

Application for resource consent or fast-track resource consent



Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

2. Type of consent being applied for

(more than one circle can be ticked):

- | | |
|--|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge: Total volume = <input type="text" value=""/> m ³
<i>Note; volumes >3m³ requires NRC Consent.</i> |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Subdivision |
| <input type="radio"/> Change of Consent Notice (s.221(3)) | <input type="radio"/> Existing Use Certificate (s.139A) |
| <input type="radio"/> Certificate of Compliance (s.139) | <input type="radio"/> Consent under National Environmental Standard
<i>(e.g. Assessing and Managing Contaminants in Soil)</i> |
| <input type="radio"/> Extension of time (s.125) | |
| <input type="radio"/> Other (please specify) <input type="text" value=""/> | |

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

Yes No If we qualify it will be great to have this

4. Consultation

Have you consulted with iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact:
The Resource Consents Planning Technicians, planning_technicians@fndc.govt.nz

5. Applicant details

Name/s:

Angela Vujcich

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? Yes No

If yes, please provide details.

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6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Advance Build Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

please send correspondence to email specified

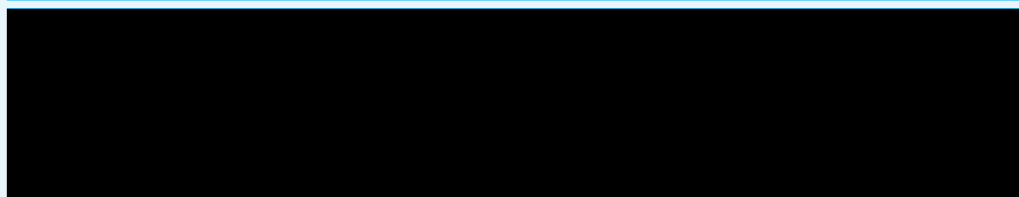
7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Redcliffs Nominees Ltd

Property address/
location:


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8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

2009 2023

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025? Yes No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

Flooding

Active Faults

Landslips

Liquefaction

Coastal Erosion

Tsunami

Coastal Inundation

Please ensure all relevant technical reports are submitted with the application.

14. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

16. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Advance Build Ltd

Email:

Phone number:

Postal address:
(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Angela Vujcich

Signature:

(signature of bill payer)

Date 21-Apr-2026

MANDATORY

17. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

18. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Angela Vujcich

Signature

Date 21-Apr-2026

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist of your information

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application.
Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*



LAND USE RESOURCE CONSENT APPLICATION

TO CONSTRUCT A SINGLE DWELLING

4 RANGITANE ROAD, KERIKERI
LOT 1 DP 316029

ASSESSMENT OF ENVIRONMENTAL EFFECTS

PREPARED FOR:
REDCLIFFS NOMINEES LIMITED

Rev A
23 APRIL 2026

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1.0 THE APPLICANT AND PROPERTY DETAILS

To:	Far North District Council
Site address:	4 Rangitane Road, Kerikeri
Applicant's name:	Advance Manufacturing Limited trading as Advance Build on behalf of Redcliffs Nominees Limited
Address for service:	Advance Build Attn: Katerina Dvorakova 2077 State Highway 10 Waipapa, 0295
Legal description:	Lot 1 DP 316029
Site area:	72,927m ² (7.2927ha) more or less
Site owner/s:	Redcliffs Nominees Limited Guarantors: Catherine Noy Kwan Casey and Shirley Siu-yee Ip
Operative District Plan:	Far North District Plan
Operative zoning:	Coastal Living Zone
Overlays/resource areas:	Nil identified
Proposed zoning/overlays:	Rural Lifestyle Zone No overlays identified
Brief description of proposal:	To construct a single residential dwelling with attached garage in the Coastal Living Zone, breaching the following rules: · 10.7.5.1.1 Visual Amenity · 10.7.5.1.6 Stormwater Management
Summary of reasons for consent:	Resource consent is required as a Discretionary Activity under the Far North District Plan.

AUTHOR

Katerina Dvorakova

Registered Architect NZRAB / Pre-construction Manager

Date: 23 April 2026

2.0 PROPOSAL

The applicant, Advance Manufacturing Limited trading as Advance Build, acts on behalf of Redcliffs Nominees Limited in relation to the subject site at 4 Rangitane Road, Kerikeri, legally described as Lot 1 DP 316029. The proposal is to establish a new three-bedroom single level dwelling with attached garage on the site.

Resource consent is required under the following rules of the Operative Far North District Plan Coastal Living provisions:

- 10.7.5.1.1 Visual Amenity
- 10.7.5.1.6 Stormwater Management

The proposed dwelling has a gross floor area of 142.4m². The garage apex is approximately 5.0m above ground level and the dwelling apex is approximately 4.5m above ground level. The total impermeable surface area is 827.51m² including the gravel driveway and excluding the permeable deck area.

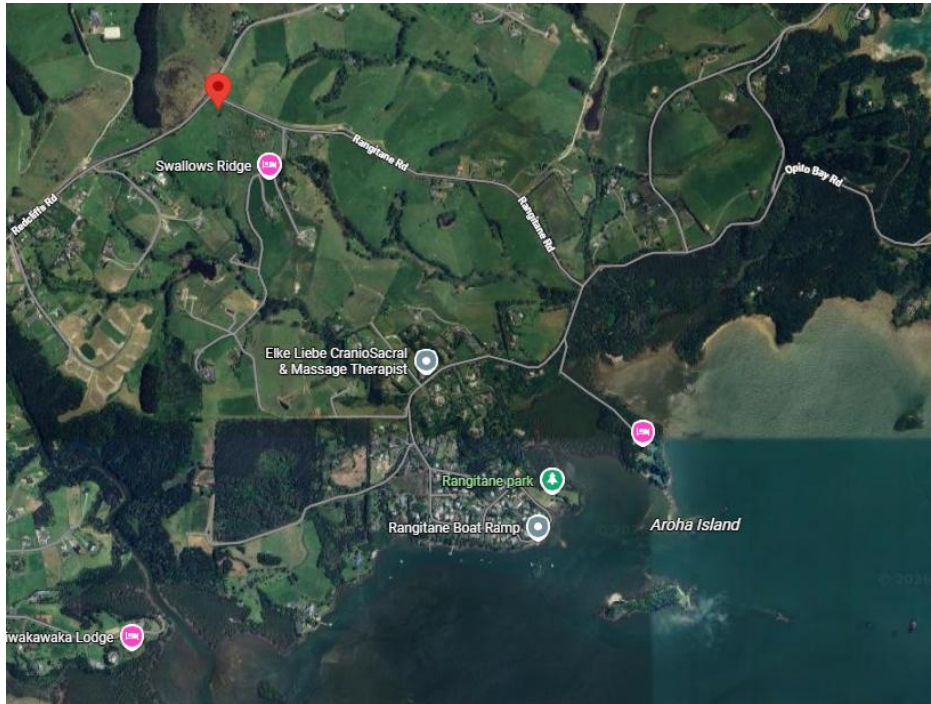
All relevant engineering and site suitability information has been prepared in support of the proposed development, including geotechnical, wastewater and stormwater recommendations within the RS Eng Suitability Report dated 18 March 2026, attached at Appendix C.

Overall, the application has been assessed as a **Discretionary Activity under the Operative District Plan**. Under the **Proposed District Plan Rural Lifestyle Zone** framework, the same proposal would comply as a **permitted activity** when assessed against RLZ-R2 and RLZ-R3.

The following Assessment of Environmental Effects (AEE) has been prepared in accordance with Section 88 of and Schedule 4 to the Resource Management Act 1991 and is intended to provide the information necessary for a full understanding of the activity for which consent is sought and any actual or potential effects the proposal may have on the environment.

3.0 SITE CONTEXT

The subject site is located at 4 Rangitane Road, Kerikeri and is legally described as Lot 1 DP 316029. The site area is 72,927m² (7.2927ha). The site is approximately 1.8km from the coast (Kerikeri Inlet) on the south-eastern side.



The property is accessed off Rangitane Road and occupies a corner location near the intersection of Rangitane Road and Redcliffs Road.



The site is zoned **Coastal Living** under the **Operative District Plan**. No operative overlays or resource area constraints have been identified for the site. Under the **Proposed District Plan**, the site is zoned **Rural Lifestyle**.

The RS Eng suitability report describes the site as comprising gentle to steep slopes generally falling to the south, with a gully feature situated towards the southeast of the property. Ground cover consists primarily of pasture with some isolated trees and fencing. The proposed building area is located on gentle ground and the report concludes the building area is suitable for the proposal, subject to the recommendations within that report.

In terms of natural hazards, the RS Eng suitability report concludes:

- the risk of slope instability is low;
- the risk of liquefaction is low; and
- the proposed building work will not accelerate, worsen, or result in slippage or subsidence on the subject site or adjoining land.

The immediate surrounding environment is rural-residential in character, with a number of farmhouse-style dwellings on large lots. The nearest neighbouring dwelling is approximately 200m from the proposed dwelling, and neighbouring development is generally of a similar or larger scale than that now proposed. In particular, the dwelling at 28 Rangitane Road is understood to be of a materially larger scale.

Historical aerial imagery reviewed by RS Eng shows a building was present on the property in 1968 and 1982 imagery, but removed prior to 2009. The site is therefore not an undeveloped ridgeline or highly sensitive landform, and the proposal represents low-intensity residential use on a large rural-residential site.

The site is currently characterised by pasture, some isolated trees and existing boundary vegetation. There are no significant areas of indigenous vegetation or habitats of indigenous fauna within the proposed building area. No vegetation removal is proposed as part of the development. No general landscaping is proposed for visual mitigation purposes, although planting is required within the on-site wastewater disposal field in accordance with the RS Eng Suitability Report. That planting is functional to the wastewater system rather than general amenity landscaping.

The proposed dwelling is not located on a ridgeline. Rather, the building platform sits approximately 3m below the adjoining road level, which assists in visually recessing the building when viewed from Redcliffs Road and the surrounding roading network. Due to the lower building position, the proposal will not interrupt coastal views to the east and is not expected to adversely affect private views from the west.

Suitable access and on-site parking are provided. Although the dwelling is located close to the intersection of Redcliffs Road and Rangitane Road, the setback of approximately 50m from Rangitane Road and 26m from Redcliffs Road does not compromise road safety or visibility. The nearest adjoining building is approximately 200m away, such that separation distances are substantial.

4.0 FAR NORTH DISTRICT PLAN ASSESSMENT

Coastal Living Zone / District-Wide Provisions	Permitted Standards	Comment
10.7.5.1.1 Visual amenity	Gross floor area of any new building(s) not to exceed 50m ² .	The proposed dwelling with attached garage has a gross floor area of 142.4m ² . This exceeds the permitted threshold by 92.4m ² . Resource consent is therefore required.
10.7.5.1.6 Stormwater management	Maximum area covered by buildings and other impermeable surfaces not to exceed 10% or 600m ² , whichever is the lesser.	The proposed impermeable surface area is 827.51m ² including the gravel driveway. While this represents only 1.13% of the total site area, it exceeds the operative 600m ² cap by 227.51m ² . Resource consent is therefore required.
Building height / siting	Maximum building height 8.5m and development generally compatible with the site.	The garage apex is approximately 5.0m above ground level and the dwelling apex is approximately 4.5m above ground level. The building is set well back from roads and neighbouring land and is not located on a ridgeline.
Access / parking / servicing	Adequate servicing and access expected for residential activity.	Suitable access and parking are provided. Water will be collected from roof areas into tanks. Wastewater will be treated and disposed of on-site by way of a 450m subsurface drip irrigation line over approximately 450m ² . Stormwater is to be collected where possible and piped to a dispersal trench.

Overall, the proposal requires resource consent as a Discretionary Activity under the Far North District Plan, arising from a breach of Rules 10.7.5.1.1 and 10.7.5.1.6.

5.0 NES CONTAMINATED SOILS (NESCS)

All applications that involve subdivision, an activity that changes the use of land, or earthworks may be subject to the NES for Assessing and Managing Contaminants in Soil to Protect Human Health. Based on the information presently available, including the site suitability report and the known history of the site, there is no evidence to suggest that a HAIL activity has been undertaken on the site. No further assessment under the NESCS is considered necessary at this stage.

Based on a search of Council records, historic aerial images, and the documentation provided in support of this application, there is no evidence to suggest that a HAIL activity is, has been, or is more than likely to not have been undertaken on any part of the site. Therefore, the NES Contaminated Soils is not applicable in this instance.

6.0 NES FRESHWATER (NESFW)

No wet areas or freshwater features have been identified within or immediately adjoining the proposed building platform or disposal areas that would trigger further consideration under the National Environmental Standards for Freshwater. No further assessment is considered necessary.

7.0 NPS INDIGENOUS BIODIVERSITY (NPS-IB)

The proposal does not involve clearance of significant indigenous vegetation or habitats of indigenous fauna. Existing trees and shrubs along the boundary are to be retained, further planted over the wastewater field disposal, and no vegetation removal is proposed. No further assessment is required under the NPS Indigenous Biodiversity.

8.0 NPS HIGHLY PRODUCTIVE LAND (NPSHPL)

No information presently available indicates that the site is subject to the National Policy Statement for Highly Productive Land. Given the site's established zoning context and the nature of the proposal for a single dwelling, no further assessment is considered necessary.

9.0 NOTIFICATION

Public Notification

Section 95A specifies the steps the council is to follow to determine whether an application is to be publicly notified. These are addressed in statutory order below.

Step 1: Mandatory public notification is required in certain circumstances Under Section 95A(3) an application must be publicly notified if:

- a) *the applicant has requested that the application be publicly notified;*
- b) *public notification is required under Section 95C.*

The applicant is not requesting public notification under clause (a). Clause (b) provisions relate to where an applicant does not provide further information formally requested under Section 92, which is not applicable in this case.

Public notification is not required and therefore Step 2 must be considered.

Step 2: If not required by Step 1, public notification precluded in certain circumstances Under Section 95A (4) an application must not be publicly notified if:

- a) *the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;*
- b) *the application is for a resource consent for 1 or more of the following, but no other, activities:*
 - i. *a controlled activity;*
 - ii. *a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity;*

None of the above criteria apply, therefore public notification is not precluded in this instance. Step 3 must be considered.

Step 3: If not precluded by step 2, public notification required in certain circumstances Under Section Under Section 95A(7), public notification is required if:

- a) *the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;*
- b) *the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.* Clause (a) does not apply in this situation.

An assessment of environmental effects in accordance with section 95D has been undertaken in Section 10.0 below which concludes that any adverse effects arising as a result of the proposed development will be less than minor. Public notification is therefore not required in this instance.

