

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

2. Type of consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| ☐ Land Use | ☐ Discharge |
| ☐ Fast Track Land Use* | ☐ Change of Consent Notice (s.221(3)) |
| ☐ Subdivision | ☐ Extension of time (s.125) |
| ☐ Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| ☐ Other (please specify) _____ | |

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have
you consulted with?

Who else have you
consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:	Mane Tahere	
Email:		
Phone number:	Work	Home
Postal address: (or alternative method of service under section 352 of the act)	696 Remuera Settlement Road Kaikohe Postcode 472	

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:	Nina Pivac C/- Logiplan Limited	
Email:		
Phone number:	Work	Home
Postal address: (or alternative method of service under section 352 of the act)	50-64 Commerce Street Kaitaia 0410 Postcode 472	

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:	Mane & Anya Tahere	
Property address/ location:	696 Remuera Settlement Road Kaikohe Postcode	

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☐ No

Is there a dog on the property? ☐ Yes ☐ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☐ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☐ Yes ☐ No ☐ Don't know

☐ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Email:

Phone number:

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Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Mane Tahere

Signature:

(signature of bill payer)

[Redacted Signature]

Date 22-Oct-2025

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Nina Pivac

Signature

[Redacted Signature]

Date 22/10/25

A signature is not required if the application is made by electronic means

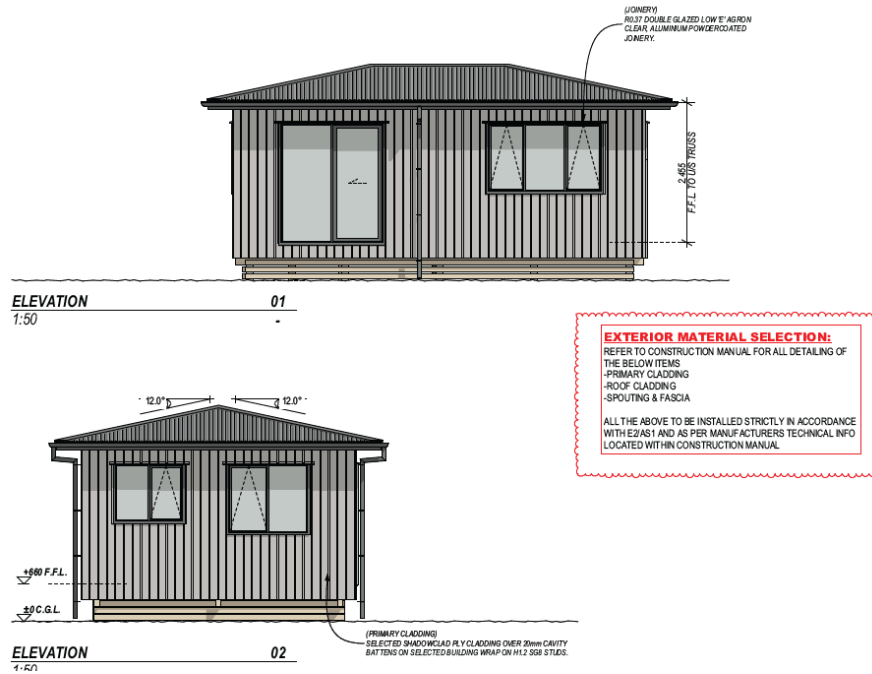
See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



LANDUSE RESOURCE CONSENT APPLICATION

MINOR RESIDENTIAL DWELLING IN RURAL PRODUCTION ZONE

696 REMUERA SETTLEMENT ROAD KAIKOHE
TARAIRE 2B2C1 BLOCK

ASSESSMENT OF ENVIRONMENTAL EFFECTS

PREPARED FOR:
MANE TAHERE

22 October 2025
REV A

Table of Contents

1.0	THE APPLICANT AND PROPERTY DETAILS	2
2.0	PROPOSAL.....	3
3.0	SITE CONTEXT	3
4.0	DISTRICT PLAN RULES ASSESSMENT	4
5.0	ASSESSMENT OF ENVIRONMENTAL EFFECTS	6
6.0	STATUTORY CONSIDERATIONS	6
7.0	NOTIFICATION	8
8.0	OVERALL CONCLUSION	9

Appendices:

Appendix A – Site, Floor and Elevation Plans

Appendix B – Certificate of Title

Appendix C – Approved Form 4 letter

Appendix D – Site Suitability Report

1.0 THE APPLICANT AND PROPERTY DETAILS

To:	Far North District Council
Site address:	696 Remuera Settlement Road, Kaikohe
Applicant's name:	Mane Tahere
Address for service:	Logiplan Limited Attn: Nina Pivac 50-64 Commerce Street Kaitaia 0410
Legal description:	Taraire 2B2C1 Block
Site owner:	Anya Lisa Tahere Mane Grant Tahere
Operative District Plan:	Far North District Plan
Operative zoning:	Rural Production Zone
Overlays/resource areas:	Nil
Proposed District Plan:	Rural Production Zone
Proposed overlays/resource areas:	Nil
Brief description of proposal:	To construct a minor dwelling in the Rural Production Zone.
Summary of reasons for consent:	Overall, resource consent is required as a Controlled Activity .

We attach an assessment of environmental effects that corresponds with the scale and significance of the effects that the proposed activity may have on the environment.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

2.0 PROPOSAL

The applicant, Mane Tahere, proposes to construct a minor residential unit as a Controlled Activity. Resource consent is required under *Rule 8.6.5.2.3 Minor Residential Unit*.

With a floor area of 34.56m², and being located within the same Certificate of Title as the principal dwelling, the proposed building is able to meet the following definition of 'Minor Residential Unit' as provided in the Operative District Plan:

- (i) is not more than 65m² GFA, plus an attached garage or carport with GFA not exceeding 18m² (for the purpose of vehicle storage, general storage and laundry facilities).
- (ii) The garage area shall not be used for living accommodation; is subsidiary to the principal dwelling on the site; and,
- (iii) is located and retained within the same Certificate of Title as the principal dwelling on the site.

The subject site is located at 696 Remuera Settlement Road, Kaikohe and is located within the Rural Production Zone. The site is legally described as Taraire 2B2C1 Block with a land area of 8094m².

Overall, the proposal is a Controlled Activity under the Operative District Plan.

This application has been prepared in response to a Form 4 Letter issued by Council on 11 September 2025 in relation to EBC-2026-192/0. It should be noted that while the Form 4 letter identifies a rule breach in 8.6.5.1.1 Residential Intensity, this rule is not relevant to the application as the proposal is able to meet the Controlled Activity standards provided for under *Rule 8.6.5.2.3 Minor Residential Unit*.

The following Assessment of Environmental Effects (AEE) has been prepared in accordance with the requirements of Section 88 of and Schedule 4 of the Resource Management Act 1991 (the Act) and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual or potential effects the proposal may have on the environment.

3.0 SITE CONTEXT

The subject site is located at 696 Remuera Settlement Road, Kaikohe and is legally described as Taraire 2B2C1 Block with a land area of 8094m².

A copy of the relevant Certificates of Title (CT) is attached as **Appendix B**.

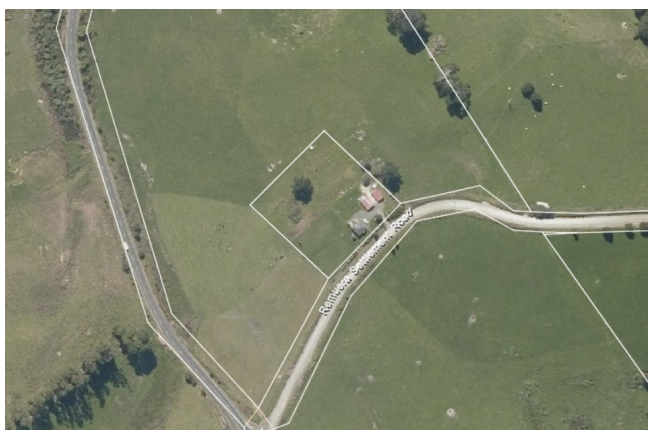


Figure 1: Map showing subject site and surrounds (Premise)

Under both the ODP and PDP, the subject site is located within the Rural Production Zone, and is not subject to any resource overlays.

The site does not contain any resource overlays, heritage resources, significant areas of indigenous vegetation or habitats of indigenous fauna.

In terms of existing built development, the subject site contains an existing dwelling, associated on site services, and sheds as per previous Council approvals. The use of the site will remain unchanged.

The subject site is accessed via an existing vehicle crossing off Remuera Settlement Road which has been formed to an adequate standard. It is considered that no upgrades are necessary in this instance.

4.0 DISTRICT PLAN RULES ASSESSMENT

LANDUSE:

An assessment of all relevant landuse provisions has been undertaken where they relate to existing and proposed built development on the subject site:

Rural Production Zone	Permitted/Relevant Standards	Compliance
Rule 8.6.5.1.1 Residential Intensity	One unit per 12ha of land is permitted, or one unit per site.	The proposal will result in a minor residential unit which is provided for as a Controlled Activity under Rule 8.6.5.2.3 <i>Minor Residential Unit</i> . Permitted Activity
Rule 8.6.5.1.2 Sunlight	2m + 45-degree recession plane	All existing and proposed development is able to comply with the relevant HIRB rules. Permitted Activity
Rule 8.6.5.1.3 Stormwater Management	The maximum proportion of the gross site area covered by buildings and other impermeable surfaces shall be 15%.	Total impermeable surfaces within the subject site equates to 8.35% which falls well within the permitted threshold.

Rural Production Zone	Permitted/Relevant Standards	Compliance
		Permitted Activity
Rule 8.6.5.1.4 Setback from Boundaries	10m from any site boundary	As per the site plan, all existing and proposed built structures will be at least 10m from all boundaries. Permitted Activity
Rule 8.6.5.1.5 Transportation	Refer to Chapter 15 – Transportation for Traffic, Parking and Access	As concluded in the site suitability report, the existing vehicle crossing and internal accessway has been formed to an adequate standard. Permitted Activity
Rule 8.6.5.1.8 Building Height	The maximum height of any building shall be 12m.	The proposed building will be less than 12m in height. Permitted Activity
Rule 8.6.5.1.10 Building Coverage	Any new building or alteration/addition to an existing building is a permitted activity if the total Building Coverage of a site does not exceed 12.5% of the gross site area.	Total building coverage within the subject site equates to 4.62% which falls well within the permitted threshold. Permitted Activity
Rule 8.6.5.2.3 Minor Residential Unit	Minor residential units are a controlled activity in the zone provided that: (a) there is no more than one minor residential unit per site; (b) the site has a minimum net site area of 5000m ² (c) the minor residential unit shares vehicle access with the principal dwelling; (d) the separation distance of the minor residential unit is no greater than 30m from the principal dwelling.	The proposal will result in a primary dwelling, and one minor residential unit on the site. The total land area is 8093m ² . Primary access will be shared with the minor residential unit. The proposed building will be located 30m from the principal dwelling. Controlled Activity

Overall, the proposal requires resource consent as a **Controlled Activity** under the Far North District Plan.

