

Application for Temporary or Marginal Activity

Pursuant to Section 87BB of the Resource Management Act 1991 (the Act)

To qualify to be a marginal or temporary activity, a proposed activity must meet the following criteria:

- The activity would be a permitted activity except for a marginal or temporary non-compliance with requirements, conditions, and permissions specified in this Act, regulations (including any national environmental standard), a plan, or a proposed plan; and
- Any adverse environmental effects of the activity are no different in character, intensity, or scale than they would be in the absence of the marginal or temporary non-compliance referred to above; and
- Any adverse effects of the activity on a person are less than minor.

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☒ No

2. Applicant Details:

Name	Northland Laundromat Company Ltd, C/- Stuart Davidson		
Email (Electronic address for service)			
Postal address (or alternative method of service under section 352 of the Act)			
		Postcode	4120

3. Address for Correspondence:

Name and address for service and correspondence (If using an Agent write their details here).

Name	RW Architectural Design, C/- Richard Wendt		
Email (Electronic address for service)			
Postal address (or alternative method of service under section 352 of the Act)			
		Postcode	3900

*All correspondence will be sent by email in the first instance.
Please advise us if you would prefer an alternative means of communication.*

4. Details of Property Owner/s and Occupier/s:

(Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required))

Name / s

Northland Laundromat Company Ltd, C/- Stuart Davidson

Property address /
location

25 Gillies Street

Kawakawa

Postcode 0210

5. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site address/location

25 Gillies Street

Kawakawa

Postcode 0210

Legal description

Lot 36-37 DP W46

Val number

N/A

Certificate of title

NA523/239

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

6. Description of the Temporary or Marginal Activity:

Insert description of the proposal in sufficient detail to justify whether the activity is a 'marginal' or temporary' activity. Including a full explanation and assessment of any District Plan rules which the proposed activity does not comply with:

LPG storage on site (18 x 45kg bottles) in a locked and ventilated area at the rear of the site (fire wall provisions as per plans).

7. Other Consent required/being applied for under different legislation:

(more than one circle can be ticked)



Building Consent (BC ref # if known)

BC 2025-290/0/A



Other (please specify)

9. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name / s	Northland Laundromat Company Ltd, C/- Stuart Davidson		
Postal address (or alternative method of service under section 352 of the Act)	703 Heretaunga Street West		
	Hastings		Postcode 4120
Work phone		Home phone	N/A
Email (Electronic address for service)			

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name of bill payer (please print)	Stuart Davidson		
Signature of bill payer (mandatory)		Date	07/11/25

Checklist

- ☒ Payment
- ☐ Payment (cheques payable to Far North District Council)
- ☒ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☒ Applicant / Agent / Property Owner / Bill Payer details provided
- ☒ Location of property and description of proposal
- ☐ Written approvals and a signed plan from each owner of an allotment with an infringed boundary
- ☐ Copies of other relevant consents associated with this application
- ☒ Location and Site plans
- ☒ Elevations / Floor plans
- ☐ Topographical / contour plans

Note to applicant

You must include all information required by this form. If all information is not included, the consent authority will return this to you and the correct information must be supplied before a written notice permitting your activity can be provided.

PRODUCER STATEMENT – PS1 – DESIGN

(Guidance on use of Producer Statements (formerly page 2) is available at www.engineeringnz.org)

ISSUED BY: PK Engineering Ltd
(Design Firm)

TO: KAWAKAWA LIQUID LAUNDROMAT
(Owner/Developer)

TO BE SUPPLIED TO: FAR NORTH DISTRICT COUNCIL
(Building Consent Authority)

IN RESPECT OF: Proposed Addition to Existing Structure
(Description of Building Work)

AT: 25 Gillies Street
(Address)

Town/City: Kawakawa LOT PART LOT 37 DP DEEDS W46 SO
(Address)

We have been engaged by the owner/developer referred to above to provide:

Structural Engineering Design as follows:
Foundation beam and Slab design, Retaining wall design

(Extent of Engagement)

services in respect of the requirements of Clause(s)..... **B1**.....of the Building Code for:

☐ All or ☒ Part only (as specified in the attachment to this statement), of the proposed building work.

The design carried out by us has been prepared in accordance with:

☒ Compliance Documents issued by the Ministry of Business, Innovation & Employment. **B1/VM1 + B1/VM4**.....or
(verification method/acceptable solution)

☐ Alternative solution as per the attached schedule.....

The proposed building work covered by this producer statement is described on the drawings titled:

Proposed Addition - Kawakawa Liquid Laundromat.....and numbered **As per attached particulars**.....;
together with the specification, and other documents set out in the schedule attached to this statement.

On behalf of the Design Firm, and subject to:

- (i) Site verification of the following design assumptions **As per attached particulars**.....
(ii) All proprietary products meeting their performance specification requirements;

I believe on reasonable grounds that a) the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code and that b), the persons who have undertaken the design have the necessary competency to do so. I also recommend the following level of construction monitoring/observation:

☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ as per agreement with owner/developer (Architectural)

I, **Pradeep Kumar**..... am: ☒ CPEng **203058** # ☐ Reg Arch #
(Name of Design Professional)

I am a member of: ☒ Engineering New Zealand ☐ NZIA and hold the following qualifications: **BE(Hons), IntPE, CPEng**.....

The Design Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Design Firm is a member of ACENZ: ☐

SIGNED BY.....(Signature).....
(Name of Design Professional)

ON BEHALF OF PK Engineering Ltd.....Date **02/10/2025**
(Design Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany **Form 2 of the Building (Forms) Regulations 2004** for the application of a Building Consent.
THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, ENGINEERING NEW ZEALAND AND NZIA

GUIDANCE ON USE OF PRODUCER STATEMENTS

Producer statements were first introduced with the Building Act 1991. The producer statements were developed by a combined task committee consisting of members of the New Zealand Institute of Architects, Institution of Professional Engineers New Zealand (now Engineering New Zealand), Association of Consulting Engineers New Zealand in consultation with the Building Officials Institute of New Zealand. The original suit of producer statements has been revised at the date of this form as a result of enactment of the Building Act (2004) by these organisations to ensure standard use within the industry.

The producer statement system is intended to provide Building Consent Authorities (BCAs) with reasonable grounds for the issue of a Building Consent or a Code Compliance Certificate, without having to duplicate design or construction checking undertaken by others.

PS1 Design Intended for use by a suitably qualified independent design professional in circumstances where the BCA accepts a producer statement for establishing reasonable grounds to issue a Building Consent;

PS2 Design Review Intended for use by a suitably qualified independent design professional where the BCA accepts an independent design professional's review as the basis for establishing reasonable grounds to issue a Building Consent;

PS3 Construction Forms commonly used as a certificate of completion of building work are Schedule 6 of NZS 3910:2013 or Schedules E1/E2 of NZIA's SCC 2011²

PS4 Construction Review Intended for use by a suitably qualified independent design professional who undertakes construction monitoring of the building works where the BCA requests a producer statement prior to issuing a Code Compliance Certificate.

This must be accompanied by a statement of completion of building work (Schedule 6).

The following guidelines are provided by ACENZ, Engineering NZ and NZIA to interpret the Producer Statement.

Competence of Design Professional

This statement is made by a Design Firm that has undertaken a contract of services for the services named, and is signed by a person authorised by that firm to verify the processes within the firm and competence of its designers.

A competent design professional will have a professional qualification and proven current competence through registration on a national competence based register, either as a Chartered Professional Engineer (CPEng) or a Registered Architect.

Membership of a professional body, such as Engineering New Zealand (formerly IPENZ) or the New Zealand Institute of Architects (NZIA), provides additional assurance of the designer's standing within the profession. If the design firm is a member of the Association of Consulting Engineers New Zealand (ACENZ), this provides additional assurance about the standing of the firm.

Persons or firms meeting these criteria satisfy the term "suitably qualified independent design professional".

*Professional Indemnity Insurance

As part of membership requirements, ACENZ requires all member firms to hold Professional Indemnity Insurance to a minimum level.

The PI Insurance minimum stated on the front of this form reflects standard, small projects. If the parties deem this inappropriate for large projects the minimum may be up to \$500,000.

Professional Services during Construction Phase

There are several levels of service which a Design Firm may provide during the construction phase of a project (CM1-CM5 for Engineers³). The Building Consent Authority is encouraged to require that the service to be provided by the Design Firm is appropriate for the project concerned.

Requirement to provide Producer Statement PS4

Building Consent Authorities should ensure that the applicant is aware of any requirement for producer statements for the construction phase of building work at the time the building consent is issued as no design professional should be expected to provide a producer statement unless such a requirement forms part of the Design firm's engagement.

Attached Particulars

Attached particulars referred to in this producer statement refer to supplementary information appended to the producer statement.

Refer Also:

- ¹ Conditions of Contract for Building & Civil Engineering Construction
NZS 3910: 2013
- ² NZIA Standard Conditions of Contract SCC 2011
- ³ Guideline on the Briefing & Engagement for Consulting Engineering Services
(ACENZ/IPENZ 2004)
- ⁴ PN Guidelines on Producer Statements

www.acenz.org.nz
www.engineeringnz.org
www.nzia.co.nz



KAWAKAWA LIQUID LAUNDROMAT: PRODUCER STATEMENT (PS1) ATTACHED PARTICULARS

Extent of Engagement

Structural Engineering design of the following specific design elements only for the proposed addition to the structure:

- Foundation Design (Foundation Beams & Slabs)
- Retaining wall design

Note

This Producer Statement excludes structural elements, proprietary products and building systems which are covered by their own Producer Statements.

Site Verification of the following design assumptions

- Ground conditions to be in accordance with the brief geotechnical investigations carried out by PK Engineering Ltd.

Construction Observation

The construction monitoring of the design components to be carried out as per the schedule attached for CM2 Construction Monitoring. We recommend that the construction monitoring be carried out by a Chartered Professional Engineer.

Engineering/Architectural Documents covered by this Producer Statement

- PK Engineering Calculations – Page 1- 6
- PK Engineering Drawings – Sheet S0-S5



Our ref: 25-048

02nd October 2025

Far North District Council

RE: PROPOSED ADDITION TO EXISTING STRUCTURE AT 25 GILLIES STREET, KAWAKAWA.

You have requested a Producer Statement for Design PS1 for clause B2 of the building code – Structural Durability. We are not able to provide this because there is no effective verification method for B2 contained within the building code. However, we can confirm the following for the structural elements shown in our documentation:

Reinforced Concrete

Concrete cover to reinforcing has been selected in accordance with NZS 3101: Part 1 - Section 3.

Timber

Timber treatment has been selected in accordance with Table 1A of B2/ AS1 of the building code.

Mild Steel

Steel protection has been specified in accordance with the “Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings” AS/NZS 2312. We note that this is on a time to first maintenance basis and assumes on-going maintenance.

We note that the owner will need to ensure adequate maintenance is carried out throughout the life of the building.

A handwritten signature in blue ink, appearing to read 'Pradeep Kumar', is shown on a white background.

Pradeep Kumar.
B.E hons, NZCE, MIPENZ,
IntPE, CPEng.
(Structural, Geotechnical)
Chartered Professional Engineer.

SITE INSPECTION / CONSTRUCTION MONITORING **REQUIREMENTS FOR SPECIFIC ENGINEERING DESIGN SCHEDULE**

Job Number: 25-048

PS1 Date: 02/10/2025

RE: PROPOSED ADDITION TO EXISTING STRUCTURE AT 25 GILLIES STREET, KAWAKAWA.

The Producer Statement for Design PS1 requires a Chartered Professional Engineer be engaged to undertake construction monitoring of the specific engineering design items to an Engineering New Zealand/ACENZ **CM2** level. We propose the Chartered Professional Engineer undertake the following site inspections specified below:

Item of Inspection	Inspection Requirements	Preferred Inspectors
Timber Pole Retaining wall	- GBC test at the bottom of the bore (min 50kPa + Undrained). - Pole size & treatment. - Drainage & Scoria. - Capping beam reinforcements prior to concrete pour.	Geotechnical Engineer Structural Engineer
Engineered Fill	- Impact test hardfill for every 300mm lift- top layer to be minimum 250mm deep(CIV 25+). - Drainage & Scoria. - Bidim A19 geofabric to wrap entire hardfill layer.	Geotechnical Engineer
Foundation Beams	- Reinforcement checks for spacing and sufficient cover. - Slab thickening cover and reinforcements.	Geotechnical Engineer Structural Engineer
Slab on compacted hardfill and Slab pre-pour	- Impact test hardfill (CIV 25+). - Check Mesh cover.	Geotechnical Engineer

Notes:

- a) The above items of inspection do not cover work constructed in accordance with NZS 3604: 2011 or NZS 4229: 2013 (non-specific design), for which inspections are to be undertaken by the appropriate Building Consent Authority.*
- b) The above items are the minimum required to enable the Chartered Professional Engineer to issue a Producer Statement Construction Review PS4 for the specific design items.*
- c) The contractor/Builder is to provide at least 48 hours' notice of the requirement for an inspection. The above timeframes are indicative; the Engineer & Contractor are to agree the timing of the inspection prior to work commencing on site.*
- d) A copy of this schedule (stamped by Council) and the Council's inspection schedule is to be held on site during the works, and the Contractor/Builder is to provide reasonable and safe access to enable works to be inspected according to the schedule.*
- e) The above schedule does not necessarily represent the actual number of inspections to be undertaken. The number of inspections will depend on the construction method, sequence of works and whether unforeseen conditions or difficulties are encountered on site.*

Form 2A

Memorandum from licensed building practitioner: Certificate of design work

Section 30C or 45, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **25 Gillies Street**