Step 4: Public notification in special circumstances

Section 95A(9) sets out that the council is required to determine whether special circumstances exist that warrant it being publicly notified. *Special circumstances are those that are:*

- *exceptional or unusual, but something less than extraordinary; or*
- *outside of the common run of applications of this nature; or*
- *circumstances which make notification desirable, notwithstanding the conclusion that the adverse effects will be no more than minor.*

There are no special circumstances that apply to the subject site.

Public Notification Conclusion

Based on the above, it is considered that this application can be processed without public notification.

Limited Notification

Under Section 95B, if an application is not publicly notified, the Council must decide if there are any 'affected persons' and undertake limited notification to those persons. Under Section 95E(1) a person is considered 'affected' if the adverse effects of the activity on that person are 'minor or more than minor'. If the application is not publicly notified, the consent authority must follow the following steps to determine whether to give limited notification of an application.

Step 1: Certain affected protected customary rights groups must be notified

Step 1 requires limited notification where there are any affected protected customary rights groups or customary marine title groups, or affected persons under a statutory acknowledgement affecting the land.

The above does not apply to this land.

Step 2: If not required by step 1, limited notification precluded in certain circumstances Step 2 describes that limited notification is precluded where all applicable rules and NES preclude limited notification; or the application is for a controlled activity (other than the subdivision of land) or a prescribed activity under section 360H(1)(a)(ii).

None of the above apply in this instance.

Step 3: if not precluded by step 2, certain other affected persons must be notified

In the case of a boundary activity, Council shall determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

In the case of any other activity, Council shall determine whether a person is an affected person in accordance with section 95E.

If yes to any of the above, Council shall notify each affected person identified under subsections (7) and (8) of the application.

As per the assessment of effects, it is considered that any potential adverse effects will be less than minor and no persons are considered affected. Written approvals have therefore not been sought.

Step 4: Further notification in special circumstances

In addition to the findings of the previous steps, the council is also required to determine whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined as eligible for limited notification.

As previously discussed, special circumstances are not considered to apply to this proposal.

Limited Notification Conclusion

Having undertaken the section 95B limited notification tests, it is considered that this application can be processed without limited notification.

10.0 ASSESSMENT OF ENVIRONMENTAL EFFECTS

In accordance with Section 88(2)(b) of the Act and Clause 1(d) of Schedule 4, this assessment of environmental effects of the proposed activity has been prepared in such detail as corresponds with the scale and significance of the effects it may have on the environment.

Visual Amenity

- a) The proposal breaches Rule 10.7.5.1.1 because the gross floor area of the proposed dwelling with attached garage is 142.4m², whereas the operative threshold is 50m². Notwithstanding that numerical breach, the actual visual effects of the development are considered to be less than minor having regard to the very large site area of 7.2927ha, the modest absolute scale of the building, and the location of the dwelling well within the site.
- b) The building is a small L-shaped single-level dwelling. The L-shaped form breaks down the apparent bulk of the structure and the gable roof form resembles traditional rural and farmhouse buildings that characterise the surrounding area.
- c) The building is set approximately 3m below the adjacent road level and is not located on a ridgeline. Existing trees and shrubs along the boundaries remain in place, and the contour drop from Redcliffs Road further reduces the apparent height and scale of the dwelling when viewed from the public road. The proposed exterior colours are recessive and appropriate to the landscape setting, including Primelock bevelback weatherboards painted with Aalto Matrix 3/4 (grey with green tint), Armorstee Nightfall (dark grey) roofing, and dark grey tanks and joinery.
- d) The dwelling will not be visually dominant when viewed in the context of the wider locality. Most neighbouring dwellings are farmhouse in style and of a similar or larger scale. The neighbouring building at 28 Rangitane Road in particular is understood to be materially larger than the building now proposed.
- e) The nearest neighbouring dwelling is approximately 200m from the proposed dwelling. Setbacks are substantial, being approximately 26m from Redcliffs Road, approximately 50m from Rangitane Road, and approximately 200m from the nearest neighbouring dwelling. As a result, the proposal will not create adverse overbearing, shading, privacy or loss of private open space effects for adjoining sites.
- f) Decks are proposed associated with the dwelling and provide a suitable level of outdoor living away from bush areas. There is ample area within the site for ongoing private open space and landscaping, while leaving the overwhelming majority of the land intact. Overall, the visual amenity effects arising from the breach are considered to be less than minor.
- g) No vegetation removal is proposed and the site already contains existing trees and shrubs which assist in visually softening the development. While planting is proposed within the wastewater disposal field in accordance with the engineering design, that planting is functional to the operation of the on-site wastewater system and is not relied upon as the primary means of mitigating visual effects. Visual effects are instead mitigated by the siting of the dwelling below road level, the broken-down L-shaped form, recessive colour palette, and the separation distance from neighbouring properties.



Fig.: Neighboring Houses



Fig.: Corner of Redcliffs & Rangitane Road with large-scale dwelling of the nearest neighbour

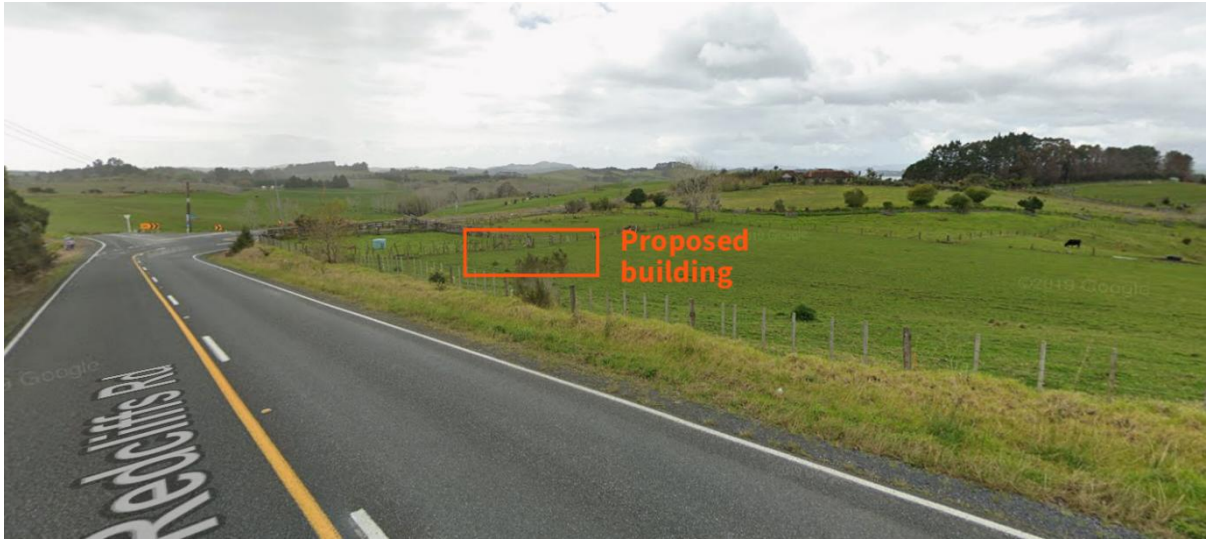


Fig.: Redcliffs Road looking towards east

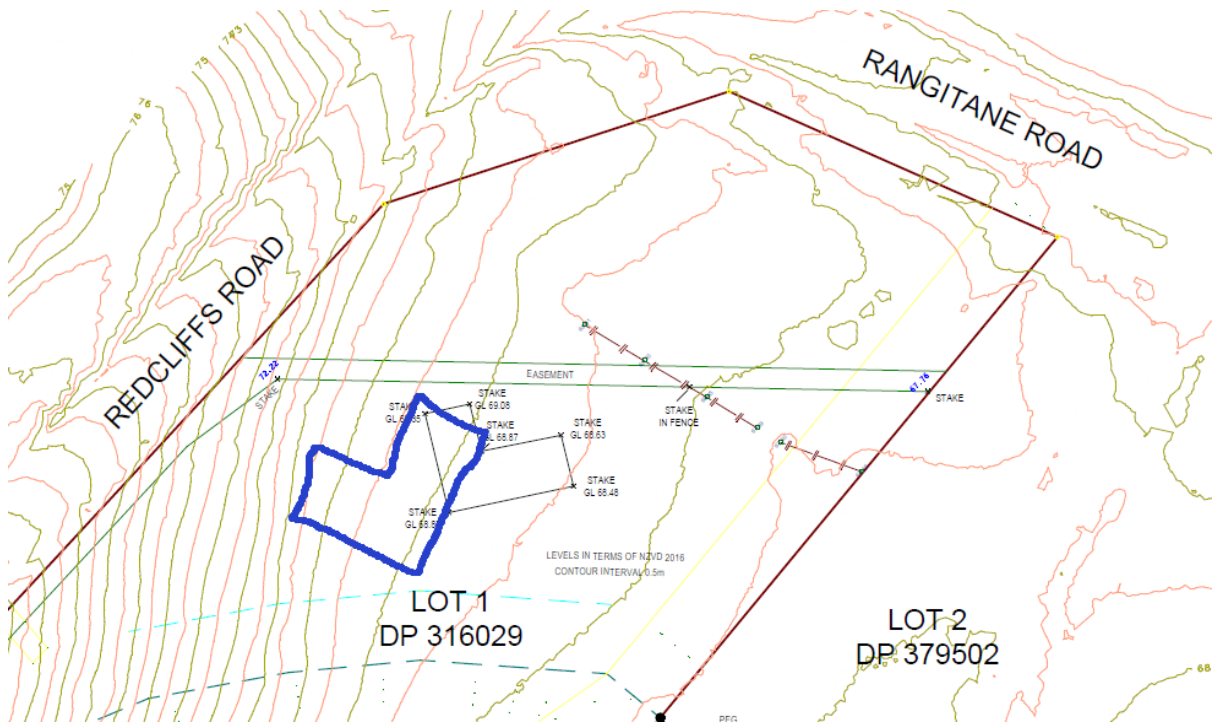


Fig.: Contours with house located ~3m below road level



Fig.: Proposed cladding paint - Aalto Matrix 3/4 (grey with green tint)

Stormwater

The proposal breaches Rule 10.7.5.1.6 because the total impermeable area is 827.51m², exceeding the lesser operative threshold of 600m². However, the actual level of site coverage remains very low in practical terms, representing approximately 1.13% of the total site area. This is an important indicator that the proposal remains low intensity in the context of a 7.2927ha property.

The RS Eng suitability report recommends that uncontrolled and concentrated stormwater discharges are to be avoided, and that stormwater is collected where possible and piped to a stormwater dispersal trench. Roof water will be directed to water tanks for re-use, with stormwater managed in accordance with the engineering recommendations. Existing grassed surfaces will remain over much of the site, assisting with infiltration and reducing runoff velocity.

Wastewater

The proposed three-bedroom dwelling is to be serviced by a secondary treatment system discharging to approximately 450m of subsurface pressure compensating drip irrigation line over a 450m² planted disposal area. The disposal field is to be planted and protected from stock and vehicles in accordance with the suitability report. Given the low intensity of the proposal, the available land area, the gentle slopes in the disposal area, and the engineering recommendations provided, it is considered that any adverse servicing effects will be less than minor.

The site does not have access to mains stormwater or wastewater infrastructure. Notwithstanding this, the site suitability report concludes the building area is suitable for the proposal and provides appropriate disposal and stormwater management recommendations. In these circumstances, the stormwater effects arising from the numerical breach are negligible.

Conclusion

Based on the above, it is considered that any adverse effects as a result of the proposal will be less than minor. The proposal is a low-intensity residential activity on a large site, with appropriate engineering responses and substantial natural and physical mitigation provided by landform, setbacks and existing vegetation.

11.0 SECTION 104 ASSESSMENT

Assessment of Effects

Section 104(1)(a) requires consideration of any actual and potential effects on the environment of allowing the activity. This has been carried out in the assessment above. The conclusion reached overall is that the adverse effects of granting consent to the proposal are less than minor.

- The proposal enables the efficient use and development of an existing rural-residential site.
- The proposal provides for the social and economic well-being of the landowner through the establishment of a single dwelling.
- The proposal will also provide for economic well-being through the construction process and associated local employment opportunities.

Therefore, the effects are considered acceptable in the receiving environment.

National and Regional Planning Documents

Other than those discussed earlier, there are no other national or regional planning documents directly relevant to this application.

Operative Far North District Plan – Objectives and Policies

The relevant Coastal Living objectives and policies seek to enable low density residential development in appropriate parts of the coastal environment while maintaining amenity values and avoiding, remedying or mitigating adverse effects. In this instance, although the proposal departs from the numerical thresholds for visual amenity and stormwater management, the actual effects are low for the reasons identified in this AEE.

- The proposed development is consistent with the established pattern of large-lot rural-residential development in the immediate surrounding environment.
- The proposal is of modest scale in absolute terms, is set below the road, is not on a ridgeline, retains existing vegetation, and will not result in adverse visual dominance or adverse effects on neighbouring amenity.
- Stormwater and wastewater servicing have been addressed through the RS Eng suitability report, which concludes the building area is suitable and provides an appropriate disposal and stormwater management response.

On the basis of the above assessment, it is considered that the proposed development is not contrary to the relevant objectives and policies of the District Plan.

Proposed Far North District Plan – Objectives and Policies

The Proposed Far North District Plan is relevant in a “have regard to” sense only. For present purposes, the proposal has been compared only against RLZ-R2 and RLZ-R3 of the Rural Lifestyle Zone, as requested.

Under RLZ-R2, the permitted impermeable surface threshold is 12.5% or 2,500m², whichever is the lesser. The proposed impermeable area of 827.51m² would therefore comply. Under RLZ-R3, one residential unit on a site of 7.2927ha would also comply. Accordingly, under the PDP Rural Lifestyle Zone framework the proposal would fall within the permitted activity regime.

- **RLZ-R2** – Impermeable surface coverage: **complies**
- **RLZ-R3** – Residential activity: **complies**

Other Matters

There are no other matters considered relevant to the proposal.

12.0 PART 2 ASSESSMENT

As per current case law, an assessment of matters under Part 2 is only required where there is invalidity, incomplete coverage or uncertainty in the planning provisions. The Operative District Plan contains provisions that are relevant to the proposal, and there is no evidence to suggest those provisions are invalid, incomplete or uncertain. No assessment of the Part 2 provisions is therefore required.

13.0 OVERALL CONCLUSION

Advance Manufacturing Limited trading as Advance Build, on behalf of Redcliffs Nominees Limited, proposes to construct a single residential dwelling with attached garage on the subject site at 4 Rangitane Road, Kerikeri, within the Coastal Living Zone. Resource consent is required under the following rules:

- 10.7.5.1.1 Visual Amenity
- 10.7.5.1.6 Stormwater Management

All necessary engineering reports have been prepared in support of the proposed development, as attached at Appendix C.

Based on the assessment of effects above, it is concluded that any potential adverse effects on the existing environment and potentially affected parties would be no more than minor and can be appropriately addressed through standard conditions of consent and compliance with the engineering recommendations.

