

# Application for resource consent or fast-track resource consent



Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes  No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- |  |   |
|--|---|
| <input type="radio"/> Land Use   | <input type="radio"/> Discharge: Total volume = <input type="text" value=""/> m <sup>3</sup><br><i>Note; volumes &gt;3m<sup>3</sup> requires NRC Consent.</i> |
| <input type="radio"/> Fast Track Land Use*                                 | <input type="radio"/> Subdivision   |
| <input type="radio"/> Change of Consent Notice (s.221(3))                  | <input type="radio"/> Existing Use Certificate (s.139A)   |
| <input type="radio"/> Certificate of Compliance (s.139)                    | <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil)                                     |
| <input type="radio"/> Extension of time (s.125)                            |   |
| <input type="radio"/> Other (please specify) <input type="text" value=""/> |   |

*\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the fast track process?

Yes  No

## 4. Consultation

Have you consulted with Iwi/Hapū?  Yes  No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact:  
The Resource Consents Planning Technicians, [planning\\_technicians@fndc.govt.nz](mailto:planning_technicians@fndc.govt.nz)

## 5. Applicant details

**Name/s:**

Owen Blair Paterson & Zarah Strongman

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991?  Yes  No

If yes, please provide details.

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## 6. Address for correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Williams & King, Attention: Natalie Watson

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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## 7. Details of property owner/s and occupier/s

*Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

As per applicant details.

Property address/  
location:

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## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/  
location:

  
  
 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?  Yes  No

Is there a dog on the property?  Yes  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

2009  2023  Not applicable.

## 10. Would you like to request public notification?

Yes  No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)?  Yes  No  Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result?  Yes  No  Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

## 13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025?  Yes  No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

Flooding

Active Faults

Landslips Erosion Prone Land in NRC RP

Liquefaction

Coastal Erosion

Tsunami

Coastal Inundation

Not relevant to application - geotech reports on foundations to be provided with BC.

*Please ensure all relevant technical reports are submitted with the application.*

## 14. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application  Yes

## 15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision?  Yes  No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 16. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

Owen Blair Paterson and Zarah Strongman

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Zarah Strongman

**Signature:**

(signature of bill payer)

**Date** 22-Apr-2026

## 17. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

## 18. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name** (please write in full)

Zarah Strongman

**Signature**

**Date** 22-Apr-2026

*A signature is not required if the application is made by electronic means.*

*See overleaf for a checklist of your information...*

## Checklist of your information

*Please tick if information is provided*

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application.  
Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

# Owen Paterson & Zarah Strongman

## Land Use Consent for Residential Alterations and Additions

### 7 Broadview Road, Opuia

Williams & King, Kerikeri<sup>1</sup>  
24 April 2026

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## 1. OVERVIEW

### 1.1 Summary of proposal

Owen Paterson & Zarah Strongman propose alterations and additions to an existing residential dwelling and accessory building located at 7 Broadview Road in Opuia. Minor earthworks will be required to create a level lawn area. The subject site is legally described as Lot 16 DP 79340 and is held in the Record of Title NA36A/1079. The proposed development involves additions to the existing dwelling, a new pool, deck, retained lawn area, a car deck and additional area of concrete driveway, and level 2 additions to an existing accessory building to form a sleep out. In addition, new water storage tanks and an onsite wastewater system will be installed. Earthworks will involve retained filling for the new lawn.

Vehicle access to the property will remain unchanged from the existing situation. Within the site, a small additional concrete area will be formed to access the new car deck.

Existing and proposed impermeable surfaces will cumulatively amount to approximately 440m<sup>2</sup> or 4.5% coverage of the application site.

Written approval has been obtained from Fire & Emergency New Zealand in relation to fire fighting water supply, as well as from the neighbouring property owners identified as being an affected party in relation to boundary activities (sunlight and setback from boundary rule infringements).

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<sup>1</sup> Williams & King - a Division of Survey & Planning Solutions (2010) Ltd  
Surveyors, Planners, Resource Managers - Kerikeri and Kaitiaki  
PO Box 937 Kerikeri Phone (09) 407 6030 Email: nat@saps.co.nz

## 1.2 District Plan zoning and activity status

The subject site is in the Coastal Living Zone in the Operative Far North District Plan. The proposed development requires resource consent under the 'Visual Amenity', 'Sunlight' and 'Setback from Boundary' rules of the Coastal Living zone and 'Excavation and/or Filling ... in the Coastal Living .... Zones' and 'Fire Risk to Residential Units' District Wide Rule. The proposal has been assessed as being a discretionary activity overall.

