

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of Schedule 4). Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges — [both available on the Council's web page](#).

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Type of Consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

** The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the Fast Track Process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council tehonosupport@fndc.govt.nz

5. Applicant Details

Name/s:

Waitomo Papakainga Development Society Incorporated

Email:

Phone number:

Home

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

6. Address for Correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

David Johnson

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

0140

** All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.*

7. Details of Property Owner/s and Occupier/s

Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Waitomo Papakainga Development Society Incorporated

**Property Address/
Location:**

Postcode

8. Application Site Details

Location and/or property street address of the proposed activity:

Name/s:

Waitomo Papakainga Development Society Incorporated

**Site Address/
Location:**

Legal Description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☒ Yes ☐ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the Proposal:

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the District Plan, and Guidance Notes, for further details of information requirements.

This application applies for land use consent to construct a car park serving ten (10) residential units.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request Public Notification?

☐ Yes ☒ No

11. Other Consent required/being applied for under different legislation

(more than one circle can be ticked):

- ☐ Building Consent
- ☐ Regional Council Consent (ref # if known)
- ☐ National Environmental Standard consent
- ☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL) ☐ Yes ☐ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result. ☐ Yes ☐ No ☐ Don't know

- | | |
|---|---|
| <input type="radio"/> Subdividing land | <input type="radio"/> Disturbing, removing or sampling soil |
| <input type="radio"/> Changing the use of a piece of land | <input type="radio"/> Removing or replacing a fuel storage system |

13. Assessment of Environmental Effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☐ Yes

13. Draft Conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☐ Yes ☐ No

If yes, do you agree to extend the processing timeframe pursuant to Section 37 of the Resource Management Act by 5 working days? ☐ Yes ☐ No

14. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Waitomo Papakainga Development Soc. Incorp.

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Eva Trebilcock

Signature:

(signature of bill payer)

15. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form. You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

15. Important information continued...

Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name: (please write in full)

David Johnson

Signature:

A signature is not required if the application is made by electronic means

Checklist (please tick if information is provided)

- ☒ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☒ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☒ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☒ Reports from technical experts (if required)
- ☒ Copies of other relevant consents associated with this application
- ☒ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☒ Elevations / Floor plans
- ☒ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Land Use Consent Application

**WAITOMO PAPA KAINGA
DEVELOPMENT SOCIETY
INCORPORATED**

16 Puckey Avenue, Kaitaia

Land Use Consent Application

WAITOMO PAPAKAINGA DEVELOPMENT SOCIETY INCORPORATED

16 Puckey Avenue, Kaitaia

Report prepared for:	Waitomo Papakainga Development Society Incorporated
Author	David Johnson, <i>Planner</i>
Reviewed by:	Thomas Keogh, <i>Associate</i>
Consent Authority:	Far North District Council
Report reference:	18410
Report Status:	Final
Date:	July 2025

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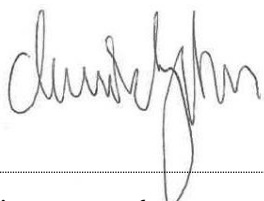
FORM 9

APPLICATION FOR RESOURCE CONSENT UNDER SECTION 88 OF THE RESOURCE MANAGEMENT ACT 1991

To: Far North District Council
Memorial Avenue
Private Bag 752
Kaikohe 0440

1. The **Waitomo Papakainga Development Society Incorporated** applies for land use consent to construct a car park serving ten (10) residential units.
2. The location of the proposed activity is 16 Puckey Ave, Kaitaia.
3. The legal description of the site is Lot 321 DP 14289. The title reference is NA652/255.
4. The applicant is the owner of the site.
5. There are no other activities that are part of the proposal to which this application relates.
6. Resource consent is also required from the Northland Regional Council (NRC) under the Proposed Regional Plan for Northland (PRP) to undertake earthworks within a flood hazard area. A separate application has been lodged concurrently with the NRC.
7. We attach an assessment of effects on the environment that:
 - (a) includes the information required by clause 6 of Schedule 4 of the Resource Management Act 1991; and
 - (b) addresses the matters specified in clause 7 of Schedule 4 of the Resource Management Act 1991; and
 - (c) includes such detail as corresponds with the scale and significance of the effects that the activity may have on the environment.

-
8. We attach an assessment of the proposed activity against the matters set out in Part 2 of the Resource Management Act 1991.
 9. We attach an assessment of the proposed activity against any relevant provisions of a document referred to in section 104(1)(b) of the Resource Management Act 1991, including information required by clause 2(2) of Schedule 4 of that Act.
 10. No other information is required to be included in the district or regional plan(s) or regulations.



Signature of person authorised to sign on behalf of applicant

David Johnson

17 July 2025

Date

Address for service:

Reyburn and Bryant 1999 Ltd
PO Box 191, Whangarei

Telephone:

(09) 438 3563

Email:

david@reyburnandbryant.co.nz

Contact person:

David Johnson

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5. RS Eng geotechnical investigation report
6. RS Eng three waters report
7. NRC 'Selected Land-use Sites' database map

ABBREVIATIONS

AEE	Assessment of Environmental Effects
COMZ	Commercial Zone
ES	Engineering Standards
FNDC	Far North District Council
FNDP	Far North District Plan
GFA	Gross Floor Area
HAIL	Hazardous Activities and Industries List
IAL	Inspired Architecture Limited

MUZ	Mixed Use Zone
NES-CS	National Environmental Standard – Contaminated Soils
NRC	Northland Regional Council
NZVD	New Zealand Vertical Datum
OFNDP	Operative Far North District Plan
PFNDP	Proposed Far North District Plan
PRP	Proposed Regional Plan for Northland
RMA	Resource Management Act, 1991
WPDSI	Waitomo Papakainga Development Society Incorporated

1. INTRODUCTION

1.1 Report basis

This report has been prepared for the Waitomo Papakainga Development Society Incorporated (WPDSI) in support of an application to construct a car park serving ten (10) residential units at 16 Puckey Ave, Kaitaia.

The application has been prepared in accordance with Section 88 and the Fourth Schedule of the Resource Management Act, 1991 (RMA). Section 88 of the RMA requires that resource consent applications be accompanied by an Assessment of Environmental Effects (AEE) in accordance with the Fourth Schedule.

The report also includes an analysis of the relevant provisions of the district, regional and national planning documents that are pertinent to the assessment and decision required under s104 of the RMA.

1.2 Property details

Applicant and landowner	Waitomo Papakainga Development Society Incorporated
Site location	16 Puckey Ave, Kaitaia
Legal description	Lot 321 DP 14289
Record of title	NA652/255
Site area	1,209m ²
District Plan	Far North District Plan
Operative District Plan Zone	Commercial Zone
Operative District Plan Notations	N/A
Proposed District Plan Zone	Mixed Use Zone
District Plan Notations	River Flood Hazard Zone (100 Year ARI Event)

Table 1: Property details.

1.3 Proposal summary

The WPT owns a 1,209m² title at 16 Puckey Avenue on the southwestern periphery of the Kaitaia town centre. The site is legally described as Lot 321 DP 14289. It is zoned 'Commercial' (COMZ) under the Operative Far North District Plan (OFNDP) and 'Mixed Use' (MUZ) under the Proposed Far North District Plan. Although there are no Resource Areas in the OFNDP, the site is subject to the 100-year River Flood Hazard Zone in the PFNDP.

The applicant proposes to construct ten (10) residential units on the site. This consists of 4 x two-bedroom units and 6 x one-bedroom units. They will be accessed from a new vehicle crossing and a communal car park with ten car parks, one for each unit.

Inspired Architecture Limited (IAL) has prepared plans of the proposed development. These are attached in **Appendix 1**.

Rule 7.7.5.1.5 permits the construction of any number of residential units on a COMZ site provided the noise is attenuated between the site boundary and any living room¹ or sleeping room.² The living rooms and sleeping rooms will be designed to meet these requirements. Confirmation of compliance will be provided at the building consent stage.

Although the residential units are permitted under Rule 7.7.5.1.5, the number of car parks for each residential unit (one) triggers the need for a restricted discretionary consent under Rule 15.1.6B.2(a).

Overall, resource consent is required as a **restricted discretionary activity** from the Far North District Council (FNDC).

¹ By 20 dB.

² By 30 dB.

1.4 Resource consents sought

Operative Far North District Plan

Resource consent is required under Rule 15.1.6B.2(a) of the OFNDP if an activity does not comply with Rule 15.1.6B.1.1. Rule 15.1.6B.1.1 requires a minimum number of on-site car parks to be provided in accordance with Appendix 3C of the OFNDP. Under Appendix 3C of the OFNDP a standard residential unit requires two car parks.

Ten (10) residential units are proposed, and therefore twenty (20) car parks are required. However, only ten (10) car parks are proposed. Therefore, resource consent is required as a **restricted discretionary activity** under Rule 15.1.6B.2(a).

Rule 15.1.6B.2(a) does not have any matters of discretion. Instead, it specifies that the Council restricts the exercise of its discretion to the matters specified in the relevant rule. There are no matters of discretion in Rule 15.1.5B.1.1. We have therefore sought guidance in the assessment criteria in Rule 15.1.6B.5 to determine the matters of discretion. Those matters are:

- (a) *Whether it is physically practicable to provide the required car parks on site.*
- (b) *Whether there is an adequate alternative supply of parking in the vicinity, such as a public car park or angled road parking.*
- (c) *Whether there is another site nearby where a legal agreement could be entered into with the owner of that site to allow it to be used for the parking required for the application.*
- (d) *Whether it can be shown that the actual parking demand will not be as high as that indicated in Appendix 3C.*
- (e) *Adequacy of the layout and design of the car parking areas in terms of other recognised standards, including the provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.*
- (f) *Degree of user familiarity with the car park and length of stay of most vehicles.*
- (g) *Total number of spaces in the car park.*
- (h) *Clear space for car doors to be opened even if columns, walls and other obstructions intrude into a car parking space.*
- (i) *For sites with a frontage with Kerikeri Road between its intersection with SH10 and Cannon Drive:*
 - (i). *the visual impact of hard surfaces and vehicles on the natural environment;*

- (ii). the effectiveness of any landscape plantings in screening hard surfaces and vehicles associated with parking areas.*
- (j) Whether cycling facilities or open green space have been considered or are appropriate as an alternative to car parking.*
- (k) Whether adequate consideration has been given to providing accessible car parking spaces for those with disabilities, the location of these spaces and regulating inappropriate use of the spaces.*
- (l) The extent to which the site can be accessed by alternative transport means such as buses, cycling or walking.*
- (m) The extent to which the reduced number of car parking spaces may increase congestion along arterial and strategic roads.*
- (n) The degree to which provision of on-site car parking spaces may have resulted in adverse visual effects or fragmented pedestrian links.*
- (o) Whether a financial contribution in lieu of car parking spaces is appropriate.*
- (p) Consideration given to shared parking options between adjacent sites and activities that have varying peak parking demands.*
- (q) The varying parking requirements for staff and customers*

A full assessment of the OFNDP rules is attached in **Appendix 2**.

Proposed Far North District Plan

The PFNDP was publicly notified on 27 July 2022. The submission period closed on 21 October, and the further submission period closed on 4 September 2023. Given the early stages of the process and pursuant to s86B of the RMA, the rules of the Plan Change do not have legal effect (except for those specifically identified).

For completeness, an assessment has been made with respect to the rules of the PFNDP, and this is attached in **Appendix 2**. If these rules were to have legal effect, the proposal would be a **discretionary activity** as proposed Units 1 – 5, 7, and 8 will be located at the ground floor level.

Of the rules that have immediate legal effect under s86F of the RMA, EW-R12 and EW-R13 are relevant. In this instance, any earthworks will be completed in accordance with EW-S3 and EW-S5. Therefore, the proposal is a **permitted activity** under EW-R12 and EW-R13.

1.5 Relevant title memorials

Lot 321 DP 14289 is held in a single record of title, NA652/255. It is subject to a fencing agreement in a Transfer (262842) which has no relevance to this application.

The titles and the fencing agreement are attached in **Appendix 3**.

1.6 Over approvals required

Resource consent is sought under the Proposed Regional Plan for Northland (PRP) to undertake earthworks within a flood hazard area across the site. A concurrent application is being lodged with the Northland Regional Council (NRC).

A building consent will be required for the proposed residential units. This will be obtained in due course.

No other approvals are required to give effect to this proposal.

1.7 Processing requests

Prior to the release of any decision for this application, please forward the draft conditions to the agent for review and comment.

2. THE SITE AND SURROUNDING ENVIRONMENT

2.1 The site

Location

The site is located on the western side of Puckey Ave on the south-western periphery of Kaitaia's town centre. It is shown in red in **Figure 1** below.



Figure 1: Location map (Source: Google Earth).

Built development

There is a two-bay shed in the western corner of the site. The rest of the site is vacant.

Access

The site is accessed from Puckey Ave via a concrete vehicle crossing (see **Figure 2** below).



Figure 2. The existing vehicle crossing.

Infrastructure servicing

There are a range of infrastructure services in the surrounding environment. These include:

- A sewer main within the Puckey Ave road reserve. This includes a manhole immediately east of the site boundary.
- A water meter at the northern corner of the site within the Puckey Ave road reserve.
- A fire hydrant within the Puckey Ave road reserve 7m from the eastern corner of the site.
- A power pillar within the Puckey Ave road reserve at the eastern corner of the site.
- A cesspit in the centre of the site discharging to the watercourse west of the site via a 225mm PVC pipe that discharges to a watercourse west of the site.

The existing infrastructure services are shown on the topographical survey plan attached in **Appendix 4**.

Topography

The site is flat with a slight fall from Puckey Ave to the western boundary. Immediately west of the site the land descends 6m to a watercourse.

Watercourses

The Tarawhaturua Stream passes the western boundary of the site. It flows into the Tangonge Drain west of Kaitaia and then into the Awanui River. It has an average width of more than 3m (see **Figure 3** below).



Figure 3: The Tarawhaturua Stream.

Ground cover and vegetation

The site is covered in grass.

Natural hazards

The site is subject to the 50-year and the 100-year³ River Flood Hazard Zones mapped by the NRC (see **Figure 4** below).

³ The 100-year River Flood Hazard Zone also applies to the 10-year and the 50-year River Flood Hazard Zones.

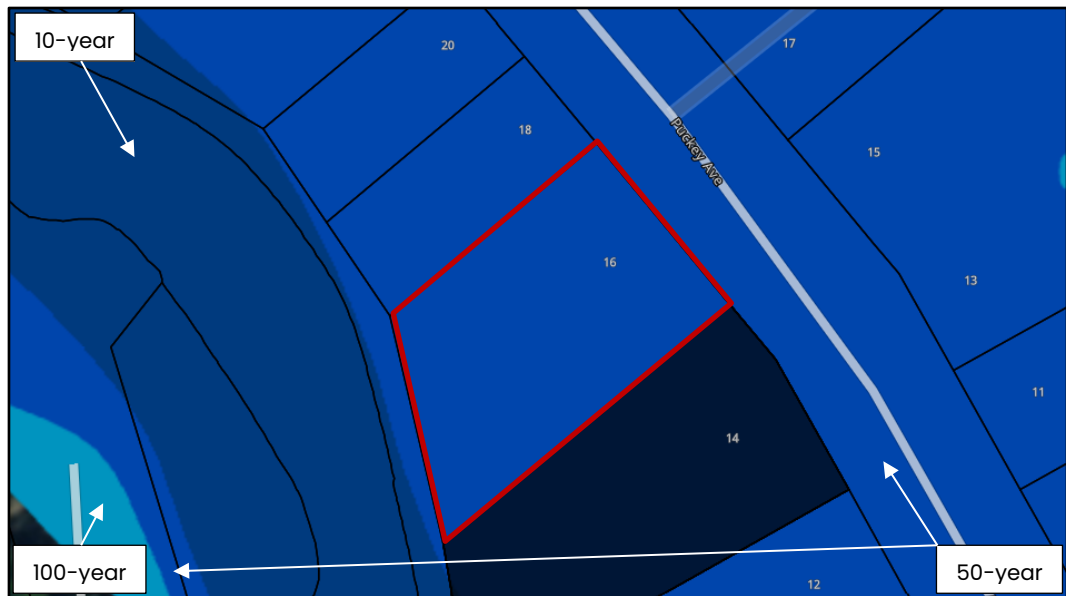


Figure 4: Extent of NRC River Flood Hazard Zones (Source: NRC GIS).

Archaeological sites

There are no recorded archaeological sites on the site (see **Figure 5** below).

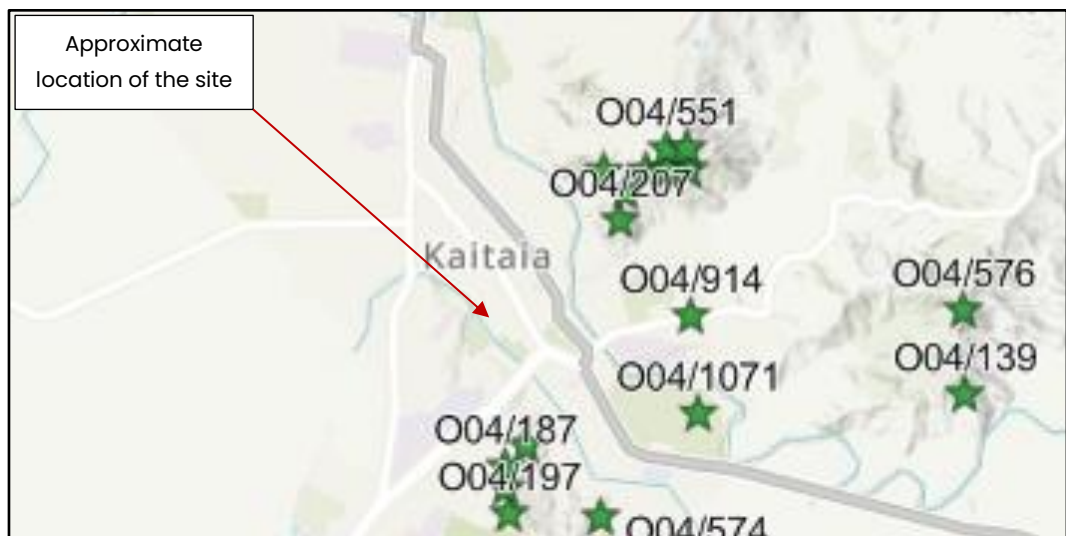


Figure 5: Archaeological sites (Source: New Zealand Archaeological Association).

2.2 Surrounding environment

The site is located in a mixed-use area on the periphery of Kaitaia's town centre. There is a wide range of activities, particularly residential activities, commercial activities, and community activities.

The residential activities are located on the western side of Puckey Ave and to the west of the Tarawhaturoa Stream. They are typically detached single storey

residential units positioned centrally on titles with sizes ranging from 500m² – 1,250m². The commercial activities are primarily east of Puckey Ave in the Kataia town centre. The community activities are scattered throughout the residential and commercial activities.

The wide range of activities in the surrounding environment is evident in **Figure 6** below.

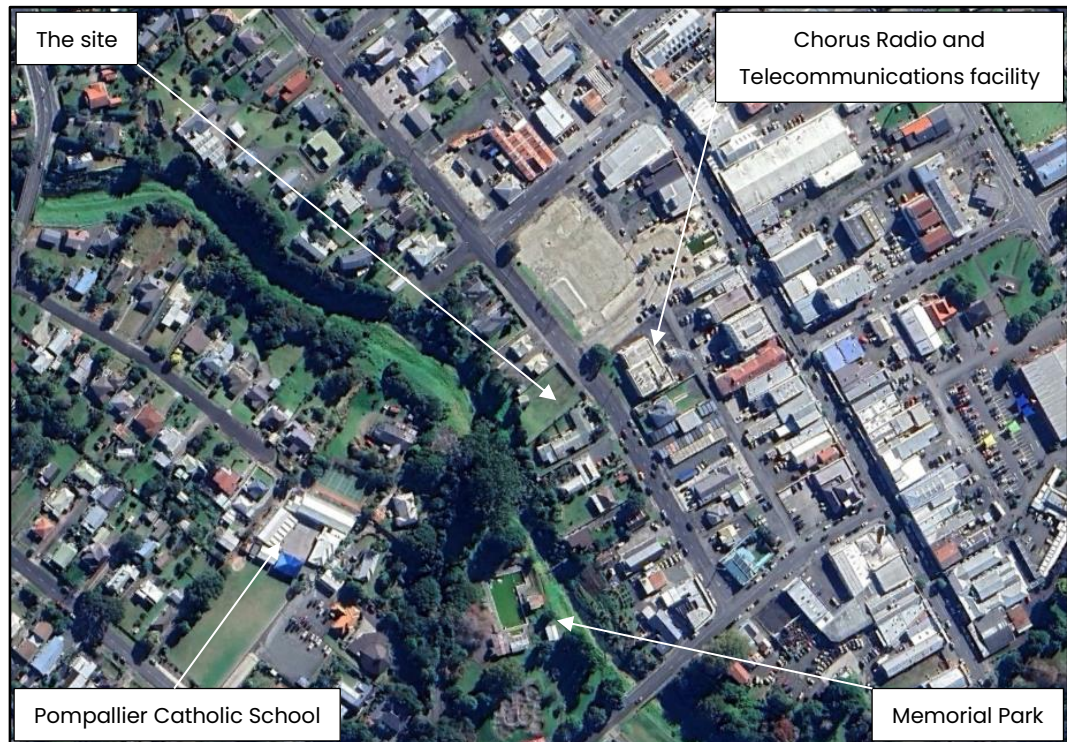


Figure 6: Development in the surrounding environment (Source: Google Earth).

3. THE PROPOSAL

3.1 General

The proposal is to construct ten (10) residential units on the site. A communal car park will serve the ten residential units.

3.2 Proposed residential units

The proposed residential units will consist of ten principal residential units in two separate two-storey buildings, Block A and Block B.

IAL has prepared plans showing the location of the proposed residential units, their internal layout, and their external appearance. These are attached in **Appendix 1**.

Block A will have a building coverage of 231m² and a Gross Floor Area (GFA) of 462m². It will consist of six residential units as follows:

- Units 1 – 4 – Four two-storey two-bedroom residential units each with a GFA of 84m².
- Unit 5 – A single-storey one-bedroom residential unit located at the ground floor with a GFA of 63m².
- Unit 6 – A single-storey one-bedroom residential unit located on the top floor with a GFA of 63m².

Block B will have a building coverage of 110m² and a GFA of 220m². It will consist of four residential units as follows:

- Units 7 and 8 – Two single-storey one-bedroom residential units located on the ground floor each with a GFA of 55m².
- Units 9 and 10 – Two single-storey one-bedroom residential units located on the top floor, each with a GFA of 55m².

The existing shed will be removed from the site.

3.3 Noise attenuation

Any number of residential units are permitted on a COMZ site provided noise attenuation is provided in accordance with Rule 7.7.5.1.5 of the OFNDP. The living rooms and sleeping rooms will be designed to attenuate the noise between the site boundary and any living room or sleeping room by 20 dB or 30 dB respectively. Confirmation of compliance will be provided at the building consent stage.

3.4 Site suitability

The engineering suitability of the proposed residential units has been addressed in two reports prepared by RS Eng, a geotechnical investigation report (see **Appendix 5**) and a three waters report (see **Appendix 6**). They identify that the site is subject to settlement, expansive soils, and flooding.

RS Eng has specified the types of foundations that are suitable for the expansive soils. The minimum floor level will be set at 14.75m New Zealand Vertical Datum (NZVD), 500mm above the level of a 50 year flood event⁴ in accordance with the New Zealand Building Code. Due to the depth of flooding in a 100-year flood event⁵ the development will be subject to inundation with respect to Section 72 of the Building Act 2004.

RS Eng has also made recommendations for earthworks, existing services, building platform drainage, stormwater disposal, and construction monitoring.

Subject to the recommendations of the RS Eng report the building area is suitable for the proposed development.

3.5 Access, parking, and traffic generation

The proposed residential units will be accessed via a new vehicle crossing and a communal car park.

⁴ 14.25m NZVD.

⁵ 15.45m NZVD.

The new vehicle crossing will replace the existing vehicle crossing. It will be constructed in accordance with the requirements of the Transportation Chapter and the FNDC Engineering Standards (ES).

A communal car park will be established to service the proposed residential units. Ten (10) car parks are proposed, one for each residential unit. One of the car parks will be an accessible car park.

Appendix 3A of the OFNDP provides guidance on the traffic generated by different types of activities. For residential units it specifies that 10 daily one-way vehicle movements are generated per residential unit. Therefore, the proposed development will generate 100 daily one-way traffic movements.

3.6 Servicing

RS Eng has assessed the servicing arrangements in their three waters report (**Appendix 6**).

Wastewater and water supply

The proposed residential units will be connected to the reticulated wastewater and water supply networks in accordance with the FNDC ES. Each of the residential units will be provided with individual connections at the building consent stage. The wastewater and water flow rates are detailed in the RS Eng three waters report.

Stormwater

Runoff from the roofs and impermeable surfaces will be collected and then discharged in a controlled manner to the Tarawhaturua Stream. Attenuation of any stormwater flows is not required as the site is within the COMZ under the OFNDP. Stormwater treatment devices will be installed to any sumps to provide pre-treatment of stormwater prior to discharge.

4. ASSESSMENT OF ENVIRONMENTAL EFFECTS

4.1 Existing environment

Section 104(1)(a) of the RMA requires a consideration of any actual and potential effects on the environment of allowing an activity. The existing environment has been described in Section 2 of this report.

4.2 Permitted baseline

Section 104(2) of the RMA allows a consent authority to disregard an adverse effect of an activity on the environment if a plan permits an activity with that effect.

The applicant is permitted to construct any number of residential units on the site provided the noise at the boundary is attenuated in any living rooms and sleeping rooms in accordance with Rule 7.7.5.1.5 of the OFNDP. Each residential unit must be provided with two car parks.

If each residential unit was provided with two car parks the proposed development would be permitted. Outside of this infringement, the effects fall within the permitted baseline and can be disregarded from the effects assessment.

4.3 Scope of assessment

The resource consent required from the FNDC is a restricted discretionary activity under Rule 15.1.6B.2(a). Therefore, the scope of this assessment of effects on the environment is confined to the matters over which the FNDC have restricted their discretion in Rule 15.1.6B.2(a).

Rule 15.1.6B.2(a) does not have any matters of discretion. Instead, it specifies that the Council restrict the exercise of its discretion to the matters specified in the relevant rule. There are no matters of discretion in Rule 15.1.6B.1.1. We have therefore sought guidance in the assessment criteria in Rule 15.1.6B.5 to determine the matters of discretion.

4.4 Matters of discretion – Rule 15.1.6B.2(a)

As detailed above, the assessment criteria in Rule 15.1.6B.5 has been used to determine the matters of discretion. These matters are identified, summarised, and assessed below.

Whether it is physically practicable to provide the required car parks on site.

Assessment – It is physically practicable to provide car parking on-site due to its flat topography of the site (see the topographical survey plan in **Appendix 4**).

Whether there is an adequate alternative supply of parking in the vicinity, such as a public car park or angled road parking.

Assessment – There is alternative off-site parking on Puckey Ave.

Whether there is another site nearby where a legal agreement could be entered into with the owner of that site to allow it to be used for the parking required for the application.

Assessment – There are no alternative sites nearby where on-site parking could be provided.

Whether it can be shown that the actual parking demand will not be as high as that indicated in Appendix 3C.

Assessment – Although the proposed residential units will have a shortfall in the number of car parks required by Appendix 3C of the OFNDP, the actual parking demand will be lower than this as the proposed residential units only have one or two bedrooms. A single parking space is sufficient for residential units with one or two bedrooms. There are also a wide range of businesses and services within walking distance of the site due to its proximity to the Kataia town centre. It is expected that walking will comprise a significant portion of the trips to and from the site.

Adequacy of the layout and design of the car parking areas in terms of other recognised standards, including the provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.

Assessment – The car park has been designed such that sufficient manoeuvring has been provided to all the car parks in accordance with the Transportation Chapter of the OFNDP and the FNDC ES.

Degree of user familiarity with the car park and length of stay of most vehicles.

Assessment – Users of the car park will be very familiar with its layout as they will be residents of the site.

Total number of spaces in the car park.

Assessment – Ten car parks are proposed. One of these will be an accessible car park.

Clear space for car doors to be opened even if columns, walls and other obstructions intrude into a car parking space.

Assessment – The car parks are sized to ensure there is clear space for car doors to be opened.

For sites with a frontage with Kerikeri Road between its intersection with SH10 and Cannon Drive:

- (i). the visual impact of hard surfaces and vehicles on the natural environment;*
- (ii). the effectiveness of any landscape plantings in screening hard surfaces and vehicles associated with parking areas.*

Assessment – The site does not have frontage to Kerikeri Road.

Whether cycling facilities or open green space have been considered or are appropriate as an alternative to car parking.

Assessment – The number of car parks proposed will be sufficient for the proposed development. The site is also in close proximity to several businesses and services. Regardless, there are private outdoor areas and communal outdoor areas in the development which can be used to store bicycles if they are required.

Whether adequate consideration has been given to providing accessible car parking spaces for those with disabilities, the location of these spaces and regulating inappropriate use of the spaces.

Assessment – One accessible car park is proposed. This is in accordance with the Transportation Chapter of the OFNDP.

The extent to which the site can be accessed by alternative transport means such as buses, cycling or walking.

Assessment – The site can be accessed by cycling and walking. There is a bus stop 200m northwest of the site on Puckey Ave.

The extent to which the reduced number of car parking spaces may increase congestion along arterial and strategic roads.

Assessment – Puckey Ave is not an arterial or strategic road. There is sufficient parking on Puckey Ave to ensure that cars will not park on any arterial or strategic roads in the vicinity of the site.

The degree to which provision of on-site car parking spaces may have resulted in adverse visual effects or fragmented pedestrian links.

Assessment – The car parks are located in one part of the site. Footpaths are proposed around the car park to connect each of the residential units to the footpath on Puckey Ave without having to walk through the car park.

Whether a financial contribution in lieu of car parking spaces is appropriate.

Assessment – The on-site car parks are sufficient for the development. No financial contribution is necessary.

Consideration given to shared parking options between adjacent sites and activities that have varying peak parking demands.

Assessment – The on-site car parks are sufficient for the development. It is not necessary to share parking options with adjacent sites and activities.

The varying parking requirements for staff and customers

Assessment – N/A as the proposed development is a residential activity.

