversibility	Permanent. Long term (over 10 years).	Reversible. Short Term (0-5 years).

Table 1: Determining the level of landscape effects

Visual Effects

Visual effects are a subset of landscape effects. They are consequences of change on landscape values as experienced in views. To assess the visual effects of a proposed development on a landscape, a visual baseline must first be defined. The visual 'baseline' forms a technical exercise which identifies the area where the development may be visible, the potential viewing audience, and the key representative public viewpoints from which visual effects are assessed.

Field work is used to determine the actual extent of visibility of the site, including the selection of representative viewpoints from public areas. This stage is also used to identify the potential 'viewing audience' e.g. residential, visitors, recreation users, and other groups of viewers who can see the site. During fieldwork, photographs are taken to represent views from available viewing audiences.

The viewing audience comprises the individuals or groups of people occupying or using the properties, roads, footpaths and public open spaces that lie within the visual envelope or 'zone of theoretical visibility (ZTV)' of the site and proposal. Where possible, computer modelling can assist to determine the theoretical extent of visibility together with field work to confirm this. Where appropriate, key representative viewpoints should be agreed with the relevant local authority.

The Sensitivity of the Viewing Audience

The sensitivity of the viewing audience is assessed in terms of assessing the likely response of the viewing audience to change and understanding the value attached to views.

Likely response of the viewing audience to change

Appraising the likely response of the viewing audience to change is determined by assessing the occupation or activity of people experiencing the view at particular locations and the extent to which their interest or activity may be focussed on views of the surrounding landscape. This relies on a landscape architect's judgement in respect of visual amenity and the reaction of people who may be affected by a proposal. This should also recognise that people more susceptible to change generally include: residents at home, people engaged in outdoor recreation whose attention or interest is likely to be focussed on the landscape and on particular views; visitors to heritage assets or other important visitor attractions; and communities where views contribute to the wider landscape setting.

Value attached to views

The value or importance attached to particular views may be determined with respect to its popularity or numbers of people affected or reference to planning instruments such as viewshafts or view corridors. Important

viewpoints are also likely to appear in guide books or tourist maps and may include facilities provided for its enjoyment. There may also be references to this in literature or art, which also acknowledge a level of recognition and importance.

Magnitude of Visual Change

The assessment of visual effects also considers the potential magnitude of change which will result from views of a proposed development. This takes account of the size or scale of the effect, the geographical extent of views and the duration of visual change, which may distinguish between temporary (often associated with construction) and permanent effects where relevant. Preparation of any simulations of visual change to assist this process should be guided by best practice as identified by the NZILA³.

When determining the overall level of visual effect, the nature of the viewing audience is considered together with the magnitude of change resulting from the proposed development. **Table 4** has been prepared to help guide this process:

Contributing Factors		Higher	Lower	Examples
The Viewing Audience (sensitivity)	Ability to absorb change	Views from dwellings and recreation areas where attention is typically focussed on the landscape.	Views from places of employment and other places where the focus is typically incidental to its landscape context. Views from transport corridors.	Dwellings, places of work, transport corridors, public tracks
	Value attached to views	Viewpoint is recognised by the community such as an important view shaft, identification on tourist maps or in art and literature. High visitor numbers.	Viewpoint is not typically recognised or valued by the community. Infrequent visitor numbers.	Acknowledged viewshafts, Lookouts
Magnitude of Change	Size or scale	Loss or addition of key features in the view. High degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Full view of the proposed development.	Most key features of views retained. Low degree of contrast with existing landscape elements (i.e. in terms of form scale, mass, line, height, colour and texture). Glimpse / no view of the proposed development.	Higher contrast/ Lower contrast. Open views, Partial views, Glimpse views (or filtered); No views (or obscured)
	Geographical extent	Front on views. Near distance views; Change visible across a wide area.	Oblique views. Long distance views. Small portion of change visible.	Front or Oblique views. Near distant, Middle distant and Long distant views
	Duration and reversibility	Permanent. Long term (over 15 years).	Transient / temporary. Short Term (0-5 years).	Permanent (fixed), Transitory (moving)

Table 2: Determining the level of visual effects

Nature of Effects

In combination with assessing the level of effects, the landscape and visual effects assessment also considers the nature of effects in terms of whether this will be positive (beneficial) or negative (adverse) in the context within which it occurs. Neutral effects can also occur where landscape or visual change is benign.

It should also be noted that a change in a landscape does not, of itself, necessarily constitute an adverse landscape or visual effect. Landscape is dynamic and is constantly changing over time in both subtle and more dramatic transformational ways; these changes are both natural and human induced. What is important in managing landscape change is that adverse effects are avoided or sufficiently mitigated to ameliorate the effects of the change in land use. The aim is to provide a high amenity environment through appropriate design outcomes.

³ Best Practice Guide: Visual Simulations BPG 10.2, NZILA

This assessment of the nature of effects can be further guided by **Table 2** set out below:

Nature of effect	Use and Definition
Adverse (negative):	The activity would be out of scale with the landscape or at odds with the local pattern and landform which results in a reduction in landscape and / or visual amenity values
Neutral (benign):	The activity would be consistent with (or blend in with) the scale, landform and pattern of the landscape maintaining existing landscape and / or visual amenity values
Beneficial (positive):	The activity would enhance the landscape and / or visual amenity through removal or restoration of existing degraded landscape activities and / or addition of positive elements or features

Table 1: Determining the Nature of Effects

Cumulative Effects

This can include effects of the same type of development (e.g. bridges) or the combined effect of all past, present and approved future development⁴ of varying types, taking account of both the permitted baseline and receiving environment. Cumulative effects can also be positive, negative or benign.

Cumulative Landscape Effects

Cumulative landscape effects can include additional or combined changes in components of the landscape and changes in the overall landscape character. The extent within which cumulative landscape effects are assessed can cover the entire landscape character area within which the proposal is located, or alternatively, the zone of visual influence from which the proposal can be observed.

Cumulative Visual Effects

Cumulative visual effects can occur in combination (seen together in the same view), in succession (where the observer needs to turn their head) or sequentially (with a time lapse between instances where proposals are visible when moving through a landscape). Further visualisations may be required to indicate the change in view compared with the appearance of the project on its own.

Determining the nature and level of cumulative landscape and visual effects should adopt the same approach as the project assessment in describing both the nature of the viewing audience and magnitude of change leading to a final judgement. Mitigation may require broader consideration which may extend beyond the geographical extent of the project being assessed.

Determining the Overall Level of Effects

The landscape and visual effects assessment conclude with an overall assessment of the likely level of landscape and visual effects. This step also takes account of the nature of effects and the effectiveness of any proposed mitigation. The process can be illustrated in Figure 2:



Figure 2: Assessment process

This step informs an overall judgement identifying what level of effects are likely to be generated as indicated in **Table 3** below. This table which can be used to guide the level of natural character, landscape and visual effects uses an adapted seven-point scale derived from Te Tangi A Te Manu.

⁴ The life of the statutory planning document or unimplemented resource consents.

Effect Rating	Use and Definition
Very High:	Total loss of key elements / features / characteristics, i.e. amounts to a complete change of landscape character and in views.
High:	Major modification or loss of most key elements / features / characteristics, i.e. little of the pre-development landscape character remains and a major change in views. <i>Concise Oxford English Dictionary Definition</i> <i>High: adjective- Great in amount, value, size, or intensity.</i>
Moderate- High:	Modifications of several key elements / features / characteristics of the baseline, i.e. the pre-development landscape character remains evident but materially changed and prominent in views.
Moderate:	Partial loss of or modification to key elements / features / characteristics of the baseline, i.e. new elements may be prominent in views but not necessarily uncharacteristic within the receiving landscape. <i>Concise Oxford English Dictionary Definition</i> <i>Moderate: adjective- average in amount, intensity, quality or degree</i>
Low-Moderate:	Minor loss of or modification to one or more key elements / features / characteristics, i.e. new elements are not prominent within views or uncharacteristic within the receiving landscape.
Low:	Little material loss of or modification to key elements / features / characteristics. i.e. modification or change is not uncharacteristic or prominent in views and absorbed within the receiving landscape. <i>Concise Oxford English Dictionary Definition</i> <i>Low: adjective- 1. Below average in amount, extent, or intensity.</i>
Very Low:	Negligible loss of or modification to key elements/ features/ characteristics of the baseline, i.e. approximating a 'no change' situation and a negligible change in views.

Table 3: Determining the overall level of landscape and visual effects

Determination of “minor”

Decision makers determining whether a resource consent application should be notified must also assess whether the effect on a person is less than minor⁵ or an adverse effect on the environment is no more than minor⁶. Likewise, when assessing a non-complying activity, consent can only be granted if the s104D 'gateway test' is satisfied. This test requires the decision maker to be assured that the adverse effects of the activity on the environment will be 'minor' or not be contrary to the objectives and policies of the relevant planning documents.

These assessments will generally involve a broader consideration of the effects of the activity, beyond the landscape and visual effects. Through this broader consideration, guidance may be sought on whether the likely effects on the landscape or effects on a person are considered in relation to 'minor'. It must also be stressed that more than minor effects on individual elements or viewpoints does not necessarily equate to more than minor landscape effects. In relation to this assessment, moderate-low level effects would generally equate to 'minor' (see **Table 4**).

The third row highlights the word 'significant'. The term 'significant adverse effects' applies to particular RMA situations, namely as a threshold for the requirement to consider alternative sites, routes, and methods for Notices of Requirement under RMA s171(1)(b), the requirements to consider alternatives in AEEs under s6(1)(a) of the 4th Schedule. It may also be relevant to tests under other statutory documents such as for considering effects on natural character of the coastal environment under the NZ Coastal Policy Statement (NZCPS) Policy 13 (1)(b) and 15(b).

<u>Less than Minor</u>		<u>Minor</u>	<u>More than Minor</u>			
Very Low	Low	Low-Moderate	Moderate	Moderate-High	High	Very High
					Significant	

Table 4: Determining adverse effects for notification determination, non-complying activities and significance

⁵ RMA, Section 95E

⁶ RMA Section 95D

Technical Note – 73a Signal Station Road Stormwater Memorandum

Project Number	NZ36xxx
Client	Complete Construction
Date	05 June 2026
Document Number	001
Revision	B
Prepared By	Sterling Morgan
Reviewed By	Stephen Hazelwood
Approved By	Kieran Woods

1 Introduction

This memorandum has been prepared in support of the proposed pavilion development works at 73a Signal Station Road and the associated Resource Consent application to the Far North District Council (FNDC).

The purpose of this memorandum is to outline the proposed stormwater management approach for the pavilion development and demonstrate general compliance with the relevant requirements of:

- New Zealand Building Code (NZBC) Clause E1 - Surface Water.
- E1/AS1 Acceptable Solution.
- Far North District Council Engineering Standards (May 2023).

The proposed works comprise the construction of a new pavilion building resulting in approximately 70 m² of additional roof area and associated stormwater infrastructure.

The proposed stormwater strategy adopts an attenuation and soakage-based approach whereby roof runoff is:

- Collected via a piped roof drainage system.
- Directed to an onsite attenuation tank.
- Discharged at a controlled rate via an orifice outlet.
- Subsequently disposed of via a rock-filled soakage trench.

The design intent is to:

- Manage runoff generated by the proposed impervious roof area.
- Reduce peak post-development discharge rates.
- Provide attenuation storage for the relevant FNDC design storm events.
- Promote onsite soakage and groundwater recharge.
- Avoid adverse flooding effects on surrounding land.
- Provide a practical and maintainable stormwater solution appropriate for the scale of the development.

2 Available Data

2.1 Table 1: Available Data

Data	Source	Comment
FNDC Engineering Standards (May 2023)	Far North District Council	Adopted as the primary local authority engineering design standard for stormwater infrastructure and attenuation requirements.
NZBC E1/AS1 Surface Water	New Zealand Building Code	Used for stormwater collection, pipe sizing, catchpit arrangements, and general surface water compliance requirements.
HIRDS Rainfall Data	NIWA HIRDS v4	Used to obtain design rainfall intensities and storm durations for attenuation and pipe capacity modelling.
Architectural and Civil Site Layout Information	Complete Construction / Project Design Team	Used to determine proposed impervious areas, roof layouts, drainage catchments, and discharge arrangements
Geotechnical Investigation Report	Project Geotechnical Consultant	Used to assess groundwater conditions, soil characteristics, infiltration considerations, and pavement drainage recommendations.

3 Existing Site Conditions

The proposed pavilion development is located adjacent to an existing private residence. The proposed works introduce approximately 70 m² of additional roof area. Existing site runoff generally disperses across the surrounding land and existing drainage network.

A review of the Far North District Council (FNDC) GIS mapping and Northland Regional Council (NRC) GIS mapping indicates the site is not identified as being subject to mapped flood hazards or overland flow path constraints. No mapped flood susceptibility affecting the proposed pavilion area has been identified within the available council mapping records.

Based on the available geotechnical information:

- No persistent shallow groundwater conditions have been identified.
- The underlying soils are considered potentially suitable for soakage subject to confirmation by site-specific soakage testing.
- Concentrated stormwater discharges should be appropriately controlled and managed.
- Stormwater systems should avoid saturation of surrounding slopes and structures.

4 Design Standards and Compliance

The stormwater design has been undertaken generally in accordance with:

- NZBC Clause E1 - Surface Water.
- E1/AS1 Acceptable Solution.
- FNDC Engineering Standards (May 2023).
- Accepted stormwater engineering practice.

NZBC E1 requires stormwater systems to adequately collect and dispose of runoff from roofed areas without causing nuisance or damage to property.

FNDC Engineering Standards require attenuation of post-development runoff for the 50% AEP (2-year) and 20% AEP (5-year) storm events where practicable.

Rainfall intensities adopted for the attenuation assessment have been derived from NIWA HIRDS rainfall data using the RCP8.5 climate change scenario for the 2081-2100 projection period. The proposed attenuation and soakage system has therefore been assessed using projected future rainfall intensities climate scenario consistent with current industry guidance and accepted engineering practice.

The proposed pavilion stormwater system has therefore been configured to attenuate the 50% and 20% AEP storm events prior to controlled discharge to a soakage trench.

5 Stormwater Design

5.1 Proposed Stormwater system

The proposed stormwater system for the pavilion comprises:

- Roof gutters and downpipes (by others).
- Piped stormwater reticulation.
- A 3,000 L attenuation tank.
- A controlled outlet via orifice plate.
- A rock-filled soakage trench.

Roof runoff generated from the proposed pavilion roof area will be collected and conveyed via a sealed pipe network to the attenuation tank.

The attenuation tank has been sized to attenuate runoff generated by the 50% and 20% AEP storm events generally consistent with FNDC requirements prior to controlled discharge to the downstream soakage trench. Discharge from the attenuation tank is controlled via a small diameter orifice outlet intended to reduce peak discharge rates and provide gradual release of stored runoff to the soakage trench.