Under the Proposed Far North District Plan, the site is zoned 'Rural Lifestyle'. Relevant rules with legal effect under the Proposed District Plan are EW-R12 and EW-R13, both of which can be satisfied as a permitted activity via consent conditions and advice note.

## 1.3 Statutory framework

This report and its appendix accompany the Resource Consent application made by the Applicant and is provided in accordance with the requirements set out in Schedule 4 of the Resource Management Act 1991 ("RMA"). It is intended to provide the necessary information, in sufficient detail, to provide an understanding of the proposal, including any actual or potential effects the proposed activity may have on the environment, any proposed or agreed to measure to ensure positive effects, and the relevant matters specified under section 104 of the RMA. As the application is for a discretionary activity, Section 104B of the RMA is relevant:

### **104B Determination of applications for discretionary or non-complying activities**

*After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—*

- (a) may grant or refuse the application; and*
- (b) if it grants the application, may impose conditions under section 108.*

## 2. DESCRIPTION OF PROPOSAL

### 2.1 Proposed additions and alterations

The overarching purpose of the proposal is to complete alterations and additions to an existing residential dwelling and accessory building on the site. Refer to the Going Architectural Plan Set in **Appendix 1. Figure 1** below depicts the overall site plan. A summary of the proposed building activities is provided below.

- Additions to the existing dwelling, garage / storage / games room, increasing floor area from approximately 157m<sup>2</sup> plus decks (see Sheet A-04) to 240m<sup>2</sup> plus decks (see Sheets A-08 & A-13).
- The additions to the dwelling comprise an additional floor area of approximately 53m<sup>2</sup> to be added to the dwelling and completed in conjunction with internal alterations. An existing playroom will be removed to accommodate this addition. A new roof (corrugated metal longrun roofing), joinery and cladding (black hardiplank, horizontal slats around deck structure) will be installed.
- The existing garage / games room will have a level 2 addition comprising approximately 17m<sup>2</sup> to create a sleepout with bathroom, along with an upper level deck and balustrade. Correspondence between the designer and Council's PIM officer has confirmed that this area will be used as a sleepout, not a separate residential unit. A new roof (corrugated metal longrun roofing), joinery and cladding (black hardiplank, vertical shiplap) will be installed.
- A deck and swimming pool will be formed to the north of the house, with surrounding 1.2m high aluminium pool fencing / balustrade.

- Retaining walls and filling will be completed to create a level lawn area adjacent to the swimming pool deck.
- A new car deck will be formed adjacent to the garage / storage area. An additional area of concrete is required to access this.
- New water tanks and an onsite wastewater disposal system is proposed.

