

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

If yes, who have you spoken with?

2. Type of consent being applied for

(more than one circle can be ticked):

Land Use

Discharge

Fast Track Land Use*

Change of Consent Notice (s.221(3))

Subdivision

Extension of time (s.125)

Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)

Other (please specify)

*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

3. Would you like to opt out of the fast track process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Luis & Ann Reina Cabrera

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? Yes No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Martin OBrien

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Luis & Ann Reina Cabrera

Property address/
location:

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Luis & Ann Reina Cabrera

Email:

Phone number:

Postal address:
(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Ann Rena Cabrera

Signature:

(signature of bill payer)

Date 23/04/26

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Ann Rena Cabrera

Signature

Date 23/04/26

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

ASSESSMENT OF ENVIRONMENTAL EFFECTS

Luis & Ann Reina Cabrera
22 Dudley Crescent
Cable Bay
Far North District
Lot 15 DP 384236

Written by: Nicola O'Brien
Reviewed by: Martin O'Brien

Rev: A
Date: 2nd April 2026
Job No: 5312

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Form 9

Application for Resource Consent under Sections 127 Resource Management Act 1991

To Far North District Council

1. *Luis & Ann Reina Cabrera, from 22 Dudley Crescent, Cable Bay, Lot 15 DP 384236, apply for Resource Consent due to the following rule breaches in a Coastal Living Zone:*

- *10.7.5.1.1 Visual Amenity*

(a) any new building(s), provided that the gross floor area of any new building(s) permitted under this rule, does not exceed 50m²

The proposed dwelling will have a floor area of 145.9m². The activity is not Controlled or Restricted Discretionary as a building envelope was not designated during subdivision as per section 10.7.5.2.2 and 10.7.5.3.1. The activity is Discretionary as per section 10.7.5.4 (c) *"It does not comply with one or more of the other standards for permitted, controlled, or restricted discretionary activities in this zone as set out under Rules 10.7.5.1; 10.7.5.2 and 10.7.5.3 above"*.

- *10.7.5.1.6 Stormwater Management*

The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m² whichever is the lesser.

The proposed dwelling will have a roof area of 178.0m² and a 40.30m² concrete driveway. 218.3m² total proposed impermeable surfaces is 30.4% of the gross site area, 20.4% above permitted. The activity is considered a Discretionary Activity as total proposed impermeable area exceeds 10%.

- *12.4.6.1.2, Fire Risk to Residential Units*

(a) Residential units shall be located at least 20m away from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest.

Application for Fire Risk to Residential Unit as a Discretionary Activity due to the proposed dwelling being within 20m from scrub to the southeast (approximately 11m from scrub located on neighbouring Lot 17 DP 384236, 26 Dudley Crescent).

The applicant opts out of the fast-track consent process as the breaches are Discretionary.

2. *The activity to which the application relates (the proposed activity) is as follows:*

A 3-bedroom dwelling with a floor area of 145.9m² and roof area of 178.0m² is proposed on Lot 15 DP 384236. A 40.3m² concrete driveway will provide access to the dwelling. Lot 15 is a 718.0m² section currently zoned Coastal Living. The dwelling will be within 20m of an area of scrub. This report addresses relevant criteria in the existing and proposed Far North District Plan, Resource Management Act (1991), New Zealand Coastal Policy Statement (2010), and Regional Policy Statement for Northland (May 2016).

3. *The location of the proposed activity:*

Lot 15 DP 384236 is located to the east of Dudley Crescent, Cable Bay, rapid number 22. The Certificate of Title and Consent Notices for the property are attached as Appendix 1. The property is zoned Coastal Living in the operative Far North District Plan and will be rezoned Rural Lifestyle in the proposed District Plan. A small section of the property, to the north, will be within the Coastal Environment overlay. ~3% of the dwelling will be within the Coastal Environment overlay the remaining ~97% will be within Rural Lifestyle. Refer to the Site Location & Proposed Zoning Plan, Sheet A01a, Appendix 2 showing the location of Lot 15 DP 384236, proposed location of the dwelling onsite, and proposed zoning.

4. The owner listed is the only owner/occupier of the site to which this application relates.

5. There are no other activities that are part of the proposal to which this application relates.

6. No additional resource consents are required for the proposal to which this application relates.

7. Attached is an assessment of the proposed activity's effect on the environment that:

- a. Includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
- b. Addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
- c. includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.

8. Attached is an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.

9. Attached is an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including the information required by clause 2(2) of Schedule 4 of that Act.

10-13 Not applicable.

14. Attached is further information required to be included in this application by the District Plan, the Regional Plan, the Resource Management Act 1991, or any regulations made under that Act.

1.0 Executive Summary

O'Brien Design Consulting were engaged by GJ Gardner Homes to prepare an Assessment of Environmental Effects Report to accompany an application for Resource Consent addressing the requirements of Section 88.2 and Schedule 4 of the Resource Management Act 1991. The application is to be submitted to the Far North District Council. This application has been prepared in accordance with Form 9 and Schedule 4, Sections 2, 6 and 7 of the Resource Management Act.

Relevant operative District Plan and proposed District Plan rules have been assessed along with objectives and policies, for each plan. District Plan Criterion are addressed.

VISUAL AMENITY

The proposed dwelling is to be located in a residential area subdivided for residential use. The proposed development is in keeping with existing residential properties in the surrounding area. The exterior colours of the dwelling will comply with British Standard specification BS5252 Colour Range and have a reflectance value of 30% or less to fulfil Consent Notice 9, bullet point 2. Native vegetation to the north fully screens the development from view from a northerly direction. An existing 1.8m high wooden fence will provide a reasonable level of privacy to neighbours to the east. The western and southern boundaries may remain open which is in keeping with surrounding residential properties open to the roadside.

In the Far North Proposed District Plan the property will be zoned Rural Lifestyle with a small area of Coastal Environment overlay to the north. A very small area of the dwelling (~3%) is within the Coastal Environment overlay. The Coastal Environment overlay has a requirement for specific colours and a 30% reflectance value or less with no other visual amenity requirements. Most of the dwelling (~97%) is within Rural Lifestyle with no visual amenity requirements.

STORMWATER MANAGEMENT

The impermeable surface coverage of 30.4% does not comply with current zoning (10%) or future zoning (12.5%). The Stormwater Mitigation Report written by Wilton Joubert, 18th March 2026 outlines mitigation measures to create less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold. Mitigation includes attenuation with 2 x 25,000 litre rainwater tanks and the driveway shaped to direct run off to catchpit(s) discharging to stormwater connection via sealed pipes.

FIRE RISK TO RESIDENTIAL UNIT

The proposed dwelling is located within 20m of existing scrub to the southeast. Scrub on Lot 17 DP 384236 (26 Dudley Crescent) is likely to be removed when development of this property occurs. This would significantly increase the distance between the scrub and the dwelling on Lot 15 (~20m). Planting around the dwelling is not currently proposed which will reduce fire risk and spread. Where possible, fire-resistant plants should be considered if planting occurs rather than highly flammable species.

2 x 25,000 litre plastic water tanks are proposed to the east of the dwelling. 10,000 litres are to be set aside for firefighting purposes. Fire Emergency New Zealand have approved the proposed water supply and access to it.

2.0 Proposal

A 3-bedroom dwelling with a floor area of 145.9m² and roof area of 178.0m² is proposed on Lot 15 DP 384236. The proposed dwelling is a new build, modern and aesthetically pleasing. A 40.3m² concrete driveway will provide access to the dwelling. The dwelling will be within 20m of existing scrub. 2 x 25,000 litre water tanks will provide potable water, manage stormwater and store 10,000 litres for firefighting purposes. Lot 15 is a 718.0m² section currently zoned Coastal Living. Visual Amenity, Stormwater Management and Fire Risk to Residential Unit breaches are discussed in this report.

The Certificate of Title and Consent Notices for the property are attached as Appendix 1. The following Consent Notices are relevant to this application.

Consent Notice 6 states that “the owner shall preserve the indigenous trees and bush on allotments 201 and 203 and all bush areas outside of the identified building platforms on allotments 28, 29, 30, 31 allotments 49-86 inclusive...”

This is relevant as the bush and scrub on Lot 203 close to Lot 15 is likely to remain. The scrub located on Lot 17 DP 384236 is likely to be removed when development of this property occurs, significantly reducing the distance from the dwelling to the scrub.

Consent Notice 9, bullet point 2 states “the colours of all buildings are to comply with British Standard specification BS5252 Colour Range and have a reflectance value of 30% or less”. The exterior colours and reflectance of the building will comply with Consent Notice 9, point 2.

Consent Notice 10 states “any new residential building erected on site shall have installed domestic sprinkler system in accordance with the requirements of the New Zealand Fire Service”. Fire and Emergency New Zealand have stated via email (Appendix 5) that the installation of residential domestic sprinkler systems is endorsed but not mandatory under relevant Building Act Legislation or FENZ regarding this development. The proposed water supply and access to it have been approved by Fire Emergency New Zealand.

A Landscape Plan is attached as Appendix 2, Sheet A01b to satisfy requirements of Consent Notice 15. Native plantings to the north fully screen the dwelling from view from the north. A 1.8m high wooden fence provides a reasonable level of privacy to the neighbour to the east. The western and southern boundaries may remain open. This is in keeping with other residential properties in the area which are open to the roadside. Reduced plantings assist in reducing potential fire risk and spread. The dwelling will be coloured within the BS5252 Colour Range and have a reflectance value of 30% or less. The majority of the dwelling (~97%) will be rezoned Rural Lifestyle with no visual amenity requirements.

3.0 Site Description

Lot 15 DP 384236 is located at 22 Dudley Crescent, Cable Bay. The 718m², irregular shaped section is currently bare, grassed lawn. The property is set around a south to north traversing, broad spur crest bound by a west facing, short, steep slope that falls towards Dudley Crescent. Excavation for the house site has not yet occurred. The ocean (Cable Bay area) is visible to the northwest and northeast. The coastline is not visible. Lot 203 DP 384236, located to the southeast, is a 6.9865 ha property

covered with scrub. Other properties in the surrounding area are established residential lots with houses or bare sections to be developed. Refer to the Site Location Plan, Sheet A01a, Appendix 2 showing Lot 15 DP 384236 and the surrounding area. The site visit occurred on 28th March 2026.

Photograph 1 shows the view along the northern boundary. Existing native plantings consisting of Karo, Manuka, Kanuka, Griselinia, Cabbage trees and juvenile Pohutukawa are located on Lot 1 DP 375384 and Lot 1 DP 184767. The plantings completely block visibility of the development from the north.

An existing 1.8m high wooden fence is shown in Photograph 2. The fence provides a reasonable level of privacy for the neighbouring existing residential property, Lot 16 DP 384236. During the site visit the owners of this property told me they were looking forward to the dwelling being built on Lot 15 as it would reduce wind onto their property from the west. They have deliberately planted the northwest corner of their property to provide privacy to their deck area.

Photograph 3 shows the current view to the southwest towards the grass verge and Dudley Crescent. Existing residential properties to the west such as 21 Dudley Crescent are open to the roadside with minimal planting.

Photograph 4 shows the view to the south towards undeveloped properties (26 and 28 Dudley Crescent) to the south of an existing concrete driveway. 30 and 32 Dudley Crescent are well established residential properties with minimal planting along the roadside.

In the Proposed Far North District Plan the majority of the property and dwelling (~97% of dwelling) will be rezoned Rural Lifestyle. This zone does not require visual amenity mitigation. Appendix 2, Sheet A01a shows the very small area of the dwelling (~3%) within the Coastal Environment overlay subject to a colour scheme and reflectance value.

According to Northland Regional Council (NRC) Hazard Maps the property is not subject to flooding or identified as erosion prone land. The property is located within the 'safe zone' for Tsunami Evacuation.



Photograph 1 showing the view along the northern boundary. Native planting is located on northern properties. The vegetation obscures the development from view.



Photograph 2 showing an existing 1.8m high wood fence providing a reasonable level of privacy to neighbours to the east. The owners of the eastern property have planted shrub species and cabbage trees to provide privacy for them while they use their deck area.



Photograph 3 shows the current view to the southwest towards the grass verge and Dudley Crescent. Existing residential properties to the west such as 21 Dudley Crescent (brown brick and roof) are open to the roadside with minimal planting.



Photograph 4 showing the view to the south towards undeveloped properties (26 and 28 Dudley Crescent) to the south of an existing concrete driveway. 30 Dudley Crescent (grey exterior) has minimal planting along the roadside.

4.0 Far North District Plan Review

4.1 Operative Far North District Plan

The criteria below breach permitted in the current Far North District Plan in a Coastal Living zone:

- 10.7.5.1.1 Visual Amenity

(a) any new building(s), provided that the gross floor area of any new building(s) permitted under this rule, does not exceed 50m²

The proposed dwelling will have a floor area of 145.9m². The activity is not Controlled or Restricted Discretionary as a building envelope was not designated during subdivision as per section 10.7.5.2.2 and 10.7.5.3.1. The activity is Discretionary as per section 10.7.5.4 (c) *“It does not comply with one or more of the other standards for permitted, controlled, or restricted discretionary activities in this zone as set out under Rules 10.7.5.1; 10.7.5.2 and 10.7.5.3 above”*.

- 10.7.5.1.6 Stormwater Management

The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m² whichever is the lesser.

The proposed dwelling will have a roof area of 178.0m² and a 40.30m² concrete driveway. 218.3m² total proposed impermeable surfaces is 30.4% of the gross site area, 20.4% above permitted. The activity is considered a Discretionary Activity as total proposed impermeable area exceeds 10%.

- 12.4.6.1.2, Fire Risk to Residential Units

(b) Residential units shall be located at least 20m away from the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest.

Application for Fire Risk to Residential Unit as a Discretionary Activity due to the proposed dwelling being approximately 11m from scrub to the southeast (26 Dudley Crescent).

Lot 15 DP 384236 will be zoned Rural Lifestyle in the proposed Far North District Plan with a small area of the dwelling within Coastal Environment overlay. A Visual Amenity Resource Consent would not be required under the new plan. Stormwater Management and Fire Risk to Residential Unit assessment will be required under the new plan.

4.2 Operative Far North District Plan Other Rule Assessment:

The following District Plan rules comply:

10.7.5.1.2 Residential Intensity: Complies

10.7.5.1.3 Scale of Activities: Complies

10.7.5.1.4 Building Height: Complies. 4.4m proposed, 8m permitted maximum.

10.7.5.1.5 Sunlight Rule: Complies

10.7.5.1.6 Stormwater Management

Impermeable Surfaces

Proposed concrete driveway: 40.3m²

Proposed dwelling: 178.0m²

Total proposed: 218.3m²

Total permitted = 10% of gross site area = 71.8m²

Total proposed = 218.3m² = 30.4% Complies

10.7.5.1.7 Setback from Boundaries: Complies

10.7.5.1.8 Screening for Neighbours Non-Residential Activities: Not applicable. Complies

10.7.5.1.9 Transportation: Complies

10.7.5.1.10 Hours of Operation Non-Residential Activities: Not applicable. Complies

10.7.5.1.11 Keeping of Animals: Complies

10.7.5.1.12 Noise: Will comply

10.7.5.1.13 Helicopter Landing Area: Not applicable

12.3.6.1.2 Excavation and/or filling

Driveway cut: 4.2m³

Main cut: 21.8m³

Total cut: 26.0m³

Fill: 26.0m³

Cut/fill: 52.0m³

Total permitted = 300m³, Complies

NES Soil disturbance: Not subject to NES

12.4.6.1.2 Fire Risk to Residential Units: Does not comply as ~11m from existing scrub.

4.3 Operative Far North District Plan Objectives & Policies

The following has been taken from the Operative Far North District Plan, Section 10.6, p. 1 and 2.

4.3.1 COASTAL LIVING ZONE

10.7.1 ISSUES

10.7.1.1 Rural residential development on relatively small lots adjoining the coast is a popular and appropriate form of development in some parts of the District. However, this can have adverse effects on the natural character and physical environment of the coastal environment and on water quality.

Lot 15 DP 384236 has been subdivided for residential use and is within an existing built-up residential area suitable for development. The property is over 220m from the coast. The works proposed will comply with Earthworks EW-S5 Erosion and Sediment Control – Auckland Council Guideline Document GD005 GD05 Erosion and Sediment Control. Pdf (aucklanddesignmanual.co.nz). Stormwater will be managed onsite. Public wastewater is available. Adverse effects on the natural character and physical environment of the coastal environment and water quality not anticipated.

10.7.1.2 Because of the generally smaller lot sizes, rural residential development in the coastal environment can have adverse visual effects and consequently can affect the amenity of the area from adjoining landowners and the public.

The proposed dwelling is to be located in an area with existing, established residential development. The proposal is in keeping with surrounding land use.

10.7.2 ENVIRONMENTAL OUTCOMES EXPECTED

10.7.2.1 A Coastal Living Zone in which rural residential development occurs in appropriate locations.

The construction of a single residential dwelling on the residential section is deemed appropriate.

10.7.2.2 A Coastal Living Zone in which development does not detract from the natural character of the coastal environment and does not cause adverse effects to natural and physical resources in the coastal environment.

The proposed dwelling is to be located within existing residential development. The exterior colours will be within BS5252 Colour Range and have a reflectance value of 30% or less. A new dwelling in this location is not expected to make a difference visually from the coast. Adverse effects to natural and physical resources in the coastal environment not expected.

10.6.3 OBJECTIVES

10.7.3.1 To provide for the well-being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.

The proposed use and development are appropriate in this zone. The activity is compatible with existing residential development. Adverse environmental effects not anticipated.

10.7.3.2 To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.

The proposed dwelling is to be located in a well-established residential area subdivided for that purpose. The proposed dwelling is in keeping with nearby properties.

10.7.4 POLICIES

10.7.4.1 That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied, or mitigated.

The proposed use and development of the property is considered appropriate for the current Coastal Living zone and future proposed Rural Lifestyle zone with a small area of Coastal Environment overlay. The property and surrounding area were subdivided for residential development. The exterior of the dwelling will be within the BS5252 Colour Range with a reflectance value of 30% or less. The addition of the dwelling in a built-up area is unlikely to have any effect on visual amenity value from the coast. Environmental effects are not anticipated.

10.7.4.2 That standards be set to ensure that subdivision, use, or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.

The dwelling is serviced by Doubtless Bay water supply. The addition of 2 x 25,000 litre water tanks will provide potable water, attenuate and manage stormwater and provide water for firefighting if required. Onsite wastewater is not required as public wastewater disposal is available. Environmental effects not anticipated. Visual effects are expected to be less than minor in the existing built-up residential area.

10.7.4.3 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:

(a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;

Original subdivision created lots 1-89, 201, 203, 301 and 401 - 405. Lots 1-27, 32-48 and 87-89 are all similar sized, residential properties located in close proximity to each other as shown on the Certificate of Title Diagram, Appendix 1. The development on Lot 15 DP 384236 is in keeping with existing properties within the subdivision.

(b) minimizing the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;

The property is grassed; therefore, vegetation clearance is not proposed. Earthworks will be temporary and minor. The proposed dwelling will be located within an established residential area. The location amongst established housing and distance from the

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coast and public land means visual effects will be less than minor. Existing native planting to the north blocks visibility from that direction.

(c) providing for, through siting of buildings and development and design of subdivisions, legal public right of access to and use of the foreshore and any esplanade areas;

There is no access to the foreshore or esplanade areas.

(d) through siting of buildings and development, design of subdivisions, and provision of access that recognize and provide for the relationship of Māori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Māori culture makes to the character of the District (refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)");

Not applicable

(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;

Not applicable

(f) protecting historic heritage through the siting of buildings and development and design of subdivisions.

Not applicable.

4.3.2 NATURAL HAZARDS, SECTION 12.4

ISSUE

12.4.1.4 The risk of fire causing loss of life, severe damage to property and loss of indigenous vegetation and habitats of indigenous fauna is increasing due to the practice of building homes within or close to flammable vegetation and/or in isolated areas remote from firefighting services.

12.4.3 Objectives

Objectives 12.4.3.1 to 12.4.3.7 from Section 12.4.3 from the current Natural Hazards section of the Far North District Plan were reviewed. The relevant objectives to this consent are listed below.

- *To reduce the threat of natural hazards to life, property, and the environment, thereby to promote the wellbeing of the community.*
- *12.4.3.2 To ensure that development does not induce natural hazards or exacerbate the effects of natural hazards.*

Reducing the threat and likelihood of fire risk to the dwelling and nearby scrub is proposed.

12.4.4 Policies

Policies 12.4.4.1 to 12.4.3.9 from the current Far North District Plan were reviewed. The relevant policy to this consent is listed below.

- 12.4.4.7 *That the risk to adjoining vegetation and properties arising from fires be avoided.*

2 x 25,000 litre water tanks are proposed to the north of the lot. 10,000 litres of water is to be available for firefighting purposes. Fire Emergency New Zealand have approved the water supply and access to it. Details of the water supply, access, and mitigation measures to reduce fire spread are outlined in the report by Fire Emergency New Zealand attached as Appendix 4. Interconnected smoke detectors are proposed in the dwelling.

4.4 Proposed Far North District Plan Objectives & Policies

4.4.1 PROPOSED ZONING

Under the proposed Far North District Plan Lot 15 DP 384236 will be zoned Rural Lifestyle. There are no visual amenity criteria in this zone. A small area to the north of the property will be within the Coastal Environment overlay (~3% of the dwelling) as shown on the Site Location Plan and Proposed Zoning, Sheet A01a, Appendix 2.

Stormwater management will still be required under the new plan as will mitigation for a dwelling within 20m from the dripline of scrub, shrubland woodlot or forestry.

In relation to visual amenity the following is required in the Coastal Environment overlay (~3% of the dwelling within this zone):

CE-S2 Colours and materials

The exterior surfaces of buildings or structures shall:

- 1. be constructed of materials and/or finished to achieve a reflectance value no greater than 30% and***
- 2. have an exterior finish within Groups A, B or C as defined with the BS5252 standard colour palette.***

The exterior of the dwelling will be within the BS5252 standard colour palette with a reflectance value no greater than 30% in keeping with Consent Notice 9, bullet point 2.

Objectives RLZ-01 - RLZ-04 of the proposed Rural Lifestyle Zone were reviewed as the majority of the property will be within that zone.

RLZ-01 The Rural Lifestyle Zone is used predominantly for low density residential activities and small-scale farming activities that are compatible with the rural character and amenity of the zone.

Low density residential activity is proposed compatible with the proposed zoning.

RLZ-O2 *The predominant character and amenity of the Rural Lifestyle Zone is characterized by:*

- a) low density residential activities;*
- b) small scale farming activities with limited buildings and structures;*
- c) smaller lot sizes than anticipated in the Rural Production Zone;*
- d) a general absence of urban infrastructure;*
- e) rural roads with low traffic volumes;*
- f) areas of vegetation, natural features and open space.*

Low density residential activity proposed.

RLZ-O3 *The role, function and predominant character and amenity of the Rural Lifestyle Zone is not compromised by incompatible activities.*

No incompatible activities proposed.

RLZ-O4 *Land use and subdivision in the Rural Lifestyle Zone does not compromise the effective and efficient operation of primary production activities in the adjacent Rural Production Zones.*

The section is for residential land use and does not compromise the operation of primary production in Rural Production zones.

Objectives Summary

Visual Amenity criteria not proposed in the Rural Lifestyle zone due to a building greater than 50m².

Policies TSL-P1 – TSL-P4 were reviewed.

RLZ-P1 *Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Lifestyle Zone, while ensuring their design, scale and intensity is appropriate to manage adverse effects in the zone, including:*

- a) low density residential activities;*
- b) small scale farming activities;*
- c) home business activities;*
- d) visitor accommodation; and*
- e) small scale education facilities.*

The proposed activity will not compromise the role, function and predominant character and amenity of the Rural Lifestyle Zone. The design, scale and intensity are appropriate to manage adverse effects in the zone.

RLZ-P2 *Avoid activities that are incompatible with the role, function and predominant character and amenity of the Rural Lifestyle Zone because they are:*

-
- a) *contrary to the density anticipated for the Rural Lifestyle zone;*
 - b) *predominately of an urban form or character;*
 - c) *primary production activities, such as intensive indoor primary production, that generate adverse amenity effects that are incompatible with rural lifestyle living; or*
 - d) *commercial, rural industry or industrial activities that are more appropriately located in a Settlement Zone or an urban zone.*

The proposed activity is compatible with the role, function and predominant character and amenity of a Rural Lifestyle zone.

RLZ-P3 *Avoid where possible, or otherwise mitigate, reverse sensitivity effects from sensitive and other non-productive activities on primary production activities in the adjacent Rural Production Zone.*

Reverse sensitivity effects from sensitive and other non-productive activities on primary production activities in the Rural Production Zone will not occur.

RLZ-P4 *Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:*

- a) *consistency with the scale and character of the rural lifestyle environment;*
- b) *location, scale and design of buildings or structures;*
- c) *at zone interfaces:*
 - i. *any setbacks, fencing, screening or landscaping required to address potential conflicts;*
 - ii. *the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable;*
- d) *the capacity of the site to cater for on-site infrastructure associated with the proposed activity;*
- e) *the adequacy of roading infrastructure to service the proposed activity;*
- f) *managing natural hazards;*
- g) *any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; and*
- h) *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*

The proposed residential land use is appropriate in a Rural Lifestyle zone. Existing native planting on northern properties blocks visibility of the development from the north. An existing 1.8m high wood fence provides a reasonable level of privacy to an existing dwelling to the east. The western and southern boundaries may remain open. This is in keeping with numerous established properties which have not planted along the roadside, for example 21, 30 and 32 Dudley Crescent. Reduced planting around the dwelling reduces the risk of fire and fire spread.

Stormwater will be managed onsite with 2 x 25,000 litre stormwater tanks. The upper section of the tanks acts as detention. The remainder is for potable water and firefighting purposes.

The proposed activity is in keeping with the policies outlined in the proposed Rural Lifestyle zone.

4.4.2 PROPOSED NATURAL HAZARD SECTION NH-P9

Objectives

Objectives NH-01 to NH-04 from the Natural Hazards section of the proposed Far North District Plan were reviewed. The relevant objectives to this consent are listed below.

NH-01 *The risks from natural hazards to people, infrastructure and property are managed, including taking into account the likely long-term effects of climate change, to ensure the health, safety, and resilience of communities.*

It is the intent of the owner to reduce the risk of fire and fire spread. A water supply accessible to firefighters will be provided.

NH-02 *Land use and subdivision does not increase the risk from natural hazards or risks are mitigated, and existing risks are reduced where there are practicable opportunities to do so.*

Risks are mitigated and reduced where practical.

NH-03 *New infrastructure is located outside of identified natural hazard areas unless:*

- a. it has a functional or operational need to be located in that area;*
- b. it is designed to maintain its integrity and function, as far as practicable during a natural hazard event; and*
- c. adverse effects resulting from that location on other people, property and the environment are mitigated.*

There is limited available area on the 718m² property therefore the proposed dwelling cannot be moved further away from the existing scrub. As the scrub is located on neighbouring properties it cannot be removed. It is likely the scrub will be removed when 26 Dudley Crescent is developed, reducing the distance to scrub to around 20m. An adequate, accessible water supply will be available. Interconnected smoke alarms proposed.

NH-04 *Natural defences, such as natural systems and features, and existing structural mitigation assets are protected to maintain their functionality and integrity and used in preference to new structural mitigation assets to manage natural hazard risk.*

Not applicable.