The downstream soakage trench has been sized based on:

- An adopted infiltration rate of 50 mm/hr.
- A rock void ratio of 38%.
- Combined infiltration and storage capacity.
- Routed outflow volumes from the attenuation tank.

The proposed soakage trench comprises a nominal:

- 7.0 m trench length.
- 1.2 m trench width.
- 1.0 m effective storage depth.

Final trench sizing and configuration shall be confirmed during detailed design following site-specific soakage testing.

5.2 Attenuation Assessment

Hydraulic calculations have been undertaken using a Rational Method-based inflow assessment and timestep storage routing approach utilising NIWA HIRDS rainfall data based on the RCP8.5 climate change scenario for the 2081-2100 period.

The modelling indicates that:

- The proposed 3,000 L attenuation tank provides sufficient storage for the assessed 50% and 20% AEP events.
- The maximum routed storage requirement is approximately 0.52 m³ for the 50% AEP event.
- The maximum routed storage requirement is approximately 0.71 m³ for the 20% AEP event.

- The critical storm duration for both events is approximately 10 minutes.
- The proposed tank provides significant available storage above the calculated routed storage demand.

The modelling also indicates that some routed timestep outflows marginally exceed the calculated theoretical allowable discharge rates. Given the relatively small contributing roof catchment area, achieving strict theoretical compliance would require an impractically small outlet orifice, which would increase blockage and maintenance risk. The adopted outlet arrangement is therefore considered a practical minimum outlet control suitable for the scale of the development. The modelling outputs are shown in Appendix A.

Importantly:

- The proposed attenuation system substantially reduces peak runoff relative to an unattenuated discharge scenario.
- Runoff is subsequently dispersed via onsite soakage.
- The proposal does not materially alter existing downstream flow paths.
- The proposed system is not expected to increase flood risk on surrounding properties.

5.2 Soakage Trench Assessment

The soakage trench has been assessed using a combined storage and infiltration approach generally consistent with NZBC E1 principles.

The modelling indicates that:

- The proposed 7.0 m soakage trench provides sufficient storage and infiltration capacity for all assessed storm durations.
- The critical design event is the 20% AEP 240-minute duration event.
- The proposed trench provides positive storage margin for all assessed events.
- The soakage trench has sufficient capacity to manage the attenuated discharge from the upstream detention tank.

The proposed system therefore provides a combined attenuation and soakage approach intended to:

- Reduce peak runoff rates.
- Promote onsite stormwater disposal.
- Minimise downstream stormwater effects.
- Provide a practical low-maintenance stormwater solution.

In addition, both FNDC and NRC GIS mapping indicate the proposed pavilion area is not located within a mapped flood hazard area. The proposed attenuation and soakage system is therefore considered appropriate for the scale and nature of the development and is not expected to adversely affect surrounding properties or existing drainage conditions.

Given the relatively small scale of the contributing roof catchment and the absence of mapped flood hazards within the surrounding area, the proposed stormwater system is not expected to result in adverse flooding effects on adjacent properties. The attenuation tank and soakage trench shall remain accessible for periodic inspection and maintenance. The modelling outputs are shown in Appendix B

6 Conclusion

The proposed pavilion stormwater system comprises a practical attenuation and soakage-based stormwater management approach appropriate for the scale and nature of the development.

The proposed system:

- Collects and controls runoff from the new pavilion roof area.

- Attenuates the 50% and 20% AEP storm events generally consistent with FNDC requirements.
- Provides onsite soakage disposal via a rock-filled trench.
- Is not expected to materially increase downstream flood risk or adverse stormwater effects.
- Is considered generally consistent with the intent of NZBC E1/AS1 and FNDC Engineering Standards.


Final soakage trench sizing and infiltration performance should be confirmed by site-specific soakage testing during detailed design.

7 Appendices

Appendix A - Attenuation Calculations

Appendix B – Soakage Trench Calculations

Appendix C - Stormwater Layout Drawings

 Studio 9/106 Saint Georges Bay Road Auckland, New Zealand	SPREADSHEET CONTROL AUTHOR: GS REVIEWER: SM DATE: 14/05/26		TITLE STORMWATER PRE/POST FLOW ATTENUATION ROUTING CALCULATOR	
			PROJECT 73a Signal Station Road DATE 15/05/2026 JOB NO NZ25xxx FILE REF "REF" AUTHOR GS PROJ LEADER SM LOCATION / HIRDS SITE 73a Signal Station Road REVISION A	
Pre-development surface				
	Area (m²)	Runoff coefficient C	C x Area	
Pervious / grass	70.00	0.35	24.5	
Existing roof	0.00	0.95	0	
Existing paved / sealed	0.00	0.80	0	
Other	0.00	0.50	0	
TOTAL / weighted C	70.00	0.35	24.5	
Post-development surface				
	Area (m²)	Runoff coefficient C	C x Area (m²)	
Pervious / grass	0.00	0.35	0	
New roof	70.00	0.95	66.5	
New paved / sealed	0.00	0.80	0	
Other	0.00	0.50	0	
TOTAL / weighted C	70.00	0.95	66.5	
Hydrology Output Check		Flow Control / Tank Inputs		
Pre total area (m ²)	70.00	Allowable discharge factor	0.80	
Pre weighted C	0.35	Proposed tank storage volume (m ³)	2.00	
Post total area (m ²)	70.00	Active storage depth (m)	2.00	
Post weighted C	0.95	Tank plan area (m ²)	1.00	
Area change (m ²)	0.00	Orifice diameter (mm)	30.00	
NOTE: EDIT BLUE CELLS ONLY		Orifice discharge coefficient Cd	0.62	
		Orifice centre above storage invert (m)	0.15	
		Routing timestep (min)	5.00	

NOTES

Typically 0.8 x pre-development peak flow (FNDC)
 Enter proposed active storage volume
 Depth between storage invert and overflow/TWL
 Calculated as volume / active depth
 Controlled outlet size
 Typical sharp-edged orifice
 Used in routing head calculation
 5 min is usually adequate

Rainfall Intensities (mm/hr) [Enter / paste from HIRDS]													
ARI	AEP	10 min	20 min	30 min	1 hr	2 hr	4 hr (interp)	6 hr	12 hr	24 hr	48 hr	72 hr	120 hr
1.580	0.633	67.500	45.700	36.300	24.400	16.100	12.030	7.960	4.970	3.070	1.840	1.350	0.906
2.000	0.500	74.200	50.200	39.900	26.900	17.800	13.300	8.800	5.520	3.390	2.040	1.500	1.000
5.000	0.200	96.700	65.600	52.300	35.300	23.400	17.500	11.600	7.320	4.500	2.720	2.000	1.340
10.000	0.100	113.000	77.000	61.400	41.500	27.600	20.700	13.800	8.670	5.330	3.230	2.380	1.600
20.000	0.050	130.000	88.700	70.700	47.900	31.800	23.900	16.000	10.100	6.180	3.750	2.770	1.860
30.000	0.033	140.000	95.600	76.300	51.700	34.400	25.850	17.300	10.900	6.700	4.070	3.010	2.020
40.000	0.025	147.000	100.000	80.200	54.400	36.200	27.200	18.200	11.500	7.090	4.300	3.180	2.140
50.000	0.020	153.000	104.000	83.400	56.600	37.700	28.350	19.000	12.000	7.380	4.490	3.310	2.230
60.000	0.017	158.000	108.000	85.900	58.300	38.900	29.250	19.600	12.400	7.630	4.630	3.430	2.300
80.000	0.013	165.000	113.000	90.100	61.100	40.800	30.700	20.600	13.000	8.010	4.880	3.600	2.420
100.000	0.010	171.000	117.000	93.200	63.300	42.200	31.750	21.300	13.500	8.320	5.060	3.740	2.520
250.000	0.004	193.000	132.000	106.000	72.000	48.100	36.250	24.400	15.400	9.550	5.820	4.300	2.900



Studio 9/106 Saint Georges Bay Road
Auckland, New Zealand

Source: HIRDS rainfall intensities pasted by user. Update table for project location/design climate scenario as required.





CRITICAL DURATIONS

Event	Critical Duration (min)	Max Routed Storage (m³)	Proposed Storage (m³)	Status
50% AEP	15	0.525	2	PASS
20% AEP	15	0.711	2	PASS

Event	ARI	Duration (min)	Rainfall intensity (mm/hr)	Rainfall depth (mm)	Q _{pre} (L/s)	Q _{post} (L/s)	Q _{allowable} = 0.833 pre (L/s)	Constant - Q storage estimate (m³)	Routed max storage (m³)	Peak water depth (m)	Freshboard to proposed volume (m³)	Pass / fail	Comment	Max time-step orifice flow (L/s)	Allowable discharge (L/s)	Minimum margin	Orifice check note	Time of max Q out (min)
50% AEP	2.00	0.50	74.20	12.37	0.51	1.37	0.46	0.58	0.58	0.53	0.53	1.47/PASS	Critical duration is	0.92	0.46	-0.78	At least one routed	10
50% AEP	2.00	0.50	50.20	16.73	0.34	0.93	0.27	0.79	0.79	0.37	0.37	1.63/PASS		0.27	0.27	-0.65	At least one routed	20
50% AEP	2.00	0.50	39.90	19.95	0.27	0.74	0.22	0.94	0.94	0.29	0.29	1.71/PASS		0.22	0.22	-0.52	At least one routed	30
50% AEP	2.00	0.50	26.90	26.90	0.18	0.50	0.15	1.26	1.26	0.36	0.36	1.70/PASS		0.15	0.15	-0.60	At least one routed	10
50% AEP	2.00	0.50	17.80	35.60	0.17	0.33	0.10	1.67	1.67	0.20	0.20	1.80/PASS		0.10	0.10	-0.33	At least one routed	10
50% AEP	2.00	0.50	13.30	53.20	0.09	0.25	0.07	2.50	2.50	0.22	0.22	1.78/PASS		0.07	0.07	-0.45	At least one routed	15
50% AEP	2.00	0.50	8.80	52.80	0.06	0.18	0.05	2.48	2.48	0.20	0.20	1.80/PASS		0.05	0.05	-0.36	At least one routed	20
50% AEP	2.00	0.50	7.20	66.24	0.04	0.10	0.03	3.11	3.11	0.18	0.18	1.82/PASS		0.03	0.03	-0.30	At least one routed	125
50% AEP	2.00	0.50	5.52	81.36	0.02	0.06	0.02	3.82	3.82	0.17	0.17	1.83/PASS		0.02	0.02	-0.25	At least one routed	265
20% AEP	5.00	0.20	96.70	16.12	0.66	1.79	0.53	0.76	0.76	0.71	0.71	1.29/PASS	Critical duration is	1.45	0.53	-0.89	At least one routed	10
20% AEP	5.00	0.20	65.60	21.87	0.45	1.21	0.36	1.03	1.03	0.52	0.52	1.48/PASS		0.36	0.36	-0.82	At least one routed	20
20% AEP	5.00	0.20	52.30	26.15	0.36	0.97	0.28	1.23	1.23	0.40	0.40	1.60/PASS		0.28	0.28	-0.68	At least one routed	30
20% AEP	5.00	0.20	35.30	35.30	0.24	0.65	0.15	1.66	1.66	0.27	0.27	1.73/PASS		0.15	0.15	-0.47	At least one routed	10
20% AEP	5.00	0.20	23.40	46.80	0.16	0.43	0.10	2.20	2.20	0.26	0.26	1.74/PASS		0.10	0.10	-0.52	At least one routed	10
20% AEP	5.00	0.20	17.50	70.00	0.12	0.32	0.10	3.29	3.29	0.19	0.19	1.81/PASS		0.10	0.10	-0.37	At least one routed	10
20% AEP	5.00	0.20	11.60	69.60	0.08	0.21	0.06	3.27	3.27	0.20	0.20	1.80/PASS		0.06	0.06	-0.37	At least one routed	25
20% AEP	5.00	0.20	7.32	87.64	0.05	0.14	0.04	4.12	4.12	0.19	0.19	1.81/PASS		0.04	0.04	-0.35	At least one routed	475
20% AEP	5.00	0.20	4.50	108.00	0.03	0.08	0.02	5.07	5.07	0.17	0.17	1.83/PASS		0.02	0.02	-0.28	At least one routed	35

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 <p>Studio 9/106 Saint Georges Bay Road Auckland, New Zealand</p>	<p>SPREADSHEET CONTROL</p> <p>AUTHOR: GS REVIEWER: SM DATE: 14/05/26</p>	<p>TITLE/PROJECT DESCRIPTION SOAKAGE TRENCH RECEIVING CONTROLLED OUTLET FLOW FROM AN ATTENUATION TANK</p> <p>PROJECT 73a Signal Station Road DATE 15/05/2026 JOB NO NZ26xxx FILE REF AUTHOR GS PROJ LEADER SM COUNCIL/STANDARD NZBC E1/VM1 + FNDC LOCATION / HIRDS SITE 73a Signal Station Road REVISION A</p>
	<p>NOTE: EDIT BLUE CELLS ONLY</p>	
<p>INPUTS</p>		
Soakage trench width (m)	1.20	Editable
Soakage trench effective depth (m)	1.00	Editable
Void ratio / storage ratio	0.38	Typical clean rock void ratio per E1 rock pit guidance
Adopted infiltration rate (mm/hr)	50.00	Subject to site-specific soakage testing
Infiltration reduction factor	1.00	Use 0.25 if applying FNDC long-term reduction factor separately
<p>OUTPUTS</p>		
Effective design infiltration rate (mm/hr)	50.00	Adopted rate x reduction factor
Trench storage per metre (m ³ /m)	0.46	Width x depth x void ratio
Trench base infiltration area per metre (m ² /m)	1.20	Width x 1m length
<p>Recommendations</p>		
Minimum practical width (m)	0.60	Guidance only
Minimum practical depth (m)	0.50	Guidance only

		Studio 9/106 Saint Georges Bay Road Auckland, New Zealand		Notes: Paste/update from attenuation spreadsheet Attenuation calculator	
				Source: Attenuation calculator	
Controlled Tank Outlet Flow – Inputs from Attenuation Spreadsheet					
Event	Duration	Max routed tank Qout	Use in soakage check?	Inflow volume to trench (m ³)	
50% AEP	10.00	0.00	Yes	0.00	0.00
50% AEP	20.00	0.00	Yes	0.00	0.00
50% AEP	30.00	0.00	Yes	0.00	0.00
50% AEP	60.00	0.37	Yes	1.33	1.33
50% AEP	120.00	0.33	Yes	2.35	2.35
50% AEP	240.00	0.25	Yes	3.54	3.54
50% AEP	360.00	0.16	Yes	3.51	3.51
50% AEP	720.00	0.14	Yes	6.05	6.05
50% AEP	1440.00	0.07	Yes	5.97	5.97
20% AEP	10.00	0.00	Yes	0.00	0.00
20% AEP	20.00	0.00	Yes	0.00	0.00
20% AEP	30.00	0.41	Yes	0.74	0.74
20% AEP	60.00	0.52	Yes	1.89	1.89
20% AEP	120.00	0.43	Yes	3.08	3.08
20% AEP	240.00	0.32	Yes	4.66	4.66
20% AEP	360.00	0.21	Yes	4.63	4.63
20% AEP	720.00	0.15	Yes	6.38	6.38
20% AEP	1440.00	0.13	Yes	10.81	10.81