Suburb:

Town/City: **Kawakawa**

Postcode:

THE OWNER(S)

Name(s): **Kawakawa Liquid Laundromat**

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

BASIS FOR PROVIDING THIS MEMORANDUM

I am providing this memorandum in my role as the: Please tick the option that applies ☒

- ☐ **sole** designer of all of the RBW design outlined in this memorandum – I carried out all of the RBW design work myself – no other person will be providing any additional memoranda for the project
- ☐ **lead** designer who carried out some of the RBW design myself but also supervised other designers – this memorandum covers their RBW design work as well as mine, and **no other** person will be providing any additional memoranda for the project
- ☐ **lead** designer for all but specific elements of RBW – this memorandum only covers the RBW design work that I carried out or supervised and the **other** designers will provide their own memorandum relating to their specific RBW design
- ☒ **specialist** designer who carried out specific elements of RBW design work as outlined in this memorandum – other designers will be providing a memorandum covering the remaining RBW design work

IDENTIFICATION OF DESIGN WORK THAT IS RESTRICTED BUILDING WORK (RBW)

I Pradeep Kumar carried out / supervised the following design work that is restricted building work

PRIMARY STRUCTURE: B1

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick ☒ if included. Cross ☐ if excluded	If appropriate, provide details of the RBW	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
All RBW design work relating to B1 ☒	All elements outside the scope of NZS3604 i.e. requiring Specific Design	☒ Carried out ☒ Supervised	
Foundations and subfloor framing ☒	1. Foundation Beams 2. Foundation Slab	☒ Carried out ☒ Supervised	PK Engineering Ltd Structural Calcs: page 1-6 Drawings: S0-S5

Design work that is RBW		Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick ☒ if included. Cross ☒ if excluded		If appropriate, provide details of the RBW	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
Walls	☒	Propped Cantilever Timber Pole retaining Wall	☒ Carried out ☒ Supervised	PK Engineering Ltd Structural Calcs: page 1-6 Drawings: S0-S5
Roof	☒		☐ Carried out ☐ Supervised	
Columns and beams	☒		☐ Carried out ☐ Supervised	
Bracing	☒		☐ Carried out ☐ Supervised	
Other	☒		☐ Carried out ☐ Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick ☒ if included. Cross ☒ if excluded	If appropriate, provide details of the RBW	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
EXTERNAL MOISTURE MANAGEMENT SYSTEMS: E2			
All RBW design work relating to E2 ☒		☐ Carried out ☐ Supervised	
Damp proofing ☒		☐ Carried out ☐ Supervised	
Roof cladding or roof cladding system ☒		☐ Carried out ☐ Supervised	
Ventilation system (for example, subfloor or cavity) ☒		☐ Carried out ☐ Supervised	
Wall cladding or wall cladding system ☒		☐ Carried out ☐ Supervised	
Waterproofing ☒		☐ Carried out ☐ Supervised	
Other ☒		☐ Carried out ☐ Supervised	

Design work that is RBW	Description of RBW	Carried out or supervised	Reference to plans and specifications
Tick ☒ if included. Cross ☒ if excluded	If appropriate, provide details of the RBW	Tick ☒ whether you carried out this design work or supervised someone else carrying out this design work	If appropriate, specify references
FIRE SAFETY SYSTEMS: C1 - C6			
Emergency warning systems Evacuation and fire service operation systems ☒ Suppression or control systems Other		☐ Carried out ☐ Supervised	
Note: The design of fire safety systems is only restricted building work when it involves small-to-medium apartment buildings as defined by the Building (Definition of Restricted Building Work) Order 2011.			

WAIVERS AND MODIFICATIONS	
Waivers or modifications of the Building Code are required. ☐ Yes ☒ No	
If Yes, provide details of the waivers or modifications below:	
Clause	Waiver/modification required
List relevant clause numbers of building code	Specify nature of waiver or modification of building code required

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise design work that is restricted building work.

Name: **Pradeep Kumar**

LBP or Registration number: **203058**

The practitioner is a: ☐ Design LBP ☐ Registered architect ☒ Chartered professional engineer

Design Entity or Company (optional): **PK Engineering Ltd**

Mailing address (if different from below):

Street address/Registered office: **Level 1, 90 Kerikeri Road**

Suburb:

Town/City: **Kerikeri**

PO Box/Private Bag: **PO Box 464**

Postcode: **0230**

Phone number: **09 4073255**

Mobile: **021 407769**

After hours:

Fax:

Email address: **TeamPK@pkengin.co.nz**

Website:

DECLARATION

I, **Pradeep Kumar** LBP, state that I have applied the skill and care reasonably required of a competent design professional in carrying out or supervising the Restricted Building Work (RBW) described in this form, and that based on this, I also state that the RBW:

- Complies with the building code, or
- Complies with the building code subject to any waiver or modification of the building code recorded on this form

Signature:



Date:

02 OCTOBER 2025



RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD
Limited as to Parcels
Search Copy

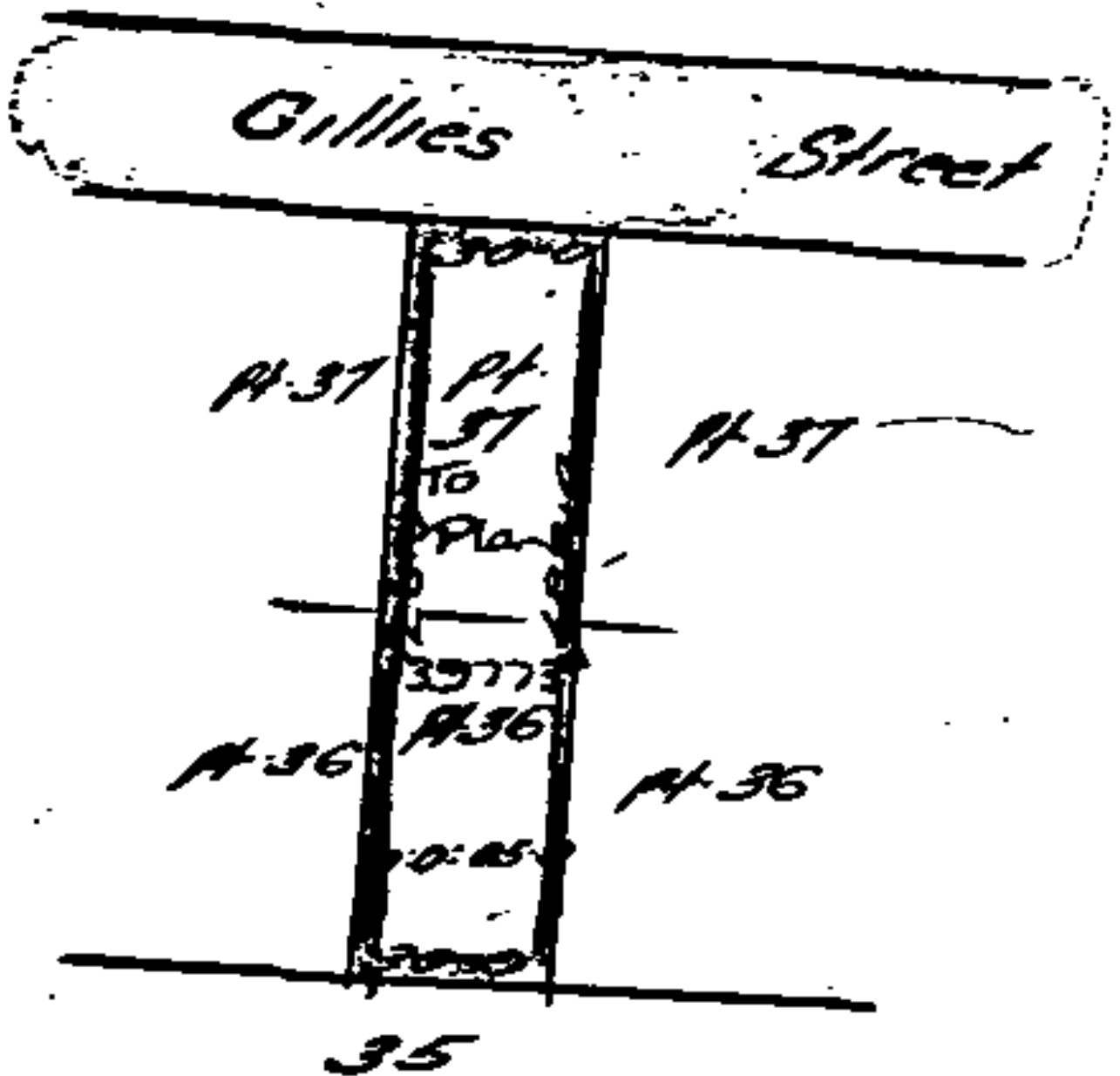



R.W. Muir
Registrar-General
of Land

Identifier **NA523/239**
Land Registration District **North Auckland**
Date Issued 12 June 1930
Prior References
DI 1E.637

Estate Fee Simple
Area 149 square metres more or less
Legal Description Part Lot 36-37 Deeds Plan W 46
Registered Owners
Northland Laundromat Company Limited

Interests





STRUCTURAL CALCULATIONS

OF

PROPOSED ADDITION TO EXISTING STRUCTURE

FOR

KAWAKAWA LIQUID LAUNDROMAT

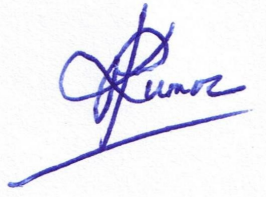
AT

25 GILLIES STREET
KAWAKAWA

Job No: 25-048

Date: 02ND OCTOBER 2025

Revision	Date of issue	Description
BC-1	02/10/2025	First Issue

Designed By	Chinju Joseph Graduate Structural Engineer	
Reviewed By	Rahul Chandrashekar Structural Engineer BE (Civil), ME (Civil – Structural)	
Approved By	Pradeep Kumar Principal Engineer BE Hons, CPEng, CMEngNZ, MIPENZ, IntPE	

	Title Proposed Addition to Existing Structure At 25 Gillies Street, Kawakawa For Liquid Laundromat kawakawa	Job No. 25-048	Page 1
		Designer CJ	Date Sept 2025

1. PROJECT INFORMATION:

Proposed Addition to existing structure

Client:: Liquid laundromat, Kawakawa

Address: 25 Gillies Street, kawakawa

This Design Report will cover the Following:

1. Propped Timber Pole Retaining Wall Design (Height $\leq 1.5\text{m}$)
2. Foundation Beams and Slab Design

2. CODES CONSIDERED:

1. NZ Building Code B1 and B2
2. Structural Design Actions: AS/NZS 1170.0, 1: 2002
3. Timber Structural Standard: NZS 3603: 1993
4. Earthquake Geotechnical Engineering Practice Module 6: Earthquake Resistant Retaining Wall Design
5. Concrete Structures Standard: NZS 3101: 2006

3. SITE INFORMATION:

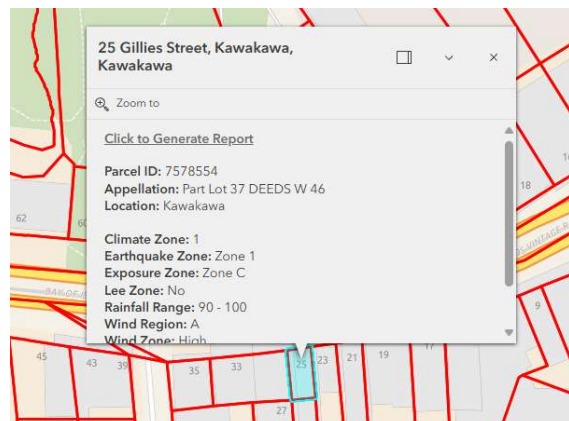
Earthquake Zone: Zone 1

Exposure Zone: Zone C

Wind Zone: High

Importance Level: 2

Information above has been obtained from BRANZ Map. This information is provided only for reference.



4. GEOTECHNICAL PARAMETERS CONSIDERED:

Undrained Shear Strength $S_u := 50 \text{ kPa}$

Backfill slope $\beta := 0 \text{ deg}$

Back slope of wall $\theta := 0 \text{ deg}$

Soil Density $\gamma := 24 \frac{\text{kN}}{\text{m}^3}$

Internal Friction Angle $\phi' := 35 \text{ deg} = 0.6109$

Wall Friction $\delta := 23 \text{ deg}$

Downward slope $\alpha := 0 \text{ deg}$ $\Phi_{soil} := 0$

 PK ENGINEERING CHARTERED PROFESSIONAL ENGINEERS	Title Proposed Addition to Existing Structure At 25 Gillies Street, Kawakawa For Liquid Laundromat kawakawa	Job No. 25-048	Page 2
		Designer CJ	Date Sept 2025

5. PROPPED CANTILEVER TIMBER POLE RETAINING WALL:

5.1 Retaining Wall Parameters:

$H_r := 1.0 \text{ m}$	Max Retaining height
$D_{pole} := 150 \text{ mm}$	Pole Diameter
$D_{hole} := 400 \text{ mm}$	Concrete Bore Encasement Diameter
$s := 1000 \text{ mm}$	Pole Spacing
$f_b := 38 \text{ MPa}$	Pole Bending Strength
$f_c := 21 \text{ MPa}$	Pole Compressive Strength
$f_s := 3.1 \text{ MPa}$	Pole Shear Strength
$Q := 12 \text{ kPa}$	Live Surcharge Load Considered

POLWALP	P K ENGINEERING LIMITED			23-Sept-25
PROPPED CANTILEVER POLE RETAINING WALL DESIGN				
REF :	25-048 Kawaka Laundromat			DESIGNER : CJ
INPUT DATA :				
POLES		BACKFILL		
Height H(m)	1.00	Soil density	24	Kn/m3
Pole Dia. d(mm)	150	Internal friction	35	degree
Pole Spacing Ip(m)	1	Wall friction	23	degree
Surcharge S(kPa)	12	Backfill slope	0	degree
Encasement B(mm)	400	Wall slope	90	degree
		Water Table Ht	0	m
RAILS				
Spacing C(mm)	150			
Rail Type (1 = Yes)		Ko =	0.4264236	
Half round (Ex150)	0			
150*50	1			
Elastic Modulus	189000	mm3		
DESIGN :				
Lateral force due to backfill		Pah =	5.1170828	kN
" surcharge		Pas =	5.1170828	kN
" water		Pw =	0	kN
Total lateral force		Pbase =	7.2918429	kN
		Ptop =	2.9423226	kN
Max. pole moment		Mp base	0.9253391	kN-m
		Mp mid-ht	#VALUE!	kN-m
Force on lowest rail		Fr =	2.1875529	kN/m
STRESSES :				
	Actual	Allowable		
Pole Fb =	2.792002	Mpa	12.4	Mpa OK
Rail	1.157435		6	Mpa OK
EMBEDMENT :				
By Rutledge				
Safe lateral bearing capacity of soil =			50	kpa
Minimum depth of embedment				
No restraint at grnd surface =			1.0877438	m
Full restraint =			0.9519192	m



Title

Proposed Addition to Existing Structure
At 25 Gillies Street, Kawakawa For
Liquid Laundromat kawakawa

Job No.