Policies

Policies NH-P1 to NH-P14 from the Natural Hazards section of the proposed Far North District Plan were reviewed. The relevant objectives to this consent are listed below.

NH-P9 *Manage land use and subdivision that may be susceptible to wildfire risk by requiring:*

- a. setbacks from any contiguous scrub or shrubland, woodlot or forestry;*
- b. access for emergency vehicles; and*
- c. sufficient accessible water supply for firefighting purposes.*

Further setback of the dwelling on the 718m² property cannot occur. Fire Emergency New Zealand have approved the water supply proposed and access to it.

4.5 Proposed Far North District Plan Rules with Immediate Legal Effect

The proposal is subject to the Proposed District Plan. Assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

Chapter	Rule Reference	Compliance of Proposal
<i>Hazardous Substances</i>	<i>The following rules have immediate legal effect: Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility. HS -R5 relates to a hazardous facility within a scheduled site and area of significance to Maori. HS-R6 relates to a hazardous facility within an SNA. HS-R9 relates to a hazardous facility within a scheduled heritage resource.</i>	Not applicable. The site does not contain any hazardous substances to which these rules would apply.
<i>Heritage Area Overlays</i>	<i>All rules have immediate legal effect (HAR1 to HAR14) All standards have immediate legal effect (HA-S1 to HA-S3)</i>	Not applicable. The site is not located within a Heritage Area Overlay.
<i>Historic Heritage</i>	<i>All rules have immediate legal effect (HHR1 to HHR10) Schedule 2 has immediate legal effect</i>	Not applicable. The site is not located within a Heritage Area Overlay.
<i>Notable Trees</i>	<i>All rules have immediate legal effect (NTR1 to NTR9) All standards have legal effect (NT-S1 to NT-S2) Schedule 1 has immediate legal effect</i>	Not applicable. The site does not contain any notable trees.
<i>Sites and Areas of Significance to Maori</i>	<i>All rules have immediate legal effect (SASM-R1 to SASM-R7) Schedule 3 has immediate legal effect</i>	Not applicable.
<i>Ecosystems and Indigenous Biodiversity</i>	<i>All rules have immediate legal effect (IB-R1 to IB-R5)</i>	The property is not identified as a Significant Natural Area. The proposal is not in breach of rules IB-R1 to IB-R5.
<i>Subdivision</i>	<i>The following rules have immediate legal effect: SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17</i>	Not applicable. The proposal is not a subdivision
<i>Activities on the Surface of Water</i>	<i>All rules have immediate legal effect (ASWR1 to ASW-R4)</i>	Not applicable. The proposal does not involve activities on the surface of water.
<i>Earthworks</i>	<i>The following rules have immediate legal effect: EW-R12, EW-R13 The following standards have immediate legal effect: EW-S3, EW-S5</i>	Proposed earthworks meet permitted activity status and will follow guidelines listed.
<i>Signs</i>	<i>The following rules have immediate legal effect: SIGN-R9, SIGN-R10 All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area</i>	Not applicable. No signs are proposed as part of this application.
<i>Orongo Bay Zone</i>	<i>Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water</i>	Not applicable. The site is not located in the Orongo Bay Zone.

The assessment above indicates that the proposal is determined to be a Permitted Activity in regard to the Proposed District Plan. Therefore, no further assessment of these rules will be undertaken.

4.6 Far North District Plan Section Assessment Criteria

4.6.1 Visual Amenity Assessment Criteria within Coastal Living Zone Section 10.7.5.3.1

In assessing an application under this provision, the Council will restrict the exercise of its discretion to:

- (a) any new building(s); or**
- (b) any alteration/addition to an existing building that do not meet the permitted activity standards in Rule 10.7.5.1.1 where the new building or building alteration/addition is located partially or entirely outside a building envelope that has been approved under a resource consent.**

When considering an application under this provision the Council will restrict the exercise of its discretion to matters relating to:

- (i) the location of the building;**

The property is 718m² therefore the proposed dwelling will be located roughly centrally on the lot. The Site Location Plan, Sheet A01a, Appendix 2 shows the proposed location. The proposed site is the most suitable, accessible location for the building meeting setback requirements from boundaries. Due to the size of the lot location choices are limited.

- (ii) the size, bulk, and height of the building or utility services in relation to ridgelines and natural features;**

The proposed 145.9m², single storey dwelling with a height of 4.4m is considered a medium sized dwelling in keeping with surrounding properties and the local area. The proposed height is well under the 8m maximum permitted in a Coastal Living zone. Due to the size of the lot location choices are limited.

- (iii) the colour and reflectivity of the building;**

The exterior of the dwelling is to be clad in 70 series brick veneer and Linea weatherboard. The roof will be Gerard Metal Tile roofing with a 25-degree pitch. The exterior of the building is to be within the BS5252 standard colour palette range with a reflectance value (LRV) of 30% or less due to Consent Notice 9, bullet point 2. This is in keeping with nearby properties.

There is no requirement in the current Coastal Living zone or future Rural Lifestyle zone for the building to be within the colour and reflectance range.

- (iv) the extent to which planting can mitigate visual effects;**

Existing native planting on northern properties blocks visibility of the proposed dwelling from the north. An existing 1.8m high, wooden fence provides a reasonable level of privacy to inhabitants of the existing dwelling to the east (22 Dudley Crescent). The owners of this property have planted the northwest corner of their property to provide privacy to them whilst they are using their deck area. Planting is not currently proposed along the western and eastern boundaries which is in keeping with nearby properties open to the roadside, for example 21 and 30 Dudley Crescent. Reduced planting reduces the risk of fire spread. The property will be well maintained. Any weed species will be removed.

The proposed dwelling will be located in a residential area. The construction of a new dwelling in this location will have minimal visual effect from boats on the ocean in Cable Bay area.

(v) any earthworks and/or vegetation clearance associated with the buildings;

The visual effects of earthworks associated with the development will be temporary and minor.

The proposed earthworks meet permitted activity status in both the current and proposed Far North District Plan. Earthworks will comply with Earthworks EW-S3 Accidental Discovery Protocol and Earthworks EWS-5 Erosion and Sediment Control – Auckland Council Guideline Document GD005 GD05 Erosion and Sediment Control pdf (aucklanddesignmanual.co.nz).

(vi) the location and design of associated vehicle access, manoeuvring and parking areas;

A 40.3m², concrete driveway is proposed to the south of the lot as shown on sheet A01b, Appendix 2. The driveway area is minimal.

(vii) the extent to which the building will be visually obtrusive;

The proposed dwelling is to be located in a residential area with established residential properties and bare sections for development. The proposed dwelling will be in keeping with existing properties such as 21, 30 and 32 Dudley Crescent.

(viii) the cumulative visual effects of all the buildings on the site;

1 single storey, 145.9m² dwelling is proposed. The use and scale of development is appropriate and in keeping with nearby properties.

(ix) the degree to which the landscape will retain the qualities that give it its naturalness, visual and amenity values;

The residential development of the property is in keeping with the subdivision and intended land use. The construction of a new dwelling in the subdivision will have minimal visual effects from boats on the ocean in Cable Bay. The proposal is in keeping with surrounding land use.

(x) the extent to which private open space can be provided for future uses ;

The 718m² property is suitable for residential use.

(xi) the extent to which the siting, setback and design of building(s) avoid visual dominance on landscapes, adjacent sites and the surrounding environment;

Due to the small size of the lot, location choices are limited. The central location of the building meets setback requirements from boundaries and the sunlight rule. At a height of 4.4m the dwelling is well under the 8m maximum in a Coastal Living zone.

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- (xii) the extent to which non-compliance affects the privacy, outlook, and enjoyment of private open spaces on adjacent sites.**

The proposed dwelling is to be located in a residential area and will be in keeping with nearby properties such as 21, 30 and 32 Dudley Crescent. There is no requirement for visual amenity in the proposed Rural Lifestyle zone which most of the property will be rezoned in. The proposed dwelling will be within the BS5252 Colour Range with a reflectance value of 30% or less.

4.6.2 Stormwater Management Assessment Criteria within Coastal Living Zone Section 10.7.5.3.8

The assessment criteria for stormwater management are addressed in Section 8, p. 7 and 8 of the Stormwater Mitigation Report by Wilton Joubert, 18th March 2026 attached as Appendix 3. Attenuation is to be provided in accordance with the requirements outlined in Section 6 of the report using 2 x 25,000 litre stormwater tanks. It is recommended that the proposed driveway be shaped to direct runoff to a catchpit(s) which shall discharge to the available stormwater connection via sealed pipes.

Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% and 1% AEP storm events, adjusted for climate change. With mitigation effects of stormwater will be less than minor on the receiving environment.

4.6.3 Fire Risk to Residential Unit Assessment Criteria 12.4.7

Application for Fire Risk to Residential Unit as a Discretionary Activity due to the proposed dwelling being less than 20m from existing scrub.

In assessing an application under this provision, the Council will restrict the exercise of its discretion to:

- (j) In respect of fire risk to residential units:**
- (i) The degree of fire risk to dwellings arising from the proximity of the woodlot or forest and vice versa:**

It is a relatively common occurrence for a building to be located within 20m of a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest. Existing buildings on nearby properties are located within 20m of bush and scrub (30 and 32 Dudley Crescent).

The proposed dwelling will be approximately 10m from existing scrub located on 26 Dudley Crescent, Lot 17 DP 384236. The scrub continues over Lot 203 DP 384236. It is likely that the scrub will be removed when 26 Dudley Crescent is developed. This will significantly reduce the distance from the dwelling to the scrub. The distance from the scrub on Lot 203 DP 384236 is approximately 20m.

The exterior of the building is to be clad in non-combustible 70 series brick veneer and fire-resistant Linea weather board. The roof will be fire resistant Gerard Metal Tile. Interconnected smoke detectors shall be installed to NZS4514:2021 as shown on the Floor Plan, Sheet A02, Appendix 2. A fire extinguisher is to be located in the dwelling.

Jason Goffin from Fire and Emergency New Zealand has approved the proposed water tank supply and access to it.

(ii) Any mitigation measures proposed to reduce the fire risk:

The exterior of the building is to be clad in non-combustible 70 series brick veneer and fire-resistant Linea weather board. The roof will be fire resistant Gerard Metal Tile. Smoke detectors and a fire extinguisher are proposed.

Fire and Emergency New Zealand have approved the water supply and access to it. Further details can be found in the Fire Emergency Report attached as Appendix 4.

Scrub is likely to be removed with the development of 26 Dudley Crescent. This will significantly increase the distance from the dwelling to the scrub.

Recommendations from Fire Emergency NZ

The following are standard recommendations provided in Fire and Emergency New Zealand reports.

In order to mitigate the risk of fire spread from surrounding vegetation to the proposed building and vice-versa, Fire Emergency New Zealand recommends the following;

I. Fire safe construction

Spouting and gutters – Clear regularly and consider screening with metal mesh. Embers can easily ignite dry material that collects in gutters.

Roof – Use fire resistant material such as steel or tile. Avoid butanol and rubber compounds.

Cladding – Stucco, metal sidings, brick, concrete, and fibre cement cladding are more fire resistant than wood or vinyl cladding.

The spouting and gutters will be regularly cleared and screened with metal mesh. The exterior of the building is to be clad in non-combustible 70 series brick veneer and fire-resistant Linea weather board. The roof will be fire resistant Gerard Metal Tile.

II. Establish Safety Zones around your home.

Safety Zone 1 is your most important line of defence and requires the most consideration. Safety Zone 1 extends to 10 metres from your home, you should;

a) Mow lawn and plant low-growing fire-resistant plants; and

b) Thin and prune trees and shrubs; and

c) Avoid tall trees close to the house; and

d) Use gravel or decorative crushed rock instead of bark or wood chip mulch; and

e) Remove flammable debris like twigs, pine needles and dead leaves from the roof and around and under the house and decks; and

f) Remove dead plant material along the fence lines and keep the grass short; and

g) Remove over hanging branches near powerlines in both Zone 1 and 2.

Planting too close to the house is to be reduced where possible. Highly flammable plants (for example Manuka) are to be avoided, and fire-resistant plants (for example sub-tropical garden plants) chosen. Flammable debris including dead plant material is to be removed. Grassed lawn is to be kept short. Gravel, decorative rock or shell will be used instead of bark or wood chip.

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- III. *Safety Zone 2 extends from 10 – 30 metres of your home.*
- a) *Remove scrub and dead or dying plants and trees; and*
 - b) *Thin excess trees; and*
 - c) *Evenly space remaining trees so the crowns are separated by 3-6 metres; and*
 - d) *Avoid planting clusters of highly flammable trees and shrubs*
 - e) *Prune tree branches to a height of 2 metres from the ground.*

As the property is 718m² the above is not achievable without entering someone else's property.

- IV. *Choose Fire Resistant Plants*
- Fire resistant plants aren't fireproof, but they do not readily ignite. Most deciduous trees and shrubs are fire resistant. Some of these include: poplar, maple, ash, birch and willow. Install domestic sprinklers on the exterior of the sides of the building that are less 20 metres from the vegetation. Examples of highly flammable plants are: pine, cypress, cedar, fir, larch, redwood, spruce, kanuka, manuka.*

Highly flammable plants are to be avoided, and fire-resistant plants chosen when gardening.

(iii) The adequacy of the water supply:

10,000 litres in one of the 2 plastic water tanks proposed is considered adequate by Fire and Emergency New Zealand. The tanks will be filled with roof water and manually filled if required.

(iv) The accessibility of the water supply to fire service vehicles:

The water tanks are accessible to fire service vehicles.

The road and proposed driveway meet the following criteria:

- At least 4m clearance overhead free from obstructions
- Access at least 4m wide
- The surface is designed to support a 20-tonne truck
- The gradient is less than 16%
- Fire appliance parking distance from the proposed water supply is approximately 41m away (no more than 90m allowed).

The water supply location is at least 6m from the building. The tanks are easily visible and will be secured with a cable tie.

5.0 New Zealand Coastal Policy Statement (2010) Objectives & Policies

A key issue under the NZCPS in relation to this application is the potential loss of natural character, landscape values and wild or scenic areas along the coast whilst meeting the high demand for coastal sites by people for residential use.

The objectives of the NZCPS were reviewed, p. 9-10. The following objectives listed are somewhat relevant to the activity proposed.

Objective 2

To preserve the natural character of the coastal environment and protect natural features and landscape values through: Recognising the characteristics and qualities that contribute to natural character, natural features and landscape values and their location and distribution

The proposed dwelling is to be located on a section subdivided for residential purposes in a subdivision with numerous properties of similar size (Lots 1-27, 32-48, 87-89). The development of Lot 15 will have minimal visual effect on boats on the ocean in Cable Bay due to distance and existing housing.

Objective 4

To maintain and enhance the public open space qualities and recreation opportunities of the coastal environment by: Recognizing that the coastal marine area is an extensive area of public space for the public to use and enjoy

The development of Lot 15 will have minimal visual effect on boats on the ocean in Cable Bay area due to distance and existing housing.

Objective 6

To enable people and communities to provide for their social, economic, and cultural wellbeing and their health and safety, through subdivision, use and development, recognizing that:

The protection of the values of the coastal environment does not preclude use and development in appropriate places and forms, and within appropriate limits and

The potential to protect, use and develop natural and physical resources in the coastal marine area should not be compromised by activities on land.

Lot 15 and surrounding properties were subdivided with the intention of residential use. The proposed use and development are appropriate. Earthworks and stormwater will be managed onsite so that there is nil to less than minor environmental effect on the receiving environment. The property has access to public wastewater treatment.

The following policies taken from p. 11-25 are relevant or somewhat relevant to the activity.

Policy 1

Extent and characteristics of the coastal environment

(1) Recognise that the extent and characteristics of the coastal environment vary from region to region and locality to locality; and the issues that arise may have different effects in different localities.

(2) Recognise that the coastal environment includes: (a) the coastal marine area;

The development of Lot 15 will have minimal visual effect on boats on the ocean due to distance and existing housing. Environmental effects on the receiving environment are expected to be nil to less than minor as stormwater and earthworks will be managed onsite.

Policy 6

Activities in the coastal environment

1 (b) Consider the rate at which built development, and the associated public infrastructure should be enabled to provide for the reasonably foreseeable needs of population growth without compromising the other values of the coastal environment;

(h) consider how adverse visual impacts of development can be avoided in areas sensitive to such effects, such as headlands and prominent ridgelines, and as far as practicable and reasonable apply controls or conditions to avoid those effects

2 (c) recognise that there are activities that have a functional need to be located in the coastal marine area, and provide for those activities in appropriate places;

There is public demand for housing on relatively small lots near the coast. The proposed dwelling is to be located in a subdivision for residential use. Visual and environmental effects of the development are expected to be nil to less than minor.

Policy 13

Preservation of natural character

(1) To preserve the natural character of the coastal environment and to protect it from inappropriate subdivision, use, and development: (b) avoid significant adverse effects and avoid, remedy or mitigate other adverse effects of activities on natural character in all other areas of the coastal environment; including by: (c) assessing the natural character of the coastal environment of the region or district, by mapping or otherwise identifying at least areas of high natural character.

The property is currently zoned Coastal Living in the operative Far North District Plan and will be zoned Rural Lifestyle in the proposed plan. The proposed use, development and mitigation for potential visual amenity effects are appropriate for the property and its location.

Policy 15

Natural features and natural landscapes

To protect the natural features and natural landscapes (including seascapes) of the coastal environment from inappropriate subdivision, use, and development: (b) avoid significant adverse effects and avoid, remedy, or mitigate other adverse effects of activities on other natural features and natural landscapes in the coastal environment by (c) identifying and assessing the natural features and natural landscapes of the coastal environment of the region or district, at minimum by land typing, soil characterisation and landscape characterisation and having regard to (iv) aesthetic values including memorability and naturalness.

The proposed development is to occur on the mainland in a Coastal Living zone to become Rural Lifestyle with an area of Coastal Environment overlay to the north. The property is not visible to islands, headlands or areas zoned Outstanding Landscape. The subdivision created a 718m² section to be used for residential purposes. The proposal is in keeping with the intended purpose.

6.0 Regional Policy Statement for Northland (May 2016) Objectives and Policies

The Regional Policy Statement for Northland (May 2016) was assessed in relation to the proposed activity.

Objectives from p.33-49 were reviewed. The objectives below are somewhat relevant to the activity.

3.14 Natural character, outstanding natural features, outstanding natural landscapes and historic heritage

Identify and protect from inappropriate subdivision, use and development:

- (a) The qualities and characteristics that make up the natural character of the coastal environment, and the natural character of freshwater bodies and their margins.***

The subdivision created a 718m² section to be used for residential purposes. The proposed activity is considered appropriate use and development. The proposal will not negatively affect the qualities and characteristics of the coastal environment. Earthworks and stormwater are to be managed onsite and will meet current regulatory requirements. Visual effects from the ocean and coastal environment are expected to be nil to less than minor due to distance and the location of the dwelling in an established residential area.

3.15 Active management

Maintain and/or improve: (a) The natural character of the coastal environment and freshwater bodies and their margins.

The activity maintains the natural character of the coastal environment and freshwater bodies and their margins. The property is well away from the coast.

Policies from p.52-139 were reviewed. The policies below are somewhat relevant to the activity.

4.6.1 Managing effects on the characteristics and qualities natural character, natural features and landscapes

(1) (b) Where (a) does not apply, avoid significant adverse effect and avoid remedy or mitigate other adverse effects of subdivision, use and development on natural character, natural features and natural landscapes. Methods which may achieve this include (i) Ensuring the location, intensity, scale and form of subdivision, and built development is appropriate having regard to natural elements, landforms and processes, including vegetation patterns, ridgelines, headlands, peninsulas, dune systems, reefs and freshwater bodies and their margins.

The location, intensity and scale of development is appropriate use and development in keeping with surrounding properties and the intended purpose of the land. The proposed dwelling is not located on or visible from any headlands, or peninsulas, does not have any effect on dune systems, reefs or waterbodies.

5.1.2 Policy – Development in the coastal environment

Enable people and communities to provide for their well-being through appropriate subdivision, use and development that: (c) takes into account the values of adjoining or adjacent land and established activities both within the coastal marine area and on land.

The development is appropriate for current and proposed zoning. The property is located well away from the coast. Potential visual effects on adjacent sites are considered to be less than minor.

7.0 Notification Assessment, Section 95, RMA 1991

7.1 Section 95A-G, RMA 1991

Section 95A-G, Public Notification and Limited Notification of Applications, of the Resource Management Act (1991) were reviewed against the breach discussed.

95A Public Notification of Consent Applications

- (1) *A consent authority must follow the steps set out in this section, in the order given, to determine whether to publicly notify an application for a resource consent.*

Step 1: Mandatory public notification in certain circumstances

- (2) *Determine whether the application meets any of the criteria set out in subsection (3) and,—*
(a) if the answer is yes, publicly notify the application; and
(b) if the answer is no, go to step 2.
- (3) *The criteria for step 1 are as follows:*
(a) the applicant has requested that the application be publicly notified;
(b) public notification is required under section 95C;
(c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

The applicant has not requested public notification nor is it required under section 95C. The application is not made jointly with an application to exchange recreation reserve land. Step 1 does not apply.

Step 2: If not required by step 1, public notification precluded in certain circumstances

- (4) *Determine whether the application meets either of the criteria set out in subsection (5) and,—*
(a) if the answer is yes, go to step 4 (step 3 does not apply); and
(b) if the answer is no, go to step 3.
- (5) *The criteria for step 2 are as follows:*
(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;
(b) the application is for a resource consent for 1 or more of the following, but no other, activities:
(i) a controlled activity;
(ii) [Repealed]
(iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.
(iv) [Repealed]

- (6) *[Repealed]*

Step 2 does not apply to the activity.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

- (7) *Determine whether the application meets either of the criteria set out in subsection (8) and,—*
(a) if the answer is yes, publicly notify the application; and
(b) if the answer is no, go to step 4.
- (8) *The criteria for step 3 are as follows:*
(a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;
(b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

The application does not require public notification. The activity will have a less than minor visual effect on the receiving environment.

Step 4; Public notification in special circumstances

- (9) Determine whether special circumstances exist in relation to the application that warrant the application being publicly notified and,-
(a) if the answer is yes, publicly notify the application; and
(b) if the answer is no, do not publicly notify the application, but determine whether to give limited notification of the application under section 95B.

No special circumstances exist in this application which justify public notification.
From the assessment above it is considered that the application does not require public notification.

95B Limited notification of consent applications

- (1) A consent authority must follow the steps set out in this section, in the order given, to determine whether to give limited notification of an application for a resource consent, if the application is not publicly notified under section 95A.

Step 1: certain affected groups and affected persons must be notified

- (2) Determine whether there are any—
(a) affected protected customary rights groups; or
(b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).

There are no protected customary rights groups or affected customary marine title groups.

- (3) Determine—
(a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and
(b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.

Not applicable to this application.

- (4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).

Step 2: if not required by step 1, limited notification precluded in certain circumstances

- (5) Determine whether the application meets either of the criteria set out in subsection (6) and,—
(a) if the answer is yes, go to step 4 (step 3 does not apply); and
(b) if the answer is no, go to step 3.

No, go to step 3.

- (6) The criteria for step 2 are as follows:

- (a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification;
(b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

Step 3: if not precluded by step 2, certain other affected persons must be notified

- (7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.
(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.
(9) Notify each affected person identified under subsections (7) and (8) of the application.

The activity is not a boundary activity. Section 7.2 provides information determining that neighbours are unlikely to be affected by the activity.

Step 4: further notification in special circumstances

(10) Determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons), and,-
(a) if the answer is yes, notify those persons; and
(b) if the answer is no, do not notify anyone else.

No special circumstances exist in relation to the application that warrant notification of other persons.

95C-E – Are not applicable as the activity has been assessed as being less than minor effect to neighbouring properties.

95F and G are not applicable as there are no affected customary rights groups involved or is it a customary marine title group.

It is considered that the application does not require public notification.

7.2 Neighboring Properties

Vegetation clearance is not proposed as the area is grassed. Earthworks are minimal and temporary. Stormwater to be managed onsite. Therefore, environmental effects to the receiving environment are expected to be nil to less than minor.

Existing native plantings to the north block visibility of the dwelling from that direction. A wooden fence provides a reasonable level of privacy for neighbours to the east. The western and southern boundaries may remain open which is in keeping with nearby properties such as 21 and 30 Dudley Crescent.

Lot 15 is in a residential area subdivided for that purpose. Existing dwellings and sections to be developed are within the near vicinity of the property. The proposed development is in keeping with existing residential development in the area.

8.0 Resource Management Act Section 104 Assessment

8.1 Section 104 Assessment

(1) When considering an application for a resource consent and any submissions received, the consent authority must, subject to Part 2 and section 77M, have regard to:

(a) any actual and potential effects on the environment of allowing the activity; and

Section 104(1)(a) requires assessment of any actual and potential effects on the environment as a result of the proposed activity. Section 4, 5 and 7.2 discuss actual and potential effects. The conclusion reached is that the adverse effects of granting consent to the proposal are less than minor, and therefore acceptable in the receiving environment.

(ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity;

Section 104(1)(ab) requires that the consent authority consider 'any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity'. It is considered the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment. Mitigation measures are proposed and have been discussed.

(b) any relevant provisions of:

(i) a national environmental standard;

(ii) other regulations;

(iii) a national policy statement;

(iv) a New Zealand coastal policy statement;

(v) a regional policy statement or proposed regional policy statement;

(vi) a plan or proposed plan; and

(c) any other matter the consent authority considers relevant and reasonably necessary to determine the application.

The Regional Plan has been reviewed; there are no documents relevant to the proposal.

8.2 Part 2 of the Resource Management Act

(1) The purpose of this Act is to promote the sustainable management of natural and physical resources.

(2) In this Act, sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while:

(a) sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and

(b) safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and

(c) avoiding, remedying, or mitigating any adverse effects of activities on the environment.

The application will have less than minor effect on the items in Part 2 of the Resource Management Act.

9.0 Schedule 4

Information required in assessment of environmental effects.

(1) An assessment of the activity's effects on the environment must include the following information:

(a) if it is likely that the activity will result in any significant adverse effect on the environment, a description of any possible alternative locations or methods for undertaking the activity:

Refer to Section 4, 5, 6 and 7 which discuss the activity, potential effects, and mitigation methods. The activity will not result in any significant adverse effects on the environment.

(b) an assessment of the actual or potential effect on the environment of the activity:

Section 4, 5, 6 and 7 discuss potential effects. The potential effects with mitigation are expected to be less than minor.

(c) if the activity includes the use of hazardous installations, an assessment of any risks to the environment that are likely to arise from such use:

There are no hazardous installations proposed.

(d) if the activity includes the discharge of any contaminant, a description of—

(i) the nature of the discharge and the sensitivity of the receiving environment to adverse effects; and

(ii) any possible alternative methods of discharge, including discharge into any other receiving environment:

No contaminants are proposed.

(e) a description of the mitigation measures (including safeguards and contingency plans where relevant) to be undertaken to help prevent or reduce the actual or potential effect:

Mitigation measures are discussed in this report. Refer to Section 4.6 for mitigation measures and recommendations.

(f) identification of the persons affected by the activity, any consultation undertaken, and any response to the views of any person consulted:

Refer to Section 7.0, Notification Assessment, Section 95, RMA 1991 and Section 7.2 Neighbouring Properties. Consultation and response not applicable.

(g) if the scale and significance of the activity's effects are such that monitoring is required, a description of how and by whom the effects will be monitored if the activity is approved:

No monitoring is required for this activity.