Soakage Trench Sizing – E1-Based Storage + Soakage Check

Event	Duration (min)	Tank Qout (L/s)	Volume from tank (m³)	Trial trench length (m)	Trench storage volume (m³)	Soakage volume during event (m³)	Net storage demand (m³)	Storage margin (m³)	Required trench length (m)	Status
50% AEP	10.00	0.00	0.00	7.00	3.19	0.07	0.00	3.19	0.00	PASS
50% AEP	20.00	0.00	0.00	7.00	3.19	0.14	0.00	3.19	0.00	PASS
50% AEP	30.00	0.00	0.00	7.00	3.19	0.21	0.00	3.19	0.00	PASS
50% AEP	60.00	0.37	1.33	7.00	3.19	0.42	0.91	2.28	2.58	PASS
50% AEP	120.00	0.33	2.35	7.00	3.19	0.84	1.51	1.69	4.07	PASS
50% AEP	240.00	0.25	3.54	7.00	3.19	1.68	1.86	1.33	5.09	PASS
50% AEP	360.00	0.16	3.51	7.00	3.19	2.52	0.99	2.20	4.31	PASS
50% AEP	720.00	0.14	6.05	7.00	3.19	5.04	1.01	2.18	5.15	PASS
50% AEP	1440.00	0.07	5.97	7.00	3.19	10.08	0.00	3.19	3.15	PASS
20% AEP	10.00	0.00	0.00	7.00	3.19	0.07	0.00	3.19	0.00	PASS
20% AEP	20.00	0.00	0.00	7.00	3.19	0.14	0.00	3.19	0.00	PASS
20% AEP	30.00	0.41	0.74	7.00	3.19	0.21	0.53	2.66	1.52	PASS
20% AEP	60.00	0.52	1.89	7.00	3.19	0.42	1.47	1.73	3.66	PASS
20% AEP	120.00	0.43	3.08	7.00	3.19	0.84	2.24	0.95	5.35	PASS
20% AEP	240.00	0.32	4.66	7.00	3.19	1.68	2.98	0.21	6.69	PASS
20% AEP	360.00	0.21	4.63	7.00	3.19	2.52	2.11	1.08	5.68	PASS
20% AEP	720.00	0.15	6.38	7.00	3.19	5.04	1.34	1.86	5.42	PASS
20% AEP	1440.00	0.13	10.81	7.00	3.19	10.08	0.73	2.47	5.70	PASS

Method Notes and Equations	
Item	Description
E1 basis	NZBC E1/VM1 section 9.0 sizes soak pits using storage plus soakage. The core formula is $V_{stor} = R_c - V_{soak}$.
Adapted inflow	Because an attenuation tank is upstream, R_c is replaced by the volume discharged from the tank outlet during the selected storm duration.
Volume from tank	$V_{in} = Q_{out} \times \text{duration} \times 60 / 1000$, where Q_{out} is in L/s and V_{in} is in m^3 .
Soakage volume	$V_{soak} = A_{sp} \times S_r / 1000 \times t$, where A_{sp} is trench base area in m^2 , S_r is infiltration rate in mm/hr, and t is duration in hours.
Trench base area	$A_{sp} = \text{trench length} \times \text{trench width}$.
Trench storage	$V_{storage} = \text{trench length} \times \text{trench width} \times \text{effective depth} \times \text{void ratio}$.
Required length	$L_{req} = V_{in} / [(\text{width} \times \text{depth} \times \text{void ratio}) + (\text{width} \times S_r / 1000 \times \text{duration}_{hr})]$.
Important	This tool does not replace field soakage testing. The infiltration rate should be confirmed on site and reduced where required for long-term performance.
Overflow	Provide a safe overflow/secondary flow path for events exceeding the design capacity or if soakage performance is reduced.

Roof Soakage Trench Design Summary

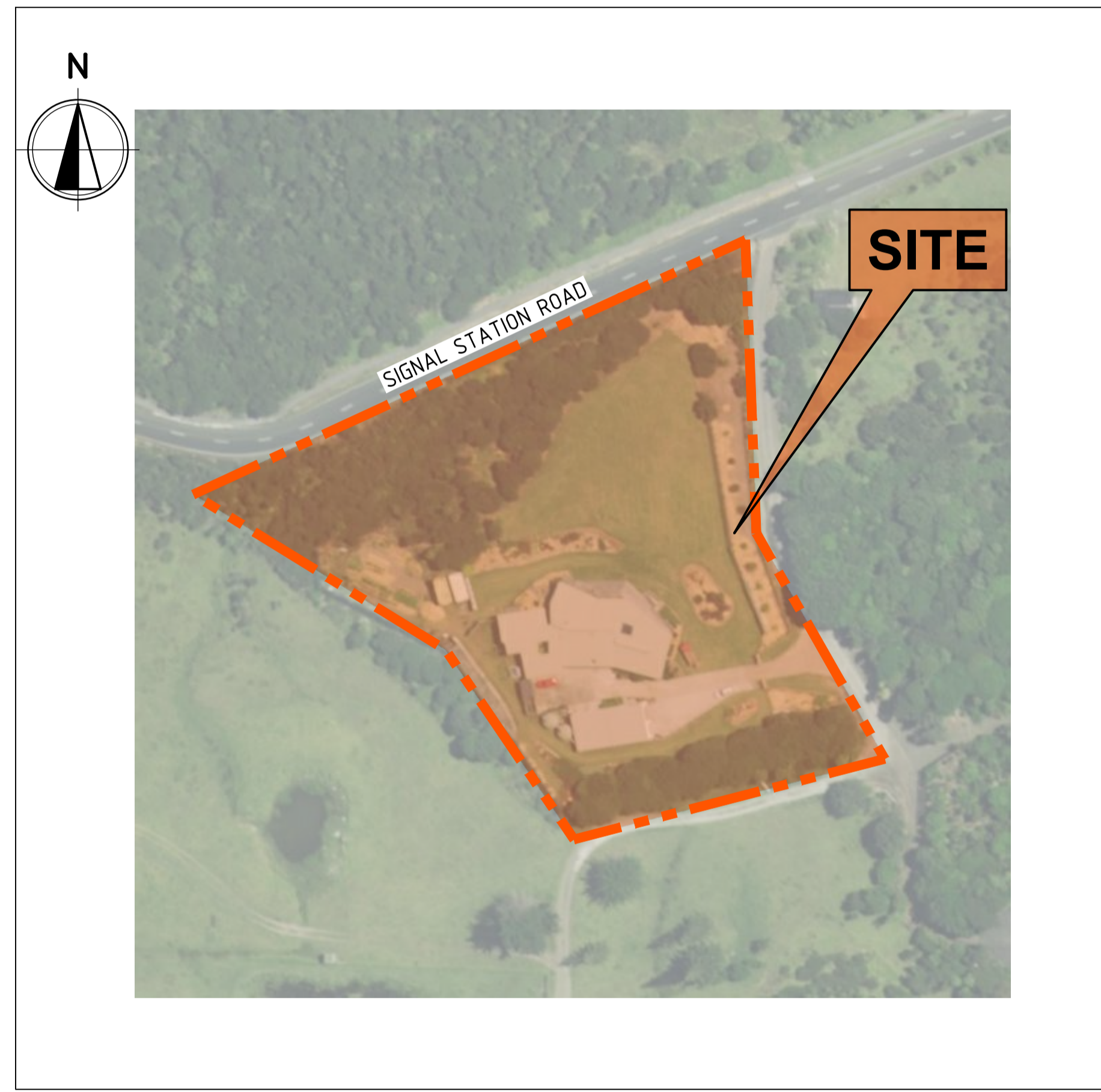
Key Input / Output	Value	Comment
Adopted infiltration rate (mm/hr)	50.00	From Inputs
Effective infiltration rate (mm/hr)	50.00	After reduction factor
Trench width (m)	1.20	
Trench effective depth (m)	1.00	
Void ratio	0.38	
Maximum required trench length (m)	6.69	Maximum across selected events/durations
Recommended trench length (m)	7.00	Rounded up to nearest 0.5 m
Overall status for trial length	PASS	Based on trial lengths in Soakage Sizing

Note:

Roof runoff is collected in an attenuation tank and released through a controlled outlet to a soakage trench. The soakage trench has been sized using an E1-based storage and soakage balance, where inflow is taken as the routed tank outlet discharge rather than direct roof runoff. Final infiltration rates should be confirmed by site-specific soakage testing at the proposed trench location. Overflow/secondary flow paths should be confirmed on the civil drawings.

73a SIGNAL STATION ROAD 0473, SIGNAL STATION RD, OMAPERE NZ

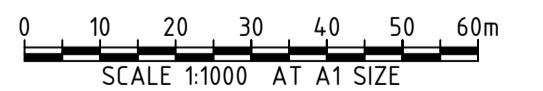
FAR NORTH DISTRICT COUNCIL
FOR RESOURCE CONSENT



LOCALITY PLAN
SCALE 1:1000

SOURCE: LINZ

DRAWING INDEX	
DRAWING NO.	DRAWING TITLE
CI-0000	COVER SHEET, LOCALITY PLAN AND DRAWING INDEX
CI-0300	EXISTING SITE FEATURES PLAN
CI-0301	PROPOSED SITEWORKS AND DRAINAGE PLAN
CI-0380	DRAINAGE DETAILS SHEET 1 OF 3
CI-0381	DRAINAGE DETAILS SHEET 2 OF 3
CI-0382	DRAINAGE DETAILS SHEET 3 OF 3



REV	DATE	DESCRIPTION	REVISIONS	RVD	REV	DATE	DESCRIPTION	REVISIONS	RVD
A	15.05.2026	ISSUED FOR RESOURCE CONSENT	SH						



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PROJECT
73a SIGNAL STATION ROAD
0473, SIGNAL STATION RD, OMAPERE NZ

STATUS			
ISSUED FOR CONSENT			
NOT TO BE USED FOR CONSTRUCTION			
DRAWN	DESIGNED	CHECKED	APPROVED
NA	SM	SM	SH
DATUM	GRID	SCALE	
AHD	GDA2020 MGA-56	1:1000	AT A1 SIZE

TITLE		
COVER SHEET LOCALITY PLAN AND DRAWING INDEX		
PROJECT No.	DRAWING No.	REV
NZ26110	CI-0000	A



- LEGEND**
- SITE BOUNDARY
 - LINZ BOUNDARY
 - NEW PROPOSED BUILDINGS
 - SURVEY
 - 27.00 EXISTING MINOR CONTOURS
 - 30.00 EXISTING MAJOR CONTOURS
 - PROPOSED SW LINES

- EXISTING UTILITIES**
- SW EXISTING STORMWATER PIPE
 - E EXISTING ELECTRICITY
 - COMM EXISTING TELECOMMUNICATIONS

NOTES

SOAKAGE TRENCH

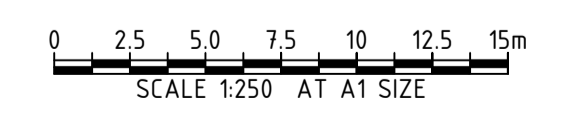
SOAKAGE TRENCH TO BE NOMINALLY:

- 7.0 m LONG
- 1.2 m WIDE
- 1.0 m EFFECTIVE DEPTH UNLESS NOTED OTHERWISE.

1. TRENCH TO BE FILLED WITH CLEAN FREE-DRAINING DRAINAGE METAL (TYPICALLY 100-150 mm AGGREGATE) WRAPPED IN GEOTEXTILE FILTER FABRIC.
2. MINIMUM ASSUMED VOID RATIO FOR DESIGN PURPOSES: 38%.
3. FINAL TRENCH DIMENSIONS AND SUITABILITY TO BE CONFIRMED ONSITE FOLLOWING EXCAVATION AND CONFIRMATION OF SOIL CONDITIONS.
4. SOAKAGE TRENCH INVERT TO REMAIN ABOVE ANY GROUNDWATER OR SEEPAGE CONDITIONS ENCOUNTERED ONSITE.
5. STORMWATER FROM PAVILION ROOF TO DISCHARGE TO ATTENUATION TANK PRIOR TO CONTROLLED DISCHARGE TO SOAKAGE TRENCH.
6. CONTRACTOR TO ENSURE TRENCH IS PROTECTED FROM SEDIMENT INGRESS DURING CONSTRUCTION.
7. GEOTEXTILE FABRIC TO FULLY ENCAPSULATE TRENCH SIDES AND TOP. BASE MAY REMAIN UNWRAPPED SUBJECT TO ENGINEER APPROVAL AND SOIL CONDITIONS.
8. TRENCH LOCATION TO BE SET OUT CLEAR OF BUILDING FOUNDATIONS AND UNDERGROUND SERVICES.
9. NO HEAVY VEHICLE LOADING PERMITTED OVER SOAKAGE TRENCH.
10. FINAL INVERT LEVELS TO BE CONFIRMED ONSITE TO MAINTAIN GRAVITY DISCHARGE AND MINIMUM EFFECTIVE STORAGE VOLUME.

- ATTENUATION TANK
1. PROVIDE 2,000 L MINIMUM EFFECTIVE STORMWATER ATTENUATION STORAGE VOLUME.
 2. ATTENUATION TANK TO RECEIVE RUNOFF FROM PROPOSED PAVILION ROOF DRAINAGE SYSTEM ONLY.
 3. TANK OUTLET TO DISCHARGE VIA CONTROLLED ORIFICE OUTLET TO DOWNSTREAM SOAKAGE TRENCH.
 4. ORIFICE INVERT TO BE MIN 150mm FROM BASE OF TANK TO ALLOW FOR SLUDGE ZONE.
 5. ORIFICE PLATE TO BE SECURELY FIXED AND ACCESSIBLE FOR MAINTENANCE AND INSPECTION.
 6. TANK OVERFLOW TO DISCHARGE VIA GRAVITY OVERFLOW TO DOWNSTREAM SOAKAGE TRENCH.
 7. TANK AND ASSOCIATED PIPEWORK TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 8. PROVIDE ACCESS FOR INSPECTION AND MAINTENANCE OF ATTENUATION TANK AND OUTLET CONTROL.
 9. ALL PIPE PENETRATIONS TO BE WATERTIGHT.
 10. TANK LOCATION AND FINISHED LEVELS TO BE COORDINATED WITH ARCHITECTURAL AND SITE GRADING REQUIREMENTS.
 11. CONTRACTOR TO CONFIRM ALL EXISTING UNDERGROUND SERVICES PRIOR TO EXCAVATION.