It is therefore concluded that the proposal satisfies all matters the consent authority is required to assess, and that the application for resource consent can be granted on a non-notified basis.

AUTHOR

Katerina Dvorakova



23 April 2026

Appendix A – Site, Floor and Elevation Plans

Appendix B – Certificate of Title

Appendix C – Engineering Reports

Proposed New Dwelling

4 Rangitane Road, Kerikeri

For: Johnny & Catherine Casey and Shirley Ip

CONTENTS

P01	SITE LOCATION PLAN
P01A	SITE PLAN
P02	FLOOR PLAN
P03	ELEVATIONS
P04	ELECTRICAL PLAN
P05	FITTING PLAN
P06	KITCHEN PLAN



Concept Plans

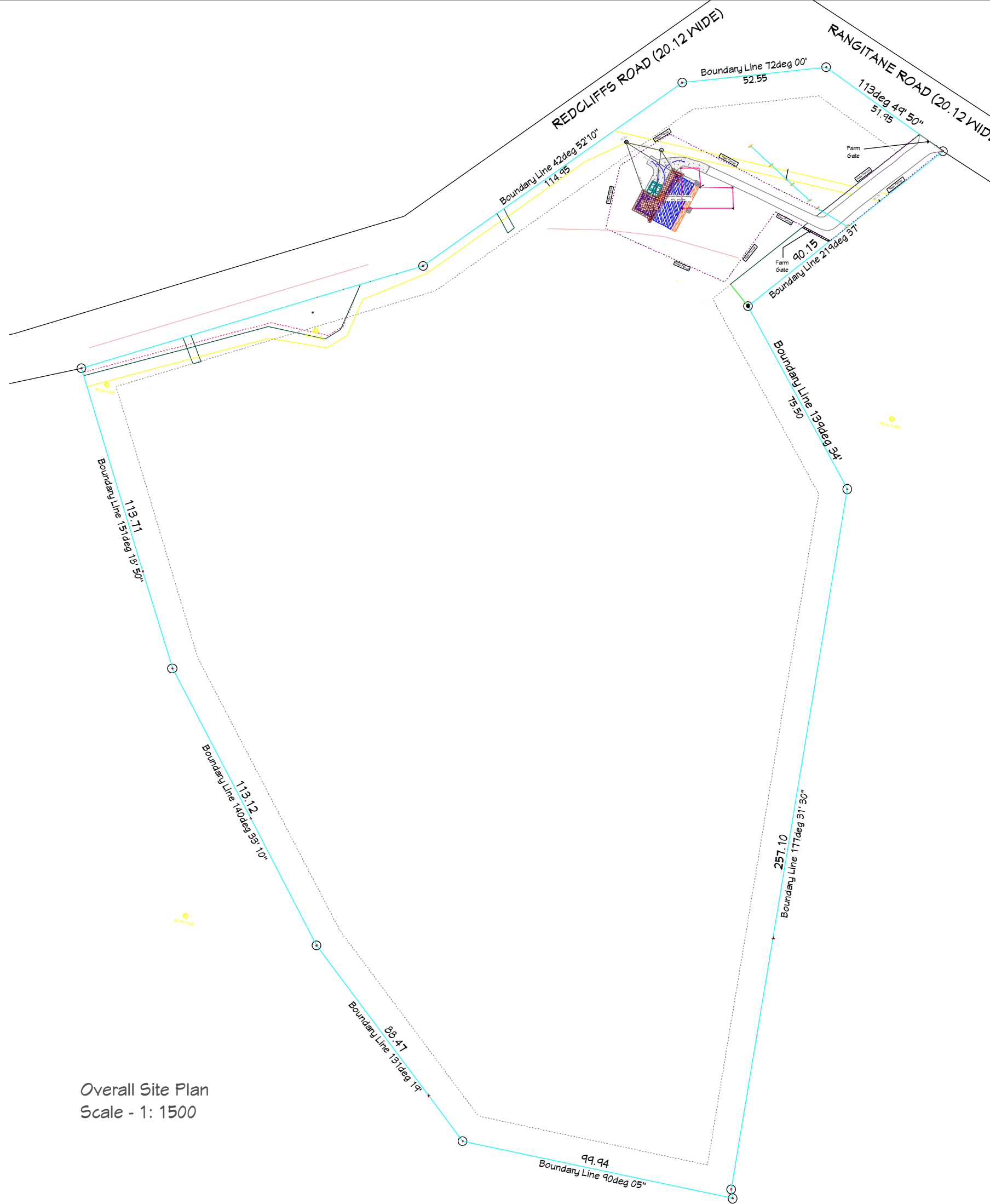
Concept 1

April 2026

FINAL WORKING DRAWINGS TAKE PRECEDENCE OVER CONCEPT PLANS. ALL LANDSCAPING, PLANTING, LIGHTING & FENCING IS SHOWN FOR IMAGING PURPOSES ONLY

REVISION:
PROJECT NO.
DRAWN BY:
HC:

C01
1316
KAT
CMP

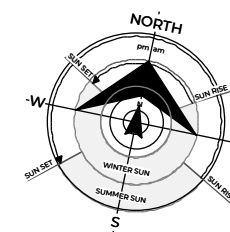


NB: Boundary Lines are Indicative Only

Site Information

4 Rangitane Road, Kerikeri
 Lot 1 DP 316029
 Extra High Wind Zone
 Corrosion Zone C
 Earthquake Zone 1
 Zone: Coastal Living

Site area: 72927 sqm more or less
 Driveway area (Metal): 421.68m²
 Driveway area (Concrete): 152.77m²
 Footpath area (Concrete) : 26.71m²
 New buildings area:
 Floor Area(excl. slatted Deck): 142.4m²
 Roof Area: 226.35m²
 Existing buildings are:
 Existing House: Nil
 Existing Driveway: Nil
 Total impermeable surfaces: 827.51m² = 1.13%
 Earthworks:
 Total Excavation Area: 123.31 m²
 Total Excavation Volume: 43.15 m³



REVISION:	BY:	DATE:
Drawn	KAT	Jan 09 2026
Rev	KAT	Feb 02 2026
Rev	KAT	Feb 09 2026
Rev	KAT	Feb 19 2026
Rev	KAT	Feb 27 2026
Rev	KAT	Mar 03 2026

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Proposed New Home for:
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 Shirley Ip
 4 Rangitane Road,
 Kerikeri

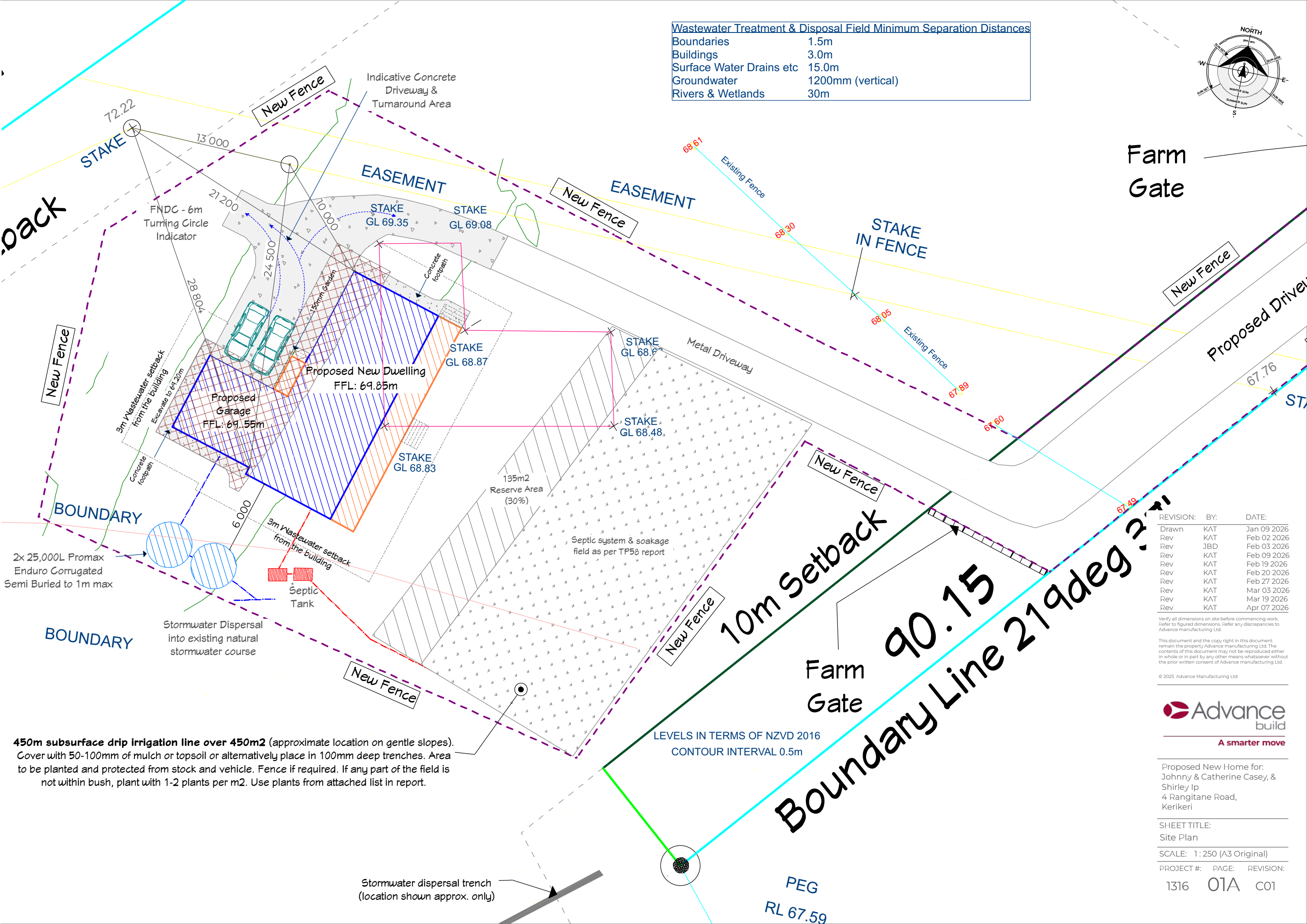
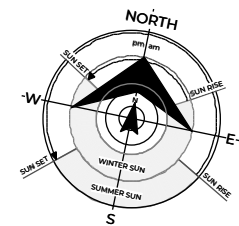
SHEET TITLE:
 Site Location Plan

SCALE: NTS

PROJECT #: 1316 PAGE: 01 REVISION: C01

Overall Site Plan
 Scale - 1: 1500

Wastewater Treatment & Disposal Field Minimum Separation Distances	
Boundaries	1.5m
Buildings	3.0m
Surface Water Drains etc	15.0m
Groundwater	1200mm (vertical)
Rivers & Wetlands	30m



Farm Gate

New Fence

Proposed Driver

New Fence

10m Setback

Farm Gate

Boundary Line 219deg 21'

LEVELS IN TERMS OF NZVD 2016
CONTOUR INTERVAL 0.5m

PEG
RL 67.59

REVISION:	BY:	DATE:
Drawn	KAT	Jan 09 2026
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Rev	JBD	Feb 03 2026
Rev	KAT	Feb 09 2026
Rev	KAT	Feb 19 2026
Rev	KAT	Feb 20 2026
Rev	KAT	Feb 27 2026
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Rev	KAT	Mar 19 2026
Rev	KAT	Apr 07 2026

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Proposed New Home for:
Johnny & Catherine Casey, &
Shirley Ip
4 Rangitane Road,
Kerikeri

SHEET TITLE:
Site Plan

SCALE: 1:250 (A3 Original)

PROJECT #: PAGE: REVISION:

1316 01A C01

450m subsurface drip irrigation line over 450m² (approximate location on gentle slopes). Cover with 50-100mm of mulch or topsoil or alternatively place in 100mm deep trenches. Area to be planted and protected from stock and vehicle. Fence if required. If any part of the field is not within bush, plant with 1-2 plants per m². Use plants from attached list in report.

Stormwater dispersal trench (location shown approx. only)

2x 25,000L Promax Enduro Corrugated Semi Buried to 1m max

Stormwater Dispersal into existing natural stormwater course

135m² Reserve Area (30%)