25-048

Page

3

Designer

CJ

Date

Sept 2025

6. FOUNDATION SLAB DESIGN:

10.1 Foundation Slab (125mm Thick Slab):

$$G_{floor} := 3.125 \text{ kPa}$$

Slab dead load (125mm thick)

$$Q_{floor} := 12 \text{ kPa}$$

Slab Live Load (Tanks & LPG Cylinders)

$$L_s := 1.0 \text{ m}$$

Span of slab (Per meter length)

$$t_a := 1.0 \text{ m}$$

Tributary width of Slab

Design for strength

Load Cases Considered:

$$1 : 1.35G$$

$$2 : 1.2G + 1.5Q$$

Load Case 1:

Load Case 2:

Govern

$$w_1 := 1.35 \cdot G_{floor} \cdot t_a = 4.22 \frac{\text{kN}}{\text{m}}$$

$$w_2 := (1.2 \cdot G_{floor} \cdot t_a) + (1.5 \cdot Q_{floor} \cdot t_a) = 21.75 \frac{\text{kN}}{\text{m}}$$

$$M_1 := \frac{w_1 \cdot L_s^2}{8} = 0.5273 \text{ kN m}$$

$$M_2 := \frac{w_2 \cdot L_s^2}{8} = 2.7188 \text{ kN m}$$

$$V_1 := \frac{w_1 \cdot L_s}{2} = 2.1094 \text{ kN}$$

$$V_2 := \frac{w_2 \cdot L_s}{2} = 10.875 \text{ kN}$$

Checking for Flexure

$$F_c := 30 \text{ MPa}$$

Concrete grade

$$F_y := 500 \text{ MPa}$$

Reinforcement grade

$$F_{yt} := 500 \text{ MPa}$$

Shear reinforcement grade

$$C := 40 \text{ mm}$$

Cover

$$D := 100 \text{ mm}$$

Slab depth

$$B := 1000 \text{ mm}$$

Slab breadth

$$d := 6.1 \text{ mm}$$

Bar diameter

$$\Phi := 0.85$$

Strength reduction factor



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$$D_{eff} := D - C - \frac{d}{2} = 56.95 \text{ mm} \quad \text{Effective depth}$$

$$n := 5 \quad \text{Number of bars provided}$$

$$A_s := \frac{\pi}{4} \cdot d^2 \cdot n = 146.1233 \text{ mm}^2 \quad \text{Provided area of steel}$$

$$j_d := \frac{A_s \cdot F_y}{0.85 \cdot F_c \cdot B} = 2.8652 \text{ mm}$$

$$\Phi M_n := \Phi \cdot A_s \cdot F_y \cdot (D_{eff} - 0.5 \cdot j_d) = 3.4478 \text{ kN m} \quad \text{Moment Capacity of the Slab}$$

$$\Phi M_n > M_2$$

Checks OK

Checking for Shear

$$p_w := \frac{A_s}{B \cdot D_{eff}} = 0.0026$$

$$v_b := (0.07 + 10 \cdot p_w) \cdot \sqrt{30} = 0.5239$$

$$k_a := 1.0 \quad k_d := 1.0$$

$$V_c := \frac{v_b \cdot k_a \cdot k_d \cdot 1000 \cdot 56.95 \cdot 1 \text{ kN}}{1000} = 29.8385 \text{ kN} \quad \text{Concrete Shear Capacity}$$

$$V_c > V_2$$

No Shear Reinforcement Required

10.2 Internal, External Loadbearing Foundation Beams and Internal Ribs:

Analysis has been carried out using SAFE Standard 21.0.0 Analysis Software

$$Q_{slab} := 12.0 \text{ kPa} \quad \text{Slab Live Load}$$

$$G_{slab} := 3.125 \text{ kPa} \quad \text{Slab Dead Load (Automatic Addition in the Software)}$$

$$G_{beam} := 3.0 \frac{\text{kN}}{\text{m}} \quad \text{Beam self weight (Automatic Addition in the Software)}$$



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Subgrade Modulus Considered for the Analysis

$$q_{bearing} := 50 \text{ kPa}$$

Soil undrained shear strength as per PK Engineering Ltd
Geotechnical report

$$\Delta_{allow} := \frac{4800 \text{ mm}}{300} = 16 \text{ mm}$$

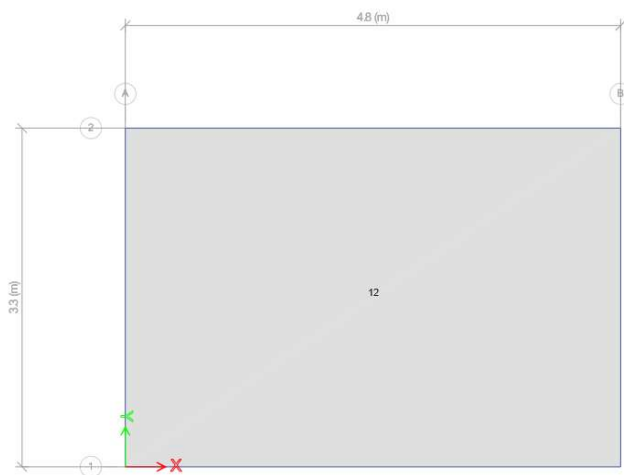
Allowable Settlement (Category 2 Structure)

$$K := \frac{q_{bearing}}{\Delta_{allow}} = 3125 \frac{\text{kN}}{\text{m}^3}$$

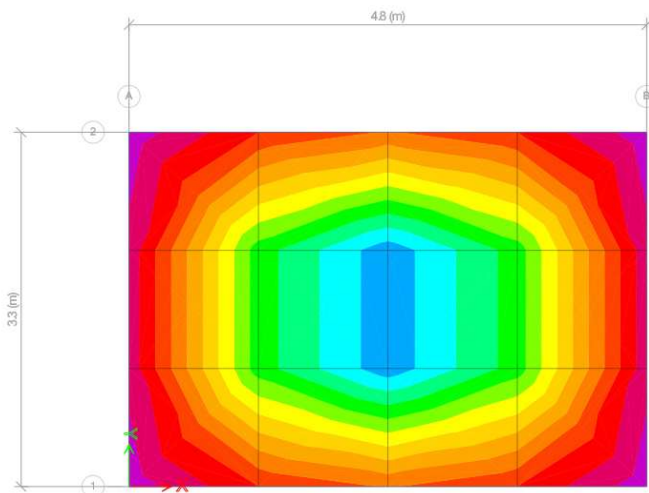
Subgrade Modulus

Assigned Slab Loads:

Live Load 12kPa



Settlement Check of Foundation:



Case 1 - 1.2G + 1.5Q

Max Settlement = 7.48mm

Min Settlement = 0mm

Differential Settlement = 7.48mm

Checks OK





Title
Proposed Addition to Existing Structure
At 25 Gillies Street, Kawakawa For
Liquid Laundromat kawakawa

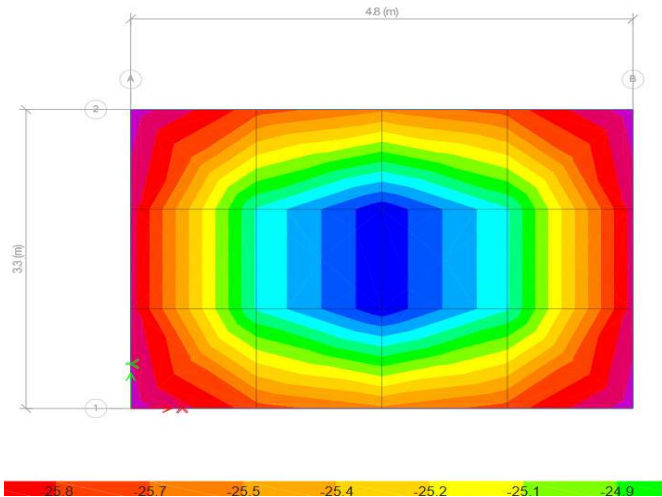
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Soil Pressure Check of Foundation:



Case 1 - 1.2G + 1.5Q

$P_{max} := 26.2 \text{ kPa}$ Max Pressure Exerted

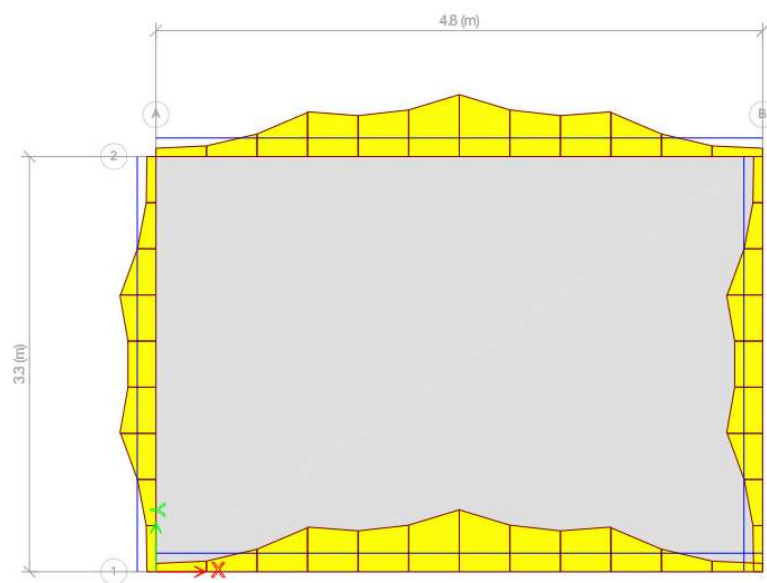
$P_o := 50.0 \text{ kPa}$ Allowable Bearing Pressure

$$P_{max} < P_o$$

Checks OK

Steel Reinforcement Requirement (Most Critical Case - 1.2G + 1.5Q):

Case 1 - Foundation Beams with no RCBM Walls Above (Front Edge of Hangar)



$$A_{s_top.req} := 40 \text{ mm}^2$$

$$A_{s_bot.req} := 26 \text{ mm}^2$$

Providing 1HD12 bars top and bottom with R10 stirrups at 200mm c/c.

$$A_{s_top.prov} := 113.09 \text{ mm}^2$$

$$A_{s_bot.prov} := 113.09 \text{ mm}^2$$

Checks OK

Summary of Foundation Slab:

- Use 125mm thick foundation slab with one layers of SE62 mesh, 40mm top cover.
- Use a 300mm wide x 400mm deep foundation beam with 1HD12 bar top and bottom along with R6 stirrups at 200mm c/c.



AUGER HOLE LOGS

P K ENGINEERING LIMITED

90 KERIKERI RD Phone (09) 4073255 EMAIL: teampk@pkengin.co.nz

BOREHOLE No. AH / SHT. of

Location:

Kawarua Liquid Laundry

Job No.

Drilled by:

RJ

Date: *2/9/25*

R.L at Ground Level:

GWL:

Unit	Soil Description	Soil Symbol	Depth (m)	Sample/ Test	Shear Strength (Vane Readings)	Moisture	Origins, Composition, Defects
	<i>gravelly material</i>				<i>UTP</i>		<i>fill</i>
			0.5		<i>UTP</i>		<i>no SV</i>
					<i>FILL</i>		<i>starting loose in gravelly fill</i>
			1.0		<i>UTP</i>		
					<i>= V UTP</i>		
			1.5		<i>UTP</i>		
	<i>cracks from base</i>				<i>V UTP</i>		
			2.0				
			2.5				
			3.0				
			3.5				
			4.0				
			4.5				

FILL CLAY SILT SAND GRAVEL PEAT MUD STONE TOPSOIL SILT STONE SAND STONE TUFF BASALT

BBB

October
Wk M T W T
40 1 2
41 6 7 8 9
42 13 14 15 16
43 20 21 22 23
44 27 28 29 30

P K ENGINEERING LIMITED

90 KERIKERI RD

Phone (09) 4073255

EMAIL: teampk@pkengin.co.nz

BOREHOLE No. AH 2
SHT. of

Location:

Drilled by:

R.L at Ground Level:

Landy Karahana

Job No.