5.0 ASSESSMENT OF ENVIRONMENTAL EFFECTS

In considering an application under this provision, the Council will restrict the exercise of its control to the following matters:

Criteria	Comment
(i) the extent of the separation between the principal dwelling and the minor residential unit;	The proposed minor residential unit will be located at a maximum distance of 30m from the principal dwelling.
(ii) the degree to which design is compatible with the principal dwelling;	The principal dwelling is a modest rural weatherboard home with associated onsite services which have the ability to accommodate the proposed minor residential unit. The proposed building is also modest in scale with a GFA of approximately 35m², vertical cladding and a similar external colour scheme to the principal dwelling.
(iii) the extent that services can be shared;	As per the site suitability report attached as Appendix D, existing services are operating adequately and have the ability to accommodate the proposed minor residential unit.
(iv) the ability to mitigate any adverse effects by way of provision of landscaping and screening;	The proposed minor residential unit will be located at a maximum distance of 30m from the principal dwelling which is the maximum allowable under Rule 8.6.5.2.3 Minor Residential Unit. It is considered that the distance alone will provide adequate aural and visual screening between the primary dwelling and minor residential unit. It is noted that there is some planting between the dwellings which will also assist in the provision of privacy. On this basis, it is considered that no additional landscaping or screening is required.
(v) the location of the unit.	As noted above, the proposed minor residential unit will be located approximately 30m to the southwest of the principal dwelling which is considered to be the most appropriate location taking into account existing built development on site and the ability to connect to existing onsite services. The proposed building is located at least 25m from the nearest boundary, and is located in an area where a suitable building platform can be constructed without adversely affecting the rural amenity of the area, and privacy/outlook of the primary dwelling.

6.0 STATUTORY CONSIDERATIONS

NES CONTAMINATED SOILS (NESCS)

All applications that involve subdivision, or an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the NESCS. The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed land use.

Based on a search of Council records and historic aerial images, there is no evidence to suggest that a HAIL activity has been undertaken on the subject site. Therefore, no further assessment is required under the NES Contaminated Soils.

NES FRESHWATER (NESFW)

A review of aerial images, including NRC's wetland maps, reveal no evidence to suggest that there are any wet areas that may be subject to the NES Freshwater provisions. Therefore, no further assessment is required under the NES Freshwater.

NATIONAL POLICY STATEMENT FOR HIGHLY PRODUCTIVE LAND (NPSHPL)

As per Far North Maps, the site does not contain highly versatile soils.

NATIONAL POLICY STATEMENT FOR INDIGENOUS BIODIVERSITY (NPS-IB)

As discussed earlier in the report, the subject site does not contain any significant areas of indigenous vegetation or habitats of indigenous fauna. The NPS-IB is therefore not relevant to this application.

NEW ZEALAND COASTAL POLICY STATEMENT

The New Zealand Coastal Policy Statement is not relevant to this application.

OPERATIVE FAR NORTH DISTRICT PLAN

Relevant ODP objectives and policies are those contained within the subdivision, transportation, Rural Production Zone chapters. As a controlled activity, the proposed activity is considered to be consistent with all relevant objectives and policies of the Far North District Plan.

PROPOSED FAR NORTH DISTRICT PLAN

As of Monday 4 September 2023, the further submission period on the PDP has closed. However, Council are yet to make a decision on submissions made and publicly notify this decision. Therefore, the application shall only 'have regard to' the relevant objectives and policies in the PDP.

Relevant objectives and policies in the PDP are contained within the Subdivision, General Residential Zone, and Rural Residential Zone Chapters. Based on the AEE, it is considered that the proposal is largely consistent with the anticipated outcome of the relevant objectives and policies, particularly the following:

- RPROZ-01 to RPROZ-P7

7.0 NOTIFICATION

S95A of the RMA determines circumstances when public or limited notification of an application may be appropriate. Section 95A sets out a series of steps for determining public notification. These include:

- *Step 1* – Mandatory public notification in certain circumstances. In respect of this application, the applicant is not seeking public notification, nor is it subject to a mandatory notification requirement.
- *Step 2* – Public notification precluded in certain circumstances. The proposal is a controlled activity. Public notification is therefore precluded.

Section 95b sets out a series of steps for determining limited notification. These include:

- *Step 1* – certain affected groups and affected persons must be notified. These include affected customary rights groups or marine title groups (of which there are none relating to this application). Affected groups and persons may also include owners of adjacent land subject to statutory acknowledgement if that person is affected in accordance with s95E. There are no groups or affected persons that must be notified with this application.
- *Step 2* – limited notification precluded in certain circumstances. These include any rule or national environmental standard that precludes limited notification, or the activity is solely for a controlled activity or a prescribed activity. The proposed boundary adjustment is a controlled activity. Limited notification is therefore precluded.

In respect of this application, an assessment of effects on the environment has concluded that in all potential effects it can be concluded that adverse effects are less than minor.

Section 95C relates to the public notification after a request for further information which does not apply to this application.

Section 95D provides the basis for determining notification under Section 95A(8)(b) if adverse effects are likely to be more than minor. This assessment concludes that potential adverse effects arising from this proposal would not be more than minor.

8.0 OVERALL CONCLUSION

This application seeks resource consent to construct a minor residential unit in the Rural Production Zone as a Controlled Activity.

Based on the assessment of effects above, it is concluded that any potential adverse effects on the existing environment would be no more than minor and can be managed in terms of appropriate conditions of consent.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that the application for resource consent can be granted on a non-notified basis.

Prior to the issue of any decision for this consent, it is requested that all draft conditions are forwarded to the agent for review and comment.

AUTHOR



Nina Pivac

Director | BAppSC | PGDipPlan | Assoc. NZPI

Date: 22 October 2025

Appendices:

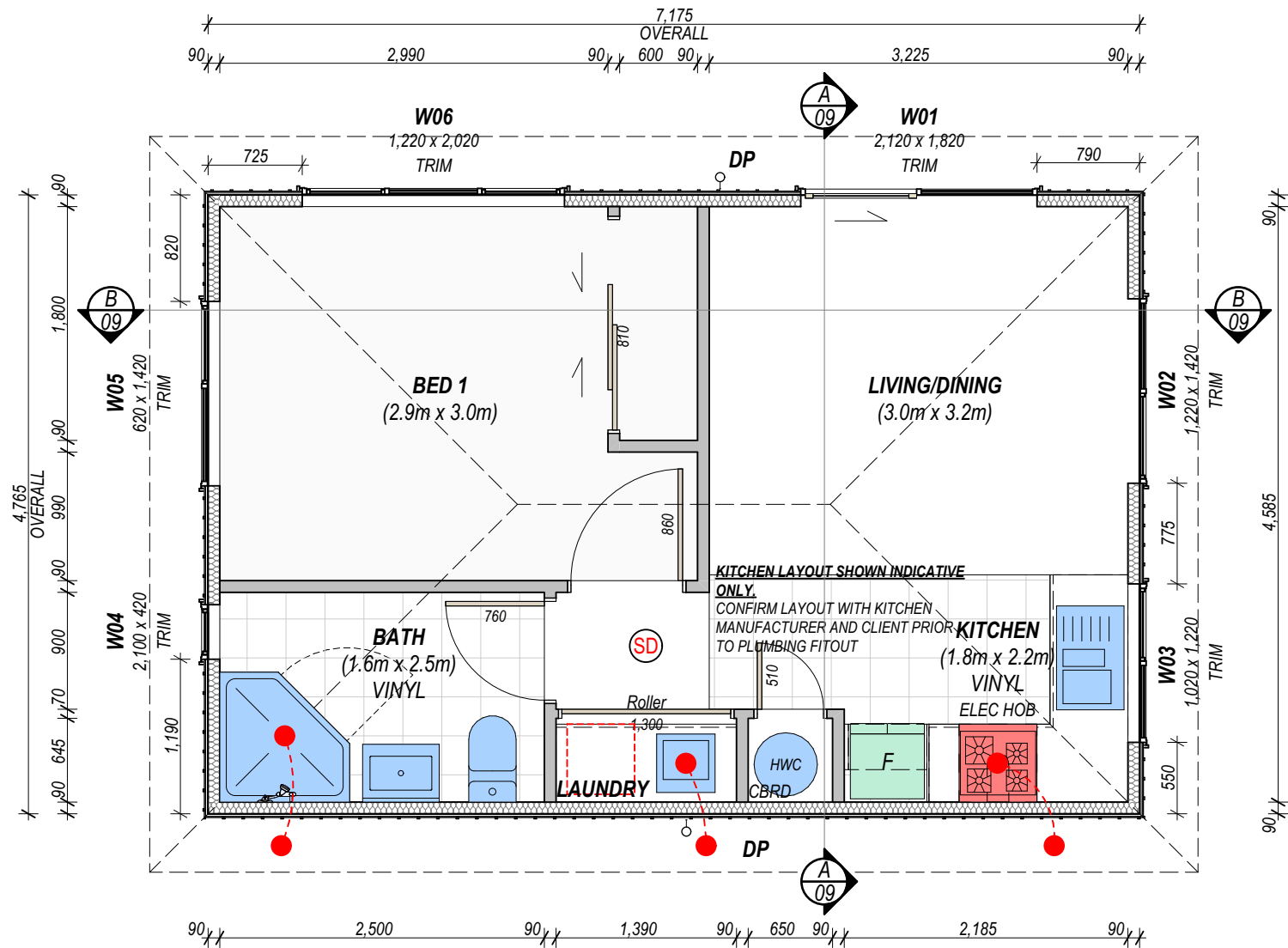
Appendix A – Site, Floor and Elevation Plans

Appendix B – Certificate of Title

Appendix C – Approved Form 4 letter

Appendix D – Site Suitability Report

Appendix A – Site, Floor and Elevation Plans



FLOOR PLAN

1:50

KEY: ** CONFIRM LOCATION SHOWN WITH OWNER PRIOR TO INSTALLATION	
	POWER METER BOX **
	POWER DISTRIBUTION BOARD **
	SMOKE ALARM - TO COMPLY WITH NZBC F
	MECHANICAL VENTILATION- TO COMPLY WITH NZBC G4

WDC - Approved Building Consent Document - BC2300676 - Pa 2 of 10 - 10/07/2023 - NZBTC



????, ???, ??? Whangarei 0000	
Ph: Affordable	Mobile: Affordable
Email affordable	Email affordable
DATE:	6/07/2023
SHEET SIZE:	A3
DRAWN:	CC
© COPYRIGHT CLAYTONARCHITECTURE LTD 0287-AH-(35m2)-BC-040723.pln	

FLOOR PLAN	
YARD SET ONLY	
RANGE.	35 SERIES
PROJECT No.	-

OWNER:	AFFORDABLE HOUSES
YARD:	877 PIPIWAI ROAD, RUATANGATA WHANGAREI 0176
OWNER SITE:	??, ??, WHANGAREI,
PAGE:	02 OF 10

EXPOSURE ZONE D:
FIXINGS ARE TO COMPLY WITH NZBC B2 DURABILITY AND NZS 3604:2011 SECTION 4 - DURABILITY.
ALL FIXINGS ARE TO BE TYPE 304 OR 316 STAINLESS STEEL.