4.5 Adverse effects conclusion

Overall, the adverse effects associated with this proposal will be less than minor relative to the existing environment and permitted baseline.

5. PLANNING ASSESSMENT

5.1 Overview

An assessment against the objectives and policies of the District Plan is a necessary consideration under Section 104(1)(b) of the RMA. The relevant objectives and policies of the OFNDP and the PFNDP are identified and assessed below.

5.2 OFNDP objectives and policies assessment

Context

As the proposal is a restricted discretionary activity under the OFNDP, the objectives and policies of the OFNDP are only relevant to the extent that they assist in interpreting the restricted discretionary matters. There is ambiguity in the restricted discretionary matters as none are provided with the relevant rule (Rule 15.1.6B.2(a)). Therefore, an assessment of the relevant objectives and policies is provided below.

The objectives and policies of the OFNDP are zone specific. There are also other provisions that relate to district wide matters. Given the nature the infringement, this assessment considers the relevant objectives and policies of the Transportation Chapter (Chapter 15). The proposed development is a permitted activity under the COMZ (Chapter 7.7), the Soils and Minerals Chapter (Chapter 12.3), and the Lakes, Rivers, Wetlands and the Coastline Chapter (Chapter 12.7), and is therefore inherently in accordance with the objectives and policies of those chapters.

Assessment

The relevant objectives and policies of the Transportation Chapter are grouped and assessed below.

Objective 15.1.3.1 To minimise the adverse effects of traffic on the natural and physical environment.

Policy 15.1.4.1 That the traffic effects of activities be evaluated in making decisions on resource consent applications.

Objective 15.1.3.1 and Policy 15.1.4.1 require the adverse effects of traffic to be evaluated and minimised. The adverse traffic effects as they relate to the infringement of Rule 15.1.6B.2(a) are assessed in Section 4.4 of this report, and were determined to be less than minor, consistent with these provisions.

Objective 15.1.3.3 To ensure that appropriate provision is made for on-site car parking for all activities, while considering safe cycling and pedestrian access and use of the site.

Policy 15.1.4.3 That parking spaces be provided at a location and scale which enables the efficient use of parking spaces and handling of traffic generation by the adjacent roading network.

Objective 15.1.3.3 and Policy 15.1.4.3 require an appropriate level of on-site parking for all activities. The proposed development is not in accordance with Appendix 3C of the OFNDP as each residential unit will only have one car park. Despite this, the number of car parks is sufficient due to the number of bedrooms in each residential unit (one or two). Furthermore, the proximity of the site to the Kaitaia town centre provides safe cycling and pedestrian access to the site.

The proposal is consistent with these provisions.

Objective 15.1.3.4 To ensure that appropriate and efficient provision is made for loading and access for activities.

Policy 15.1.4.6 That the number, size, gradient and placement of vehicle access points be regulated to assist traffic safety and control, taking into consideration the requirements of both the New Zealand Transport Agency and the Far North District Council.

Objective 15.1.3.4 and Policy 15.1.4.6 require the provision of vehicle crossings in accordance with the requirements of the FNDC and the New Zealand Transport Agency. The proposal is consistent with these provisions as the existing vehicle crossing will be upgraded in accordance with the requirements of the Transportation Chapter and the FNDC ES.

Objective 15.1.3.5 To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities.

Policy 15.1.4.7 That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.

Objective 15.1.3.5 and Policy 15.1.4.7 direct the movement of vehicles to be safe and efficient for vehicles, cyclists, and pedestrian traffic, including those with

disabilities. A footpath is proposed between the footpath on Puckey Ave and each of the residential units. This footpath does not cross the vehicle crossing or the car park, avoiding any conflict between vehicles, cyclists, and pedestrians. An accessible car park is provided for the development in accordance with the Transportation Chapter.

The proposal is consistent with these provisions.

Conclusion

The assessment provided above confirms that the proposal is consistent with the policy direction of the Operative WDP.

5.3 PFNDP objectives and policies assessment

Context

The PFNDP was publicly notified on 27 July 2022. The submission period closed on 21 October 2022, and the further submission period closed on 4 September 2023. The hearings are currently underway. Given the stage of the process and pursuant to s86B(1)(c) of the RMA, the rules of the Plan Changes do not have legal effect (except for those specifically identified). Nevertheless, an assessment to determine the activity status that this proposal would have under the PFNDP provisions has been made in Section 1.4 of this report. While the majority of the rules do not have legal effect, the objectives and policies are a relevant consideration under s104(1)(b)(vi) of the RMA.

Weighting

With regards to weighting, the plan changes are still subject to a hearing, the commissioner's recommendations, the FNDCs decision, and the appeal process. Little weight should therefore be applied to the PFNDP when considering the application. Nonetheless, an assessment of the objectives and policies is provided below for completeness.

Assessment

The objectives and policies of each of the relevant chapters of the PFNDP are assessed below.

Mixed Use Zone

The MUZ provides for commercial and residential activities in what have traditionally been the FNDs urban business centres. The objectives and policies provide for residential development that complements and is not incompatible with commercial, community, and civic activities.

This application proposes to establish residential units on the periphery of Kaitia's town centre. There are several residential units in the surrounding environment interspersed amongst the commercial, community, and civic activities. The commercial, community, and civic activities that are present in the immediate environment are typically confined to the buildings and the site on which they operate. The noise received at the site boundary will be attenuated for any living room or sleeping room. Confirmation of compliance will be provided at building consent stage. Therefore, the proposed residential units will complement and be compatible with surrounding activities.

MUZ-O5 and MUZ-P5 direct residential activities to be located above the ground floor to provide active street frontages except where the interface is with the Open Space Zone. Development on Puckey Ave does not have an active street frontage irrespective of the type of activity. The proposed development will have a frontage that is commensurate with the development in the surrounding environment despite it being used for residential activities.

The proposal is consistent with the objectives and policies of the MUZ.

Transportation Chapter

The objectives and policies of the TRAN Chapter seek to ensure that all access and parking arrangements are designed and established to ensure a safe and efficient transport network.

This development proposes a sufficient number of car parks to meet the requirements of the TRAN Chapter, which allow each residential unit in a multi-unit development to have only one car park. The existing vehicle crossing will be replaced with a new vehicle crossing constructed in accordance with the FNDC ES. The total number of trips generated per day will be no greater than the thresholds in TRAN-Table 11.

The proposal is consistent with the objectives and policies of the TRAN Chapter.

Natural Hazards Chapter

The objectives and policies of the NH Chapter focus on managing the risk from natural hazards on people, infrastructure, and property. Land use and subdivision is required not to increase the risks of natural hazards or to mitigate those risks. The risks of natural hazards are to be reduced when it is practicable to do so.

The RS Eng geotechnical investigation and three waters reports (**Appendices 5 and 6**) assess the risks of natural hazards on the proposed development and surrounding properties. These reports include recommendations for the types of foundations to ensure they are suitable for expansive soils. They also set a minimum floor level 500mm above the 50 year flood event in accordance with the New Zealand Building Code. Subject to the recommendations of the RS Eng report the site will be suitable for the proposed development.

The proposal is consistent with the objectives and policies of the NH Chapter.

Earthworks Chapter

The objectives and policies of the EW Chapter recognise that earthworks are a necessary part of the development of rural and urban land. However, they also require earthworks to be appropriately designed to manage and protect historical and cultural values, natural environment values, and amenity values.

The proposed earthworks will be undertaken in accordance with best practice guidelines. This will include the implementation of erosion and sediment control measures in accordance with AC GD05 as required by EW-R13. An accidental

discovery protocol will be adhered to in accordance with EW-R12. Once the proposed development is completed it will entirely screen the earthworks.

The proposal is consistent with the objectives and policies of the EW Chapter.

Conclusion

The assessment provided above confirms that the proposal is consistent with the policy direction of the PFNDP.

5.4 National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011

All applications that involve subdivision, an activity that changes the use of a piece of land, or earthworks are subject to the provisions of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011 (NES-CS). The regulation sets out the requirements for considering the potential for soil contamination, based on the HAIL (Hazardous Activities and Industries List) and the risk that this may pose to human health as a result of the proposed subdivision.

A review of aerial photography and the NRCs 'Selected Land-use Register' was undertaken (see **Appendix 7**). These confirmed that no HAIL activities are present or have ever taken place on the subject 'piece of land'. Therefore, the NES-CS does not apply to this application.

5.5 Part 2 assessment

An assessment of Part 2 matters is not required unless there are issues of invalidity, incomplete coverage, or uncertainty in the planning provisions.⁶ None of these apply to the relevant FNDP provisions and an assessment under Part 2 of the RMA is not required. However, for completeness, the proposal accords with the purpose of the RMA for the following reasons:

⁶ *R J Davidson Family Trust the Marlborough District Council* [2018] NZCA 316

1. The proposal has no impact on natural and physical resources.
2. The proposal is consistent with the existing amenity values and character associated with the site and surrounding environment.
3. The proposal will not increase the risk associated with natural hazards.
4. There are no adverse effects on human health associated with the proposal.

The proposal does not offend any matters of national importance in Section 6, or any of the other matters set out in Section 7 and 8 of the RMA.

6. NOTIFICATION

Pursuant to sections 95A and 95B of the RMA, Section 5 of this report concludes that any adverse effects associated with the proposal will be less than minor. Furthermore, there are no special circumstances associated with the application, the applicant has not requested notification, and there is no rule or national environmental standard that requires notification of this application. Consequentially, public notification is not necessary.

The assessment of environmental effects in Section 5 of this report confirms that no parties are considered to be adversely affected by the proposal. Consequentially, limited notification is not necessary.

Having considered the above, the proposal can proceed on a **non-notified** basis.

7. CONCLUSION

The proposal is to construct ten residential units at 16 Puckey Ave, Kataia. Consent is required under Rule 15.1.6B.2(a) because each residential unit will be provided with one car park instead of two. The proposed residential units and the buildings they are located within are a permitted activity.

One car park for each residential unit is sufficient despite it not being sufficient to meet the requirements of Appendix 3C of the OFNDP. There will be a lower demand for car parks as the residential units only have one or two bedrooms. The site is also located in close proximity to the Kaitaia town centre which contains a number of business and services that are within walking distance of the site.

The environmental effects associated with the proposal have been assessed in Section 4 of this report and have been determined to be less than minor. Consequently, appropriate regard has been given to s104(1)(a) of the RMA.

Section 5 considers the proposal in the context of the OFNDP and the PFNDP. Section 5.2 confirms that the proposal is consistent with the COMZ Chapter in the OFNDP and the district wide Soils and Minerals, Lakes, Rivers, Wetlands and Coastline, and Transportation Chapters. Section 5.3 of this report confirms that the proposal is consistent with the MUZ Chapter in the PFNDP and the district wide Transportation, Natural Hazards, and Earthworks Chapters. Section 5.4 confirms that the NES-CS is not a relevant consideration for this application. Accordingly, appropriate regard has been given to s104(1)(b)(i) and s104(1)(b)(vi) of the RMA.

Having regard to the relevant matters in s104(1) and s104C of the RMA, the proposal can be approved subject to appropriate conditions of consent.

APPENDIX 1

INSPIRED ARCHITECTURE LIMITED PLANS

Proposed Terrace Housing Development
For
Waitomo Papakainga Delopment
16 Puckey Ave
Kaitaia



Contents

101	Site Plan
201	Block A - Ground Floor Plan
202	Block A - Upper Level Floor Plan
203	Block B - Ground Level Floor Plan
204	Block B - Upper Level Floor Plan
205	Elevations
206	Elevations
207	3D Perspectives
301	Section A - A
302	Section B - B

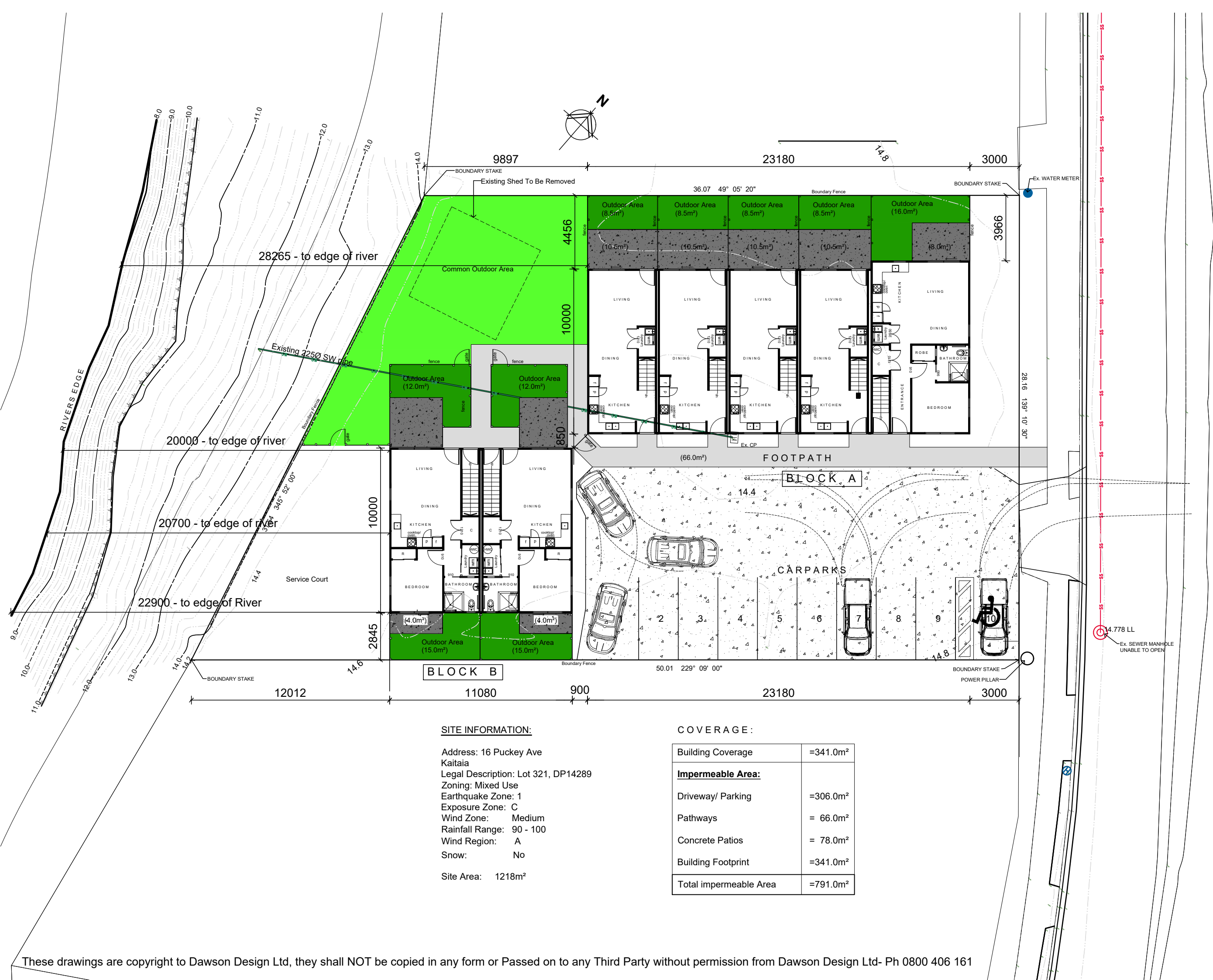
RC Drawing 02 - 27/06/2025

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ARCHITECTURE LTD

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m: 027 695 7808 e: office@inspiredarchitecture.org

**AD
NZ** +
Architectural
Designers
New Zealand





SITE INFORMATION:

Address: 16 Puckey Ave
Kaitaia
Legal Description: Lot 321, DP14289
Zoning: Mixed Use
Earthquake Zone: 1
Exposure Zone: C
Wind Zone: Medium
Rainfall Range: 90 - 100
Wind Region: A
Snow: No
Site Area: 1218m²

COVERAGE:

Building Coverage	=341.0m²
Impermeable Area:	
Driveway/ Parking	=306.0m²
Pathways	= 66.0m²
Concrete Patios	= 78.0m²
Building Footprint	=341.0m²
Total impermeable Area	=791.0m²

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NOTES

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TITLE

Site Plan

ISSUE DATE
27. 06 . 2025

VERSION No.

2

JOB No.

DRAWN BY
C Dawson
CHECKED BY
Colin Dawson

PROJECT

Proposed Terrace Housing
Development
For
Waitomo Papakainga
Development

16 Puckey Ave
Kaitaia

SCALE

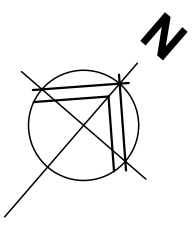
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101

DRAWING STATUS

RC Set 02



Ground Floor Plan - Units 1 - 5
SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Level	Area	Total
Unit 1	Ground level	42.0m ²	Upper Level	42.0m ²	84.0m ²
Unit 2	Ground level	42.0m ²	Upper level	42.0m ²	84.0m ²
Unit 3	Ground Level	42.0m ²	Upper Level	42.0m ²	84.0m ²
Unit 4	Ground Level	42.0m ²	Upper Level	42.0m ²	84.0m ²
Unit 5	Ground level	63.0m ²	-	-	63.0m ²
Unit 6	-	-	Upper Level	63.0m ²	63.0m ²
Total	Ground Level	231.0m ²	Upper level	231.0m ²	462.0m ²

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TITLE
Block A
Ground Level
Floor Plan

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27. 06 . 2025

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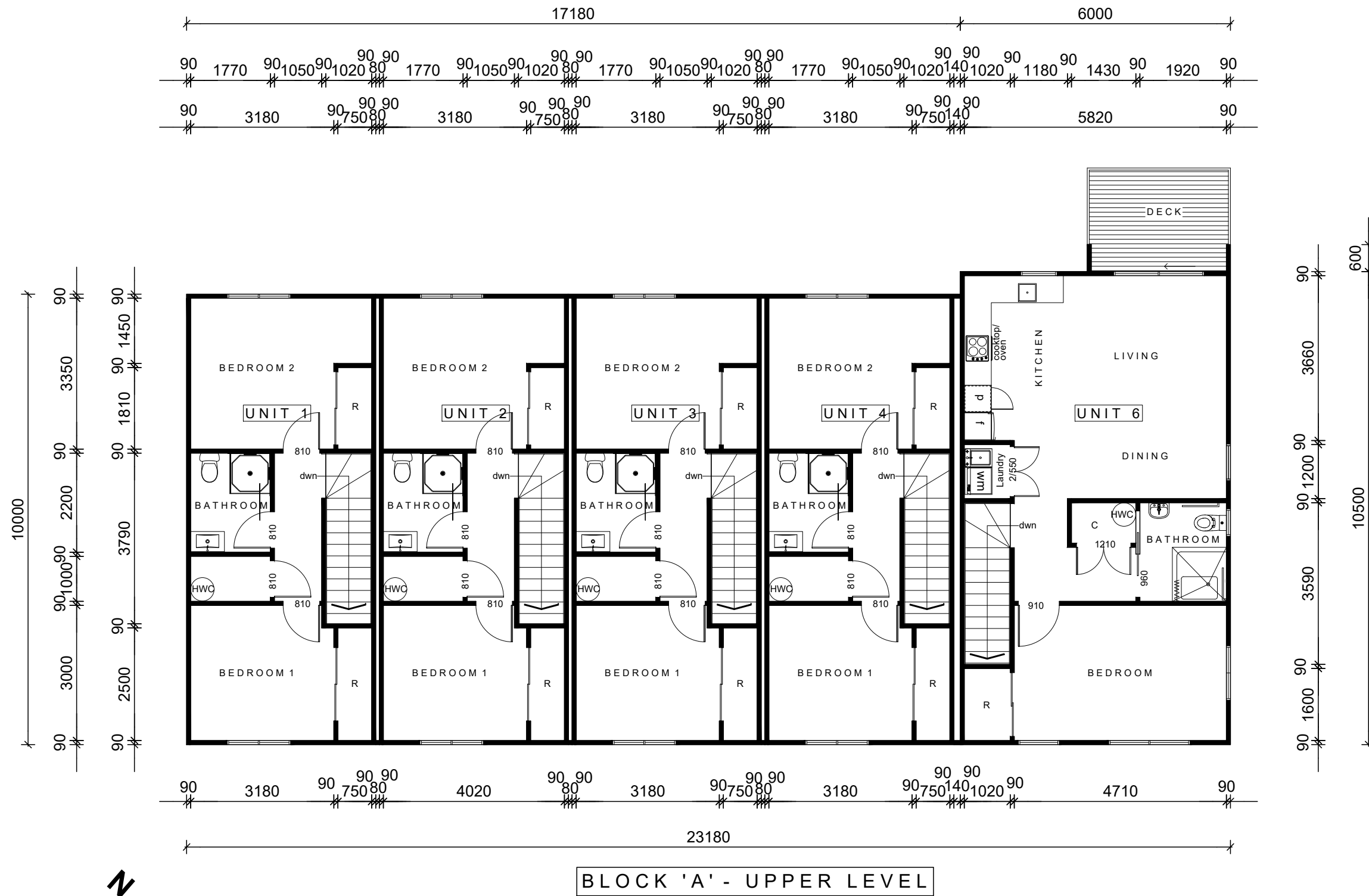
PROJECT
Proposed Terrace Housing Development
For
Waitomo Papakainga Development

16 Puckey Ave
Kaitia

SCALE
1:100

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201

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RC Set 02



Upper Floor Plan - Units 1 - 6

SCALE 1:100

TABLE OF AREAS					
Unit no	Level	Area	Level	Area	Total
Unit 1	Ground level	42.0m²	Upper Level	42.0m²	84.0m²
Unit 2	Ground level	42.0m²	Upper level	42.0m²	84.0m²
Unit 3	Ground Level	42.0m²	Upper Level	42.0m²	84.0m²
Unit 4	Ground Level	42.0m²	Upper Level	42.0m²	84.0m²
Unit 5	Ground level	63.0m²	-	-	63.0m²
Unit 6	-	-	Upper Level	63.0m²	63.0m²
Total	Ground Level	231.0m²	Upper level	231.0m²	462.0m²

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Upper Level
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Proposed Terrace Housing Development
For
Waitomo Papakainga Development

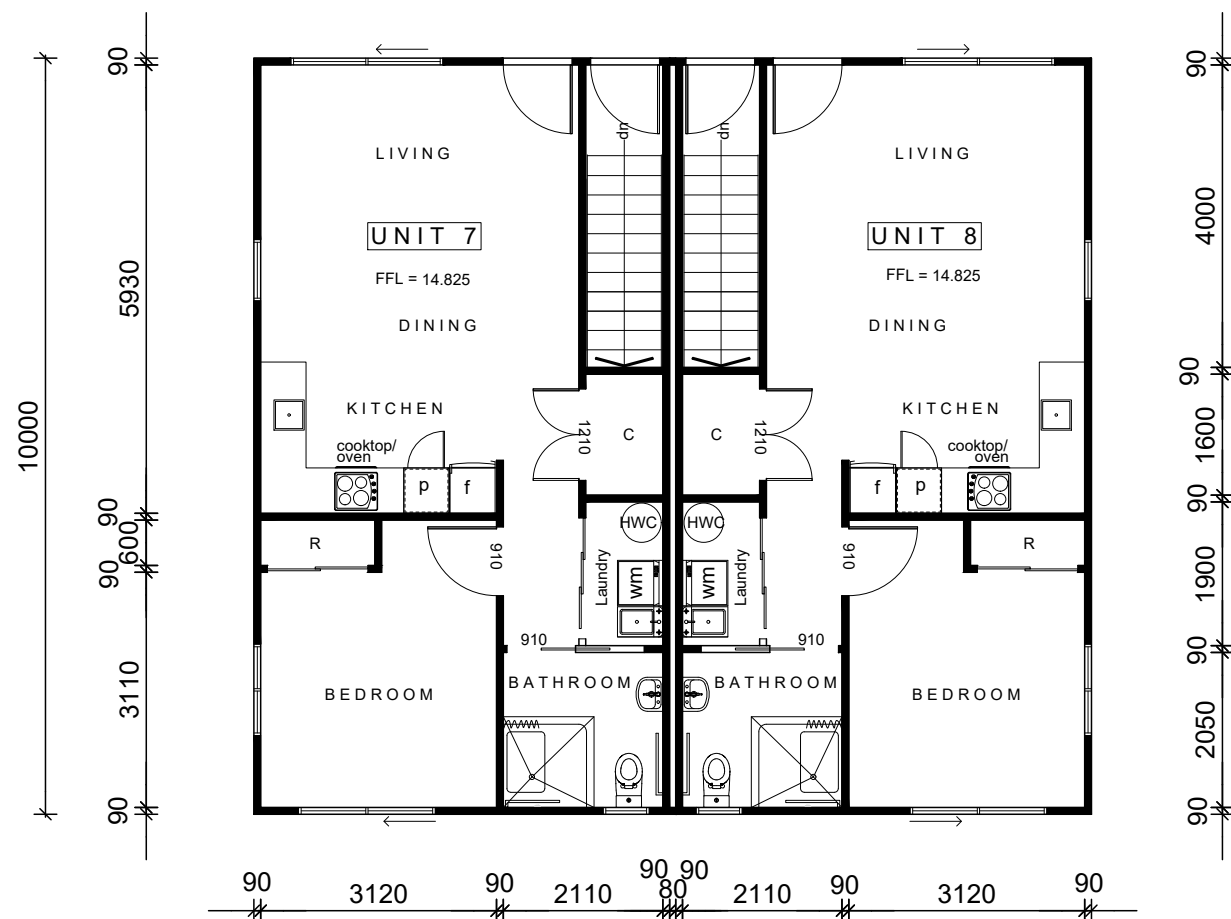
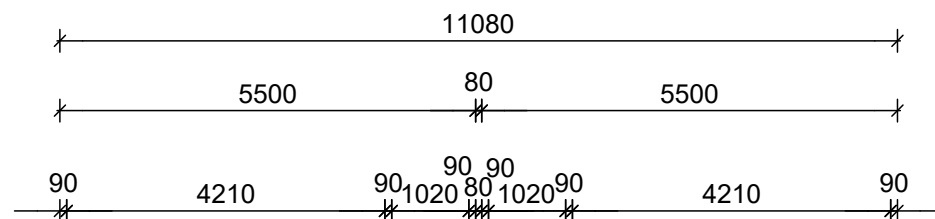
16 Puckey Ave
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BLOCK 'B' - GROUND LEVEL

Ground Level Floor Plan - Units 7 - 8

SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Area	Total
Unit 7	Ground level	55.0m ²		
Unit 8	Ground level	55.0m ²		
Unit 9	Upper Level		55.0m ²	
Unit 10	Upper Level		55.0m ²	
Total	Ground Level	110.0m ²	-	
Total	Upper Level	-	110.0m ²	
Total				220.0m ²

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For
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16 Puckey Ave
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SCALE

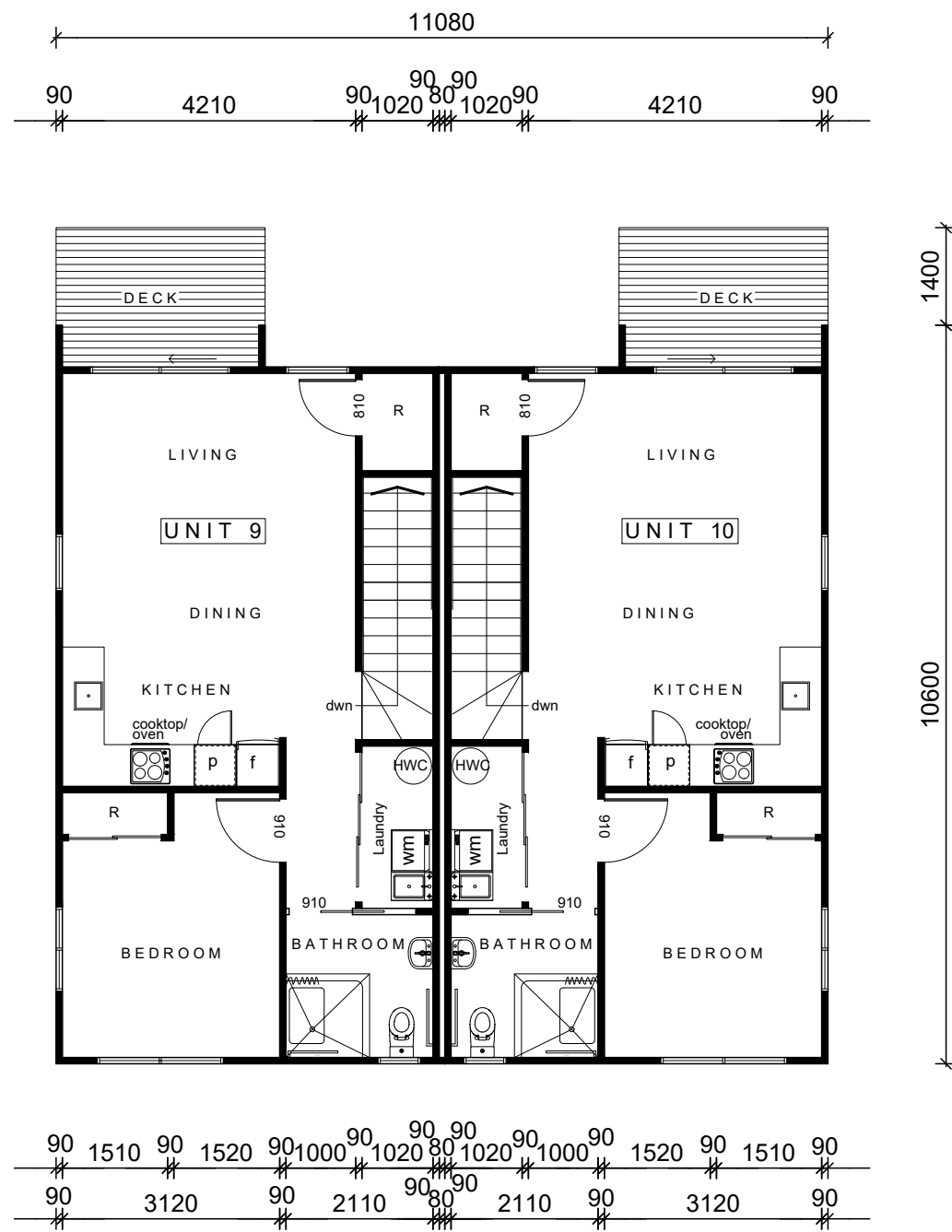
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BLOCK 'B' - UPPER LEVEL