Date: *2/9/25*

GWL:

Unit	Soil Description	Soil Symbol	Depth (m)	Sample/ Test	Shear Strength (Vane Readings)	Moisture	Origins, Composition, Defects
	<i>gently silt.</i>				<i>60/10</i>		
			0.5		<i>UTP</i>		
	<i>fill</i>				<i>UTP</i>		
	<i>leak from here.</i>		1.0				
			1.5				
			2.0				
			2.5				
			3.0				
			3.5				
			4.0				
			4.5				

FILL CLAY SILT SAND GRAVEL PEAT MUD STONE TOPSOIL SILT STONE SAND STONE TUFF BASALT
 @@@@ ##### %%% 000 ++++ ***** 0000 0000 0000 0000 0000

October
 Wk M T W T
 40
 41 6 7 8 9
 42 13 14 15 16
 43 20 21 22 23
 44 27 28 29 30 31

P K ENGINEERING LIMITED

90 KERIKERI RD Phone (09) 4073255

EMAIL pk.engin@pkengin.co.nz

PENETROMETER HOLE No.

SHT. 1 of 1

Location: *Kawakawa Lammy*

Job No.

Date:

Driven by:

GWL:

R.L at Ground Level: n/a

Depth	PT1	PT2	PT3	PT4	Depth	PT1	PT2	PT3	PT4	Depth	PT1	PT2	PT3	PT4	Depth	PT1	PT2	PT3	PT4
															7550				
50					2550	3	10			5050					7600				
100					2600	1	3			5100					7650				
150					2650	3	3			5150					7700				
200					2700	3	4			5200					7750				
250					2750	1	1			5250					7800				
300					2800	2	1			5300					7850				
350					2850	1.5	1			5350					7900				
400					2900	1.5	1			5400					7950				
450					2950	3	1			5450					8000				
500					3000	4	1			5500					8050				
550					3050	2	1			5550					8100				
600					3100	2	1			5600					8150				
650					3150	2	1			5650					8200				
700					3200	2	2			5700					8250				
750					3250	2	2			5750					8300				
800		-			3300	2	3			5800					8350				
850		1			3350	1	3			5850					8400				
900		1			3400	2	3			5900					8450				
950		3			3450	2	4			5950					8500				
1000		3			3500	2	2			6000					8550				
1050		4			3550	2	2			6050					8600				
1100		2			3600	1	3			6100					8650				
1150		2			3650	1	3			6150					8700				
1200		1			3700	1	3			6200					8750				
1250		2			3750	1	4			6250					8800				
1300		2			3800	1	3			6300					8850				
1350		2			3850	1	3			6350					8900				
1400		2			3900	14				6400					8950				
1450		2			3950					6450					9000				
1500		2			4000					6500					9050				
1550		2			4050					6550					9100				
1600		2			4100					6600					9150				
1650		3			4150					6650					9200				
1700		3			4200					6700					9250				
1750		3			4250					6750					9300				
1800		2			4300					6800					9350				
1850		3			4350					6850					9400				
1900		3			4400					6900					9450				
1950		2			4450					6950					9500				
2000		3			4500					7000					9550				
2050		3			4550					7050					9600				
2100		4			4600					7100					9650				
2150		2			4650					7150					9700				
2200		2			4700					7200					9750				
2250		2			4750					7250					9800				
2300		2			4800					7300					9850				
2350		2			4850					7350					9900				
2400		3			4900					7400					9950				
2450		3			4950					7450					10000				
2500		4			5000					7500									

Fill
↑



CHARTERED PROFESSIONAL ENGINEERS

PROJECT:

**PROPOSED ADDITION TO
EXISTING STRUCTURE FOR
KAWAKAWA LIQUID LAUNDROMAT**

PROJECT ADDRESS:

**25 GILLIES STREET
KAWAKAWA**

LEGAL DESCRIPTION

PART LOT 37 DEEDS W 46

JOB NO:

25-048

DATE OF FIRST ISSUE:

02ND OCTOBER 2025

REVISION: BC1

DRAWING INDEX:	
S0	GENERAL NOTES
S1	EXISTING LAYOUT PLAN
S2A	PROPOSED FOUNDATION PLAN
S2B	PROPOSED FLOOR SLAB PLAN
S3A	EXISTING GROUND PROFILE
S3B	CROSS SECTION-AA
S4	CROSS SECTION-BB
S5	FOUNDATION DETAILS

BC1

LEVEL 2
ANZ Bank Building
90 Kerikeri road,
P.O.Box 464
KERIKERI

Tel. (09) 4073255
Fax. (09) 4073256
E-mail. teampk@pkengin.co.nz

NOTES

A : GENERAL

1. THE STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION AND WITH ARCHITECTURAL, SERVICES, CIVIL AND OTHER PROJECT DRAWINGS. ANY DISCREPANCIES SHALL BE REFERED TO THE ENGINEER FOR RESOLUTION.
2. THE PRESENCE, LOCATION AND DETAILS OF NIBS, PLINTHS, RECESSES, REBATES, PENETRATIONS, SLEEVES, CHASES, DUCTS, CAST-IN FIXINGS, INSERTS, BRACKETS, FLASHINGS, DAMP-PROOFING AND WATERPROOFING etc ARE NOT NECESSARILY SHOWN ON THE STRUCTURAL DRAWINGS. REFER TO ARCHITECTURAL, SERVICES, CIVIL, AND OTHER PROJECT DRAWINGS AND SPECIFICATIONS FOR THESE ITEMS.
3. THE LOCATION, SIZE AND DETAILS OF ALL NIBS, PLINTHS, RECESSES, REBATES, PENETRATIONS etc. IN STRUCTURAL MEMBERS, MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION UNLESS SHOWN ON THE STRUCTURAL DRAWINGS. THESE ITEMS SHALL BE CAST-IN, FORMED, OR SHOP FABRICATED AND SHALL NOT BE CUT OR CORED ON SITE, UNLESS NOTED OTHERWISE OR APPROVED BY THE ENGINEER.
4. SUBSTITUTION FOR OR AMENDMENT OF DETAILS SHOWN OR MATERIALS SPECIFIED SHALL NOT BE CARRIED OUT WITHOUT APPROVAL OF THE ENGINEER.
5. IN THE EVENT THAT THERE IS ANY CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATION THEN THE REQUIREMENTS OF THE DRAWINGS SHALL TAKE PRECEDENCE, WITH THE DETAIL DRAWINGS TAKING PRECEDENCE OVER THESE GENERAL NOTES.
6. UNLESS OTHERWISE SPECIFIED OR DETAILED ON THE DRAWINGS, THESE NOTES AND DETAILS SHALL APPLY. INCLUSION OF THESE NOTES IN THIS CONTRACT DOES NOT IMPLY THAT ALL DETAILS APPLY.

B : DIMENSIONS

1. ALL DIMENSIONS ARE IN MILLIMETRES, EXCEPT LEVELS AND COORDINATES WHICH ARE IN METRES.
2. DO NOT SCALE THE DRAWINGS.
3. ALL DIMENSIONS TO EXISTING WORK SHALL BE VERIFIED BY SITE MEASUREMENT PRIOR TO FABRICATION U.N.O.

C : FOUNDATIONS

1. FOUNDATIONS ARE TO BE FOUNDED ON ORIGINAL UNDISTURBED GROUND, AT A MINIMUM DEPTH OF 450 mm. BEFORE ANY CONCRETE IS PLACED A QUALIFIED ENGINEER SHALL VERIFY THAT THE SAFE BEARING CAPACITY OF THAT GROUND IS AS FOLLOWS :

ALLOWABLE WORKING SOIL STRESS = 100 KPa
2. ANY SOFT SPOTS AT FORMATION LEVEL ARE TO BE DUG OUT AND REPLACED WITH WELL-COMPACTED HARDFILL.
3. THE TOP SURFACE OF ALL HARDFILL TO RECEIVE A DPC IS TO BE CHOKED WITH SAND.
4. WHERE REQUIRED PLACE 40 mm SITE CONCRETE UNDER FOUNDATIONS.
5. PLACE DPC UNDER ALL FOUNDATIONS AND GROUND-BEARING SLABS. DPC TO BE PERMATHENE DAMPSTOP 767 or ARMAFOIL INDUSTRIES MOISTOP 748.

D : CONCRETE

1. ALL STRUCTURAL CONCRETE WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH NZS 3109:2000.
2. ALL STRUCTURAL CONCRETE SHALL BE SPECIAL GRADE TO NZS 3104:2003. STRENGTHS SHALL BE AS FOLLOWS U.N.O. :

FOUNDATIONS - 25 MPa
CAST INSITU SLABS, BEAMS & COLUMNS - 25 MPa
PRE-CAST ITEMS - 40 MPa
3. SURFACE FINISHES SHALL BE TO NZS 3114:1987, TYPICALLY AS FOLLOWS U.N.O. :

BURIED FOUNDATIONS - F1 or U1
CONCRETE EXPOSED TO VIEW - F4 or U3
4. REINFORCEMENT SHALL BE TO :

NZS 3402 HOT ROLLED STEEL BARS
NZS 3422 WELDED FABRIC OF DRAWN STEEL WIRE
5. NOMENCLATURE :

D - DEFORMED BAR GRADE 300E
HD - DEFORMED BAR GRADE 500E
R - PLAIN BAR GRADE 300E
HR - PLAIN BAR GRADE 500E
6. NO REINFORCING IS TO BE WELDED WITHOUT THE WRITTEN AUTHORITY OF THE ENGINEER. THE WELDING OF REINFORCING IS TO BE IN ACCORDANCE WITH AS/NZS 1554.3:2002
7. NO REINFORCING SHALL BE RE-BENT ON SITE UNLESS SHOWN ON THE DRAWINGS, AND WHERE RE-BENT SHALL ONLY BE RE-BENT ONCE.
8. SAWCUTS TO BE 5mm WIDE AND EXTEND TO A THIRD DEPTH OF SLAB. SAW CUTTING TO TAKE PLACE NO LATER THAN 24 HOURS FOR AVERAGE AMBIENT TEMPERATURE ABOVE 20°C AND 48 HOURS FOR BELOW 20°C.

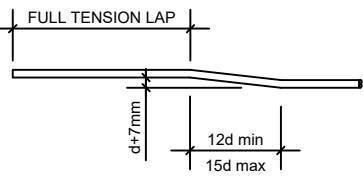
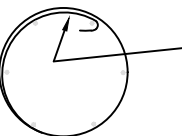
9. MINIMUM SPLICE LAP LENGTHS FOR DEFORMED STEEL :
BAR DESIGNATION LAP LENGTH

HD10	-	560
HD12	-	670
HD16	-	900
HD20	-	1120

HD24 AND LARGER - REFER DRAWINGS

D10	-	335
D12	-	400
D16	-	540
D20	-	670

D24 AND LARGER - REFER DRAWINGS

10. (a)  DENOTES 
(b)  DENOTES 
(c)  DENOTES  or  BEND AND STANDARD LEG
(d) CRANKED BARS SHALL BE DIMENSIONED AS FOLLOWS :

(e) END ANCHORAGE OF SPIRAL REINFORCEMENT :
 ANCHOR AT ENDS WITH COMPLETE HORIZONTAL LOOP AND ADDITIONAL HALF TURN WITH 135° HOOK AROUND LONGITUDINAL BAR (OR APPROVED WELDED EQUIVALENT)

11. MINIMUM COVER :

POSITION	COMPONENT	TYPE OF REINFORCEMENT	COVER
CAST AGAINST & PERMANENTLY EXPOSED TO THE GROUND	ALL COMPONENTS	ALL REINFORCING	75
OTHER	BEAMS & COLUMNS	PRIMARY REINFORCEMENT	50
		SECONDARY REINFORCEMENT INCLUDING STIRRUPS, TIES AND SPIRALS.	40
	WALLS, SLABS PANELS & RIBS	ALL REINFORCING	35

12. CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN OR SPECIFICALLY APPROVED BY THE ENGINEER. CONSTRUCTION JOINTS SHALL BE PREPARED BY RETARDING THE INTERFACE SURFACE, THEN WATER BLASTING TO PRODUCE A SURFACE WHICH IS CLEAN,FREE OF LAITANCE AND INTENTIONALLY ROUGHENED TO A FULL AMPLITUDE OF NOT LESS THAN 5 mm.
13. ALL CONCRETE SHALL BE FULLY CURED. SPRAY-ON MEMBRANES SHALL BE COMPATIBLE WITH FINISHES.

E : STEELWORK

1. ALL STEELWORK SHALL BE FABRICATED AND ERECTED TO NZS 3404:1997.
2. STEEL GRADES :

HOT ROLLED STRUCTURAL SECTIONS TO OneSteel-300PLUS.
RECTANGULAR HOLLOW SECTIONS TO AS1163 GRADE C350.
HOT ROLLED PLATES AS3678 GRADE 250.
CIRCULAR HOLLOW SECTIONS TO AS1163 GRADE C250.

3. ALL WELDING TO AS/NZS 1554.1 CATEGORY SP U.N.O. ALL WELDING SHALL BE CARRIED OUT BY PERSONS HOLDING A CURRENT TEST CERTIFICATE FOR THE REQUIRED POSITIONS ISSUED BY A RECOGNISED AUTHORITY. WELDS TO BE GRADE E48XX OR EQUIVALENT ELECTRODE MATERIAL.
4. ALL WELDS SHALL BE 6 mm FILLET WELD ALL ROUND U.N.O., SUBJECT TO MINIMUM WELD SIZE REQUIREMENT OF AS/NZS 1554.1.
5. ALL STRUCTURAL BOLTS AND NUTS SHALL BE GRADE 8.8 TO AS1252 C/W HARDENED WASHER.