Septic system & soakage field as per TP58 report

Septic Tank

3m Wastewater setback from the building

3m Wastewater setback from the building

Proposed New Dwelling
FFL: 69.85m

Proposed Garage
FFL: 69.55m

Indicative Concrete Driveway & Turnaround Area

EASEMENT

EASEMENT

STAKE IN FENCE

STAKE 72.22

STAKE GL 69.35

STAKE GL 69.08

STAKE GL 68.87

STAKE GL 68.9

STAKE GL 68.48

STAKE GL 68.83

68.61

68.90

68.05

67.89

67.60

67.49

67.76

13 000

21 200

24 500

28 804

6 000

72.22

back

BOUNDARY

BOUNDARY

New Fence

New Fence

New Fence

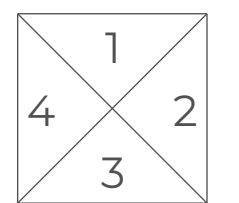
New Fence

New Fence

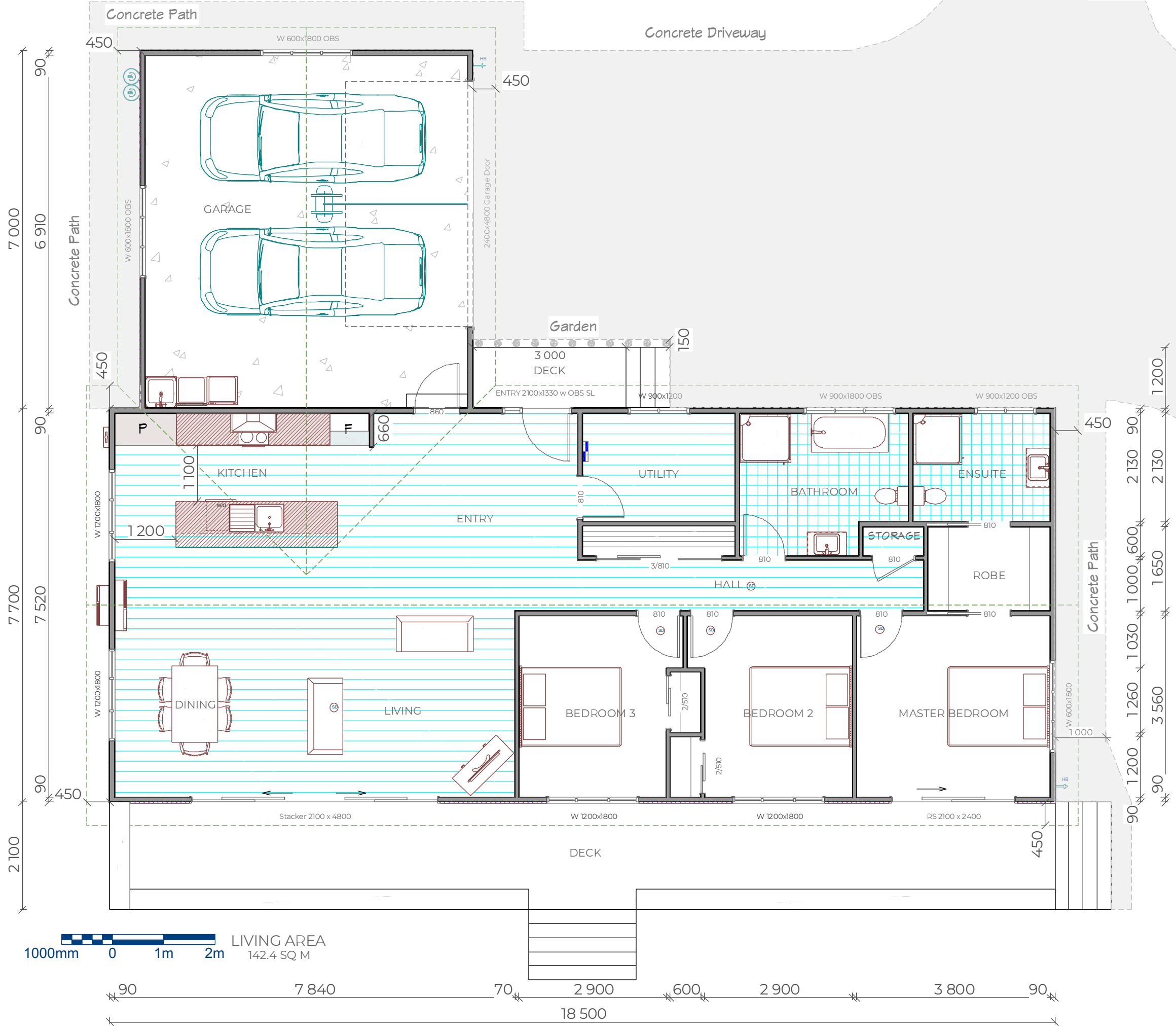
New Fence

600 6 500 11 400
 90 9 070 90 3 000 70 3 320 70 2 700 90
 90 5 000 4 000 3 000 2 350 1 200 2 400 90
 90 6 320 90

Roof Pitch 18 deg
 Stud height - 2.4m Flat Ceiling Throughout Main Dwelling
 - 2.7m Flat Ceiling Throughout Garage



Elevations



REVISION:	BY:	DATE:
Drawn	HCA	Dec 05 2025
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Rev	KAT	Jan 12 2026
Rev	KAT	Jan 19 2026
Rev	KAT	Feb 27 2026
Rev	KAT	Apr 07 2026

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Proposed New Home for:
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 Shirley Ip
 4 Rangitane Road,
 Kerikeri

SHEET TITLE:
 Floor Plan

SCALE: 1:75 (A3 Original)

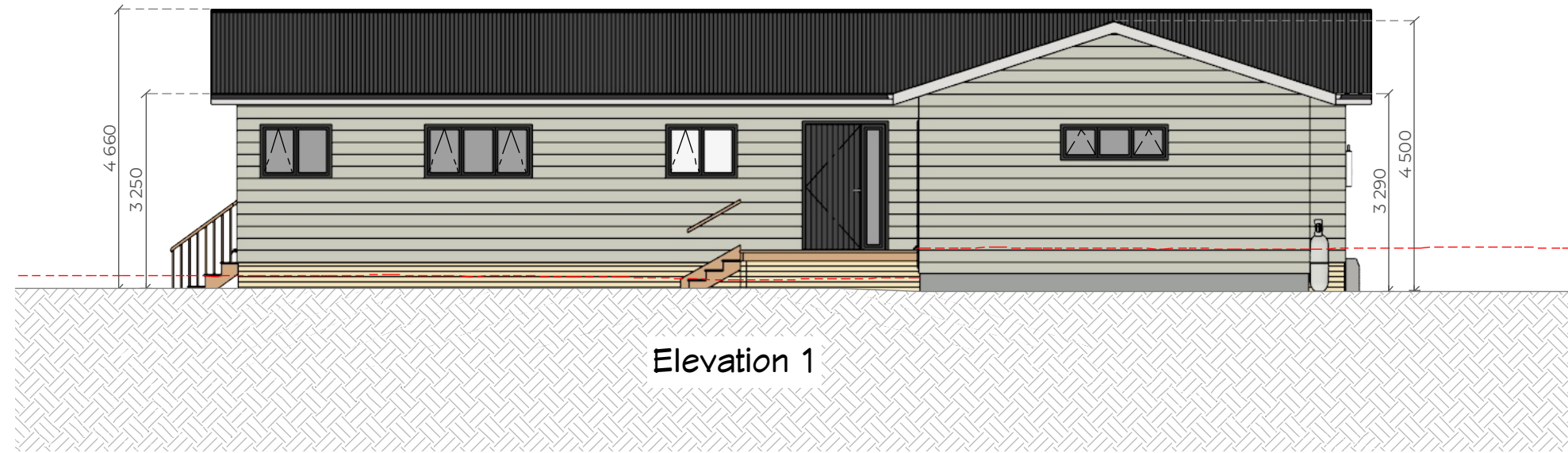
PROJECT #: 1316 PAGE: 02 REVISION: P01



90 7 840 70 2 900 600 2 900 3 800 90
 18 500

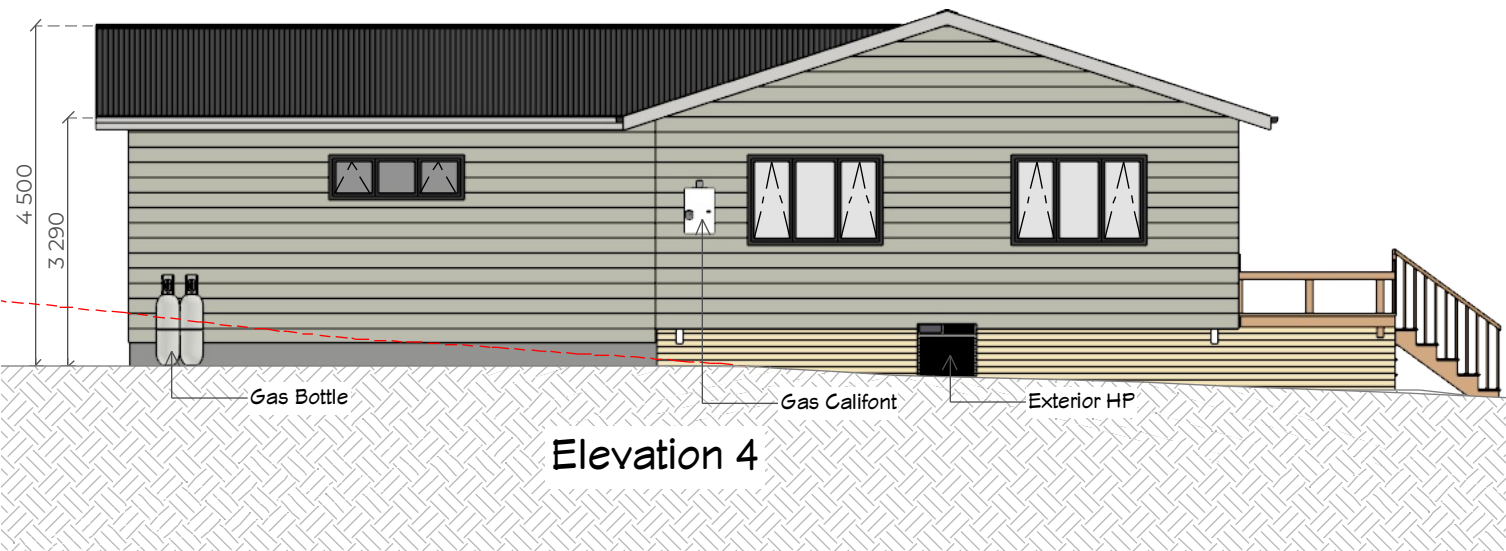
Armorsteel Corrugate, Standard
0.40mm

Weatherex Primelok Smooth
200mm - 20mm drained cavity

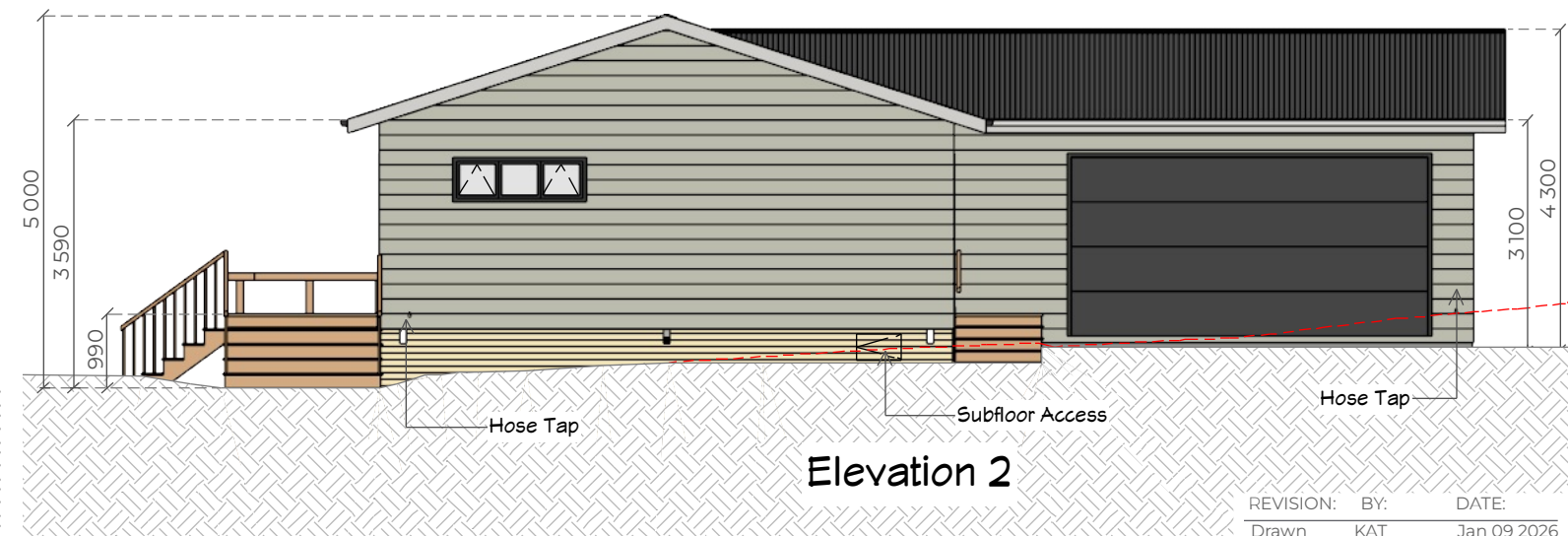


Elevation 1

Roof Pitch 18 deg
Stud height - 2.4m Flat Ceiling Throughout Main Dwelling
- 2.7m Flat Ceiling Throughout Garage



Elevation 4



Elevation 2

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Rev	KAT	Jan 19 2026
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Rev	KAT	Feb 19 2026
Rev	KAT	Feb 27 2026
Rev	KAT	Mar 24 2026

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Proposed New Home for:
Johnny & Catherine Casey, &
Shirley Ip
4 Rangitane Road,
Kerikeri

SHEET TITLE:
Elevation

SCALE: 1:100 (A3 Original)

PROJECT #: PAGE: REVISION:

1316 03 C01

Low E Double glazed windows

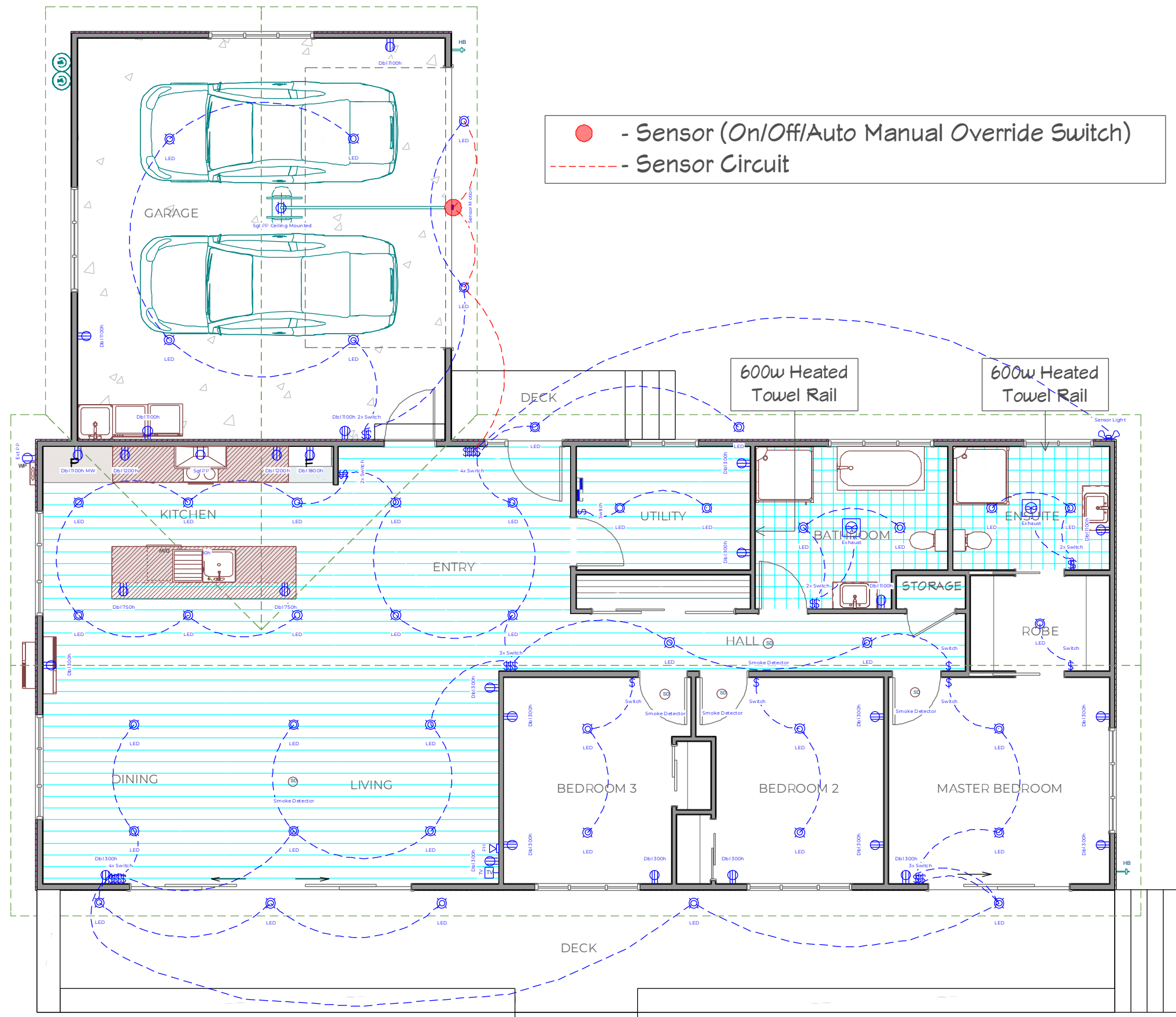
140x35 Premium smooth H3 Pine decking, Nail Fixed - stained