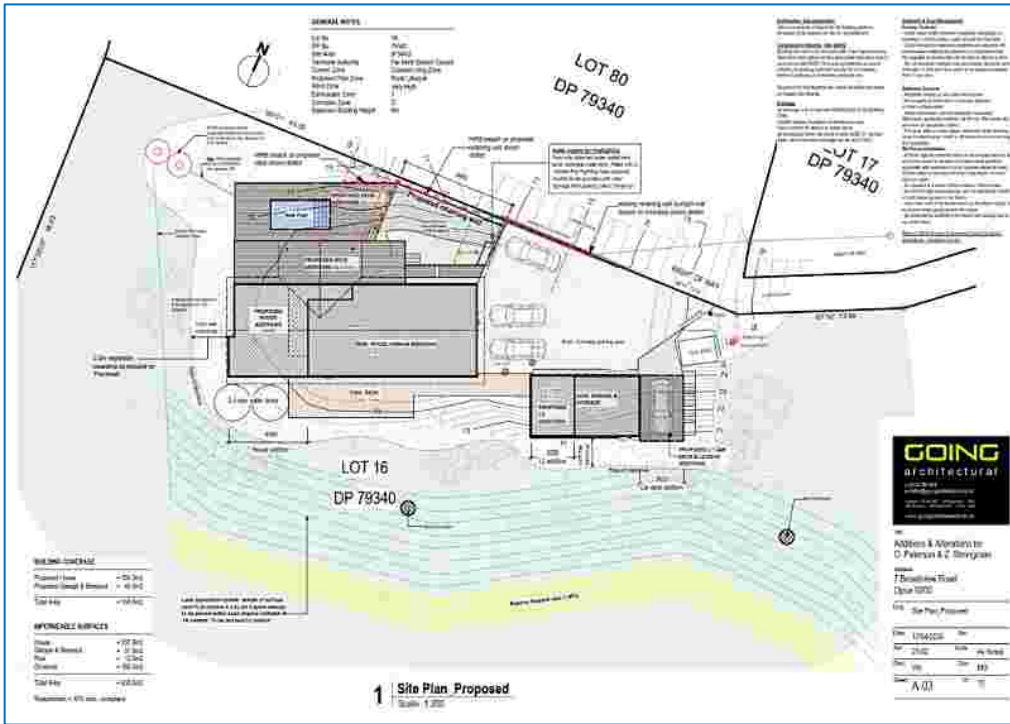


Figure 1: Site Plan

## 2.2 Property access arrangements

Vehicle access to the property will remain unchanged from the existing situation. Within the site, a small additional concrete area will be formed to access a new car deck.

## 2.3 Earthworks

A new retaining wall will be built to create a level lawn area adjacent to the pool decking, to tidy up and increase usability of an existing small lawn. This will involve a new retaining wall approximately 2.6m high, requiring building consent. The area behind the new retaining wall will be filled and then re-grassed. Earthworks for this purpose will affect an area of approximately 45-50m<sup>2</sup> resulting in a volume of approximately 75m<sup>3</sup>.

The earthworks area will be fully contained, resultantly there is little risk of sediment laden stormwater runoff migrating beyond the works area. Typical construction management techniques to be implemented to avoid, remedy and mitigate adverse environmental effects, include the following principles.

- All noise generating activities during the period of site works for this project will be managed on site as far as is reasonably practicable to meet New Zealand Standard NZS 6803:1999 Acoustics - Construction Noise. In addition, all persons undertaking day to day management of construction activities on the site will wherever possible adopt the best practical option at all times to ensure the emission of noise from the site does not exceed a reasonable level in accordance with Section 16 of the Resource Management Act 1991.

- A copy of the Heritage New Zealand Pouhere Taonga Accidental Discovery Protocol (ADP) can be made available to all contractors working on site.

## 2.4 Impermeable surface coverage and stormwater management

The Proposed Site Plan in **Appendix 1** tables impermeable surface coverage as amounting to approximately 440m<sup>2</sup> (4.5% of the total site area), comprising the existing and proposed driveway, roof area and pool. Stormwater management for the site involves collecting stormwater runoff from roof surfaces in two water tanks, located to the south of the dwelling. Existing cesspits collect surface water from driveway areas. Stormwater discharge will need to be directed away from the wastewater disposal field.

## 2.5 Onsite wastewater treatment and disposal

A new onsite wastewater management system is proposed to replace the existing system. The system is detailed in the On-Site Wastewater Design Report prepared by WaterFlow, which is attached in **Appendix 2**. This outlines the proposed use of an advanced secondary wastewater treatment with 660m<sup>2</sup> of surface laid dripper irrigation, which is to be covered in mulch. A 30% reserve disposal area is available.

## 2.6 Fire fighting water supply

Onsite water storage has been designed to be suitable for fire fighting use. An existing concrete water tank will supply water to a new connection point, comprising a post located adjacent to the concrete parking area, with attached water outlet fitted with a 100mm fire fighting hose coupling. Refer to **Figure 3**. This has been approved by Fire & Emergency New Zealand – refer to their written approval in **Appendix 3**.