F : DRILL-IN FIXINGS

1. EXPANSION ANCHORS :

EXPANSION ANCHORS SHALL BE HOT DIP GALVANISED RAMSET TRUBOLTS OR APPROVED EQUIVALENT.
2. CHEMICAL ANCHORS :

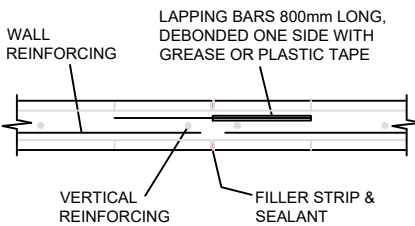
THE CHEMSET ANCHORAGE SYSTEM SHALL BE THE RAMSET EPCON CERAMIC FILLED EPOXY SYSTEM INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. HOLES SHALL BE DRILLED WITH A MASONRY BIT AND THOROUGHLY CLEANED BEFORE ANCHOR INSTALLATION. IN DRY, INTERIOR AREAS THE ANCHOR BOLTS MAY BE RAMSET THREADED ANCHORS WITH PASSIVATED ZINC COATING.

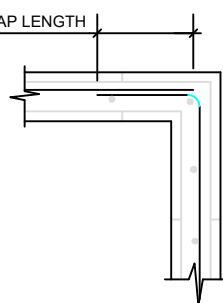
IN EXTERIOR AREAS, THE ANCHORS SHALL BE FULLY THREADED MILD STEEL ROUNDS HOT DIP GALVANISED AFTER FABRICATION.

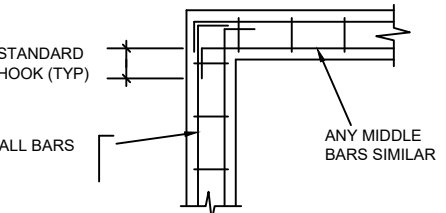
G : MASONRY

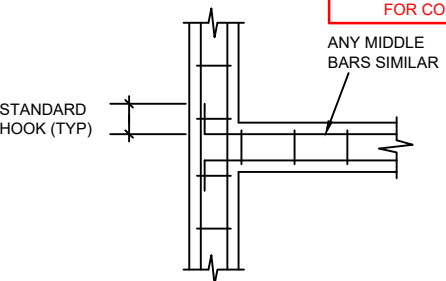
1. REINFORCED CONCRETE MASONRY SHALL COMPLY WITH NZS 4230:1990 & NZS 4210:2001.
2. MASONRY SHALL BE GRADE B ALL CELLS FILLED MIN. 28 DAYS GROUT STRENGTH 17.5 MPa.
3. ALL BLOCKS 200 SERIES U.N.O.
4. BLOCKS SHALL BE LAID IN STRETCHER BOND.
5. IF HIGH GROUTING IS USED, CLEAN OUT PORTS SHALL BE PROVIDED AT EVERY VERTICAL BAR.
6. CONTROL JOINTS IN MASONRY SHOULD BE NO GREATER THAN 6m APART.
7. MORTAR JOINTS ON EXPOSED WALLS SHALL BE RAKED WITH A HALF ROUND TOOL WHEN MORTAR IS PARTIALLY SET.
8. UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS. MINIMUM SPLICE LAP LENGTH FOR DEFORMED BARS SHALL BE :

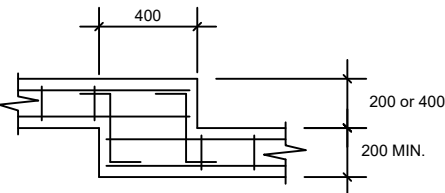
40 BAR DIAMETERS FOR GRADE 300 STEEL
60 BAR DIAMETERS FOR GRADE 500 STEEL.
60 BAR DIAMETERS FOR GRADE 500 STEEL.

9. PLAN - CONSTRUCTION JOINT :


10. PLAN - TYPICAL CORNER DETAIL :


11. PLAN - FOUNDATION CORNER :


12. PLAN - FOUNDATION JUNCTION :


13. ELEVATION - FOUNDATION STEP :


H : TIMBER

1. ALL STRUCTURAL TIMBER WORK SHALL COMPLY WITH NZS 3603:1993 AND NZS 3604:2011.
2. TIMBER FRAMING SHALL BE RADIATA PINE MSG 8 GRADE, NZTPA H1 TREATED, UNLESS OTHERWISE NOTED.
3. ALL H1 TIMBER IN CONTACT WITH CONCRETE SHALL BE PROTECTED WITH A DPM LAYER.
4. ALL MEMBERS FORMED BY PAIRS (OR MORE) OF TIMBERS TO BE NAILED TOGETHER AT 150 CRS. STAGGERED, ALTERNATE SIDES.
5. ALL TIMBER SHALL BE NEW, SOUND AND FREE FROM DEFECTS AND SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 18% AT THE TIME OF INSTALLATION. SEASONED OR DRY TIMBER STORED ON SITE SHALL BE PROTECTED FROM WEATHER AT ALL TIMES.
6. ALL NAILS, BOLTS, FASTENERS, CONNECTORS AND OTHER HARDWARE SHALL BE HOT DIP GALVANISED AFTER MANUFACTURE UNLESS SPECIFIED OTHERWISE. ALL HARDWARE SHALL BE SECURED WITH FASTENERS WHICH ARE COMPATIBLE WITH THE HARDWARE IN MATERIALS AND FINISH AND COMPLY WITH THE HARDWARE MANUFACTURER'S RECOMMENDATION.
7. BOLTS SHALL BE GRADE 4.6 COMPLETE WITH WASHERS UNDER BOTH HEAD AND NUT.
8. COACH SCREWS :

THE DIAMETER OF THE HOLE FOR THE SHANK OF A COACH SCREW SHALL BE NOT LESS THAN THE SHANK DIAMETER AND SHALL NOT EXCEED IT BY MORE THAN 1.5 mm. THE DIAMETER OF THE HOLE FOR THE THREADED PORTION SHALL NOT EXCEED THE ROOT DIAMETER OF THE SCREW, AND ITS DEPTH SHALL BE AT LEAST TWO DIAMETERS GREATER THAN THE INTENDED DEPTH TO WHICH THE SCREW IS TO BE DRIVEN.
9. COACH SCREWS SHALL NOT BE HAMMERED INTO PLACE BUT TURNED WITH A WRENCH.

ALL H3.2, H4 OR H5 TREATED TIMBER CUT ON SITE SHALL BE TREATED WITH "METALEX" ON THE CUT SURFACE.

EXISTING MEMBER KEY

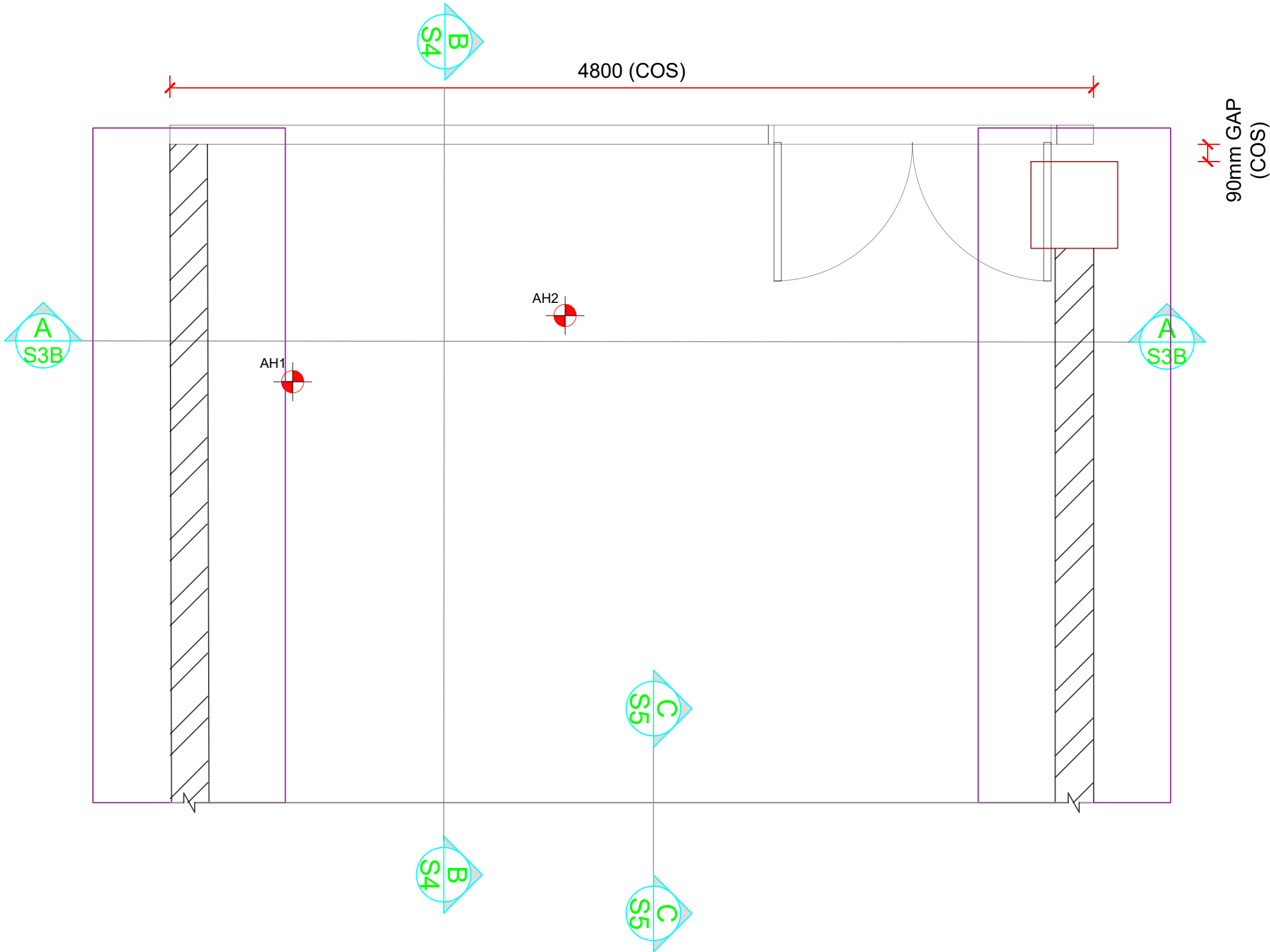
REFERENCE	ELEMENT TYPE (COS)	SYMBOL
—	EXISTING STRUCTURE	
—	EXISTING 200mm THICK RC WALL	
—	EXISTING 450X450 RC FOUNDATION COLUMN	
—	EXISTING RC FOOTING	

SPECIAL NOTES:

1. ALL EXISTING STRUCTURAL DIMENSIONS TO BE CHECKED ON SITE.
2. DESIGN ENGINEER TO BE NOTIFIED IF ANY CHANGES IN DIMENSIONS SO AS TO MAKE CHANGES IN THE DESIGN & DRAWINGS.
3. ADEQUATE PROPPING OF RETAINING WALL, EXISTING RC WALL AND PROPOSED FIRE RATED WALL TO BE ENSURED DURING CONSTRUCTION.

Notes:

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REV:	DESCRIPTION:	BY:	DATE:
STATUS: ISSUED FOR CONSENT			



LEVEL 1, ANZ BANK
90 KERIKERI ROAD, KERIKERI
PO BOX 464, KERIKERI
Phone Number: 09 407 3255
Email: teampk@pkengin.co.nz

CLIENT:
KAWAKAWA LIQUID LAUNDROMAT

SITE:	25 GILLIES STREET KAWAKAWA
TITLE:	PROPOSED ADDITION EXISTING LAYOUT PLAN

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:25	02/10/2025	CJ	PK
PROJECT NO:	DRAWING NO:	REVISION:	
25-048	S1	BC1	