- STORMWATER PIPEWORK
1. STORMWATER PIPEWORK TO BE INSTALLED GENERALLY IN ACCORDANCE WITH NZBC E1/A51.
 2. STORMWATER PIPEWORK TO COMPRISE 100mm SN8 uPVC PIPE UNLESS NOTED OTHERWISE.
 3. STORMWATER PIPES TO BE LAID AT MINIMUM GRADES SHOWN ON PLAN.
 4. PROVIDE INSPECTION POINTS AT CHANGES IN DIRECTION AND JUNCTIONS AS REQUIRED.
 5. ALL PIPES TO DISCHARGE FREELY WITHOUT SURCHARGE UNDER NORMAL OPERATING CONDITIONS.
 6. PIPE BEDDING AND BACKFILL TO COMPLY WITH NZS 4404 AND MANUFACTURER REQUIREMENTS.
 7. PROTECT PIPEWORK FROM SEDIMENT INGRESS DURING CONSTRUCTION.
 8. ALL ROOF DOWNPIPES TO DISCHARGE TO SEALED STORMWATER PIPE SYSTEM.



REV	DATE	DESCRIPTION	REVISED BY	DATE	DESCRIPTION
A	15.05.2026	ISSUED FOR RESOURCE CONSENT	SH		
REVISIONS					

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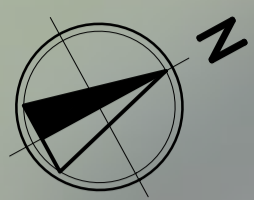
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 Auckland 1023
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 bgeeng.com



PROJECT
73a SIGNAL STATION ROAD
 0473, SIGNAL STATION RD, OMAPERE NZ

STATUS ISSUED FOR CONSENT NOT TO BE USED FOR CONSTRUCTION			
DRAWN NA	DESIGNED SM	CHECKED SM	APPROVED SH
DATUM AHD	GRID GDA2020 MGA-56	SCALE 1:250	AT A1 SIZE

TITLE EXISTING SITE FEATURES PLAN	
PROJECT No. NZ26110	DRAWING No. CI-0300
REV A	



LEGEND

	SITE BOUNDARY
	LINZ BOUNDARY
	NEW PROPOSED BUILDINGS
	SURVEY
	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	PROPOSED SW LINES

EXISTING UTILITIES

	SW	EXISTING STORMWATER PIPE
	E	EXISTING ELECTRICITY
	COMM	EXISTING TELECOMMUNICATIONS

NOTES
SOAKAGE TRENCH

SOAKAGE TRENCH TO BE NOMINALLY:
 7.0 m LONG
 1.2 m WIDE
 1.0 m EFFECTIVE DEPTH UNLESS NOTED OTHERWISE.

1. TRENCH TO BE FILLED WITH CLEAN FREE-DRAINING DRAINAGE METAL (TYPICALLY 100-150 mm AGGREGATE) WRAPPED IN GEOTEXTILE FILTER FABRIC.
2. MINIMUM ASSUMED VOID RATIO FOR DESIGN PURPOSES: 38%.
3. FINAL TRENCH DIMENSIONS AND SUITABILITY TO BE CONFIRMED ON SITE FOLLOWING EXCAVATION AND CONFIRMATION OF SOIL CONDITIONS.
4. SOAKAGE TRENCH INVERT TO REMAIN ABOVE ANY GROUNDWATER OR SEEPAGE CONDITIONS ENCOUNTERED ON SITE.
5. STORMWATER FROM PAVILION ROOF TO DISCHARGE TO ATTENUATION TANK PRIOR TO CONTROLLED DISCHARGE TO SOAKAGE TRENCH.
6. CONTRACTOR TO ENSURE TRENCH IS PROTECTED FROM SEDIMENT INGRESS DURING CONSTRUCTION.
7. GEOTEXTILE FABRIC TO FULLY ENCAPSULATE TRENCH SIDES AND TOP. BASE MAY REMAIN UNWRAPPED SUBJECT TO ENGINEER APPROVAL AND SOIL CONDITIONS.
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6. TANK OVERFLOW TO DISCHARGE VIA GRAVITY OVERFLOW TO DOWNSTREAM SOAKAGE TRENCH.
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8. PROVIDE ACCESS FOR INSPECTION AND MAINTENANCE OF ATTENUATION TANK AND OUTLET CONTROL.
9. ALL PIPE PENETRATIONS TO BE WATERTIGHT.
10. TANK LOCATION AND FINISHED LEVELS TO BE COORDINATED WITH ARCHITECTURAL AND SITE GRADING REQUIREMENTS.
11. CONTRACTOR TO CONFIRM ALL EXISTING UNDERGROUND SERVICES PRIOR TO EXCAVATION.

STORMWATER PIPEWORK

1. STORMWATER PIPEWORK TO BE INSTALLED GENERALLY IN ACCORDANCE WITH NZBC E1/A5.1.
2. STORMWATER PIPEWORK TO COMPRISE 100mm S8 uPVC PIPE UNLESS NOTED OTHERWISE.
3. STORMWATER PIPES TO BE LAID AT MINIMUM GRADES SHOWN ON PLAN.
4. PROVIDE INSPECTION POINTS AT CHANGES IN DIRECTION AND JUNCTIONS AS REQUIRED.
5. ALL PIPES TO DISCHARGE FREELY WITHOUT SURCHARGE UNDER NORMAL OPERATING CONDITIONS.
6. PIPE BEDDING AND BACKFILL TO COMPLY WITH NZS 4404 AND MANUFACTURER REQUIREMENTS.
7. PROTECT PIPEWORK FROM SEDIMENT INGRESS DURING CONSTRUCTION.
8. ALL ROOF DOWNPIPES TO DISCHARGE TO SEALED STORMWATER PIPE SYSTEM.

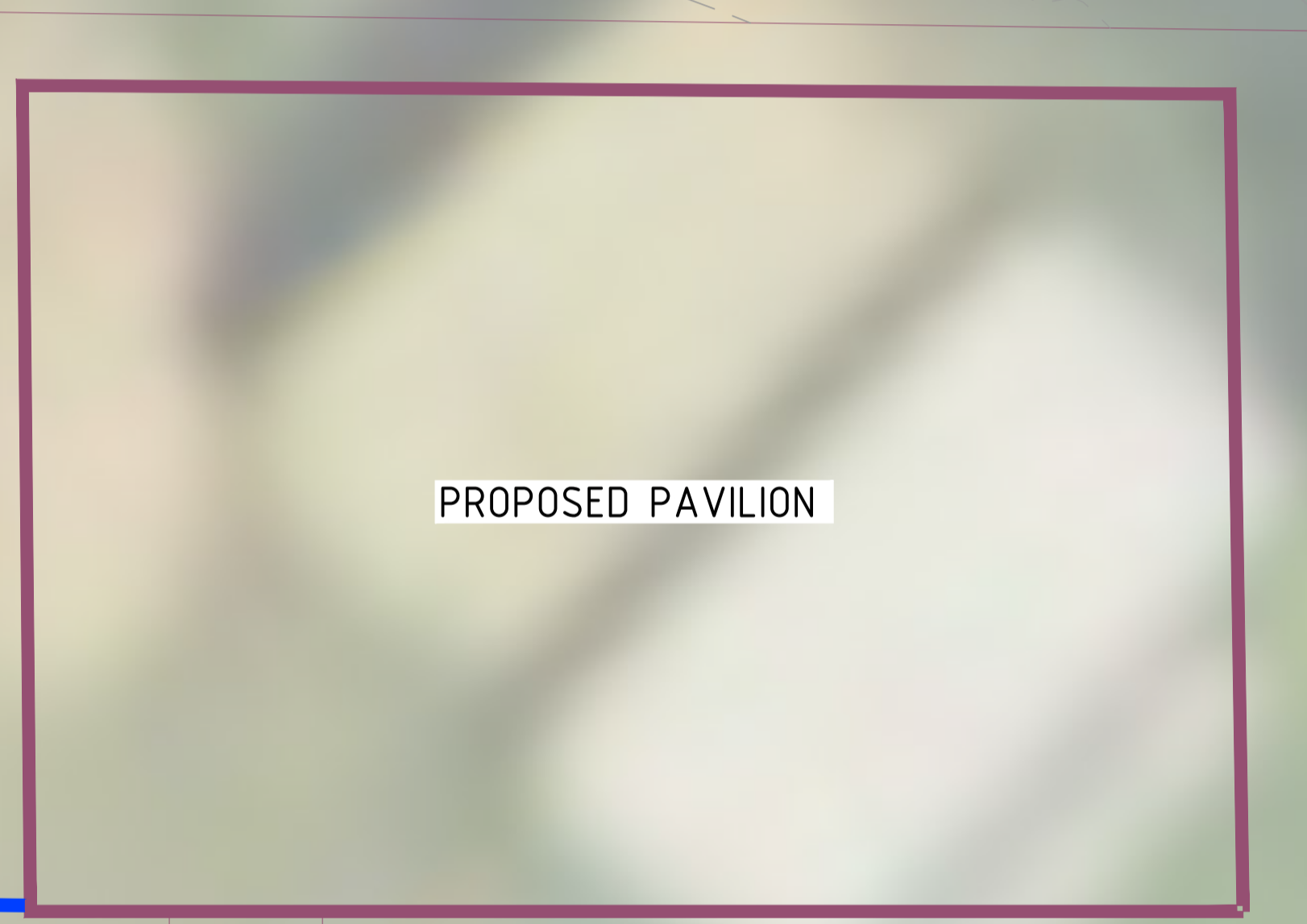
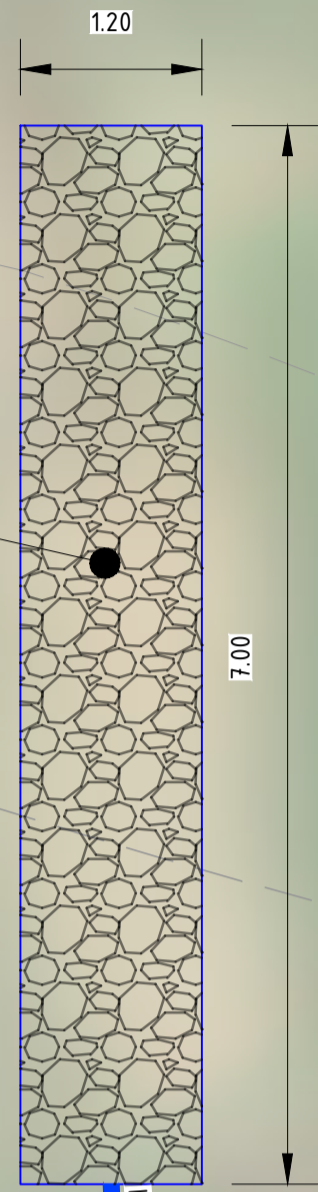
PROPOSED ROCK - FILLED STORMWATER SOAKAGE TRENCH. BASE OF TRENCH TO FOLLOW GROUND PROFILE. CONTRACTOR TO MAKE SURE TRENCH HAS MIN 1m EFFECTIVE DEPTH. DETAIL SHOWN ON DRAWING 0380

IN EXCEEDANCE STORM EVENTS, OVERFLOW WILL DISPERSE ACROSS EXISTING GROUND GENERALLY CONSISTENT WITH EXISTING OVERLAND FLOW PATHS

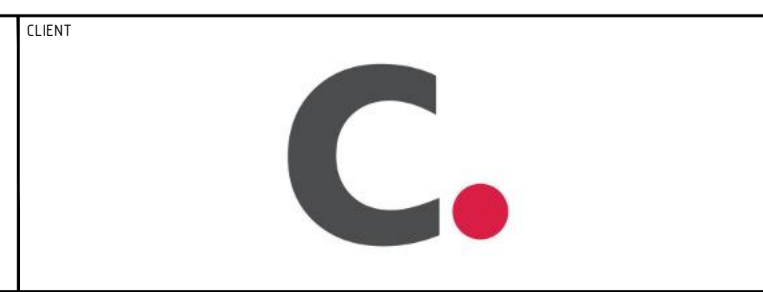
PROPOSED 3000L PROMAX UNDERGROUND WATER TANK OR SIMILAR APPROVED. COVER MIN 350mm AS PER MANUFACTURES SPECIFICATION.
 BASE OF TANK RL: 70.50m
 INLET FROM DOWNPIPE IL: 71.70 m

30mmØ CONTROLLED ORIFICE OUTLET TO SOAKAGE TRENCH. OVERFLOW TO DISCHARGE TO SOAKAGE TRENCH

ALL NEW PAVILILAN ROOF DOWNPIPES TO CONNECT TO PROPOSED ATTENUATION TANK. DOWNPIPE DESIGN BY OTHERS.