(h) if the activity will, or is likely to, have adverse effects that are more than minor on the exercise of a protected customary right, a description of possible alternative locations or methods for the exercise of the activity (unless written approval for the activity is given by the protected customary rights group).

Protected customary rights not anticipated.

(2) A requirement to include information in the assessment of environmental effects is subject to the provisions of any policy statement or plan.

Refer to Section 4 for the assessment against the operative and proposed Far North District Plan and the Far North District Plan Assessment Criterion along with Section 5, New Zealand Coastal Policy Statement (2010) and Section 6, Regional Policy Statement for Northland (2016).

(3) To avoid doubt, subclause (1)(f) obliges an applicant to report as to the persons identified as being affected by the proposal, but does not—

(a) oblige the applicant to consult any person; or

(b) create any ground for expecting that the applicant will consult any person.

Refer to Section 7.0 Notification Assessment, Section 95, RMA 1991.

Matters that must be addressed by assessment of environmental effects.

(1) An assessment of the activity's effects on the environment must address the following matters:

(a) any effect on those in the neighbourhood and, where relevant, the wider community, including any social, economic, or cultural effects:

(b) any physical effect on the locality, including any landscape and visual effects:

(c) any effect on ecosystems, including effects on plants or animals and any physical disturbance of habitats in the vicinity:

(d) any effect on natural and physical resources having aesthetic, recreational, scientific, historical, spiritual, or cultural value, or other special value, for present or future generations:

(e) any discharge of contaminants into the environment, including any unreasonable emission of noise, and options for the treatment and disposal of contaminants:

(f) any risk to the neighbourhood, the wider community, or the environment through natural hazards or hazardous installations.

(2) The requirement to address a matter in the assessment of environmental effects is subject to the provisions of any policy statement or plan.

Refer to Section 4.0 - 7.0 which address the items required as per Schedule 4, Section 7.

10.0 Conclusion

Lot 15 DP 384236 is currently zoned Coastal Living and will be zoned Rural Lifestyle with an area of Coastal Environment overlay in the proposed plan. ~97% of the dwelling will be within the Rural Lifestyle zone. A Visual Amenity Resource Consent will not be required in a Rural Lifestyle zone.

The proposed exterior of the dwelling will be within the BS5252 colour range with a reflectance value of 30% or less. Native vegetation to the north screens the development from view from a northerly direction. An existing 1.8m high wooden fence will provide a reasonable level of privacy to neighbours to the east. The western and southern boundaries may remain open which is in keeping with surrounding residential properties open to the roadside. The proposed dwelling is to be located in a residential area subdivided for residential use. The proposed development is in keeping with existing residential properties in the surrounding area.

Due to distance and location in an established residential area, visual effects from the coastal marine area are expected to be less than minor.

The Stormwater Mitigation Report written by Wilton Joubert, 18th March 2026 outlines mitigation measures to create less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold. Mitigation includes attenuation with 2 x 25,000 litre rainwater tanks and the driveway shaped to direct run off to catchpit(s) discharging to stormwater connection via sealed pipes. With mitigation environmental effects of stormwater shall be nil to less than minor.

The proposed dwelling is located within 20m of existing scrub to the southeast. Scrub on Lot 17 DP 384236 (26 Dudley Crescent) is likely to be removed when development of this property occurs. This would significantly increase the distance between the scrub and the dwelling on Lot 15 (~20m distance achieved). Planting around the dwelling is not currently proposed which will reduce fire risk and spread.

2 x 25,000 litre plastic water tanks are proposed to the east of the dwelling. 10,000 litres are to be set aside for firefighting purposes. Interconnected smoke alarms are to be located in the dwelling. Fire Emergency New Zealand have approved the proposed water supply and access to it.



**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy**




 R.W. Muir
 Registrar-General
 of Land

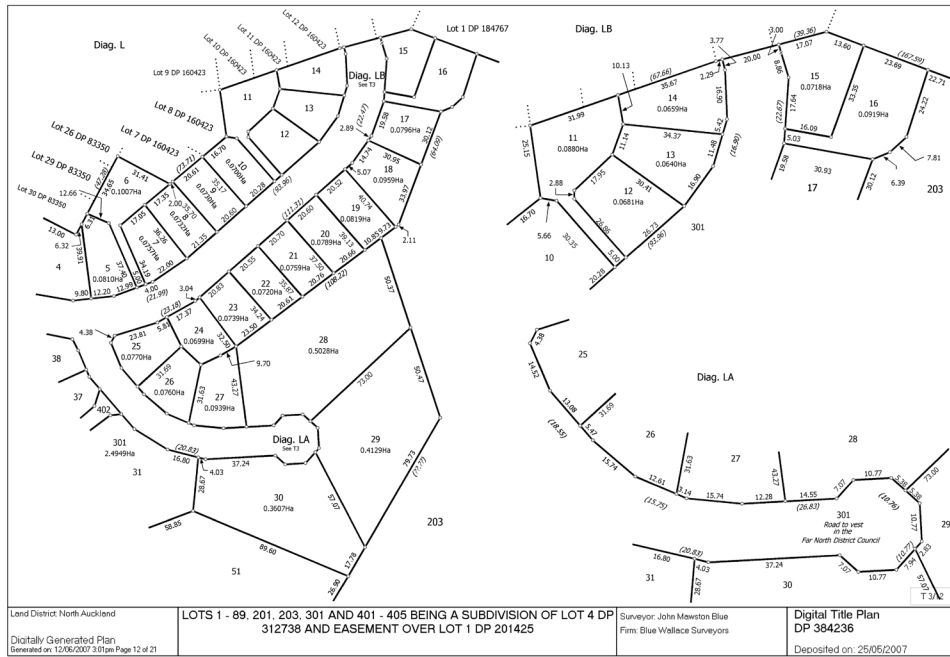
Identifier **336753**
Land Registration District **North Auckland**
Date Issued 25 May 2007

Prior References
 50077

Estate Fee Simple
Area 718 square metres more or less
Legal Description Lot 15 Deposited Plan 384236
Registered Owners
 Luis Rodolfo Reina Cabrera and Ann Margaret Reina Cabrera

Interests

5363500.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 3.10.2002 at 3:37 pm
 Appurtenant hereto is a water supply easement created by Easement Instrument 5363500.4 - 3.10.2002 at 3:37 pm
 7389051.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 25.5.2007 at 9:00 am
 Subject to a right (in gross) to convey electricity over part marked E on DP 384236 in favour of Top Energy Limited
 created by Easement Instrument 7389051.10 - 25.5.2007 at 9:00 am
 The easements created by Easement Instrument 7389051.10 are subject to Section 243 (a) Resource Management Act 1991
 Land Covenant in Easement Instrument 7389051.13 - 25.5.2007 at 9:00 am
 Fencing Covenant in Easement Instrument 7389051.13 - 25.5.2007 at 9:00 am
 Fencing Covenant in Transfer 12225971.1 - 21.9.2021 at 11:17 am

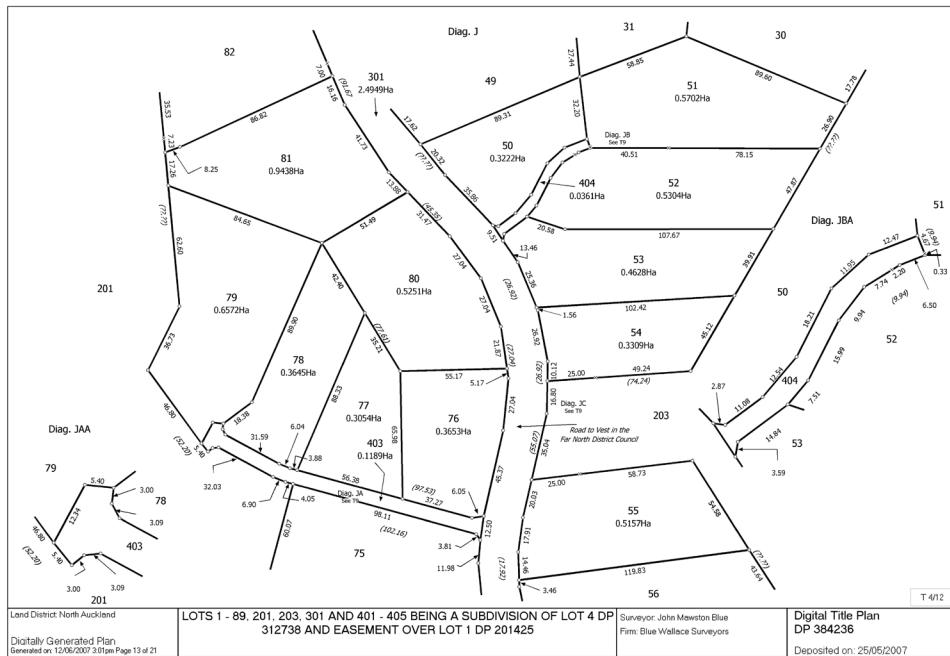


Land District North Auckland
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LOTS 1 - 89, 201, 203, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP 312738 AND EASEMENT OVER LOT 1 DP 201425

Surveyor: John Mawston Elise
 Firm: Elise Wallace Surveyors

Digital Title Plan DP 384236
 Deposited on: 25/06/2007

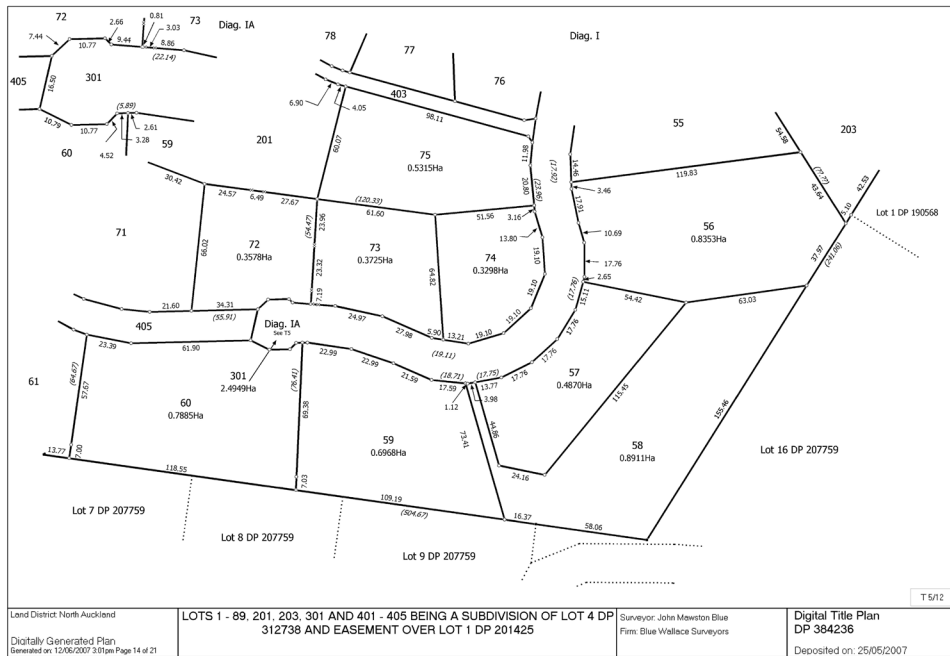
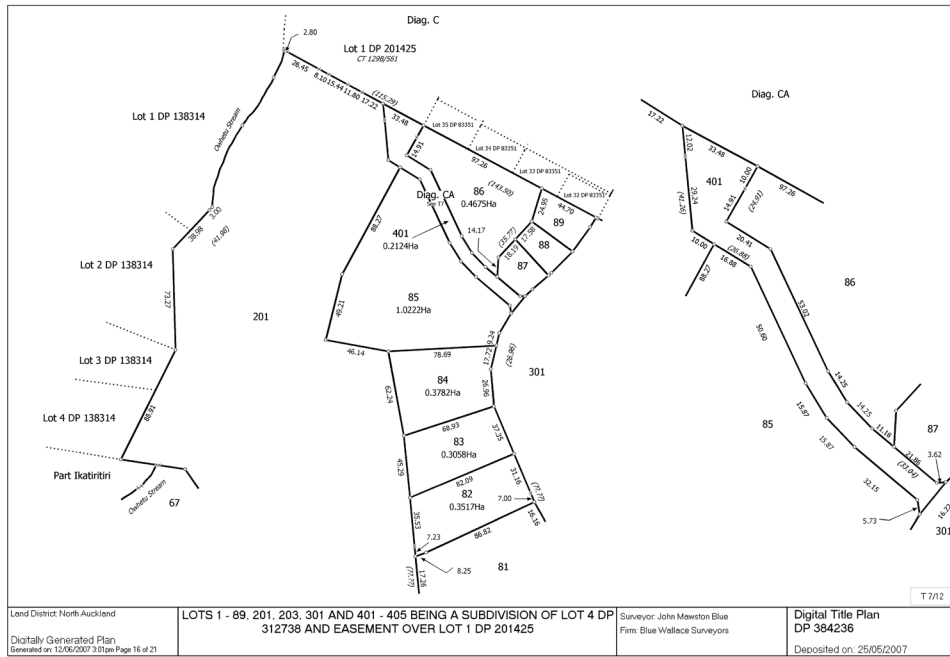


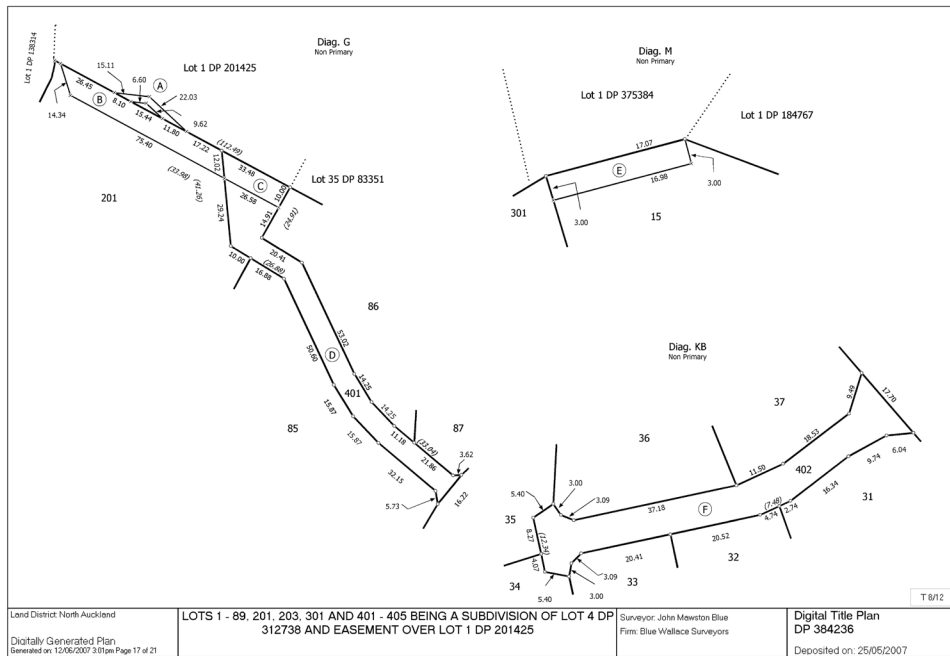
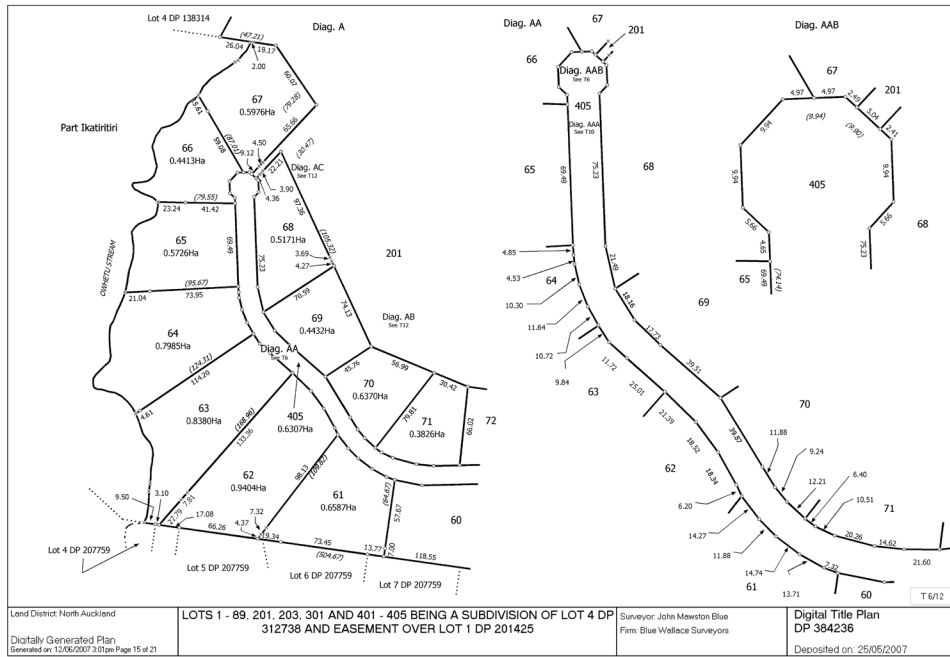
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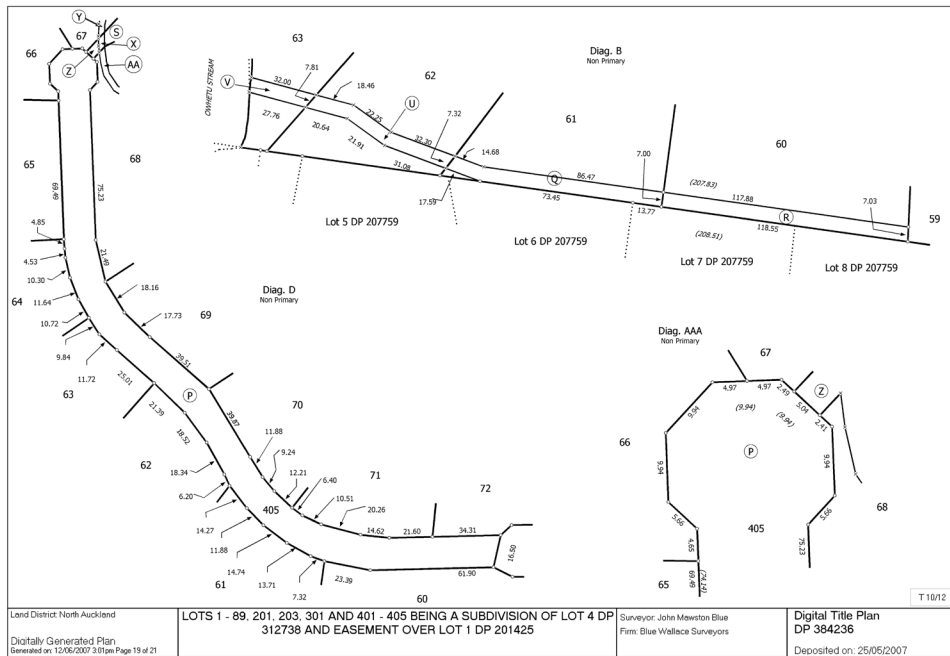
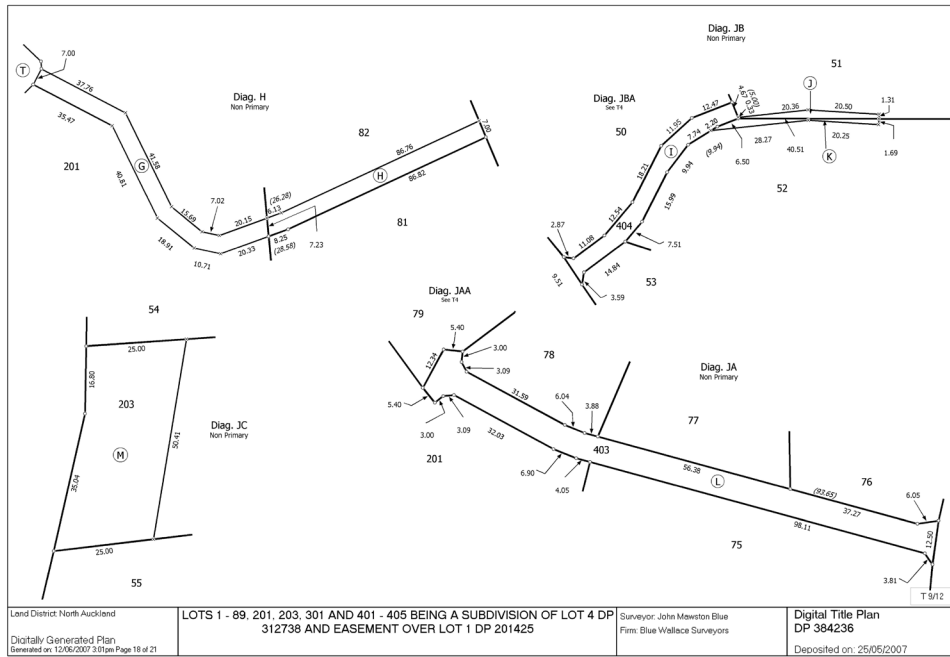
LOTS 1 - 89, 201, 203, 301 AND 401 - 405 BEING A SUBDIVISION OF LOT 4 DP 312738 AND EASEMENT OVER LOT 1 DP 201425

Surveyor: John Mawston Elise
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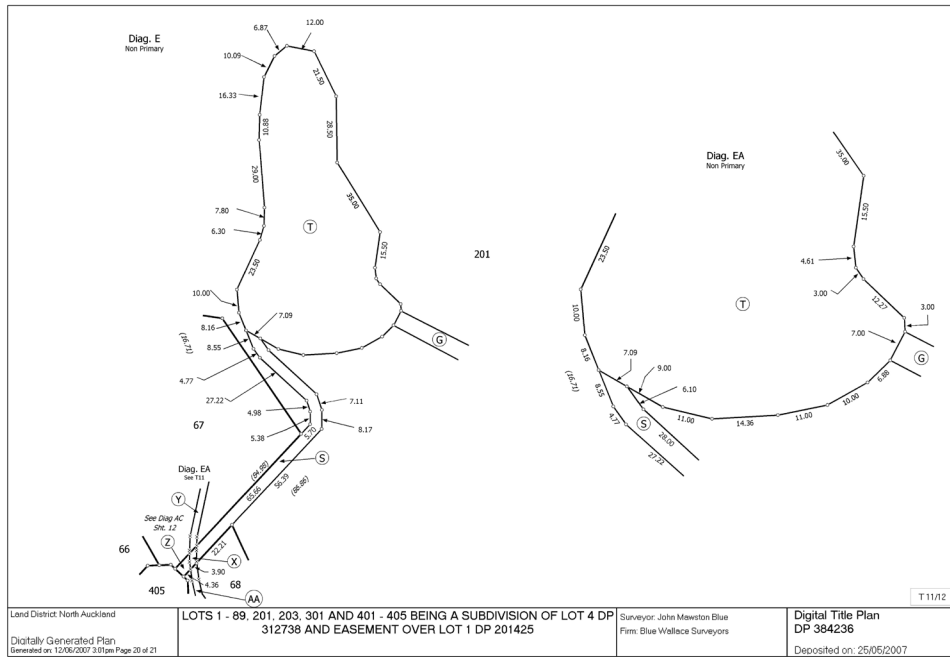
Digital Title Plan DP 384236
 Deposited on: 25/06/2007







Identifier 336753





**Far North
District Council**

CONO 7389051.2 Cons

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DocID: 312896978

Private Bag 752, Memorial Ave

Kaikōhe 0400, New Zealand

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Phone: (09) 405 2750

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Website: www.fndc.govt.nz

THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

REGARDING RC 2051164
the Subdivision of Lot 4 DP 312738
North Auckland Registry

PURSUANT to Section 221 and for the purpose of Section 224 (c)(ii) of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and these are to be registered on the appropriate titles of Lots on DP 384236.

SCHEDULE

LOTS 66 AND 67

1. Prior to the construction of any building on the lot the property owner shall provide a report prepared by a suitability qualified Chartered Professional Engineer which identifies the 100 year AFI Flood level for the site and specifies a safe minimum floor level above the identified flood level.

LOTS 56 – 67, 201 AND 203

2. The parent site boundary shall be fenced where there is bush to be protected as required by conditions (2) (1) and (3) (29) to ensure that stock from a neighbouring site cannot access the bush protection areas.

LOTS 28 – 31 AND 49 - 86

3. The defined building sites shall be pegged and temporary fencing constructed around the perimeter of the building site to ensure that bush clearance and construction works do not extend outside of these defined areas.
4. That the wastewater treatment and disposal system shall be designed by a Registered Engineer in accordance with the Auckland Regional Council Technical Publication N^o 58 and to the satisfaction of the Far North District Council.
5. The wastewater treatment and disposal system shall be regularly maintained and upgraded and / or replaced as necessary to ensure that it continues to operate properly.

LOTS 29 – 31, 49 – 86, 201 AND 203

6. The owner shall preserve the indigenous trees and bush on allotments 201 and 203 and all bush areas outside of the identified building platforms on allotments 28, 29, 30, 31, allotments 49 to 86 inclusive and shall not without the prior written consent of the Council and then only in strict compliance with any conditions imposed by the Council, cut down, damage or destroy any of such trees or bush or suffer or permit the cutting down damaging or destruction of any such trees or bush. The owner shall be deemed to be not in breach of this prohibition if any of such trees or bush shall die from natural causes not attributable to any act or default by or on behalf of the owner or for which the owner is responsible.

LOTS 51, 52, 60 – 63, 67 – 69, 72, 73, 75, 81, AND 82

7. Without the prior approval of the Council, no building shall be erected, nor any works which increase impermeable surfaces be undertaken, nor any planting or structure placed which may create a flow obstruction, on any area of the site which has been proposed as a secondary/overland (Q₁₀₀) flow. [Refer to easements G, H, I, J, K, L, N, O, Q, R, T, U, V, W, X, Y, and AA]

ALL LOTS:

8. The Incorporated Body or other legal entity requested to be formed pursuant to Condition (3) (4) shall be responsible for the ongoing maintenance of the common areas, and the stormwater and waste water systems. The owner of each residential and rural residential allotment within the subdivision will be required to be a member of the approved entity.
9. The requirements of the approved management plan shall be complied with at all times and in particular the following matters shall be observed at all times:
 - No building shall exceed a height of 6 metres as measured by the rolling height method set out in the District Plan.
 - The colours of all buildings are to comply with British Standard specification BS5252 Colour Range and have a reflective value of 30 % or less.
10. Any new residential building erected on site, shall have installed domestic sprinkler systems in accordance with the requirements of the New Zealand Fire Service.
11. No building shall be erected on the proposed lots without the prior approval of the council to specific designs for foundations, prepared by a registered engineer with geotechnical expertise.
12. No occupier of the land shall keep or introduce on to the site carnivorous or omnivorous exotic animals (such as ferrets, cats or dogs) which have the potential to be kiwi predators.
13. Exotic vegetation which could adversely affect natural regeneration or local forest health is not to be introduced on the site. This includes the introduction of invasive plant species, including those currently listed on the nationally-banned-for-sale list (see Northland regional Pest Management Strategy). Planting of other exotic species should be confined to the immediate vicinity of dwellings. And species with berry-type fruits are to be grown within netting to prevent seed spread by birds.