MEMBER KEY

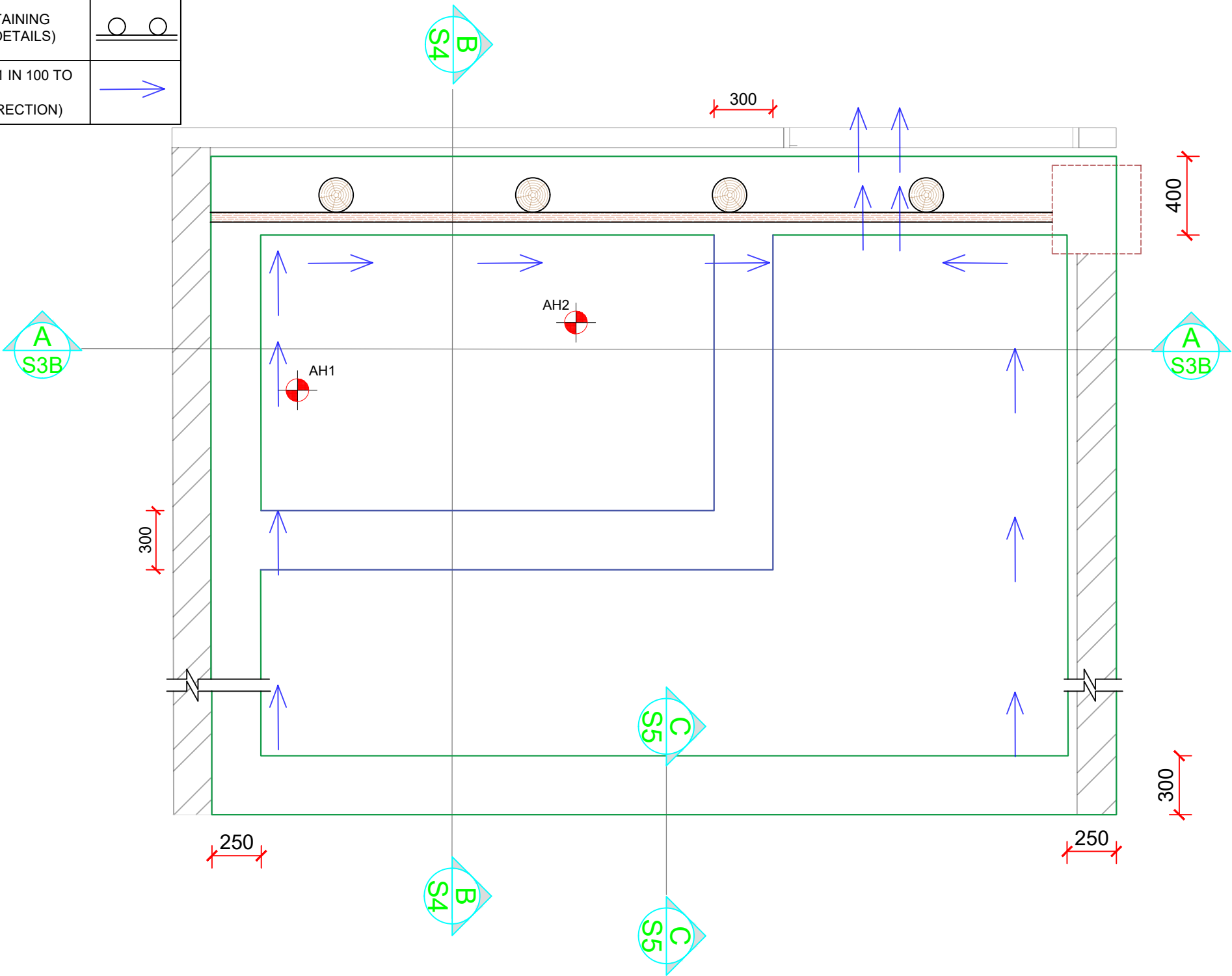
REFERENCE	ELEMENT TYPE	SYMBOL
——	EXISTING 200mm THICK RC WALL (COS)	
——	EXISTING 450X450 RC FOUNDATION COLUMN (COS)	
——	PROPOSED FOUNDATION BEAM (REFER SHEET S5 FOR DETAILS)	
——	PROPOSED SLAB THICKENING UNDER WALL(REFER SHEET S4 FOR DETAILS)	
——	PROPOSED TIMBER POLE RETAINING WALL(REFER SHEET S4 FOR DETAILS)	
——	Ø110mm NOVAFLO, MIN FALL 1 IN 100 TO STORM WATER FACILITIES (INDICATING WATER FLOW DIRECTION)	

SPECIAL NOTES:

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Email: teampk@pkengin.co.nz

CLIENT:
KAWAKAWA LIQUID LAUNDROMAT

SITE:	25 GILLIES STREET KAWAKAWA
TITLE:	PROPOSED ADDITION PROPOSED FOUNDATION PLAN

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:25	02/10/2025	CJ	PK
PROJECT NO:	DRAWING NO:	REVISION:	
25-048	S2A		

MEMBER KEY

REFERENCE	ELEMENT TYPE (COS)	SYMBOL
—	PROPOSED FIRE RATED TIMBER WALLS (AS PER ARCHITECT'S DETAILS)	
—	PROPOSED 125mm THICK CONCRETE SLAB, SE62 MESH, 40 TOP COVER. $f_c = 25\text{MPa}$, ON LAYERED HARDFILL	
AH1/AH2	AUGER HOLE LOCATIONS	

SPECIAL NOTES:

- ALL EXISTING STRUCTURAL DIMENSIONS TO BE CHECKED ON SITE.
- DESIGN ENGINEER TO BE NOTIFIED IF ANY CHANGES IN DIMENSIONS SO AS TO MAKE CHANGES IN THE DESIGN & DRAWINGS.
- ADEQUATE PROPPING OF RETAINING WALL, EXISTING RC WALL AND PROPOSED FIRE RATED WALL TO BE ENSURED DURING CONSTRUCTION.

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Email: teampk@pkengin.co.nz

CLIENT:
KAWAKAWA LIQUID LAUNDROMAT

SITE:	25 GILLIES STREET KAWAKAWA
TITLE:	PROPOSED ADDITION PROPOSED FLOOR SLAB PLAN

SCALE AT A3:	DATE:	DRAWN:	CHECKED:
1:25	02/10/2025	CJ	PK
PROJECT NO:	DRAWING NO:	REVISION:	
25-048	S2B		

EXISTING BUILDING FFL APPROX..

EXISTING RC
WALL 200mm
THICK (COS)

EXISTING RC
WALL 200mm
THICK (COS)

EGL APPROX..

EXISTING FOOTING
(COS)

300 - UTP

300 -60/10

600 - UTP

600 - UTP

900 - UTP

900 - UTP

1200 - UTP

1

1500 - UTP

2

GRAVELLY FILL

1800 - UTP

2

5

4

2

3

NATURAL GROUND

3

4

4

0.25

2

3

1

3

1

3

WEAK LAYERS

Notes:

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REV:	DESCRIPTION:	BY:	DATE:
STATUS: ISSUED FOR CONSENT			



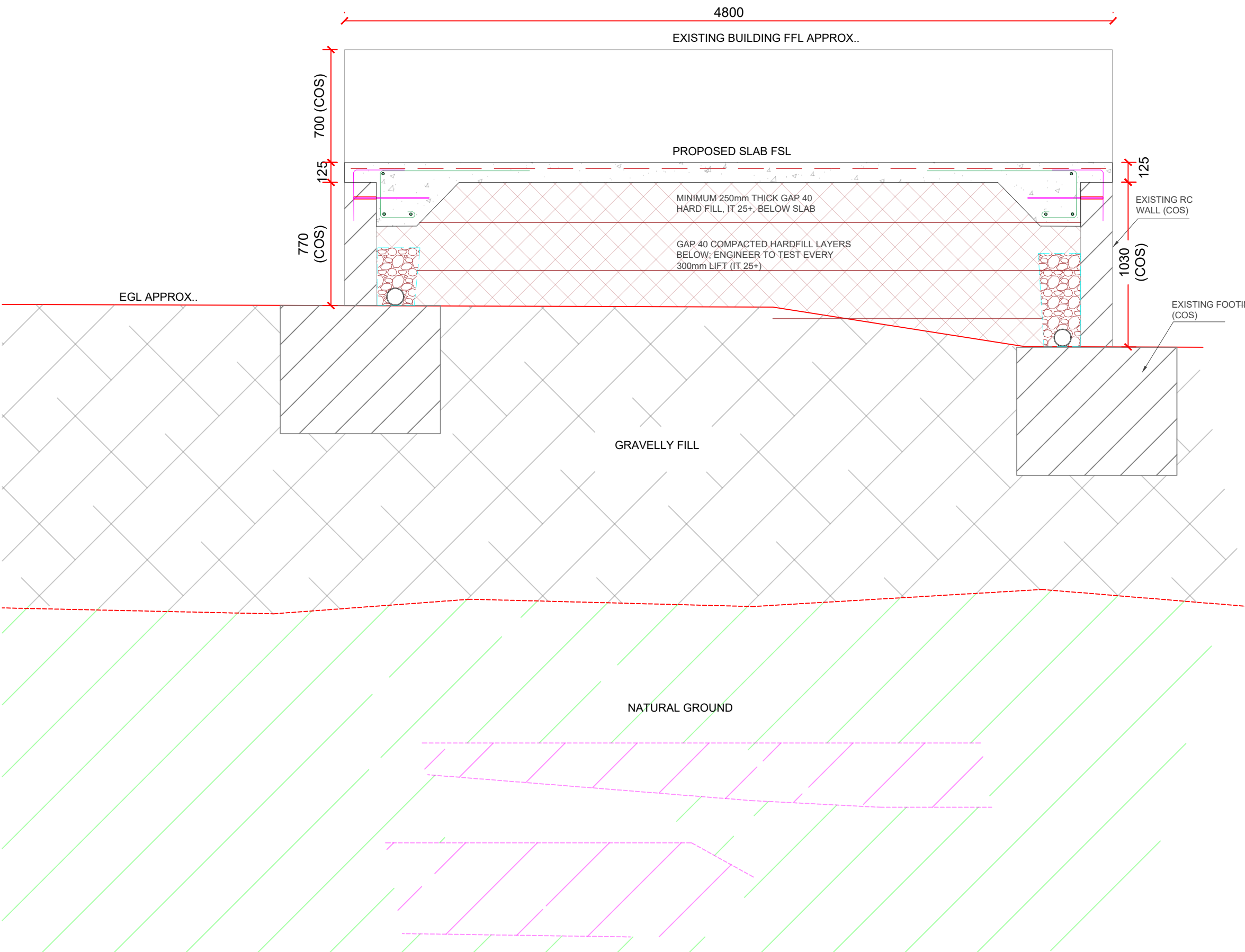
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PO BOX 464, KERIKERI
Phone Number: 09 407 3255
Email: teampk@pkengin.co.nz

CLIENT:
KAWAKAWA LIQUID LAUNDROMAT

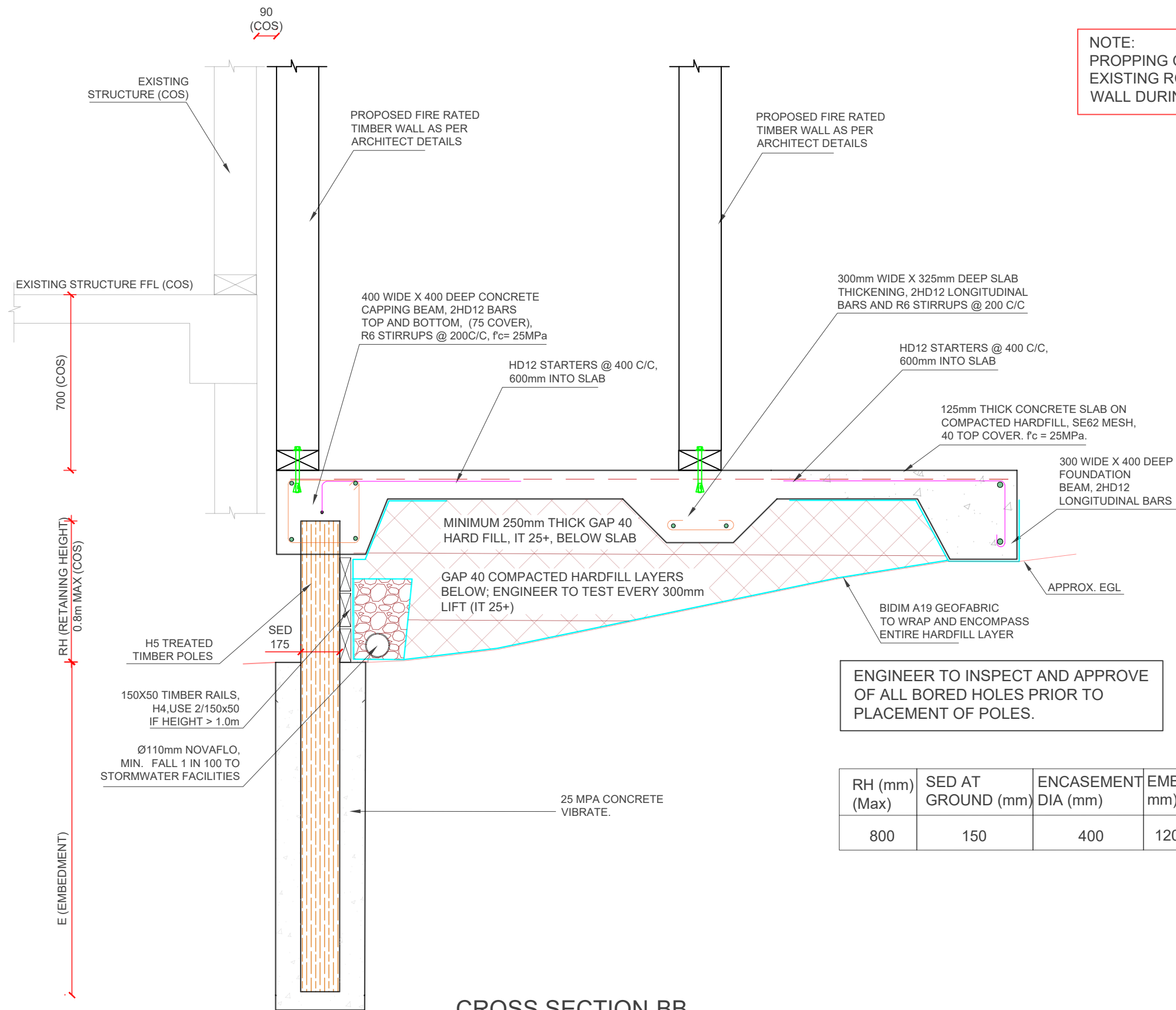
SITE: 25 GILLIES STREET
KAWAKAWA
TITLE: PROPOSED ADDITION
EXISTING GROUND PROFILE

SCALE AT A3: 1:25	DATE: 02/10/2025	DRAWN: CJ	CHECKED: PK
PROJECT NO: 25-048	DRAWING NO: S3A	REVISION:	