NOTE
ALL BOLTS SHALL HAVE 50SQ X 3MM WASHERS TO TIMBER FACES

FLASHING AND WRAP SYSTEMS
ALL FLASHINGS, FLASHING TAPES, WRAPS, UNDERLAYS AND ASSOCIATED ACCESSORIES ARE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

LIGHTING
ARTIFICIAL LIGHTING TO COMPLY WITH NZBC G8/AS1

SMOKE ALARMS.
SMOKE ALARMS SHALL COMPLY WITH APPROVED DOCUMENT F7 WARNING SYSTEMS.

CONFIRM THE LOCATION OF THE FOLLOWING WITH OWNER PRIOR TO INSTALLATION:

- CEILING HATCH/ACCESS (IF AVAILABLE) - CHECK HEAD HEIGHT FOR ACCESS
- FLOOR COVERINGS - CONFIRM LOCATION, EXTENT AND DIRECTION OF FLOOR COVERINGS SHOWN
- METER BOX & DISTRIBUTION BOARD

WET AREAS WATERPROOFING SYSTEM OPTIONS.

ALL DETAILS/WINDOWS TO COMPLY WITH NZBC E3 INTERNAL MOISTURE AND MANUFACTURER'S PRODUCT DETAILS.
PROVIDE AN IMPERVIOUS AND EASILY CLEANABLE SURFACE TO ALL WALL AREAS LIKELY TO BE SPLASHED.

USE GIB AQUALINE ON WET AREA WALLS AND CEILINGS.
(AS STANDARD BATHROOMS ARE FULL HEIGHT WALLS. LAUNDRY, WC & KITCHEN TO A 1200mm DADO HEIGHT)

FINISHING OF H3.1 STRANDBOARD & H3.2 PLY FLOORING TO COMPLY WITH E3/AS1

WET AREA VENTILATION.
TO COMPLY WITH NZBC G4 VENTILATION

INTERIOR DOORS

TYPICAL DOORS:
PAINT QUALITY HOLLOW CORE DOORS WITH 18mm PAINT QUALITY DOOR JAMBS UNLESS STATED OTHERWISE

EXTERNAL WINDOWS & DOORS

ALL EXTERNAL WINDOW AND DOOR HEIGHTS TO BE AS PER PLAN AND SCHEDULE (OPENING TRIM) UNLESS OTHERWISE STATED

INSULATION

CEILING INSULATION: R3.6 POLYESTER INSULATION ON CEILING BATTENS BETWEEN TRUSSES (1xLAYER)

WALL INSULATION: R2.5 POLYESTER WALL INSULATION TO EXTERIOR WALLS
SUBFLOOR INSULATION: R2.9 UNDERFLOOR INSULATION LAID BETWEEN FLOOR JOISTS

H1 CALCULATIONS REFER TO SPECIFICATIONS

TIMBER TREATMENT:

TREATMENT LEVELS TO COMPLY WITH NZBC CLAUSE B2/AS1 DURABILITY, NZS3602. TIMBER AND WOOD BASED PRODUCTS FOR USE IN BUILDING AND NZS3640
CHEMICAL PRESERVATION OF ROUND AND SAWN TIMBER.

H1.2 ALL WALL FRAMING AND ASSOCIATED MEMBERS
ROOF FRAMING, TRUSSES AND CEILING JOISTS
ENCLOSED FRAMING WITHIN SKILLION / FLAT ROOFS

H3.1 CLADDING CAVITY BATTENS

STUD GRADE

UNLESS SPECIFIED OTHERWISE WALL FRAMING IS GRADED TO SG8 AS PER NZS3604:2011

STUD SIZE

90x45 STUDS

G4 VENTILATION:

NATURAL VENTILATION =

- 5% OF FLOOR AREA (OPENABLE WINDOW)

MECHANICAL VENTILATION =

REFERENCE AS1668.2 TABLE B1 EXTRACT RATES

- BATHROOM/TOILETS: MIN. 25L/S

- LAUNDRIES: MIN. 20L/S

- KITCHENS: MIN. 50L/S

DOORS > 190mm DROP C.G.L

ALL EXTERNAL DOORS WITH MORE THAN 190mm STEP TO BE TEMPORARILY BOLTED/SCREWED SHUT UNTIL DECK IS COMPLETE

MAIN ENTRY DECKING & STEPS TO HAVE SLIP RESISTANT COATING 'RESENE NON-SKID DECK & PATH' PRODUCT OR EQUIVALENT TO COMPLY WITH SECTION 2 NZBC D1/AS1, REMAINDER OF DECKING TO BE SMOOTH SIDE UP

STAIRS:

COMMON/MAIN PRIVATE TO NZBC D1 FIG. 11

MAX. RISE: 190mm

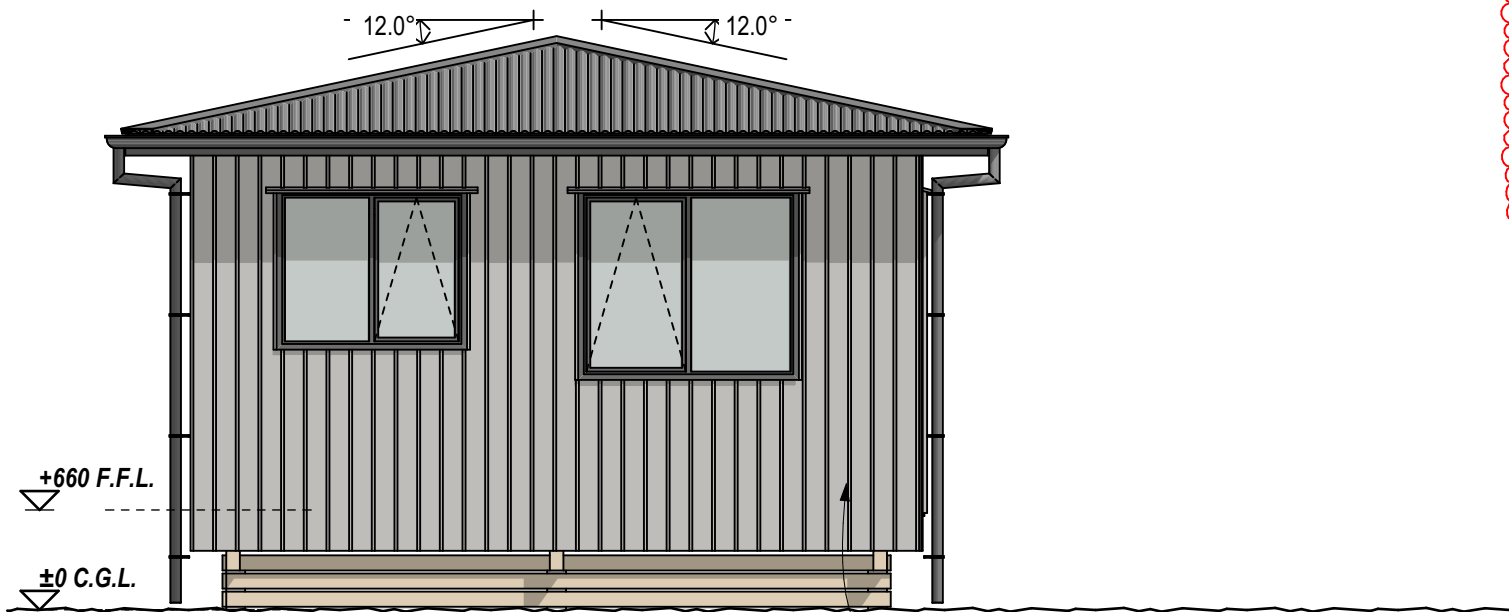
MIN. TREAD: 280mm

FLOOR AREA/FOOTPRINT

FLOOR AREA:	34.19m ²
TOTAL FLOOR AREA:	34.19m ²



ELEVATION 01
1:50



ELEVATION 02
1:50

EXTERIOR MATERIAL SELECTION:

REFER TO CONSTRUCTION MANUAL FOR ALL DETAILING OF THE BELOW ITEMS
-PRIMARY CLADDING
-ROOF CLADDING
-SPOUTING & FASCIA

ALL THE ABOVE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH E2/AS1 AND AS PER MANUFACTURERS TECHNICAL INFO LOCATED WITHIN CONSTRUCTION MANUAL

RISK MATRIX		
BUILDING ENVELOPE RISK MATRIX		
ALL ELEVATIONS		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	High risk	2
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		5