REV	DATE	DESCRIPTION	RVD	REV	DATE	DESCRIPTION	RVD
A	15.05.2026	ISSUED FOR RESOURCE CONSENT	SH				

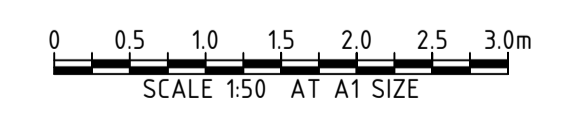


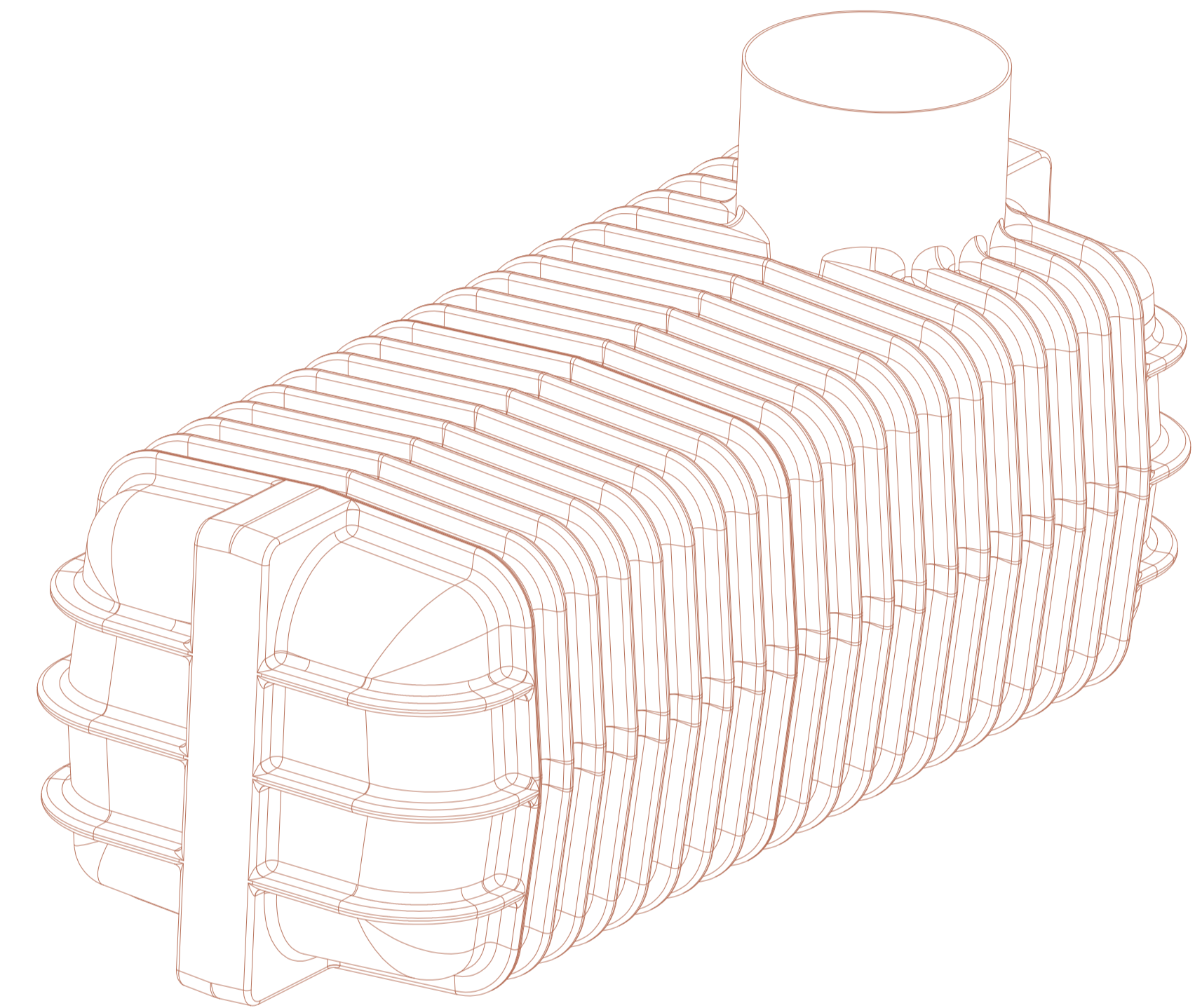
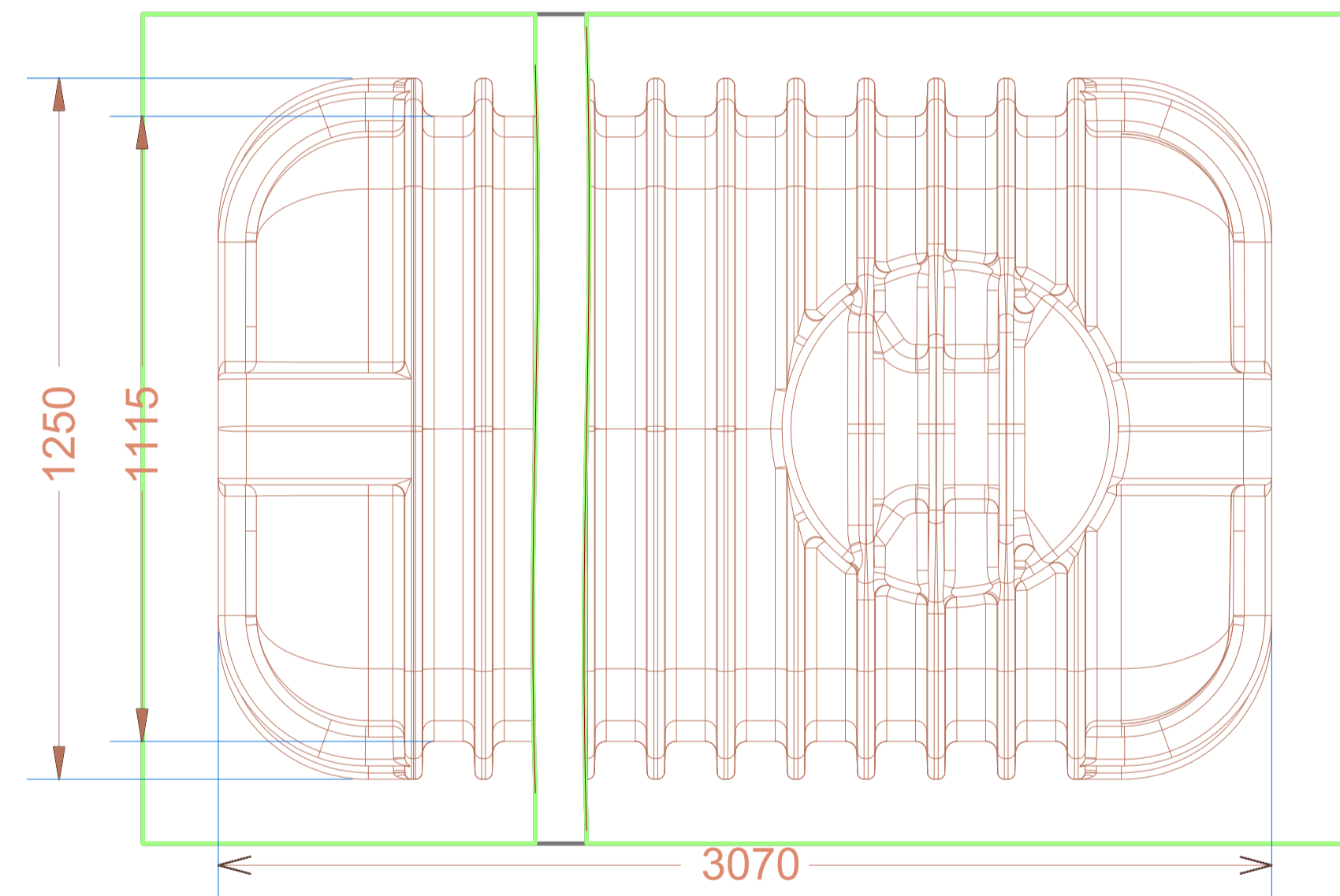
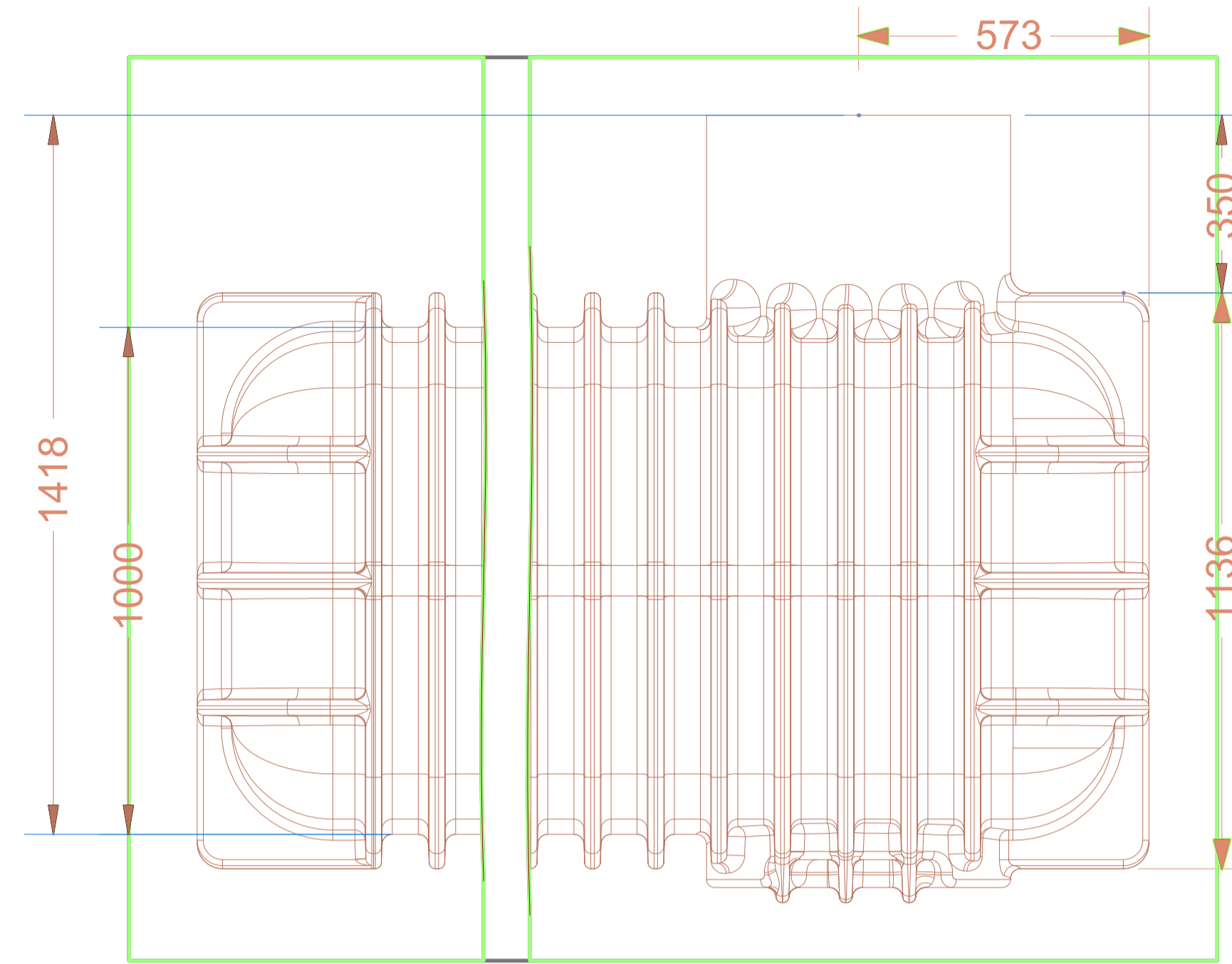
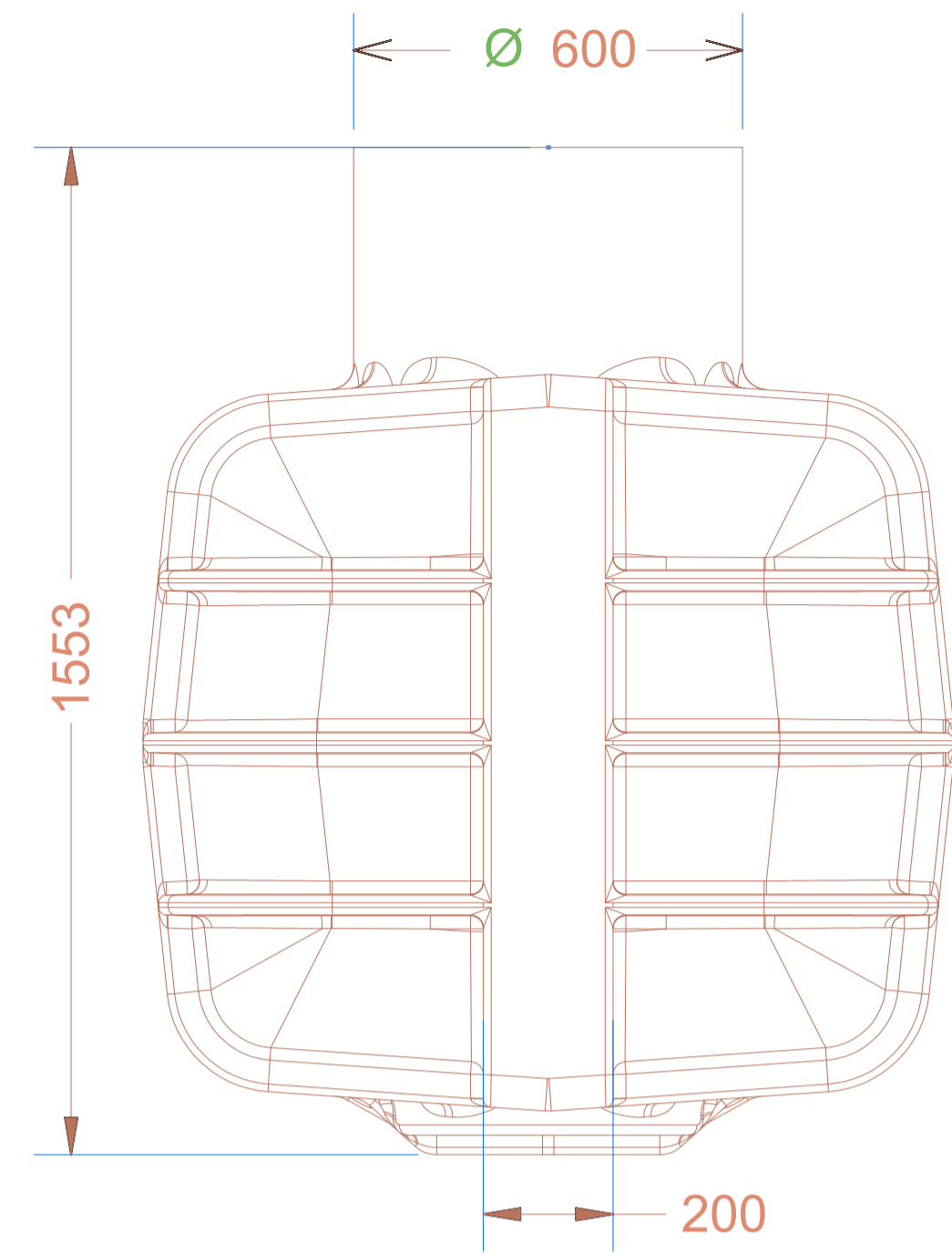
Auckland Office –
 Studio 9/106 Saint Georges Bay Road, Parnell
 Auckland 1023
 P / 027 699 0794 E / auckland@bgeeng.com
 bgeeng.com

BG & E
 PROJECT: 73a SIGNAL STATION ROAD
 0473, SIGNAL STATION RD, OMAPERE NZ

STATUS: ISSUED FOR CONSENT NOT TO BE USED FOR CONSTRUCTION			
DRAWN: NA	DESIGNED: SM	CHECKED: SM	APPROVED: SH
DATUR: AHD	GRID: GDA2020 MGA-56	SCALE: 1:50	AT A1 SIZE