14. Animal pest and weed eradication shall be ongoing in accordance with the animal pest and weed eradication programme approved by Far North District Council detailing the methodology for animal pest and weed eradication within the bush covenant areas. Any predator / pest control work carried out is to be done in a manner which will not endanger kiwi.
15. A landscaping plan from a suitably-qualified person shall be provided to the Council's satisfaction, which indicates the means to lessen the visual impact of buildings, access ways and any earthworks. This plan shall be submitted with the resource consent application for the construction of a dwelling or accessory building on sites within the subdivision. On approval of this plan, the landscaping specified is to be provided within six months and adequately maintained thereafter. Plants requiring removal due to damage, disease or other cause shall be replaced with a similar specimen before the end of the next following planting season.

SIGNED:


By the FAR NORTH DISTRICT COUNCIL Mr Pat Killalea
Under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this 17th day of May 2007

FAR NORTH DISTRICT COUNCIL



THE RESOURCE MANAGEMENT ACT 1991

SECTION 221 : CONSENT NOTICE

CONO 5363500.2 Consen

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REGARDING RC 2000414 The subdivision of
Lot 1 DP 172885, and Lot 3 - 5 DP 82177
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the **FAR NORTH DISTRICT COUNCIL** to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate titles.

SCHEDULE


Lot 1:

Any activity which proposes earthworks exceeding 50 cubic metres in the area from the dwelling to the eastern boundary is to proceed only after the submittal to Council of an approved archaeological site survey of the area involved.

Lot 2:

All access to the site (Pt Lot 1 DP 172885) is to come from Stratford Drive and/or Dudley Crescent.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this *18th* day of *July* 2002

SRM\CERT\3McBreenJenkinsConstructionLtd221

Proposed Dwelling

Luis & Ann Reina Cabrera
 22 Dudley Crescent
 Cable Bay
 Lot 15 DP 384236

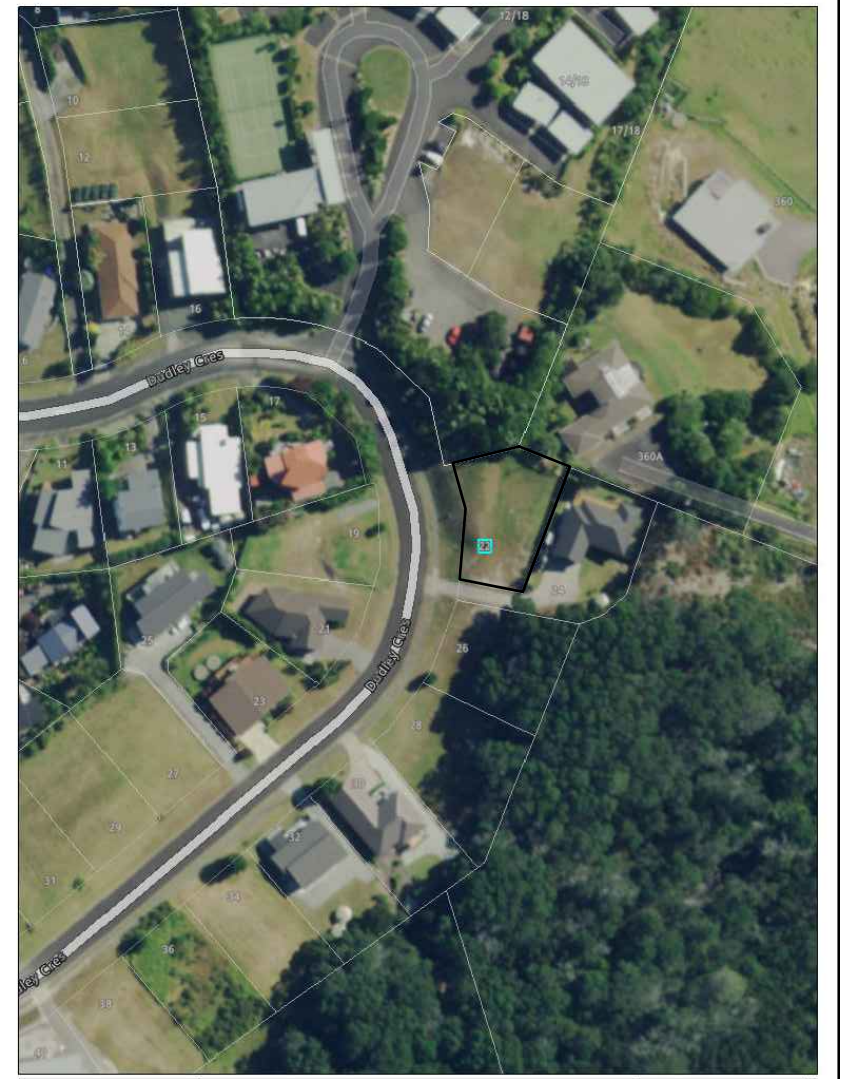
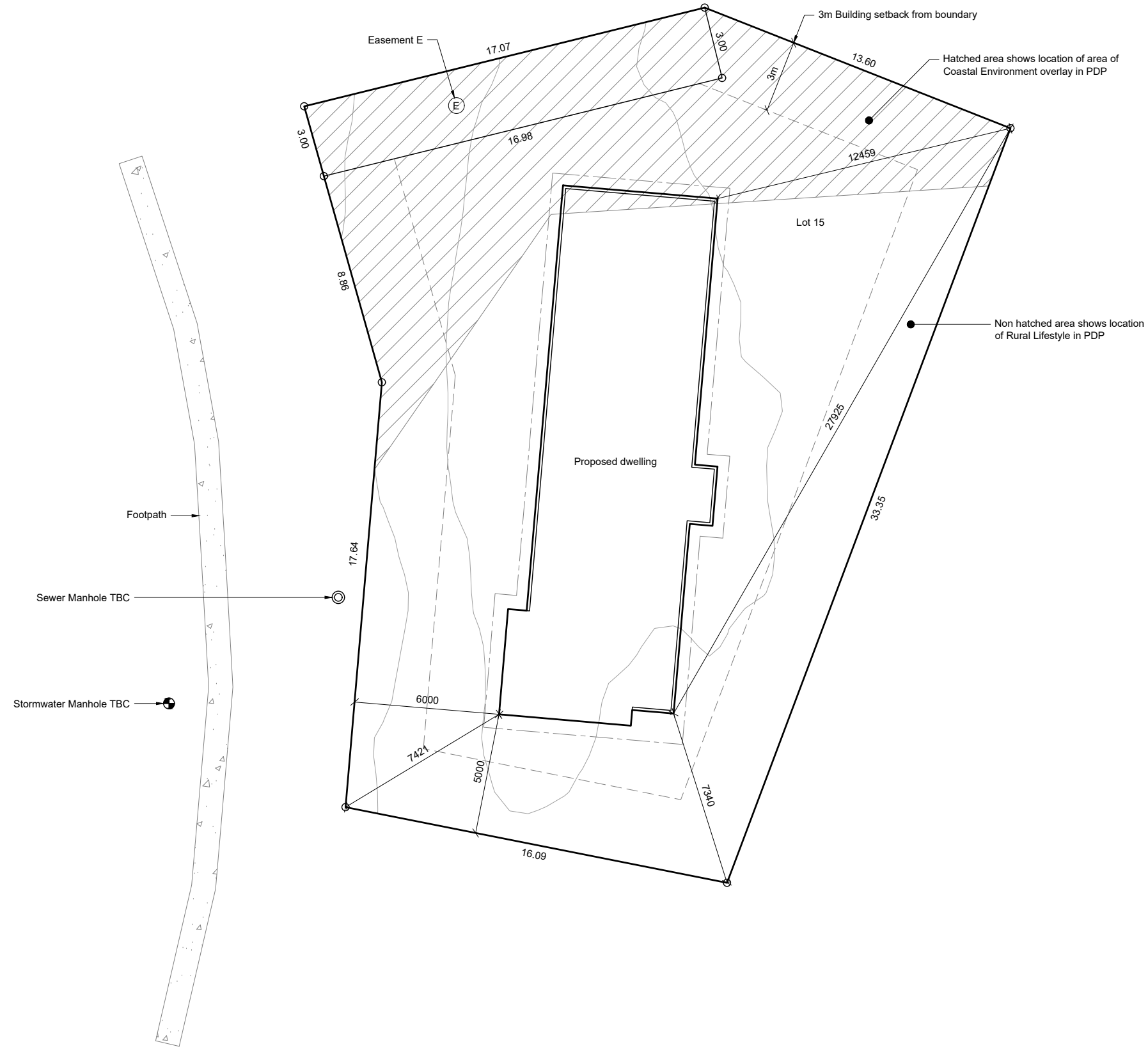
Construction Plans
 Date: 1 April 2026



FAR NORTH
 Ph: (09) 407 3441
 Fax: (09) 407 3442

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Sheet No.	Sheet Title	Rev
A01a	Site Location Plan & Proposed Zoning	BC-D-2
A01b	Landscape Plan	BC-D-2
A01c	Site Plan	
A02	Floor Plan	BC-D-2
A03	Elevations	BC-D-2
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A06	Foundation Plan	BC-D-2
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A15	Cladding Detail	BC-D-2
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S0.1	Cover Sheet	-
S0.2	Typical Steel Details	-
S0.3	Typical Pipe Penetration Details	-
S1.1	Raftfloor Plan	-
S2.1	Raftfloor Details	-
Revisions		
-	-	-



Northland REGIONAL COUNCIL Site Location Plan

Scale: 1:200

North Arrow

Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

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G.J. Gardner. HOMES
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Project Title
 Luis & Ann Reina Cabrera
 22 Dudley Crescent
 Cable Bay
 Lot 15 DP 384236

Sheet Title
 Site Location Plan &
 Proposed Zoning

Drawn 1 April 2026

Project No 5312

Rev	Sheet
BC-D-2	A01a

Scale (A3 Original) 1: 200

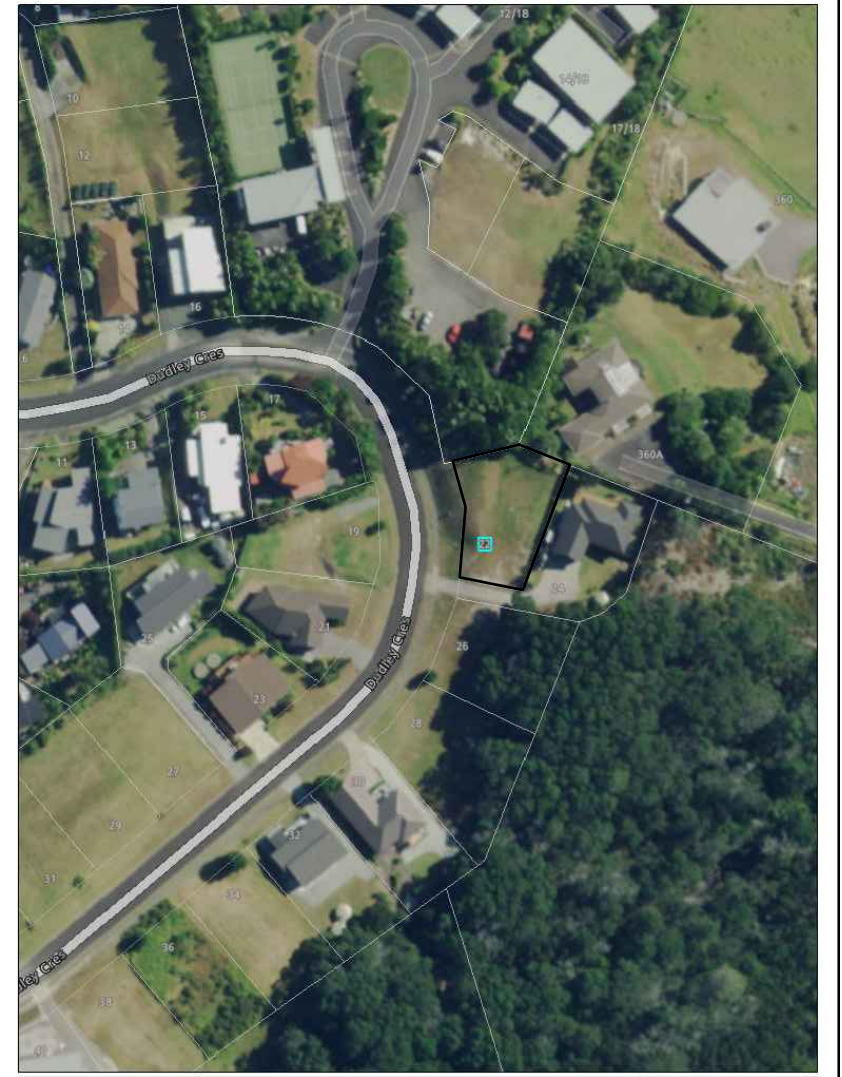
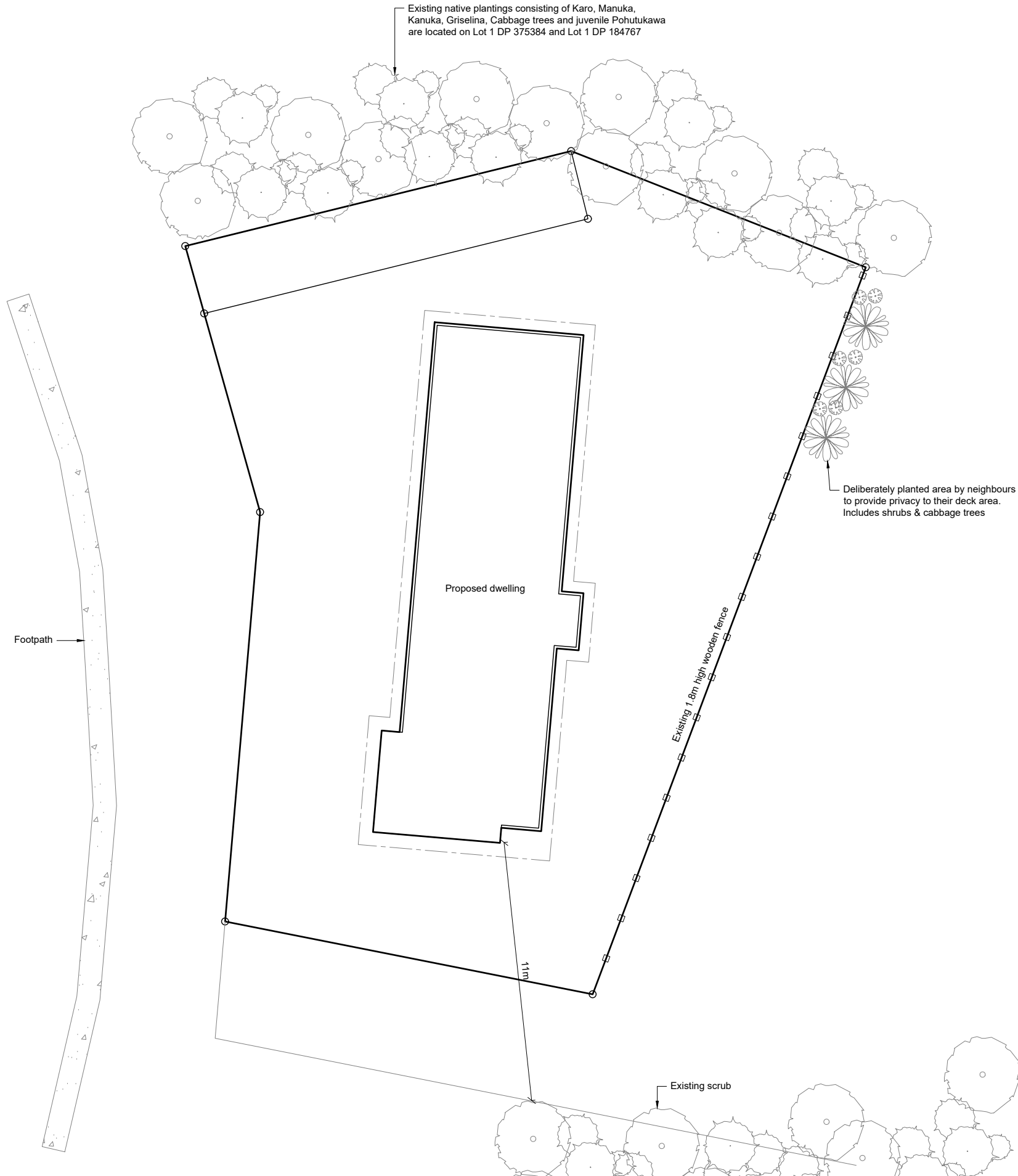


HOUSE SPECIFICATIONS:

The colours of the dwelling is to comply with British Standard specification BS5252 Colour Range and have a reflective value of 30% or less.

Existing native plantings consisting of Karo, Manuka, Kanuka, Griselinia, Cabbage trees and juvenile Pohutukawa are located on Lot 1 DP 375384 and Lot 1 DP 184767

Deliberately planted area by neighbours to provide privacy to their deck area. Includes shrubs & cabbage trees



Northland REGIONAL COUNCIL

Site Location Plan

Scale: 1:200

North arrow

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Project Title
Luis & Ann Reina Cabrera
22 Dudley Crescent
Cable Bay
Lot 15 DP 384236

Sheet Title
Landscape Plan

Drawn 1 April 2026

Project No
5312

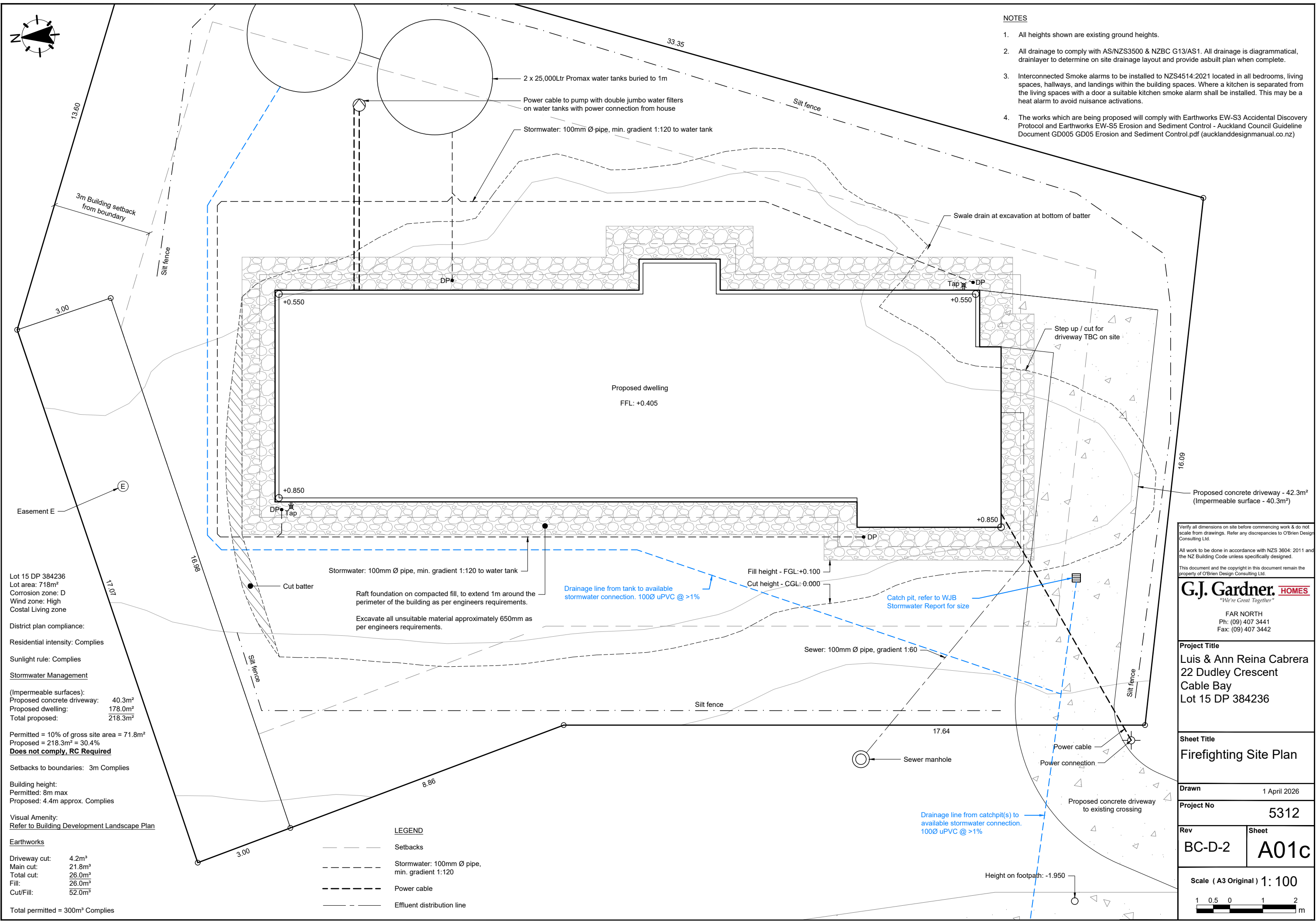
Rev BC-D-2	Sheet A01b
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Scale (A3 Original) 1: 200



NOTES

1. All heights shown are existing ground heights.
2. All drainage to comply with AS/NZS3500 & NZBC G13/AS1. All drainage is diagrammatical, drainlayer to determine on site drainage layout and provide asbuilt plan when complete.
3. Interconnected Smoke alarms to be installed to NZS4514:2021 located in all bedrooms, living spaces, hallways, and landings within the building spaces. Where a kitchen is separated from the living spaces with a door a suitable kitchen smoke alarm shall be installed. This may be a heat alarm to avoid nuisance activations.
4. The works which are being proposed will comply with Earthworks EW-S3 Accidental Discovery Protocol and Earthworks EW-S5 Erosion and Sediment Control - Auckland Council Guideline Document GD005 GD05 Erosion and Sediment Control.pdf (aucklanddesignmanual.co.nz)



Lot 15 DP 384236
 Lot area: 718m²
 Corrosion zone: D
 Wind zone: High
 Coastal Living zone

District plan compliance:
 Residential intensity: Complies
 Sunlight rule: Complies
 Stormwater Management

(Impermeable surfaces):
 Proposed concrete driveway: 40.3m²
 Proposed dwelling: 178.0m²
 Total proposed: 218.3m²

Permitted = 10% of gross site area = 71.8m²
 Proposed = 218.3m² = 30.4%
Does not comply, RC Required

Setbacks to boundaries: 3m Complies

Building height:
 Permitted: 8m max
 Proposed: 4.4m approx. Complies

Visual Amenity:
 Refer to Building Development Landscape Plan

Earthworks

Driveway cut:	4.2m ³
Main cut:	21.8m ³
Total cut:	26.0m ³
Fill:	26.0m ³
Cut/Fill:	52.0m ³

Total permitted = 300m³ Complies

LEGEND

- Setbacks
- Stormwater: 100mm Ø pipe, min. gradient 1:120
- Power cable
- Effluent distribution line

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Project Title
 Luis & Ann Reina Cabrera
 22 Dudley Crescent
 Cable Bay
 Lot 15 DP 384236

Sheet Title
 Firefighting Site Plan

Drawn 1 April 2026

Project No 5312

Rev BC-D-2	Sheet A01c
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Scale (A3 Original) 1: 100



SPECIFICATION:

- Stud height - 2440 (2400 Nominal)
- 70 Series brick veneer
- Linea weatherboard
- Gerard metal tile roofing

H1 SPECIFICATION:

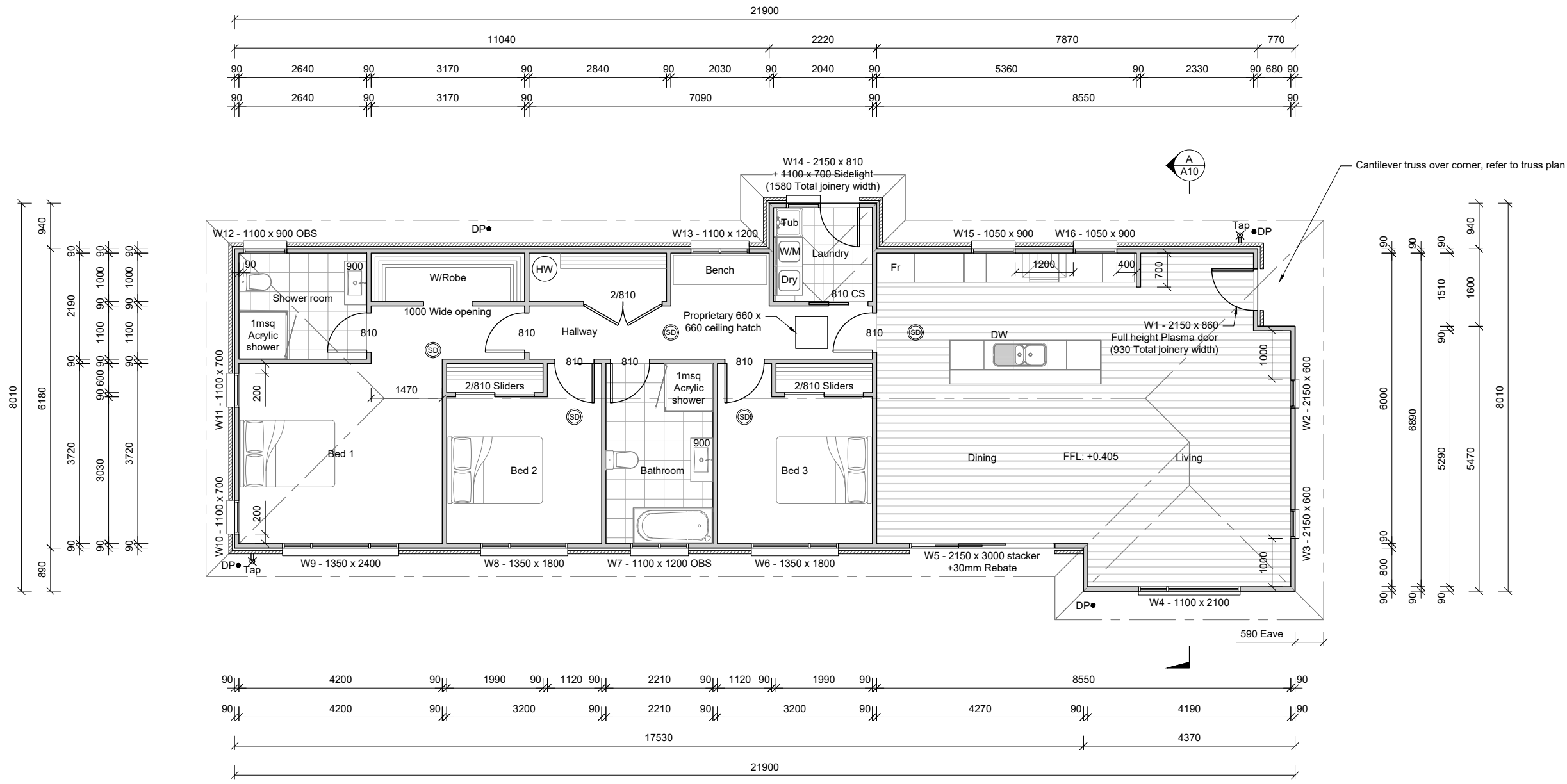
- Foundation: Rib raft R1.5
- Walls: Pink batts R2.2
- Double glazing low E Xcel R0.37
- Ceiling: Pink batts R3.6

H1 Note:

H1 calculations included in BC information.