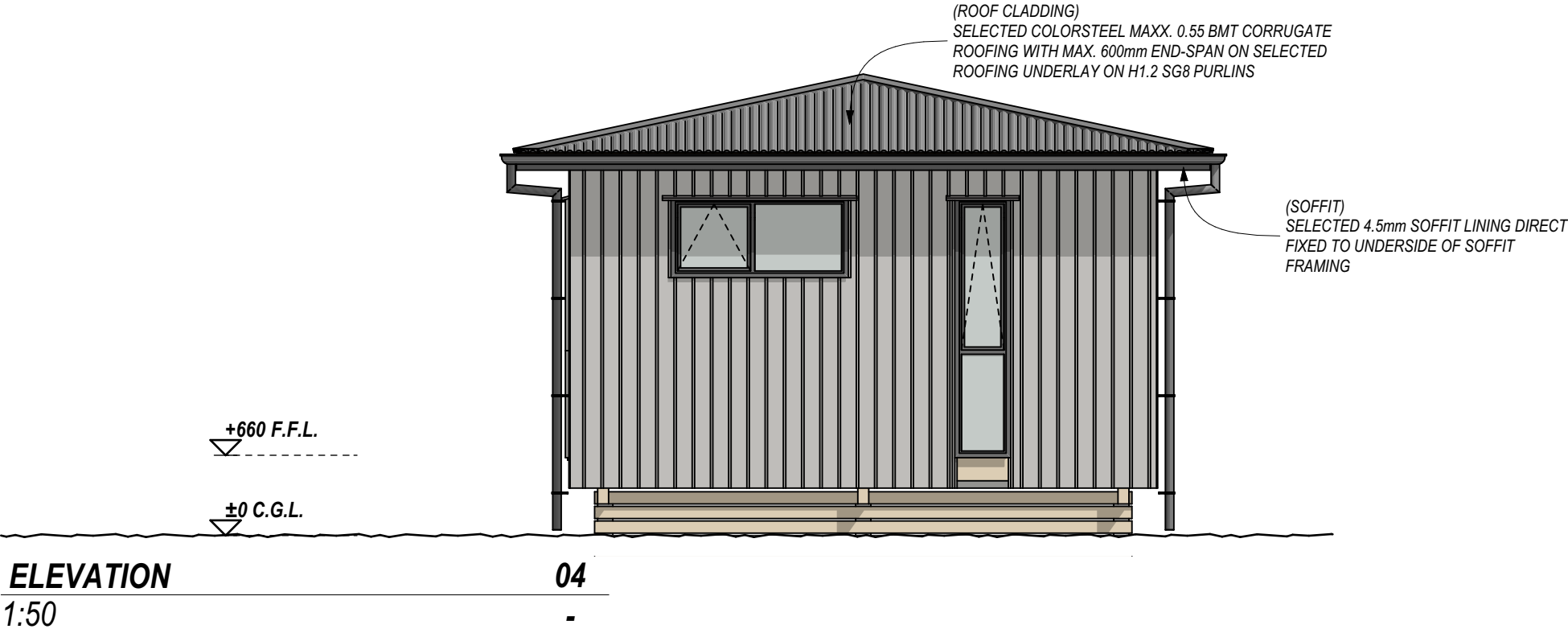
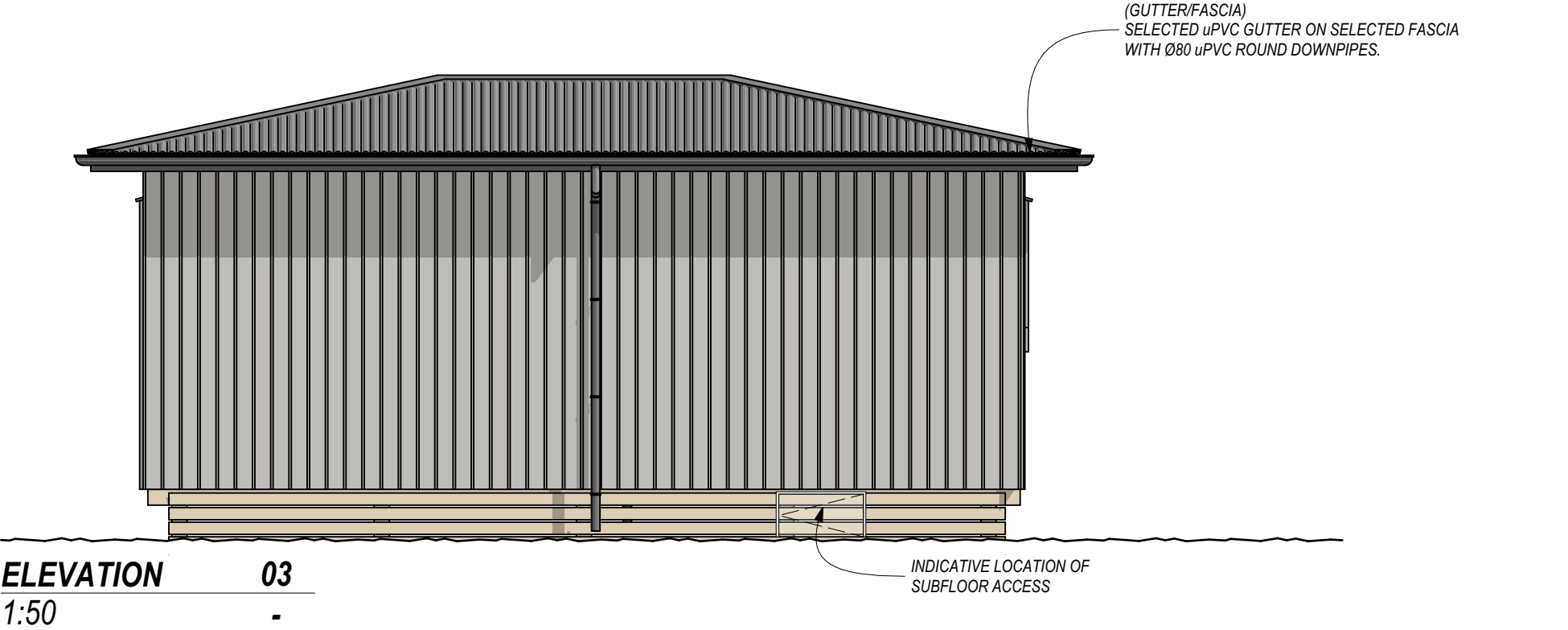


????, ???, ??? Whangarei 0000	
Ph: Affordable	Mobile: Affordable
Email affordable	
Email affordable	
DATE:	6/07/2023
SHEET SIZE:	A3
DRAWN:	CC
© COPYRIGHT CLAYTONARCHITECTURE LTD 0287-AH-(35m2)-BC-040723.pln	

ELEVATIONS	
YARD SET ONLY	
RANGE.	35 SERIES
PROJECT No.	-

OWNER: AFFORDABLE HOUSES	
YARD: 877 PIPIWAI ROAD, RUATANGATA WHANGAREI 0176	
OWNER SITE: ??, ??, WHANGAREI,	
PAGE:	06 OF 10

REV.	DATE	DESCRIPTION	DRAWN
A	06/07/23	WDC VETTING RFI	CC



EXTERIOR MATERIAL SELECTION:
REFER TO CONSTRUCTION MANUAL FOR ALL DETAILING OF THE BELOW ITEMS
-PRIMARY CLADDING
-ROOF CLADDING
-SPOUTING & FASCIA

ALL THE ABOVE TO BE INSTALLED STRICTLY IN ACCORDANCE WITH E2/AS1 AND AS PER MANUFACTURERS TECHNICAL INFO LOCATED WITHIN CONSTRUCTION MANUAL

 AFFORDABLE HOUSES TRANSPORTABLE HOMES, LIVING SOLUTIONS	????, ???, ??? Whangarei 0000		ELEVATIONS		OWNER: AFFORDABLE HOUSES		REV.	DATE	DESCRIPTION	DRAWN
	Ph: Affordable Mobile: Affordable				YARD:		A	06/07/23	WDC VETTING RFI	CC
	Email affordable Email affordable		**YARD SET ONLY**		877 PIPIWAI ROAD, RUATANGATA WHANGAREI 0176					
	DATE:	6/07/2023	BC	RANGE.	35 SERIES	OWNER SITE: ??, ??, WHANGAREI,				
	SHEET SIZE:	A3		PROJECT No.		PAGE:		07	OF	10
	DRAWN:	CC								
	© COPYRIGHT CLAYTONARCHITECTURE LTD. 0287-AH-(35m2)-BC-040723.pln									



DEVELOPMENT CONTROL TABLE	
CLIMATE ZONE:	BRANZ - ZONE 1
EARTHQUAKE ZONE:	BRANZ - ZONE 1
EXPOSURE ZONE:	BRANZ - ZONE B
LEE ZONE:	BRANZ - NO
RAINFALL INTENSITY:	NIWA - 105mm/HR
WIND REGION:	BRANZ - A
WIND ZONE:	VERY HIGH WIND ZONE
HAZARDS:	NONE SHOWN
(FROM FNDC MAPS)	
LEGAL DESCRIPTION	
ADDRESS: 696 REMUERA SETTLEMENT ROAD, KAIKOHE 0472	
TARAIRE 2B2C1 BLOCK	
SITE AREA = 8,093m²	
EXISTING BUILDING AREAS ARE UNKNOWN AND APPROX AREAS ARE PROVIDED BASED ON AERIAL IMAGE	
ASSUME EXISTING BUILDING COVERAGE	= 340m²
PROPOSED BUILDING COVERAGE	= 34m²
ALLOWABLE BUILDING COVERAGE @ 12.5% OF SITE AREA	= 1,011m²
TOTAL SITE COVERAGE	= 374m²
COMPLIES	
IMPERVIOUS AREA:	
ASSUME EXISTING IMPERVIOUS AREA	= 630m²
PROPOSED IMPERVIOUS AREA	= 46m²
ALLOWABLE IMPERVIOUS AREA @ 15% OF SITE AREA	= 1,213m²
TOTAL PROPOSED IMPERVIOUS AREA:	= 676m²
COMPLIES	
COMPLIANCE DATA	
TERRITORIAL AUTHORITY:	FAR NORTH DISTRICT COUNCIL
ENVIRONMENT ZONE:	RURAL PRODUCTION
SETBACKS:	10m BOUNDARY SETBACK COMPLIES
HIRB:	2m up & 45° COMPLIES
MAXIMUM BUILDING HEIGHT	=12m COMPLIES

NOTE:
ALL EXTERNAL / EXPOSED STRUCTURAL FIXINGS INCLUDING BOLTS, WASHERS, JOIST HANGERS, BRACKETS ETC. TO BE STAINLESS STEEL.

ACCESS PATH
ACCESS PATH FROM PARKING TO FRONT DOOR TO COMPLY WITH D1/AS1 TABLE 2 ACCEPTABLE SLIP RESISTANCE FOR WALKING SURFACES.

SITE/PLUMBING & DRAINAGE
*BEDDING & BACKFILL FOR DRAINAGE PIPES TO COMPLY WITH FIG.13 OF CLAUSE E1/AS1.
*ENSURE SUFFICIENT FALL TO EXISTING DRAINAGE PRIOR TO LAYING NEW DRAINAGE

Sheet Index	
Layout ID	Layout Name
SITE PLANS	
A101	SITE PLAN
PLANS	
A201	CONSTRUCTION NOTES
A202	FOUNDATION PLAN
STANDARD DETAILS	
A301	MITEK DETAILS
A302	MITEK DETAILS
A303	NZBC DETAILS

CONTACT:

P. 09 430 6938
F. 09
M. 027 243 8089
M. 33 Norfolk Street, Whangarei
E. simon@mandenodesign.co.nz

CLIENT:

AFFORDABLE HOUSES

PROJECT:

RE-SITTING OF PORTABLE BUILDINGS AT 696 REMUERA SETTLEMENT ROAD KAIKOHE 0472.
TARAIRE 2B2C1 BLOCK

JOB NUMBER:

2549

NOTES:

BC.03	RFI 02 RESPONSE	01/10/25
BC.02	RFI 01 RESPONSE	25/09/25
BC.01	FOR CONSENT	02/09/25
#	REVISION DESCRIPTION:	DATE:

DESIGNER: SIMON MANDENO

DRAWN: JUARN ANDERSON

GEOTECH ENGINEER: RS ENG

ISSUE TYPE:

DETAILED DESIGN
For consultation only. Destroy all drawings once tender drawings are issued, not for pricing or construction.