TITLE: PROPOSED SITEWORKS AND DRAINAGE PLAN		REV: A
PROJECT No: NZ26110	DRAWING No: CI-0300	





<p>THIS DOCUMENT (AND THE INFORMATION SHOWN THEREON) IS CONFIDENTIAL AND PROPRIETARY AND SHALL NOT BE DISCLOSED TO OTHERS IN HARD COPY OR ELECTRONIC FORM. REPRODUCED BY ANY MEANS, OR USED FOR ANY PURPOSE WITHOUT WRITTEN CONSENT OF PROMAX PLASTICS LIMITED.</p>		UNLESS OTHERWISE SPECIFIED THE INFORMATION WITHIN THIS TITLE BLOCK SHALL APPLY		DES BY	A.P.	08 JUN 2021	
		-		DRAWN BY			
-		CHECK BY					
-		APPR BY	J.A.	08 JUN 2021			
DIMENSIONS ARE IN: MM UNSPECIFIED DIMS IN 3D * DIMENSIONS FOR REFERENCE		CAGE CODE		TITLE			
-		-		Promax Enduro Underground Tank - 3000L			
MATERIAL		-		SIZE	DWG NO	REV	
FINISH		-		A3	UE1003000	-	
		SCALE	1:18	MASS	UNSP	SHEET	1 OF 1

REV	DATE	DESCRIPTION	SH	RVD	REV	DATE	DESCRIPTION	RVD
A	15.05.2026	ISSUED FOR RESOURCE CONSENT	SH					

1:\026\PMEL ALBA\AUCKLAND\CI-0381_AU1310\DRAIN_UVE_URAT\IND\PROJECT FILES\NZ26110 - 73a_SDR100.2_DVE\LEAD\DRG\NZ26110-DWG-CI-0381.dwg
04/06/2026 10:53:06 am

CLIENT

Auckland Office –
Studio 9/106 Saint Georges Bay Road, Parnell
Auckland 1023
P / 027 699 0794 E / auckland@bgeeng.com
bgeeng.com

PROJECT

73a SIGNAL STATION ROAD
0473, SIGNAL STATION RD, OMAPERE NZ

STATUS

ISSUED FOR CONSENT
NOT TO BE USED FOR CONSTRUCTION

DRAWN	DESIGNED	CHECKED	APPROVED
NA	SM	SM	SH

DATUM: AHD
GRID: GDA2020
MGA-56
SCALE: NOT TO SCALE
AT: A1 SIZE

TITLE

DRAINAGE DETAILS
SHEET 2 OF 3

PROJECT No.	DRAWING No.	REV
NZ26110	CI-0381	A

Figure 8: Relationship of pipe trench to building foundation
Paragraph 5.6.1

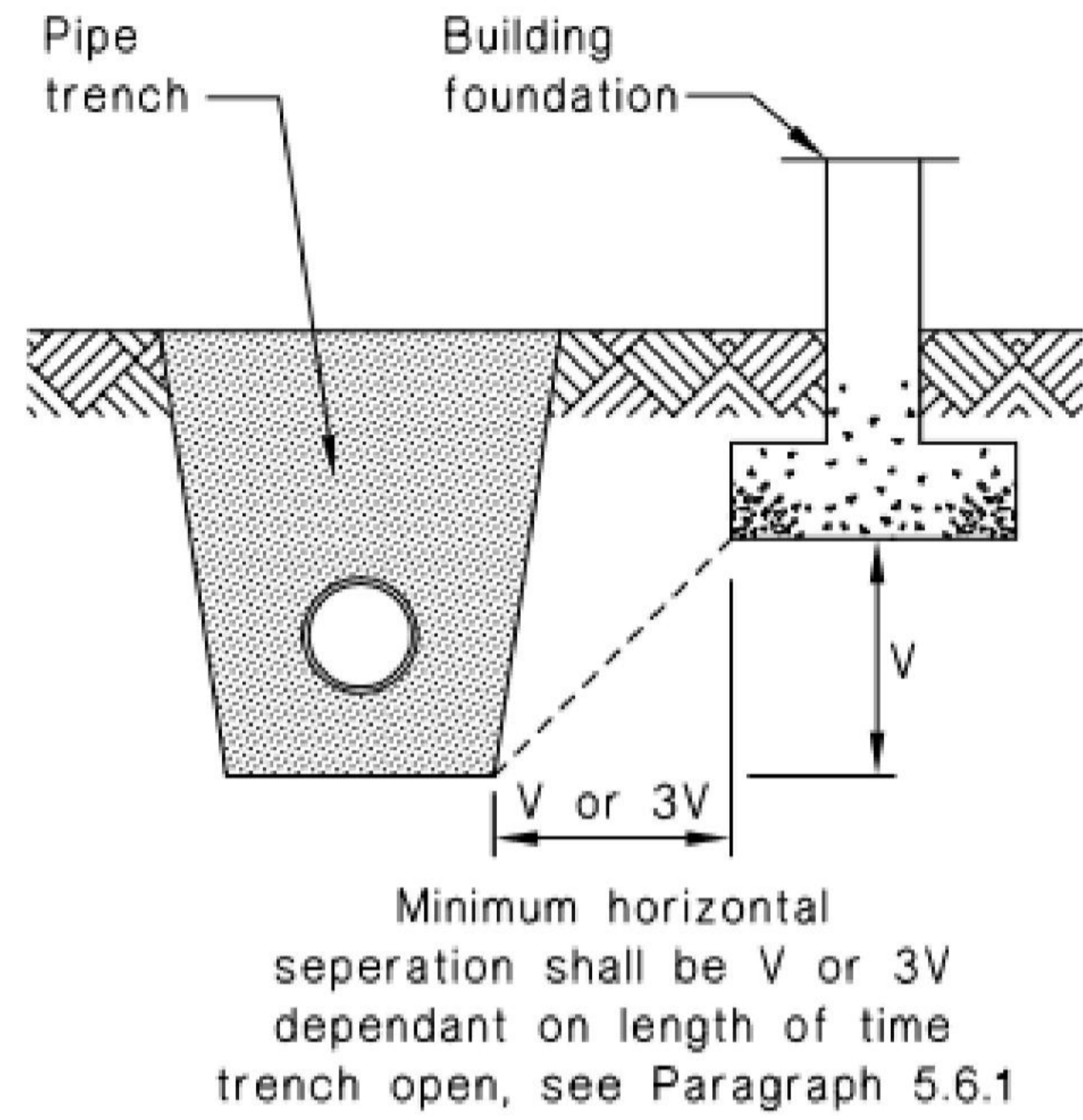


Figure 9: Inspection points
Paragraph 5.7.3

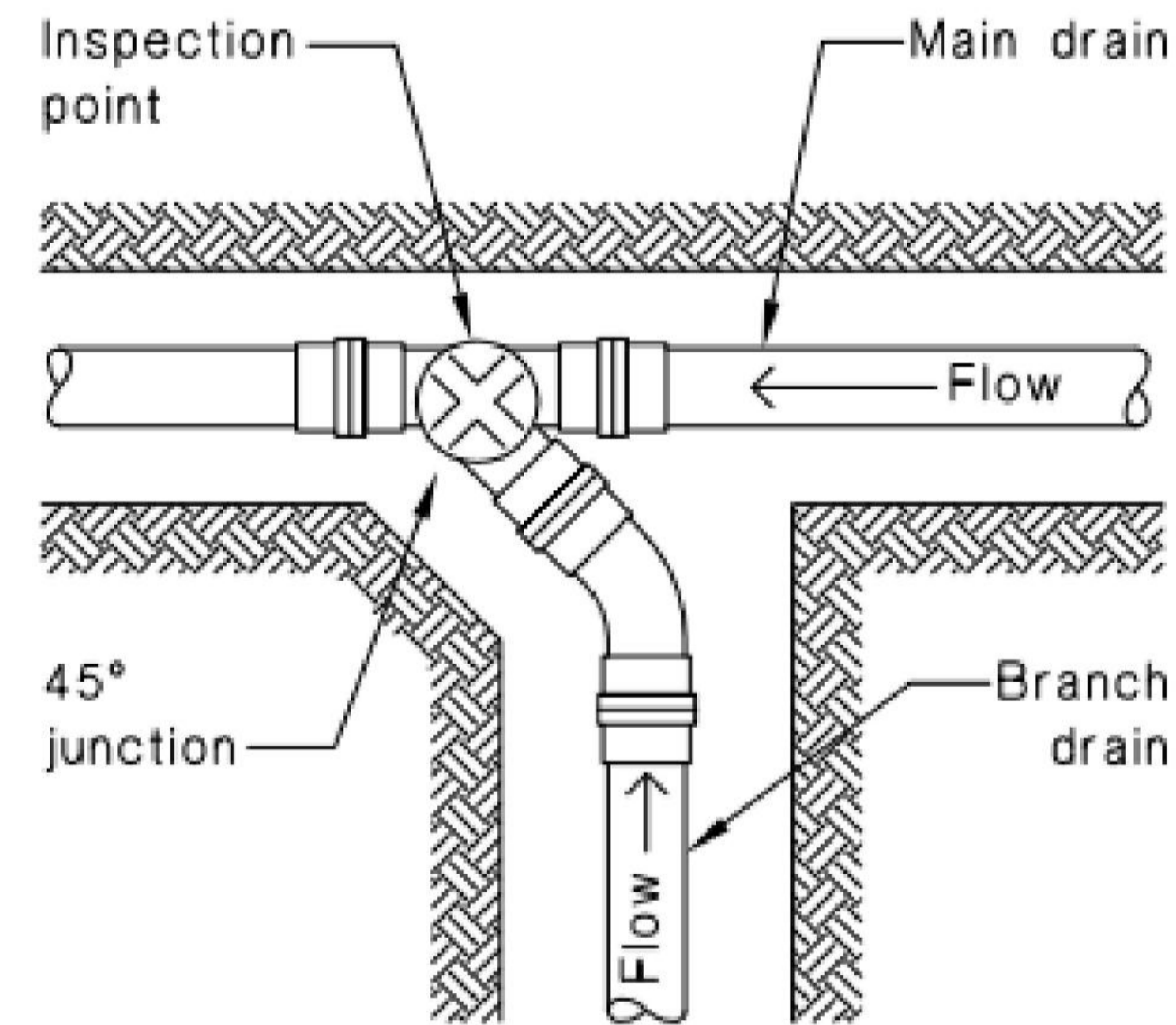
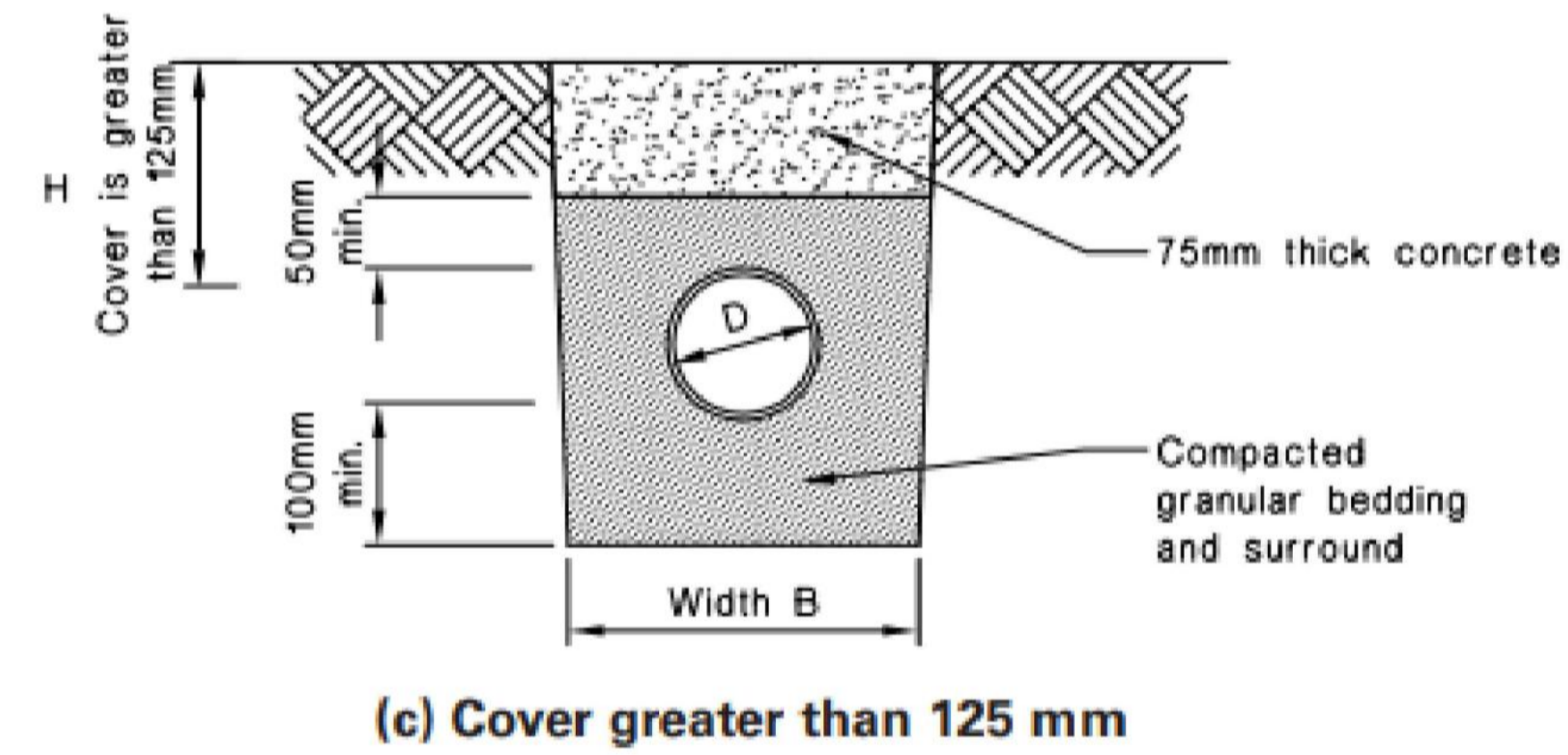
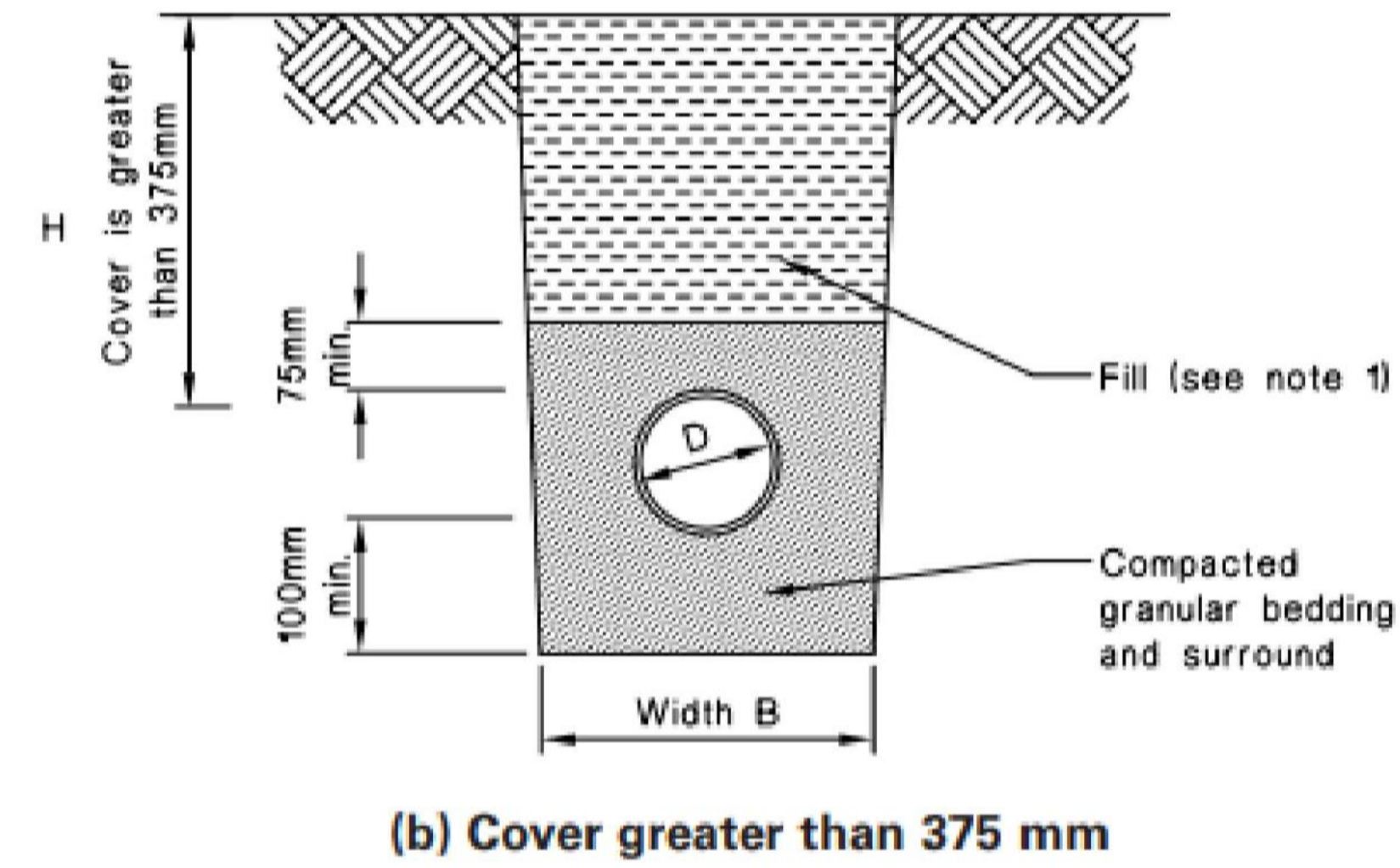
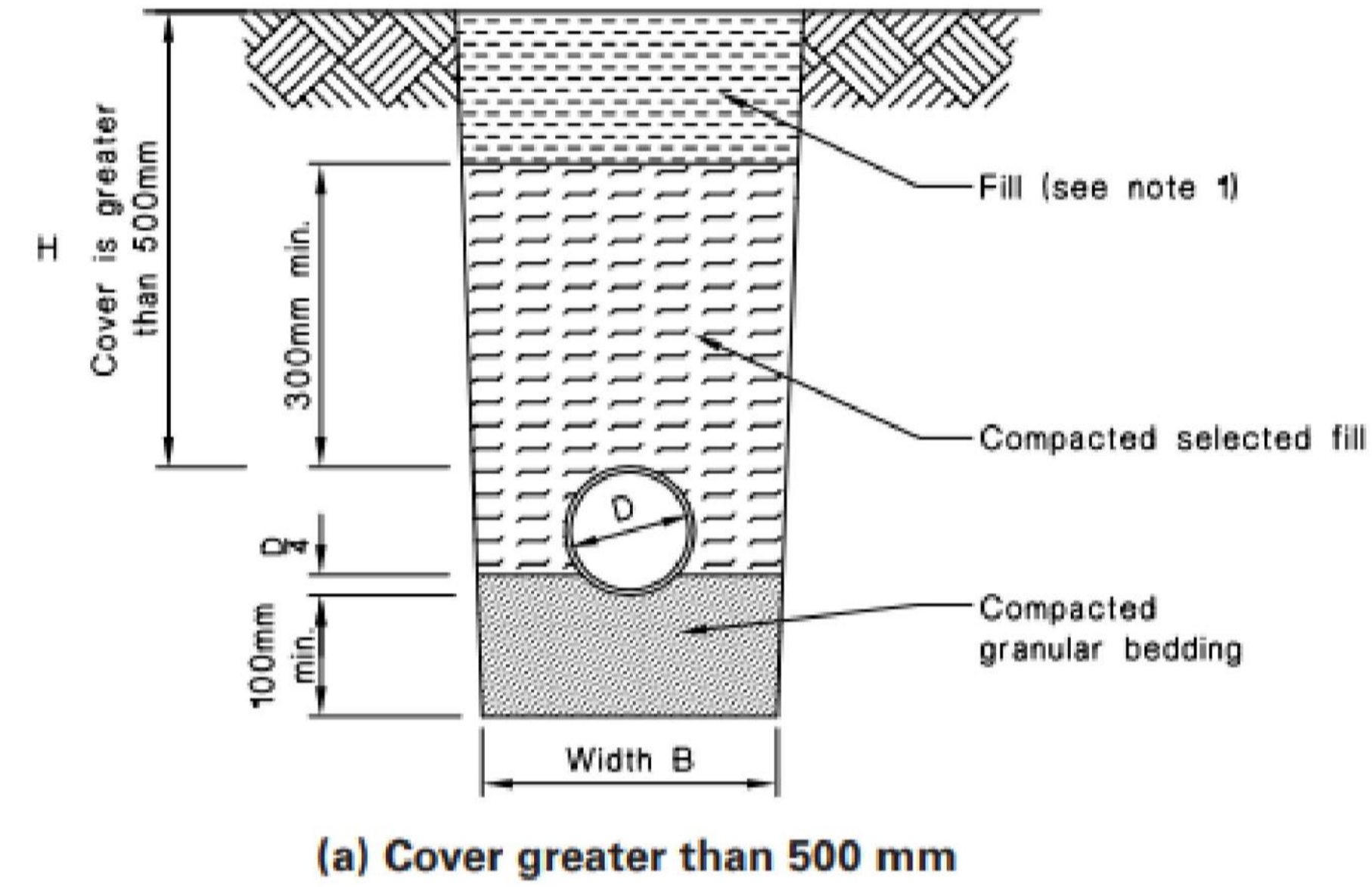
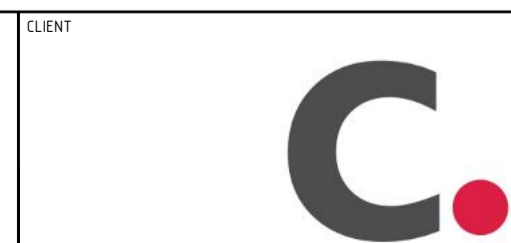