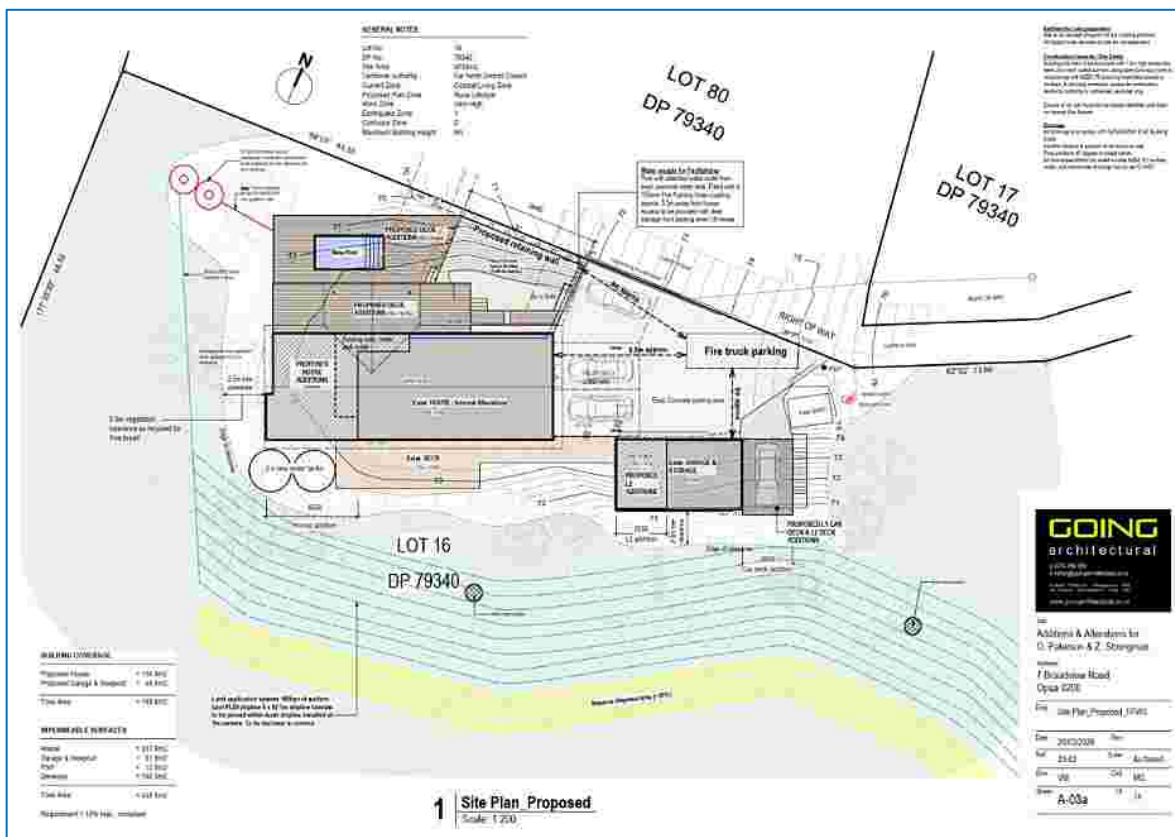


Figure 2: Proposed Site Plan with Fire Fighting Water Supply Detail

## 2.7 Vegetation clearance

Selected vegetation clearance will be undertaken to maintain a thinned 2-3m wide fire break around the perimeter of the built development. Most of this area is already free from indigenous species, with more recent regrowth of both indigenous species as well as exotic species, however there are mature rimu trees present. Large scale removal of vegetation to provide an increased buffer is not proposed, as the existing vegetation has ecological and visual value, assists with stability on the sloping land, and minimizes weed invasion.

# 3. APPLICATION SITE DETAILS AND DESCRIPTION

## 3.1 Location

The site is located at 7 Broadview Road in Opuā.

Refer to the Location and Cadastral Maps in **Figures 3** and **4**.