DRAWING TITLE:

SITE PLAN

DATE:

24/07/2025

SCALE @ A3:

1:500

DRAWING:

A101

REVISION:

BC.02

Appendix B – Certificate of Title



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA21C/1076**
Land Registration District **North Auckland**
Date Issued 18 November 1971

Prior References
NA21C/1075

Estate Fee Simple
Area 8094 square metres more or less
Legal Description Taraire 2B2C1 Block
Registered Owners
Anya Lisa Tahere and Mane Grant Tahere

Interests

Subject to Section 10 Maori Affairs Amendment Act 1967
A600853 Status Declaration by the Registrar of the Maori Land Court - 18.11.1971 at 2.03 pm
13196316.3 Mortgage to ASB Bank Limited - 24.1.2025 at 11:42 am

449045

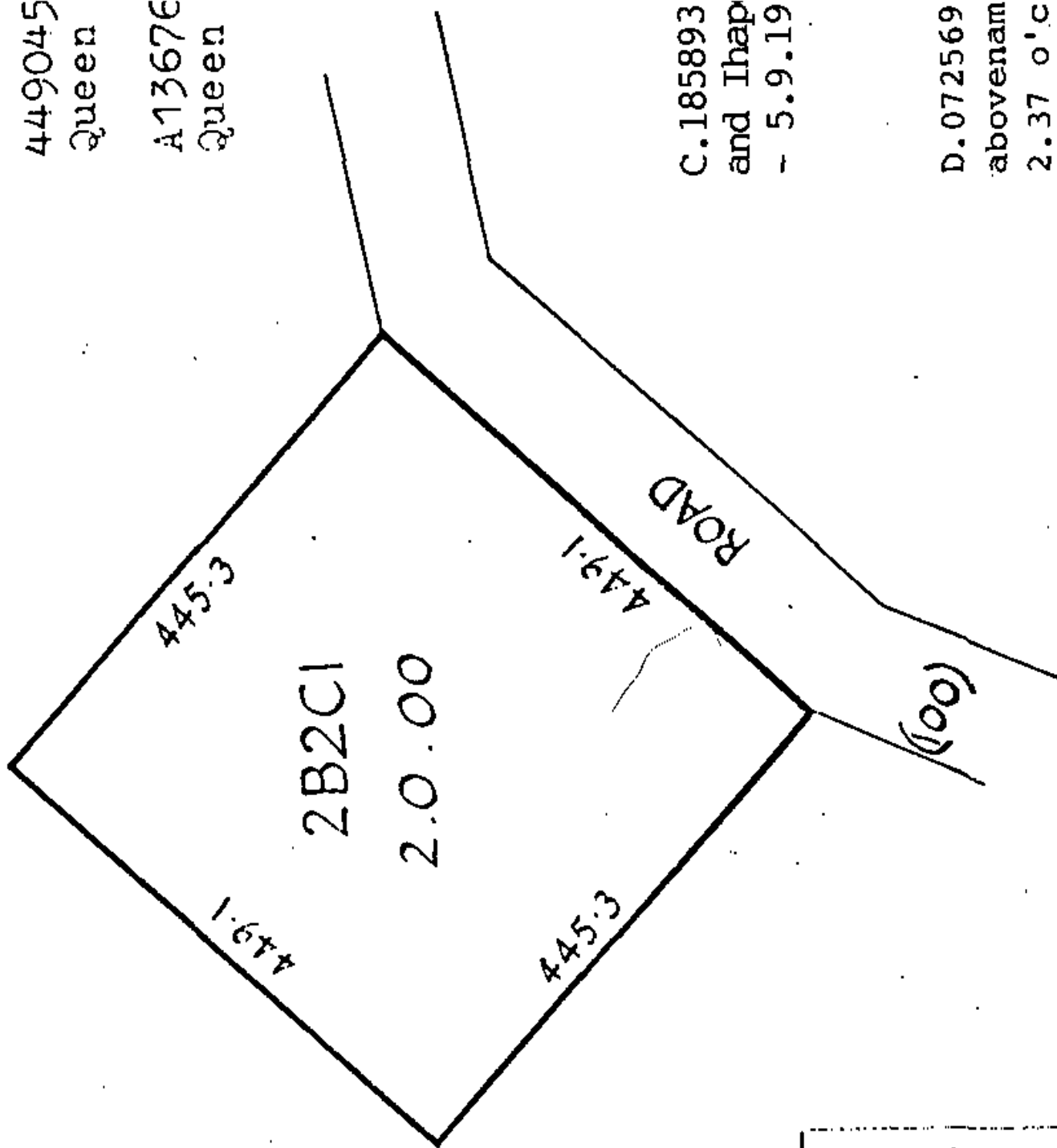
Queen

A13676

Queen

C.185893
and Ihap
- 5.9.19

D.072569
abovenam
2.37 o'c



Appendix C – Approved Form 4 letter

11 September 2025

Mane Grant Tahere
696 Remuera Settlement Road
RD 2
Kaikohe 0472

Dear Sir / Madam,

Building consent number: EBC-2026-192/0
Property ID: 3324903
Address: 696 Remuera Settlement Road, Kaikohe 0472
Description: Foundations for a Prefabricated Relocatable Dwelling and
Install Onsite Wastewater Disposal System

Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

NB: As of 27th July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **Rural Production** under the Operative District Plan and Resource Consent is required for breach of the following:

Rule:	8.6.5.1.1 RESIDENTIAL INTENSITY
Reason:	This application proposes a 2 nd dwelling on this site that has an area of 8094m ² therefore while each unit may achieve 3,000m ² for its exclusive use surrounding the unit, they cannot achieve a minimum of 11.7ha elsewhere on the property.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from www.fndc.govt.nz and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on Duty.Planner@fndc.govt.nz or 0800 920 029.

Yours faithfully



Lysigna Mare
PIM Officer

Delivery and Operations

Emailed to: juarn@mandenodesign.co.nz

FORM 4
Certificate attached to
PROJECT INFORMATION MEMORANDUM
Section 37, Building Act 2004

Building Consent Number: EBC-2026-192/0

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER
RESOURCE MANAGEMENT ACT 1991**

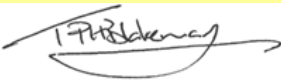
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

- **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman
Manager - Building Services –
Delivery and Operations
Far North District Council (Building Consent Authority)
11 September 2025

Position:

On behalf of:

Date:

Appendix D – Site Suitability Report



SUITABILITY REPORT

696 Remuera Settlement Road

Kaikohe

(Taraire 2B2C1 Block)

SUITABILITY REPORT

696 Remuera Settlement Road

Kaikohe

(Taraire 2B2C1 Block)

Report prepared for: Affordable Houses Ltd

Report reference: 19795

Date: 20 August 2025

Revision: 2

Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
19/08/2025	1	Building Consent Issue	R Beasley	S Scott Compton	M Jacobson
20/08/2025	2	Revised Building Location	R Beasley	S Scott Compton	M Jacobson



association of
consulting and
engineering

Contents

1.0	Introduction	1
2.0	Site Description	1
3.0	Desk Study	2
3.1	Referenced/Reviewed Documents	2
3.2	Site Geology	2
3.3	Aerial Photography	2
4.0	Field Investigation	3
5.0	Subsoil Conditions	3
6.0	Geotechnical Assessment	3
6.1	Slope Stability	3
6.2	Liquefaction	3
6.3	Expansive Soils	4
7.0	On-site Wastewater Disposal	4
7.1	Site Evaluation	4
7.2	Design	4
7.3	Northland Regional Council Discharge Compliance	5
8.0	Stormwater Attenuation Assessment	5
9.0	Engineering Recommendations	5
9.1	Site Subsoil Class	5
9.2	Earthworks	5
9.3	Shallow Foundations	6
9.4	Stormwater Disposal	6
9.5	Wastewater	6
10.0	Construction Monitoring and Producer Statements	6
11.0	Conclusions	7
12.0	Limitations	8

Appendices

A	Drawings
B	Subsurface Investigations
C	On-site Wastewater Disposal Details
D	FNDC TP58 Form

SUITABILITY REPORT

696 Remuera Settlement Road, Kaikohe (Taraire 2B2C1 Block)

1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Affordable Houses Ltd to investigate the suitability of their client's property (Taraire 2B2C1 Block) for residential construction. The purpose of this report is to assess the suitability of the building site making foundation, earthworks and stormwater disposal recommendations and detail the design of an on-site wastewater disposal system.

The client proposes to construct a one-bedroom minor dwelling founded on timber pile foundations.

2.0 Site Description

This 0.8125ha property is accessed northwest off Remuera Settlement Road, some 130m from the intersection with State Highway 15. The property consists of gentle slopes ($<8^\circ$) falling towards the west. Ground coverage consists of pasture, trees and an existing dwelling and minor dwelling to the eastern corner of the property.



Figure 1: Taraire 2B2C1 Block.

3.0 Desk Study

3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- GNS – Geology Of The Whangarei Area – Edbrooke & Brook – 2009.
- Haigh Workman Ltd – *“On-Site Wastewater System for 696 Remuera Settlement Road, Ohaeawai- Kaikohe Taraire 2B2C1, NA21C/1076”* – 21 June 2017.

3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map shows that the property is located within an area underlain by Kerikeri Volcanics, which has been described as follows: *“Cone-forming basaltic andesite flows.”*

3.3 Aerial Photography

RS Eng has undertaken a review of historical aerial photography, specifically three images, from 1953, 1968 and 1982. See Figure 2 below of the 1982 image. Several notable features were observed, listed below.

- No signs of soil creep or deep-seated slope instability were observed in the imagery.
- The existing dwelling in the centre of the property was observed throughout the imagery. The rest of the property remained undeveloped throughout the imagery.



Figure 2: 1982 Aerial Image (Source: www.retrolens.nz) (yellow marker indicates approx. building site).

4.0 Field Investigation

Two Technicians from this office visited the property on 14 August 2025 to undertake a walkover inspection and two hand augers.

The walkover inspection did not observe any signs of concern at the building site in relation to the proposal.

The hand augers were dug to a maximum depth of 3.2m below ground level (BGL). Shear Vane readings were taken at regular intervals throughout the hand augers. Soil and rock descriptions are in general accordance with the New Zealand Geotechnical Society guideline.

5.0 Subsoil Conditions

Interpretation of the subsurface conditions is based on the investigations shown on the drawings in Appendix A. The conditions are summarised below.

- Topsoil was encountered to a maximum depth of 0.3mBGL.
- Residual soils of Kerikeri Volcanics were encountered to a maximum depth of 1.6mBGL, consisting of stiff to very stiff silty clays and stiff clays. In-Situ Undrained Shear Strengths ranged between 157kPa to greater than 219kPa.
- Completely weathered basalt was encountered to a maximum investigated depth of 3.2mBGL, consisting of firm to stiff silty clays and very stiff silts. In-Situ Undrained Shear Strengths ranged between 141kPa to greater than 219kPa.
- Groundwater was not encountered during the investigation, it is expected at depths below 5.0mBGL.