Upper Level Floor Plan - Units 9 - 10

SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Area	Total
Unit 7	Ground level	55.0m ²		
Unit 8	Ground level	55.0m ²		
Unit 9	Upper Level		55.0m ²	
Unit 10	Upper Level		55.0m ²	
Total	Ground Level	110.0m ²	-	
Total	Upper Level	-	110.0m ²	
Total				220.0m ²



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16 Puckey Ave
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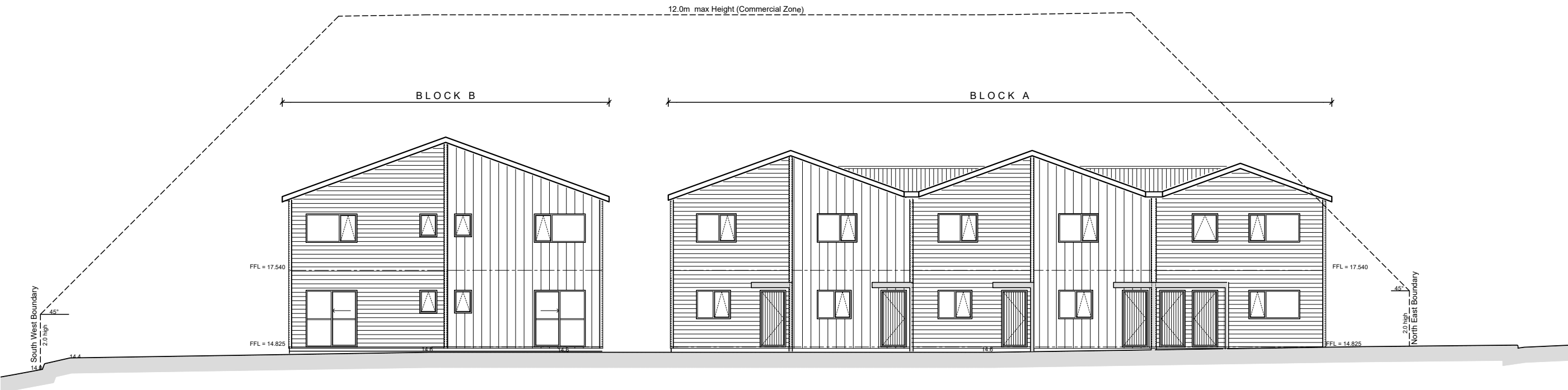
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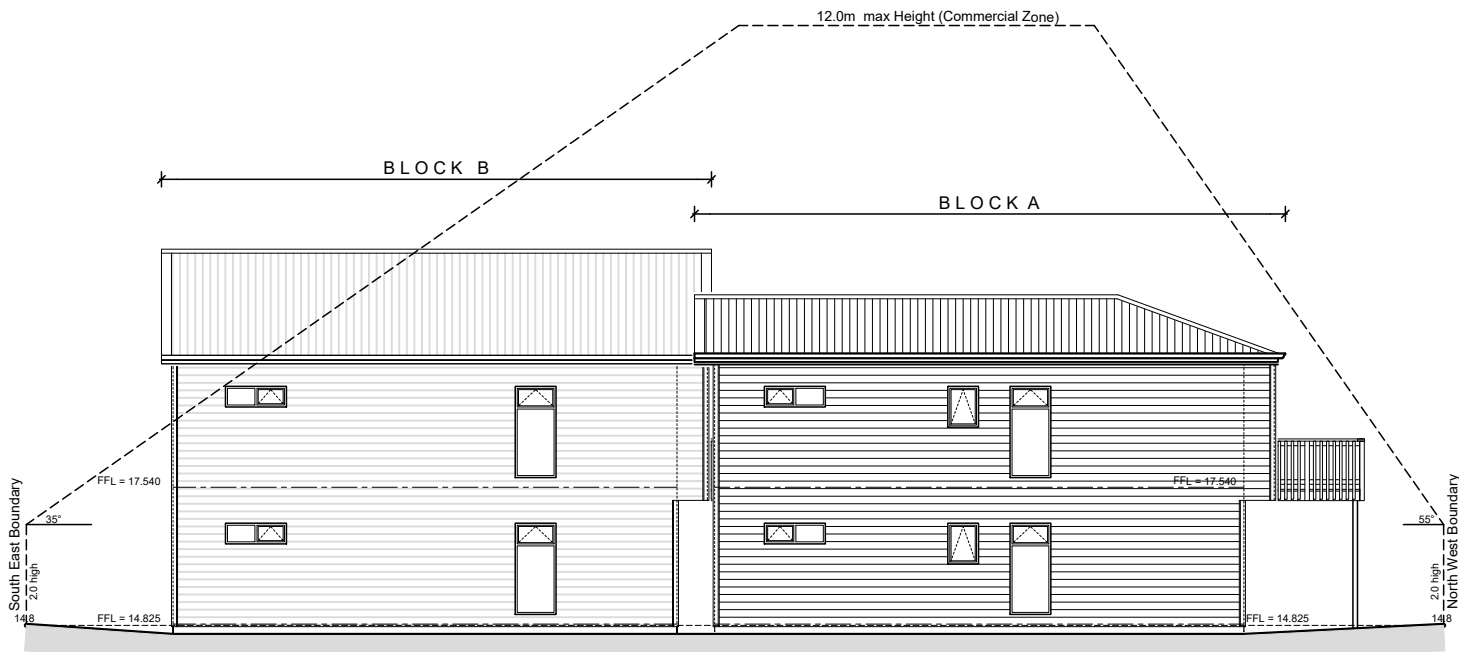
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South East Elevation

SCALE 1:150



North East Elevation

SCALE 1:150



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PROJECT

Proposed Terrace Housing Development
For
Waitomo Papakainga Development

16 Puckey Ave
Kaitaia

SCALE
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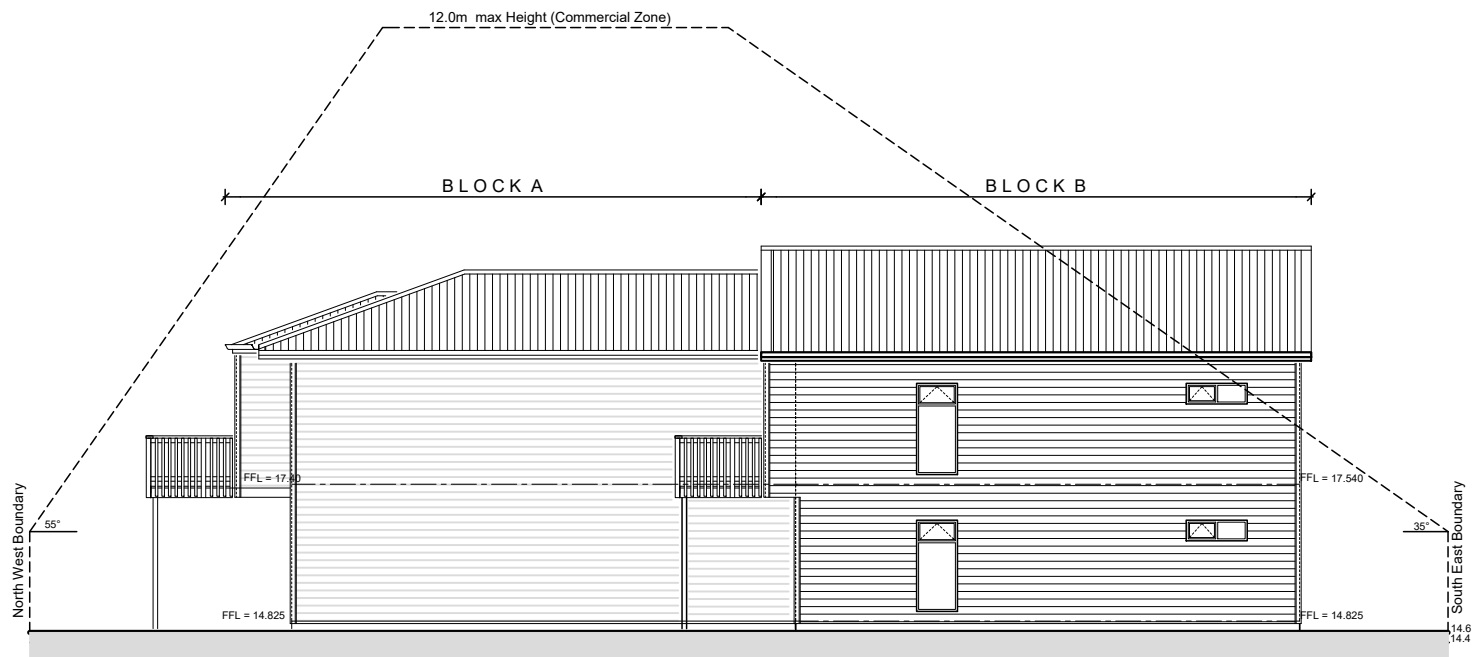
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North West Elevation

SCALE 1:150



South West Elevation

SCALE 1:150



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Proposed Terrace Housing
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For
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Development

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Kaitaia

SCALE

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BLOCK A FRONT YARD



BLOCK B BACK YARD



TYPICAL BLOCK A ENTRANCE

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Whangarei Northland

Moble 027 695 7808
office@inspiredarchitecture.org

NOTES

Contractor to check all
dimensions & conditions
on site before
commencing work.
Work only to figured
dimensions.
In the event of a
discrepancy contact
the designer.

TITLE
3D
Perspectives

ISSUE DATE
27. 06 . 2025

VERSION No.
2

JOB No.

DRAWN BY
C Dawson
CHECKED BY
Colin Dawson

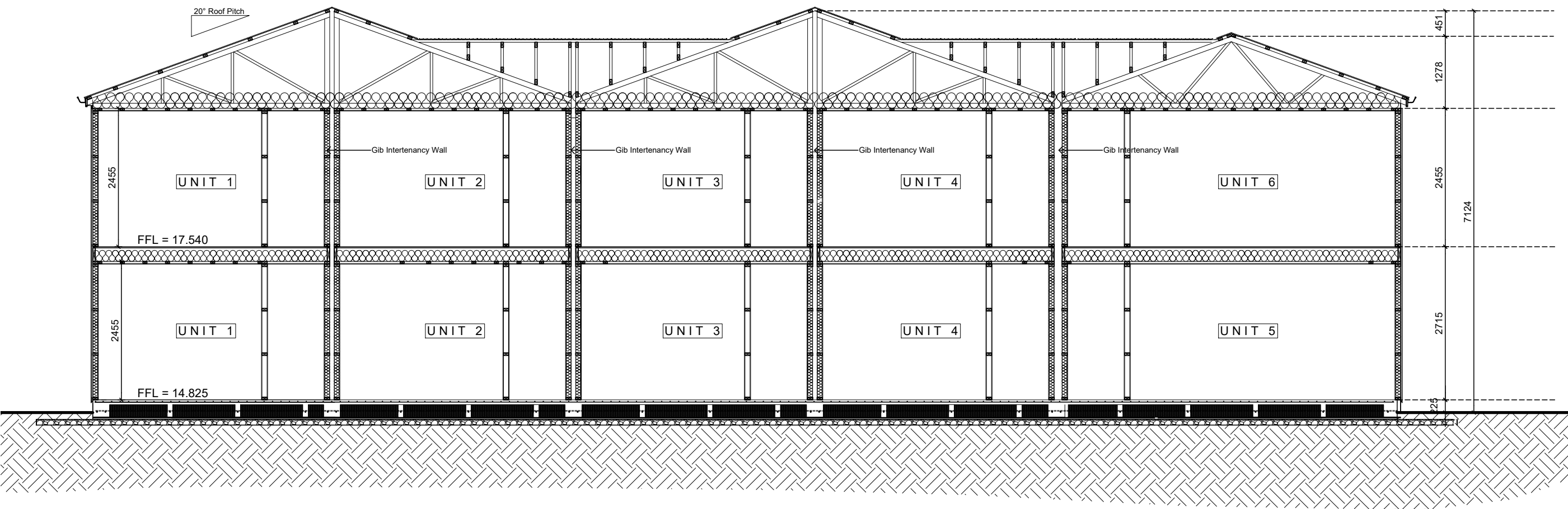
PROJECT
Proposed Terrace Housing
Development
For
Waitomo Papakainga
Development

16 Puckey Ave
Kaitia

SCALE
N.T.S

DRAWING CODE
207

DRAWING STATUS
RC Set 02



Section A - A

Scale 1:75

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TITLE

Block A
Section A - A

ISSUE DATE
27. 06 . 2025

VERSION No.
2

JOB No.

DRAWN BY
C Dawson

CHECKED BY
Colin Dawson

PROJECT

Proposed Terrace Housing
Development
For
Waitomo Papakainga
Development

16 Puckey Ave
Kaitaia

SCALE

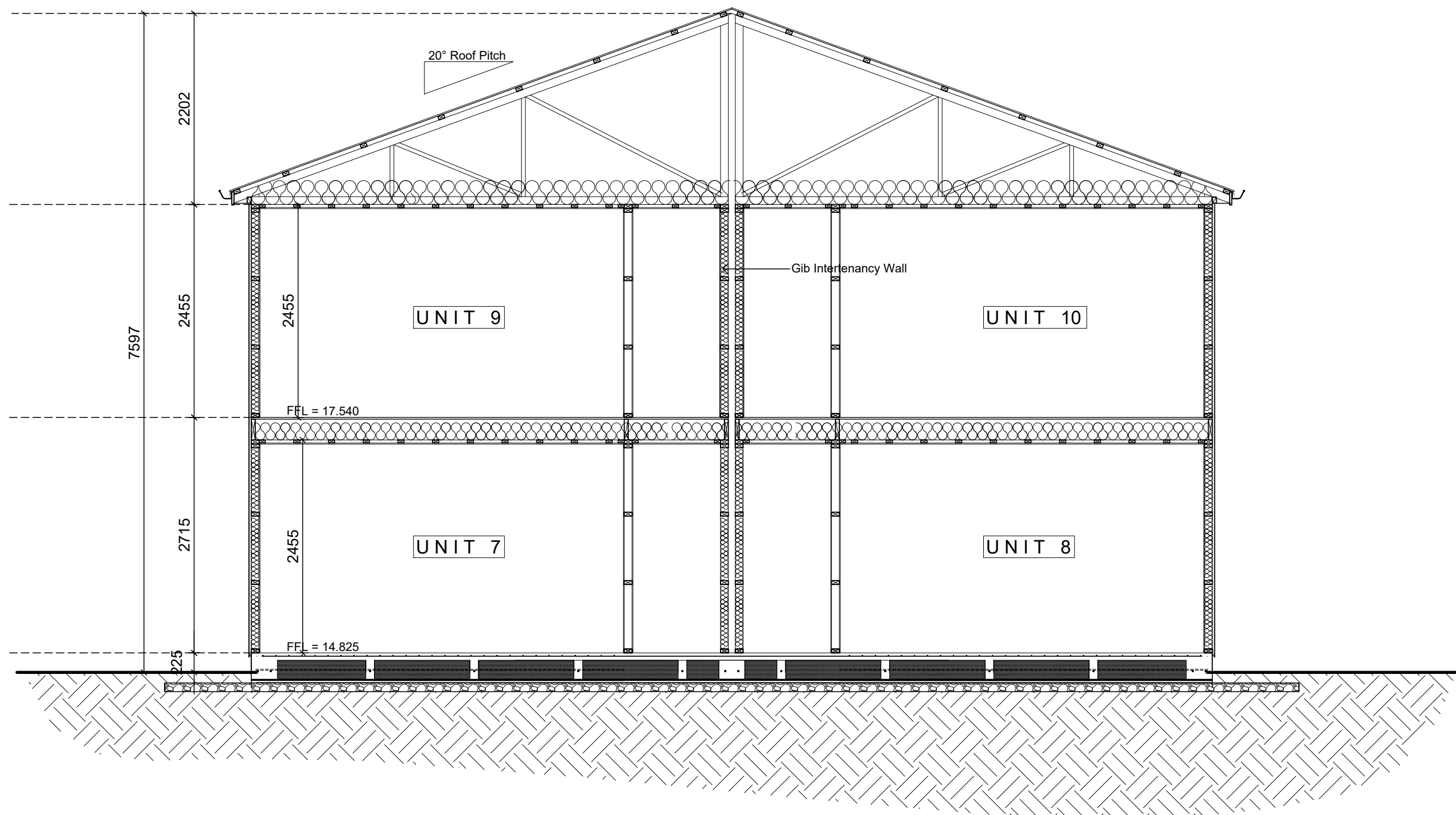
1:75

DRAWING CODE

301

DRAWING STATUS

RC Set 02



Section B - B

Scale 1:50

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NOTES

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TITLE

Block B
Section B - B

ISSUE DATE

27. 06 . 2025

VERSION No.

2

JOB No.

DRAWN BY

C Dawson

CHECKED BY

Colin Dawson

PROJECT

Proposed Terrace Housing Development
For
Waitomo Papakainga Development

16 Puckey Ave
Kaitaia

SCALE

1:50

DRAWING CODE

302

DRAWING STATUS

RC Set 02

APPENDIX 2

RULE ASSESSMENT

Operative District Plan Provisions

Chapter 7.7.5 Commercial Zone Rules		
Rule	Status	Comment
7.7.5.1 Permitted Activities		
7.7.5.1.1 – Building Height	Permitted	a. The site is not within any of these areas. b. The site is not within any of these areas. c. The proposed buildings have heights of less than 12m.
7.7.5.1.2 – Sunlight	N/A	The site does not adjoin the Residential, Coastal Residential, Russell Township, Rural Living, or Coastal Living zones.
7.7.5.1.3 – Visual Amenity and Environmental Protection	N/A	The site will be used for residential activities. Furthermore, it does not adjoin any zone other than the Commercial Zone.
7.7.5.1.4 – Setback from Boundaries	N/A	a. The road frontage of the site is not identified as a 'Pedestrian Frontage'. b. The site is not within Paihia. c. The site is not shown on Map 91.
7.7.5.1.5 – Noise mitigation for Residential Activities	Permitted	The noise at the site boundary will be attenuated by at least 20 dB for all living rooms and by at least 30 dB for all sleeping rooms.
7.7.5.1.6 – Transportation	N/A	Refer to the assessment of Chapter 15 below.
7.7.5.1.7 – Keeping of Animals	N/A	Not proposed.
7.7.5.1.8 – Noise	Permitted	The proposed development will not generate any noise that exceeds the permitted standards.
7.7.5.1.10 – Roof Pitch	N/A	The site is not shown on Map 91.
7.7.5.1.11 – Stormwater	Permitted	Stormwater will be collected from the roofs of the proposed buildings and the impervious surfaces and disposed to the Kaitia stormwater network.
7.7.5.1.12 – Helicopter Landing Area	N/A	The proposal does not involve a helicopter landing area.
7.7.5.2 Controlled Activities		
7.7.5.2.1 – Sunlight	N/A	The site does not adjoin the Residential, Coastal Residential, Russell Township, Rural Living, or Coastal Living zones.

7.7.5.2.2 – Transportation	N/A	Refer to the assessment of Chapter 15 below.
7.7.5.2.3 – Stormwater	N/A	The stormwater arrangements are permitted under Rule 7.7.5.1.11.
7.7.5.3 Restricted Discretionary Activities		
7.7.5.3.1 – Height	N/A	The building height is permitted under Rule 7.7.5.1.1.
7.7.5.3.2 – Transportation	N/A	Refer to the assessment of Chapter 15 below.
7.7.5.3.3 – Visual Amenity and Environmental Protection	N/A	The proposed development does not infringe Rule 7.7.5.1.3.
7.7.5.3.4 – Setback from Boundaries	N/A	The proposed development does not infringe Rule 7.7.5.1.4.
7.7.5.3.5 – Noise mitigation for Residential Activities	N/A	The proposed development does not infringe Rule 7.7.5.1.5.
7.7.5.3.6 – Noise	N/A	The proposed development does not infringe Rule 7.7.5.3.6.
7.7.5.3.7 – Sunlight	N/A	The proposed development does not infringe Rule 7.7.5.3.7.
7.7.5.4 Discretionary Activities		
7.7.5.4.1 – Helicopter Landing Area	N/A	The proposal does not involve a helicopter landing area.

Chapter 12.3 Soils and Minerals		
Rule	Status	Comment
12.3.6.1 Permitted Activities		
12.3.6.1.1 – Excavation and/or filling, excluding mining and quarrying, in the Rural Production Zone or Kauri Cliffs Zone	N/A	The site is not within one of these zones.
12.3.6.1.2 – Excavation and/or filling, including obtaining roading material but excluding mining and quarrying, in the Rural Living, Coastal Living, South Kerikeri Inlet, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones	N/A	The site is not within one of these zones.

12.3.6.1.3 – Excavation and/or filling, excluding mining and quarrying, in the Residential, Industrial, Horticultural Processing, Coastal Residential and Russell Township Zones	N/A	The site is not within one of these zones.
12.3.6.1.4 – Nature of filling material in all zones.	Permitted	<p>a. Any fill material will not contain putrescible, pollutant, inflammable or hazardous components.</p> <p>b. The fill material will only consist of soil, rock, stone, aggregate, gravel, sand, silt or demolition material.</p> <p>c. The fill material will comprise of no more than 5% vegetation.</p>
12.3.6.1.5 – Excavation and/or filling, including mining and quarrying within the National Grid Yard in all zones	N/A	Not proposed.
12.3.6.2 Restricted Discretionary Activities		
12.3.6.2.1 – Excavation and/or filling, excluding mining and quarrying in the Rural Living, Coastal Living, South Kerikeri Inlet, General Coastal, Recreational Activities, Conservation, Waimate North and Point Veronica Zones	N/A	The site is not within one of these zones.
12.3.6.2.2 – Excavation and/or filling, excluding mining and quarrying, in the Residential, Industrial, Horticultural Processing, Coastal Residential and Russell Township Zones	N/A	The site is not within one of these zones.
12.3.6.2.3 – Excavation and filling, excluding mining and quarrying, in the Rural Production Zone or Kauri Cliffs Zone	N/A	The site is not within one of these zones.
12.3.6.3 Discretionary Activities		
12.3.6.3.1 – Mining and Quarrying Activities outside the Minerals Zone	N/A	The proposal is a permitted activity under Rule 12.3.6.1.4.
12.3.6.4 Non Complying Activities		
12.3.6.4 – Non Complying Activities	N/A	The proposal is a permitted activity under Rule 12.3.6.1.4.

Chapter 12.7 Lakes, Rivers, Wetlands and the Coastline		
Rule	Status	Comment
12.7.6.1 Permitted Activities		
12.7.6.1.1 – Setback from Lakes, Rivers and the Coastal Marine Area	Permitted	The buildings and impermeable surfaces are setback at least 20m from the adjoining River.
12.7.6.1.2 – Setback from Smaller Lakes, Rivers and Wetlands	N/A	The river has a width of more than 3m.
12.7.6.1.3 – Preservation of Indigenous Wetlands	N/A	No work is proposed within a wetland.
12.7.6.1.4 – Lane Use Activities involving discharges of Human Sewage Effluent	Permitted	Effluent will be discharged to the reticulated sewerage system.
12.7.6.1.5 – Motorised Craft	N/A	Not proposed.
12.7.6.1.6 – Noise	Permitted	The proposed development will not generate any noise that exceeds the permitted standards.
12.7.6.2 Restricted Discretionary Activities		
12.7.6.2.1 – Development Bonus	N/A	The proposed development is permitted under Rule 12.7.6.1.1.
12.7.6.3 Discretionary Activities		
12.7.6.3 – Discretionary Activities	N/A	The proposed development is permitted under Rule 12.7.6.1.1.
12.7.6.4 Non-Complying Activities		
12.7.6.4 – Non-Complying Activities	N/A	The proposed development is permitted under Rule 12.7.6.1.1 and Rule 12.7.6.1.2.

Chapter 15 Transportation		
Rule	Status	Comment
15.1.6A Traffic Intensity		
15.1.6A.2.1 – Permitted Activities	Permitted	The proposal involves 100 one-way traffic movements (10 per residential unit) where a maximum of 200 one-way traffic movements is a permitted activity.

15.1.6A.3.1 – Controlled Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.4.1 – Restricted Discretionary Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.5.1 – Discretionary Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.6.1 – Non-Complying Activities	N/A	The proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6A.7.1 – Assessment Criteria	N/A	This criteria is not relevant as the proposal is a permitted activity under Rule 15.1.6A.2.1.
15.1.6B Parking		
15.1.6B.1.1 – On-site car parking spaces	Restricted discretionary	Ten (10) car parks are proposed where at least twenty (20) are required (2 per residential unit).
15.1.6B.1.2 – Williams Road on-site car parking spaces	N/A	The subject site is not one of the listed sites.
15.1.6B.1.3 – Kerikeri Road on-site car parking spaces	N/A	The site is not located on Kerikeri Road.
15.1.6B.1.4 – Accessible car parking spaces	Permitted	One accessible car park is proposed.
15.1.6B.1.5 – Car park standards	Permitted	The car parks will be provided with sufficient manoeuvring to comply with Appendix 3D.
15.1.6B.1.6 – Loading spaces	N/A	No loading spaces are required as the proposed development involves a residential activity.
15.1.6B.2 – Restricted Discretionary Activities	Restricted discretionary	The proposal does not comply with Rule 15.1.6B.1.1 above, but it does comply with all the other permitted standards of Rule 15.1.6B.1.
15.1.6B.2.1 – Cycling Facilities	N/A	Cycling facilities are not proposed in lieu of car parks.
15.1.6B.2.2 – Green Space	N/A	Green space is not provided in lieu of car parks
15.1.6B.3.1 – Any Activity on Williams Road Car Park, Paihia	N/A	The subject site is not one of the listed sites.
15.1.6B.4 – Non-Complying Activities	N/A	The proposal is a restricted discretionary activity under Rule 15.1.6B.2
15.1.6B.5 – Assessment Criteria	N/A	The proposal is a restricted discretionary activity under Rule 15.1.6B.2

15.1.6C Access		
15.1.6C.1.1 – Private accessway in all zones	Permitted	The car park will be constructed in accordance with Appendix 3B-1.
15.1.6C.1.2 – Private accessways in urban zones	Permitted	<ul style="list-style-type: none"> a. The site is within the Commercial Zone. b. The vehicle crossing will be constructed in accordance with the requirements for a two-way operation. c. The access will be concreted or sealed.
15.1.6C.1.3 – Passing bays on private accessways in all zones	Permitted	<ul style="list-style-type: none"> a. The car park will have a compliant width. b. Passing bays are not required. c. The access will serve one site.
15.1.6C.1.4 – Access over footpaths	Permitted	There will only be one vehicle crossing. It has a width of no more than 6m.
15.1.6C.1.5 – Vehicle crossing standards in rural and coastal zones	N/A	The site is not in a Rural or Coastal Zone.
15.1.6C.1.6 – Vehicle crossing standards in urban zones	Permitted	<ul style="list-style-type: none"> a. The vehicle crossing will be constructed in accordance with the FNDC ES. b. The vehicle crossing serves one property.
15.1.6C.1.7 – General access standards	Permitted	<ul style="list-style-type: none"> a. Vehicles will be able to leave the site in a forward direction. b. There are no bends on the access. c. Any areas not covered by the buildings, accesses, or outdoor living areas will be grassed. d. Runoff will be managed to reduce the volume and rate of stormwater runoff and contaminant loads.
15.1.6C.1.8 – Frontage to existing roads	N/A	<ul style="list-style-type: none"> a. Puckey Avenue has a sufficient legal road width. b. Puckey Avenue is constructed to an appropriate standard. c. The site has only one road frontage. d. The carriageway does not encroach upon the site.
15.1.6C.1.9 – New roads	N/A	No new roads are to be vested.
15.1.6C.1.10 – Service lanes, cycle and pedestrian accessways	N/A	No new service lanes, cycle or pedestrian accesses are proposed.
15.1.6C.1.11 – Road designations	N/A	The site does not front an existing road which is subject to a designation for road acquisition and widening purposes.

Proposed District Plan Provisions

Mixed Use Zone (MUZ)		
Rule	Status	Comment
MUZ-R1 – New buildings or structures, or extensions or alterations to existing buildings or structures	Restricted discretionary	The proposed development will not comply with MUZ-S3.
MUZ-R2 – Commercial activity	N/A	Not proposed.
MUZ-R3 – Visitor accommodation	N/A	Not proposed.
MUZ-R4 – Residential activity	Discretionary	Proposed Units 1 – 5, 7 and 8 are located at the ground floor level.
MUZ-R5 – Residential unit	Discretionary	Proposed Units 1 – 5, 7 and 8 are located at the ground floor level.
MUZ-R6 – MUZ-R21	N/A	Not proposed.
MRZ-S1 – Maximum height.	Permitted	The maximum height of the proposed buildings will not exceed 12m.
MRZ-S2 – Height in relation to boundary.	N/A	The site does not adjoin any of the listed zones.
MRZ-S3 – Setback (excluding from MHWS or wetland, lake and river margins).	N/A	The site does not adjoin any of the listed zones.
MRZ-S4 – Setback from MHWS.	N/A	There are no Mean High Water Springs in the vicinity of the site.
MRZ-S5 – Pedestrian frontages	N/A	The site is not identified as having a pedestrian frontage on the planning maps.
MRZ-S6 – Verandahs	N/A	The site is not identified as having a pedestrian frontage on the planning maps.
MRZ-S7 – Outdoor storage.	N/A	Not proposed.
MRZ-S8 – Landscaping and screening on a road boundary	Restricted discretionary	The portion of the site adjoining the road boundary will not be planted with landscaping or screened.
MRZ-S9 – Landscaping for sites that adjoin any sites other than mixed use or industrial	N/A	The site does not adjoin any zone other than the Mixed Use, Light Industrial, or Heavy Industrial Zones.
MRZ-S10 – Coverage	Permitted	At least 10% of the site will be planted in grass, vegetation, or landscaped with permeable material.
Overall Status	Discretionary	

Transport Chapter (TRAN)		
Rule	Status	Comment
TRAN-R1 – Parking	Permitted	<ol style="list-style-type: none"> 1. The car parks are not located over footpaths, accesses, manouvering areas, or outdoor living areas. 2. No stacked parking is proposed. 3. The car parks will be permanently marked. 4. The car parks will comply with TRAN-S1 (see below).
TRAN-R2 – Vehicle crossings and access, including private accessways	Discretionary	<ol style="list-style-type: none"> 1. The access will serve 10 H.E.s. 2. The access will provide sufficient access for fire appliances. 3. The access is not off a State Highway or a road classified arterial or higher. 4. There are no unused vehicle crossings. 5. The access will be constructed in accordance with TRAN-Table 9. 6. The vehicle crossing will be constructed in accordance with TRAN-S2.
TRAN-R3 – Maintenance or upgrading of existing transport infrastructure within the existing road corridor	N/A	No maintenance or upgrading of existing transport infrastructure is proposed within the road corridor.
TRAN-R4 – Electric vehicle charging stations	Permitted	Car parks are provided in accordance with TRAN-S1 (see below).
TRAN-R5 – Trip generation	Permitted	The trip generation from the proposed development (10 residential units) is no greater than the thresholds in TRAN-Table 11 (20 residential units).
TRAN-R6 – R10	N/A	Not proposed.
TRAN-S1 – Requirements for parking	Permitted	<ol style="list-style-type: none"> 1. Car parks are provided in accordance with TRAN-Table 1. 2. Accessible car parking is provided in accordance with TRAN-Table 2. 3. Loading spaces are not required for the proposed residential activity. 4. End of trip facilities are not required for the proposed residential activity. 5. All on-site car parking and manouvering areas will be provided in accordance with TRAN-Table 5. 6. The activity is represented in TRAN-Table 1.
TRAN-S2 – Requirements for vehicle crossings	Permitted	<ol style="list-style-type: none"> 1. One vehicle crossing is provided to the site in accordance with TRAN-Table 6. 2. The vehicle crossing will be 8m from a dedicated pedestrian crossing facility. 3. The site only has frontage to Puckey Ave.