Figure 7: Bedding and backfilling
Paragraphs 2.1.1, 5.2.1, 5.3.1 and 5.4.1



NOTE:
1. Fill shall be:
-Ordinary fill where drains are located below gardens and open country.
-Compacted selected fill where the drains are located below residential driveways and similar areas subject to light traffic.

REV	DATE	DESCRIPTION	REVISIONS	RVD	REV	DATE	DESCRIPTION	REVISIONS	RVD
A	15.05.2026	ISSUED FOR RESOURCE CONSENT		SH					



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Auckland 1023
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bgeeng.com



PROJECT
73a SIGNAL STATION ROAD
0473, SIGNAL STATION RD, OMAPERE NZ

STATUS			
ISSUED FOR CONSENT NOT TO BE USED FOR CONSTRUCTION			
DRAWN	DESIGNED	CHECKED	APPROVED
NA	SM	SM	SH
DATUM	GRID	SCALE	
AHD	GDA2020 MGA-56	NOT TO SCALE	

TITLE
DRAINAGE DETAILS
SHEET 3 OF 3

PROJECT No.	DRAWING No.	REV
NZ26110	CI-0381	A

Alex Billot

From: Lisa Ahn <LAhn@heritage.org.nz>
Sent: Thursday, 14 May 2026 3:38 pm
To: Alex Billot
Cc: Stuart Bracey; James Robinson; Bill Edwards; Atareiria Heihei
Subject: RE: Request for comments - 73A Signal Station Road, Omapere - HNZPT Comments

Kia ora Alex,

Thank you for your email and for sharing the previous correspondence as these can sometimes be missed in our files.

This proposal has been discussed again with our Northland Area Office. We agree that the proposal will not require further assessment as the residential works within the residential section are already in place and are unlikely to disturb anything new and therefore ADP is sufficient.

Because of the number of archaeological sites in the area, any new subdivision or housing development will generate the need for a further on-site assessment.

Ngā mihi,
Lisa

From: Alex Billot <Alex@northplanner.co.nz>
Sent: Thursday, 14 May 2026 10:07 am
To: Lisa Ahn <LAhn@heritage.org.nz>
Subject: RE: Request for comments - 73A Signal Station Road, Omapere - HNZPT Comments

Kia ora Lisa,

Thanks for your prompt response on this one.

It is noted that during construction of the dwelling and shed on the site, there was not a requirement for an updated archaeological assessment. An ADP was recommended during the resource consent process for the shed which was approved in 2019. The dwelling was constructed in the early 2000s. Both the shed and dwelling required resource consent and building consent. I have copied a snip from the Planners Report for the resource consent for the shed which advised an ADP was recommended and have also attached the previous email correspondence had as part of the resource consent for the shed.

The application was sent to Iwi, DOC, Community Board (Kaikohe-Hokianga) and Heritage New Zealand. Snow Tane from Te Roroa Iwi is satisfied that the proposal will not be an archaeological assessment. "However in the event of an archaeological find, HNZ accidental discovery protocols need to be activated and Te Roroa notified as soon as possible". Sheena Ross who is a kaikorero of Ngati Korokoro Hapu believes there will be "no detrimental affect to fauna flora of Nga Hapu Ngati Korokoro Rohe". Mike

2190493-RMALUC

Ian Farley

73A Signal Station Road, Omapere 0473

Page 8 of 11

Butler from Heritage New Zealand has recommended the Accidental Discovery Protocol (ADP) be placed on the consent. This will be adopted as an advice note.

Can you please advise if the above would satisfy the recommendation of an ADP?

Thanks very much for your time.

Kind regards,



Alex Billot

Resource Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866

Northland Planning & Development 2020
Limited

*My office hours are Monday, Tuesday,
Thursday & Friday 9am – 2pm.*

From: Lisa Ahn <LAhn@heritage.org.nz>

Sent: Wednesday, 13 May 2026 2:21 pm

To: Alex Billot <Alex@northplanner.co.nz>

Cc: Stuart Bracey <SBracey@heritage.org.nz>; Bill Edwards <BEwards@heritage.org.nz>; James Robinson <jrobinson@heritage.org.nz>; Atareiria Heihei <AHeihei@heritage.org.nz>

Subject: RE: Request for comments - 73A Signal Station Road, Omapere - HNZPT Comments

Kia ora Alex,

Thank you for the opportunity to comment on this proposal.

HNZPT has reviewed the documents provided. The archaeological assessment is from 1998 and so we recommend an updated archaeological assessment.

Ngā mihi,
Lisa

Lisa Ahn | Planner/Kaiwhakamāhere – Northern Region

Heritage New Zealand Pouhere Taonga

L10 SAP Tower 151 Queen Street Auckland CBD | Private Box 105 291, Auckland City 1143 | DDI: (07) 577 4535 | Ph: 027 267 3197 | visit www.heritage.org.nz and learn more about NZ's heritage places.

Tairangahia a tua whakarere; Tatakihia nga reanga o amuri ake nei – Honouring the past; Inspiring the future

This communication may be a privileged communication. If you are not the intended recipient, then you are not authorised to retain, copy or distribute it. Please notify the sender and delete the message in its entirety.

From: Alex Billot <Alex@northplanner.co.nz>

Sent: Monday, 11 May 2026 1:30 pm

To: Stuart Bracey <SBracey@heritage.org.nz>

Subject: Request for comments - 73A Signal Station Road, Omapere

Kia ora Stuart,

We are in the process of preparing a land use resource consent application for a new pavilion at 73A Signal Station Road, Omapere.

The proposal includes construction of a 70m² pavilion (entertainment room), with an observation deck located on top. The plan set is attached for your reference. The pavilion is to be located in the cleared area to the northwest of the dwelling (see aerial image below).

The site includes an existing dwelling and standalone shed.



Given the number of recorded archaeological sites in the area, can you please provide comments on behalf of HNZPT.

I note there was an archaeological assessment commissioned as part of the original subdivision which created the site. This was completed by Archaeology North and dated 1998. I have attached this assessment to this report, just in case it is of use.

Please let me know if there is anything further you need in regards to this proposal.

Thanks in advance.

Kind regards,



Alex Billot

Resource Planner

Offices in Kaitaia & Kerikeri

☎ 09 408 1866

Northland Planning & Development 2020
Limited

*My office hours are Monday, Tuesday,
Thursday & Friday 9am – 2pm.*



NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:	HALLAND HOLDINGS
Address of proposed activity:	73A SIGNAL STATION RD, OMAREPA
Legal description:	LOT 1 DP 204637
Description of the proposal (including why you need resource consent):	ERECTION OF A SMALL BUILDING (NON-SLEEPING) FOR ENTERTAINMENT PURPOSES WITHIN THE BUILDING LINE RESTRICTIONS AND EXCEEDING HEIGHT + SITE COVER ALLOWANCES.
Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):	<ol style="list-style-type: none"> 1. SITE PLAN - PAVILION OPTION A, SH 1, 13/4/26 2. FLOOR PLAN A - " " , SH 2, 13/4/26 3. ELEVATIONS - " " , SH 3, 13/4/26 4. ARTIST'S RENDERING - " " , SH 4, 13/4/26 5. _____ 6. _____

Notes to Applicant:

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

Notes to the party giving written approval:

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval:

JOHN KLARICICH

Address of affected property including legal description

73A SIGN L STATION RD GNAPERU
LOT 1 DP264637

Contact Phone Number/s and email address

Daytime: 0211128581
096058751

email:

kilajohuk@gmail.com

I am/we are the OWNER(S) OCCUPIER(S) of the property (circle which is applicable)

Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature

John Klaricich

Date

28 APRIL 2020

Signature

Date

Signature

Date

Signature

Date



S44.