6.0 Geotechnical Assessment

6.1 Slope Stability

The property consists of gentle slopes falling to the western corner of the property, underlain with clays and silts of the Kerikeri Volcanic Group basalt. No signs of slope instability were observed at the proposed building area during the investigation or in imagery. Given the gentle slopes and underlying geology encountered during the investigation, the risk of slope instability to the proposed building works is considered to be low.

6.2 Liquefaction

The proposal is positioned on land underlain by the Kerikeri Volcanic group, consisting of soils that are cohesive in nature and therefore unlikely to liquefy when subjected to seismic shaking. RS Eng considers the risk of liquefaction to be low.

6.3 Expansive Soils

The clayey soils encountered on-site are likely to be subject to volumetric change with seasonal changes in moisture content (wet winters / dry summers); this is known as expansive or reactive soils. Apart from seasonal changes in moisture content other factors that can influence soil moisture content at the include:

- Influence of garden watering and site drainage.
- The presence of large trees close to buildings. Large trees can cause variation in the soil moisture content for a distance of up to 1.5 times their mature height.
- Initial soil moisture conditions during construction, especially during summer and more so during a drought. Building platforms that have dried out after initial excavation should be thoroughly wet prior to any floor slabs being poured.
- Plumbing leaks.

Based on a visual tactile assessment made during the subsoil investigation, RS Eng considers the soils as being Class H1 (Highly Expansive) as per AS 2870.

7.0 On-site Wastewater Disposal

7.1 Site Evaluation

The land available for effluent disposal is gently sloped (less than 8°) and waxing planar. Subsoil investigations have assessed the soil as Category 5 as per AS/NZS 1547:2012. The existing dwelling currently utilises a secondary treatment system loading sub surface pressure compensating drip irrigation line within a planted and fenced area. The client has proposed to extend the existing system to accommodate the proposed minor dwelling. Haigh Workman's design for the existing dwelling required 320m² of drip irrigation line.

7.2 Design

The proposed minor dwelling has one bedroom. The design calculations are presented in Table 1 below.

Table 1: Wastewater Disposal Calculations.

Number of Bedrooms	1	No.
Number of Persons	2	No.
Flow Allowance	180	L/person/Day
Total Flow	360	L/Day
Irrigation Rate (DIR)	2.0	L/m ² /day
Additional Area Required	180	m ²
Irrigation Line Spacing	1.0	m

7.3 Northland Regional Council Discharge Compliance

Table 2 below demonstrates compliance with the Northland Regional Council's New Regional Plan.

Table 2: NRC Permitted Discharge Compliance.

Feature	Proposed Regional Plan	Available
Identified Stormwater Flow Path	5m	>5m
River, Lake, Pond, Stream, Dam or Wetland	15m	>15m
Existing Water Supply Bore	20m	>20m
Property Boundary	1.5m	>1.5m
Groundwater	0.6m	>0.6m
10m Buffer Zone	Slopes >10°	<10°
Floodplain Exclusion	5% AEP	5% AEP
Reserve area	30%	30%

A copy of the Far North District Council TP58 Form has been included in Appendix D.

8.0 Stormwater Attenuation Assessment

The property is zoned within a rural production zone, therefore 15% of the property area is permitted to be impervious cover. The proposed minor dwelling and existing buildings equate to approximately 4% of the total property area. On this basis, RS Eng considers stormwater attenuation will not be required.

9.0 Engineering Recommendations

9.1 Site Subsoil Class

In accordance with NZS 1170.5:2004, Section 3.12.3 the site has been assessed for its Site Subsoil Class. Based on the observations listed above RS Eng considers the site soils lie within Site Class C *"Shallow Soil Site."*

9.2 Earthworks

To form level access to and create a building platform for the proposed building, earthworks are proposed. To suitably develop the building area, RS Eng recommend as follows.

- Cuts and fills shall be limited to a maximum of 1.0m without further geotechnical assessment.
- Cut and fill batters should be sloped at angles less than 1V to 3H.
- Site works shall generally be completed in accordance with NZS 4431.

- The building site and driveway should be shaped to assist in stormwater run-off and avoid ponding of surface water.

9.3 Shallow Foundations

It is proposed to construct a timber floor dwelling on standard NZS 3604 type pile foundations. To suitably found the proposed construction, RS Eng make the following recommendations.

- Timber pile type foundations designed to NZS 3604 shall extend to a minimum of 0.9m into original ground to account for the Class H expansive soils.

Notwithstanding the recommendations of this report, for the specific design of shallow foundations, RS Eng has assessed the following.

- 300kPa Ultimate Bearing Capacity (Geotechnical Ultimate).
- 150kPa Dependable Bearing Capacity (Ultimate Limit State).
- 100kPa Allowable Bearing Capacity (Serviceability Limit State).

9.4 Stormwater Disposal

Uncontrolled and concentrated stormwater discharges can result in erosion and slope instability. RS Eng recommends that stormwater is collected where possible and piped to a suitably sized dispersal trench. See Appendix A for sizing and details.

9.5 Wastewater

RS Eng recommends the position and operation of the existing disposal fields be confirmed on-site by a drainlayer prior to the start of works.

10.0 Construction Monitoring and Producer Statements

RS Eng recommends a suitably experienced Chartered Professional Engineer monitor the construction of the following works to confirm if the geotechnical conditions are consistent with that outlined in this report.

- Foundation excavations.

Any works not inspected will be excluded from future producer statements (PS4) to be issued by RS Eng. In any event, where doubt exists regarding inspections, this office should be contacted for advice and provided with reasonable notice of inspections.

11.0 Conclusions

It is the conclusion of RS Eng Ltd that the building area is suitable for the proposal provided the recommendations and limitations stated within this report are adhered to.

RS Eng Ltd also concludes that subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004;

(a) the building work to which an application for a building consent relates will not accelerate, worsen, or result in slippage or subsidence on the land on which the building work is to be carried out or any other property; and

(b) the land is neither subject to nor likely to be subject to slippage or subsidence.

12.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to determine the engineering suitability of the proposed new dwelling, in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed. If during the construction process, conditions are encountered that differ from the inferred conditions on which the report has been based, RS Eng should be contacted immediately.

Construction site safety is the responsibility of the builder/contractor. The recommendations included herein should not be construed as direction of the contractor's methods, construction sequencing or procedures. RS Eng can provide recommendations if specifically engaged to, upon request.

This report does not address matters relating to the National Environmental Standard for Contaminated Sites, and if applicable separate advice should be sought on this matter from a suitably qualified person.

Prepared by:



Rachel Beasley
Geologist
BSc(Geology)

Reviewed by:



Sarah Scott Compton
Senior Technician
NZDE(Civil)

Approved by:



Matthew Jacobson
Director
NZDE(Civil), BE(Hons)(Civil), CPEng, CMEngNZ

RS Eng Ltd

Appendix A

Drawings



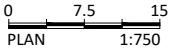
NOTES:

- If any part of these documents are unclear, please contact RSEng Ltd.
- This plan is copyright to RSEng Ltd and should not be reproduced without prior permission.



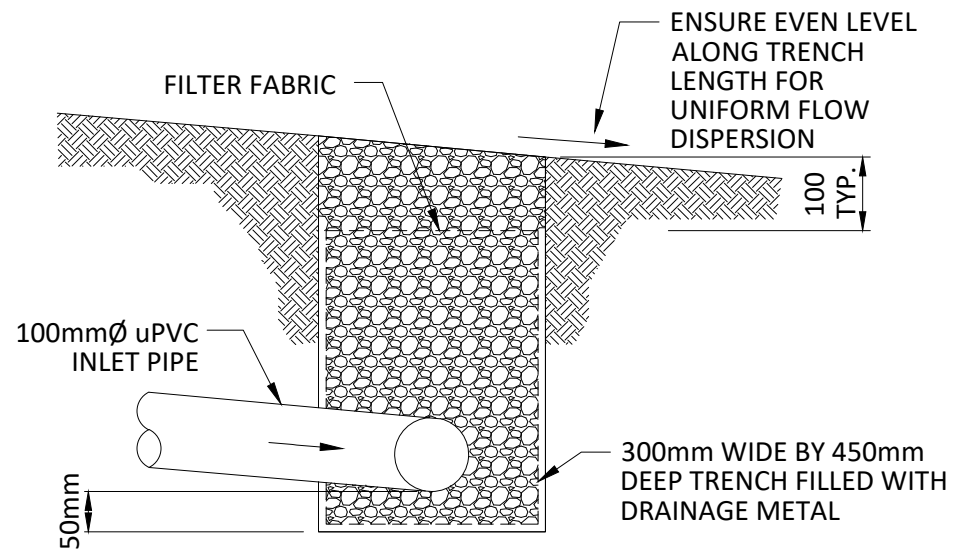
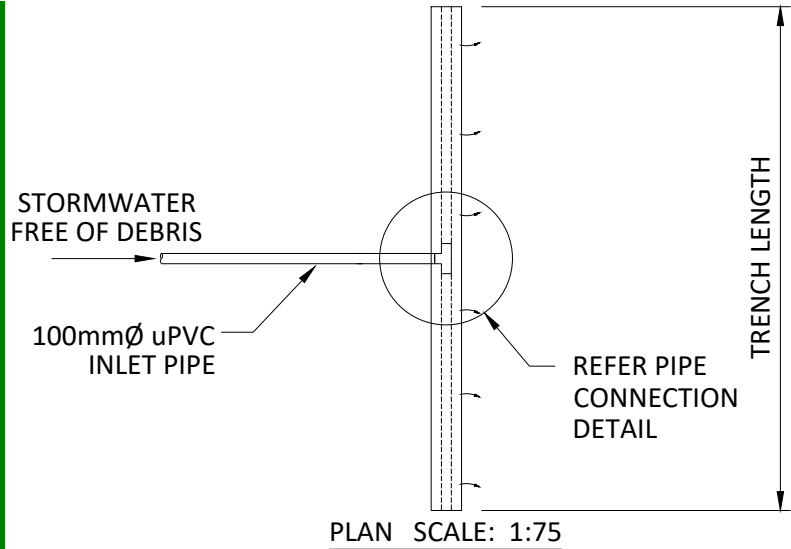
LEGEND	
	Hand Auger Location
	Proposed Dwelling
	Existing Buildings
	Existing Fencing
	Wastewater disposal field
	Reserve Area

Contour Interval: 0.5m
Vertical Datum: NZVD2016
Survey Data Source: LiDAR (2018)