		<p>4. The vehicle crossing will meet the minimum separation distance requirements set out in TRAN-Table 7.</p> <p>5. The vehicle crossing will meet the minimum sight distance requirements set out in TRAN-Table 8.</p>
TRAN-S3 – S5	N/A	Not proposed.
Overall Status	Discretionary	

Natural Hazards Chapter (NH)		
Rule	Status	Comment
NH-R1 – Maintenance, repair or upgrading of infrastructure, including structural mitigation assets	N/A	Not proposed
NH-R2 – Extensions and alterations to existing buildings or structures	N/A	No extensions or alterations are proposed to existing buildings.
NH-R3 – New buildings or structures	N/A	The proposed buildings are not one of the structures listed in NH-R3(1).
NH-R4 – New buildings or structures (excluding buildings used for a residential activity) ancillary to farming activity.	N/A	The proposed buildings are not ancillary to farming.
NH-R5 – Wild fire – Buildings used for a vulnerable activity (excluding accessory buildings)	Permitted	<p>1. The proposed buildings are used for a vulnerable activity and have access to a fire hydrant.</p> <p>2. The proposed buildings will be setback at least 20m from the dripline of any contiguous scrub, shrubland, woodlot, or forestry.</p>
NH-R6 – Wild fire – extensions and alterations to buildings used for a vulnerable activity (excluding accessory buildings) that increase the GFA.	N/A	No extensions or alterations are proposed to existing buildings.
NH-R7 – New buildings, and extensions or alterations that increase the GFA of existing buildings.	Discretionary	<p>1. The proposed buildings are not located in the 1 in 10-year River Flood Hazard Area and will be used for a vulnerable activity.</p> <p>2. The finished floor level of the proposed buildings will not be at least 500mm above the maximum water level in a 1 in 100 year flood event.</p> <p>3. The proposed buildings will not divert an overland flow path.</p> <p>4. RS Eng have prepared reports in support of this application (see Appendices 5 and 6).</p>
NH-R8 – R12	N/A	Not proposed.

Overall Status	Discretionary
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In accordance with section s86B(3) of the RMA immediate legal effect has been given to rules that protect or relate to water, air, or soil (for soil conservation), protect areas of significant indigenous vegetation, areas of significant habitats of indigenous fauna or historic heritage and provide for or relate to aquaculture activities.

In the case of the PFNDP and this application, EW-R12, EW-R13, EW-S3 & EW-S5 have legal effect and are assessed below.

Earthworks (EW)

EW-R1 – Earthworks for buildings or structures, and extensions to existing buildings or structures	Restricted discretionary	The earthworks do not comply with EW-S1 – Maximum earthworks thresholds as more than 200m ³ of earthworks are proposed.
EW-R2 – Earthworks for creating fence lines, poles, piles and service connections	Restricted discretionary	The earthworks do not comply with EW-S1 – Maximum earthworks thresholds as more than 200m ³ of earthworks are proposed.
EW-R3 – R11	N/A	Not proposed.
EW-R12 – Earthworks and the discovery of suspected sensitive material	Permitted	The earthworks will comply with EW-S3 – Accidental Discovery Protocol.
EW-R13 – Earthworks and erosion sediment control	Permitted	The earthworks will comply with EW-S5 – Erosion and Sediment Control.
EW-R14 – R15	N/A	Not proposed.
EW-S1 – Maximum earthworks thresholds	Restricted discretionary	Although the earthworks will cover less than 2,500m ² , the volume of earthworks will be more than 200m ³ .
EW-S2 – Depth and slope	Permitted	The maximum cut or fill height will be 1.5m.
EW-S3 – Accidental Discovery Protocol	Permitted	Should any suspected sensitive material be discovered during the course of undertaking earthworks the requirements of this standard will be adhered to.
EW-S4 – Site reinstatement	Permitted	The site will be reinstated within 6 months from the commencement of works.
EW-S5 – Erosion and Sediment Control	Permitted	The earthworks will be controlled in accordance with the GD2016/005. The earthworks will be implemented in a manner to prevent silt or sediment from entering waterbodies, any stormwater system, overland flowpath or road.
EW-S6 – Setback	Permitted	The earthworks will be setback 1.5m from the site boundary if they are retained or 3m if they are not retained.
EW-S7 – Land stability	Permitted	The earthworks will not result in any instability of land beyond the site.

EW-S8 – Nature of filling material	Permitted	The filling material will comprise suitable material.
EW-S9 – Floods and coastal hazards	Restricted discretionary	The earthworks will increase the flood hazard beyond the boundary of the site.
Overall Status	Restricted discretionary	

APPENDIX 3

RECORD OF TITLE AND ASSOCIATED MEMORIALS



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Search Copy



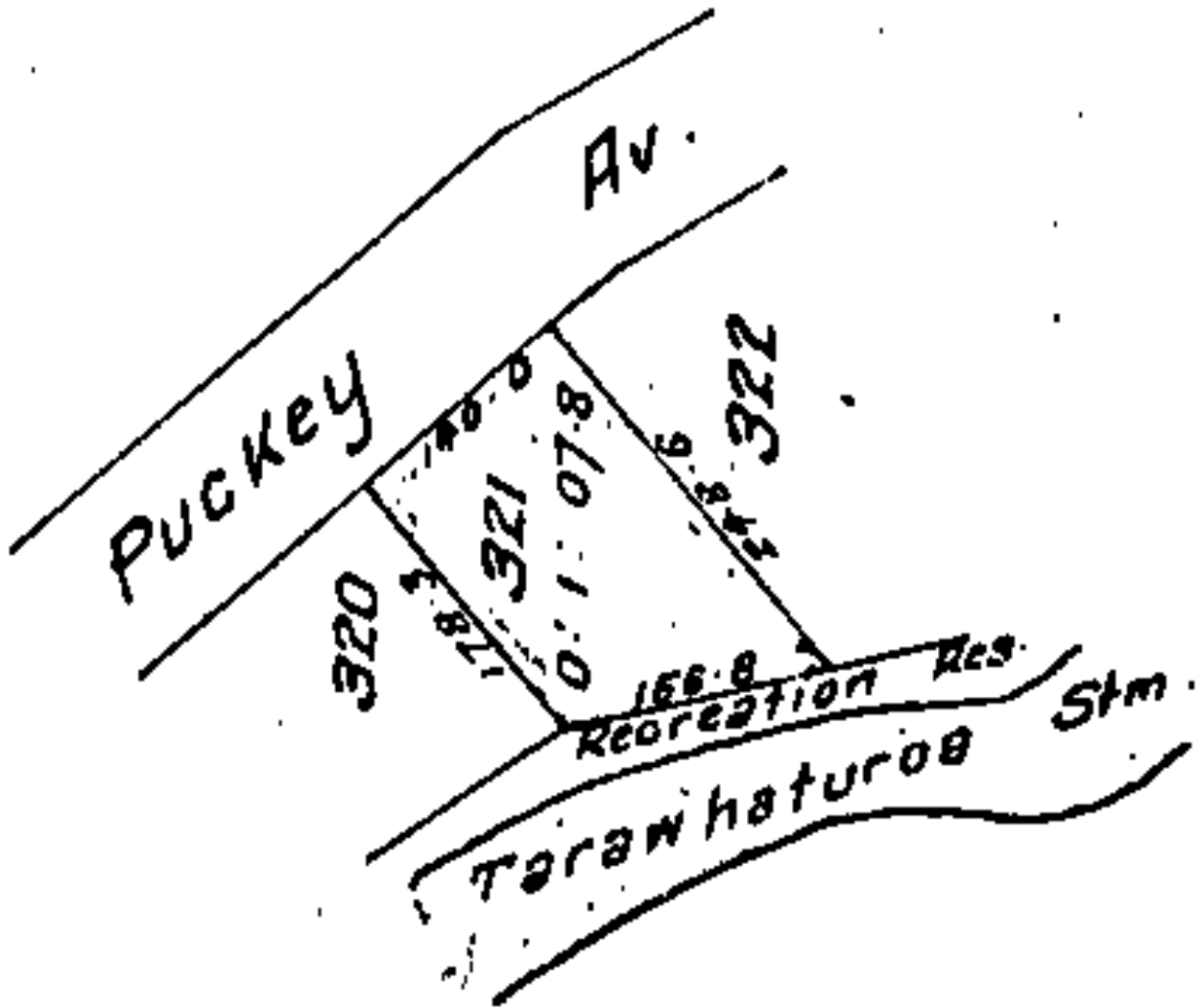

R.W. Muir
Registrar-General
of Land

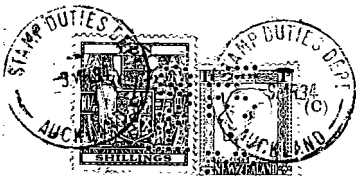
Identifier **NA652/255**
Land Registration District **North Auckland**
Date Issued 27 April 1934

Prior References
NA412/196

Estate Fee Simple
Area 1209 square metres more or less
Legal Description Lot 321 Deposited Plan 14289
Registered Owners
Waitomo Papakainga Development Society Incorporated

Interests
Fencing Agreement in Transfer 262842 - 27.4.1934





262842 T
27041934

Approved by the District Land Registrar, No. 1152

[New Zealand

Memorandum of Transfer

I, ALLEN BELL of Kaitaia in the Provincial District of
Auckland Farmer
being registered as the proprietor of an estate of freehold in fee simple ..

subject, however, to such encumbrances, liens and interests, as are notified by
memoranda underwritten or endorsed hereon, in that piece of land situated
in the Provincial District of Auckland containing one rood seven perches .
and eight tenths of a perch
be the same a little more or less being Section Number 321 on a plan ..
deposited in the Land Registry Office at Auckland under Number ..
14289 which said piece of land is situated in the Township of Kai -
taia and is portion of the Block situated in the Takahue Survey ..
District called Old Land Claim Number Seven and is portion of the .
land comprised and described in Certificate of Title registered in ..
Volume 412 Folio 196 of the Register Books in the Land Transfer ...
Office at Auckland.

In consideration of the sum of THIRTY POUNDS (£30 :- : -)

paid to me by ALEXANDER LOGAN of Kaitaia aforesaid Solicitor .

(the receipt of which sum is hereby acknowledged)

Do hereby transfer to the said Alexander Logan ...

... all my estate and interest in the said piece of land
PROVIDED HOWEVER that I shall not be liable or be called upon to .
contribute towards the cost of the erection or maintenance of any .
boundary or dividing fence between the land hereby transferred and
any other land owned by me but this proviso shall not enure to the .
benefit of any purchaser of any of such adjoiningland AND IT IS
HEREBY DECLARED for the purposes of the duty payable under "The ..
Stamp Duties Act 1923" that no instrument of agreement for sale in .
writing as defined by Section 88 was entered into between the
parties hereto in respect of the foregoing transaction . _____

In Witness whereof these presents have been executed this

4th

day of March one thousand nine hundred and thirty-four

four.

Signed by the said ALLEN BELL

in the presence of:-

Mr. Reynolds
Solicitor
Kentaria

Allen Bell

SIGNED by the said ALEXANDER

LOGAN in the presence of :-

Mr. Reynolds
Solicitor
Kentaria

A. Logan

652/
255

Application No. _____

[Land and Deeds No. 9.]

Order for N/C No. _____

[Form B.]

Vol 412 Folio 196

Transfer No. 262842

DRAFT CERTIFICATE OF TITLE.

This certificate, dated the 27th day of April, one thousand
nine hundred and 34, under the hand and seal of the District Land
Registrar of the Land Registration District of Auckland, Witnesseth
that Alexander Logan of Kaipara Solicitor

is seized of an estate in fee-simple (subject to such reservations, restrictions, encumbrances,
liens, and interests as are notified by memorial underwritten or endorsed hereon,
subject also to any existing right of the Crown to take and lay off roads under the
provisions of any Act of the General Assembly of New Zealand) in the Land hereinafter
described, as the same is delineated by the plan hereon bordered green, be the

several admeasurements a little more or less, that is to say: All that parcel of land
containing 10 7/10 p. more or less. situated in the Kaipara
Town District being Lot 321 on a plan deposited
in the L.R.O. at Auckland as N^o 14289 & being part of
Old Land claim N^o 7.

HLR

Agreement as to fencing contained in Transfer No. 262842

Assistant Land Registrar.

MEMORANDUM OF PARTIAL DISCHARGE OF MORTGAGE

NO 207307.

I, SAMUEL JOSEPH HODDLE of Kaitaia in the Provincial District of Auckland Farmer the Mortgagee under Memorandum of Mortgage registered in the Land .. Transfer Office at Auckland under Number 2073 07 over (inter alia) All that piece of land described and comprised in the foregoing Memorandum of Transfer IN CONSIDERATION of the sum of _____ paid to me by the ... Mortgagor under the said Memorandum of Mortgage (the receipt whereof is ... hereby acknowledged) do hereby RELEASE AND DISCHARGE the said piece of ... land from the operation of the said Memorandum of Mortgage and from the payment of all moneys intended to be thereby secured but without prejudice .. to the remainder of the security afforded by the said Memorandum of Mortgage and without releasing the Mortgagor from the payment of the remainder of the moneys secured thereby . _____

DATED at Kaitaia this _____ day of _____ 1934. _____

SIGNED by the said SAMUEL JOSEPH HODDLE)
in the presence of:-)

Mortgages.

262842

63

No.

TRANSFER of

Correct for the purposes of the Land Transfer Act.

Section 321 D. P. 14289 Pt. O.L.C. 7
Kaitia Town.

Situated in Takahue Survey District.

Alfons

Solicitor for the Purchaser.

NORTH

ALIEN BELL & or. Vendor

ALEXANDER LOGAN Purchaser

*It appears that Vendor's
signature has been collated
with rubber stamp*

Particulars entered in the Register Book, Vol. 412

Folio 196
the 27th day of April 1934
at 12.15



Land Registrar
of the District of Auckland.

652/255

ending

*Pl 412/136
Area = 0.1 - 07.8 sit in the Kaitia
Town Dist being lot 321 on
Plan 14289 & being Pt of O.L.C.
no 7.*

*FM
3-5-34*

*FM
Plan 14289
3-5-34*

27/4/34
Robinson
201
1215

LOGAN & REYNOLDS
Solicitors
KAITIA.



APPENDIX 4

TOPOGRAPHICAL SURVEY PLAN



TOPOGRAPHICAL SURVEY OF LOT 321 DP 14289
WAITOMO PAPAKAINGA TRUST
16 PUCKEY AVENUE, KAITAIA

NOTES <ul style="list-style-type: none">NO PART OF THIS PLAN MAY BE REPRODUCED, COPIED, OR AMENDED IN ANY FORM WITHOUT THE PRIOR PERMISSION OF REYBURN & BRYANT (1999) LIMITED.DO NOT SCALE OFF DRAWINGS.NOT ALL SERVICES MAY BE LOCATED ON THIS PLAN. CONSULT SERVICE PROVIDERS BEFORE COMMENCING EXCAVATION OR CONSTRUCTION.	LEVELS IN TERMS OF NZ VERTICAL DATUM (2016) SM 1218 SO 62889 (C84H) RL 14.6444	COORDINATES IN TERMS OF MT EDEN 2000 RT REFERENCE: NA652/255	BY	DATE	NOTES	DATE	20.05.2025
			FD	28.01.23	SURVEY	SCALE	1:250 @A3
			MW	20.05.25	DRAFTING	JOB	T18410
						SHEET	01 OF 01
						REV	A
			REF. DATA:				

Ph: 09 438 3563
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PO Box 191, Whangarei 0140
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APPENDIX 5

RS ENG GEOTECHNICAL INVESTIGATION REPORT



GEOTECHNICAL INVESTIGATION REPORT

**16 Puckey Avenue
Kaitaia
(Lot 321 DP 14289)**

GEOTECHNICAL INVESTIGATION REPORT

16 Puckey Avenue

Kaitaia

(Lot 321 DP 14289)

Report prepared for: Waitomo Papakainga Trust

Report reference: 19576

Date: 9 June 2025

Revision: 1

Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
9/06/2025	1	First Issue	C Hay	M Jacobson	M Jacobson



association of
consulting and
engineering

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Appendices

A	Drawings
B	Subsurface Investigations

File: 19576
9 June 2025
Revision: 1

GEOTECHNICAL INVESTIGATION REPORT

16 Puckey Avenue, Kaitaia

(Lot 321 DP 14289)

1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Waitomo Papakainga Trust to investigate the suitability of the property (Lot 321 DP 14289) for residential construction. The purpose of this report is to assess the geotechnical suitability of the building site making foundation and earthworks recommendations.

The client proposes to construct 10 two storey units on the property.

2.0 Site Description

This property is located on the southwestern side of Puckey Avenue, approximately 90m southeast of its intersection with Taaffe Street. The property is near level to gently sloping $<3^\circ$, with slopes adjacent to the southwestern boundary becoming steeply sloping (20°) falling to the Tarawhaturua Stream. Ground coverage is generally in lawn, with an existing shed located towards the western corner of the property which will be removed as part of the development.



Figure 1: Aerial view of property, highlighted in red.

3.0 Desk Study

3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- GNS – Geology Of The Kaitaia Area – Isaac – 1996.

3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map indicates that the property is located within an area that is underlain by Karioitahi Group – Late Pleistocene to Holocene Alluvium, which has been described as follows: *“Unconsolidated to poorly consolidated sand, peat, mud and shell deposits (estuarine, lacustrine, swamp, alluvial and colluvial).”*

3.3 Aerial Photography

RS Eng has undertaken a review of historical aerial photography, specifically images from 1950, 1961, 1985, and Google Earth Imagery. See Figure 2 below of the 1961 image. Several notable features were observed, listed below.

- No notable signs of slope instability were evident over the property or nearby area.
- A dwelling occupied the property from 1950 and was still observed in the 1985 imagery.
- Google Earth imagery from 2003 shows the existing shed and gravel fill carpark occupying the property.
- From 2018, topsoil appears to have been placed over the gravel parking area.



Figure 2: 1961 Aerial Image (Source: www.retrolens.nz).

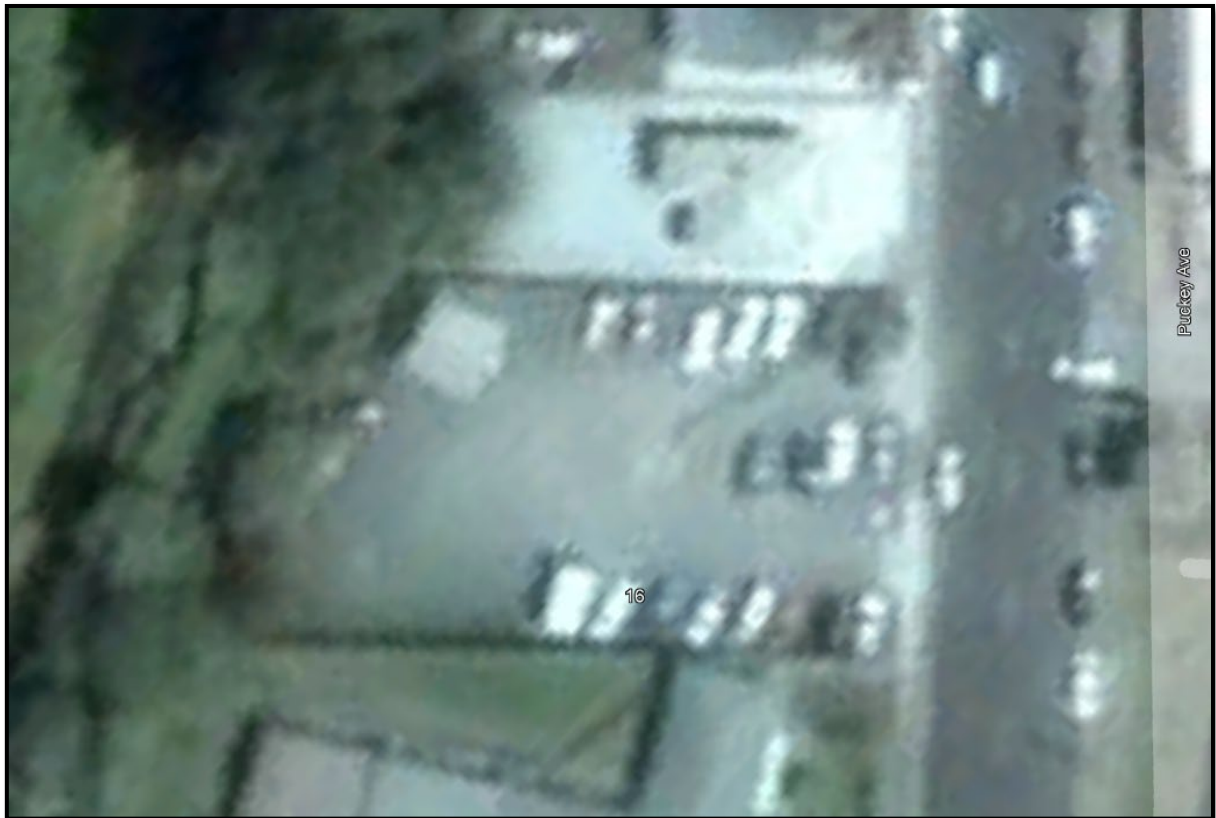


Figure 3: 2004 Google Earth Image.

4.0 Field Investigation

A technician and graduate geologist from this office visited the property on 13 May 2025 to undertake a walkover inspection and six hand augers. The walkover inspection did not observe any signs of concern at the building site in relation to the proposal.

The hand augers were dug to a maximum depth of 3.7m below ground level (BGL). Shear Vane readings were taken at regular intervals throughout the hand augers. Soil and rock descriptions are in general accordance with the New Zealand Geotechnical Society guideline.

Five Cone Penetration Tests were completed by Underground Investigations on the 14 May 2025 to a maximum investigated depth of 19.18m BGL.

5.0 Subsoil Conditions

Interpretation of the subsurface conditions is based on the investigations shown on the drawings in Appendix A. The conditions are summarised below.

- Topsoil was encountered to an approximate depth of 0.1m BGL.
- Non-engineered fill consisting of silty gravel and clayey gravelly silts was encountered over the property to depths up to approximately 0.4m BGL.
- Alluvium consisting of soft to very stiff silty clays, sandy silts, and sandy clays was recorded to depths of 12-14m BGL.
- Inferred weak Punakitere Sandstone underlies the alluvium at depths between 10m to 19m BGL.
- Groundwater was encountered during the investigation at depths of 2.5m and 2.6m BGL. Groundwater inflow was encountered between 1.5m and 2.1m BGL.

6.0 Geotechnical Assessment

6.1 Slope Stability

The property is near level to gently sloping ($<3^\circ$) with slopes immediately to the west becoming steeply sloping, falling to the Tarawhaturua Stream. No signs of existing slope instability was evident on the property. An existing retaining wall less than 1m high, is located on the western boundary. The construction of the existing wall is unknown, however, the units are proposed to be setback 3.5m from the western boundary/retaining wall. If this setback to the existing wall is reduced, further specific assessment shall be taken.

Considering the near level to gentle slopes at the property, findings within our subsoil and walkover investigation, and proposed setback to the existing retaining wall, RS Eng considers the risk of instability affecting the units to be low.

6.2 Settlement

The investigations observed soft to firm clays underlying the property, assessed as being lightly over consolidated. Imposed loads from buildings and fills may result in settlement. Settlements have been assessed from the CPT data using the software CPet-IT, being in the order of 15-25mm/10kPa of imposed load.

To achieve the required floor levels, only minor fills are required, in the order of 150mm. Given the potential fills and likely building loads, settlements of up to 30-50mm are possible, although differential settlements are expected to be less than 1:240.

6.3 Liquefaction

Sand, sandy gravels and sandy silts are potentially at risk of liquefaction induced by earthquake ground shaking. Soils potentially prone to liquefaction are generally classified by a normalised soil behaviours index (I_c) less than 2.6, assessed using the CPT. The CPTs completed across the property observed various thin layers of silty sands and sandy silts at varying depths.

The proposed units are an Importance Level 2 structure, as per AS1170. The following values of peak ground acceleration and magnitude are based on MBIE Geotechnical Engineering Module 1, November 2021.

In accordance with MBIE Geotechnical Engineering Module 3, using the software package, CLiq V.3 analysis was undertaken to assess the potential of earthquake induced liquefaction settlement using Boulanger and Idriss (2014). The results of the analysis are presented in Table 1 below.

Table 1: Liquefaction Analysis/Results.

Seismic Event	PGA	M_w	Liquefaction Potential (LPI)	Liquefaction Severity (LSN)	Free Field Settlement (Full CPT depth)	Free Field Settlement (limited to 10m)
ULS	0.19g	6.5	<2 Low risk	1-7 Little to no expression	1-5cm	0-3cm
1:500	0.13	5.8	0 Low Risk	0-0.8 Little to no expression	0-1cm	0-1cm
SLS	0.03g	5.8	0 Low Risk	0 No expression	0cm	0cm

The analysis has concluded that up to 5cm of free field settlement is expected during a ULS seismic event for the full depth of the CPT, up to approximately 19m BGL. Liquefaction triggering during the SLS seismic event is not likely.

Clay rich soils, assessed as being non-liquefiable, were observed to depths between 3-5m BGL. This results in a 3-5m thick non-liquefiable crust. Due to the depth of the non-liquefiable crust, the risk of surface manifestation is considered low. Loss of support due to surface ejecta is unlikely, however differential settlements are assessed up to 1:300, which are within the acceptable limits (1V:240H) under the NZ Building Code.

6.4 Expansive Soils

The clayey soils encountered on-site are likely to be subject to volumetric change with seasonal changes in moisture content (wet winters / dry summers); this is known as expansive or reactive soils. Apart from seasonal changes in moisture content other factors that can influence soil moisture content at the include:

- Influence of garden watering and site drainage.
- The presence of large trees close to buildings. Large trees can cause variation in the soil moisture content for a distance of up to 1.5 times their mature height.
- Initial soil moisture conditions during construction, especially during summer and more so during a drought. Building platforms that have dried out after initial excavation should be thoroughly wet prior to any floor slabs being poured.
- Plumbing leaks.

Based on a visual tactile assessment made during the subsoil investigation, and laboratory test results in this geology within similar terrain, RS Eng considers the soils as being Class H1 (highly expansive) as per AS 2870.

7.0 Engineering Recommendations

7.1 Site Subsoil Class

In accordance with NZS 1170.5:2004, Section 3.12.3 the site has been assessed for its Site Subsoil Class. Based on the observations listed above RS Eng considers the site soils lie within Site Class D *“Deep or Soft Soil Site.”*

7.2 Earthworks

To form access to and create building platforms for the proposed units, earthworks are proposed. To suitably develop the building area, RS Eng recommend as follows.

- The building site and driveway should be shaped to assist in stormwater run-off and avoid ponding of surface water.
- All existing fill and topsoil shall be removed and replaced with compacted granular hardfill to bring the ground up to level.
- Cuts shall be limited to a maximum of 0.5m, with the exception of temporary undercuts.
- Fills above existing ground level shall be avoided where possible.
- Cut and fill batters should be sloped at angles less than 1V to 3H.
- Site works shall generally be completed in accordance with NZS 4431.

7.3 Existing Services

An existing cesspit is located within a depression near the centre of the property. A 225mmØ PVC pipe falls from the cesspit and outlets on the western slopes/stream outside of the western property boundary.

The units are proposed over part of this stormwater pipeline, and therefore will require removing and replacing with compacted granular hardfill where located under any of the foundations for the units. The existing depression will require re-shaping to allow stormwater to disperse towards Puckey Avenue, or alternatively, new stormwater pipes shall be incorporated outside of any unit foundations.

7.4 Building Platform Drainage

To mitigate the potential for surface water pooling in the hardfill of the building platform, RS Eng recommend subsoil drainage is implemented. Alternatively, the building platform and subgrade could be shaped to allow any pooling surface water to shed from the hardfill to lower ground. The situation where surface pooling in hardfill is of particular risk is on near level natural ground or large near level cut sites where earth, paving or topsoil is left or placed that prevents natural drainage or surface water draining during wet periods. RS Eng is aware of situations where pooling surface water is a contributing factor of rising damp on concrete slabs and raft floors.

7.5 Shallow Foundations

The specific foundation system for the proposed units is unknown at this stage, however, it is expected to consist of RibRaft slabs or similar. To suitably found the proposed construction, RS Eng make the following recommendations.

- Raft slabs shall be specifically designed by a Chartered Professional Engineer for Class H1 soil and be placed on a minimum of 150mm compacted granular hardfill extending 1.0m beyond the building envelope.
- Conventional concrete slab on grade foundations shall be specifically designed by a Chartered Professional Engineer for Class H1 soils.
- Isolated standard NZS 3604 type pile foundations supporting decks, verandas, or similar shall extend to a minimum depth of 0.9m below cleared ground level or 0.5m below any existing fill material, whichever depth is greatest.
- Pile shaft adhesion shall be ignored from the surface to a depth of 0.9m due to the presence of Class H soils as per AS 2870.