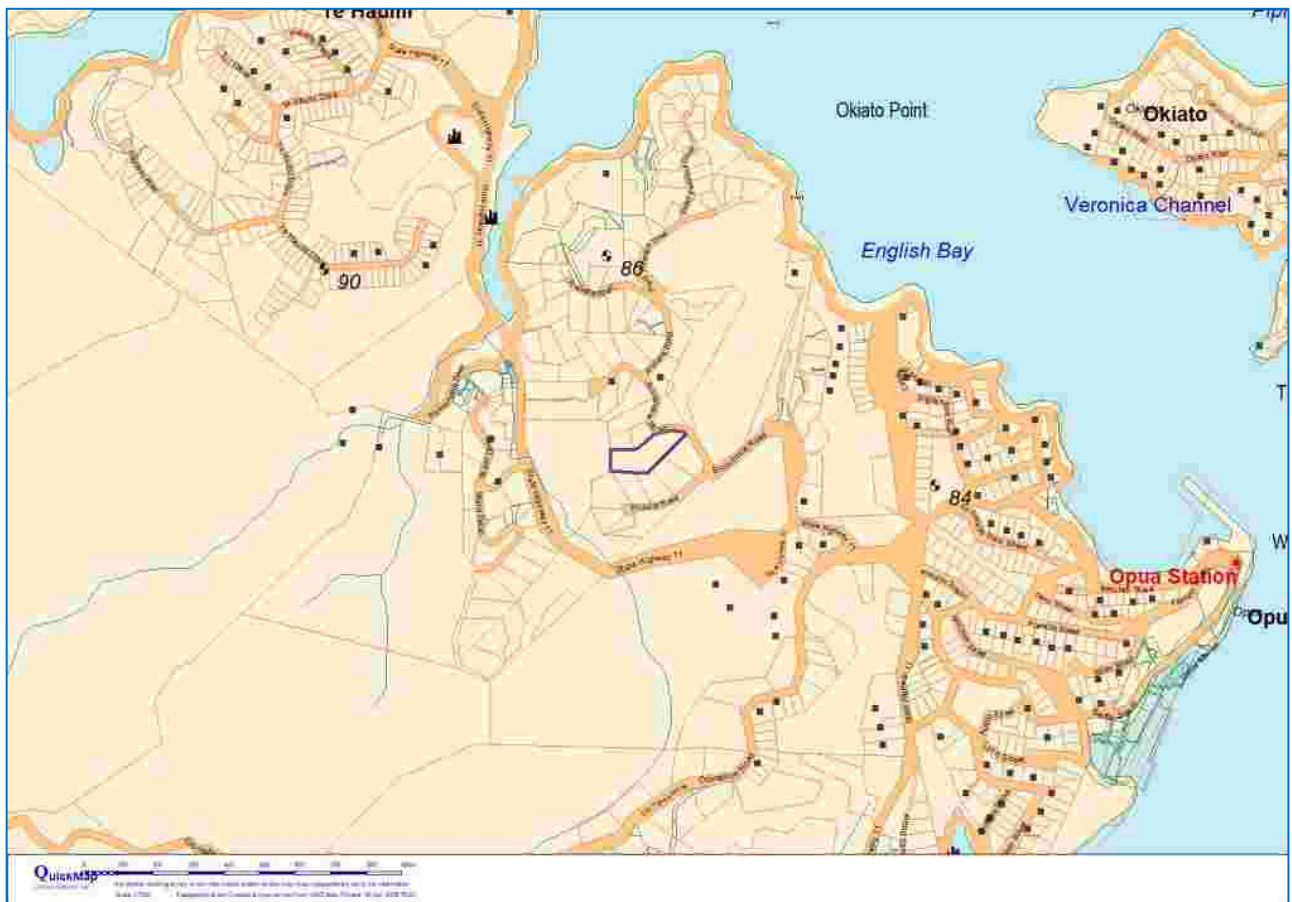


Figure 3: Location Map (Source: QuickMap)