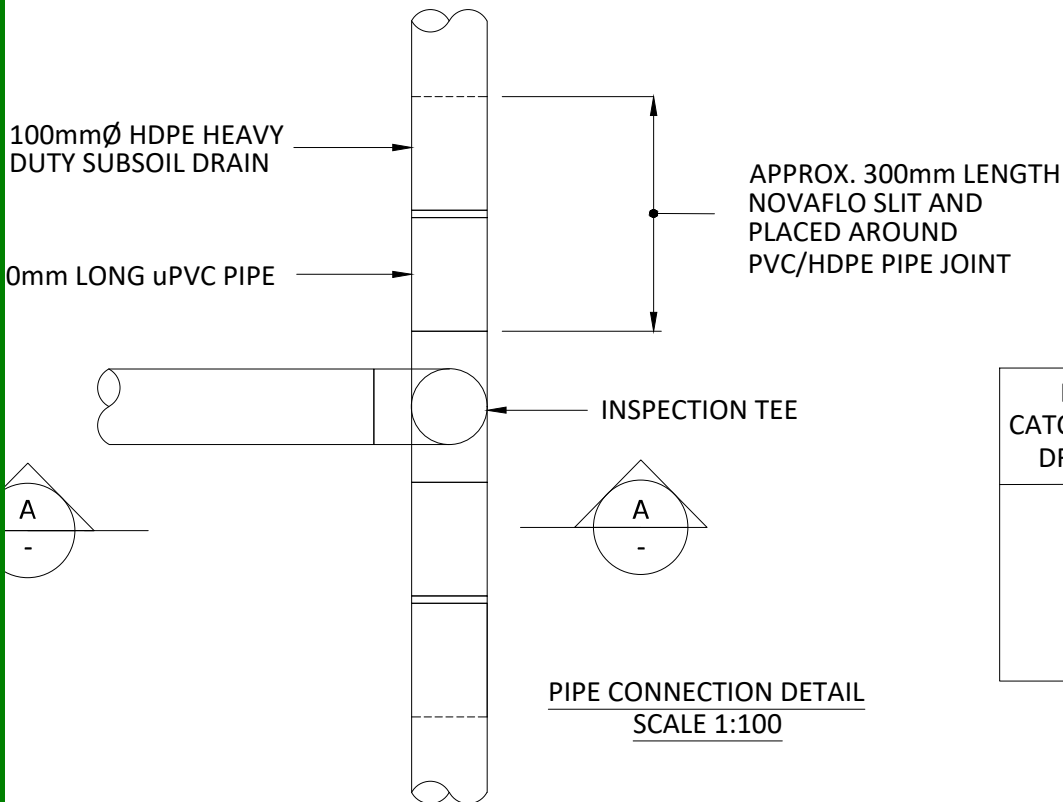


FOR APPROVAL

	RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110		These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission. If any part of these documents are unclear, please contact RS Eng Ltd.		PROPOSED DWELLING SITE PLAN SITE INVESTIGATIONS		Client AFFORDABLE HOUSES LTD				Scale 1:750		Rev No. A			
											Original A3		Sheet No.			
							20/08/2025		A		Original Issue		Job No. 19795		C01	
							Date		Rev		Notes					
							Drawn by: LMC		Reviewed by: RB		Approved by: MJ					



A
-
SECTION SCALE 1:100



DESIGN PARAMETERS

EFFECTIVE CATCHMENT AREA DRAINED (m ²)	TRENCH LENGTH (m)
100	8
200	12
300	14
400	16
500	18
600	20

		RS Eng Ltd 09 438 3273 office@REng.co.nz 2 Seaview Road, Whangarei 0110																												
Title STANDARD DISPERSAL DRAIN TYPICAL DETAIL																														
Client																														
Location																														
<table><tr><td></td><td></td><td></td></tr><tr><td>2018</td><td>A</td><td>Original Issue</td></tr><tr><td>Date</td><td>Rev</td><td>Notes</td></tr><tr><td>Scale</td><td>Original</td><td>Rev</td></tr><tr><td>As Shown</td><td>A4</td><td></td></tr><tr><td>Drawn by</td><td>Approved by</td><td>File</td></tr><tr><td>NW</td><td>ST</td><td></td></tr><tr><td colspan="2"></td><td>Sheet</td></tr><tr><td colspan="2"></td><td>1</td></tr></table>							2018	A	Original Issue	Date	Rev	Notes	Scale	Original	Rev	As Shown	A4		Drawn by	Approved by	File	NW	ST				Sheet			1
2018	A	Original Issue																												
Date	Rev	Notes																												
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As Shown	A4																													
Drawn by	Approved by	File																												
NW	ST																													
		Sheet																												
		1																												

Appendix B

Subsurface Investigations

FNDC Approved Building Consent Document - EBC-2026-192/0 - Pg 16 of 32 - 03/10/2025 - GM



RS Eng Ltd
09 438 3273
office@RSEng.co.nz
2 Seaview Road,
Whangarei 0110

HAND AUGER LOG

HOLE NO.:
HA01

CLIENT: Affordable Houses
PROJECT: Geotechnical Investigations

JOB NO.:
19795

SITE LOCATION: 696 Remuera Settlement Road, Kaikohe
CO-ORDINATES: 1674015mE, 6085805mN

ELEVATION: 271.1m
START DATE: 14/08/2025
END DATE: 14/08/2025
LOGGED BY: MM

DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)																VANE SHEAR STRENGTH (kPa) Vane: DR5050					WATER
		2	4	6	8	10	12	14	16	18	50	100	150	200	Values								
MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)		SAMPLES																					
0.0	TS TS																						

PHOTO(S)



REMARKS

WATER

- ▼ Standing Water Level
▷ Out flow
◁ In flow

INVESTIGATION TYPE

- ☒ Hand Auger
☐ Test Pit

HAND AUGER LOG

HOLE NO.:
HA02

CLIENT:	Affordable Houses
PROJECT:	Geotechnical Investigations

JOB NO.:
19795

SITE LOCATION: 696 Remuera Settlement Road, Kaikohe

CO-ORDINATES: 1674013mE, 6085801mN

ELEVATION: 270.9m

START DATE: 14/08/2025

END DATE: 14/08/2025

LOGGED BY: MM

[illegible]

PHOTO(S)

REMARKS



WATER

 Standing Water Level
 Out flow
 In flow

INVESTIGATION TYPE

☒ Hand Auger
☐ Test Pit

Appendix C

On-site Wastewater Disposal Details

Irrigation Field Installation Details

- Use existing system producing secondary treated effluent.
- **Use additional 180m (minimum) of Sub Surface Pressure Compensating Drip irrigation line,** with Arkal filters, flushing and air release valves fitted.
- Irrigation line is to be laid in a 50-100mm (minimum) trench (sub surface) or covered in mulch surface).
- Irrigation line is to be laid parallel with the contour.
- Disposal Field to be Planted.
- System to be installed and maintained as per manufacturer's recommendations including regular de-sludging of the primary treatment tank.
- Disposal area to be protected from stock and vehicles.
- Refer to "How to look after your septic tank" (published by the Northland Regional Council) when protecting the disposal area.
- The system will benefit from the use of water reduction fixtures, i.e. dual flush 6/3 litre water closets, shower-flow restrictors, aerator tap fittings and water conserving automatic washing machines.

Irrigation Line Specification

- Distribution is to be via drip irrigation line with self-compensating pressure drip emitters.
- Install an Arkal disc filter at the outlet of the treatment system. Install pressure checkpoints on either side of the filter to allow for gauges to check for blockages. Install pressure checkpoints at the end of each lateral.
- Install either manual or automatic flushing valves at the end of each lateral. Install air release valves in the high points of the irrigation field.
- Allow 5m head loss from semi-blocked filter and ensure 12m of end pressure for the lowest emitter in the field.
- Ensure there is laminar flow through all lines in the field. Ensure flushing velocity is greater than 0.5m/s.
- **Use drip irrigation line with 1.0m dripper spacing and 1.0m spacing between laterals.**

Suitable Plant Species for Evapo – Transpiration Systems

(Source: NRC *"Looking after your household Sewerage System"*)

Native Shrubs and Trees

- Coprosma
- Hebe
- Manuka
- Weeping Mapou
- Flax (Fast)
- Pokaka (slow)
- Cabbage Tree (fast)
- Rangiora (fast)
- Lacebark (fast)
- Ribbonwood (fast)
- Poataniwha
- Heketara
- Poataniweta
- Kohuhu (fast)

Grasses

- Jointed Twig Sedge
- Longwood Tussock
- Pukio
- Toetoe (native species)
- Umbrella Sedge
- Oioi
- Hooksedge

Introduced Species

- Canna Lilies
- Taro
- Aralia
- Fuschia
- Philodendrons
- Begonias

Appendix D

FNDC TP58 Form

PRODUCER STATEMENT

DESIGN: ON-SITE EFFLUENT DISPOSAL SYSTEMS (T.P.58)

ISSUED BY:....Matthew Jacobson on behalf of RS Eng Ltd (approved qualified design professional)

TO: Clint Scott Davidson

TO BE SUPPLIED TO:Far North District Council.....

PROPERTY LOCATION: 696 Remuera Settlement Road, Kaikohe

LOT: Lot Taraire 2B2C1

TO PROVIDE : Design an on-site effluent disposal system in accordance with Technical paper 58 and provide a schedule to the owner for the systems maintenance.

THE DESIGN: Has been in accordance with G13 (Foul Water) of the Building Regulations 1992.

As an independent approved design professional covered by a current policy of Professional Indemnity Insurance (Design) to a minimum value of \$200,000.00, I BELIEVE ON REASONABLE GROUNDS that subject to:

- 1) The site verification of the soil types.
- 2) All proprietary products met the performance requirements.

The proposed design will met the relevant provisions of the Building Code and 8.15 of The Far North District Council Engineering Standards.

.....(Signature of approved design professional)

.....BE(Civil), CPEng, CMEngNZ.....(Professional qualifications)

.....1161533.....(Licence Number or professional Registration number)

Address2 Seaview Road, Whangarei.....

Phone Number.....

Fax Number

Cell Phone

Date ...19/08/2025.....

Note: This form is to accompany every application for a Building Consent incorporating a T.P.58. Approval as a design professional is at Councils discretion.

On-site Wastewater Disposal Site Evaluation Investigation Checklist

FAR NORTH DISTRICT COUNCIL

Appendix E

TP58

On-site Wastewater Disposal Site Evaluation Investigation Checklist

Part A –Owners Details

1. Applicant Details:

Applicant Name	Clint Scott Davidson		
Company Name	Affordable Homes Ltd		
	First Name(s)	Surname	
Property Owner Name(s)			

Nature of Applicant* Owner

(*i.e. Owner, Leasee, Prospective Purchaser, Developer)

2. Consultant / Site Evaluator Details:

Consultant/Agent Name	RS Eng Ltd			
Site Evaluator Name	Matthew Jacobson			
Postal Address	2 Seaview Road, Whangarei			
Phone Number	Business	094383273	Private	
	Mobile		Fax	
Name of Contact Person				
E-mail Address				

3. Are there any previous existing discharge consents relating to this proposal or other waste discharge on this site?

Yes		No	X	(Please tick)
If yes, give Reference Numbers and Description				

4. List any other consent in relation to this proposal site and indicate whether or not they have been applied for or granted

If so, specify Application Details and Consent No.