Notwithstanding the recommendations of this report, for the specific design of shallow foundations, RS Eng has assessed the following.

- 300kPa Ultimate Bearing Capacity (Geotechnical Ultimate).
- 150kPa Dependable Bearing Capacity (Ultimate Limit State).
- 100kPa Allowable Bearing Capacity (Serviceability Limit State).

7.6 Timber Pole Retaining Walls

Retaining walls shall be specifically designed by a suitably experienced Chartered Professional Engineer familiar with the contents of this report, using the assessed soil parameters presented in Table 2. Retaining walls shall be designed for at rest earth pressures.

Table 2: Assessed Retaining Wall Design Parameters.

Parameter	Alluvium
Soil Density (kN/m ³)	19
Friction Angle (°)	26
Drained Cohesion, (kPa)	0
Undrained Shear Strength (kPa)	50

A strength reduction factor of 0.5 shall be adopted for limit state design of the lateral capacity of cantilever retaining wall pile foundations.

7.7 Stormwater Disposal

All stormwater should be collected from roofs and paved surfaces and discharged in a controlled manner. RS Eng recommends stormwater is discharged towards the Tarawhaturua Stream. The existing stormwater pipe may be utilised, however part of the pipe will have to be removed where located under the units.

8.0 Construction Monitoring and Producer Statements

RS Eng recommends a suitably experienced Chartered Professional Engineer monitor the construction of the following works to confirm if the geotechnical conditions are consistent with that outlined in this report.

- Stripped sites once all topsoil, existing fill, and the existing stormwater pipe beneath of units has been removed.
- Hardfill compaction.

Any works not inspected will be excluded from future producer statements (PS4) to be issued by RS Eng. In any event, where doubt exists regarding inspections, this office should be contacted for advice and provided with reasonable notice of inspections.

9.0 Conclusions

It is the conclusion of RS Eng Ltd that the building area is suitable for the proposal provided the recommendations and limitations stated within this report are adhered to.

RS Eng Ltd also concludes that subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004;

(a) the building work to which an application for a building consent relates will not accelerate, worsen, or result in slippage or subsidence on the land on which the building work is to be carried out or any other property; and

(b) the land is neither subject to nor likely to be subject to slippage or subsidence.

10.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to determine the engineering suitability of the proposed unit development, in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed. If during the construction process, conditions are encountered that differ from the inferred conditions on which the report has been based, RS Eng should be contacted immediately.

Construction site safety is the responsibility of the builder/contractor. The recommendations included herein should not be construed as direction of the contractor's methods, construction sequencing or procedures. RS Eng can provide recommendations if specifically engaged to, upon request.

This report does not address matters relating to the National Environmental Standard for Contaminated Sites, and if applicable separate advice should be sought on this matter from a suitably qualified person.

Prepared by:



Codie Hay
Senior Technician
NZDE(Civil)

Reviewed and Approved by:

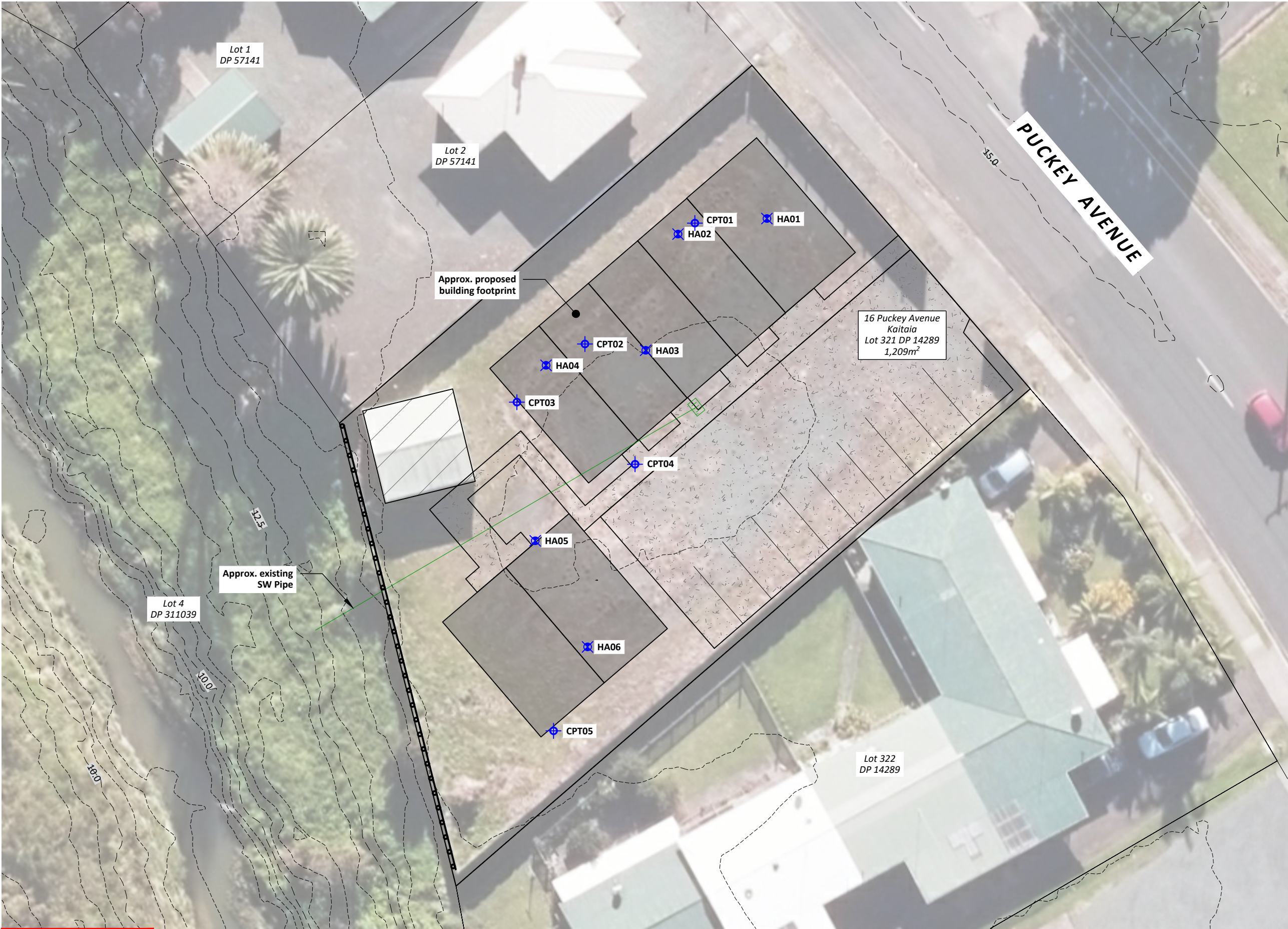


Matthew Jacobsen
Director
NZDE(Civil), BE(Hons)(Civil), CPEng, CMEngNZ

RS Eng Ltd

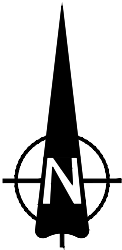
Appendix A

Drawings



FOR APPROVAL

- NOTES:
- If any part of these documents are unclear, please contact RSEng Ltd.
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LEGEND

- Hand Auger Location
- Cone Penetration Test Location
- Proposed Units
- Proposed Carpark & Footpath
- Existing Stormwater Pipe
- Existing Stormwater Sump

Contour Interval: 0.5m
Vertical Datum: NZVD2016
Survey Data Source: LiDAR (2018)


0 2.5 5
PLAN 1:250

	RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission. If any part of these documents are unclear, please contact RS Eng Ltd.	PROPOSED DWELLINGS SITE PLAN SITE INVESTIGATIONS	Client WAITOMO PAKAINGA TRUST						Scale 1:250	Rev No. A
				Location 16 PUCKEY AVENUE KAITAIA						Original A3	Sheet No. C01
								14/04/2025 A Original Issue			
				Date		Rev	Notes		Job No. 19576		
				Drawn by: LMC			Reviewed by: CH		Approved by: MJ		


Appendix B

Subsurface Investigations


Generated with CORE-GS by Gero - 1 - Hand Auger - RS Standard scale & vane bars - 13/05/2025 3:54:15 pm

<div><div><div>RS Eng</div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA01</div>	
		<div>CLIENT: Waitomo Papakainga</div> <div>PROJECT: Geotechnical Investigations</div>					<div>JOB NO.:</div> <div>19576</div>	
<div>SITE LOCATION: 16 Puckey Avenue</div> <div>CO-ORDINATES: 1623906mE, 6114248mN</div>		<div>ELEVATION: 14.6m</div>					<div>START DATE: 13/05/2025</div> <div>END DATE: 13/05/2025</div> <div>LOGGED BY: RB</div>	
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
TS	TOPSOIL				2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
FILL	Clayey gravelly SILT; brown/grey. Very stiff; moist; low plasticity; gravel, fine to medium; [FILL].		0.2					
Kariotiahi Gr	Silty CLAY; grey/orange. Stiff; moist; high plasticity.		0.4				130	
			0.6				55	
			0.8					
			1.0				101	
			1.2				46	
			1.4				130	
	Clayey SILT; orange/brown/grey. Very stiff; moist; high plasticity.		1.6				52	
	Sandy SILT, with some clay; orangish brown. Stiff; dry to moist; low plasticity; sand, fine.		1.8				134	↗
		2.0				58		
Clayey sandy SILT; orangish brown. Stiff; moist; low plasticity; sand, fine to medium.		2.2						
Moist to wet.		2.4				176		
		2.6				49		13/05/2025
		2.8						
		3.0				101		
		3.2				26		
	Sandy CLAY; greyish brown. Firm; moist; high plasticity; sand, fine to medium.		3.4					
	End Of Hole: 3.40m		3.6					
			3.8					
PHOTO(S)				REMARKS				
				<div><div>WATER</div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↔ In flow</div></div> <div><div>INVESTIGATION TYPE</div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div>				


Generated with CORE-GS by Geroo - 1 - Hand Auger - RS Standard scale & vane bars - 15/05/2025 3:54:16 pm


<div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div><div><div>RS</div><div>Eng</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA02</div>	
<div>CLIENT: Waitomo Papakainga</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19576</div>						
<div>SITE LOCATION: 16 Puckey Avenue</div> <div>CO-ORDINATES: 1623900mE, 6114247mN</div>					<div>ELEVATION: 14.6m</div> <div>START DATE: 13/05/2025</div> <div>END DATE: 13/05/2025</div> <div>LOGGED BY: CH</div>			
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
					2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
TS	TOPSOIL			TS				
FILL	Silty GRAVEL; brownish grey. Medium dense; dry; non-plastic; gravel, fine to coarse; [FILL].		0.2					
	Silty CLAY; yellowish brown. Firm to stiff; moist; high plasticity.		0.4					
	With some sand. Sand, fine.		0.6				86	
	With trace sand; yellowish brown/white mottling. Sand, fine.		0.8				26	
			1.0				124	
			1.2				46	
			1.4					
			1.6				144	
	Clayey sandy SILT; dark orangish brown. Stiff; moist; low plasticity; sand, fine to medium.		1.8				55	
			2.0				144	
			2.2				58	
			2.4					
			2.6				118	
	Sandy CLAY, with trace gravel; dark grey. Firm to stiff; wet; low plasticity; gravel, fine to medium.		2.8				26	
			3.0				115	
			3.2				40	
			3.4					
			3.6				109	
			3.8				37	
	End Of Hole: 3.70m							
PHOTO(S)				REMARKS				
				<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↔ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>				


Generated with CORE-GS by Geroo - 1 - Hand Auger - RS Standard scale & vane bars - 15/05/2025 3:54:16 pm

<div><div><div>RS Eng</div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA03</div>	
		<div>CLIENT: Waitomo Papakainga</div> <div>PROJECT: Geotechnical Investigations</div>					<div>JOB NO.:</div> <div>19576</div>	
<div>SITE LOCATION: 16 Puckey Avenue</div> <div>CO-ORDINATES: 1623898mE, 6114239mN</div>		<div>ELEVATION: 14.5m</div>					<div>START DATE: 13/05/2025</div> <div>END DATE: 13/05/2025</div> <div>LOGGED BY: RB</div>	
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
TS	TOPSOIL				2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
FILL	Clayey gravelly SILT, with minor cobbles; brown/grey. Very stiff; moist; low plasticity; gravel, fine to medium; [FILL].		0.2					
			0.4					
	Silty CLAY; grey/orange. Stiff; moist; high plasticity.		0.6				94	
			0.8				43	
			1.0				115	
			1.2				43	
			1.4					
			1.6				151	
	Sandy SILT, with some clay; orange/brown. Very stiff; dry; low plasticity.		1.8				58	
			2.0				144	
			2.2				46	
			2.4					
	Sandy CLAY; greyish brown. Firm; moist to wet; high plasticity; sand, fine to medium.		2.6				122	
			2.8				37	
			3.0				170	
			3.2				43	
	End Of Hole: 3.20m		3.4					
			3.6					
			3.8					
PHOTO(S)				REMARKS				
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Generated with CORE-GS by Geroo - 1 - Hand Auger - RS Standard scale & vane bars - 15/05/2025 3:54:19 pm

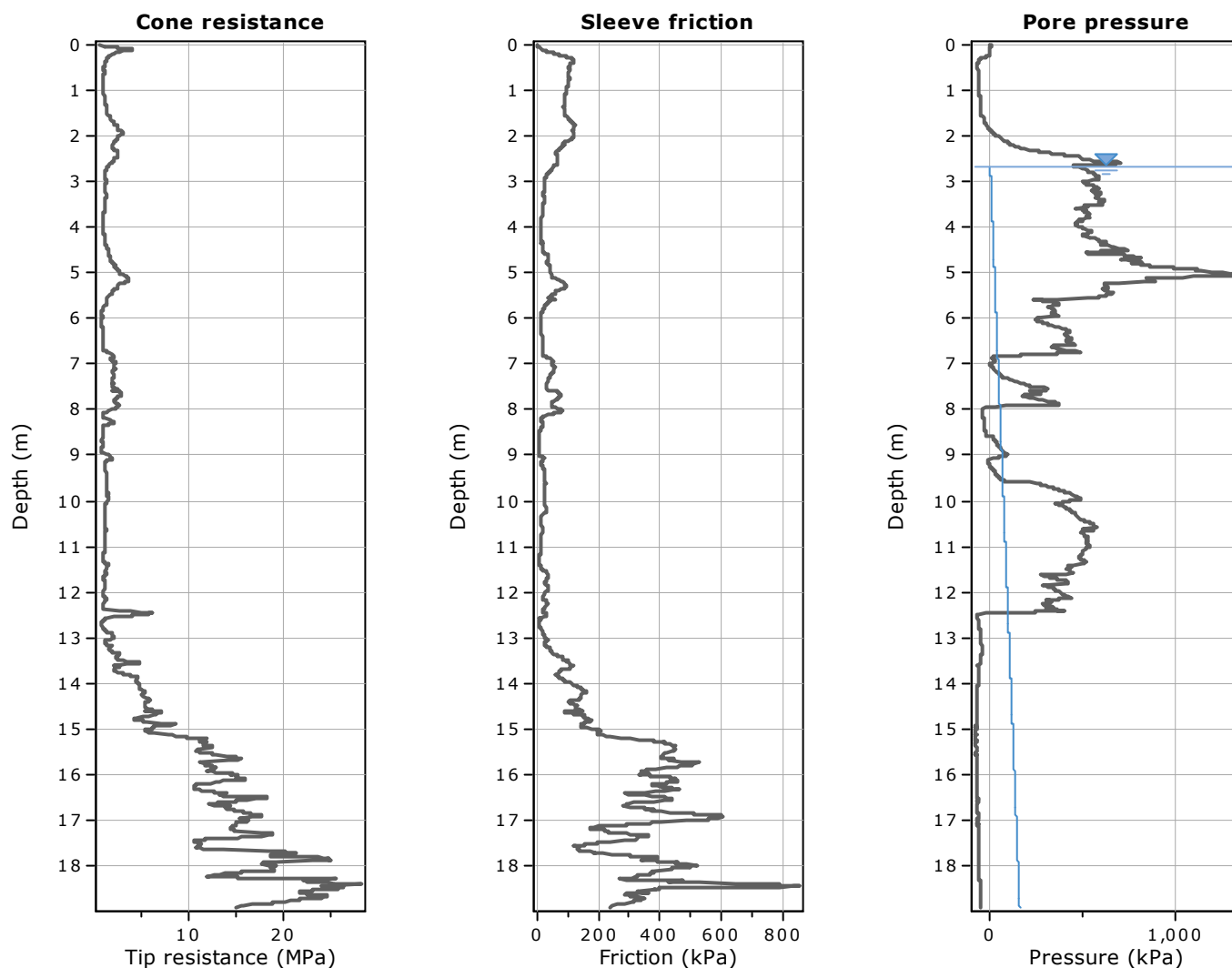
<div><div><div>RS Eng Ltd</div><div>09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110</div></div><div><div>RS Eng Ltd</div><div>09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA04</div>	
<div>CLIENT: Waitomo Papakainga</div> <div>PROJECT: Geotechnical Investigations</div>		<div>JOB NO.:</div> <div>19576</div>						
<div>SITE LOCATION: 16 Puckey Avenue</div> <div>CO-ORDINATES: 1623891mE, 6114238mN</div>					<div>ELEVATION: 14.6m</div>		<div>START DATE: 13/05/2025</div> <div>END DATE: 13/05/2025</div> <div>LOGGED BY: CH</div>	
UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
					2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
TS	TOPSOIL			TS				
FILL	Silty GRAVEL; brownish grey. Medium dense; dry; non-plastic; gravel, fine to coarse; [FILL].		0.2					
			0.4					
	Silty CLAY; yellowish brown. Firm to stiff; moist; high plasticity.		0.6				92	
			0.8				40	
	With trace sand; white/orangish brown mottling. Sand, fine.		1.0				98	
			1.2				58	
			1.4				201+	
	Clayey sandy SILT, with minor gravel; dark orangish brown. Stiff; moist; low plasticity; gravel, fine, subround.		1.6				55	
			1.8					
			2.0				144	
			2.2				58	
			2.4					
	Sandy CLAY, with trace gravel; dark grey. Firm to stiff; wet; low plasticity; gravel, fine to medium.		2.6				130	
			2.8				52	
			3.0				86	
	End Of Hole: 3.00m		3.2				29	
			3.4					
			3.6					
			3.8					
PHOTO(S)				REMARKS				
				<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↔ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>				

<div><div><div>RS</div><div>Eng</div></div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA05</div>	
		<div>CLIENT: Waitomo Papakainga</div> <div>PROJECT: Geotechnical Investigations</div>					<div>JOB NO.:</div> <div>19576</div>	
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UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
TS	TOPSOIL			TS TS	2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
FILL	Clayey gravelly SILT, with minor cobbles; brown/grey. Very stiff; moist; low plasticity; gravel, fine to medium; [FILL].		0.2					
Karioitahi Gr	Silty CLAY; grey/orange. Stiff; moist; high plasticity.		0.4				115	
			0.6			58		
			0.8					
			1.0		130			
			1.2		58			
			1.4					
			1.6		130			
			1.8		50			
			2.0		201+			
	Sandy SILT, with some clay; orange/brown. Very stiff; dry; low plasticity.		2.2					
		2.4						
		2.6		158				
Sandy CLAY; greyish brown. Firm; moist to wet; high plasticity; sand, fine to medium.		2.8				39		
		3.0		58				
End Of Hole: 3.20m			27					
			3.2					
			3.4					
			3.6					
			3.8					
PHOTO(S)				REMARKS				
				<div><div>WATER</div><div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↵ In flow</div></div></div> <div><div>INVESTIGATION TYPE</div><div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div></div>				

<div><div><div>RS</div><div>Eng</div></div><div><div>RS Eng Ltd</div><div>09 438 3273</div><div>office@RSEng.co.nz</div><div>2 Seaview Road,</div><div>Whangarei 0110</div></div></div>		<div>HAND AUGER LOG</div>					<div>HOLE NO.:</div> <div>HA06</div>	
		<div>CLIENT: Waitomo Papakainga</div> <div>PROJECT: Geotechnical Investigations</div>					<div>JOB NO.:</div> <div>19576</div>	
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UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)	VANE SHEAR STRENGTH (kPa) Vane: GEO3603		WATER
					2 4 6 8 10 12 14 16 18	50 100 150 200	Values	
TS	TOPSOIL			TS				
FILL	Silty GRAVEL; brownish grey. Medium dense; dry; non-plastic; gravel, fine to coarse; [FILL].		0.2					
			0.4					
	Silty CLAY; yellowish brown. Firm to stiff; moist; high plasticity.		0.6				101	
			0.8				46	
			1.0				112	
			1.2				49	
			1.4					
			1.6				155	
Kariotiahi Gr	Clayey sandy SILT; dark orangish brown. Stiff; moist; low plasticity.		1.8				49	↕
			2.0				144	
			2.2				43	
			2.4					
			2.6				158	
	Sandy CLAY, with trace gravel; dark grey. Firm to stiff; wet; low plasticity; gravel, fine to medium.		2.8				58	
			3.0				101	
	End Of Hole: 3.00m		3.2				69	
			3.4					
			3.6					
			3.8					
PHOTO(S)				REMARKS				
								
				<div>WATER</div> <div><div>▼ Standing Water Level</div><div>▷ Out flow</div><div>↔ In flow</div></div>				
				<div>INVESTIGATION TYPE</div> <div><div><input checked="" type="checkbox"/> Hand Auger</div><div><input type="checkbox"/> Test Pit</div></div>				

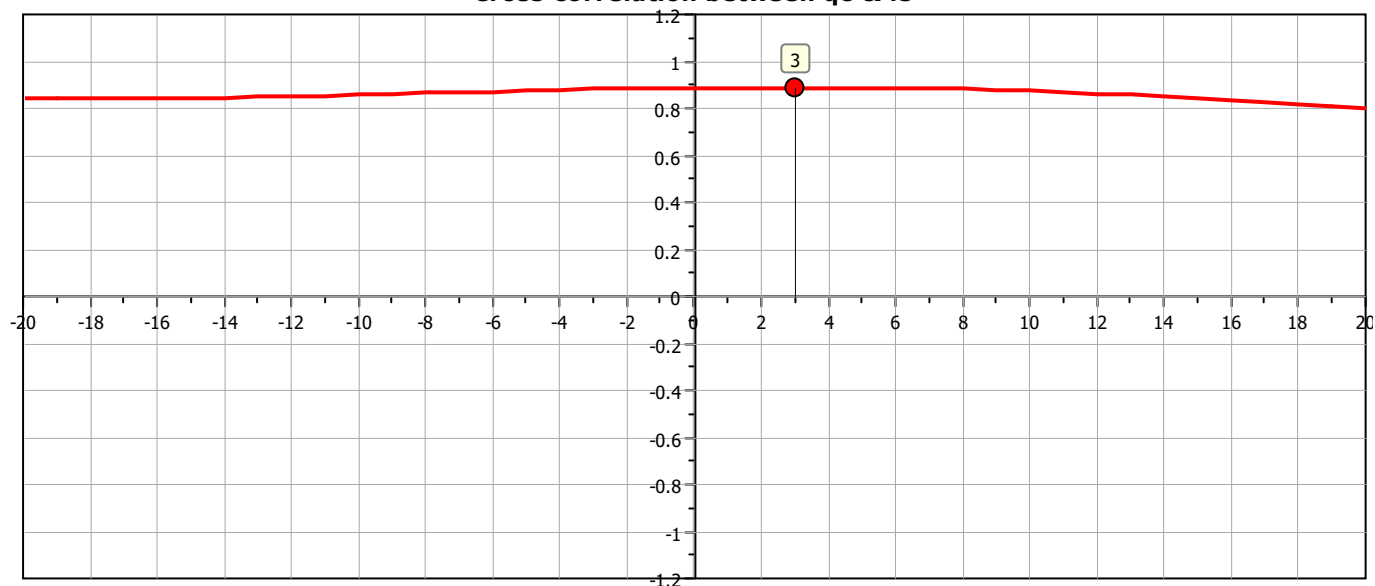
Project:

Location:



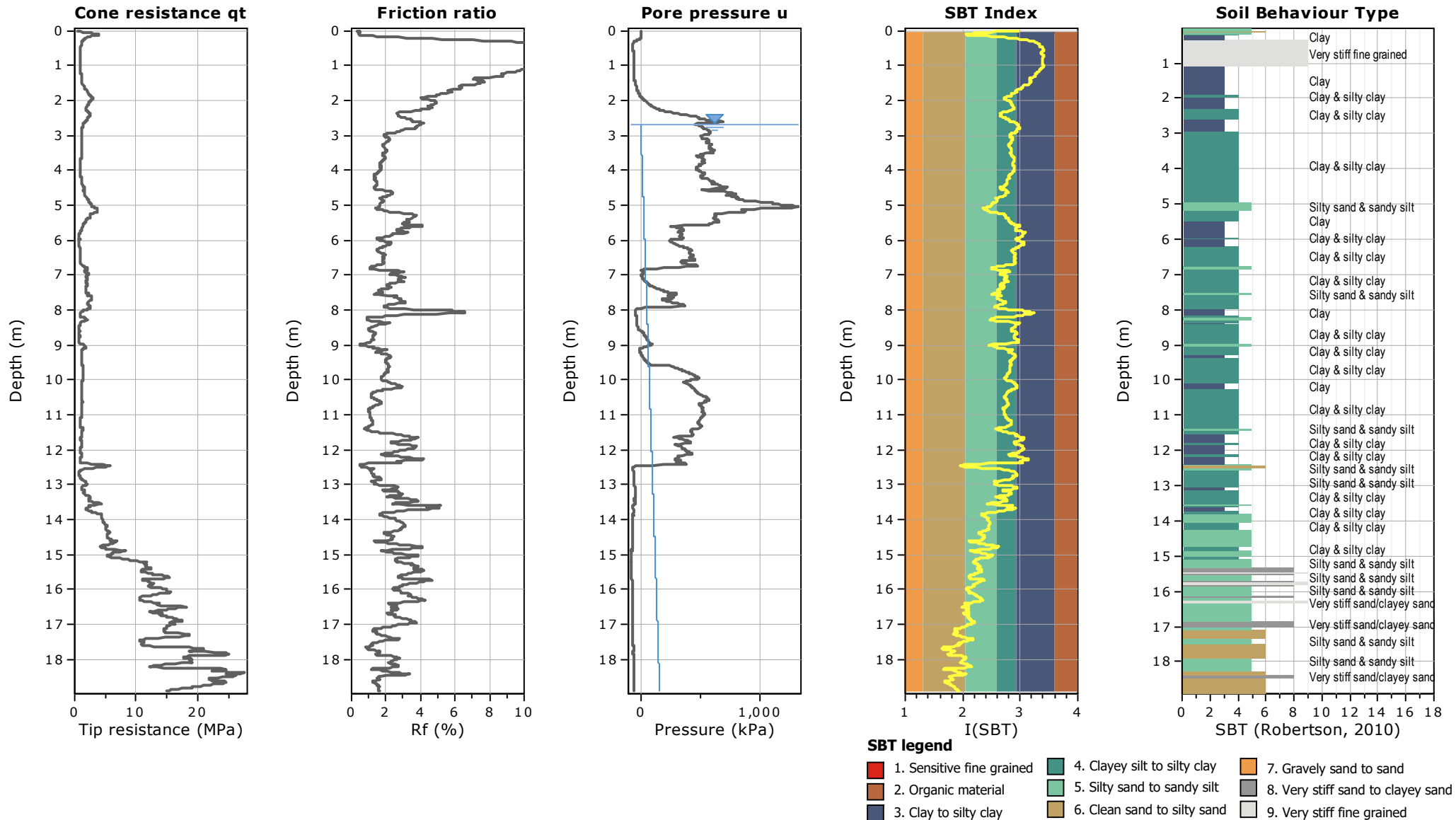
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Cross correlation between qc & fs