140x20 FG H3 Pine baseboards painted



Elevation 3

Single Phase Connection



● - Sensor (On/Off/Auto Manual Override Switch)
 - - - Sensor Circuit

Electrical Legend		
	Single Power Outlet	1
	Double Power Outlet	25
	Television Outlet	1
	Telephone Outlet	1
	Light Switch	28
	Batten Holder Light	
	Heated Towel Rail	2
	Inline Fan	2
	LED Down Light	44
	Dimmer Switch	
	Exterior Wall Light	
	Heat Pump	1
	Sensor Light	1
	Sgl Ceiling Power Outlet	1
	Weatherproof Power Outlet	1
	Pendant Light	
	Sensor Motion	1
	Meter Box	
	Distribution Board	1
	Battery Smoke Detector	5

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Rev	KAT	Jan 19 2026
Rev	KAT	Feb 11 2026
Rev	KAT	Mar 03 2026
Rev	KAT	Mar 23 2026
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Proposed New Home for:
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 4 Rangitane Road,
 Kerikeri

SHEET TITLE:
 Electrical Plan

SCALE: 1 : 75 (A3 Original)

PROJECT #: PAGE: REVISION:

1316 04 C01



Fit Off Legend

Level Entry Tile Showers	
Acylic Showers	2
Baths	1
Vanities	2
Basins	
Toilets	2
Toilet Roll Holders	2
Towel Rails	
Heated Towel Rails	2
Laundry Tub	1
Hose Tap	2
Cavity Sliders	2
Privacy Handles	2
Passage Handles	5
Dummy Handles	2
Sliding Handles	3
Robe Shelves & Closet Rail	4
Robemaker Double	2
Robemaker Triple	1
Linen Shelves (Per Shelf)	4
Linen H Frames	
Door Stops	6
Floor Mounted Door Stops	1
Dishwasher	1
Rangehood	1
Oven	1
Smoke Detectors	5

← Truck Direction (Reverse In)

REVISION:	BY	DATE:
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Proposed New Home for:
 Johnny & Catherine Casey, &
 Shirley Ip
 4 Rangitane Road,
 Kerikeri

SHEET TITLE:
 Fittings Plan

SCALE: 1:75 (A3 Original)

PROJECT #: PAGE: REVISION:

1316 05 C01

Interior Door Handles

- SL=Sliding
- PS=Passage
- PV=Privacy
- DM=Dummy

Exterior Door Handles

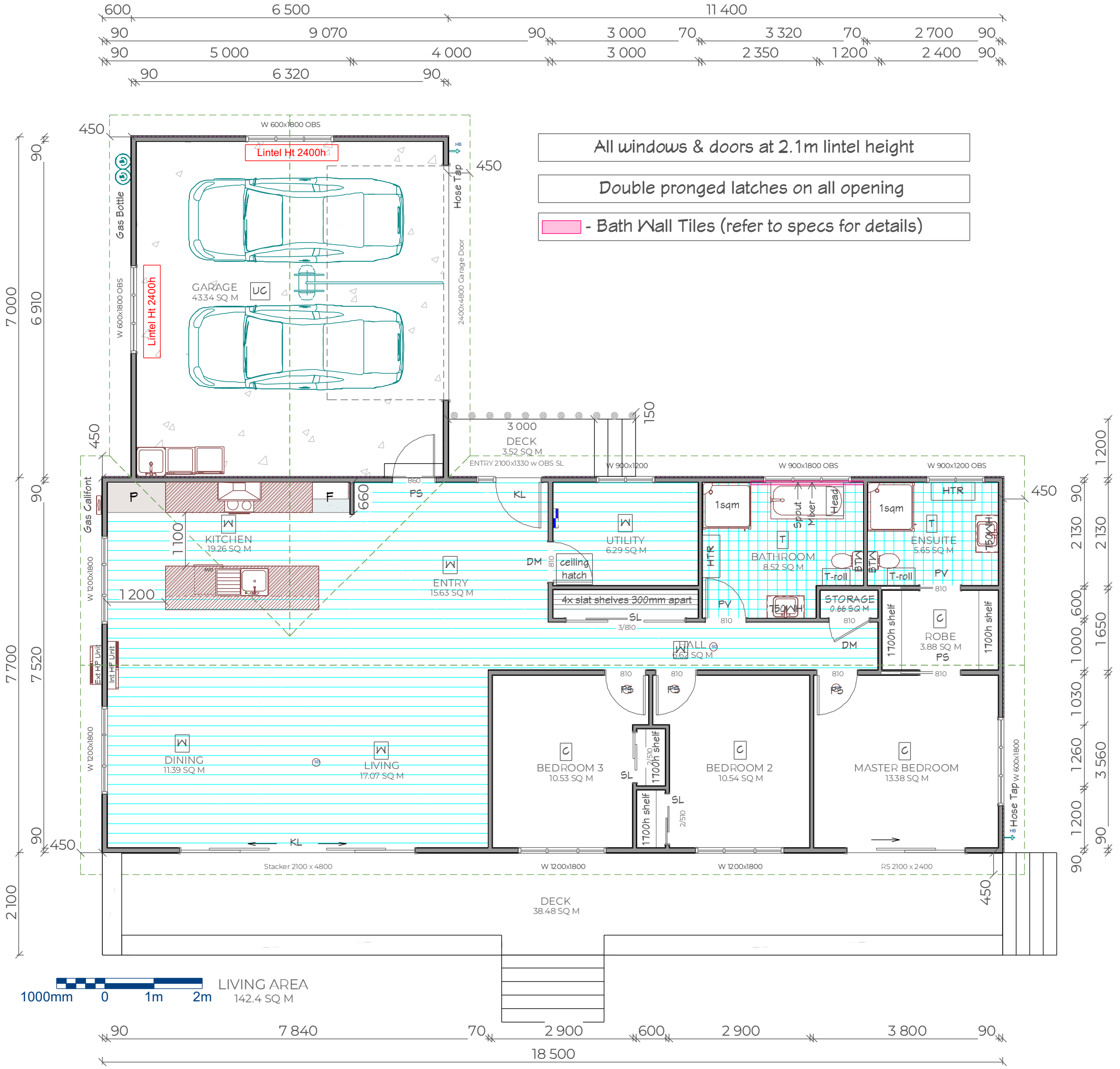
- KL=Keyed Lock

Ceiling Height

- 2.4m Flat Ceiling - Main Dwelling
- 2.7m Flat Ceiling - Garage

Floorcoverings

- C=Carpet
- T=Tiles
- W=Wooden Planking
- UC=Uncoated Concrete

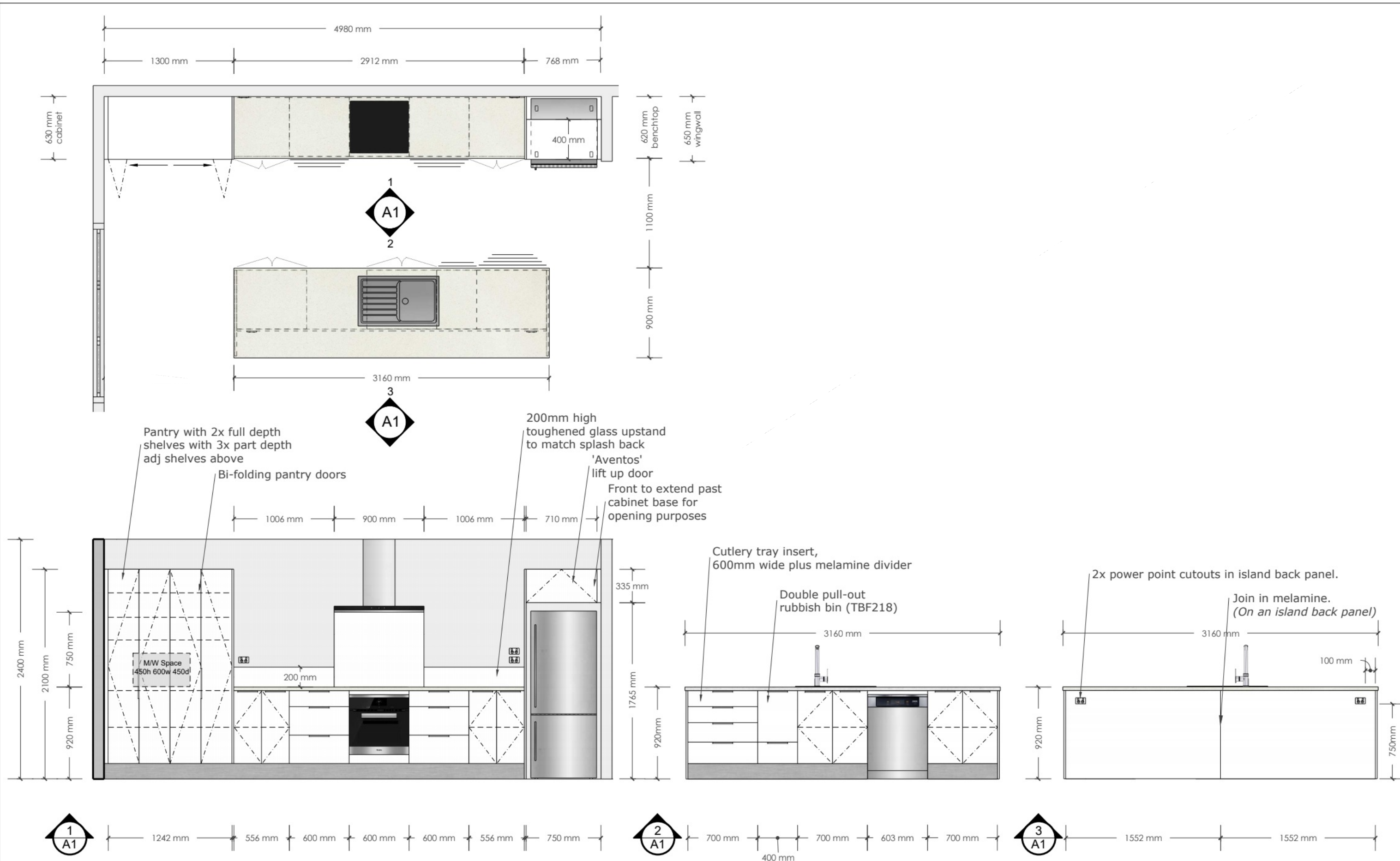


- All windows & doors at 2.1m lintel height
- Double pronged latches on all opening
- Bath Wall Tiles (refer to specs for details)











**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **62788**
Land Registration District **North Auckland**
Date Issued 15 January 2003

Prior References
NA105B/444

Estate Fee Simple
Area 7.2927 hectares more or less
Legal Description Lot 1 Deposited Plan 316029

Registered Owners
Redcliffs Nominees Limited

Interests

Subject to Section 8 Mining Act 1971
Subject to Section 168A Coal Mines Act 1925
5457207.2 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 15.1.2003 at 9:00 am
Subject to a right (in gross) to convey electricity over part marked B, C, E, F and G on DP 316029 in favour of Top Energy Limited created by Transfer 5457207.5 - 15.1.2003 at 9:00 am
The easements created by Transfer 5457207.5 are subject to Section 243 (a) Resource Management Act 1991
Subject to a right (in gross) to convey telecommunications over part marked A, B, D, G and H on DP 316029 in favour of Telecom New Zealand Limited created by Transfer 5457207.6 - 15.1.2003 at 9:00 am
The easements created by Transfer 5457207.6 are subject to Section 243 (a) Resource Management Act 1991
Fencing Covenant in Transfer 5506976.2 - 4.3.2003 at 9:00 am

213 - 793

Approvals ROADS SHOWN ARE LEGAL
 I hereby certify that this plan was approved by the Far North District Council pursuant to Section 223 of the Resource Management Act 1991 on the 1st day of October 2002 subject to the granting or reserving of the easements set out in the memorandum hereon and subject to the amalgamation condition set out hereon.
 RC 2020384
 Approved Officer

Areas shown ⊗ and ⊙ to be subject to Land Covenants

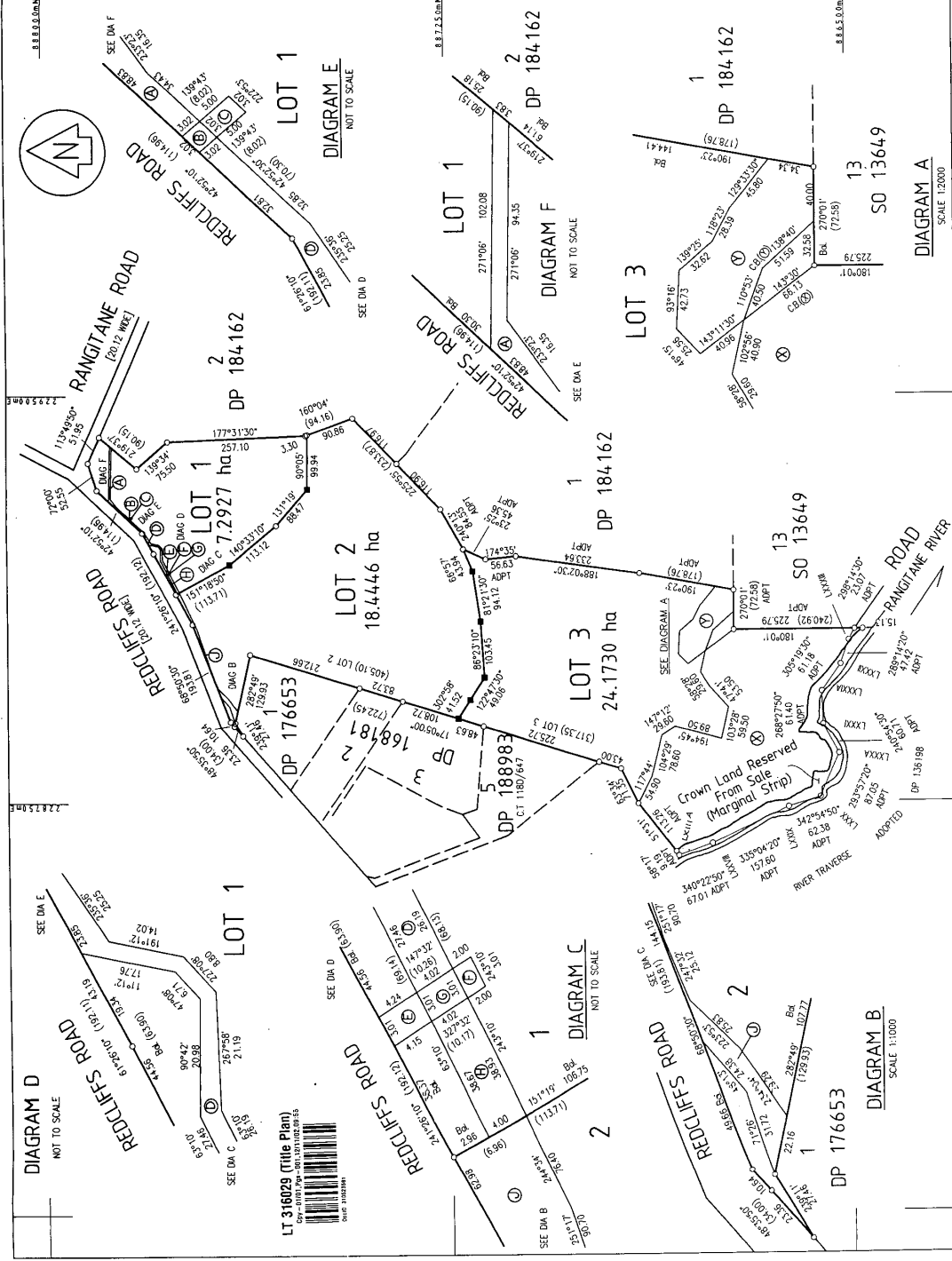
AMALGAMATION CONDITION
 That one Certificate of Title be issued for Lot 3 hereon and Lot 5 DP 188983 (CT NA180/647) (see A6.6/8/89)