NOTE:

1. All dimensions taken from the outside of pre-cut, please check all dimensions before construction commences.
2. Refer to Framing & Lintel Plan for lintel dimensions, stud spacing & external door offsets.
2. Refer to eave detail for stud, lintel and soffit framing heights.
3. Additional nogs to be installed at framing stage to allow for towel rails, wardrobe & fixed shelves, WC cistern, toilet roll holders, wall mounted extractors, heat pump, A/C units & garage door components where required.
4. Refer to attached sheet for cladding & roofing notes & details.
5. All wet areas to be provided with impervious linings as per NZBC E3/AS1.
6. Grade A safety glazing in shower screens inline with NZS 4223
7. Where studs exceed 450mm c/c install polypropylene tape horizontally at 300mm c/c over building wrap.
8. All wall framing typically H1.2 treated unless specifically stated.
9. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.



BUILDING AREA:

Floor Area (Framing): 140.0m²
 Floor Area (Brickline): 145.9m²
 Roof Area: 178.0m²

FIXINGS:

Exposure Zone: D
 Durability of fixings to comply with NZS 3604:2011 Section 4 & NZBC B2/AS1

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Project Title
 Luis & Ann Reina Cabrera
 22 Dudley Crescent
 Cable Bay
 Lot 15 DP 384236

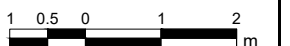
Sheet Title
 Floor Plan

Drawn 1 April 2026

Project No 5312

Rev BC-D-2 **Sheet** A02

Scale (A3 Original) 1: 100

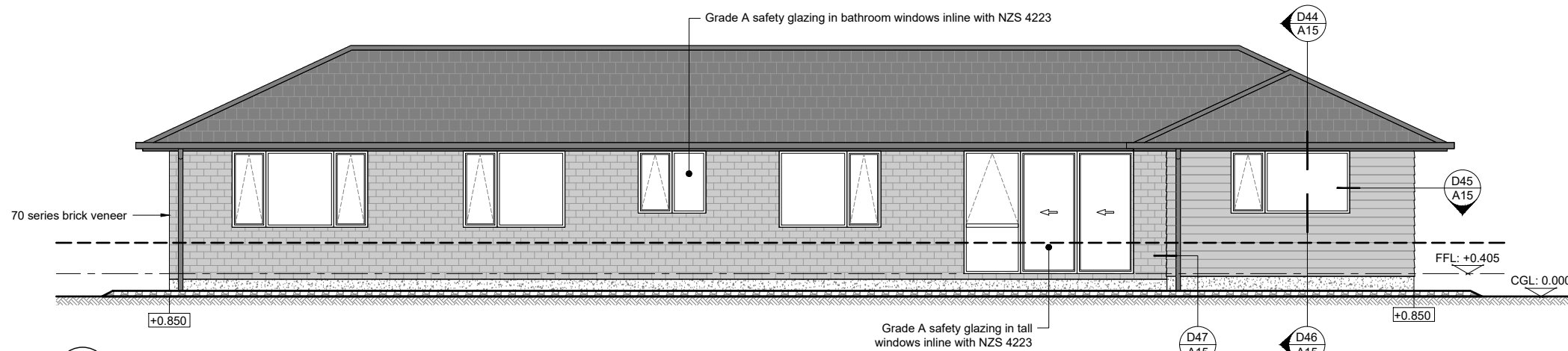


LEGEND

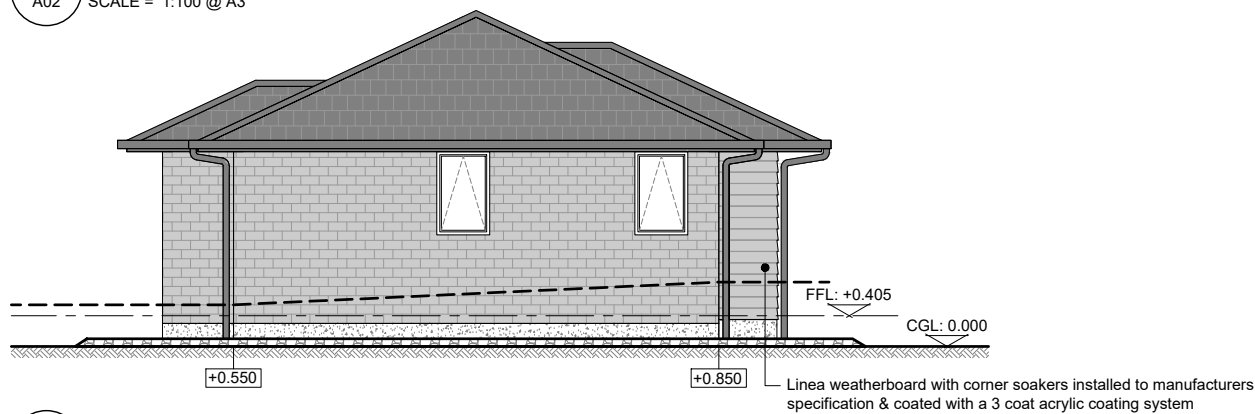
- (SD) Smoke Detector
- Roof Line
- 90 x 45 SG8 H1.2 Timber framing walls
- Brick Veneer
- Eligna quick step flooring installed to manufacturers specifications
- Selected tiles on selected tile underlay to all wet areas installed to manufacturers specifications & Branz tiling good practice guide.
- (HW) 180L Mains pressure hot water cylinder

NOTE:

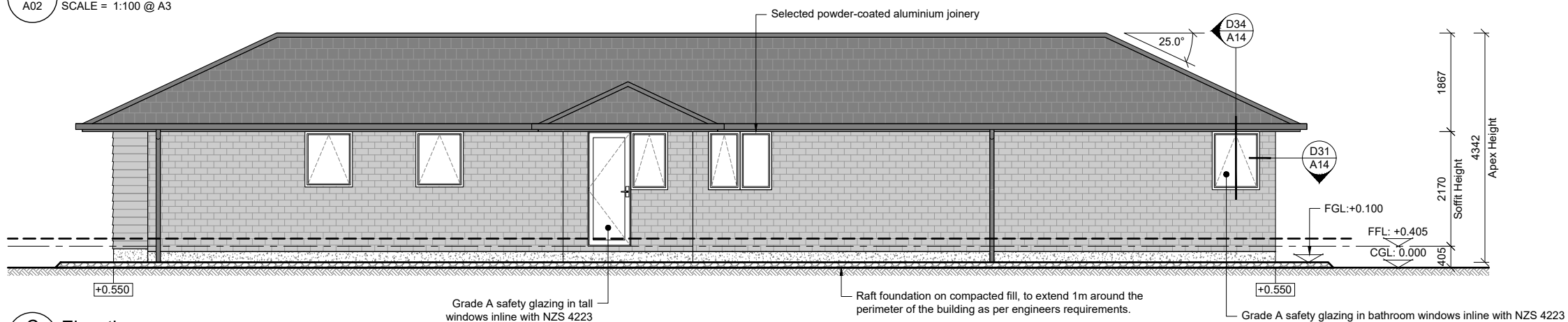
1. All heights shown are existing ground heights.
2. All external linings to be installed to manufacturers instructions, refer to separate detail sheet for cladding details & notes.
3. All windows and doors double glazing low E Xcel.
4. Grade A safety glazing in bathrooms & tall windows and sliders inline with NZS 4223.



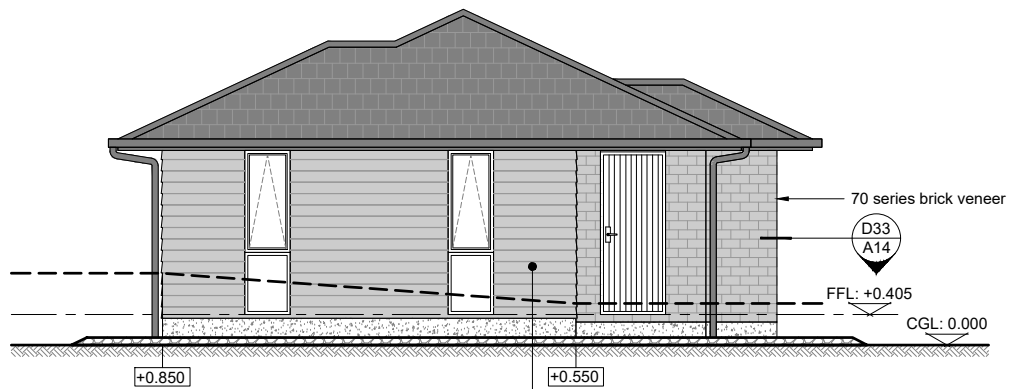
A Elevation
A02 SCALE = 1:100 @ A3



B Elevation
A02 SCALE = 1:100 @ A3



C Elevation
A02 SCALE = 1:100 @ A3



D Elevation
A02 SCALE = 1:100 @ A3

SPECIFICATIONS					
Cladding Type	Selected 70 Series Brick & Linea Weatherboard				
Stud Height	2.4m				
Roofing Type	Steel Tile				
Roof Pitch	25°				
Joinery	Aluminium				
Wind Zone	High				
Earth Quake Zone	1				
RISK MATRIX					
Risk Factor	L	M	H	VH/EH	Score
A. Wind Zone	0	0	1	2	1
B. Number of Storeys	0	1	2	4	0
C. Roof / Wall Intersection	0	1	3	5	0
D. Eave Width	0	1	2	5	0
E. Envelope Complexity	0	1	3	6	1
F. Deck Design	0	2	4	6	0
Total					2

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Project Title
Luis & Ann Reina Cabrera
22 Dudley Crescent
Cable Bay
Lot 15 DP 384236

Sheet Title
Elevations

Drawn 1 April 2026

Project No 5312



Rev BC-D-2 **Sheet** A03

Scale (A3 Original) 1: 100



SITE	22 Dudley Crescent, Cable Bay
LEGAL DESCRIPTION	Lot 15 DP 384236
PROJECT	Proposed Dwelling
CLIENT	G.J. Gardner Homes Far North t/a (AG Construction Limited)
REFERENCE NO.	145623
DOCUMENT	Stormwater Mitigation Report
STATUS/REVISION No.	01
DATE OF ISSUE	18 th March 2026

Report Prepared For	Email
G.J. Gardner Homes Far North t/a (AG Construction Limited)	dave.smith@gjgardner.co.nz

Authored by	G. Brant <i>(BE(Hons) Civil)</i>	Civil Engineer	Gustavo@wjl.co.nz	
Reviewed & Approved by	B. Steenkamp <i>(CPEng, BEng Civil, CMEngNZ, BSc (Geology))</i>	Senior Civil Engineer	BenS@wjl.co.nz	

1. EXECUTIVE SUMMARY

The following table is intended to be a concise summary which must be read in conjunction with the relevant report sections as referenced herein.

Legal Description:	Lot 15 DP 384236
Site Area:	718m ²
Development Type:	Proposed Dwelling
Development Proposals Supplied:	Plan Set by G.J. Gardner (Ref No: 5312, dated: 20.01.2026)
Associated Documents:	Geotechnical Report WJL Ref. 144154
District Plan Zone:	Coastal Living
Permitted Activity Coverage:	<u>10%</u>
	Post-Development Impermeable Areas
Impermeable Coverage:	Total Roof Areas 178m ² Total Hardstand Areas 40.3m ²
	Post-Development Total = 218.3m ² or 30.4% of the site area
Activity Status:	<u>Discretionary Activity</u>
	Attenuation is to be provided in accordance with the requirements outlined in Section 5 via the dual-purpose rainwater tanks.
Roof Attenuation:	Proposed Tank – 2 x 25,000 litre Rainwater Tanks (or approved equivalent) Dimensions – 3600mmØ x 2600mm high (or greater) 20% & 1% AEP Control Orifice – 40mmØ orifice; <u>located >240mm below the overflow outlet</u> Overflow – 100mmØ at the top of the tank
Hardstand Mitigation:	It is recommended that the proposed driveway be shaped to direct runoff to a catchpit(s), which shall discharge to the available stormwater connection via sealed pipes.
Point of Discharge:	To available stormwater connection.

2. SCOPE OF WORK

Wilton Joubert Ltd. (WJL) was engaged by the client to produce an on-site stormwater mitigation assessment at the above site.

At the time of report writing, we have been supplied the following documents:

- Plan Set by G.J. Gardner, including site plan, floor plan and elevations (Ref No: 5312, dated: 20.01.2026)

Should any changes be made to the provided plans with stormwater management implications, WJL must be contacted for review.

3. SITE DESCRIPTION

The proposed development will be constructed within the following property (the site), which is located off the eastern side of Dudley Crescent, towards the western outskirts of the Cable Bay urban environment:

- 22 Dudley Crescent, Cable Bay, legally described as Lot 15 DP 384236.

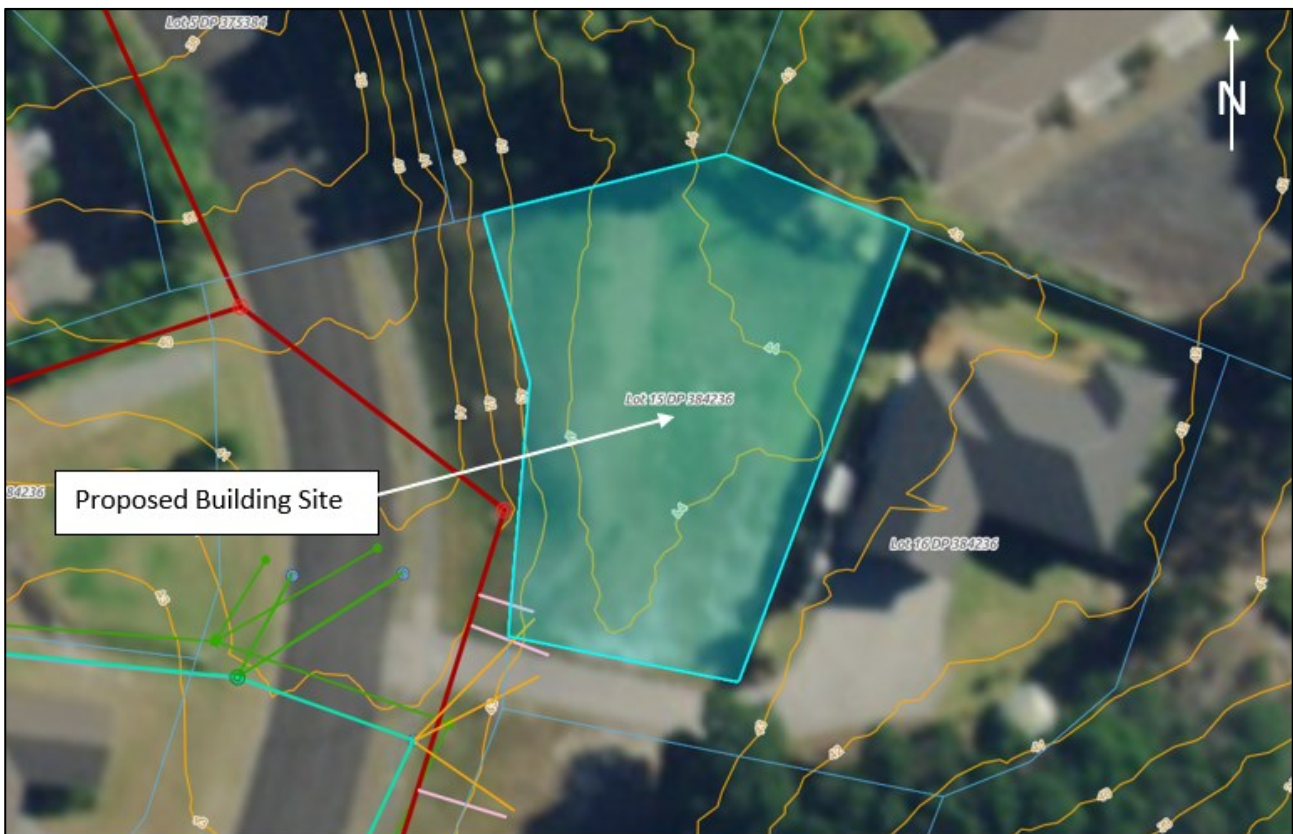


Figure 1: Aerial snip from FNDC Maps showing site boundaries (cyan), public stormwater (green), private stormwater (orange), public wastewater (red) and private wastewater (pink)

The surface area of the subject site is approximately 718m² and will be accessed at the southwestern boundary corner via a newly formed concrete driveway.

The property is irregular shaped and vacant of structures. The site is covered in lawn, with a small area of bush covering the land beyond the northern boundary. The eastern boundary is bound by a residential development.

Topographically speaking, the property is set around a south to north traversing, broad spur crest feature that straddles most of the site. The crest is bound by a west facing, short steep slope that falls approximately 3.0m to 4.0m down to Dudley Crescent at inclinations ranging 18° to 26°. The slope is likely a historical cut batter excavated during the formation of the road (Dudley Crescent). Additionally, the property crest is capped by non-engineered fill, likely being surplus cut material from the road formation.

The Far North District Council (FNDC) online GIS Water Services Map indicates that connections to public stormwater and wastewater lines are available for the property near the lot's southwestern corner.

4. DEVELOPMENT PROPOSALS

The development proposal, obtained from the client, is to construct a dwelling and a concrete driveway on-site as depicted in the plan set by G.J. Gardner (Ref No: 5312, dated: 20.01.2026).

The principal objective of this assessment is to provide an indicative stormwater disposal design which will manage runoff generated from the increased impermeable areas associated with the proposed development.

5. ASSESSMENT CRITERIA

Impermeable Areas

Stormwater calculations for the development area based on a gross site area of 718m² and the below areas extracted from the supplied plans:

	Pre-Development	Post-Development	Total Change
Dwelling Roof Area	0 m ²	178 m ²	178 m ²
Uncovered Driveway & Path	0 m ²	40.3 m ²	40.3 m ²
Pervious	718 m ²	499.7 m ²	-218.3 m ²

The total amount of impermeable area on-site, post-development, equates to 218.3m² or 30.4% of the site area. Should any changes be made to the current proposal, the on-site stormwater mitigation design must be reviewed.

District Plan Rules

The site is zoned Coastal Living Zone. The following rules apply under the FNDC District Plan:

10.7.5.1.6 – **Permitted Activities – Stormwater Management** - The maximum proportion or amount of the gross site area which may be covered by buildings and other impermeable surfaces shall be 10% or 600m² whichever is the lesser.

10.7.5.3.8 – **Restricted Discretionary Activities – Stormwater Management** - The maximum proportion or amount of the gross site area covered by buildings and other impermeable surfaces shall be 15% or 1,500m², whichever is the lesser.

The total proposed impermeable area exceeds 15% of the site area and does not comply with Permitted Activity Rule (10.7.5.1.6) nor Restricted Discretionary Activity Rule (10.7.5.3.8). Therefore, the proposal is considered a Discretionary Activity. Additional considerations for stormwater management as outlined in the FNDC District Plan Section 11.3 are required. A District Plan Assessment has been included in Section 8 of this report.

Design Requirements

The site is under the jurisdiction of the Far North District Council. The design has been completed in accordance with the recommendations and requirements contained within the Far North District Council Engineering Standards, the Far North District Council District Plan and Clause E1 of the New Zealand Building Code.

The total impermeable area in exceedance of Permitted Activity Rule (10.7.5.1.6) is 146.5m². In accordance with Table 4-1 of the Engineering Standards, Flow Attenuation and Flood Control will be provided for the proposed impermeable areas in excess of the permitted activity threshold.

Provided that the recommendations within this report are adhered to, the effects of stormwater runoff resulting from the unattenuated proposed impermeable areas (71.8m² total) are considered to have less than minor effects on the receiving environment, equivalent to conditions that would result from development proposals falling within the Permitted Activity coverage threshold.

The Type IA storm profile was utilised for attenuation calculations in accordance with TR-55. HydroCAD® software has been utilised in design for a 20% AEP rainfall value of 140mm with a 24-hour duration and a 1% AEP rainfall value of 256mm with a 24-hour duration utilised for calculations. Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.

6. STORMWATER MITIGATION ASSESSMENT

To meet the requirements outlined in Section 5, the following must be provided:

Potable Water Supply

It is recommended that a rainwater tank is utilised to provide the proposed dwelling with a potable water supply. The tank type is at the discretion of the client. A proprietary guttering system is required to collect roof runoff from the proposed roof area. A first flush diverter and/or leaf filters may be installed in-line between the gutters and the tank inlet. The tank inlet level should be at least 600mm below the gutter inlet and any in-line filters. Any filters will require regular inspection and cleaning to ensure the effective operation of the system. The frequency of cleaning will depend on current and future plantings around the proposed roof area. Provision should be made by the homeowner for top-up of the tank via water tankers in periods of low rainfall.

All potable water tanks must be constructed level and fitted with balancing pipes at the top and near the base of each tank to connect all potable water tanks to each other. Due to inadequate water quality concerns, runoff from hardstand areas should not be allowed to drain to the potable water tanks.

The upper section of the potable water tank is to act as a detention volume to achieve stormwater neutrality for the proposed impermeable areas in excess of the permitted activity threshold. The tank is to be fitted with a 100mmØ overflow outlet with a flow attenuation outlet as specified below.

Potable Tanks Detention Volume

As per the attached design calculations, the design elements of the detention volume are as follows:

Proposed Tank	2 x 25,000L litre Rainwater Tanks (or approved equivalent)
Tank dimensions	3600mmØ (or greater) x 2600mm high (or greater)
Outlet orifice (20% & 1% AEP Control)	40mm diameter orifice ; located <u>>240mm below the overflow outlet</u>

- 112mm water elevation (20% AEP Control)
- 2.3m³ storage (20% AEP Control)
- 240mm water elevation (1% AEP Control)
- 4.9m³ storage (1% AEP Control)

Overflow Outlet **100mm diameter**; located at the top of the tank

Discharge from the potable water / detention tanks must be transported via sealed pipes to the available stormwater connection. Refer to the appended Site Plan (145623-C200), Tank Detail (145623-C201) and calculation set for clarification.

The tank must be installed in accordance with the tank suppliers' details and specifications. Levels are to be confirmed by the contractor on-site prior to construction. Adequate fall (minimum 1% grade) from the tank's outlet to the discharge point is required. If this is not achievable, WJL must be contacted for review of the design.

Stormwater Mitigation – Hardstand

It is recommended that the proposed driveway be shaped to direct runoff to a catchpit(s), which shall discharge to the available stormwater connection via sealed pipes. Refer to the appended Site Plan (145623-C200) and calculation set for clarification.

Stormwater catchpits and drainage piping should be in accordance with E1 Surface Water of the NZBC. The catchpit(s) must have a suitable sump to serve as a pre-treatment device prior to discharging to the public stormwater network.

7. STORMWATER RUNOFF SUMMARY

Refer to the appended HydroCAD Calculation output.

Maximum Permitted Peak Flows – 20% AEP & 1% AEP Storm Events + CCF

Surface	Area	Runoff CN	20% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Maximum Permitted Impermeable Area	71.8 m ²	98	1.37ℓ/s	3.12ℓ/s
Remaining Greenfields Area	146.5 m ²	74		

Post-Development Scenario – 20% AEP & 1% AEP Storm Events + CCF

Surface	Area	Runoff CN	10% AEP Peak Flow Rate	1% AEP Peak Flow Rate
Proposed roof area via potable water / detention tank	178 m ²	98	1.32ℓ/s	2.11ℓ/s
Proposed concrete driveway to be 'over-mitigated'	40.3 m ²	98		

Given the design parameters, peak flows resulting from the proposed development will be attenuated back to permitted activity threshold peak flows for the 20% AEP and 1% AEP storm events, adjusted for climate change.

8. DISTRICT PLAN ASSESSMENT

As the proposed development is not compliant with Permitted Activity Rule 10.7.5.1.6, nor Restricted Discretionary Activity Rule 10.7.5.3.8, it is therefore regarded as a Discretionary Activity.

In assessing an application under this provision, the Council will exercise its discretion to review the following matters below, (a) through (m) of FNDCDP Section 11.3.

In respect of matters (a) through (m), we provide the following comments:

<i>(a) the extent to which building site coverage and Impermeable Surfaces contribute to total catchment impermeability and the provisions of any catchment or drainage plan for that catchment;</i>	Impermeable surfaces resulting from the development increase site impermeability by 218.3m ² . Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.
<i>(b) the extent to which Low Impact Design principles have been used to reduce site impermeability;</i>	The proposal incorporates Low Impact Design principles by minimising new impermeable surfaces, retaining existing pervious areas, and utilising dual-purpose rainwater tanks for both water reuse and stormwater detention. These measures reduce runoff volumes and attenuate peak flows to levels consistent with the permitted activity threshold, representing an appropriate LID response for the site.
<i>(c) any cumulative effects on total catchment impermeability;</i>	Impervious coverage will increase by 218.3m ² .
<i>(d) the extent to which building site coverage and Impermeable Surfaces will alter the natural contour or drainage patterns of the site or disturb the ground and alter its ability to absorb water;</i>	Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes. This should not worsen the ability of natural ground to absorb water in normal conditions.
<i>(e) the physical qualities of the soil type;</i>	Awhitu Group Alluvium – moderate/good drainage
<i>(f) any adverse effects on the life supporting capacity of soils;</i>	Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils.
<i>(g) the availability of land for the disposal of effluent and stormwater on the site without adverse effects on the water quantity and water quality of water bodies (including groundwater and aquifers) or on adjacent sites;</i>	Runoff resulting from the proposed impermeable areas is to be collected and directed to stormwater management devices and then to the available stormwater connection via sealed pipes, mitigating the potential for contamination of surrounding soils and harm to the life supporting capacity of soils. Catchpits will be fitted with suitable sumps as a pre-treatment device. The site is serviced by public stormwater and wastewater connections.
<i>(h) the extent to which paved, Impermeable Surfaces are necessary for the proposed activity;</i>	The proposed driveway is necessary to provide access to the proposed dwelling and is not considered excessive.

<i>(i) the extent to which land scaping and vegetation may reduce adverse effects of run-off;</i>	Existing vegetation and any plantings introduced by the owner during occupancy will aid in reducing surface water velocity and providing treatment. No specific landscaping scheme is proposed as part of the stormwater management system described herein.
<i>(j) any recognised standards promulgated by industry groups;</i>	Not applicable.
<i>k) the means and effectiveness of mitigating stormwater runoff to that expected by permitted activity threshold;</i>	Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.
<i>(l) the extent to which the proposal has considered and provided for climate change;</i>	Rainfall data was obtained from HIRDS and increased by 20% to account for climate change.
<i>(m) the extent to which stormwater detention ponds and other engineering solutions are used to mitigate any adverse effects.</i>	Through tank attenuation runoff resulting from the proposed development is to be attenuated back to permitted activity peak flows for the 20% & 1% AEP storm events, adjusted for climate change.

9. NOTES

If any of the design specifications mentioned in the previous sections are altered or found to be different than what is described in this report, Wilton Joubert Ltd will be required to review this report. Indicative system details have been provided in the appendices of this report (145623-C200 & 145623-C201).

Care should be taken when constructing the discharge point to avoid any siphon or backflow effect within the stormwater system.

Subsequent to construction, a programme of regular inspection / maintenance of the system should be initiated by the Owner to ensure the continuance of effective function, and if necessary, the instigation of any maintenance required.

Wilton Joubert Ltd recommends that all contractors keep a photographic record of their work.

10. OPERATION & MAINTENANCE

The owner shall be responsible for the ongoing inspection and maintenance of the stormwater mitigation system to ensure it continues to operate as intended. This shall include periodic inspection and cleaning of roof gutters, leaf guards, first-flush devices, rainwater tank, flow-control orifices and catchpit(s)/silt trap(s) to prevent blockage, sediment build-up, or erosion. The attenuation orifice shall be checked regularly to confirm it remains unobstructed, particularly following heavy rainfall events. Any damaged or eroded components shall be repaired promptly to maintain system performance and prevent adverse downstream effects.