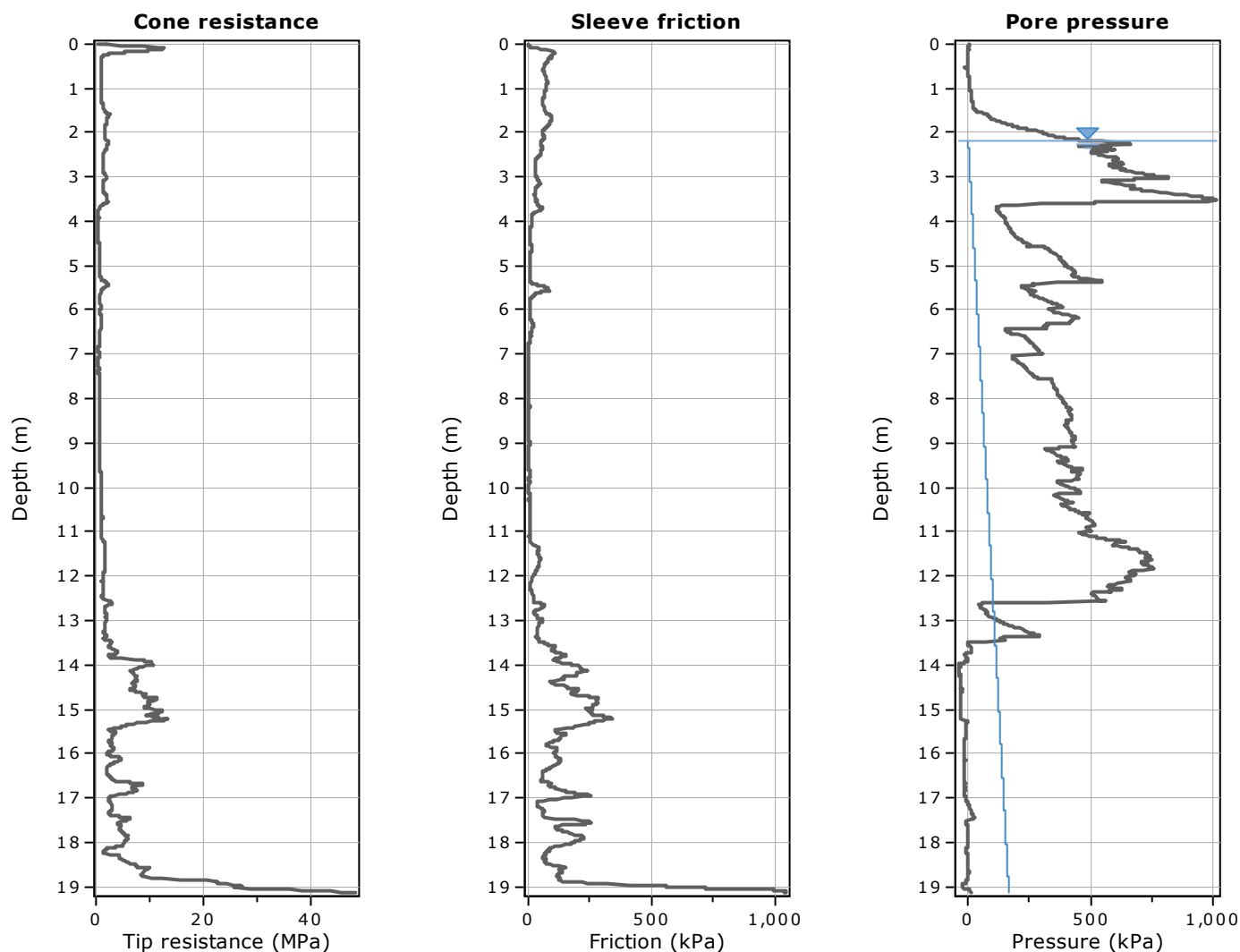
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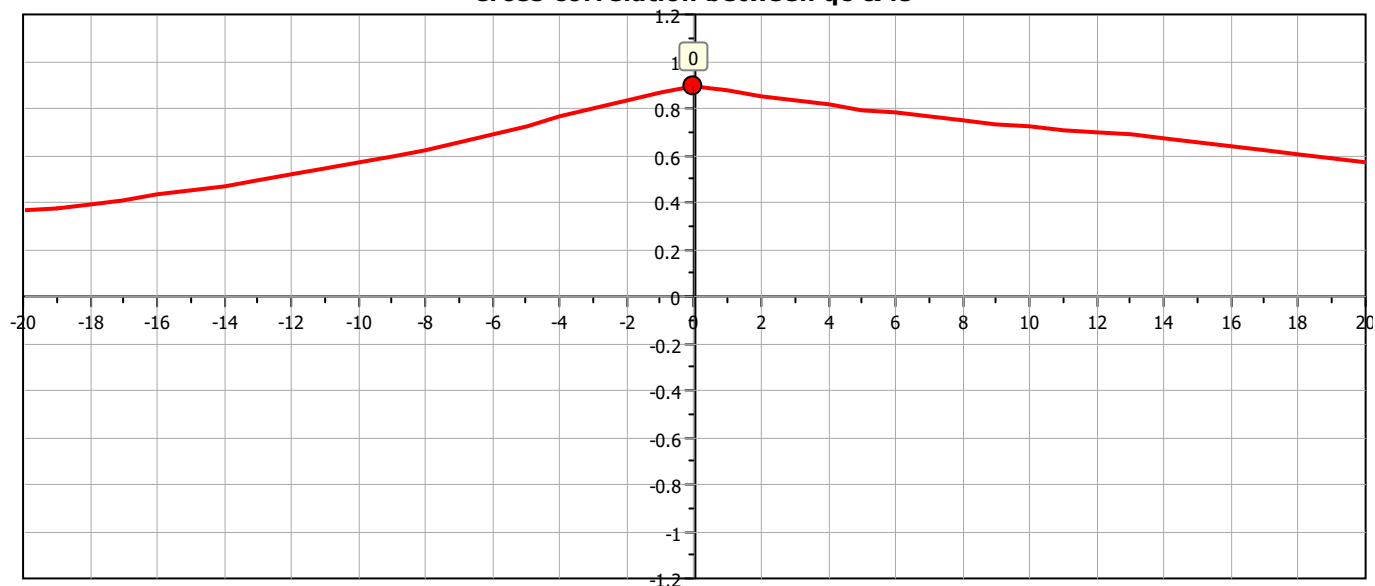
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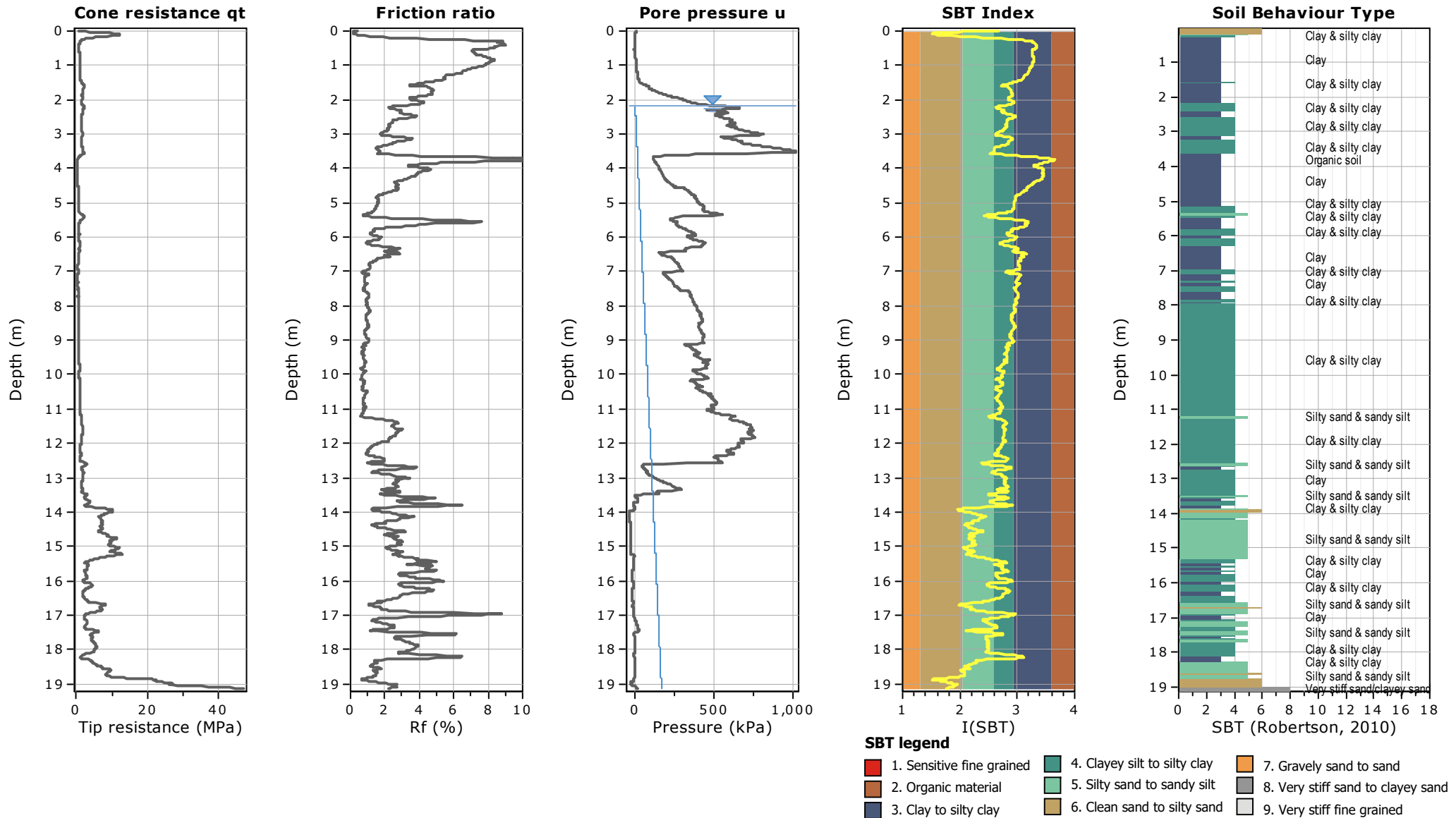
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Cross correlation between qc & fs



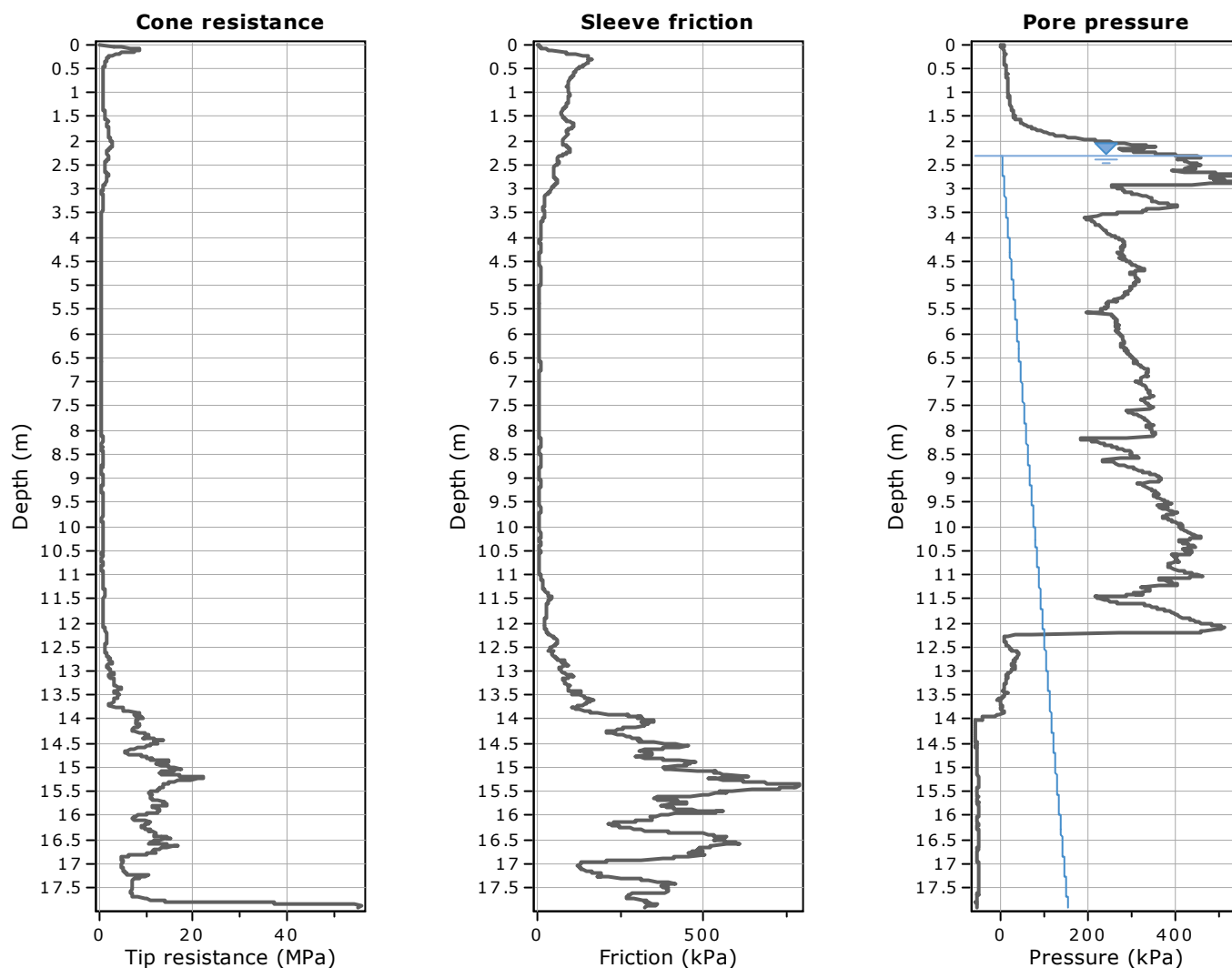
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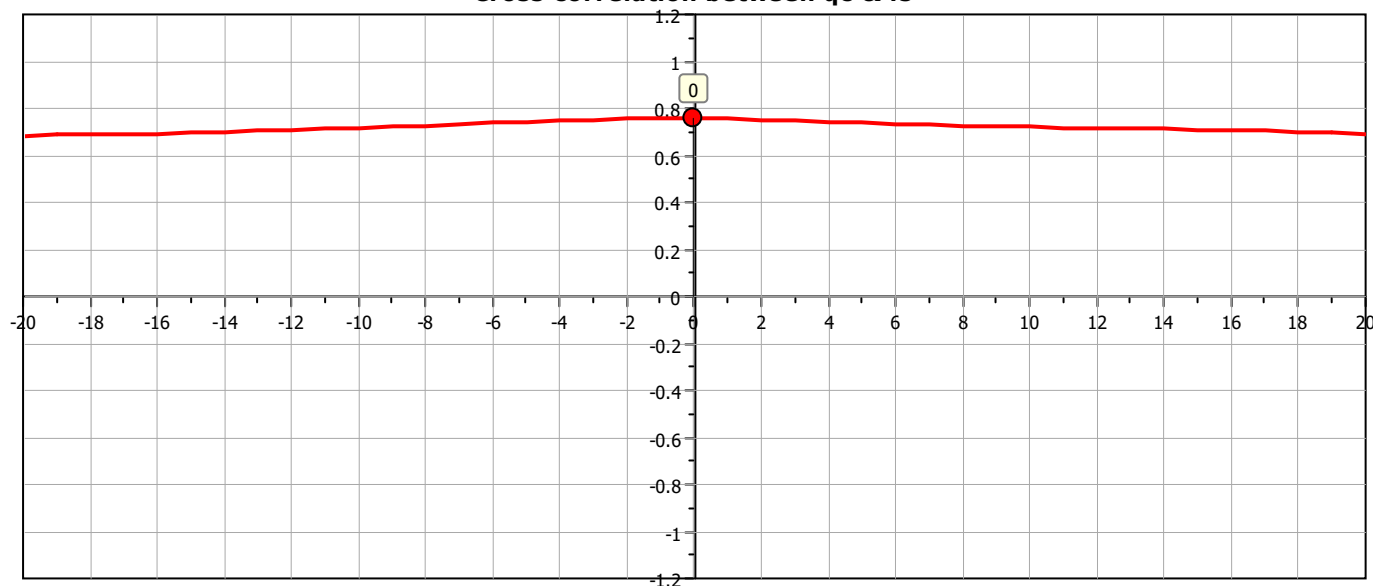
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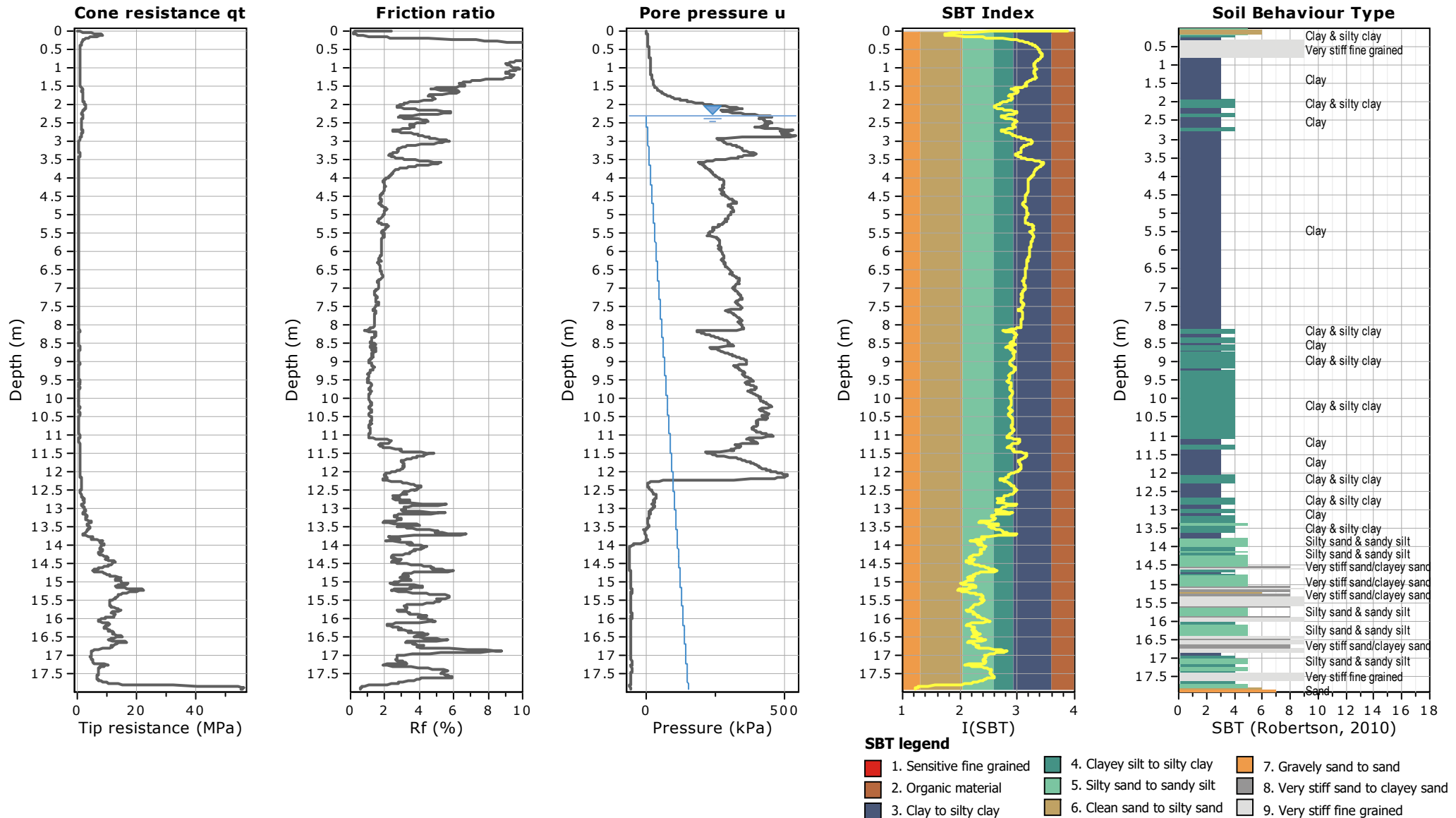
The plot below presents the cross correlation coefficient between the raw q_c and f_s values (as measured on the field). X axes presents the lag distance (one lag is the distance between two successive CPT measurements).

Cross correlation between q_c & f_s



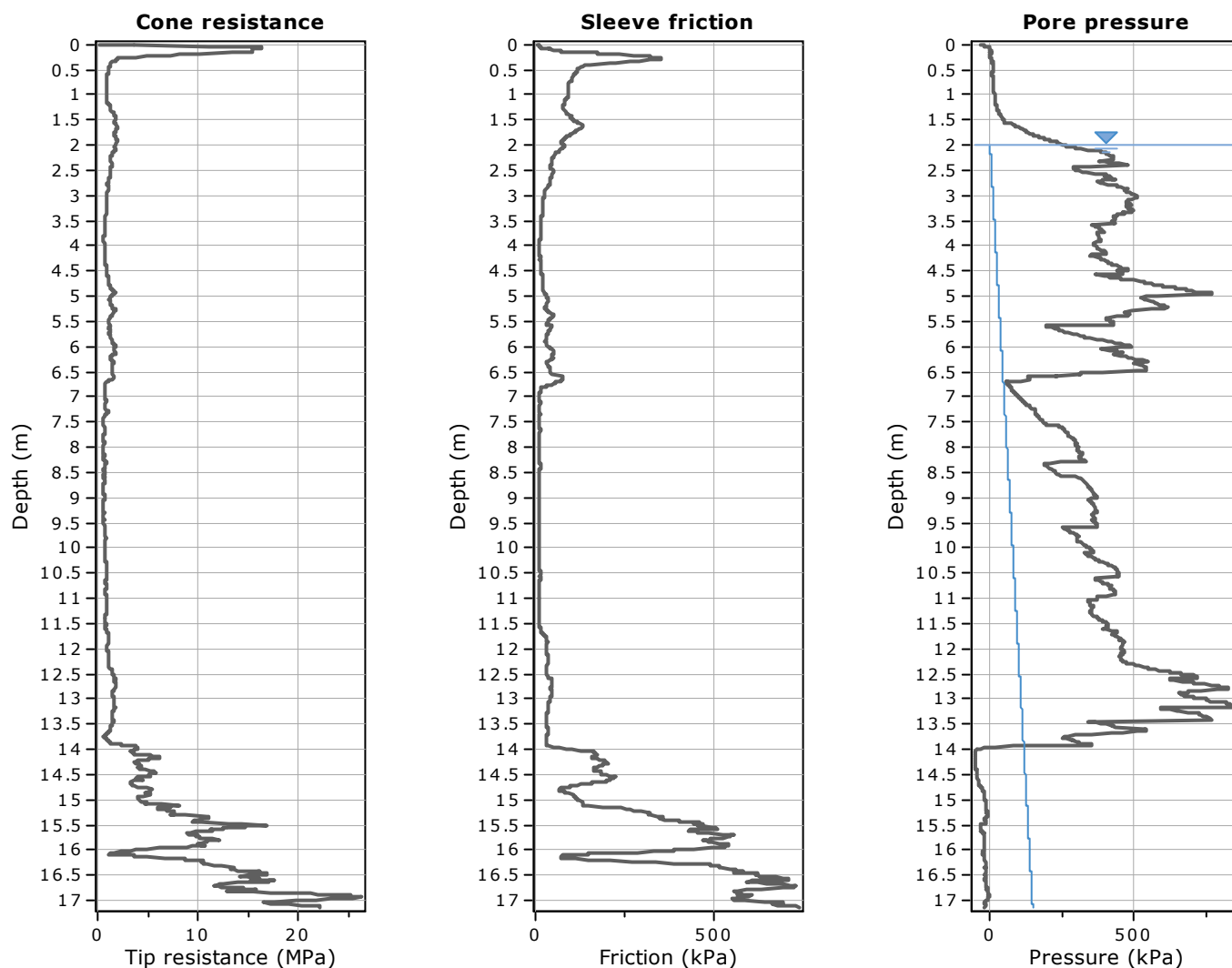
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Location:



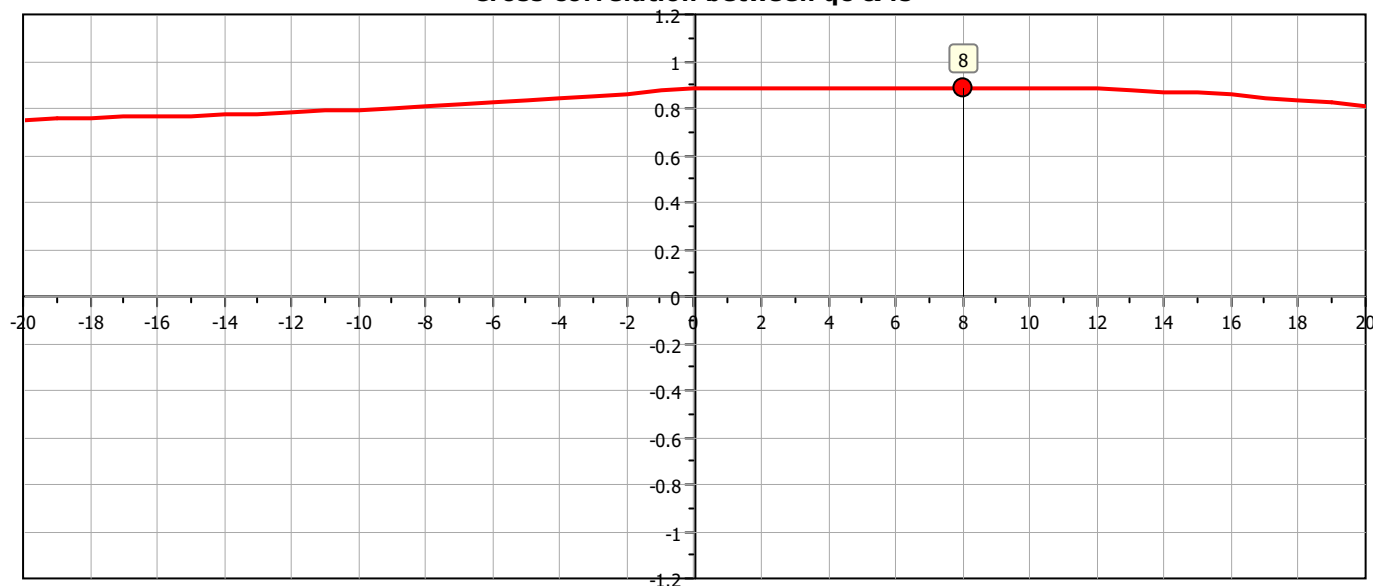
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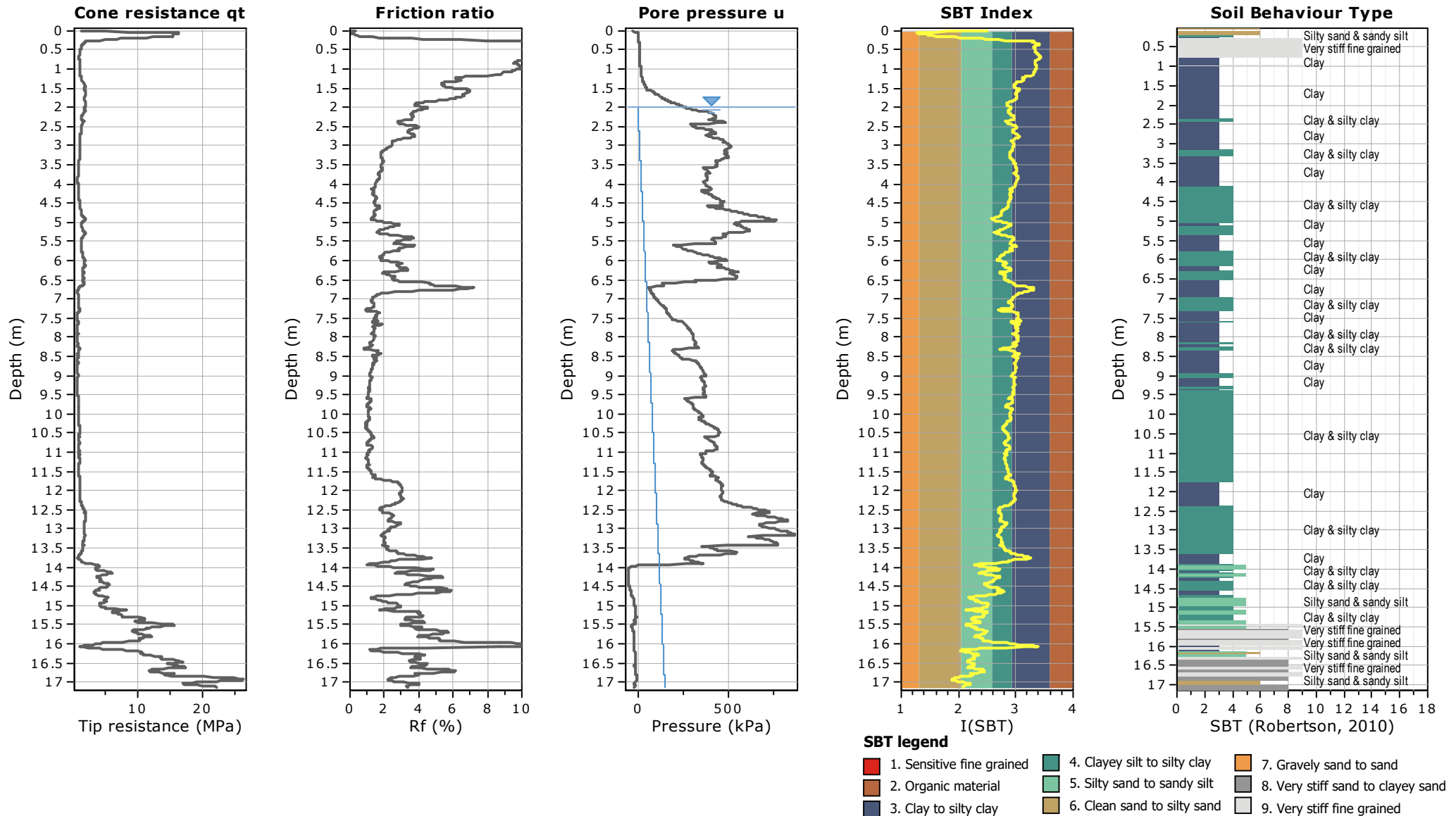
The plot below presents the cross correlation coefficient between the raw q_c and f_s values (as measured on the field). X axes presents the lag distance (one lag is the distance between two successive CPT measurements).