MEMORANDUM OF EASEMENTS IN GROSS		GRANTEE
PURPOSE	SHOWN	TERMINATION
Right to convey Telecommunications	ⓐ ⊗ ⊙	Telecom NZ LTD
Right to convey electricity	ⓑ ⊗ ⊙	Top Energy Limited

NEW CST ALLOCATED
 LOT 1 62788 LOT 2 62789
 LOT 3 62790
 CLASS OF SURVEY : III
 Total Area 49.9103 ha
 Comprised in CT NA 05B/444 (ALL)

Richard Duff Watson
 Registered Surveyor
 This plan is prepared in accordance with the Survey Act 2002 and the Survey-General's Rules for Cadastral Survey 2002/1.
 The datum is accurate, and has been created in accordance with the Act and these Rules.
 Signed: Richard Watson
 Date: 4/9/02

Field Book p Traverse Book p
 Reference Plans Correct
 Examined Correct
 Approved as to Survey 11/12/2002
 Chief Surveyor
 Deposited this day of 20
 for Registration of Land Information N.Z. on 15/11/2002
 Registrar-General of Land
 File 11952
 Received 12 NOV 2002
 DP 316029
 Approved A6.6/8/89/02



SCALE 1:5000
 TERRITORIAL AUTHORITY : FAR NORTH DISTRICT
 Surveyed by Fraser Thomas Ltd
 Scale 1 : 5000 Date AUGUST 2002

LOTS 1 - 3 BEING SUBDIVISION OF
 LOT 1 DP 136198 & LOT 1 DP 171334

LAND DISTRICT NORTH AUCKLAND
 SURVEY BLK. & DIST. VIII KERIKERI
 NZMS 261 SH1
 RECORD MAP No.

FAR NORTH DISTRICT COUNCIL



THE RESOURCE MANAGEMENT ACT 1991

CONO 5457207.2 Consen

Cpy - 01/01, Pgs - 002, 14/01/03, 10:57



DocID: 310699810

SECTION 221 : CONSENT NOTICE

REGARDING RC 2020384

The subdivision of
Lot 1 DP 136198 & Lot 1 DP 171334
North Auckland Registry.

PURSUANT to Section 221 for the purposes of Section 224 of the Resource Management Act 1991, this Consent Notice is issued by the FAR NORTH DISTRICT COUNCIL to the effect that conditions described in the schedule below are to be complied with on a continuing basis by the subdividing owner and the subsequent owners after the deposit of the survey plan, and is to be registered on the appropriate titles of DP 316029.

SCHEDULE


To be registered on Lot 3 only.

1. The landowners shall preserve the trees and vegetation described in the area illustrated as area X on the survey plan. The landowners shall not without the prior written consent of the Council and then in strict compliance with any conditions imposed by the Council cut down, damage or destroy any vegetation within this area. The landowners shall not be deemed to be in breach of this prohibition if any such vegetation shall die from natural causes not attributable to any act or default by or on behalf of the landowners or for which the landowner is responsible.
2. The landowners shall preserve the Middens and Terraces site detailed as area Y (PO5/18) on the survey plan, and shall not without the consent of the New Zealand Historic Places Trust, alter, modify or destroy any land within this area.

To be registered on Lots 1, 2 & 3

1. The landowners/occupiers are prohibited from keeping cats and/or mustelids except to the extent that existing cats of owners can be retained for the remainder of their natural lives.
2. Any dogs are to be restricted to remain within the lot boundaries and outside the bush protection covenant area, illustrated as area X on the survey plan.

SIGNED:


by the FAR NORTH DISTRICT COUNCIL
under delegated authority:
RESOURCE CONSENTS MANAGER

DATED at **KAIKOHE** this *29th* day of *November* 2002

RC 2020384
SRMCERT\3dancaster221



SUITABILITY REPORT

4 Rangitane Road

Kerikeri

(Lot 1 DP 316029)

SUITABILITY REPORT

4 Rangitane Road

Kerikeri

(Lot 1 DP 316029)

Report prepared for: Advance Build

Report reference: 20078

Date: 18 March 2026

Revision: 1

Document Control

Date	Revision	Description	Prepared by:	Reviewed by:	Authorised by:
18/03/2026	1	Building Consent Issue	R Beasley	S Scott Compton	M Jacobson



association of
consulting and
engineering

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Appendices

A	Drawings
B	Subsurface Investigations
C	On-site Wastewater Disposal Details

SUITABILITY REPORT

4 Rangitane Road, Kerikeri

(Lot 1 DP 316029)

1.0 Introduction

RS Eng Ltd (RS Eng) has been engaged by Advance Build to investigate the suitability of their clients property (Lot 1 DP 316029) for residential construction. The purpose of this report is to assess the suitability of the building site making foundation, earthworks and stormwater disposal recommendations and detail the design of an on-site wastewater disposal system.

The client proposes to construct a three-bedroom single level dwelling, founded on timber pile type foundations.

2.0 Site Description

This 7.3ha property is accessed southwest off Rangitane Road, on the corner of the intersection with Redcliffs Road to the northwest of the property. The property consists of gentle to steep slopes generally falling to the south, with a gully feature situated towards the southeast of the property. Ground coverage at the property consists of pasture, some isolated trees and fences.



Figure 1: Lot 1 DP 316029

3.0 Desk Study

3.1 Referenced/Reviewed Documents

The following documents have been referenced in this report:

- GNS – Geology Of The Whangarei Area – Edbrooke & Brook – 2009.

3.2 Site Geology

The GNS 1:250,000 scale New Zealand Geology Web Map indicates that the property is located within an area that is underlain by Waipapa Group, which has been described as follows: *“Volcaniclastic sandstone and argillite with tectonically included basalt, chert and siliceous argillite.”*

3.3 Aerial Photography

RS Eng has undertaken a review of historical aerial photography, specifically images from 1950, 1968, 1982 and Google Earth imagery. See Figure 2 below of the 1968 image. Several notable features were observed, listed below.

- Soil creep observed amongst the gully feature to the south of the proposed building area in the imagery.
- No deep seated slope instability was observed in the imagery at the building site.
- A building was observed at the property in the 1968 and 1982 imagery. This building was removed prior to 2009 imagery.
- Rangitane Road and surrounding roads were constructed following 1950 imagery.



Figure 2: 1968 Aerial Image (Source: www.retrolens.nz) (yellow marker indicates proposed building area).

4.0 Field Investigation

A Technician and Geologist from this office visited the property on 27 February 2026 to undertake a walkover inspection, two Scala Penetrometer tests and three hand augers. A subsequent visit was completed on 4 March 2026 to undertake two hand augers.

The walkover inspection did not observe any signs of concern at the building site in relation to the proposal.

The hand augers were dug to a maximum depth of 3.0m below ground level (BGL). Shear Vane readings were taken at regular intervals throughout the hand augers. Soil and rock descriptions are in general accordance with the New Zealand Geotechnical Society guideline.

The Scala Penetrometer tests were performed to a maximum depth of 0.7mBGL, with results ranging between 2 blows/100mm to greater than 50 blows/100mm.

5.0 Subsoil Conditions

Interpretation of the subsurface conditions is based on the investigations shown on the drawings in Appendix A. The conditions are summarised below.

- Topsoil was encountered to a maximum depth of 0.05mBGL.
- Residual soils of Waipapa Group consisted of a shallow hardpan consisting of hard to very dense silts extending to 0.4m-0.7mBGL, overlying stiff to very stiff silty clays to a depth between 1.0m-1.5mBGL. In-Situ Undrained Shear Strengths ranged between 123kPa to 187kPa.
- Completely weathered greywacke was encountered to a maximum investigated depth of 4.0mBGL, consisting of very stiff clayey silts, sandy silts and silty clays. In-Situ Undrained Shear Strengths ranged between 153kPa to greater than 209kPa.
- Groundwater was not encountered during the investigation, it is inferred to be at depths below 5.0mBGL.

6.0 Geotechnical Assessment

6.1 Slope Stability

The property consists of gentle to steep slopes generally falling to the south to southeast into a gully feature. The proposed building area consists of gentle slopes to the north of the property, slopes steepen some 5-10m from the proposed building area. The proposed building area was found to be underlain by very stiff clays and silts of Waipapa Group greywacke.

Based on the gentle slopes at the building area, underlying geology encountered and setbacks from moderate to steep slopes, the risk of slope instability is considered to be low.

6.2 Liquefaction

The proposal is positioned on land underlain by the Waipapa Group, consisting of clayey soils that are cohesive in nature, considered unlikely to liquefy when subjected to seismic shaking. RS Eng considers the risk of liquefaction to be low.

6.3 Expansive Soils

The clayey soils encountered on-site are likely to be subject to volumetric change with seasonal changes in moisture content (wet winters / dry summers); this is known as expansive or reactive soils. Apart from seasonal changes in moisture content other factors that can influence soil moisture content at the include:

- Influence of garden watering and site drainage.
- The presence of large trees close to buildings. Large trees can cause variation in the soil moisture content for a distance of up to 1.5 times their mature height.
- Initial soil moisture conditions during construction, especially during summer and more so during a drought. Building platforms that have dried out after initial excavation should be thoroughly wet prior to any floor slabs being poured.
- Plumbing leaks.

Based on a visual tactile assessment made during the subsoil investigation, and laboratory test results in this geology within similar terrain, RS Eng considers the soils as being Class H1 (Highly Expansive) as per AS 2870.

7.0 On-site Wastewater Disposal

7.1 Site Evaluation

The land available for effluent disposal is gently sloped (less than 10°) and waxing planar. Subsoil investigations have assessed the soil as Category 6 as per AS/NZS 1547:2012. RS Eng recommend the use of a secondary treatment system loading sub surface pressure compensating drip irrigation line within a planted and fenced area. These systems use lower application rates and are more easily laid around the boundary and on sloping ground when compared with conventional type soakage bed systems.

7.2 Design

The proposed dwelling has three bedrooms. The design calculations are presented in Table 1 below.

Table 1: Wastewater Disposal Calculations.

Number of Bedrooms	3	No.
Number of Persons	5	No.
Flow Allowance	180	L/person/Day
Total Flow	900	L/Day
Irrigation Rate (DIR)	2.0	L/m ² /day
Irrigation Area Required	450	m ²
Irrigation Line Spacing	1.0	m

7.3 Regional Plan – On-Site Domestic Wastewater Discharge Compliance

Table 2 below demonstrates compliance with the Northland Regional Council’s New Regional Plan.

Table 2: NRC Permitted Discharge Compliance.

Feature	Regional Plan	Available
Identified Stormwater Flow Path	5m	>5m
River, Lake, Pond, Stream, Dam or Wetland	15m	>15m
Existing Water Supply Bore	20m	>20m
Property Boundary	1.5m	>1.5m
Groundwater	0.6m	>0.6m
10m Buffer Zone	Slopes >10°	>10m
Floodplain Exclusion	5% AEP	5% AEP
Reserve area	30%	30%

8.0 Engineering Recommendations

8.1 Site Subsoil Class

In accordance with NZS 1170.5:2004, Section 3.1.3 the site has been assessed for its Site Subsoil Class. Based on the observations listed above RS Eng considers the site soils lie within Site Class C “Shallow Soil Site.”

8.2 Earthworks

To form access to and create a building platform for the proposed building, earthworks are proposed. To suitably develop the building area, RS Eng recommend as follows.

- Cuts and fills shall be limited to a maximum of 1.0m, without further geotechnical assessment.
- Cut and fill batter should be sloped at angles less than 1V to 3H.
- Site works shall generally be completed in accordance with NZS 4431.

- The building site and driveway should be shaped to assist in stormwater run-off and avoid ponding of surface water.

8.3 Shallow Foundations

It is proposed to construct a timber floor dwelling on standard NZS 3604 type pile foundations and garage on a concrete floor. To suitably found the proposed construction RS Eng make the following recommendations.

- All foundations shall be designed for Class H1 soils as per AS2870.
- If a RibRaft slab is proposed it shall be specifically designed for Class H1 soil and be placed on a minimum of 150mm compacted granular hardfill extending 1.0m beyond the building envelope.
- Timber pile type foundations designed to NZS 3604 shall extend to a minimum of 1.0m below cleared ground level to account for Class H1 soils.

Notwithstanding the recommendations of this report, for the specific design of shallow foundations, RS Eng has assessed the following.

- 300kPa Ultimate Bearing Capacity (Geotechnical Ultimate).
- 150kPa Dependable Bearing Capacity (Ultimate Limit State).
- 100kPa Allowable Bearing Capacity (Serviceability Limit State).

8.4 Stormwater Disposal

Uncontrolled and concentrated stormwater discharges can result in erosion and slope instability. RS Eng recommends that stormwater is collected where possible and piped to a stormwater dispersal trench. See Appendix A for sizing and details. Under no circumstances shall uncontrolled stormwater be discharged to sloping ground.