(eg. LandUse, Water Take, Subdivision, Earthworks Stormwater Consent)

N/A

Part B- Property Details

1. Property for which this application relates:

Physical Address of Property	696 Remuera Settlement Road, Kaikohe		
Territorial Local Authority	FAR NORTH DISTRICT COUNCIL		
Regional Council	NORTHLAND REGIONAL COUNCIL		
Legal Status of Activity	Permitted: x	Controlled:	Discretionary:
Relevant Regional Rule(s) (Note 1)			
Total Property Area (m ²)	8125m ²		
Map Grid Reference of Property If Known			

2. Legal description of land (as shown on Certificate of Title)

Lot No.		DP No.		CT No.	
Other (specify)	Taraire 2B2C1				

Please ensure copy of Certificate of Title is attached

PART C: Site Assessment - Surface Evaluation

(Refer TP58 - Sn 5.1 General Purpose of Site Evaluation and Sn 5.2.2(a) Site Surface Evaluation)

Note: Underlined terms defined in Table 1, attached

Has a relevant property history study been conducted?

Yes	X	No	(Please tick one)
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If yes, please specify the findings of the history study, and if not please specify why this was not considered necessary.

Review of historical aerial imagery, no history of slope instability or soil creep at the property.
Existing dwelling constructed prior to 1953. See full assessment in RS Eng Report.

1. Has a Slope Stability Assessment been carried out on the property?

Yes	X	No	Please tick
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If No, why not?

If Yes, please give details of report (and if possible, please attach report):

Author	Matthew Jacobson
Company/Agency	RS Eng
Date of Report	19 August 2025
Brief Description of Report Findings: Land suitable for drip irrigation disposal.	

2. Site Characteristics (See Table 1 attached):

Provide descriptive details below:

Performance of Adjacent Systems:

Unknown

Estimated Rainfall and Seasonal Variation:

1500ml

Vegetation / Tree Cover:

Lawn.

Slope Shape: (Please provide diagrams)

Waxing Planar

Slope Angle:

Gently sloping (<8°)

Surface Water Drainage Characteristics:

Linear.

Flooding Potential: YES/NO

No.

If yes, specify relevant flood levels on appended site plan, I.e. one in 5 years and/or 20 year and/or 100 year return period flood level, relative to disposal area.

Surface Water Separation:

None required.

Site Characteristics: or any other limitation influencing factors

3. Site Geology

Check Rock Maps

Kerikeri Volcanics

Geological Map Reference Number	
---------------------------------	--

4. What Aspect(s) does the proposed disposal system face? (please tick)

North		West	x
North-West		South-West	
North-East		South-East	
East		South	

5. Site clearances, (Indicate on site plan where relevant)

Separation Distance from	Treatment Separation Distance (m)	Disposal Field Separation Distance (m)
Boundaries	>1.5m	>1.5m
Surface water, rivers Creeks drains etc	>15m	>15m
Groundwater	>1.0m	>1.0m
Stands of Trees/Shrubs	>15m	N/A
Wells, water bores	>20m	>20m
Embankments/retaining walls	NA	N/A
Buildings	>3.0m	>3.0m
Other (specify):		

PART D: Site Assessment - Subsoil Investigation

(Refer TP58 - Sn 5.1 General Purpose of Site Evaluation, and Sn 5.2.2(a) Site Surface Evaluation and Sn 5.3 Subsurface Investigations)

Note: Underlined terms defined in Table 2, attached

1. Please identify the soil profile determination method:

Test Pit		(Depth _____ m	No of Test Pits	
Bore Hole		Depth: 3.2m	No of Bore Holes	2
Other (specify):				

Soil Report attached?

Yes	x	No		Please tick
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2. Was fill material intercepted during the subsoil investigation?

Yes		No	x	Please tick
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If yes, please specify the effect of the fill on wastewater disposal

3. percolation testing (mandatory and site specific for trenches in soil type 4 to 7)

Please specify the method
Long term seepage rates selected based on NZS1547.

Test Report Attached?	Yes	x	No	
-----------------------	-----	---	----	--

Please tick

4. Are surface water interception/diversion drains required?

Yes		No	x	
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Please tick

If yes, please show on site plan

4a Are subsurface drains required

If yes enter details

5. Please state the depth of the seasonal water table:

Winter		Measured		Estimated	>5.0m
Summer		Measured		Estimated	>5.0m

6. Are there any potential storm water short circuit paths?

Yes		No	x	
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Please tick

If the answer is yes, please explain how these have been addressed

7. Based on results of subsoil investigation above, please indicate the disposal field soil category (Refer TP58 Table 5.1)

Is Topsoil Present? Yes	If so, Topsoil Depth? 0.3 (m)
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Soil Category	Description	Drainage	Tick One
1	Gravel, coarse sand	Rapid draining	
2	Coarse to medium sand	Free draining	
3	Medium-fine & loamy sand	Good drainage	
4	Sandy loam, loam & silt loam	Moderate drainage	
5	Sandy clay-loam, clay loam & silty clay-loam	Moderate to slow drainage	x
6	Sandy clay, non-swelling clay & silty clay	Slow draining	
7	Swelling clay, grey clay, hardpan	Poorly or non-draining	

Reasons for placing in stated category

Cat 5 as per NZS1547
Kerikeri Volcanics consisting of clays and silts

PART E: Discharge Details

1. Water supply source for the property (please tick):

Rainwater (roof collection)	x
Bore/well	
Public supply	

2. Calculate the maximum daily volume of wastewater to be discharged, unless accurate water meter readings are available

(Refer TP58 Table 6.1 and 6.2)

Number of Bedrooms	1			
Design Occupancy	2			(Number of People)
Per capita Wastewater Production	180			(tick) (Litres per person per day)
Other - specify				
Total Daily Wastewater Production	360			(litres per day)

3. Do any special conditions apply regarding water saving devices

a) Full Water Conservation Devices?	Yes		No	x	(Please tick)
b) Water Recycling - what %?		%		x	(Please tick)

If you have answered yes, please state what conditions apply and include the estimated reduction in water usage

4. Is Daily Wastewater Discharge Volume more than 2000 litres:

Yes		(Please tick)
No	x	(Please tick)

Note if answer to the above is yes, an N.R.C wastewater discharge permit may be required

5. Gross Lot Area to Discharge Ratio:

Gross Lot Area	8125	M ²
Total Daily Wastewater Production	360	(Litres per day)(from above)
Lot Area to Discharge Ratio	4.431	

7. Does this proposal comply with the Northland Regional Council Gross Lot Area to Discharge Ratio of greater than 3?

Yes	x	No		Please tick
-----	---	----	--	-------------

8. Is a Northland Regional Council Discharge Consent Required?

Yes		No	x	(Please tick)
-----	--	----	---	---------------

PART F: Primary Treatment *(Refer TP58 Section 7.2)*

1. Please indicate below the no. and capacity (litres) of all septic tanks including type (single/dual chamber grease traps) to be installed or currently existing: If not 4500 litre, dual chamber explain why not

Number of Tanks	Type of Tank	Capacity of Tank (Litres)
	Total Capacity	

2. Type of Septic Tank Outlet Filter to be installed?

PART G: Secondary and Tertiary Treatment

(Refer TP58 Section 7.3, 7.4, 7.5 and 7.6)

1. Please indicate the type of additional treatment, if any, proposed to be installed in the system: (please tick)

Secondary Treatment	☒		
Home aeration plant	☐		
Commercial aeration plant	☐		
Intermediate sand filter	☐		
Recirculating sand filter	☐		
Recirculating textile filter	☐		
Clarification tank	☐		
Tertiary Treatment	☐		
Ultraviolet disinfection	☐		
Chlorination	☐		
Other	☐	Specify	

PART H: Land Disposal Method

(Refer TP58 Section 8)

1. Please indicate the proposed loading method: (please tick)

Gravity	☐
Dosing Siphon	☐
Pump	☒

2. High water level alarm to be installed in pump chambers

Yes ☐

If not to be installed, explain why

3. If a pump is being used, please provide the following information:

Total Design Head	Unknown	(m)
Pump Chamber Volume		(Litres)
Emergency Storage Volume		(Litres)

4. Please identify the type(s) of land disposal method proposed for this site: (please tick)
 (Refer TP58 Sections 9 and 10)

Surface Dripper Irrigation		
Sub-surface Dripper irrigation	X	
Standard Trench		
Deep Trench		
Mound		
Evapo-transpiration Beds		
Other		Specify

5. Please identify the loading rate you propose for the option selected in Part H, Section 4 above, stating the reasons for selecting this loading rate:

Loading Rate	2.0	(Litres/m2/day)
Disposal Area	Design	180 (m2)
	reserve	54 (m2)

Explanation (Refer TP58 Sections 9 and 10)

Loading rate from 1547 for category 5 soils and drip irrigation

6. What is the available reserve wastewater disposal area (Refer TP58 Table 5.3)

Reserve Disposal Area (m ²)	54
Percentage of Primary Disposal Area (%)	30

7. Please provide a detailed description of the design and dimensions of the disposal field and attach a detailed plan of the field relative to the property site:

Description and Dimensions of Disposal Field:

Refer drawings in RS Eng report.					
Plan Attached?	Yes	X	No		(Please tick)

If not, explain why not

PART I: Maintenance & Management

(Refer TP58 Section 12.2)

1. Has a maintenance agreement been made with the treatment and disposal system suppliers?

	No	
--	----	--

(Please tick)

Name of Suppliers

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PART J: Assessment of Environmental Effects

1. Is an assessment of environmental effects (AEE) included with application?

(Refer TP58 section 5. Ensure all issues concerning potential effects addressed)

Yes	X	No	
-----	---	----	--

(Please tick)

If Yes, list and explain possible effects

PART K: Is Your Application Complete?

1. In order to provide a complete application you have remembered to:

Fully Complete this Assessment Form	✓
Include a <i>Location Plan</i> and <i>Site Plan</i> (with Scale Bars)	✓
Attach an Assessment of Environmental Effects (AEE)	✓

1. Declaration

I hereby certify that, to the best of knowledge and belief, the information given in this application is true and complete.

Name: Matthew Jacobson	Signature	
Position: Director	Date	19/08/2025

Note

Any alteration to the site plan or design after approval will result in non compliance.