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STATUS:		ISSUED FOR CONSENT	
			
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CLIENT:			
KAWAKAWA LIQUID LAUNDROMAT			
SITE: 25 GILLIES STREET KAWAKAWA			
TITLE: PROPOSED ADDITION CROSS SECTION - AA			
SCALE: AT A3: 1:25	DATE: 02/10/2025	DRAWN: CJ	CHECKED: PK
PROJECT NO: 25-048	DRAWING NO: S3B		REVISION:



NOTE: ENSURE ADEQUATE PROPPING OF RETAINING WALL, EXISTING RC WALL & PROPOSED WALL DURING CONSTRUCTION

CROSS SECTION-BB
SCALE 1:20

RH (mm) (Max)	SED AT GROUND (mm)	ENCASEMENT DIA (mm)	EMBEDMENT mm	SPACING
800	150	400	1200	1.0M C/C

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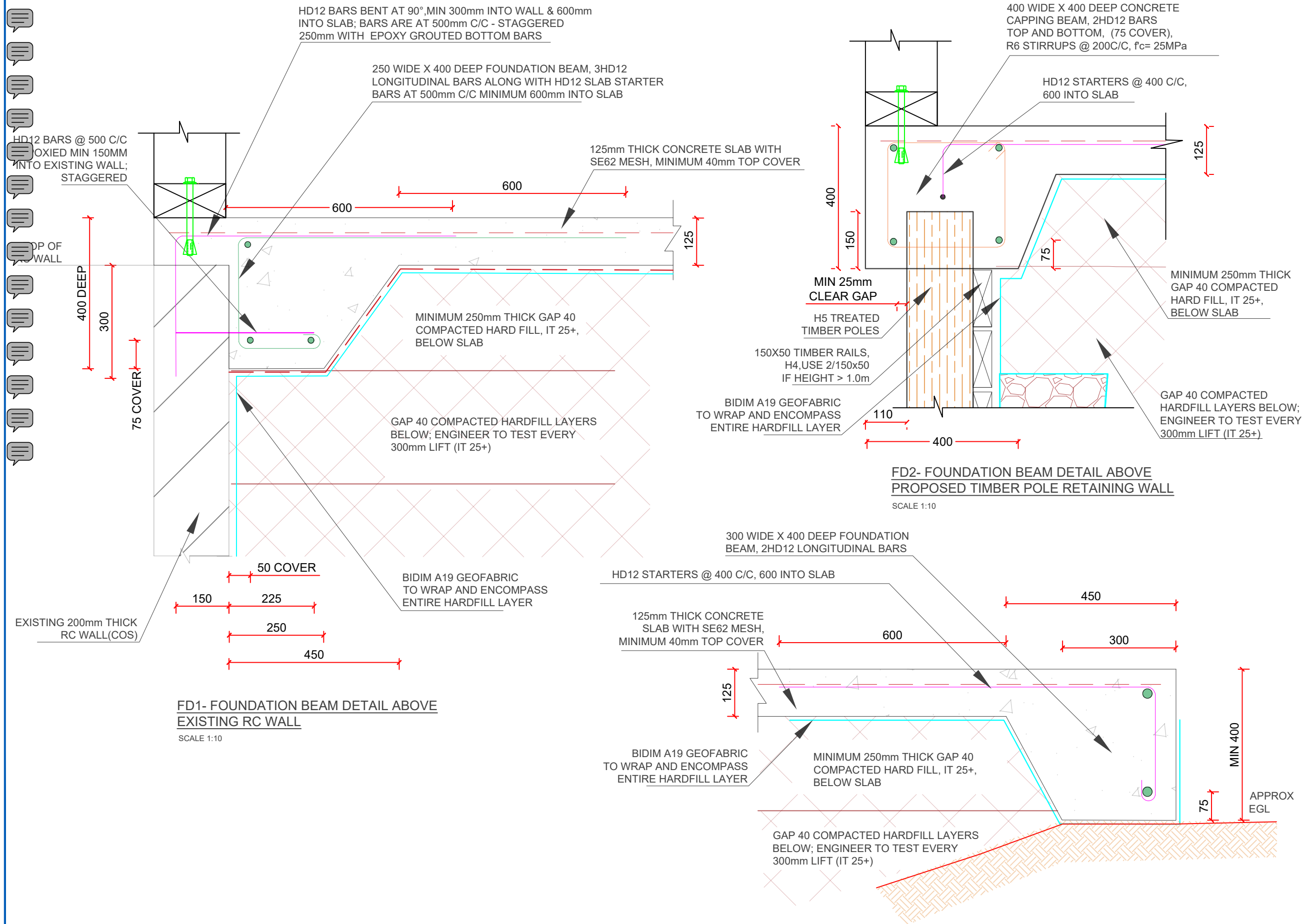


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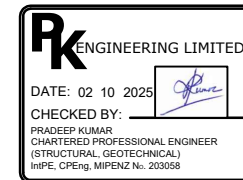
SITE:	25 GILLIES STREET KAWAKAWA
TITLE:	PROPOSED ADDITION CROSS SECTION - BB

SCALE AT A3:	1:20	DATE:	02/10/2025	DRAWN:	CJ	CHECKED:	PK
PROJECT NO:	25-048	DRAWING NO:	S4	REVISION:			

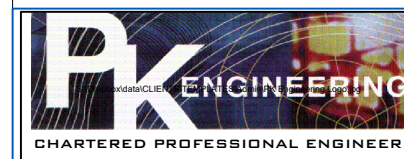


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STATUS: ISSUED FOR CONSENT			



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PO BOX 464, KERIKERI
Phone Number: 09 407 3255
Email: teampk@pkengin.co.nz

CLIENT:
KAWAKAWA LIQUID LAUNDROMAT

SITE:
25 GILLIES STREET
KAWAKAWA

TITLE:
PROPOSED ADDITION
FOUNDATION DETAILS

SCALE AT A3: 1:10	DATE: 02/10/2025	DRAWN: CJ	CHECKED: PK
PROJECT NO: 25-048	DRAWING NO: S5	REVISION:	

GENERAL NOTES:

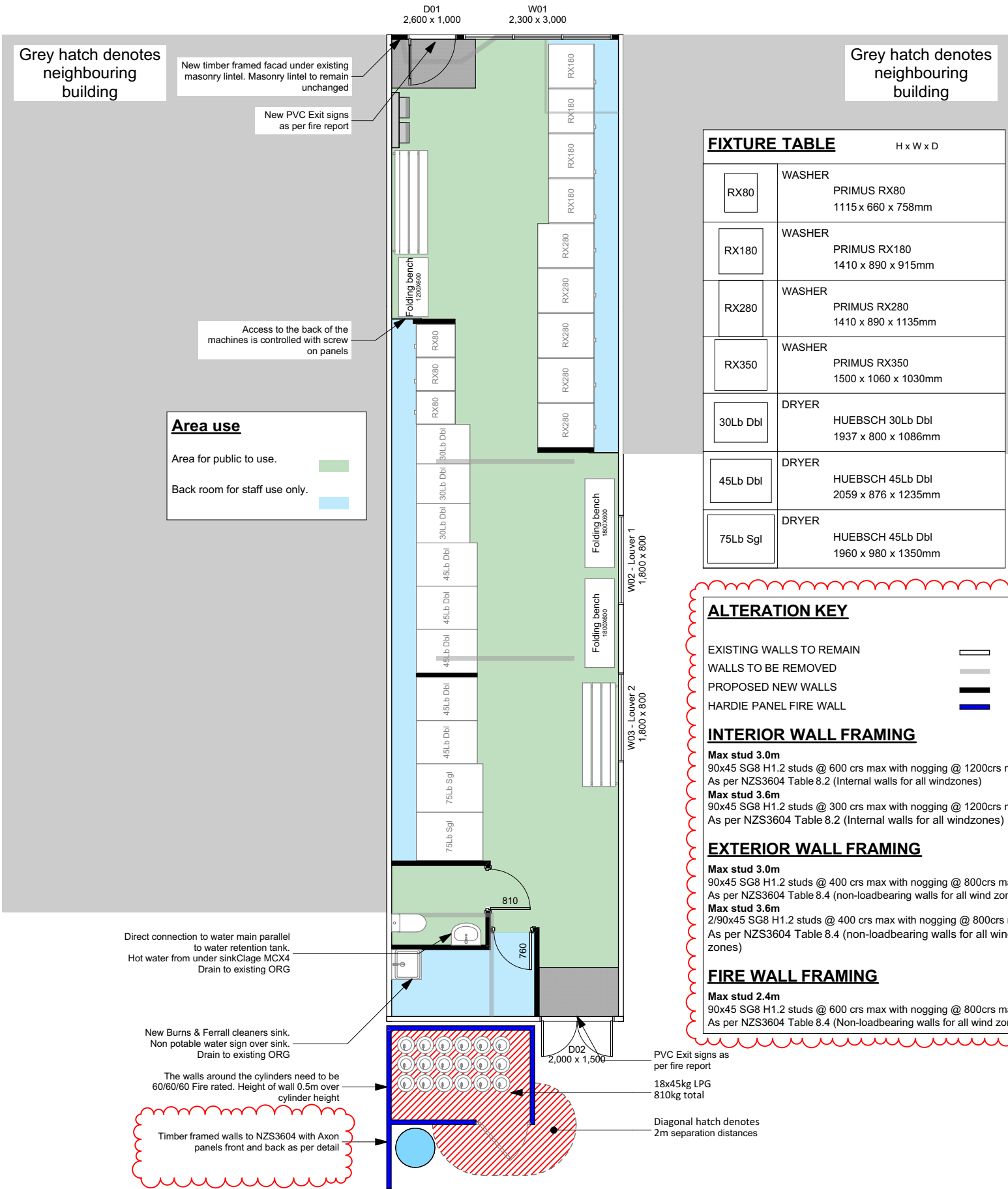
- Contractor to check and verify all dimensions on site prior to commencing contract.
Do not scale off drawings.
- All Cladding is existing and to remain unchanged.
- New 20mm strandfloor flooring (use H3.2 ply flooring for wet areas if required) glued & screwed to existing 170x45mm joists.
- New linings 13mm standard GIB.
- Selected flooring to have a minimum critical radiant flux of 1.2kW/ m². Refer to BCD fire safety assessment, Clause 6.5.
- Wall & ceiling linings linings of Crowd spaces to be Group No 2S and other occupied spaces to be Group No 3. As per Fire report, 6.2.
- All Unlabeled joinery is existing and to remain unchanged.
- Flooring in all areas, selected PVC resilient 2mm flooring with 150mm cove to floor/wall junctions.
- Plumber to confirm workability of falls on site prior to commencing works.
- All work to be in accordance with nzbc G10, G11, G12.
- Non-potable water supply sign to be installed over sink in accordance with NZBC G12.
- All timber to be SG8 unless noted otherwise.
- All timber to be H1.2 treated except where noted otherwise.
- All interior doors to be high paint finished MDF Hollow core doors with selected hardware by Client.
- Door to maintenance area to be fitted with simple fastenings that can be easily operated from the direction of escape and cannot be locked from the inside as per fire report. Unlocking and opening motion is to be a single lever or push action
- Access routes shall have adequate slip-resistant walking surfaces under all conditions of normal use as per D1/AS1 2.2.1
- Masonry wall to be constructed in accordance with NZS4229 - 2013 and Concrete NZ Concrete Masonry Manual. Section 6.2.
- Doors to be locked after hours during construction of interior fit out.
- Install new signage as required in accordance with NZBC F8.
- PLANS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS & MANUFACTURERS WRITTEN SPECIFICATIONS.

SURFACES NOTES:

- New flooring "Honed stone" 4BC9 PVC with sealed joints and coved at edges in back room with cleaners sink.
- Wall linings to be coated with Resene Lustacryl semi-gloss paint.

DEMOLITION NOTES:

- Services and power to be disconnected as required prior to commencement of work. Remove all floor coverings as required.