ARTISTS RENDERING / PROPOSED AT
73A - PAVILION ADDITION. 13/4/26.

Operative Far North District Plan – Objectives and Policies

Coastal Environment	
Objectives	
10.3.1	<i>To manage coastal areas in a manner that avoids adverse effects from subdivision, use and development. Where it is not practicable to avoid adverse effects from subdivision use or development, but it is appropriate for the development to proceed, adverse effects of subdivision use or development should be remedied or mitigated.</i>
10.3.2	<i>To preserve and, where appropriate in relation to other objectives, to restore, rehabilitate protect, or enhance:</i> <i>(a) the natural character of the coastline and coastal environment;</i> <i>(b) areas of significant indigenous vegetation and significant habitats of indigenous fauna;</i> <i>(c) outstanding landscapes and natural features;</i> <i>(d) the open space and amenity values of the coastal environment;</i> <i>(e) water quality and soil conservation (insofar as it is within the jurisdiction of the Council).</i>
10.3.3	<i>To engage effectively with Maori to ensure that their relationship with their culture and traditions and taonga is identified, recognised, and provided for.</i>
10.3.4	<i>To maintain and enhance public access to and along the coast whilst ensuring that such access does not adversely affect the natural and physical resources of the coastal environment, including Maori cultural values, and public health and safety.</i>
10.3.5	<i>To secure future public access to and along the coast, lakes and rivers (including access for Maori) through the development process and specifically in accordance with the Esplanade Priority Areas mapped in the District Plan.</i>
10.3.6	<i>To minimise adverse effects from activities in the coastal environment that cross the coastal marine area boundary.</i>
10.3.7	<i>To avoid, remedy or mitigate adverse effects on the environment through the provision of adequate land-based services for mooring areas, boat ramps and other marine facilities.</i>

10.3.8	<i>To ensure provision of sufficient water storage to meet the needs of coastal communities all year round.</i>
10.3.9	<i>To facilitate the sustainable management of natural and physical resources in an integrated way to achieve superior outcomes to more traditional forms of subdivision, use and development through management plans and integrated development.</i>
Policies	
10.4.1	<p><i>That the Council only allows appropriate subdivision, use and development in the coastal environment. Appropriate subdivision, use and development is that where the activity generally:</i></p> <ul style="list-style-type: none"> <i>(a) recognises and provides for those features and elements that contribute to the natural character of an area that may require preservation, restoration or enhancement; and</i> <i>(b) is in a location and of a scale and design that minimises adverse effects on the natural character of the coastal environment; and</i> <i>(c) has adequate services provided in a manner that minimises adverse effects on the coastal environment and does not adversely affect the safety and efficiency of the roading network; and</i> <i>(d) avoids, as far as is practicable, adverse effects which are more than minor on heritage features, outstanding landscapes, cultural values, significant indigenous vegetation and significant habitats of indigenous fauna, amenity values of public land and waters and the natural functions and systems of the coastal environment; and</i> <i>(e) promotes the protection, and where appropriate restoration and enhancement, of areas of significant indigenous vegetation and significant habitats of indigenous fauna; and</i> <i>(f) recognises and provides for the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga; and</i> <i>(g) where appropriate, provides for and, where possible, enhances public access to and along the coastal marine area; and</i>

	<i>(h) gives effect to the New Zealand Coastal Policy Statement and the Regional Policy Statement for Northland.</i>
10.4.2	<i>That sprawling or sporadic subdivision and development in the coastal environment be avoided through the consolidation of subdivision and development as far as practicable, within or adjoining built up areas, to the extent that this is consistent with the other objectives and policies of the Plan.</i>
10.4.3	<i>That the ecological values of significant coastal indigenous vegetation and significant habitats are maintained in any subdivision, use or development in the coastal environment.</i>
10.4.4	<i>That public access to and along the coast be provided, where it is compatible with the preservation of the natural character and amenity, cultural, heritage and spiritual values of the coastal environment, and avoids adverse effects in erosion prone areas.</i>
10.4.5	<i>That access by tangata whenua to ancestral lands, sites of significance to Maori, maahinga mataitai, taiapure and kaimoana areas in the coastal marine area be provided for in the development and ongoing management of subdivision and land use proposals and in the development and administration of the rules of the Plan and by non-regulatory methods. Refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)".</i>
10.4.6	<i>That activities and innovative development including subdivision, which provide superior outcomes and which permanently protect, rehabilitate and/or enhance the natural character of the coastal environment, particularly through the establishment and ongoing management of indigenous coastal vegetation and habitats, will be encouraged by the Council.</i>
10.4.7	<i>To ensure the adverse effects of land-based activities associated with maritime facilities including mooring areas and boat ramps are avoided, remedied or mitigated through the provision of adequate services, including where appropriate:</i> <i>(a) parking;</i> <i>(b) rubbish disposal;</i> <i>(c) waste disposal;</i> <i>(d) dinghy racks.</i>

10.4.8	That development avoids, remedies or mitigates adverse effects on the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga.
10.4.9	<i>That development avoids, where practicable, areas where natural hazards could adversely affect that development and/or could pose a risk to the health and safety of people.</i>
10.4.10	<i>To take into account the need for a year-round water supply, whether this involves reticulation or on-site storage, when considering applications for subdivision, use and development.</i>
10.4.11	<i>To promote land use practices that minimise erosion and sediment run-off, and storm water and waste water from catchments that have the potential to enter the coastal marine area.</i>
10.4.12	<p><i>That the adverse effects of development on the natural character and amenity values of the coastal environment will be minimised through:</i></p> <ul style="list-style-type: none"> <i>(a) the siting of buildings relative to the skyline, ridges, headlands and natural features;</i> <i>(b) the number of buildings and intensity of development;</i> <i>(c) the colour and reflectivity of buildings;</i> <i>(d) the landscaping (including planting) of the site;</i> <i>(e) the location and design of vehicle access, manoeuvring and parking areas</i>

Coastal Living Zone	
Objectives	
10.7.3.1	<i>To provide for the well being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.</i>
10.7.3.2	<i>To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.</i>
Policies	
10.7.4.1	<i>That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.</i>
10.7.4.2	<i>That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.</i>
10.7.4.3	<p><i>Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:</i></p> <ul style="list-style-type: none"> <i>(a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;</i> <i>(b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;</i> <i>(c) providing for, through siting of buildings and development and design of subdivisions, legal public right of access to and use of the foreshore and any esplanade areas;</i> <i>(d) through siting of buildings and development, design of subdivisions, and provision of access that recognise and provide for the relationship of Maori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Maori culture makes to the character of the District (refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)");</i> <i>(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;</i> <i>(f) protecting historic heritage through the siting of buildings and development and design of subdivisions.</i>

Proposed District Plan

Part 3 – Rural Lifestyle Zone	
Objectives	
RLOZ-O1	<i>The Rural Lifestyle zone is used predominantly for low density <u>residential activities</u> and small scale <u>farming</u> activities that are compatible with the rural character and amenity of the zone.</i>
RLOZ-O2	<i>The predominant character and amenity of the Rural Lifestyle zone is characterised by:</i> <ul style="list-style-type: none"> <i>a. low density <u>residential activities</u>;</i> <i>b. small scale <u>farming</u> activities with limited <u>buildings</u> and <u>structures</u>;</i> <i>c. smaller <u>lot</u> sizes than anticipated in the Rural Production Zone;</i> <i>d. a general absence of urban <u>infrastructure</u>;</i> <i>e. rural <u>roads</u> with low traffic volumes;</i> <i>f. areas of vegetation, natural features and open space.</i>
RLOZ-O3	<i>The role, function and predominant character and amenity of the Rural Lifestyle zone is not compromised by incompatible activities.</i>
RLOZ-O4	<i>Land use and <u>subdivision</u> in the Rural Lifestyle zone does not compromise the effective and efficient operation of <u>primary production</u> activities in the adjacent Rural Production zones.</i>
Policies	
RLZ-P1	<i>Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Lifestyle zone, while ensuring their design, scale and intensity is appropriate to manage adverse <u>effects</u> in the zone, including:</i> <ul style="list-style-type: none"> <i>a. low density <u>residential activities</u>;</i> <i>b. small scale <u>farming</u> activities;</i> <i>c. <u>home business</u> activities;</i> <i>d. <u>visitor accommodation</u>; and</i> <i>e. small scale education facilities.</i>
RLZ-P2	<i>Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Lifestyle zone because they are:</i> <ul style="list-style-type: none"> <i>a. contrary to the density anticipated for the Rural Lifestyle zone;</i>

	<ul style="list-style-type: none"> b. <i>predominantly of an urban form or character;</i> c. <i><u>primary production</u> activities, such as <u>intensive indoor primary production</u>, that generate adverse amenity <u>effects</u> that are incompatible with rural lifestyle living; or</i> d. <i>commercial, <u>rural industry</u> or <u>industrial activities</u> that are more appropriately located in a Settlement zone or an urban zone.</i>
RLZ-P3	<i>Avoid where possible, or otherwise mitigate, reverse sensitivity <u>effects</u> from sensitive and other non-productive activities on <u>primary production</u> activities in the adjacent Rural Production zone.</i>
RLZ-P4	<p><i>Manage land use and <u>subdivision</u> to address the <u>effects</u> of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</i></p> <ul style="list-style-type: none"> a. <i>consistency with the scale and character of the rural lifestyle <u>environment</u>;</i> b. <i>location, scale and design of <u>buildings</u> or <u>structures</u>;</i> c. <i>at zone interfaces:</i> <ul style="list-style-type: none"> i. <i>any <u>setbacks</u>, fencing, screening or <u>landscaping</u> required to address potential conflicts;</i> ii. <i>the extent to which adverse <u>effects</u> on adjoining or surrounding <u>sites</u> are mitigated and internalised within the <u>site</u> as far as practicable;</i> d. <i>the capacity of the <u>site</u> to cater for on-site <u>infrastructure</u> associated with the proposed activity;</i> e. <i>the adequacy of roading <u>infrastructure</u> to service the proposed activity;</i> f. <i>managing <u>natural hazards</u>;</i> g. <i>any adverse <u>effects</u> on <u>historic heritage</u> and cultural values, natural features and landscapes or indigenous biodiversity; and</i> h. <i>any historical, spiritual, or cultural association held by <u>tangata whenua</u>, with regard to the matters set out in Policy TW-P6.</i>
Part 2 – Coastal Environment	
Objectives	
CE-O1	<i>The natural character of the <u>coastal environment</u> is identified and managed to ensure its long-term preservation and protection for current and future generations.</i>
CE-O2	<p><i>Land use and <u>subdivision</u> in the <u>coastal environment</u>:</i></p> <ul style="list-style-type: none"> a. <i>preserves the characteristics and qualities of the natural character of the <u>coastal environment</u>;</i> b. <i>is consistent with the surrounding land use;</i>

	<ul style="list-style-type: none"> c. does not result in urban sprawl occurring outside of urban zones; d. promotes restoration and enhancement of the natural character of the <u>coastal environment</u>; and e. recognises <u>tangata whenua</u> needs for ancestral use of <u>whenua</u> Māori.
CE-O3	<i>Land use and subdivision in the coastal environment within urban zones is of a scale that is consistent with existing built development.</i>
Policies	
CE-P1	<i>Identify the extent of the <u>coastal environment</u> as well as areas of high and outstanding natural character using the assessment criteria in <u>APP1- Mapping methods and criteria</u>.</i>
CE-P2	<p><i>Avoid adverse <u>effects</u> of land use and <u>subdivision</u> on the characteristics and qualities of the <u>coastal environment</u> identified as:</i></p> <ul style="list-style-type: none"> a. <i>outstanding natural character;</i> b. <i><u>ONL</u>;</i> c. <i><u>ONF</u>.</i>
CE-P3	<p><i>Avoid significant adverse <u>effects</u> and avoid, remedy or mitigate other adverse <u>effects</u> of land use and <u>subdivision</u> on the characteristics and qualities of the <u>coastal environment</u> not identified as:</i></p> <ul style="list-style-type: none"> a. <i>outstanding natural character;</i> b. <i><u>ONL</u>;</i> c. <i><u>ONF</u>.</i>
CE-P4	<p><i>Preserve the visual qualities, character and integrity of the coastal environment by:</i></p> <ul style="list-style-type: none"> a. <i>consolidating land use and subdivision around existing urban centres and rural settlements; and</i> b. <i>avoiding sprawl or sporadic patterns of development.</i>
CE-P5	<p><i>Enable land use and <u>subdivision</u> in urban zones within the <u>coastal environment</u> where:</i></p> <ul style="list-style-type: none"> a. <i>there is adequacy and capacity of available or programmed <u>development infrastructure</u>; and</i> b. <i>the use is consistent with, and does not compromise the characteristics and qualities</i>
CE-P6	<p><i>Enable farming activities within the coastal environment where:</i></p> <ul style="list-style-type: none"> a. <i>the use forms part of the values that established the natural character of the coastal environment; or</i>

	<p><i>b. the use is consistent with, and does not compromise the characteristics and qualities.</i></p>
CE-P7	<p><i>Provide for the use of Māori Purpose zoned land and Treaty Settlement land in the coastal environment where:</i></p> <p><i>a. the use is consistent with the ancestral use of that land; and</i></p> <p><i>b. the use does not compromise any identified characteristics and qualities.</i></p>
CE-P8	<p><i>Encourage the restoration and enhancement of the natural character of the coastal environment.</i></p>
CE-P9	<p><i>Prohibit land use and subdivision that would result in any loss and/or destruction of the characteristics and qualities in outstanding natural character areas.</i></p>
CE-P10	<p><i>Manage land use and subdivision to preserve and protect the natural character of the coastal environment, and to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:</i></p> <p><i>a. the presence or absence of buildings, structures or infrastructure;</i></p> <p><i>b. the temporary or permanent nature of any adverse effects;</i></p> <p><i>c. the location, scale and design of any proposed development;</i></p> <p><i>d. any means of integrating the building, structure or activity;</i></p> <p><i>e. the ability of the environment to absorb change;</i></p> <p><i>f. the need for and location of earthworks or vegetation clearance;</i></p> <p><i>g. the operational or functional need of any regionally significant infrastructure to be sited in the particular location;</i></p> <p><i>h. any viable alternative locations for the activity or development;</i></p> <p><i>i. any historical, spiritual or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;</i></p> <p><i>j. the likelihood of the activity exacerbating natural hazards;</i></p> <p><i>k. the opportunity to enhance public access and recreation;</i></p> <p><i>l. the ability to improve the overall quality of coastal waters; and</i></p> <p><i>m. any positive contribution the development has on the characteristics and qualities.</i></p>