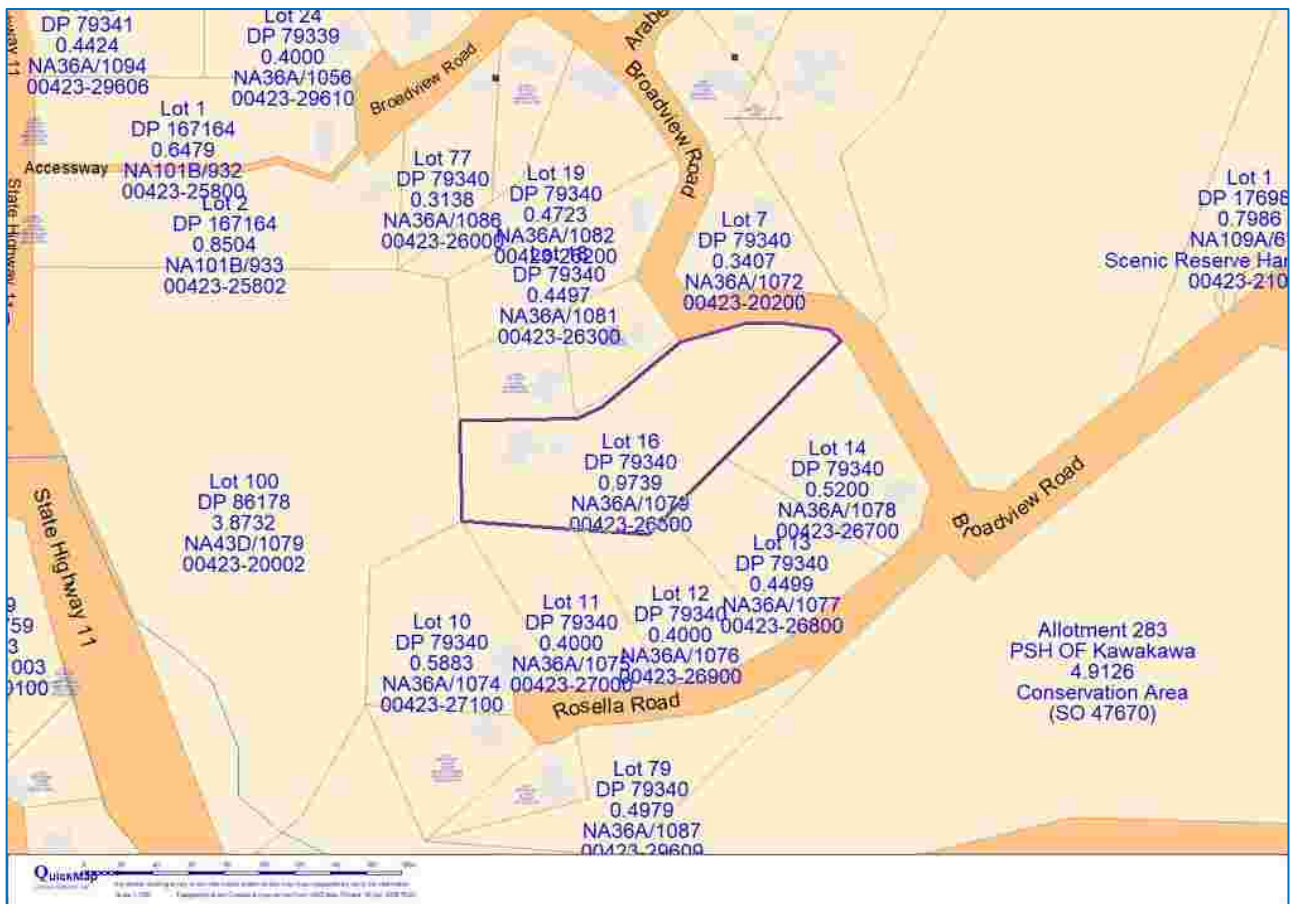


Figure 4: Cadastral Map Highlighting the Application Site (Source: QuickMap).

### 3.2 Legal details

Legal details of the application site are summarised below and in the Record of Title (**Appendix 4**).

LEGAL DESCRIPTION	RECORD OF TITLE IDENTIFIER	TITLE AREA
Lot 16 DP 79340	NA36A/1079	9739m <sup>2</sup> more or less

Relevant interests on the Record of Title are listed below.

- Appurtenant hereto are rights of way specified in Easement Certificate 525883.13 - 9.11.1976 at 10:43 am
- The easements specified in Easement Certificate 525883.13 are subject to Section 37 (1) (a) Counties Amendment Act 1961
- Subject to a drainage right (in gross) over part marked F on DP 79340 favour of The Bay of Islands County Council created by Transfer 525883.14 - 9.11.1976 at 10.43 am

### 3.3 Existing land use and development

The subject site is an existing residential property, with existing house, deck and accessory buildings, as well as a concrete parking and manoeuvring area.

Refer to **Photographs 1 - 4** below.



*Photograph 1: Illustrates the western end of the existing dwelling, the small playroom to be removed, and the existing grass area upon which the house addition and part of the pool / deck addition will be located.*



*Photograph 3: Location of existing lawn to be filled to form a retained and level lawn area.*



*Photograph 2: Existing garage / storage building. Car deck to be formed to the east of the building, selected removal of mainly exotic vegetation required. Upper-level addition upon existing deck.*



*Photograph 4: Existing clearance adjacent to existing deck along southern face of dwelling.*

### **3.4 Natural and recorded features**

#### **3.4.1 Recorded Landscape and Natural Character Features (Regional Policy Statement for Northland)**

The site is not within the coastal environment and does not include any areas of high or outstanding natural character, or outstanding natural landscapes or features as recorded in the Regional Policy Statement for Northland.