INTERNAL ELEVATION KEY

R5: LPG storage amended by engineered design 7/11/2025
R1: Notes updated on gas bottles and masonry wall 8/11/2024

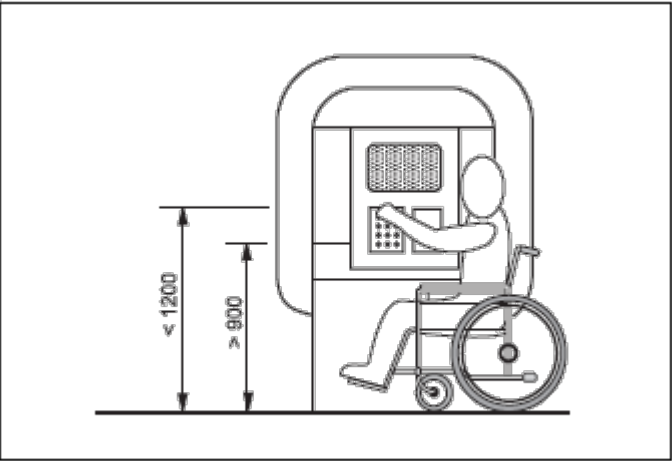
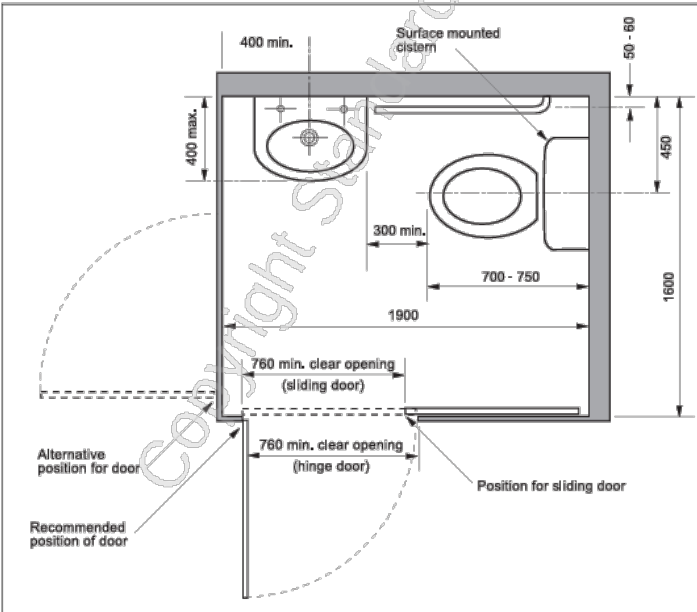


Figure 39 – Automatic teller or vending machine



Accessible toilet as per NZS 4121:2001 Figure 27

Grey hatch denotes neighbouring building

Grey hatch denotes neighbouring building

FIXTURE TABLE		H x W x D
RX80	WASHER PRIMUS RX80 1115 x 660 x 758mm	
RX180	WASHER PRIMUS RX180 1410 x 890 x 915mm	
RX280	WASHER PRIMUS RX280 1410 x 890 x 1135mm	
RX350	WASHER PRIMUS RX350 1500 x 1060 x 1030mm	
30Lb Dbl	DRYER HUEBSCH 30Lb Dbl 1937 x 800 x 1086mm	
45Lb Dbl	DRYER HUEBSCH 45Lb Dbl 2059 x 876 x 1235mm	
75Lb Sgl	DRYER HUEBSCH 45Lb Dbl 1960 x 980 x 1350mm	

ACCESS AND FACILITIES FOR PEOPLE WITH DISSABILITIES NOTES:

- PROVIDE SIGNAGE IDENTIFYING FACILITIES PROVIDED SPECIFICALLY FOR PEOPLE WITH DISABILITIES IN ACCORDANCE WITH F8, 6.1 - 6.2. THESE INCLUDE ACCESSIBLE CARPARKS, ENTRANCES, ACCESS ROUTES AND ACCESSIBLE SERVICES IN THE BUILDING.
- ALL TAPS TO HAVE LEVER OR CAPSTAN HADLES, BE LOCATED WITH 50mm CLEARANCE TO WALL SURFACE AND HAVE THE HOT TAP LOCATED TO THE LEFT OF THE COLD TAP AS PER G12, 8.0
- WHERE NOT LOCATED IN DAMP SITUATIONS, ALL LIGHT SWITCHES AND SOCKET OUTLET LOCATIONS TO COMPLY WITH G9/AS1 CLAUSE 2.0. ALL LIGHT SWITCHES TO BE HORIZONTALLY ALIGNED WITH DOOR HANDLES. SWITCH TOGGLES TO PROTRUBE FROM SWITCH PLATE. SOCKET OUTLETS TO BE LOCATED BETWEEN 500mm AND 1,200mm ABOVE FFL, AND 500mm AWAY FROM CORNERS.

Sanitary waste bin

Door to remain closed. Door hardware to always be unlocked to interior of building.



INTERNAL ELEVATION KEY

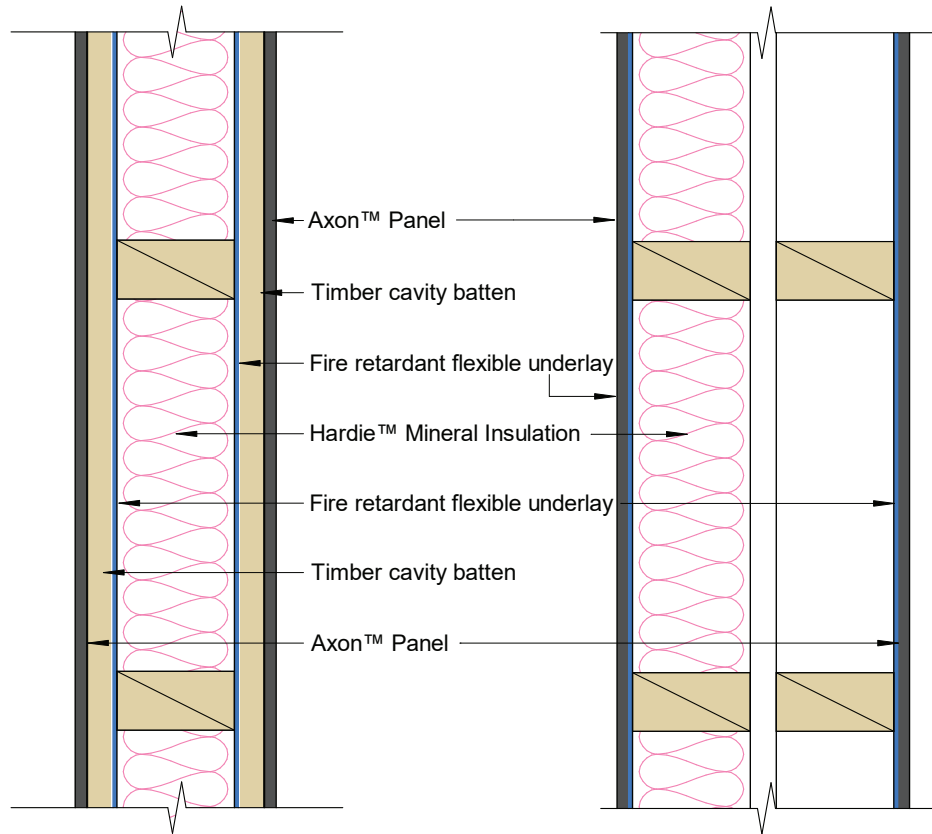
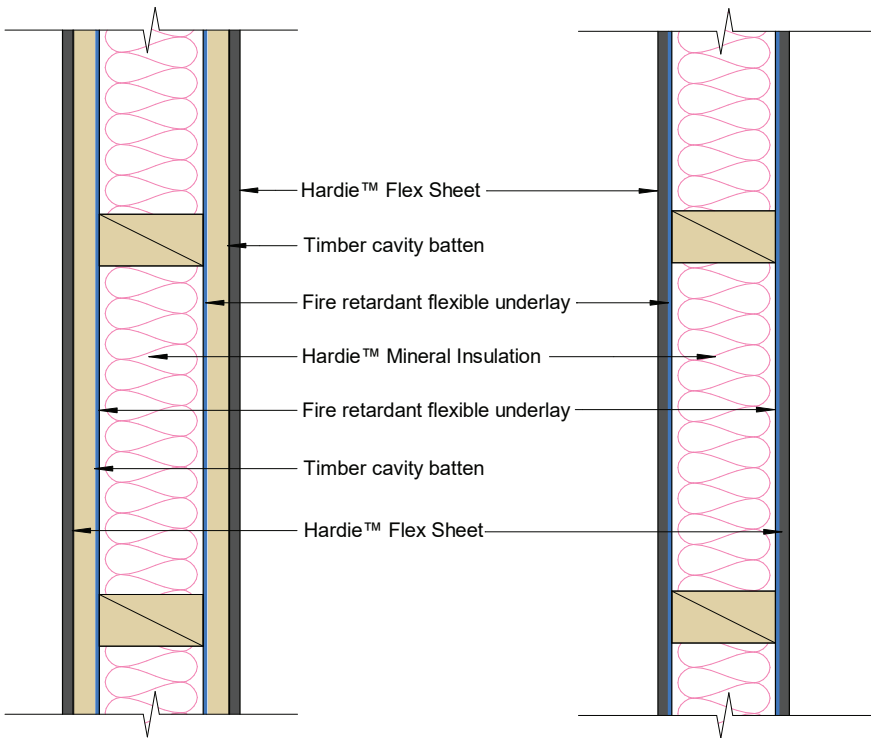
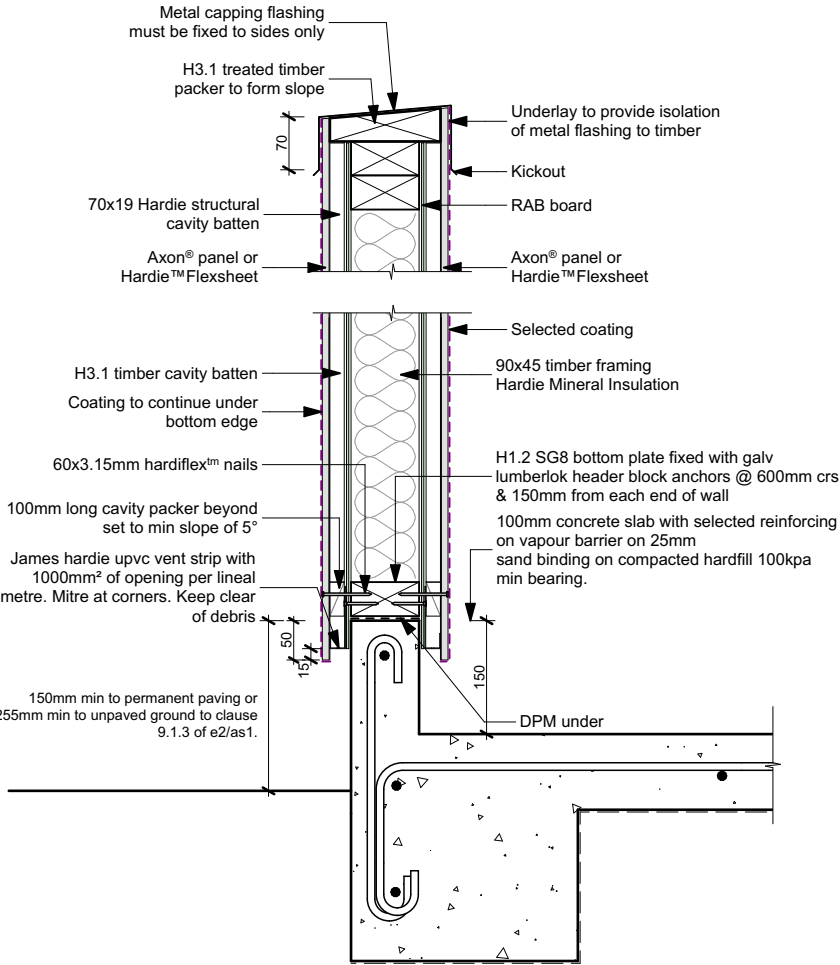
R5: Rear entrance door no longer part of accessible entry. 07/10/2025
R1: Sanitary waste bin added. 8/11/2024
R1: Design of accessible toilet added 8/11/2024



Job Title
Kawakawa Liquid Laundromat
25 Gillies Street
Kawakawa

1. All construction is to be in Accordance with the related documents in the NZ Building Code, and current E2 AS1. All Timber to comply with NZS3602.
2. All Concrete work to Comply with NZS3109 and NZS3124.
3. All Masonry Work to Comply with NZS4210 and NZS4229.
4. All Materials to be fixed in Accordance with the Manufacturers Specifications.
5. ALL DIMENSIONS TO BE VERIFIED ON SITE. IF IN ANY DOUBT - ASK!
6. COPYRIGHT: NO PART OF THIS DESIGN OR PUBLICATION MAY BE REPRODUCED WHOLLY OR IN PART WITHOUT PERMISSION OF THE CLIENT AND/OR RW ARCHITECTURAL DESIGN LTD.
7. ALL PRICING BASED ON THESE PLANS ARE TO BE CHECKED WITH THE FINAL APPROVED PLANS FROM COUNCIL AND CONSULTANTS DOCUMENTS. NO LIABILITY IS EXCEPTED BY RWAD FOR JOB PRICING OR ISSUES ON SITE RELATING TO ENGINEERED DESIGN BY OTHERS.

Job No:	10489	Drawn	Matt	Drawing Title	
		Reviewed	Richard W	Accessible Access Plan R5	
Plot Date:	10/10/2025	Scale	1:100 on A3	Stage:	BC
				Revision	5
				Drawing Number	206



JHETFF60		
Fire Resistance 60/60/60		
Under 10m		
Cladding	Hardie™ Flex Sheet	
Framing	Timber framing to be in accordance with NZS 3604 or SED complying with AS/NZS 1170 and NZS 3603. Framing size 90 x 45mm minimum. Studs at 600mm centres and nogs at 800mm centres maximum	
Cavity Batten	Timber cavity batten nominal 20mm	
Insulation	Hardie™ Mineral Insulation	
Underlay	A flexible underlay that complies with Table 23 of E2/AS1 and has a 'flammability index' not exceeding 5 can be used	
Cladding Fixing	Direct Fix: 40 x 2.8mm fibre cement nail to stud at 150mm centres to entire frame Cavity Fix: 60 x 2.8mm fibre cement nail to stud at 150mm centres to entire frame	

For further information refer to Hardie™ Flex Sheet Technical Specification.

JHETAA60		
Fire Resistance 60/60/60		
Under 10m		
Cladding	Axon™ Panel	
Framing	Timber framing to be in accordance with NZS 3604 or SED complying with AS/NZS 1170 and NZS 3603. Framing size 90 x 45mm minimum. Studs at 600mm centres and nogs at 800mm centres maximum	
Cavity Batten	Timber cavity batten nominal 20mm	
Insulation	Hardie™ Mineral Insulation	
Underlay	A flexible underlay that complies with Table 23 of E2/AS1 and has a 'flammability index' not exceeding 5 can be used	
Cladding Fixing	Direct Fix: 40 x 2.8mm round head nail at 150mm centres to entire frame Cavity Fix: 60 x 3.15mm round head nail at 150mm centres to entire frame	

For further information refer to Axon™ Panel Timber Cavity Batten or Direct Fix Technical Specification.

R5: LPG storage amended by engineered design 7/11/2025