9.0 Construction Monitoring and Producer Statements

RS Eng recommends a suitably experienced Chartered Professional Engineer monitor the construction of the following works to confirm if the geotechnical conditions are consistent with that outlined in this report.

- Foundation excavations.
- Stripped site once all topsoil has been removed from the building platform.
- Hardfill compaction.

Any works not inspected will be excluded from future producer statements (PS4) to be issued by RS Eng. In any event, where doubt exists regarding inspections, this office should be contacted for advice and provided with reasonable notice of inspections.

10.0 Conclusions

It is the conclusion of RS Eng Ltd that the building area is suitable for the proposal provided the recommendations and limitations stated within this report are adhered to.

RS Eng Ltd also concludes that subject to the recommendations of this report, in terms of Section 72 of the Building Act 2004;

(a) the building work to which an application for a building consent relates will not accelerate, worsen, or result in slippage or subsidence on the land on which the building work is to be carried out or any other property; and

(b) the land is neither subject to nor likely to be subject to slippage or subsidence.

11.0 Limitations

This report has been prepared solely for the benefit of our client. The purpose is to determine the engineering suitability of the proposed dwelling, in relation to the material covered by the report. The reliance by other parties on the information, opinions or recommendations contained therein shall, without our prior review and agreement in writing, do so at their own risk.

Recommendations and opinions in this report are based on data obtained as previously detailed. The nature and continuity of subsoil conditions away from the test locations are inferred and it should be appreciated that actual conditions could vary from those assumed. If during the construction process, conditions are encountered that differ from the inferred conditions on which the report has been based, RS Eng should be contacted immediately.

Construction site safety is the responsibility of the builder/contractor. The recommendations included herein should not be construed as direction of the contractor's methods, construction sequencing or procedures. RS Eng can provide recommendations if specifically engaged to, upon request.

This report does not address matters relating to the National Environmental Standard for Contaminated Sites, and if applicable separate advice should be sought on this matter from a suitably qualified person.

Prepared by:



Rachel Beasley
Geologist
BSc(Geology)

Reviewed by:



Sarah Scott Compton
Senior Technician
NZDE(Civil)

Approved by:

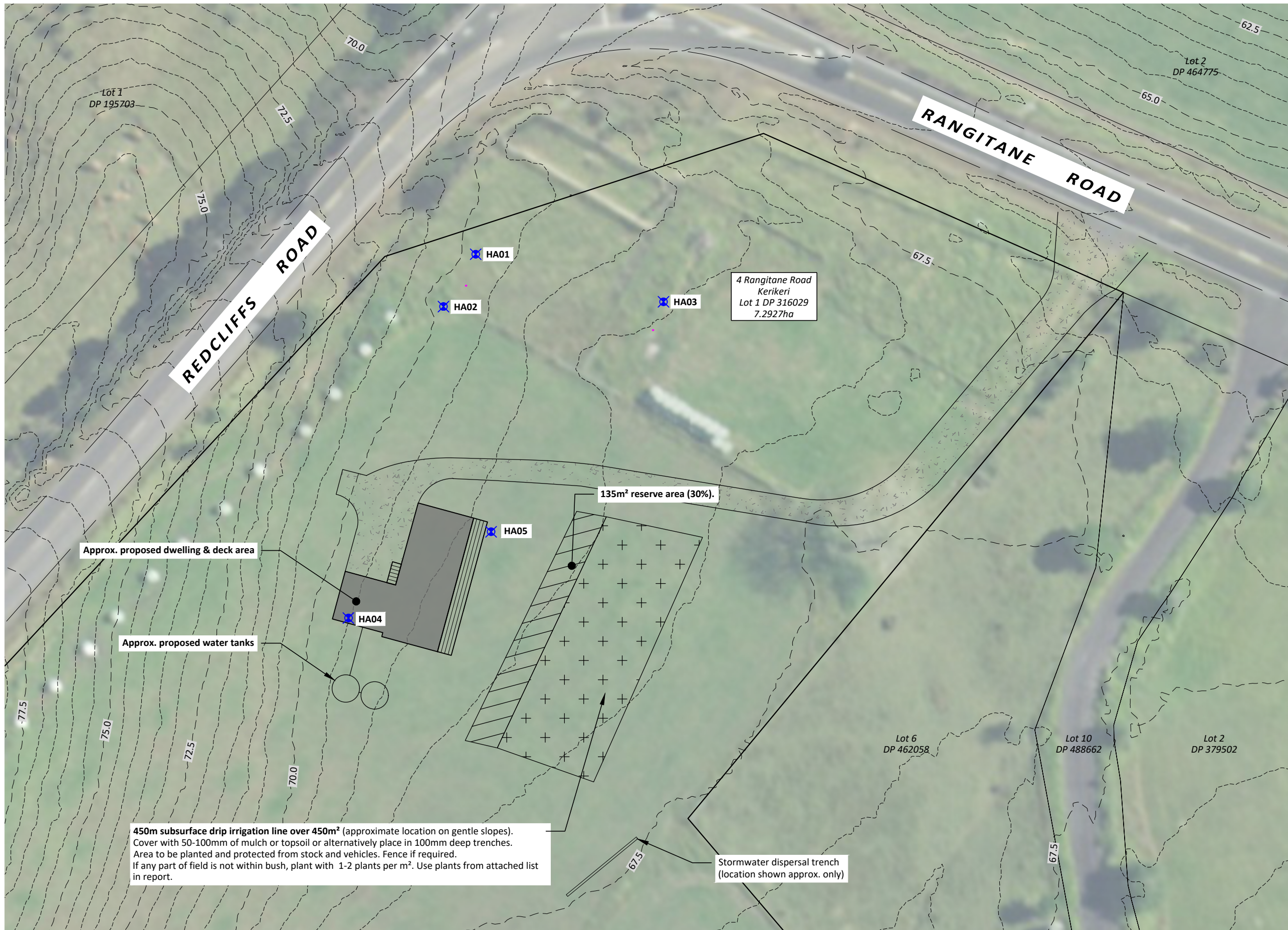


Matthew Jacobson
Director
NZDE(Civil), BE(Hons)(Civil), CPEng, CMEngNZ

RS Eng Ltd

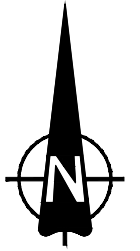
Appendix A

Drawings



NOTES:

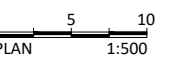
- If any part of these drawings are unclear, please contact RS Eng.
- These plans are indicative only and shall not be used for construction set-out or scaled off.
- All services shall be identified on-site prior to construction.
- It is the responsibility of the lead designer/project manager to complete the design coordination and clash detection.
- This plan is copyright to RS Eng Ltd and should not be reproduced without prior permission.



LEGEND

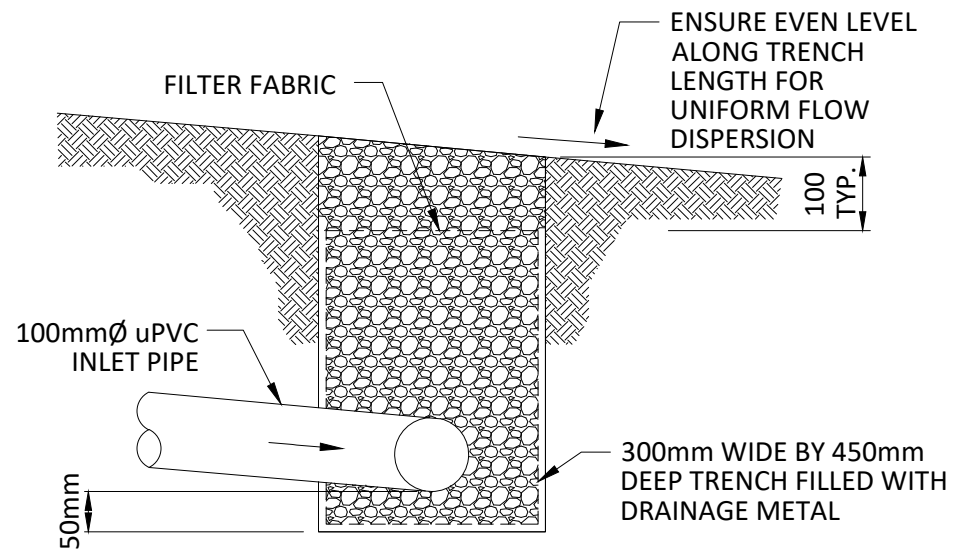
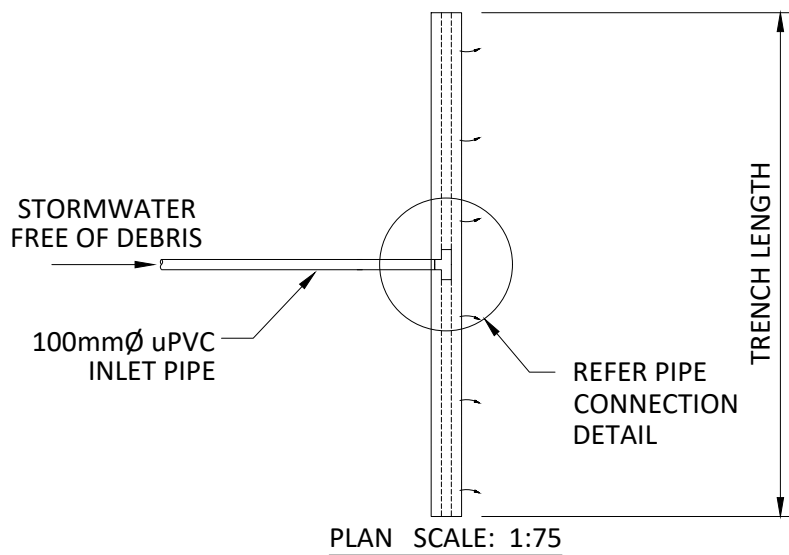
- ✕ Hand Auger Location
- Proposed Dwelling
- ▨ Proposed Deck Areas
- ▤ Proposed Driveway
- + + + WWM Field
- ▩ Reserve Area

Contour Interval: 0.5m
Vertical Datum: NZVD2016
Survey Data Source: LiDAR (2018)

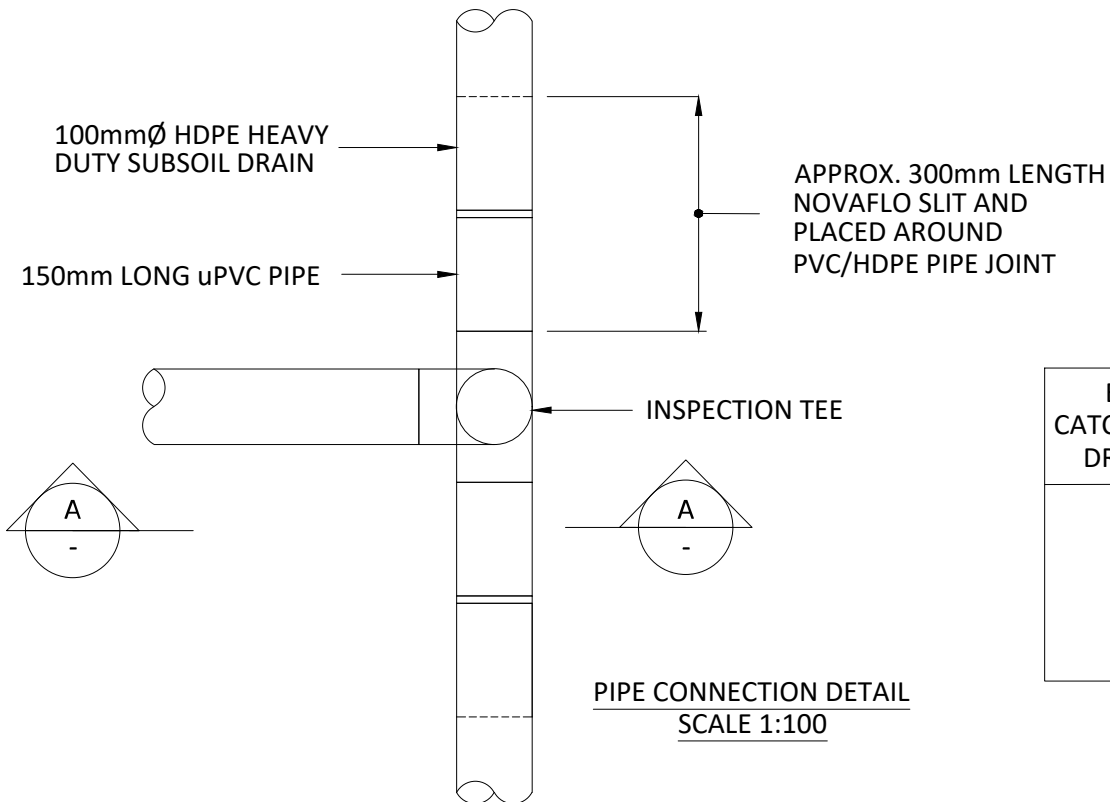


FOR CONSENT

<p>RS Eng Ltd 09 438 3273 office@RSeng.co.nz 2 Seaview Road, Whangarei 0110</p>	<p>These drawings are copyright to RS Eng Ltd and should not be reproduced without prior permission.</p> <p>If any part of these documents are unclear, please contact RS Eng Ltd.</p>	<p>PROPOSED DWELLING SUITABILITY REPORT SITE INVESTIGATIONS</p>	Client	ADVANCE BUILD			Scale	1:500	Rev No.	A	
			Location	4 RANGITANE ROAD KERIKERI			Original	A3	Sheet No.	C01	
			Date	18/03/2026	Rev	A	Notes	Original Issue		Job No.	20078
			Drawn by:	LMC	Reviewed by:	RB	Approved by:	MJ			




A SECTION SCALE 1:100



DESIGN PARAMETERS

EFFECTIVE CATCHMENT AREA DRAINED (m ²)	TRENCH LENGTH (m)
100	8
200	12
300	14
400	16
500	18
600	20



RS Eng Ltd

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2 Seaview Road,
Whangarei 0110