#### **3.4.2 Recorded Ecological Features**

The site is recorded as part of a kiwi habitat in the Far North Maps Species Distribution (DoC) Map ('kiwi present' zoning).<sup>2</sup> This map is a non-statutory document.

<sup>2</sup> A map showing the distribution of Northland Brown Kiwi and Northland Mudfish in the Far North District. Kiwi habitat distribution based on call count monitoring in 2019 by Department of Conservation: Craig, E. (2020): *Call count monitoring of Northland brown kiwi 2019*. Department of Conservation, Whangarei, New Zealand.

The site is located within the Kerikeri Ecological District and is included in the Protected Natural Area 'Opua Forest' (P05/058)<sup>3</sup>, comprising part of the shrubland component of the ecological unit. The relevant Department of Conservation mapping and report is also a non-statutory document.

### 3.5 Vehicle access

The subject site has direct frontage to Broadview Road along part of its northern boundary, however formed access to the site is via existing appurtenant easements A & B over Lots 17 & 80 DP 79340 (11 & 9 Broadview Road) and secured by Easement Certificate 525883.13 (refer to the Record of Title in **Appendix 4**). Within the site, an existing concrete parking and manoeuvring area is formed.

### 3.6 Surrounding land

The subject site is surrounded by a coastal lifestyle development, typically comprising existing residential buildings set within a framework of indigenous vegetation.

## 4. DISTRICT PLAN ASSESSMENT

### 4.1 Far North Operative District Plan

The application site is zoned Coastal Living. The proposal is assessed against the relevant rules of the Operative District Plan as follows.

#### 4.1.1 Coastal Living Zone

Rule	Discussion	Activity Status
10.7.5.1.1, 10.7.5.2.2, 10.7.5.3.1 Visual Amenity	The proposed additions will exceed 30% of the existing gross floor area. The buildings are not located within a resource consent approved building envelope.	Restricted discretionary
10.7.5.1.2 Residential Intensity	The proposal is for a single residential unit and sleepout.	Permitted
10.7.5.1.3 Scale of Activities	The proposed dwelling will be used by people who normally reside on the site.	Permitted
10.7.5.1.4 Building Height	Building height does not exceed 8m – see Elevations.	Permitted
10.7.5.1.5, 10.7.5.3.3 Sunlight	Permitted activity recession planes are not met by areas of the new deck, as indicated in plans A-10 & A-11.	Discretionary
10.7.5.1.6 Stormwater Management	Proposed impermeable surfaces will not exceed 600m <sup>2</sup> (being the lesser compared with 10%).	Permitted
10.7.5.1.7 Setback from Boundaries	New decks and retaining walls are less than 10m from the northern site boundary. Refer to the Site Plan A-03.	Restricted discretionary

#### 4.1.2 Natural & Physical Resources

Rule	Discussion	Activity Status
12.2.6.1.1 Indigenous Vegetation Clearance Permitted Throughout the District	Selected highly flammability trees will be removed in accordance with clause (m) – creation and maintenance of firebreaks provided	Permitted

<sup>3</sup> Conning, L. & Miller, N. (1999) *Natural areas of Kerikeri Ecological District Reconnaissance Survey Report for the Protected Natural Areas Programme*. Department of Conservation, Whangarei, New Zealand.

	that no more vegetation is cleared than is necessary to achieve the practical purpose of the firebreak.	
12.3.6.1.2, 12.3.6.2.1, 12.3.6.3 Excavation and/or filling ... in the ... Coastal Living ... zones	Earthworks volumes comply. The fill height is to be retained by an engineer designed retaining wall, however building consent has not yet been issued for this.	Discretionary
12.4.6.1.2(a) & 12.4.6.3 Fire Risk to Residential Units	The resultant residential dwelling will be located less than 20m from the dripline of surrounding vegetation.	Discretionary

#### 4.1.3 Transportation

Rule	Discussion	Activity Status
<b>Traffic</b>		
15.1.6A.2.1 Traffic Intensity	The first residential unit on a site is exempt from this rule.	Permitted
<b>Access</b>		
15.1.6C.1.1 Private Accessway in all Zones	Existing property access via a private accessway. No changes proposed.	Not applicable
15.1.6C.1.5 Vehicle crossing standards in ... Coastal Zones	The site is accessed via an existing crossing over appurtenant easements. No changes proposed.	Not applicable
15.1.6C.1.7 General Access Standards	No change to existing provisions for access within the site in terms of this rule.	Not applicable.