11. LIMITATIONS

The recommendations and opinions contained in this report are based on information received and available from the client at the time of report writing.

This assignment only considers the primary stormwater system. Secondary stormwater system, Overland Flow Paths (OLFP), geotechnical requirements, vehicular access and the consideration of road/street water flooding is not included in this assessment.

All drainage design is up to the connection point for each building face of any new structures/slabs; no internal building plumbing or layouts have been undertaken.

During construction, an engineer competent to judge whether the conditions are compatible with the assumptions made in this report should examine the site. In all circumstances, if variations occur which differ from that described or that are assumed to exist, then the matter should be referred to a suitably qualified and experienced engineer.

The performance behaviour outlined by this report is dependent on the construction activity and actions of the builder/contractor. Inappropriate actions during the construction phase may cause behaviour outside the limits given in this report.

This report has been prepared for the particular project described to us and no responsibility is accepted for the use of any part of this report in any other context or for any other purpose.

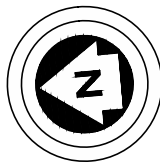
Wilton Joubert Ltd.



Gustavo Brant
Civil Engineer
BE(Hons)

REPORT ATTACHMENTS

- Site Plan - C200 (1 sheet)
- Tank Detail – C201 (1 sheet)
- Calculation Set

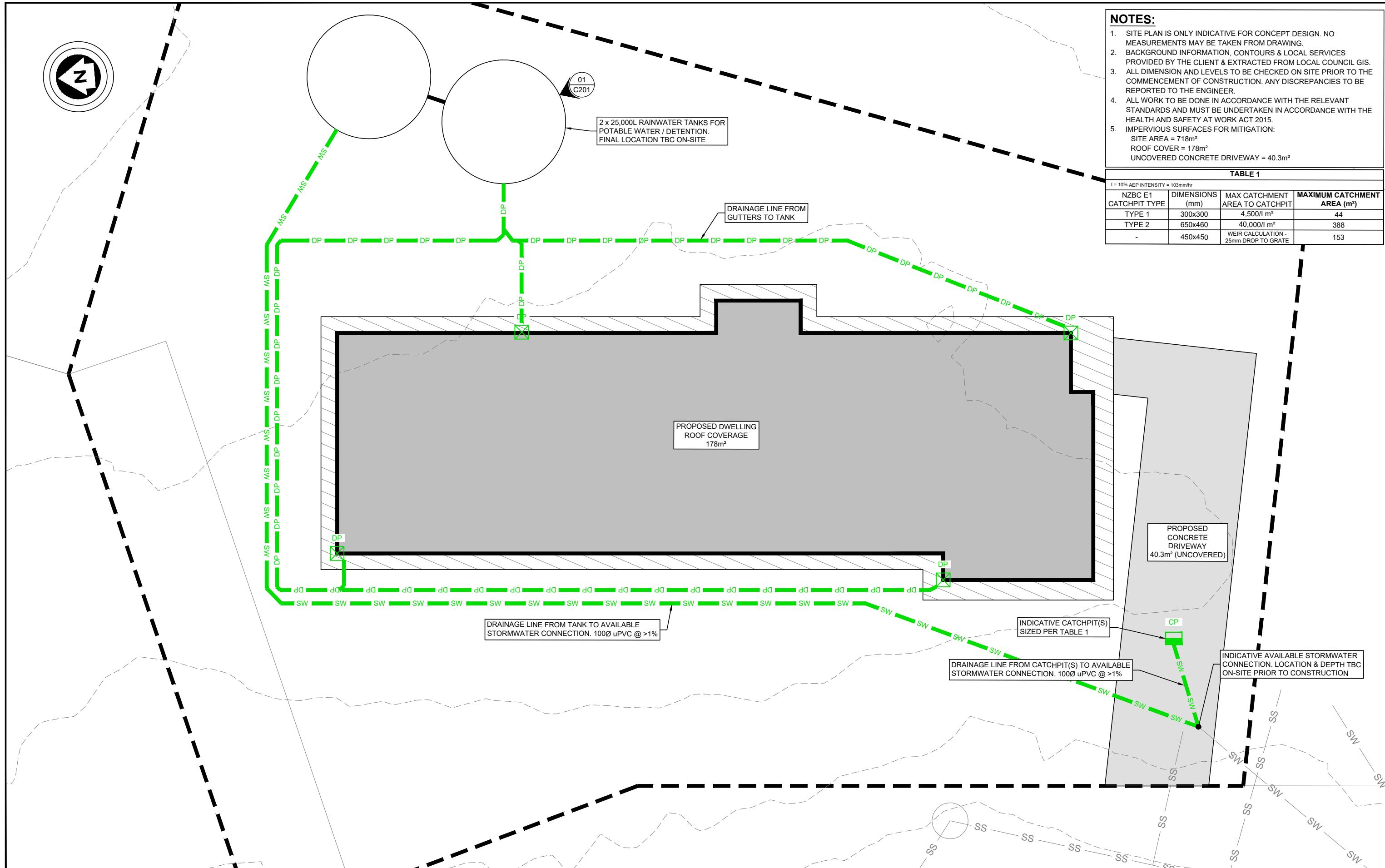


- NOTES:**
- SITE PLAN IS ONLY INDICATIVE FOR CONCEPT DESIGN. NO MEASUREMENTS MAY BE TAKEN FROM DRAWING.
 - BACKGROUND INFORMATION, CONTOURS & LOCAL SERVICES PROVIDED BY THE CLIENT & EXTRACTED FROM LOCAL COUNCIL GIS.
 - ALL DIMENSION AND LEVELS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
 - ALL WORK TO BE DONE IN ACCORDANCE WITH THE RELEVANT STANDARDS AND MUST BE UNDERTAKEN IN ACCORDANCE WITH THE HEALTH AND SAFETY AT WORK ACT 2015.
 - IMPERVIOUS SURFACES FOR MITIGATION:
SITE AREA = 718m²
ROOF COVER = 178m²
UNCOVERED CONCRETE DRIVEWAY = 40.3m²

TABLE 1

I = 10% AEP INTENSITY = 103mm/hr

NZBC E1 CATCHPIT TYPE	DIMENSIONS (mm)	MAX CATCHMENT AREA TO CATCHPIT	MAXIMUM CATCHMENT AREA (m ²)
TYPE 1	300x300	4,500/l m ²	44
TYPE 2	650x460	40,000/l m ²	388
-	450x450	WEIR CALCULATION - 25mm DROP TO GRATE	153



WILTON JOUBERT
Consulting Engineers

Northland: 09 945 4188
Auckland: 09 527 0196
Christchurch: 021 824 063
Wanaka: 03 443 6209
www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	MAR '26	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY:
GMB

DRAWN BY:
GMB

CHECKED BY:
BGS

SURVEYED BY:
N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN, THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE:
SITE PLAN

PROJECT DESCRIPTION:
STORMWATER MITIGATION REPORT

PROJECT TITLE:
**LOT 15 DP 384236
22 DUDLEY CRESCENT
CABLE BAY
NORTHLAND**

ORIGINAL DRAWING SIZE: A3
DRAWING SCALE: 1:100
DRAWING NUMBER: 145623-C200

OFFICE: OREWA
CO-ORDINATE SYSTEM: NOT COORDINATED
ISSUE: 01

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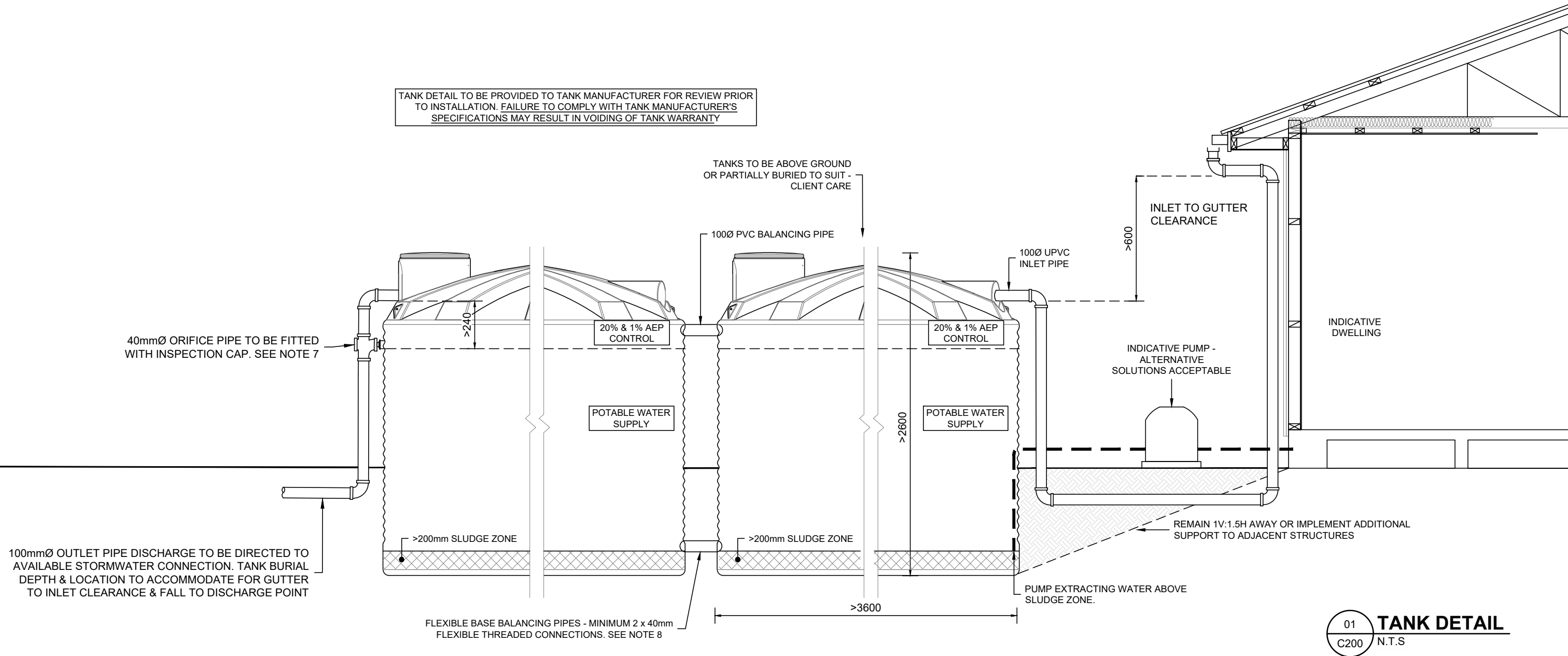
NOTES:

1. NOT TO SCALE. DRAWN INDICATIVELY ONLY.
2. ALL LEVELS & DIMENSIONS TO BE CONFIRMED ON SITE & ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. TANK TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS & RELEVANT COUNCIL STANDARDS.
4. REGULAR INSPECTION & CLEANING IS REQUIRED TO ENSURE THE EFFECTIVE OPERATION OF THE SYSTEM.
5. ALL ORIFICE OUTLETS TO BE COVERED WITH STAINLESS STEEL OR NYLON MESH.
6. ASSUMED USE OF A 2 x 25,000 LITRE PLASTIC WATER TANKS OR APPROVED EQUIVALENT.

PLASTIC TANKS NOTES:

7. ALL OUTLETS / PENETRATIONS UNDER PRESSURE TO BE INSTALLED BY THE MANUFACTURER.
8. TANKS TO BE CONNECTED AT BASE VIA FLEXIBLE THREADED CONNECTIONS ONLY.

TANK DETAIL TO BE PROVIDED TO TANK MANUFACTURER FOR REVIEW PRIOR TO INSTALLATION. FAILURE TO COMPLY WITH TANK MANUFACTURER'S SPECIFICATIONS MAY RESULT IN VOIDING OF TANK WARRANTY



01 TANK DETAIL
C200 N.T.S

WILTON JOUBERT
Consulting Engineers
Northland: 09 945 4188 Auckland: 09 527 0196
Christchurch: 021 824 063 Wanaka: 03 443 6209
www.wiltonjoubert.co.nz

ISSUE / REVISION			
No.	DATE	BY	DESCRIPTION
01	MAR '26	GMB	STORMWATER MITIGATION REPORT

DESIGNED BY: GMB
DRAWN BY: GMB
CHECKED BY: BGS
SURVEYED BY: N/A

SERVICES NOTE
WHERE EXISTING SERVICES ARE SHOWN THEY ARE INDICATIVE ONLY AND MAY NOT INCLUDE ALL SITE SERVICES. WILTON JOUBERT LTD DOES NOT WARRANT THAT ALL, OR INDEED ANY SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND PROTECT ALL EXISTING SERVICES PRIOR TO AND FOR THE DURATION OF THE CONTRACT WORKS.

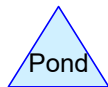
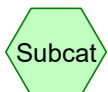
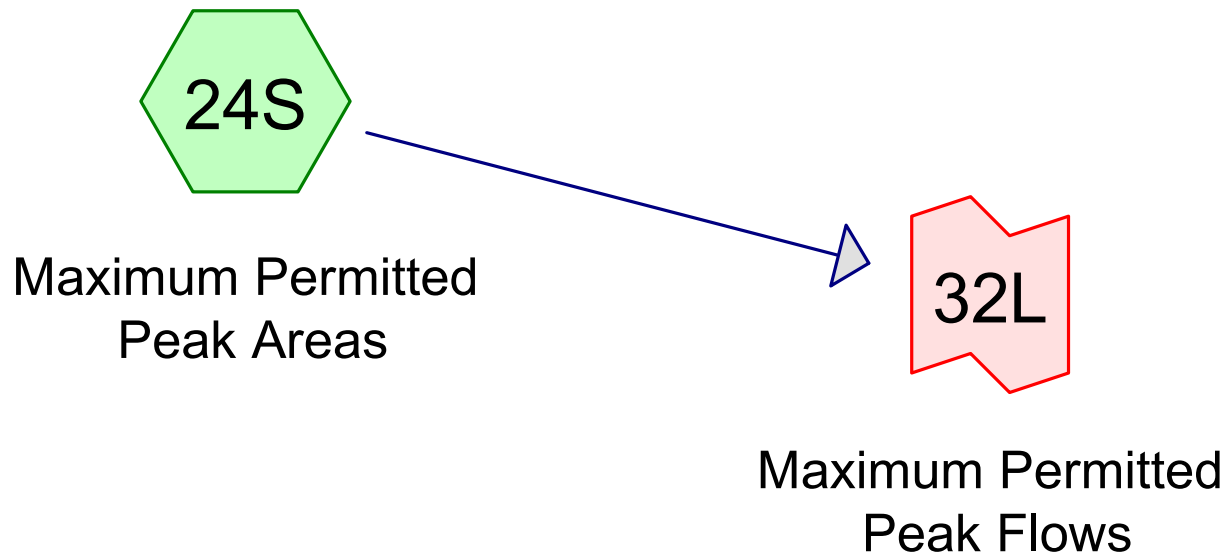
BUILDING CONSENT
DESIGN / DRAWING SUBJECT TO ENGINEERS APPROVAL

DRAWING TITLE: TANK DETAIL
PROJECT DESCRIPTION: STORMWATER MITIGATION REPORT

PROJECT TITLE: LOT 15 DP 384236
22 DUDLEY CRESCENT
CABLE BAY
NORTHLAND

ORIGINAL DRAWING SIZE: A3	OFFICE: OREWA
DRAWING SCALE: N.T.S	CO-ORDINATE SYSTEM: NOT COORDINATED
DRAWING NUMBER: 145623-C201	ISSUE: 01
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Permitted Activity Threshold



Routing Diagram for 145623

Prepared by Wilton Joubert Limited, Printed 17/03/2026
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145623

Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Prepared by Wilton Joubert Limited

Printed 17/03/2026

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Page 2

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 24S: Maximum Permitted Runoff Area=218.3 m² 32.89% Impervious Runoff Depth>199 mm
Tc=10.0 min CN=82 Runoff=3.12 L/s 43.4 m³

Link 32L: Maximum Permitted Peak Flows

Inflow=3.12 L/s 43.4 m³
Primary=3.12 L/s 43.4 m³

Summary for Subcatchment 24S: Maximum Permitted Peak Areas

Runoff = 3.12 L/s @ 7.97 hrs, Volume= 43.4 m³, Depth> 199 mm

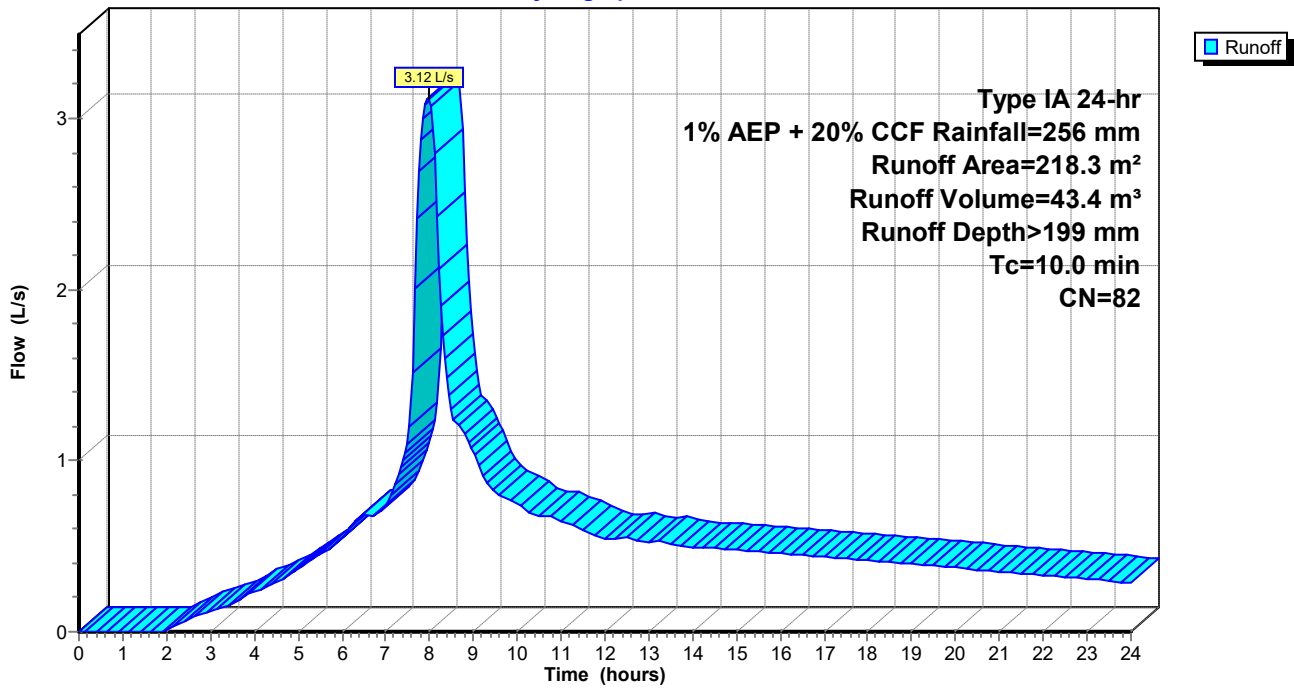
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Area (m ²)	CN	Description
146.5	74	>75% Grass cover, Good, HSG C
71.8	98	Roofs, HSG C
218.3	82	Weighted Average
146.5		67.11% Pervious Area
71.8		32.89% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Maximum Permitted Peak Areas

Hydrograph

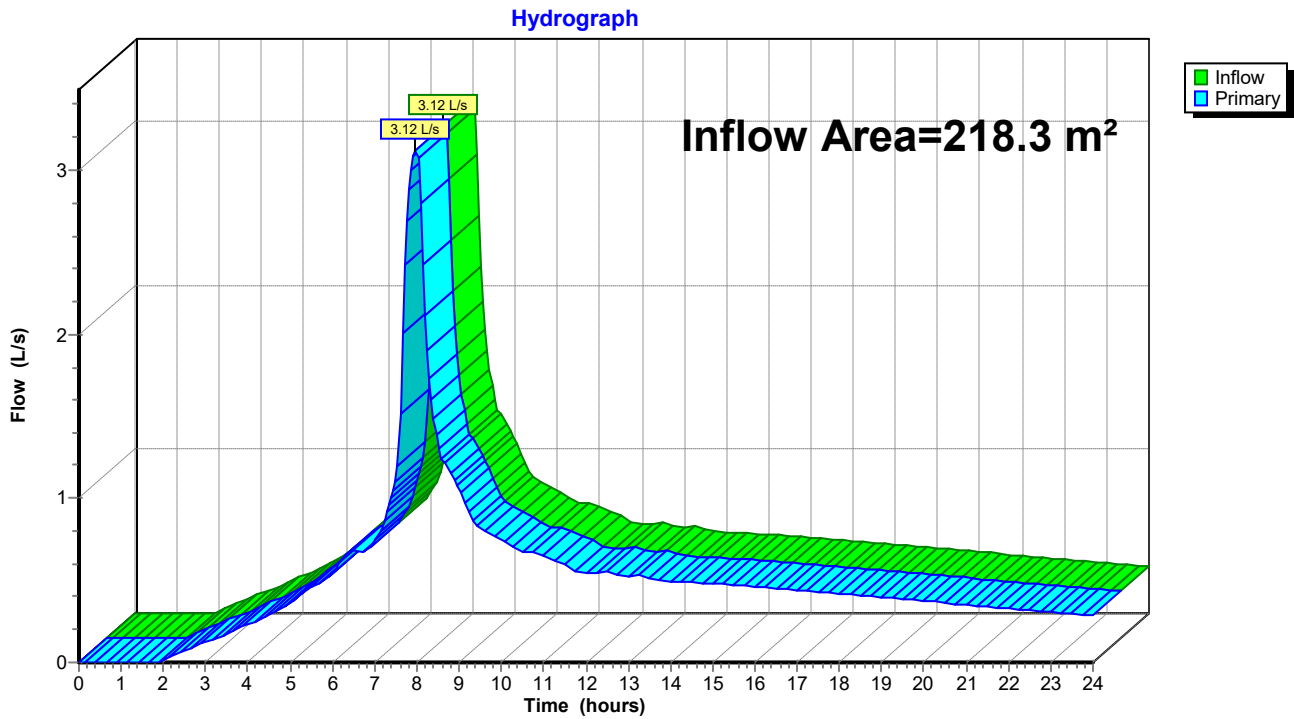


Summary for Link 32L: Maximum Permitted Peak Flows

Inflow Area = 218.3 m², 32.89% Impervious, Inflow Depth > 199 mm for 1% AEP + 20% CCF event
Inflow = 3.12 L/s @ 7.97 hrs, Volume= 43.4 m³
Primary = 3.12 L/s @ 7.97 hrs, Volume= 43.4 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 32L: Maximum Permitted Peak Flows



145623

Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Prepared by Wilton Joubert Limited

Printed 17/03/2026

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Page 5

Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 24S: Maximum Permitted Runoff Area=218.3 m² 32.89% Impervious Runoff Depth>90 mm
Tc=10.0 min CN=82 Runoff=1.37 L/s 19.6 m³

Link 32L: Maximum Permitted Peak Flows

Inflow=1.37 L/s 19.6 m³
Primary=1.37 L/s 19.6 m³

Summary for Subcatchment 24S: Maximum Permitted Peak Areas

Runoff = 1.37 L/s @ 7.99 hrs, Volume= 19.6 m³, Depth> 90 mm

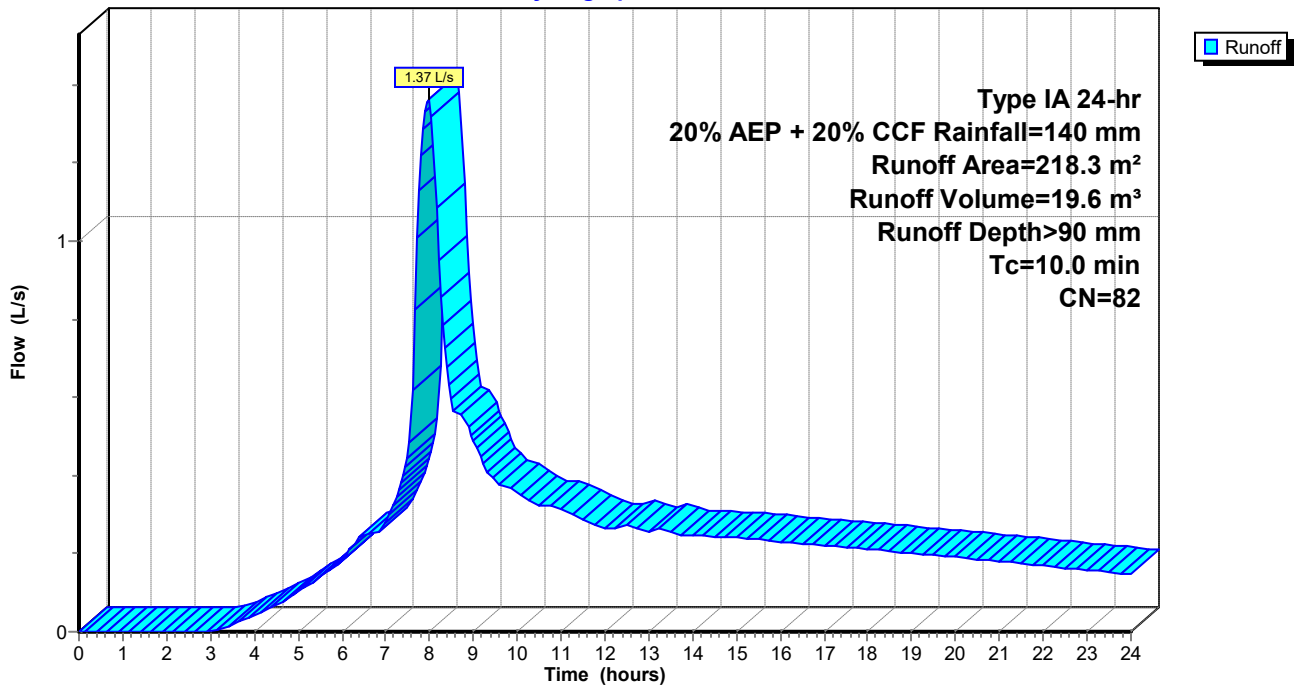
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Area (m ²)	CN	Description
146.5	74	>75% Grass cover, Good, HSG C
71.8	98	Roofs, HSG C
218.3	82	Weighted Average
146.5		67.11% Pervious Area
71.8		32.89% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 24S: Maximum Permitted Peak Areas