Title

**STANDARD DISPERSAL DRAIN
TYPICAL DETAIL**

Client

Location

2018	A	Original Issue			
Date	Rev	Notes			
Scale	As Shown	Original	A4	Rev	
Drawn by	NW	Approved by	ST	File	Sheet
					1

Appendix B

Subsurface Investigations



RS Eng Ltd
09 438 3273
office@RSEng.co.nz
2 Seaview Road,
Whangarei 0110

HAND AUGER LOG

HOLE NO.:
HA01

CLIENT: Advance Build - 4 Rangitane Road
PROJECT: Geotechnical Investigations

JOB NO.:
20078

SITE LOCATION: 4 Rangitane Road, Kerikeri
CO-ORDINATES: 1690024mE, 6106327mN

ELEVATION: 69.36m

START DATE: 27/02/2026
END DATE: 27/02/2026
LOGGED BY: SSC

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)										VANE SHEAR STRENGTH (kPa) Vane: GEO415				WATER		
					2	4	6	8	10	12	14	16	18	50	100	150	200	Values			
TS	Silty TOPSOIL.		0.0	TS																	
	SILT; white/grey/brown. Dense; dry; non-plastic.		0.2	TS																	
	Silty CLAY; orange/grey/white. Very stiff; moist; low plasticity.		0.4																150		
			0.6																45		
			0.8																		
			1.0																187		
	Yellowish orange.		1.2																52		
			1.4																		
	Completely weathered; GREYWACKE.		1.6																165		
	Clayey SILT; yellowish orange some white. Very stiff; moist; low plasticity.		1.8																45		
			2.0																194		
	With some sand; pinkish red mottling. Sand, fine to medium.		2.2																75		
			2.4																		
			2.6																		
			2.8																		
			3.0																209+		
	Target depth achieved. End Of Hole: 3.00m		3.2																-		
			3.4																		
			3.6																		
			3.8																		
			4.0																		
			4.2																		



REMARKS

WATER

- ▼ Standing Water Level
- ▽ Out flow
- ↖ In flow

INVESTIGATION TYPE

- Hand Auger
- Test Pit



RS Eng Ltd
09 438 3273
office@RSEng.co.nz
2 Seaview Road,
Whangarei 0110

HAND AUGER LOG

HOLE NO.:
HA04

CLIENT: Advance Build - 4 Rangitane Road
PROJECT: Geotechnical Investigations

JOB NO.:
20078

SITE LOCATION: 4 Rangitane Road, Kerikeri
CO-ORDINATES: 1690021mE, 6106292mN

ELEVATION: 68.94m

START DATE: 04/03/2026
END DATE: 04/03/2026
LOGGED BY: CH

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 0mm)											VANE SHEAR STRENGTH (kPa) Vane: GEO415				WATER		
					2	4	6	8	10	12	14	16	18	50	100	150	200	Values				
TS	TOPSOIL.		0.0 - 0.2	TS																		
	SILT, with trace clay; grey/white. Firm to stiff; dry; low plasticity.		0.2 - 0.4	TS																	209+	
	Silty CLAY; orange. Very stiff; moist; low plasticity.		0.4 - 0.6	TS																	-	
			0.6 - 0.8	TS																		
			0.8 - 1.0	TS																	209+	
			1.0 - 1.2	TS																	-	
	Completely weathered; white/yellow/orange mottling; fine fabric; GREYWACKE; extremely weak.		1.2 - 1.4	TS																	153	
	Silty CLAY; white/yellow/orange mottling. Very stiff; moist; low plasticity.		1.4 - 1.6	TS																	48	
	White/yellow/orange/pink mottling.		1.6 - 1.8	TS																		
			1.8 - 2.0	TS																	186	
			2.0 - 2.2	TS																	64	
			2.2 - 2.4	TS																		
	Clayey SILT; pink/white. Very stiff; moist; low plasticity.		2.4 - 2.6	TS																	186	
			2.6 - 2.8	TS																	60	
			2.8 - 3.0	TS																	181	
			3.0 - 3.2	TS																	60	
	Minor sand and fine angular gravels.		3.2 - 3.4	TS																		
	Sand and gravel ceases.		3.4 - 3.6	TS																	177	
			3.6 - 3.8	TS																	78	
			3.8 - 4.0	TS																	153	
	End Of Hole: 4.00m		4.0 - 4.2	TS																	61	

Waipapa Gr

Groundwater Not Encountered

PHOTO(S)



REMARKS

WATER

- ▼ Standing Water Level
- ▽ Out flow
- ↖ In flow

INVESTIGATION TYPE

- Hand Auger
- Test Pit



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2 Seaview Road,
Whangarei 0110

HAND AUGER LOG

HOLE NO.:
HA05

CLIENT: Advance Build - 4 Rangitane Road
PROJECT: Geotechnical Investigations

JOB NO.:
20078

SITE LOCATION: 4 Rangitane Road, Kerikeri
CO-ORDINATES: 1690001mE, 6106285mN

ELEVATION: 70.68m

START DATE: 04/03/2026
END DATE: 04/03/2026
LOGGED BY: CH

UNIT	MATERIAL DESCRIPTION (See Classification & Symbology sheet for details)	SAMPLES	DEPTH (m)	LEGEND	SCALA PENETROMETER (Blows / 100mm)										VANE SHEAR STRENGTH (kPa) Vane: GEO415				WATER		
					2	4	6	8	10	12	14	16	18	50	100	150	200	Values			
TS	TOPSOIL.		0.0 - 0.2	TS																	
Waipapa Gr	SILT; white/light grey. Hard; dry; low plasticity; Hardpan.		0.2 - 0.6	TS											46 >>	UTP				Groundwater Not Encountered	
	Silty CLAY; orange. Stiff; moist; high plasticity.		0.6 - 1.2	TS										29 >>					123		45
	End Of Hole: 1.20m		1.2 - 4.2																		

PHOTO(S)



REMARKS

WATER

- ▼ Standing Water Level
- ▽ Out flow
- ↖ In flow

INVESTIGATION TYPE

- Hand Auger
- Test Pit

Appendix C

On-site Wastewater Disposal Details

Irrigation Field Installation Details

- Use a system producing secondary treated effluent.
- **Use 450m (minimum) of Sub Surface Pressure Compensating Drip irrigation line**, with Arkal filters, flushing and air release valves fitted.
- Irrigation line is to be laid in a 50-100mm (minimum) trench (sub surface) or covered in mulch surface).
- Irrigation line is to be laid parallel with the contour.
- Disposal Field to be Planted.
- System to be installed and maintained as per manufacturer's recommendations including regular de-sludging of the primary treatment tank.
- Disposal area to be protected from stock and vehicles.
- Refer to "How to look after your septic tank" (published by the Northland Regional Council) when protecting the disposal area.
- The system will benefit from the use of water reduction fixtures, i.e. dual flush 6/3 litre water closets, shower-flow restrictors, aerator tap fittings and water conserving automatic washing machines.

Irrigation Line Specification

- Distribution is to be via drip irrigation line with self-compensating pressure drip emitters.
- Install an Arkal disc filter at the outlet of the treatment system. Install pressure checkpoints on either side of the filter to allow for gauges to check for blockages. Install pressure checkpoints at the end of each lateral.
- Install either manual or automatic flushing valves at the end of each lateral. Install air release valves in the high points of the irrigation field.
- Allow 5m head loss from semi-blocked filter and ensure 12m of end pressure for the lowest emitter in the field.
- Ensure there is laminar flow through all lines in the field. Ensure flushing velocity is greater than 0.5m/s.
- **Use drip irrigation line with 1.0m dripper spacing and 1.0m spacing between laterals.**

Suitable Plant Species for Evapo – Transpiration Systems

(Source: NRC *“Looking after your household Sewerage System”*)

Native Shrubs and Trees

- Coprosma
- Hebe
- Manuka
- Weeping Mapou
- Flax (Fast)
- Pokaka (slow)
- Cabbage Tree (fast)
- Rangiora (fast)
- Lacebark (fast)
- Ribbonwood (fast)
- Poataniwha
- Heketara
- Poataniweta
- Kohuhu (fast)

Grasses

- Jointed Twig Sedge
- Longwood Tussock
- Pukio
- Toetoe (native species)
- Umbrella Sedge
- Oioi
- Hooksedge

Introduced Species

- Canna Lilies
- Taro
- Aralia
- Fuschia
- Philodendrons
- Begonias

REDCLIFFS NOMINEES LIMITED (1272114) Registered

To maintain this company [log on here](#)

Last updated on 08 Apr 2025

Company Summary

Company number: 1272114
NZBN: 9429036151196
Incorporation Date: 03 Feb 2003
Company Status: Registered
Entity type: NZ Limited Company
Constitution filed: [Yes](#)
AR filing month: April , last filed on [08 Apr 2025](#)
FRA Reporting Month: March

[Ultimate holding company](#) No

[Company addresses:](#) **Registered Office**
BDO Auckland, Level 4, 4 Graham Street, Auckland, 1010 , New Zealand
Address for service
BDO Auckland, Level 4, 4 Graham Street, Auckland, 1010 , New Zealand
[View all addresses](#)

[Directors](#) Showing 2 of 2 directors
Catherine Noy Kwan CASEY
18 Kenny Road, Remuera, Auckland, 1050 , New Zealand
Shirley Siu-yee IP
Flat 1, 266 Victoria Avenue, Remuera, Auckland, 1050 , New Zealand

Company record link: <https://app.companiesoffice.govt.nz/co/1272114>

Additional NZBN Information

Trading

Name(s):

Phone

Number(s):

Email

Address(es):

Website(s):

Industry

Classification(s):

[View all NZBN details](#)

Directors (2)

Full legal name: Catherine Noy Kwan CASEY

Residential Address: 18 Kenny Road, Remuera, Auckland, 1050 , New Zealand

Appointment Date: 20 Nov 2014

Consent: [View Consent Form](#)

Full legal name: Shirley Siu-yee IP

Residential Address: Flat 1, 266 Victoria Avenue, Remuera, Auckland, 1050 , New Zealand

Appointment Date: 03 Feb 2003

Consent: [Link to Consent Form](#)

Shareholdings (1)

Total Number of Shares: 100

Extensive Shareholding: No

Shareholders in Allocation:

Allocation 1: 100 shares (100.00%)

Shirley Siu-yee IP
Flat 1, 266 Victoria Avenue, Remuera,
Auckland, 1050 , New Zealand

Addresses

Registered office address: BDO Auckland, Level 4, 4 Graham Street,
Auckland, 1010 , New Zealand

Address for service: BDO Auckland, Level 4, 4 Graham Street,
Auckland, 1010 , New Zealand

There are no Other Addresses

[Historic data for addresses](#)

[Show History](#)

PPSR Search

A search can be conducted for REDCLIFFS NOMINEES LIMITED on the Personal Property Securities Register by selecting this [link](#).

NZBN

GST Number(s):

Australian Business Number (ABN):

Contact Details

Phone Number(s):

Email Address(es):

Office Address:

Delivery Address:

Postal Address:

Invoice Address:

Trading Details

Trading Name(s):

Website(s):

Trading Area(s):

Industry Classification(s):

Documents (47)

Date	Document Type	Size
08 Apr 2025 12:42	Annual Return Filed	
03 Apr 2024 16:38	Annual Return Filed	
05 Apr 2023 14:10	Annual Return Filed	
06 Apr 2022 16:08	Annual Return Filed	
09 Apr 2021 12:33	Annual Return Filed	
20 Apr 2020 12:41	Annual Return Filed	
02 Apr 2019 17:52	Annual Return Filed	
15 Apr 2018 16:41	Annual Return Filed	
08 Apr 2017 15:46	Annual Return Filed	
08 Apr 2017 15:38	Particulars of Director	
07 Dec 2016 10:59	Particulars of Company Address	
18 Jun 2016 03:52	Particulars of Shareholding	
03 Apr 2016 11:10	Annual Return Filed	
03 Apr 2016 11:03	Particulars of Director	
03 Apr 2015 00:16	File Annual Return	
24 Nov 2014 14:33	Particulars of Director	
24 Nov 2014 14:33	Director Consent	
	Director Consent	89kb
07 Apr 2014 17:47	File Annual Return	
22 Jul 2013 14:27	Non-Activity Declaration Form	
	Non-Activity Declaration Form	84kb
08 Apr 2013 17:35	File Annual Return	
02 Oct 2012 13:10	Non-Activity Declaration Form	
	Non-Activity Declaration Form	138kb
04 Apr 2012 15:09	File Annual Return	
31 Aug 2011 09:32	Non-Activity Declaration Form	
	Non-Activity Declaration Form	86kb
11 Apr 2011 21:32	File Annual Return	
14 May 2010 15:33	Non-active Declaration	

<u>Date</u>	<u>Document Type</u>	Size
17 Mar 2010 14:51	Non-active Declaration Online Annual Return	
25 Aug 2009 15:37	Online Annual Return Non-active Declaration	
12 Mar 2009 15:47	Non-active Declaration Online Annual Return	
12 Sep 2008 09:07	Online Annual Return Non-active Declaration	
17 Mar 2008 23:12	Non-active Declaration Online Annual Return	
19 Mar 2007 13:27	Online Annual Return Particulars of Directors	
14 Mar 2007 12:16	Particulars of Directors Online Annual Return	
14 Mar 2007 12:10	Online Annual Return Particulars of Shareholding	
14 Mar 2007 12:05	Particulars of Shareholding Online Particulars of Directors	
06 Nov 2006 14:26	Online Particulars of Directors Annual Financial Statements	
17 Apr 2006 09:51	Annual Financial Statements Online Annual Return	
13 Sep 2005 14:19	Online Annual Return Annual Financial Statements	
28 Apr 2005 09:40	Annual Financial Statements Online Annual Return	
28 Apr 2005 09:40	Online Annual Return Particulars of Shareholding	
28 Apr 2005 09:39	Particulars of Shareholding Online Particulars of Directors	
01 Nov 2004 12:49	Online Particulars of Directors Annual Financial Statements	
04 May 2004 08:24	Annual Financial Statements Online Annual Return	
03 Feb 2003 08:59	Online Annual Return Consent Of Shareholder	

<u>Date</u>	<u>Document Type</u>	Size
03 Feb 2003 08:59	Consent Of Shareholder Consent Of Director	
30 Jan 2003 11:12	Consent Of Director Online Constitution Schedule	
30 Jan 2003 11:12	Online Constitution Schedule Online Constitution / Amendment	
30 Jan 2003 11:01	Online Constitution / Amendment Application To Incorporate A Company – Prior To 2nd Feb 2004 (Not Available)	

Generated on Tuesday, 24 February 2026 11:38:11 NZDT

Home Starter Pack

Authorisation for Council

As the legal owner of property at: 4 Rangitane Road Kerikeri

I give authority and permission for the builder (Advance Manufacturing Ltd) or nominated designer to apply for a PIM Report, Resource Consent and Building Consents on my behalf and to undertake site visits on my property.

Date: 22.12.25 Home Consultant: Chris Peterson

Client/s Name/s: Shirley Siu Yee Ip (as Director of Redcliffs Nominees Ltd)

Client/s Signature: Shirley Ip

Help us Support Starship:

Advance Build are thrilled to have come on board as a partner of the Starship Foundation in support of Starship children's hospital. We are inviting you to help us fundraise as we want to help ensure kiwi kids get the best level of care.



To donate either **\$30, \$50, \$100, \$200 or \$500** please scan the QR Code. We appreciate your support!