Cross correlation between q_c & f_s



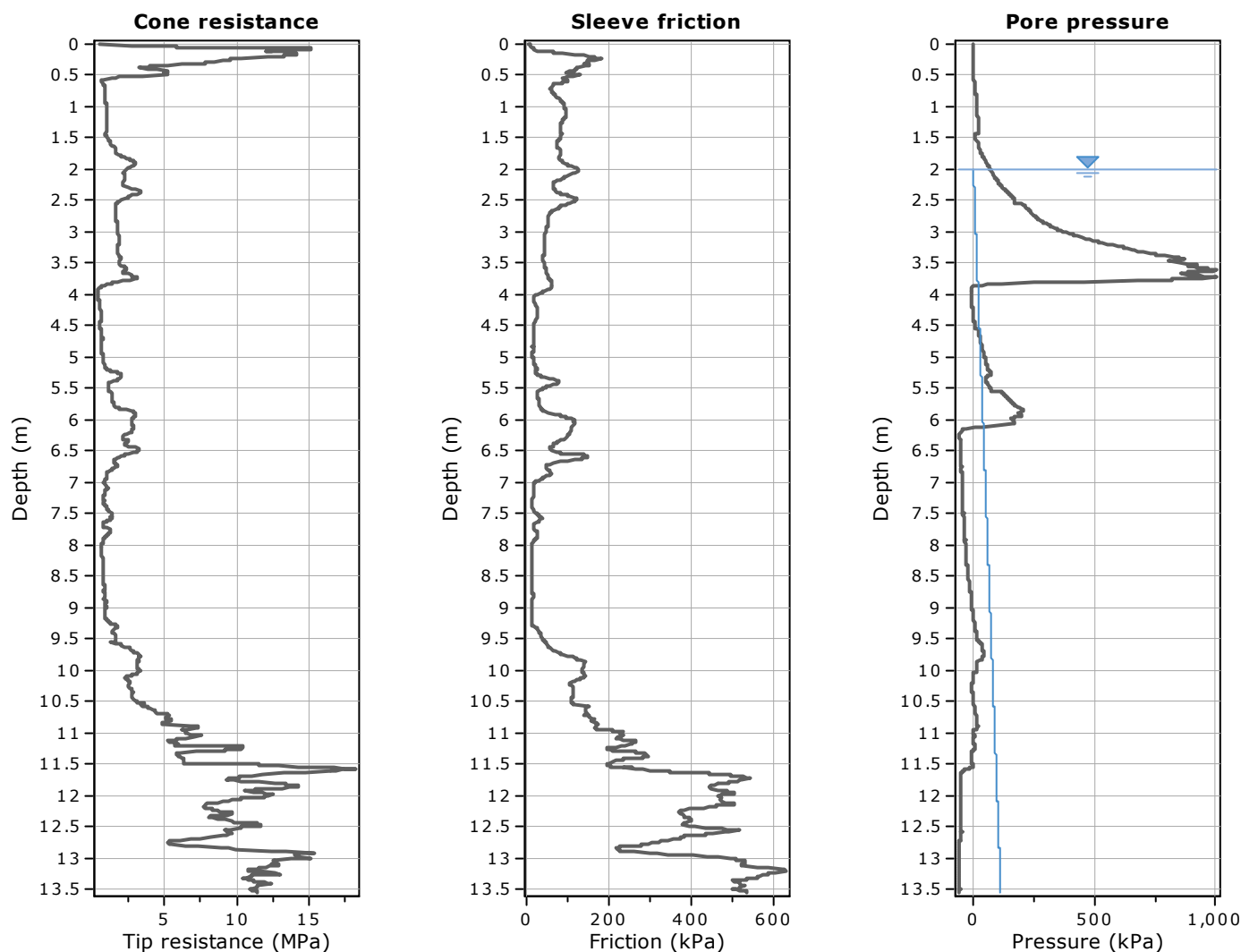
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Location:



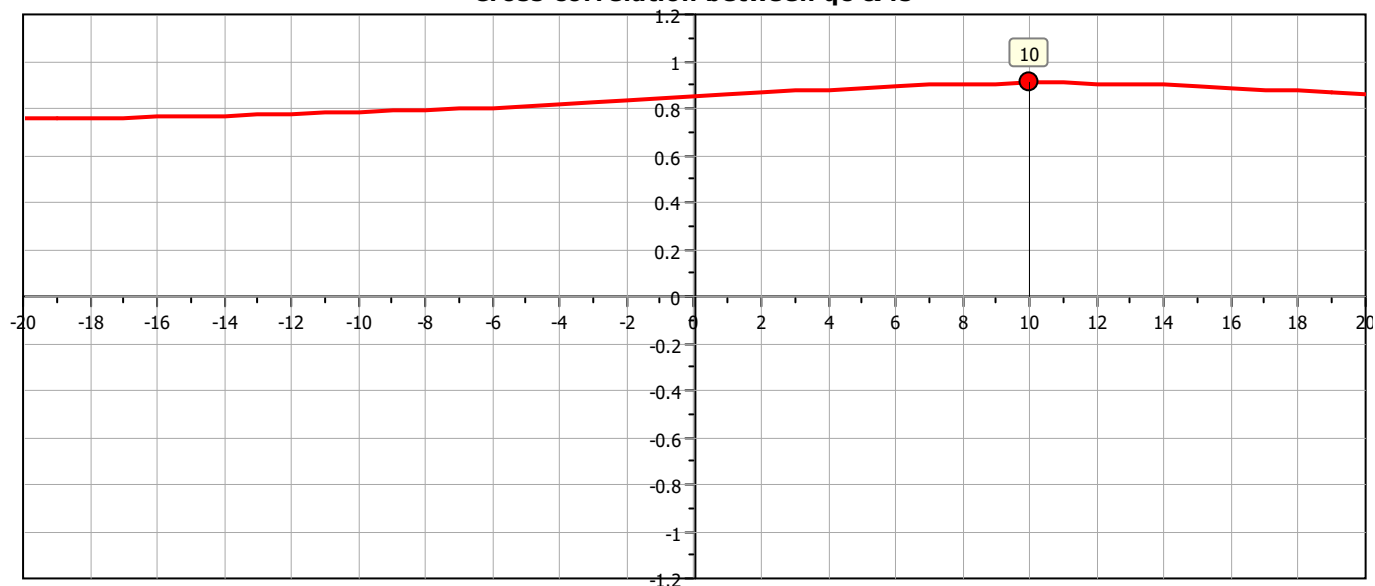
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Location:



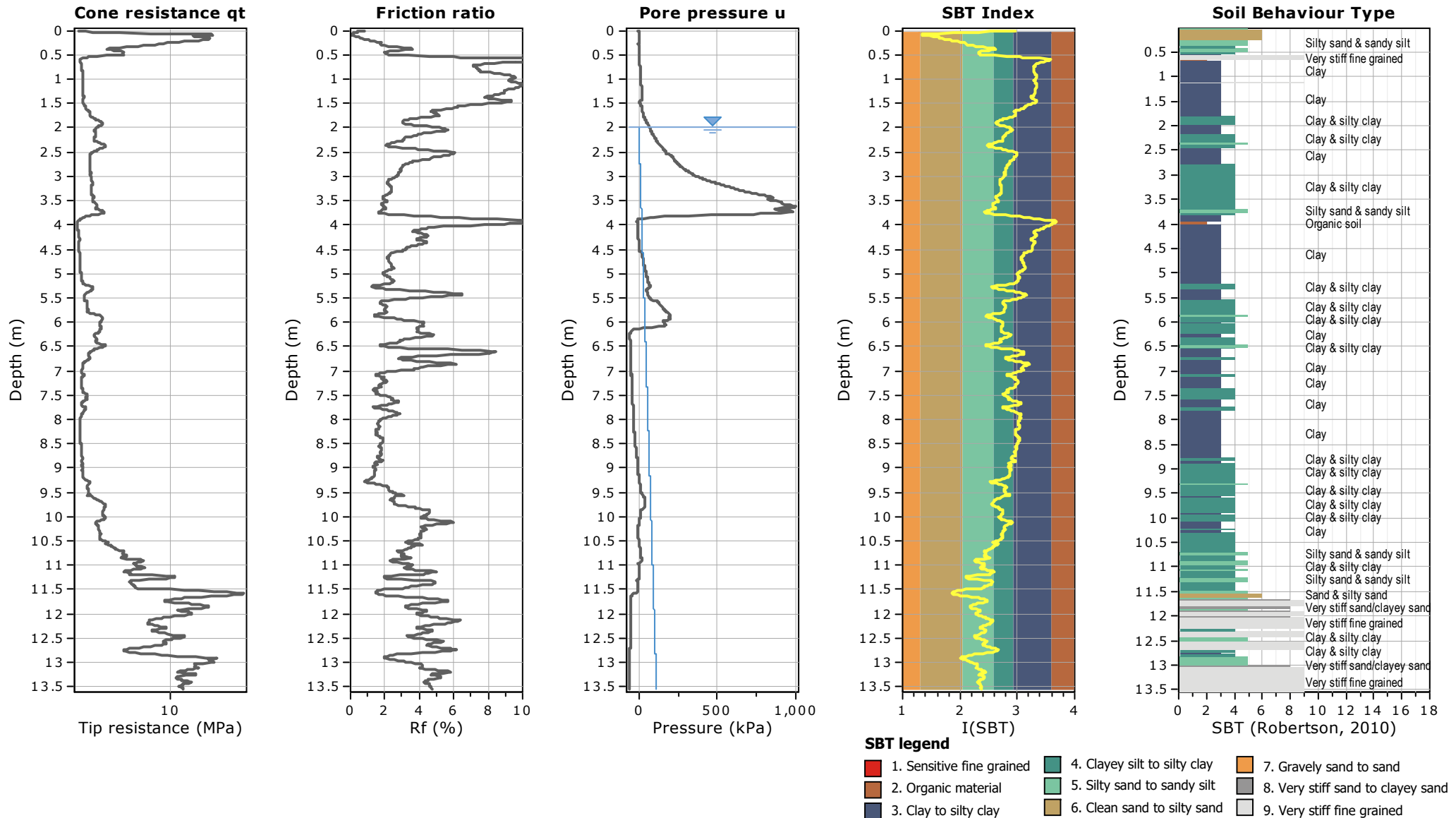
The plot below presents the cross correlation coefficient between the raw qc and fs values (as measured on the field). X axes presents the lag distance (one lag is the distance between two successive CPT measurements).

Cross correlation between qc & fs



Project:

Location:



APPENDIX 6

RS ENG THREE WATERS REPORT



THREE WATERS REPORT

16 Puckey Avenue

Kaitaia

(Lot 321 DP 14289)

THREE WATERS REPORT

16 Puckey Avenue

Kaitaia

(Lot 321 DP 14289)

Report prepared for: Waitomo Papakainga Trust

Report reference: 19576

Date: 3 July 2025

Revision: 1

Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
03/07/2025	1	Building Consent Issue	M Jacobson	C Hay	M Jacobson



association of
consulting and
engineering

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Appendices

A	Drawings
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THREE WATERS REPORT

16 Puckey Avenue, Kaitaia

(Lot 321 DP 14289)

1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Waitomo Papakainga Trust to investigate the suitability of their property (Lot 321 DP 14289) for residential construction. The purpose of this report is to assess the preliminary water supply, stormwater attenuation and disposal, flood susceptibility and effects assessment, and wastewater disposal to serve the proposed development.

The client proposes to construct 10 units on the property, comprising six 1-bedroom units and four 2-bedroom units.

2.0 Site Description

This property is located on the southwestern side of Puckey Avenue, approximately 90m southeast of its intersection with Taaffe Street. The property is near level to gently sloping $<3^\circ$, with slopes adjacent to the southwestern boundary becoming steeply sloping (20°), falling to the Tarawhaturoa Stream. Ground coverage is generally in lawn, with an existing shed located towards the western corner of the property, which will be removed as part of the development.



Figure 1: Aerial view of property, highlighted in red.

3.0 Flood Assessment

The Northland Regional Council (NRC) have designated this property as being flood susceptible.

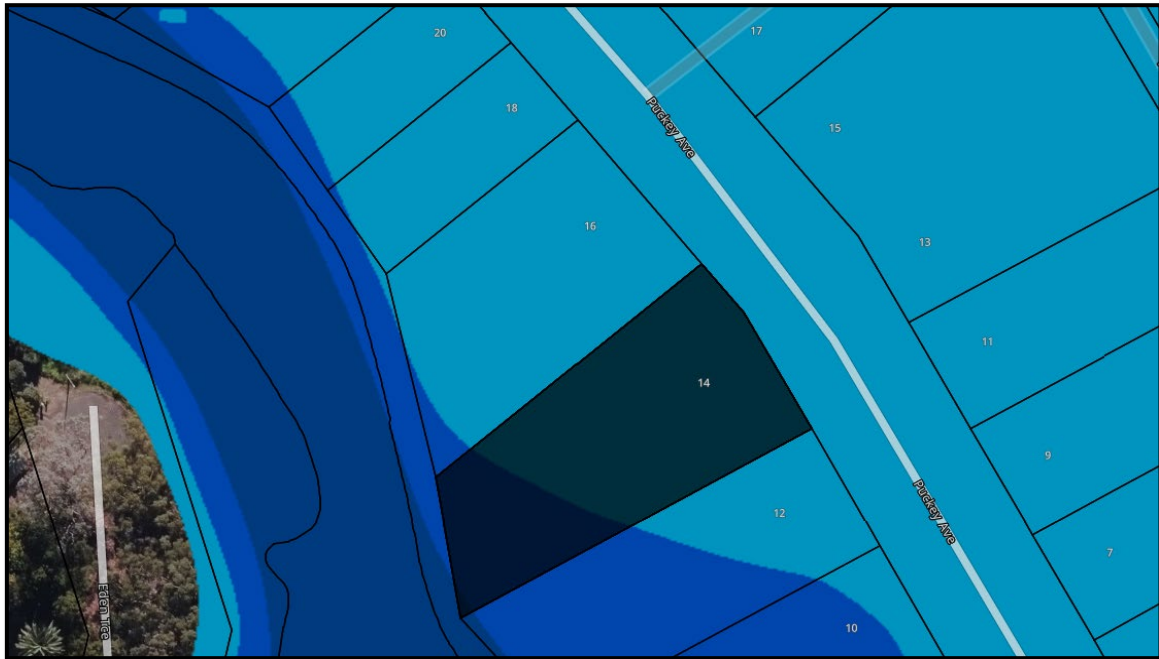


Figure 2: NRC Flood Model.

The NRC have provided RS Eng with the following flood levels at the property:

- 1% AEP+CC – 15.45m NZVD.
- 2% AEP+CC – 14.25m NZVD.
- 10% AEP+CC – 12.5m NZVD.

3.1 Hec-Ras

To assess the flood hazard and effects from the development, RS Eng have undertaken modelling using Hec-Ras. The modelling was completed using Hec-Ras V6.6. Using stage and discharge data provided by the NRC for a 1%AEP+CC event, the model was adjusted to replicate that of the most recent NRC priority Rivers model.

Table 1: Hec-Ras Model Summary

Model Type	Direct rainfall on grid
Terrain Model	Pre Dev – 2018 NRC LiDAR Post Dev – 2018 NRC LiDAR + Modified filled building platform and buildings
Equation Set	Diffusion Wave
Computation Interval	30s
Modelled grid	5m
Mannings n	Main Channels – 0.03, Urban Area - 0.1

3.2 Pre-Development

Figure 3 below provides the pre-development depth and extent during a 1% AEP+CC event.

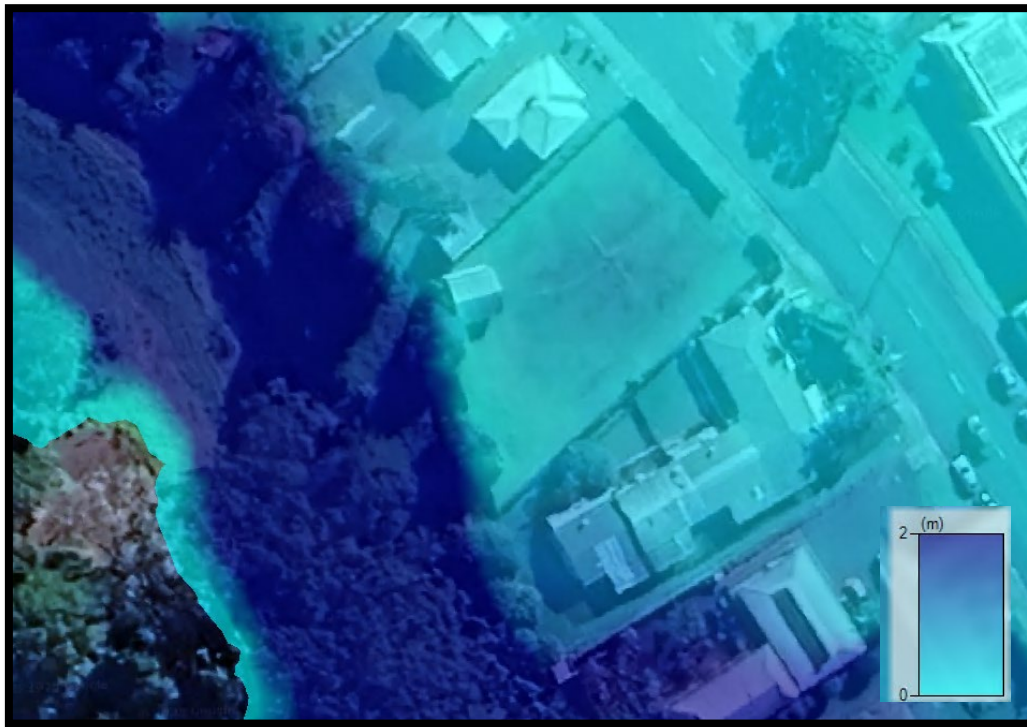


Figure 3: 1%AEP+CC Pre-development Flood Depth.

3.3 Post-development

Figure 4 below provides the post-development depth and extent during a 1% AEP+CC flood event.



Figure 4: 1%AEP+CC Post Development Flood Depth.

3.4 Floor Level

To achieve compliance with the New Zealand Building Code, E1 requires a minimum floor level based on the 2% AEP event, with a minimum freeboard of 0.5m. Based on the levels provided by the NRC, RS Eng recommend the following minimum floor level:

- Habitable Floor – 14.75m NZVD.

3.5 Effects

The proposed development is assessed to have little to no effect on the wider up and down stream catchment with the modelled water surface levels and velocities being only marginally affected. Figure 5 and 6 below provides the water surface elevation effects at the upstream (southern) and downstream (northern) boundaries, respectively.

As a result of the development, water surface levels increase upstream of the proposed buildings, up to 20mm. However, at the buildings on the upstream property (14 Puckey Ave), the water surface levels are steady pre to post development.

RS Eng considers the development to have less than minor effects on flood levels during a 1% AEP+CC event.

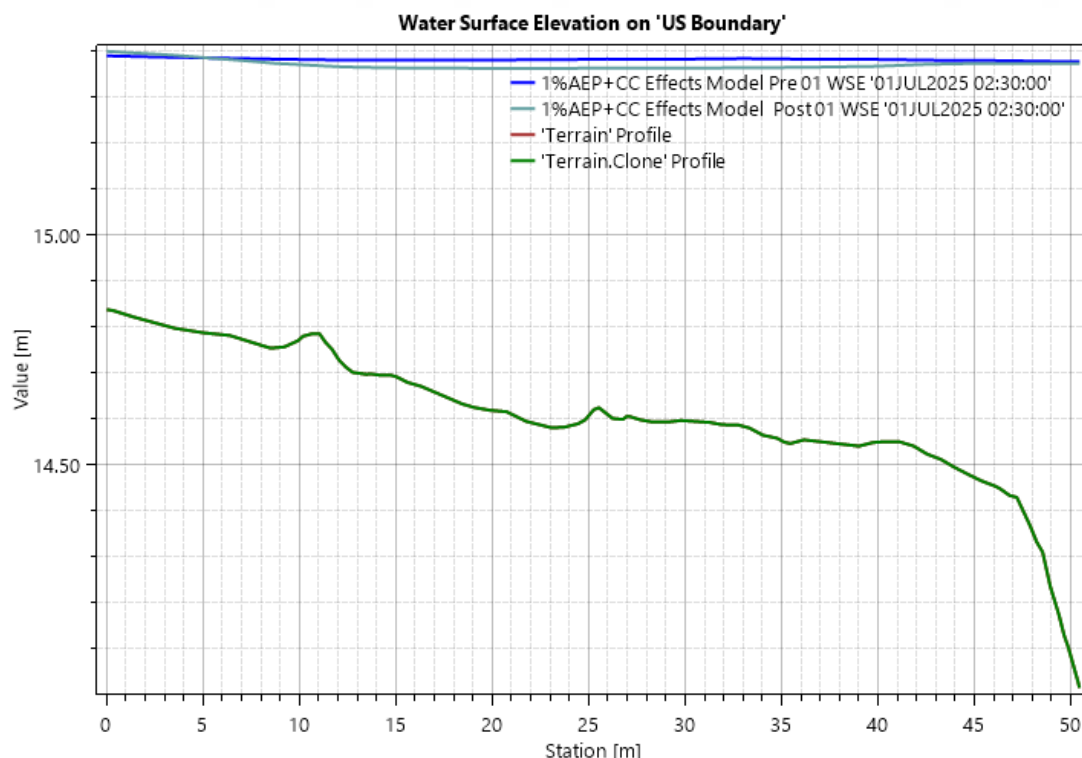


Figure 5: 1% AEP+CC WSL Upstream Boundary.

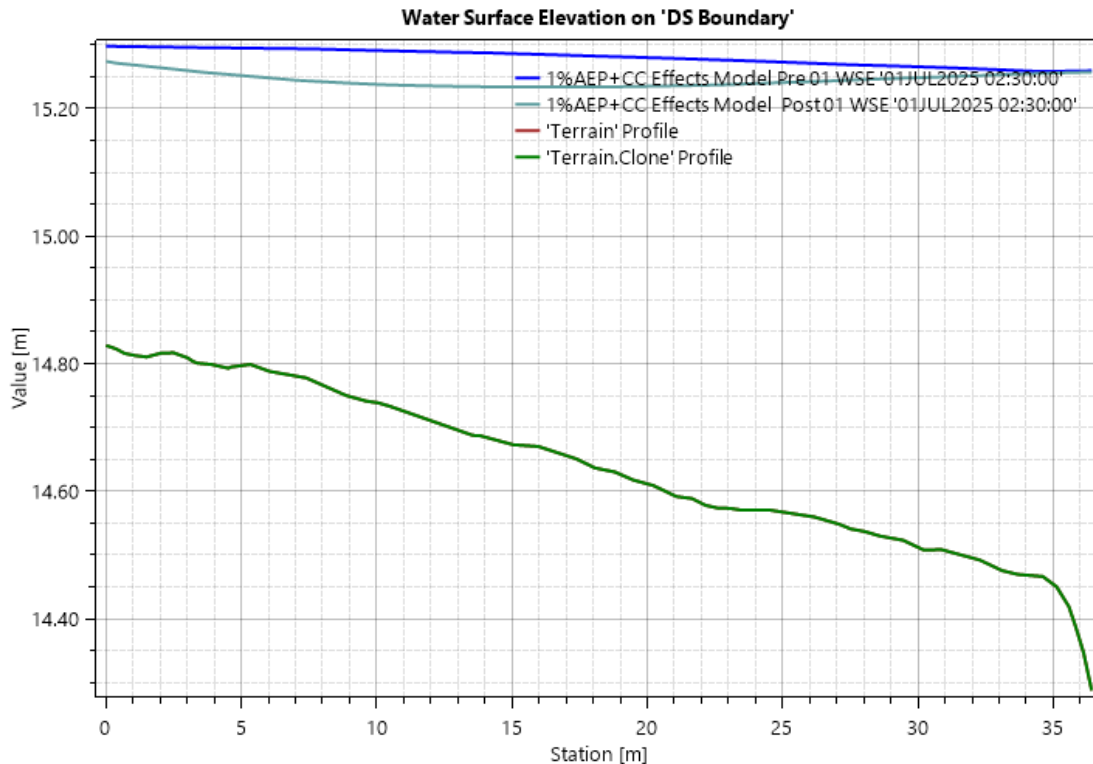


Figure 6: 1%AEP+CC WSL Downstream Boundary.

3.6 Natural Hazard

3.6.1 NZ Building Act – Section 72

During a 1% AEP event, flood depths across the property are expected to be in the order of 0.8-1.0m deep. During a 2% AEP event, the property is not subject to inundation. During the 1% AEP event, the flood depths are more than minor or trivial; thus, they are considered a natural hazard in terms of Sections 71-72 of the Building Act.

The Far North District Council has the discretion; however, RS Eng advises that the land is subject to Natural Hazard Inundation. In terms of Section 72 of the Building Act 2004;

(a) the building work to which an application for a building consent relates will not accelerate, worsen, or result in inundation on the land on which the building work is to be carried out or any other property; and

(b) the land is subject to or likely to be subject to inundation.

4.0 Wastewater Disposal

An existing 150mmØ sewer main runs past the eastern property boundary at Puckey Avenue. We expect the development to produce the following wastewater flows:

- ADWF – 5.6m³/day
- DWPF – 0.58m³/hr
- PWWF – 0.32l/s

5.0 Water Supply

5.1 Potable Water

An existing 100mmØ water main runs past the eastern property boundary at Puckey Avenue. We expect the development to require the following water flows:

- Average Flow – 8.4m³/day
- Peak Day – 16.8m³/day
- Peak Hour – 0.97l/s

5.2 Firefighting

Two existing fire hydrants are located within 135m of the proposed development.

6.0 Stormwater Assessment

6.1 Attenuation

The Far North District Council (FNDC) District Plan shows the property within the Commercial Zone. RS Eng understands that stormwater attenuation is not required for impervious surfaces in Commercial Zones; therefore, stormwater attenuation for the subject property is not warranted.

However, further consultation with the Far North District Council should be sought to confirm attenuation, as RS Eng are aware of previous properties requiring attenuation in commercial zones due the areas catchment management plan.

6.2 Treatment

Stormwater treatment devices shall be installed to any sumps to provide pre-treatment of the stormwater prior to discharging to the Tarawhaturua Stream. Hynds EnviroPod cesspit filters or similar approved shall be installed into sumps.

6.3 Disposal

All stormwater should be collected from roofs and paved surfaces and discharged in a controlled manner to the Tarawhaturua Stream.

7.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to determine the engineering suitability of the proposed units, in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommended minimum floor levels are based on the requirements of the New Zealand Building Code. Flood events of lesser probability may still result in inundation of the property and proposed buildings.

Reviewed by:



Codie Hay
Senior Technician
NZDE(Civil)

Prepared and approved by:



Matthew Jacobson
Director
NZDE(Civil), BE(Hons)(Civil), CPEng, CMEngNZ

RS Eng Ltd

Appendix A

Drawings

Proposed Terrace Housing Development
For
Waitomo Papakainga Delopment
16 Puckey Ave
Kaitaia



Contents

101	Site Plan
201	Block A - Ground Floor Plan
202	Block A - Upper Level Floor Plan
203	Block B - Ground Level Floor Plan
204	Block B - Upper Level Floor Plan
205	Elevations
206	Elevations
207	3D Perspectives
301	Section A - A
302	Section B - B

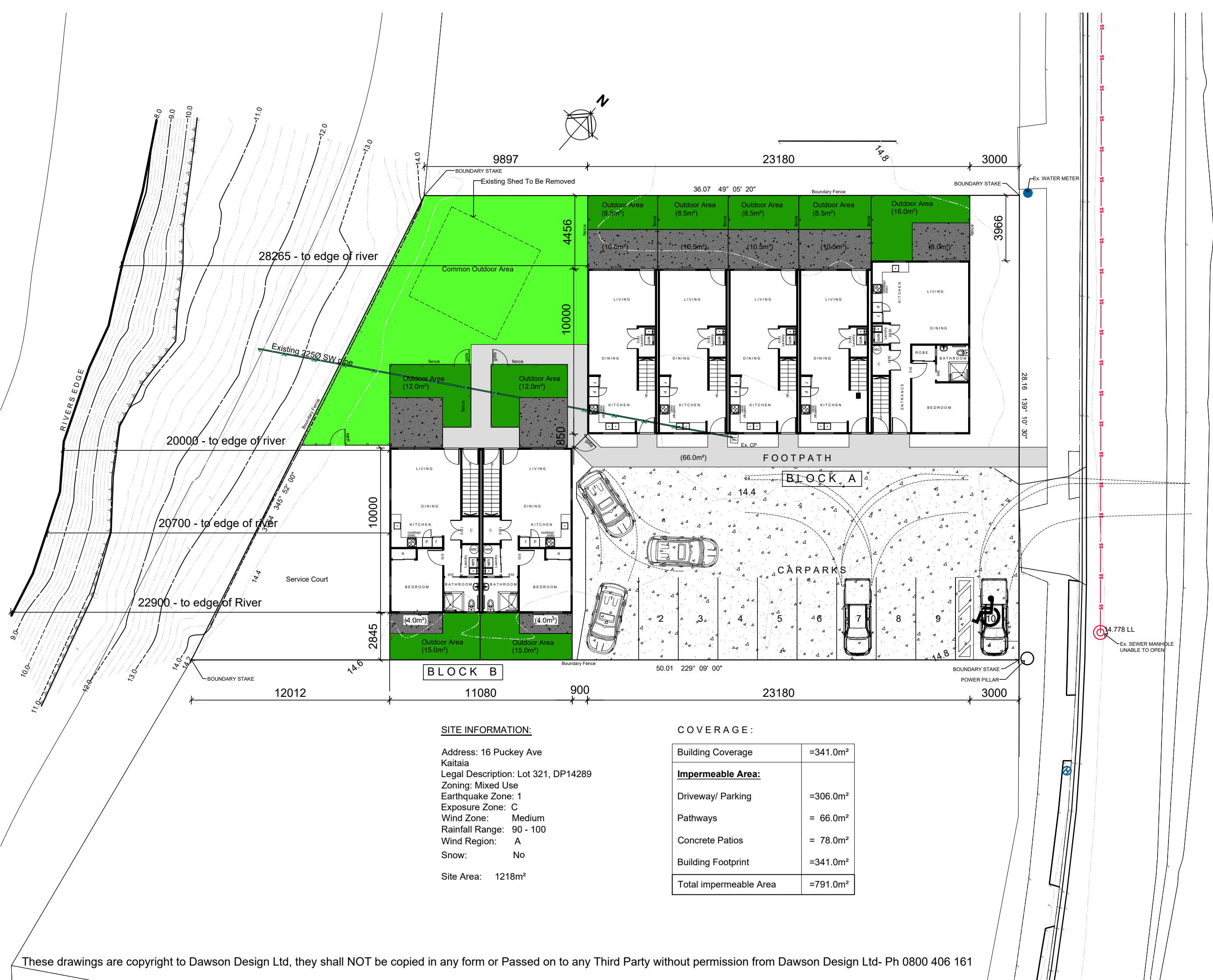
RC Drawing 02 - 27/06/2025

INSPIRED
ARCHITECTURE LTD

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m: 027 695 7808 e: office@inspiredarchitecture.org

**AD
NZ** +
Architectural
Designers
New Zealand





SITE INFORMATION:

Address: 16 Puckey Ave
Kaitaia
Legal Description: Lot 321, DP14289
Zoning: Mixed Use
Earthquake Zone: 1
Exposure Zone: C
Wind Zone: Medium
Rainfall Range: 90 - 100
Wind Region: A
Snow: No

Site Area: 1218m²

COVERAGE:

Building Coverage	=341.0m ²
Impermeable Area:	
Driveway/ Parking	=306.0m ²
Pathways	= 66.0m ²
Concrete Patios	= 78.0m ²
Building Footprint	=341.0m ²
Total impermeable Area	=791.0m ²



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NOTES

Contractor to check all
dimensions & conditions
on site before
commencing work.

Work only to figured
dimensions.
In the event of a
discrepancy contact
the designer.

TITLE

Site Plan

ISSUE DATE
27. 06 . 2025

VERSION No.

2

JOB No.