Hydrograph

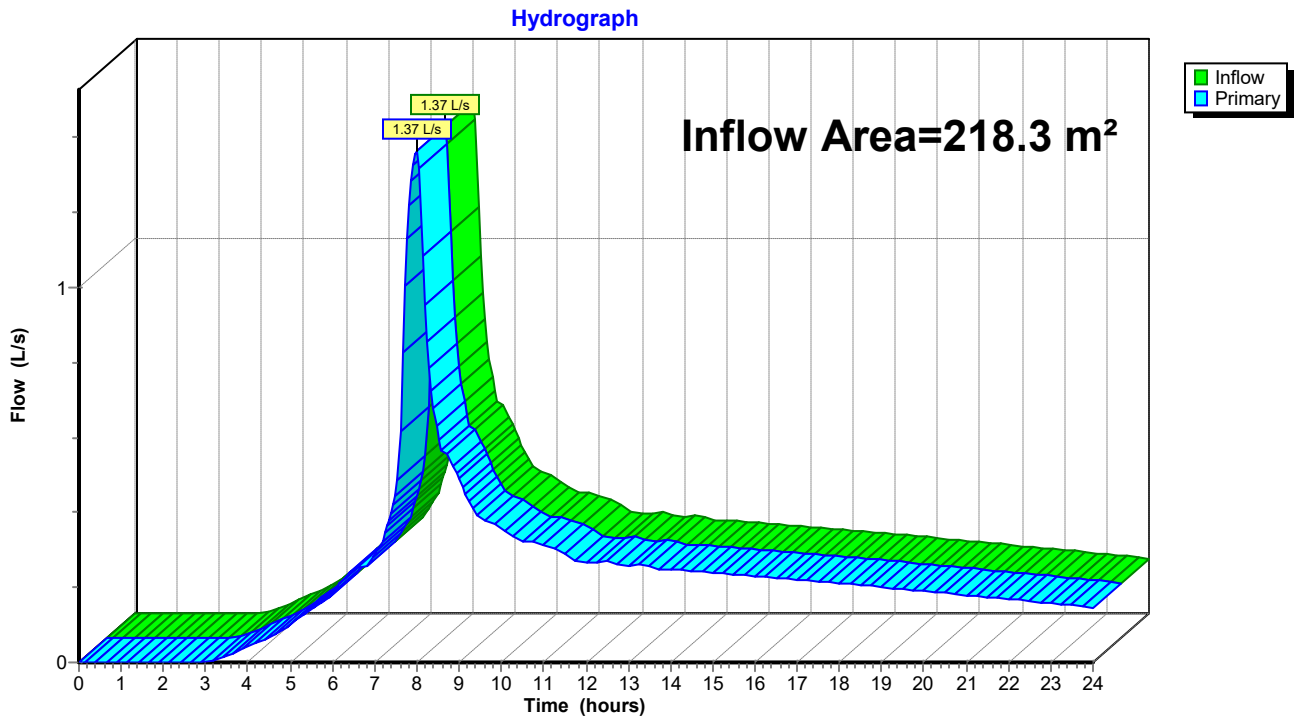


Summary for Link 32L: Maximum Permitted Peak Flows

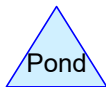
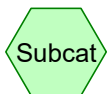
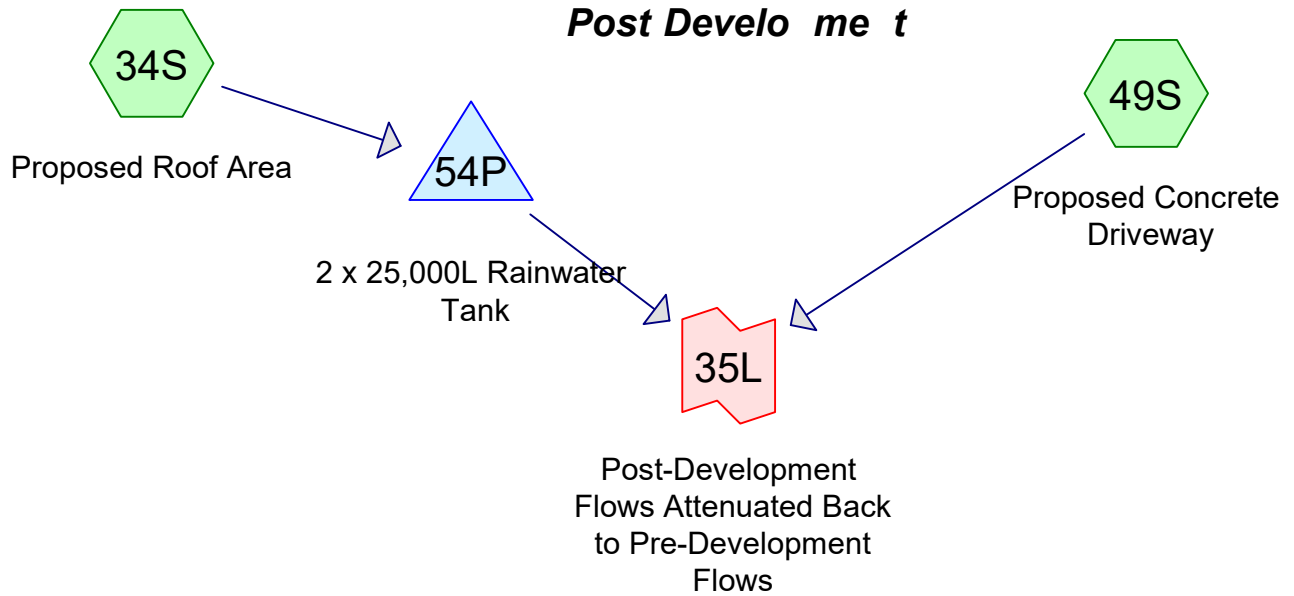
Inflow Area = 218.3 m², 32.89% Impervious, Inflow Depth > 90 mm for 20% AEP + 20% CCF event
Inflow = 1.37 L/s @ 7.99 hrs, Volume= 19.6 m³
Primary = 1.37 L/s @ 7.99 hrs, Volume= 19.6 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 32L: Maximum Permitted Peak Flows



Post Development



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 34S: Proposed Roof Runoff Area=178.0 m² 100.00% Impervious Runoff Depth>249 mm
Tc=10.0 min CN=98 Runoff=3.00 L/s 44.4 m³

Subcatchment 49S: Proposed Concrete Runoff Area=40.3 m² 100.00% Impervious Runoff Depth>249 mm
Tc=10.0 min CN=98 Runoff=0.68 L/s 10.0 m³

Pond 54P: 2 x 25,000L Rainwater Tank Peak Elev=0.240 m Storage=4.9 m³ Inflow=3.00 L/s 44.4 m³
Outflow=1.56 L/s 43.9 m³

Link 35L: Post-Development Flows Attenuated Back to Pre-Development Inflow=2.11 L/s 53.9 m³
Primary=2.11 L/s 53.9 m³

Summary for Subcatchment 34S: Proposed Roof Area

Runoff = 3.00 L/s @ 7.94 hrs, Volume= 44.4 m³, Depth> 249 mm

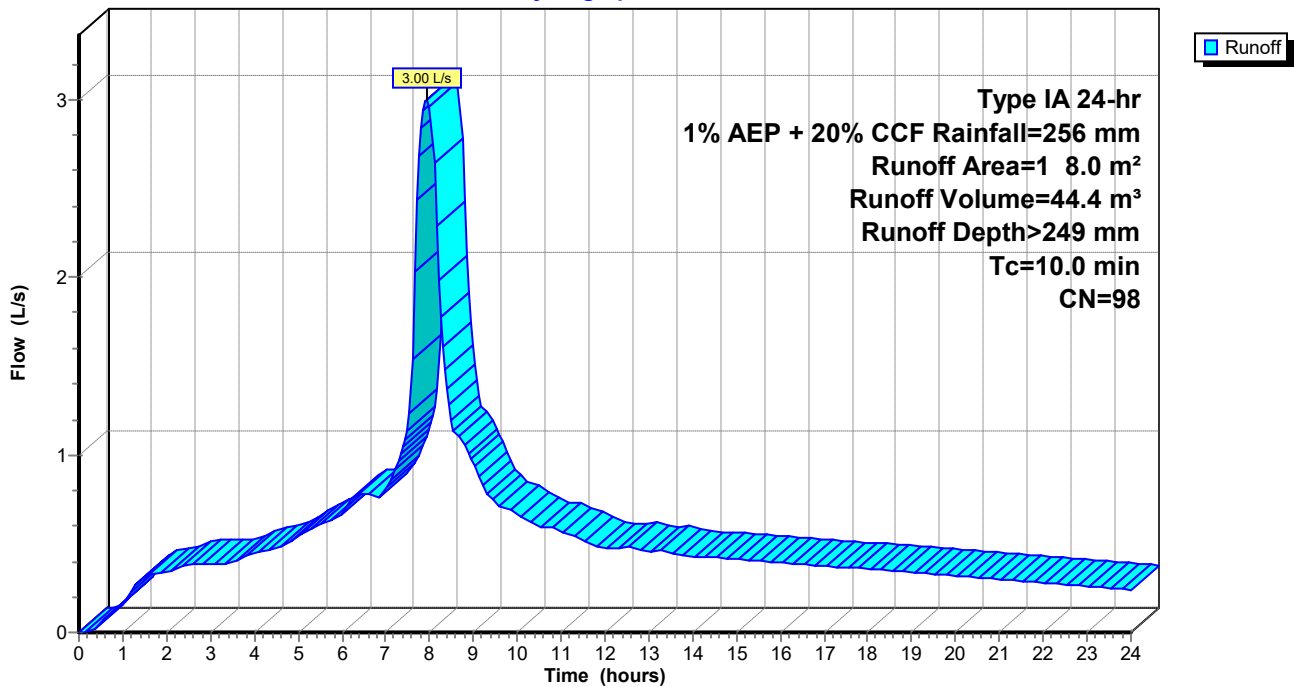
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Area (m ²)	CN	Description
178.0	98	Roofs, HSG C
178.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 34S: Proposed Roof Area

Hydrograph



Summary for Subcatchment 49S: Proposed Concrete Dri eway

Runoff = 0.68 L/s @ 7.94 hrs, Volume= 10.0 m³, Depth> 249 mm

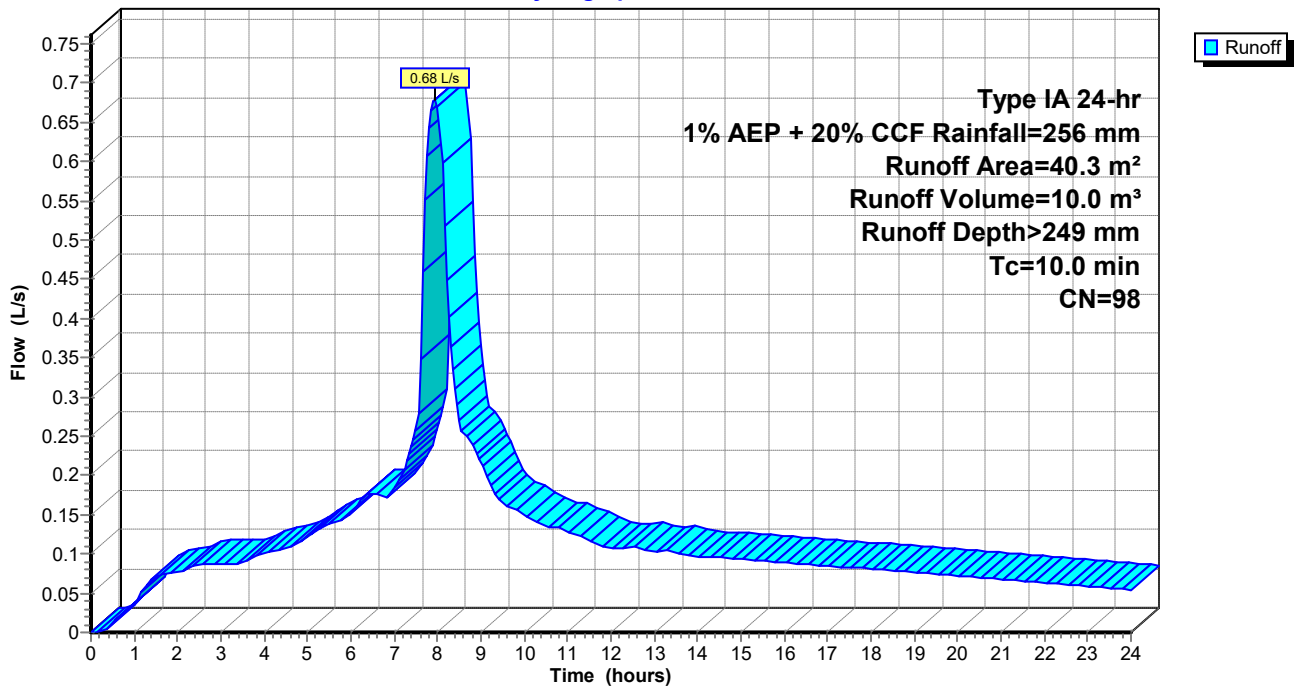
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 1% AEP + 20% CCF Rainfall=256 mm

Area (m ²)	CN	Description
40.3	98	Paved parking, HSG C
40.3		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 49S: Proposed Concrete Dri eway

Hydrograph



Summary for Pond 54P: 2 x 25,000L Rainwater Tank

Inflow Area = 178.0 m², 100.00% Impervious, Inflow Depth > 249 mm for 1% AEP + 20% CCF event
 Inflow = 3.00 L/s @ 7.94 hrs, Volume= 44.4 m³
 Outflow = 1.56 L/s @ 8.32 hrs, Volume= 43.9 m³, Atten= 48%, Lag= 22.9 min
 Primary = 1.56 L/s @ 8.32 hrs, Volume= 43.9 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 0.240 m @ 8.32 hrs Surf.Area= 20.4 m² Storage= 4.9 m³

Plug-Flow detention time= 35.3 min calculated for 43.8 m³ (99% of inflow)
 Center-of-Mass det. time= 26.3 min (672.2 - 645.9)

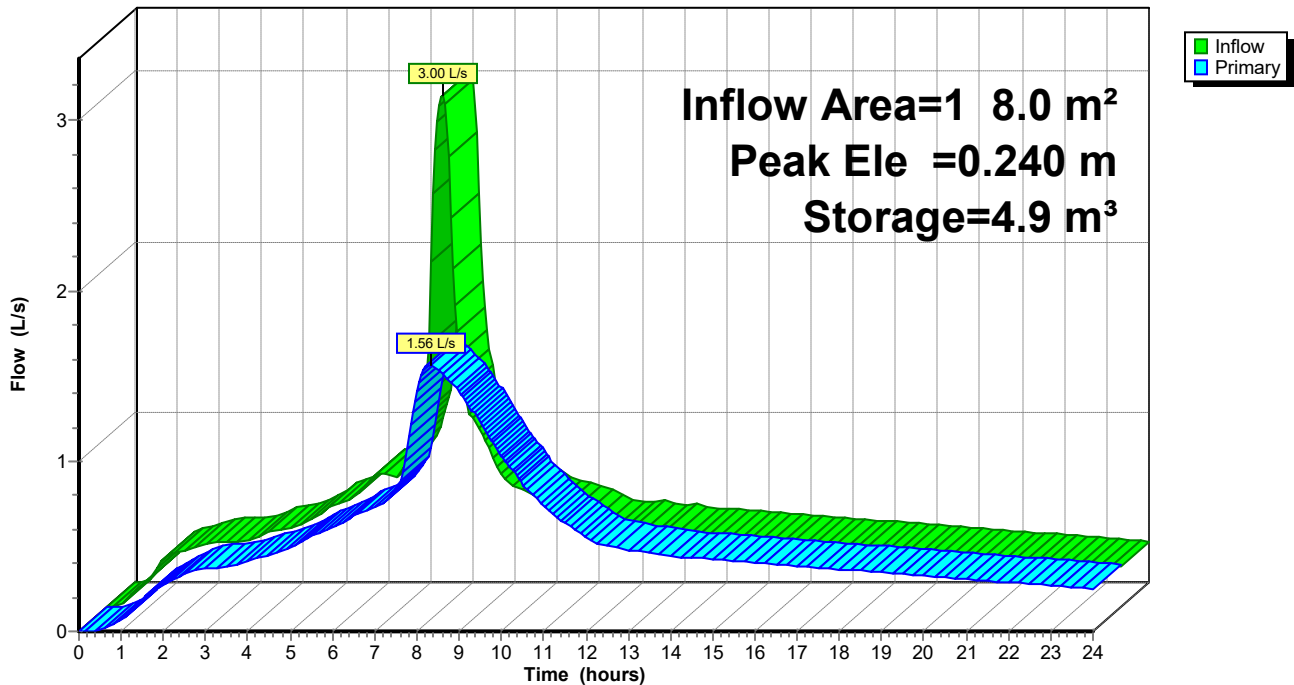
Volume	Invert	Avail.Storage	Storage Description
1	0.000 m	52.9 m ³	3.60 mD x 2.60 mH Vertical Cone/Cylinder x 2

Device	Routing	Invert	Outlet Devices
1	Primary	0.000 m	40 mm Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=1.56 L/s @ 8.32 hrs HW=0.240 m (Free Discharge)
 ←1=Orifice/Grate (Orifice Controls 1.56 L/s @ 1.25 m/s)

Pond 54P: 2 x 25,000L Rainwater Tank

Hydrograph

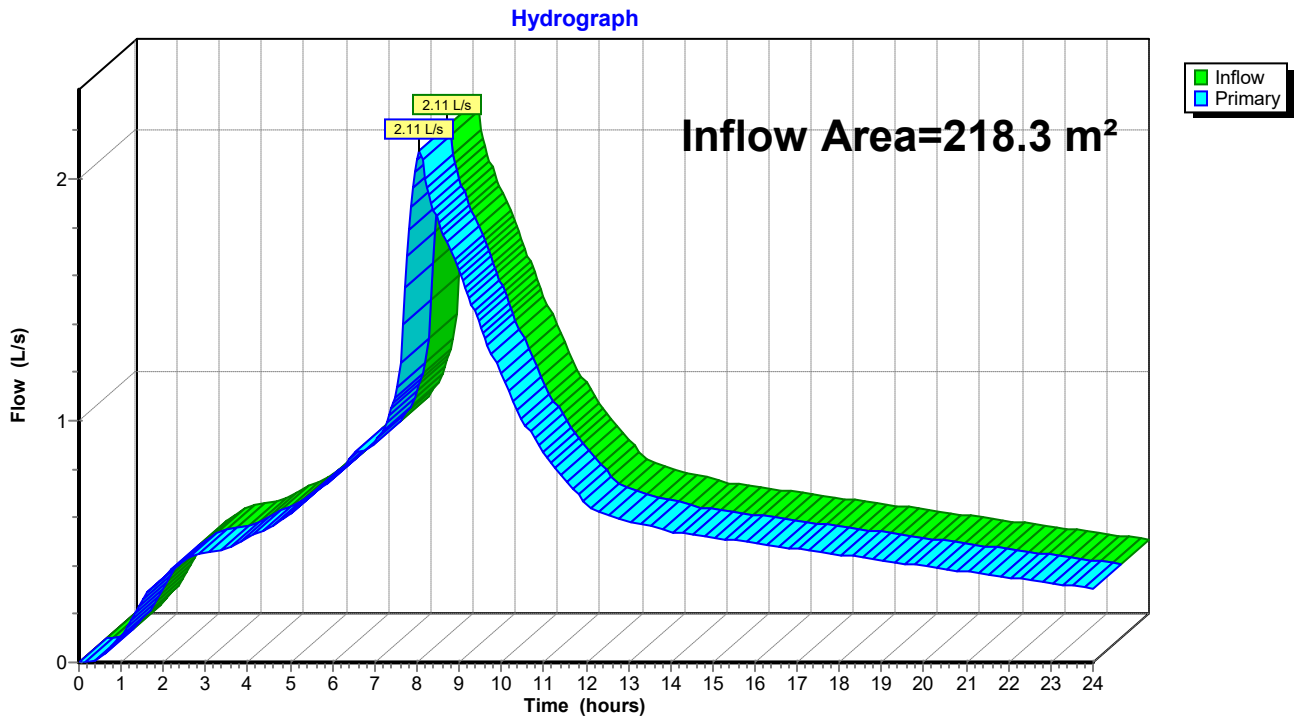


Summary for Link 35L: Post-De elopment Flows Attenuated Back to Pre-De elopment Flows

Inflow Area = 218.3 m², 100.00% Impervious, Inflow Depth > 247 mm for 1% AEP + 20% CCF event
Inflow = 2.11 L/s @ 8.06 hrs, Volume= 53.9 m³
Primary = 2.11 L/s @ 8.06 hrs, Volume= 53.9 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 35L: Post-De elopment Flows Attenuated Back to Pre-De elopment Flows



Time span=0.00-24.00 hrs, dt=0.05 hrs, 481 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
Reach routing by Stor-Ind method - Pond routing by Stor-Ind method

Subcatchment 34S: Proposed Roof Runoff Area=178.0 m² 100.00% Impervious Runoff Depth>134 mm
Tc=10.0 min CN=98 Runoff=1.63 L/s 23.8 m³

Subcatchment 49S: Proposed Concrete Runoff Area=40.3 m² 100.00% Impervious Runoff Depth>134 mm
Tc=10.0 min CN=98 Runoff=0.37 L/s 5.4 m³

Pond 54P: 2 x 25,000L Rainwater Tank Peak Elev=0.112 m Storage=2.3 m³ Inflow=1.63 L/s 23.8 m³
Outflow=1.01 L/s 23.5 m³

Link 35L: Post-Development Flows Attenuated Back to Pre-Development Inflow=1.32 L/s 28.9 m³
Primary=1.32 L/s 28.9 m³

Summary for Subcatchment 34S: Proposed Roof Area

Runoff = 1.63 L/s @ 7.94 hrs, Volume= 23.8 m³, Depth> 134 mm

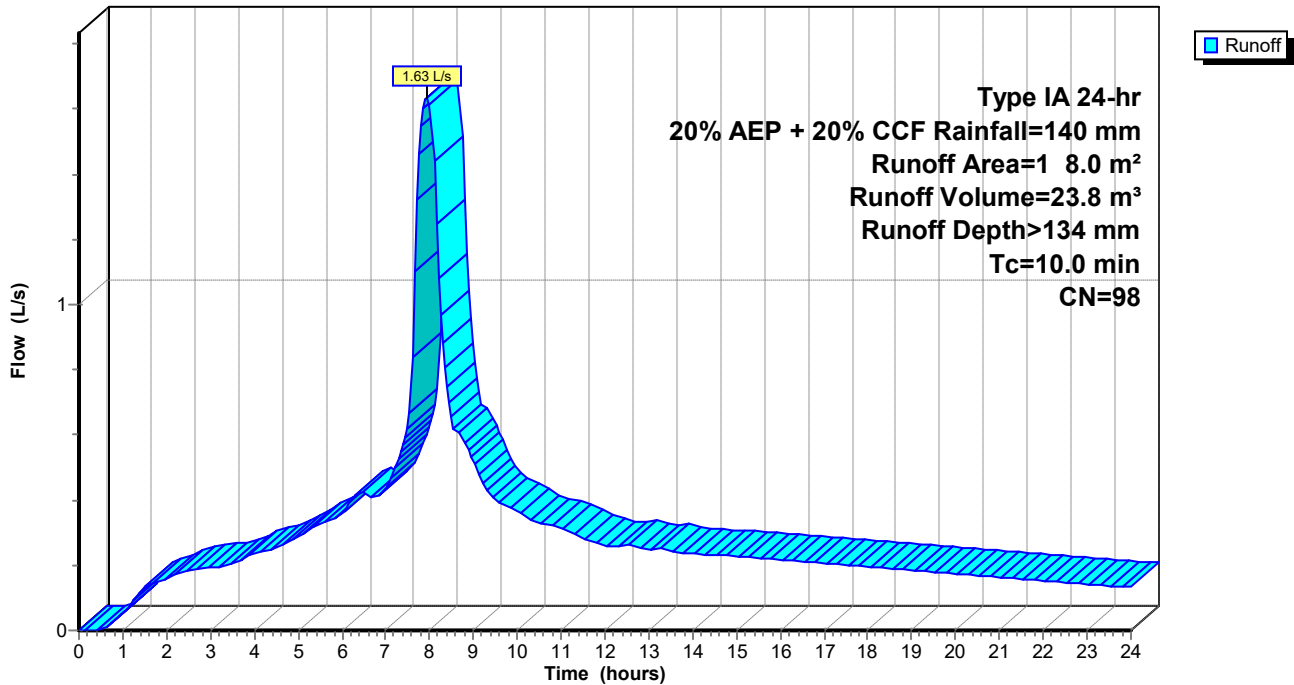
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Area (m ²)	CN	Description
178.0	98	Roofs, HSG C
178.0		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 34S: Proposed Roof Area

Hydrograph



Summary for Subcatchment 49S: Proposed Concrete Dri eway

Runoff = 0.37 L/s @ 7.94 hrs, Volume= 5.4 m³, Depth> 134 mm

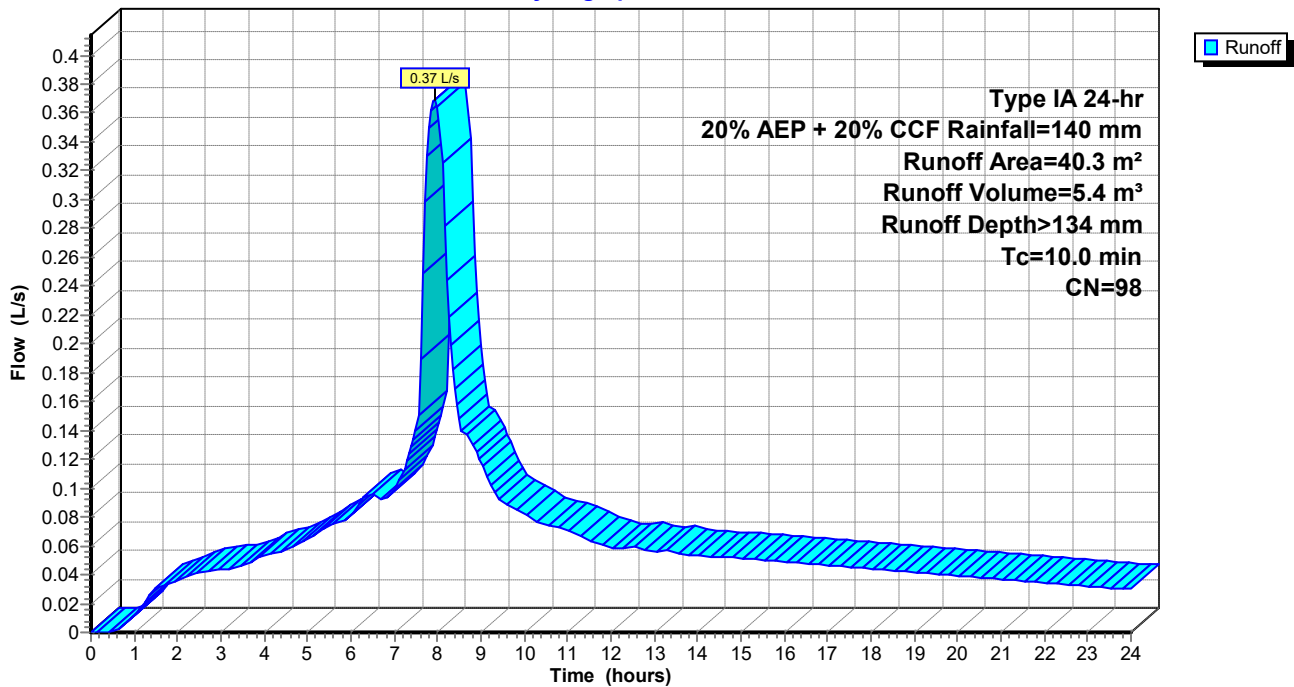
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Type IA 24-hr 20% AEP + 20% CCF Rainfall=140 mm

Area (m ²)	CN	Description
40.3	98	Paved parking, HSG C
40.3		100.00% Impervious Area

Tc (min)	Length (meters)	Slope (m/m)	Velocity (m/sec)	Capacity (m ³ /s)	Description
10.0					Direct Entry,

Subcatchment 49S: Proposed Concrete Dri eway

Hydrograph



Summary for Pond 54P: 2 x 25,000L Rainwater Tank

Inflow Area = 178.0 m², 100.00% Impervious, Inflow Depth > 134 mm for 20% AEP + 20% CCF event
 Inflow = 1.63 L/s @ 7.94 hrs, Volume= 23.8 m³
 Outflow = 1.01 L/s @ 8.23 hrs, Volume= 23.5 m³, Atten= 38%, Lag= 17.5 min
 Primary = 1.01 L/s @ 8.23 hrs, Volume= 23.5 m³

Routing by Stor-Ind method, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs
 Peak Elev= 0.112 m @ 8.23 hrs Surf.Area= 20.4 m² Storage= 2.3 m³

Plug-Flow detention time= 33.0 min calculated for 23.5 m³ (99% of inflow)
 Center-of-Mass det. time= 23.9 min (678.7 - 654.8)

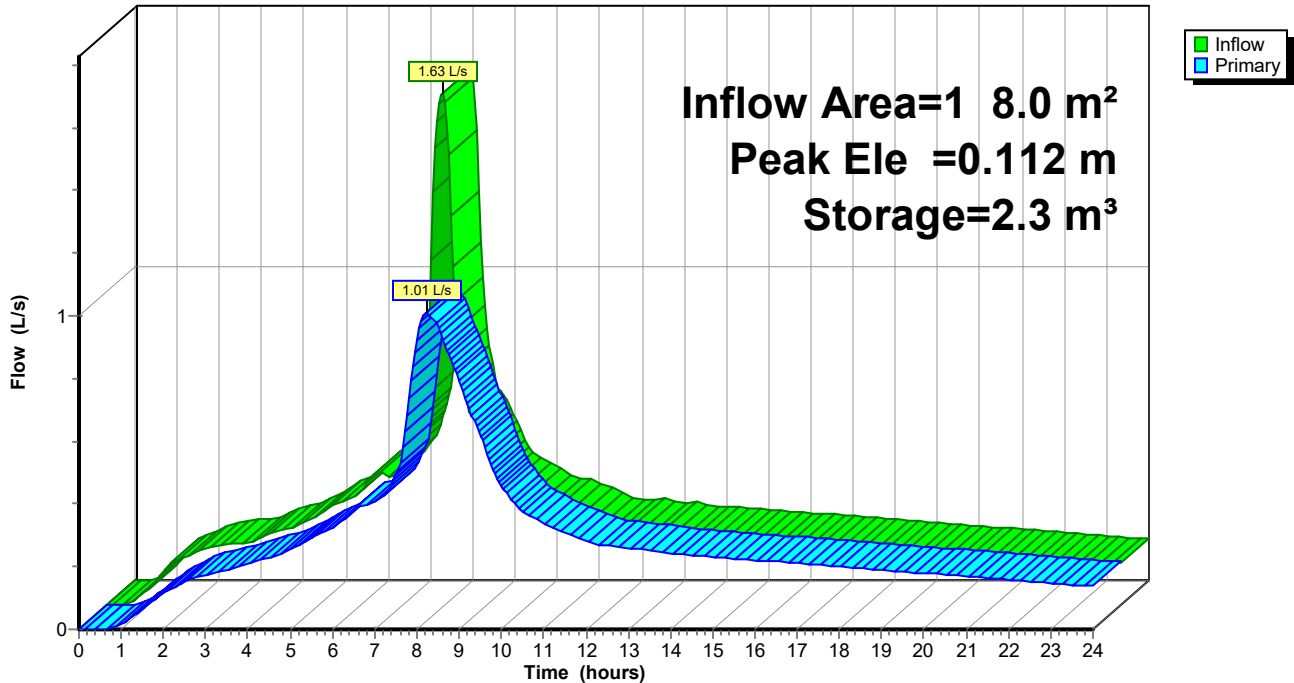
Volume	Invert	Avail.Storage	Storage Description
1	0.000 m	52.9 m ³	3.60 mD x 2.60 mH Vertical Cone/Cylinder x 2

Device	Routing	Invert	Outlet Devices
1	Primary	0.000 m	40 mm Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=1.01 L/s @ 8.23 hrs HW=0.112 m (Free Discharge)
 ←1=Orifice/Grate (Orifice Controls 1.01 L/s @ 0.81 m/s)

Pond 54P: 2 x 25,000L Rainwater Tank

Hydrograph

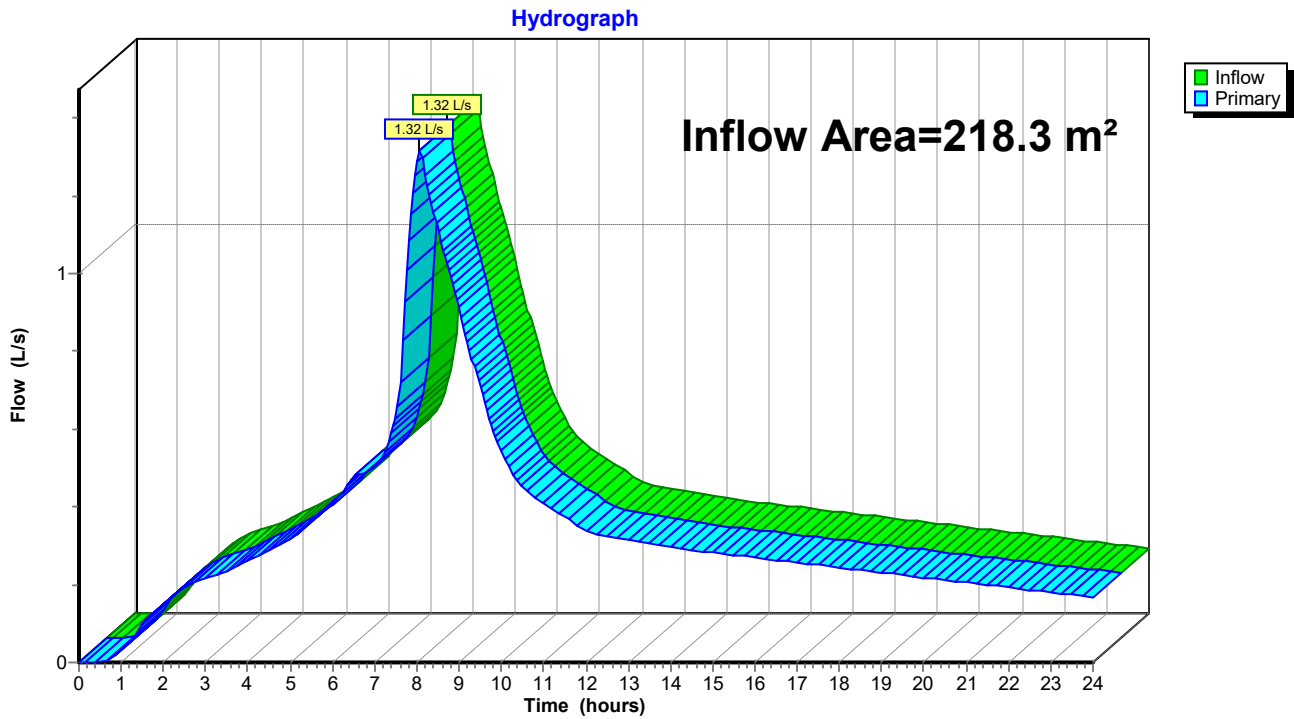


Summary for Link 35L: Post-De elopment Flows Attenuated Back to Pre-De elopment Flows

Inflow Area = 218.3 m², 100.00% Impervious, Inflow Depth > 132 mm for 20% AEP + 20% CCF event
Inflow = 1.32 L/s @ 8.07 hrs, Volume= 28.9 m³
Primary = 1.32 L/s @ 8.07 hrs, Volume= 28.9 m³, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-24.00 hrs, dt= 0.05 hrs

Link 35L: Post-De elopment Flows Attenuated Back to Pre-De elopment Flows





WHAKARATONGA IWI

FIRE
EMERGENCY

NEW ZEALAND

Non-Reticulated Firefighting Water Supplies, Vehicular Access & Vegetation Risk Reduction Application for New and Existing Residential Dwellings and Sub-Divisions



Contents

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Section A - Firefighting Water Supplies and Vegetation Risk Reduction Waiver

“Fire and Emergency New Zealand strongly recommends the installation of automatic fire detection system devices such as smoke alarms for early warning of a fire and fire suppression systems such as sprinklers in buildings (irrespective of the water supply) to provide maximum protection to life and property”.

Waiver Explanation Intent

Fire and Emergency New Zealand [FENZ] use the New Zealand Fire Service [NZFS] Code of Practice for firefighting water supplies (SNZ PAS 5409:2008) (The Code) as a tool to establish the quantity of water required for firefighting purposes in relation to a specific hazard (Dwelling, Building) based on its fire hazard classification regardless if they are located within urban fire districts with a reticulated water supply or a non-reticulated water supply in rural areas. The code has been adopted by the Territorial Authorities and Water Supply Authorities. The code can be used by developers and property owners to assess the adequacy of the firefighting water supply for new or existing buildings.

The Area Manager under the delegated authority of the Fire Region Manager is responsible for approving applications in relation to firefighting water supplies. The Area Manager may accept a variation or reduction in the amount of water required for firefighting for example; a single level dwelling measuring 200^m² requires 45,000L of firefighter water under the code, however the Area Managers in Northland have excepted a reduction to 10,000L.

This application form is used for the assessment of proposed water supplies for firefighting in non-reticulated areas only and is referenced from (Appendix B – Alternative Firefighting Water Sources) of the code. This application also provides fire risk reduction guidance in relation to vegetation and the 20-metre dripline rule under the Territorial Authority’s District Plan. Fire and Emergency New Zealand are not a consenting authority and the final determination rests with the Territorial Authority.

For more information in relation to the code of practice for Firefighting Water supplies, Emergency Vehicle Access requirements, Home Fire Safety advice and Vegetation Risk Reduction Strategies visit www.fireandemergency.nz

Section B – Applicant Information

Applicants Information	
Name:	Luis & Ann Reina Cabrera
Address:	22 Dudley Crescent, Cable Bay
Contact Details:	C/O Martin OBrien: 027 407 5208
Return Email Address:	martin@obrienconsulting.co.nz

Section C – Property Details

Property Details	
Address of Property:	22 Dudley Crescent, Cable Bay
Lot Number/s:	Lot 15 DP 384236
Dwelling Size: (Area = Length & Width)	145.9m ²
Number of levels: (Single / Multiple)	1

1. Fire Appliance Access to alternative firefighting water sources - Expected Parking Place & Turning circle

Fire and Emergency have specific requirements for fire appliance access to buildings and the firefighting water supply. This area is termed the hard stand. The roading gradient should not exceed 16%. The roading surface should be sealed, able to take the weight of a 14 to 20-tonne truck and trafficable at all times. The minimum roading width should not be less than 4 m and the property entrance no less 3.5 metres wide. The height clearance along access ways must exceed 4 metres with no obstructions for example; trees, hanging cables, and overhanging eaves.

1 (a) Fire Appliance Access / Right of Way	
Is there at least 4 metres clearance overhead free from obstructions?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Is the access at least 4 metres wide?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Is the surface designed to support a 20-tonne truck?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Are the gradients less than 16%	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Fire Appliance parking distance from the proposed water supply is 41m metres	

If access to the proposed firefighting water supply is not achievable using a fire appliance, firefighters will need to use portable fire pumps. Firefighters will require at least a one-metre wide clear path / walkway to carry equipment to the water supply, and a working area of two metres by two metres for firefighting equipment to be set up and operated.

1 (b) Restricted access to firefighting water supply, portable pumps required
Has suitable access been provided? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Comments: This is a small lot at 718m ² , there is good access to all areas of the property.

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

2. Firefighting Water Supplies (FFWS)

What are you proposing to use as your firefighting water supply?

2 (a) Water Supply Single Dwelling	
Tank	<input type="checkbox"/> Concrete Tank <input checked="" type="checkbox"/> Plastic Tank <input type="checkbox"/> Above Ground (Fire Service coupling is required - 100mm screw thread suction coupling) <input type="checkbox"/> Part Buried (max exposed 1.500 mm above ground) <input type="checkbox"/> Fully Buried (access through filler spout) Volume of dedicated firefighting water 10,000litres

2 (b) Water Supply Multi-Title Subdivision Lots / Communal Supply	
Tank Farm	<input type="checkbox"/> Concrete Tank <input type="checkbox"/> Plastic Tank <input type="checkbox"/> Above Ground (Fire Service coupling is required - 100mm screw thread suction coupling) <input type="checkbox"/> Part Buried (max exposed 1.500mm above ground) <input type="checkbox"/> Fully Buried (access through filler spout) Number of tanks provided Click or tap here to enter text. Number of Tank Farms provided Click or tap here to enter text. Water volume at each Tank Farm Click or tap here to enter text. Litres Volume of dedicated firefighting water Click or tap here to enter text. litres

2 (c) Alternative Water Supply	
Pond:	Volume of water: Click or tap here to enter text.
Pool:	Volume of water: Click or tap here to enter text.
Other:	Specify: Click or tap here to enter text.
	Volume of water: Click or tap here to enter text.

Internal FENZ Risk Reduction comments only:

[Click or tap here to enter text.](#)

3. Water Supply Location

The code requires the available water supply to be at least 6 metres from a building for firefighter safety, with a maximum distance of 90 metres from any building. This is the same for a single dwelling or a Multi-Lot residential subdivision. Is the proposed water supply within these requirements?

3 (a) Water Supply Location	
Minimum Distance:	Is your water supply at least 6 metres from the building? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Maximum Distance	Is your water supply no more than 90 metres from the building? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

3 (b) Visibility
How will the water supply be readily identifiable to responding firefighters? E.g.: tank is visible to arriving firefighters or, there are signs / markers posts visible from the parking place directing them to the tank etc.
Comments: This is a small lot at 718m ² , the stormwater tanks can be easily accessed.

3 (c) Security
How will the FFWS be reasonably protected from tampering? E.g.: light chain and padlock or, cable tie on the valve etc.
Explain how this will be achieved: The tanks will be secured with a cable tie.

<i>Internal FENZ Risk Reduction comments only:</i> Click or tap here to enter text.

4. Adequacy of Supply

The volume of storage that is reserved for firefighting purposes must not be used for normal operational requirements. Additional storage must be provided to balance diurnal peak demand, seasonal peak demand and normal system failures, for instance power outages. The intent is that there should always be sufficient volumes of water available for firefighting, except during Civil Défense emergencies or by prior arrangement with the Fire Region Manager.

4 (a) Adequacy of Water supply

Note: *The owner must maintain the firefighting water supply all year round. How will the usable capacity proposed be reliably maintained? E.g. automatically keep the tank topped up, drip feed, rain water, ballcock system, or manual refilling after use etc.*

Comments:

The stormwater tanks will be filled with roof water and manually filled if required.

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

5. Alternative Method using Appendix's H & J

If Table 1 + 2 from the Code of Practice is not being used for the calculation of the Firefighting Water Supply, a competent person using appendix H and J from the Code of Practice can propose an alternative method to determine firefighting water supply adequacy.

Appendix H describes a method for determining the maximum fire size in a structure. Appendix J describes a method for assessing the adequacy of the firefighting water supply to the premises.

5 (a) Alternative Method Appendix H & J

If an alternative method of determining the FFWS has been proposed, who proposed it?

Name: Martin Obrien

Contact Details: 027 407 5208

Proposed volume of storage?

Litres: 10,000

Comments:

Click or tap here to enter text.

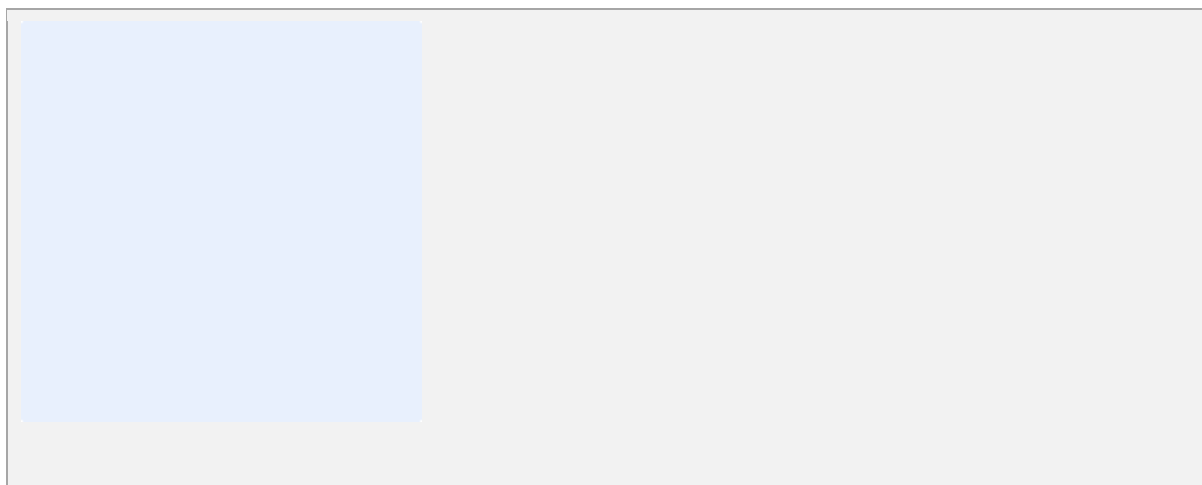
** Please provide a copy of the calculations for consideration.*

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

6. Diagram

Please provide a diagram identifying the location of the dwelling/s, the proposed firefighting water supply and the attendance point of the fire appliance to support your application.



Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

7. Vegetation Risk Reduction - Fire + Fuel = Why Homes Burn

Properties that are residential, industrial or agricultural, are on the urban–rural interface if they are next to vegetation, whether it is forest, scrubland, or in a rural setting. Properties in these areas are at greater risk of wildfire due to the increased presence of nearby vegetation.

In order to mitigate the risk of fire spread from surrounding vegetation to the proposed building and vice-versa, Fire Emergency New Zealand recommends the following;

I. Fire safe construction

Spouting and gutters – Clear regularly and consider screening with metal mesh. Embers can easily ignite dry material that collects in gutters.

Roof – Use fire resistant material such as steel or tile. Avoid butanol and rubber compounds.

Cladding – Stucco, metal sidings, brick, concrete, and fibre cement cladding are more fire resistant than wood or vinyl cladding.

II. Establish Safety Zones around your home.

Safety Zone 1 is your most important line of defence and requires the most consideration. Safety Zone 1 extends to 10 metres from your home, you should;

- a) Mow lawn and plant low-growing fire-resistant plants; and*
- b) Thin and prune trees and shrubs; and*
- c) Avoid tall trees close to the house; and*
- d) Use gravel or decorative crushed rock instead of bark or wood chip mulch; and*
- e) Remove flammable debris like twigs, pine needles and dead leaves from the roof and around and under the house and decks; and*
- f) Remove dead plant material along the fence lines and keep the grass short; and*
- g) Remove over hanging branches near powerlines in both Zone 1 and 2.*

III. Safety Zone 2 extends from 10 – 30 metres of your home.

- a) Remove scrub and dead or dying plants and trees; and*
- b) Thin excess trees; and*
- c) Evenly space remaining trees so the crowns are separated by 3-6 metres; and*
- d) Avoid planting clusters of highly flammable trees and shrubs*
- e) Prune tree branches to a height of 2 metres from the ground.*

IV. Choose Fire Resistant Plants

Fire resistant plants aren't fire proof, but they do not readily ignite. Most deciduous trees and shrubs are fire resistant. Some of these include: poplar, maple, ash, birch and willow. Install domestic sprinklers on the exterior of the sides of the building that are less 20 metres from the vegetation. Examples of highly flammable plants are: pine, cypress, cedar, fir, larch, redwood, spruce, kanuka, manuka.

For more information please go to <https://www.fireandemergency.nz/at-home/the-threat-of-rural-fire/>

If your building or dwelling is next to vegetation, whether it is forest, scrubland, or in a rural setting, please detail below what Risk Reduction measures you will take to mitigate the risk of fire development and spread involving vegetation?

7 (a) Vegetation Risk Reduction Strategy

The property is grassed, there is no vegetation on the property.

Internal FENZ Risk Reduction comments only:

Click or tap here to enter text.

8. Applicant

Checklist	
<input checked="" type="checkbox"/>	Site plan (scale drawing) – including; where to park a fire appliance, water supply, any other relevant information.
<input checked="" type="checkbox"/>	Any other supporting documentation (diagrams, consent).

I submit this proposal for assessment.

Name: Martin OBrien Dated: 31/03/2026

Contact No.: 027 407 5208

Email: martin@obrienconsulting.co.nz

Signature: Click or tap here to enter text.

9. Approval

In reviewing the information that you have provided in relation to your application being approximately a [Click or tap here to enter text.](#) square metre, Choose an item. dwelling/sub division, and non-sprinkler protected.

The Area Manager of Fire and Emergency New Zealand under delegated authority from the Fire Region Manager, Te Hiku, has assessed the proposal in relation to firefighting water supplies and the vegetation risk strategy. The Manager [Choose an item.](#) agree with the proposed alternate method of Fire Fighting Water Supplies. Furthermore; the Manager agrees with the Vegetation Risk Reduction strategies proposed by the applicant.

Name: Click or tap here to enter text.

Signature: Click or tap here to enter text.

P.P on behalf of the Area Manager

Fire and Emergency New Zealand Te Tai Tokerau / Northland District
APPROVED By GoffinJ at 10:07 am, Mar 31, 2026
Jason Goffin- Advisor Risk Reduction



13.60

33.35

6m

3.00

11.07

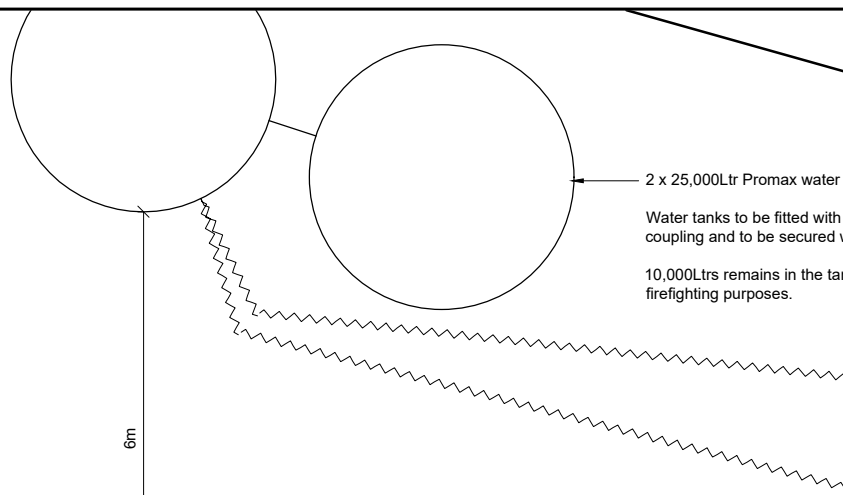
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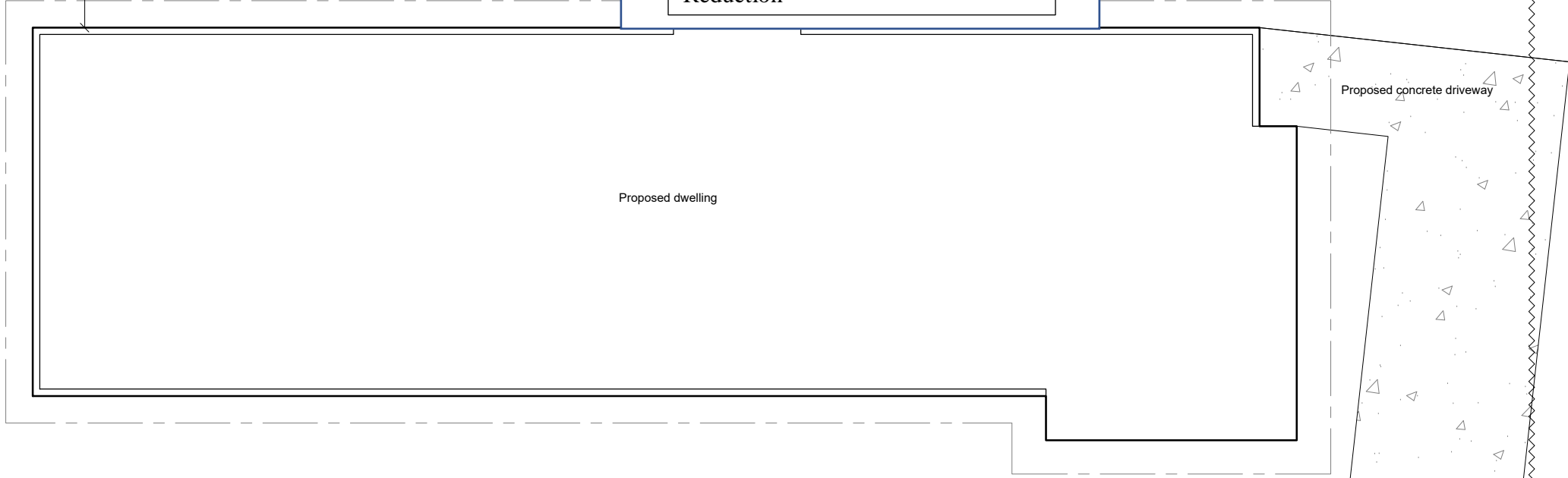


Fire and Emergency New Zealand
Te Tai Tokerau / Northland District

APPROVED
By GoffinJ at 10:08 am, Mar 31, 2026

Jason Goffin- Advisor Risk
Reduction

Route of fire fighter
13m from tank to front door of dwelling
41m from fire appliance parking to tank



Proposed dwelling

Proposed concrete driveway

Fire appliance parking

Verify all dimensions on site before commencing work & do not scale from drawings. Refer any discrepancies to O'Brien Design Consulting Ltd.

All work to be done in accordance with NZS 3604:2011 and the NZ Building Code unless specifically designed.

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G.J. Gardner. HOMES
"We're Great Together"

FAR NORTH
Ph: (09) 407 3441
Fax: (09) 407 3442

Project Title
Luis & Ann Reina Cabrera
22 Dudley Crescent
Cable Bay
Lot 15 DP 384236

Sheet Title
Firefighting Site Plan

Drawn 3 March 2026

Project No 5312

Rev BC-D-1	Sheet A01
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Scale (A3 Original) 1: 100



Appendix 5 Email from Fire Emergency New Zealand

From: Goffin, Jason <Jason.Goffin@fireandemergency.nz>

Sent: Tuesday, 31 March 2026 10:15 am

To: Martin OBrien <martin@obrienconsulting.co.nz>

Subject: RE: 22 Dudley Crescent, Cable Bay

Good morning,

Attached approval.

The attached water supply application meets the operational requirements of Fire Emergency New Zealand.

The installation of residential domestic sprinkler systems is endorsed but is not mandatory under relevant Building Act Legislation or FENZ regarding this development.

Regards

Jason Goffin

Advisor Risk Reduction – Kaitohutohu Matua Whakaheke Moorea

Specialist Fire Investigator – Kaititiro Ahi Maatanga

Te Tai Tokerau

Te Hiku Region 1

9 Homestead Road Kerikeri



Mobile: 027 7066467

Email: jason.goffin@fireandemergency.nz

Fire Fact "A House Fire Can Become Fatal within 5 Minutes"