DRAWN BY
C Dawson
CHECKED BY
Colin Dawson

PROJECT

Proposed Terrace Housing
Development
For
Waitomo Papakainga
Development

16 Puckey Ave
Kaitaia

SCALE

1:200

DRAWING CODE

101

DRAWING STATUS

RC Set 02



Ground Floor Plan - Units 1 - 5

SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Level	Area	Total
Unit 1	Ground level	42.0m ²	Upper Level	42.0m ²	84.0m ²
Unit 2	Ground level	42.0m ²	Upper level	42.0m ²	84.0m ²
Unit 3	Ground Level	42.0m ²	Upper Level	42.0m ²	84.0m ²
Unit 4	Ground Level	42.0m ²	Upper Level	42.0m ²	84.0m ²
Unit 5	Ground level	63.0m ²	-	-	63.0m ²
Unit 6	-	-	Upper Level	63.0m ²	63.0m ²
Total	Ground Level	231.0m ²	Upper level	231.0m ²	462.0m ²

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P.O Box 1140
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Moble 027 695 7808
office@inspiredarchitecture.org

NOTES

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Work only to figured dimensions.
In the event of a discrepancy contact the designer.

TITLE

Block A
Ground Level
Floor Plan

ISSUE DATE

27. 06 . 2025

VERSION No.

2

JOB No.

DRAWN BY

C Dawson

CHECKED BY

Colin Dawson

PROJECT

Proposed Terrace Housing Development
For
Waitomo Papakainga Development

16 Puckey Ave
Kaitia

SCALE

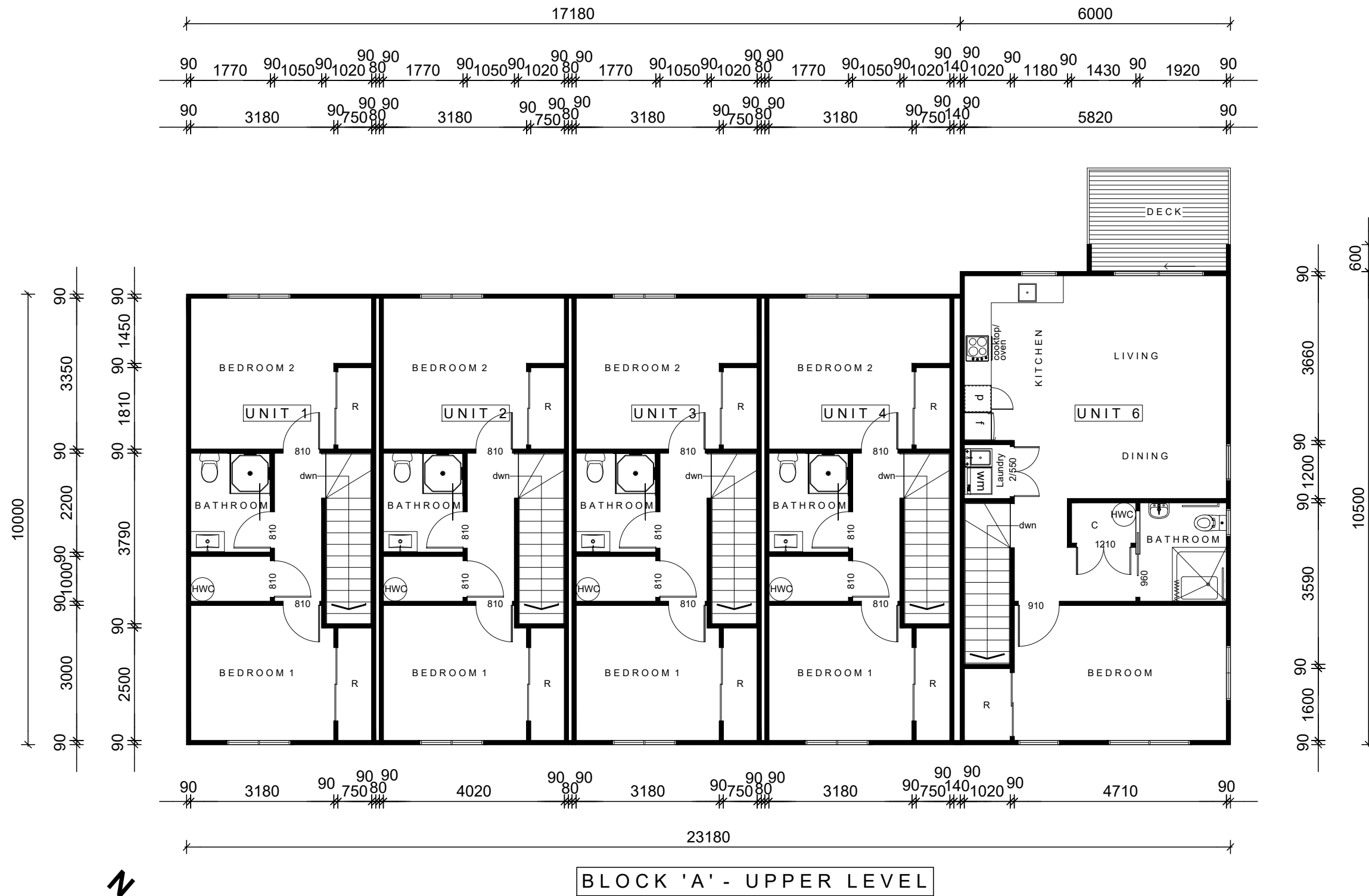
1:100

DRAWING CODE

201

DRAWING STATUS

RC Set 02



Upper Floor Plan - Units 1 - 6

SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Level	Area	Total
Unit 1	Ground level	42.0m²	Upper Level	42.0m²	84.0m²
Unit 2	Ground level	42.0m²	Upper level	42.0m²	84.0m²
Unit 3	Ground Level	42.0m²	Upper Level	42.0m²	84.0m²
Unit 4	Ground Level	42.0m²	Upper Level	42.0m²	84.0m²
Unit 5	Ground level	63.0m²	-	-	63.0m²
Unit 6	-	-	Upper Level	63.0m²	63.0m²
Total	Ground Level	231.0m²	Upper level	231.0m²	462.0m²

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Whangarei Northland

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NOTES

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Work only to figured dimensions. In the event of a discrepancy contact the designer.

TITLE

Block A
Upper Level
Floor Plan

ISSUE DATE
27. 06 . 2025

VERSION No.
2

JOB No.

DRAWN BY
C Dawson

CHECKED BY
Colin Dawson

PROJECT

Proposed Terrace Housing Development
For
Waitomo Papakainga Development

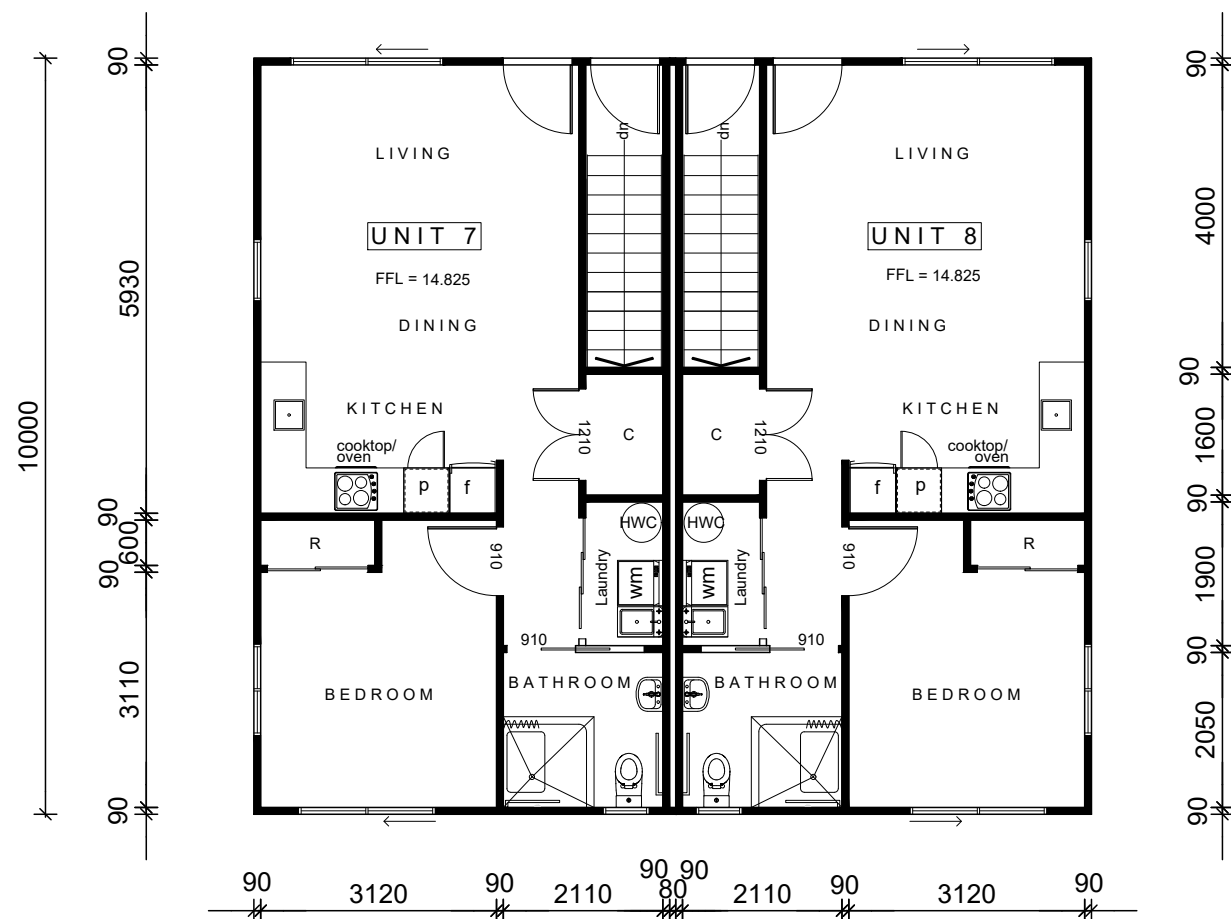
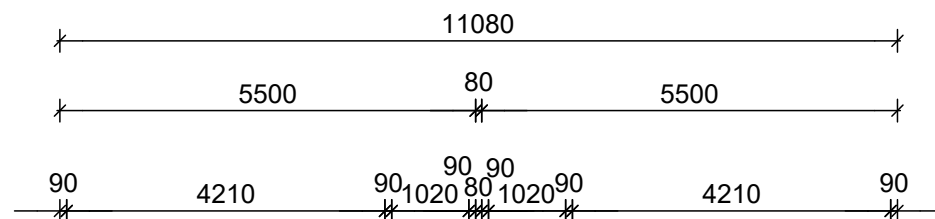
16 Puckey Ave
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SCALE

1:100

DRAWING CODE
202

DRAWING STATUS
RC Set 02



BLOCK 'B' - GROUND LEVEL

Ground Level Floor Plan - Units 7 - 8

SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Area	Total
Unit 7	Ground level	55.0m ²		
Unit 8	Ground level	55.0m ²		
Unit 9	Upper Level		55.0m ²	
Unit 10	Upper Level		55.0m ²	
Total	Ground Level	110.0m ²	-	
Total	Upper Level	-	110.0m ²	
Total				220.0m ²

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TITLE

Block B
Ground Level
Floor Plan

ISSUE DATE
27. 06 . 2025

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For
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SCALE

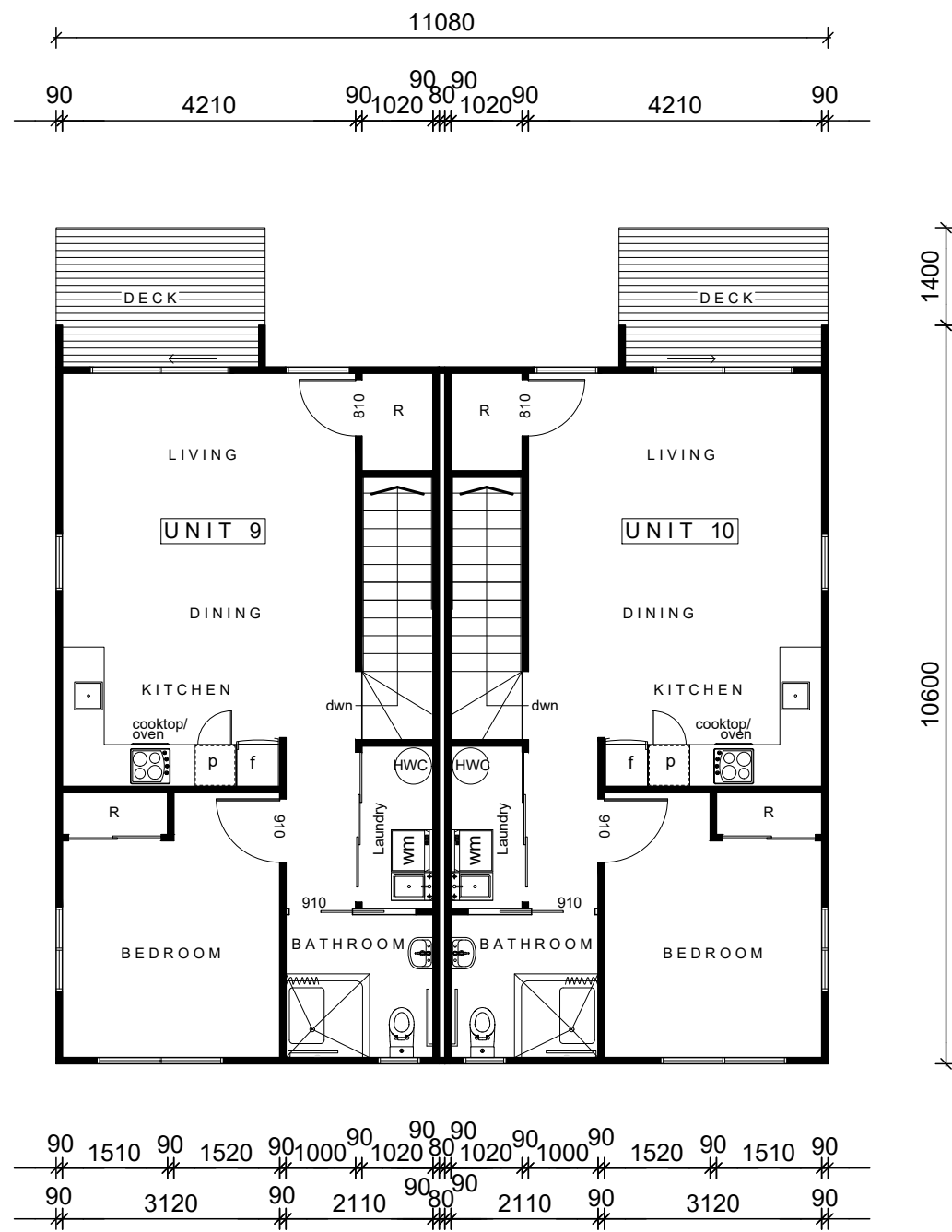
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203

DRAWING STATUS

RC Set 02



BLOCK 'B' - UPPER LEVEL

Upper Level Floor Plan - Units 9 - 10

SCALE 1:100

TABLE OF AREAS

Unit no	Level	Area	Area	Total
Unit 7	Ground level	55.0m ²		
Unit 8	Ground level	55.0m ²		
Unit 9	Upper Level		55.0m ²	
Unit 10	Upper Level		55.0m ²	
Total	Ground Level	110.0m ²	-	
Total	Upper Level	-	110.0m ²	
Total				220.0m ²



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Block B
Upper Level
Floor Plan

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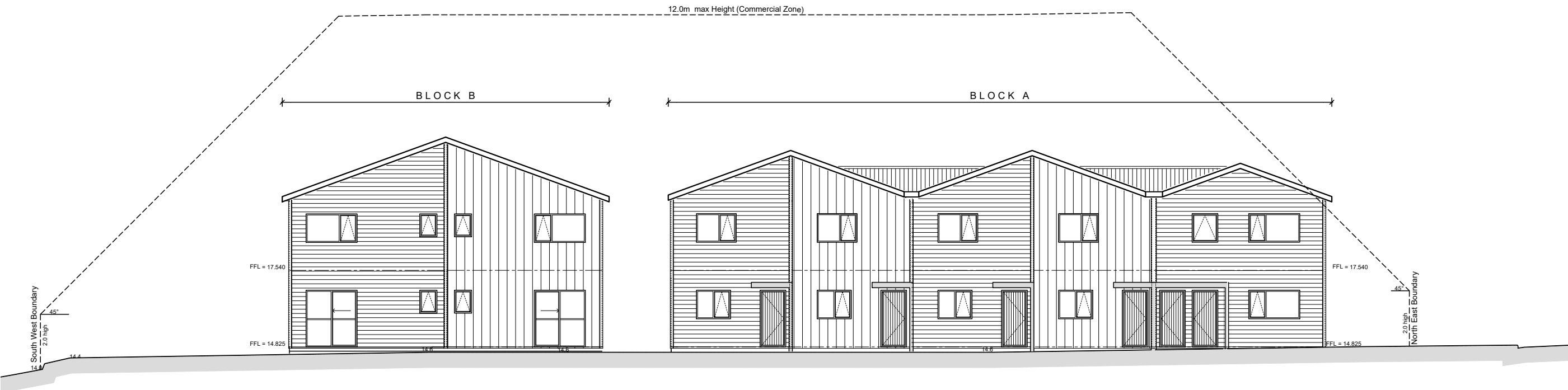
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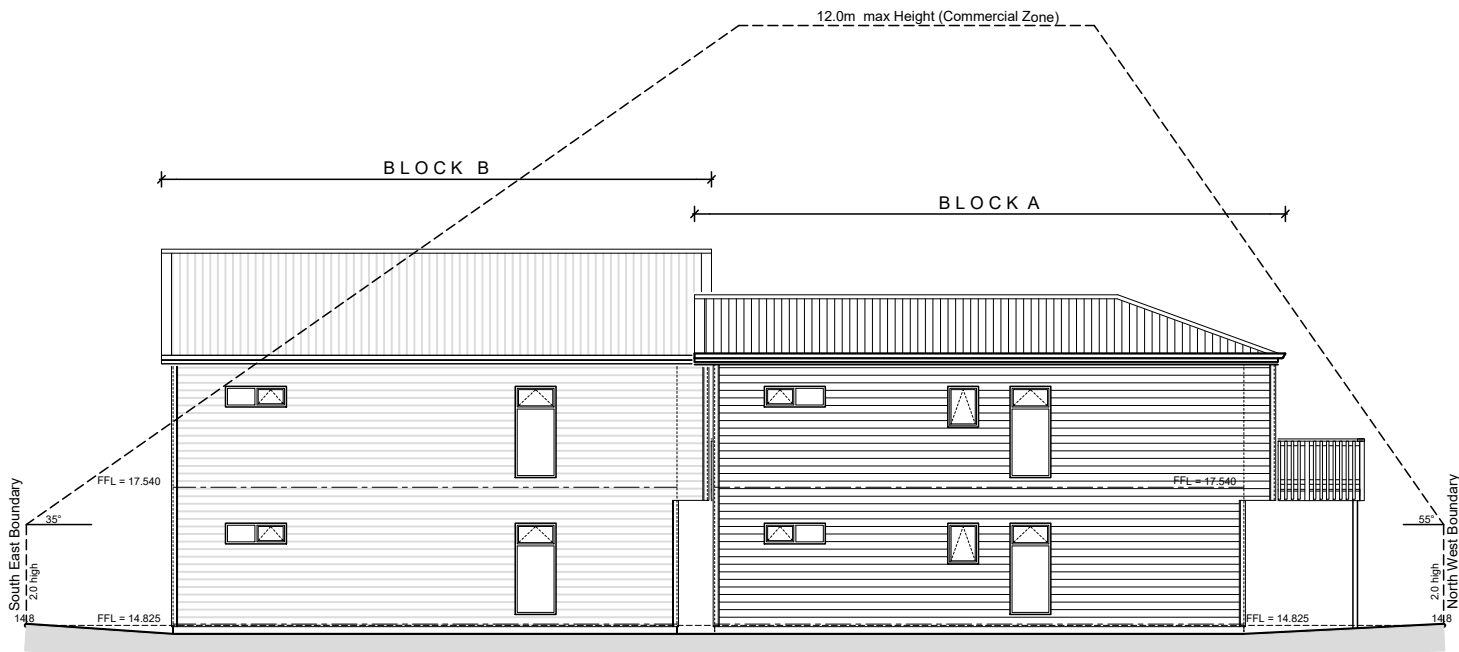
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South East Elevation

SCALE 1:150



North East Elevation

SCALE 1:150



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SCALE

1:150

DRAWING CODE

205

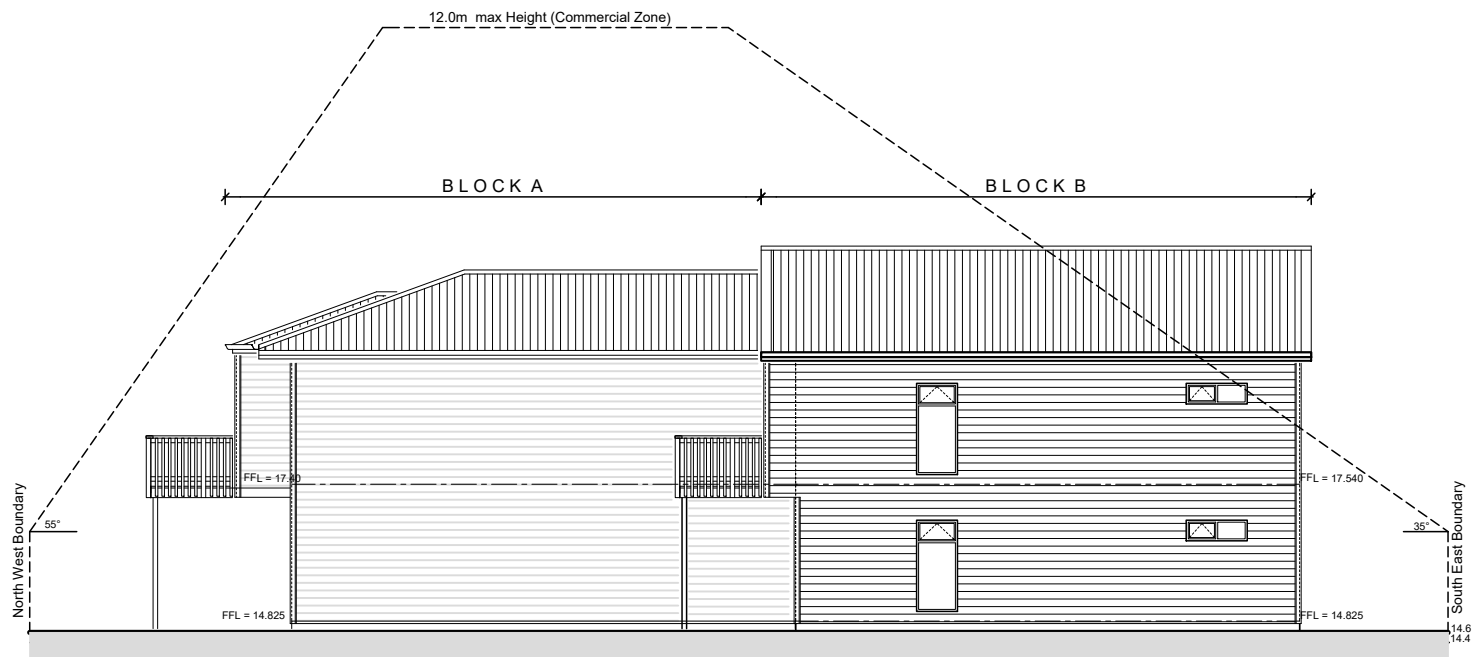
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North West Elevation

SCALE 1:150



South West Elevation

SCALE 1:150



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SCALE

1:150

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206

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BLOCK A FRONT YARD



BLOCK B BACK YARD



TYPICAL BLOCK A ENTRANCE

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3D
Perspectives

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SCALE

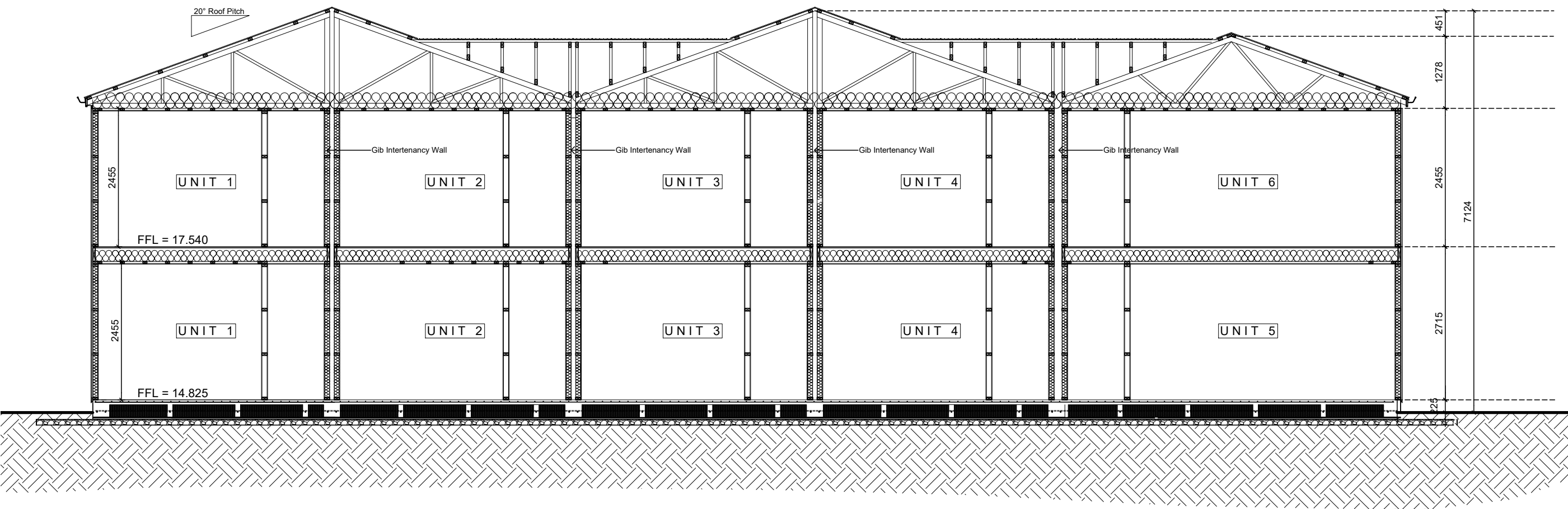
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207

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Section A - A

Scale 1:75

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Block A
Section A - A

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SCALE

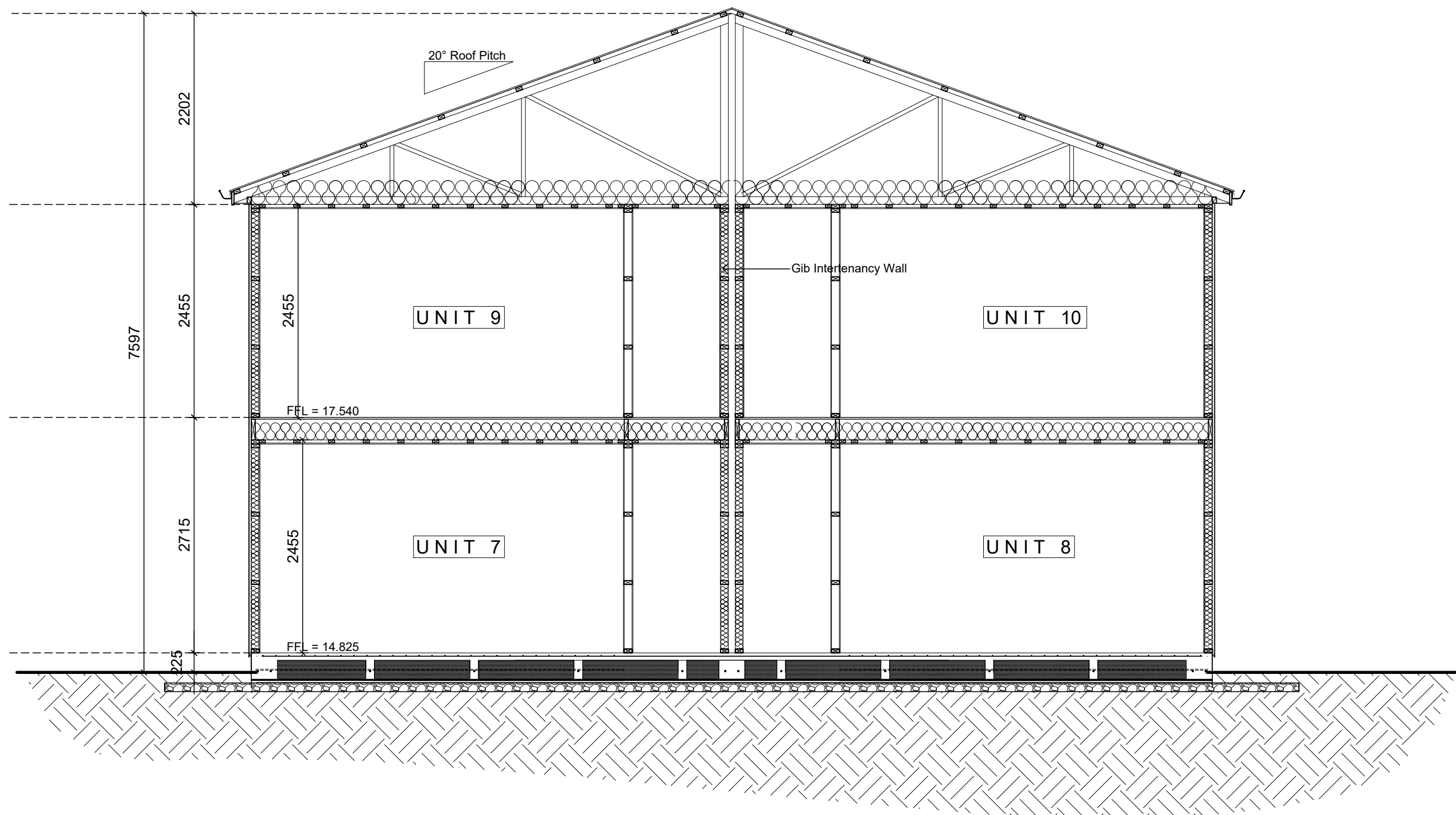
1:75

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301

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Section B - B

Scale 1:50

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SCALE

1:50

DRAWING CODE

302

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RC Set 02

APPENDIX 7

NRC 'SELECTED LAND-USE SITES'

DATABASE MAP