#### 4.1.4 Summary of Activity Status under the Far North Operative District Plan

Overall, the proposal has been assessed as a discretionary activity. Sections 104 and 104B of the RMA are applicable.

### 4.2 Far North Proposed District Plan

The application site is zoned 'Rural Lifestyle' in the Far North Proposed District Plan. The proposal is assessed against the relevant rules of the Proposed District Plan as follows.

#### 4.2.1 Rules with Immediate Legal Effect

Rules relating to earthworks and the discovery of suspected sensitive material, and earthworks and erosion and sediment control (EW-R12 and EW-R13) and associated standards EW-S3 and EW-S5 can be complied with through advice notes relating to the Heritage New Zealand Accidental Discovery Protocol and the requirement for erosion and sediment control to be implemented in accordance with the specified guideline document for the duration of earthworks. We are not aware of any other applicable rules with immediate legal effect under the Proposed District Plan. Other relevant rules without immediate legal effect are assessed below.

#### 4.2.2 Area-Specific Matters – Rural Lifestyle Zone

Rule	Discussion	Activity Status
RLZ-R1 ... extensions or alterations to existing buildings or structures...	PER-1 – the proposed buildings accommodate a permitted activity (RLZ-R3). PER-2: RLZ-S1: 8m height not exceeded. RLZ-S2: Recession planes not complied with. RLZ-S3: 10m setbacks not achieved. RLZ-S4: More than 30m from MHWS. RLZ-S5: Building / structure coverage is less than 12.5%. RLZ-S6: Not applicable.	These rules do not have legal effect.
RLZ-R2 Impermeable Surface Coverage	Proposed impermeable surfaces will not exceed 12.5%.	
RLZ-R3 Residential activity	A single residential unit is proposed.	

#### 4.2.3 District-Wide Matters – Energy, Infrastructure, & Transport – Transport

Rule	Discussion	Activity Status
TRAN-R2 Vehicle crossings and access, including private accessways	Access is for a single dwelling via an existing crossing.	These rules do not have legal effect.
TRAN-R5 Trip generation	Single residential unit proposed. Proposed development does not generate traffic exceeding that listed in TRAN-Table 11 – Trip generation.	

#### 4.2.4 District-Wide Matters – Hazards and Risks

Rule	Discussion	Activity Status
NH-R5 Wild Fire – Buildings used for a vulnerable activity (excluding accessory buildings)	The proposal includes two rainwater storage tanks, and an existing concrete water tank with fire fighting connection, as well as a swimming pool.  The building will be within 20m of continuous areas of vegetation and does not comply with PER-2.	This rule does not have legal effect.

#### 4.2.5 District Wide Matters – Earthworks

Rule	Discussion	Activity Status
EW-R1 Earthworks for building or structures ...	Earthworks will be undertaken for landscaping in relation to the proposed alterations and additions.	This rule does not have legal effect.
EW-R12 Earthworks and the discovery of suspected sensitive material	An Accidental Discovery Protocol advisory note can be added to the resource consent.	Permitted. Refer to EW-S3 below.
EW-R13 Earthworks and erosion and sediment control	Erosion and sediment control provided by proposed retaining wall.	Permitted. Refer to EW-S5 below.
EW-S1 Maximum earthworks thresholds.	Less than 1000m <sup>3</sup> proposed.	

EW-S2 Maximum depth & slope	Depth will not exceed 3m and is to be retained by an engineered retaining wall, however building consent not yet issued for this wall.	These rules do not have legal effect.
EW-S3 Accidental Discovery Protocol	Will be complied with.	Complies
EW-S4 Site reinstatement	Will comply.	This rule does not have legal effect.
EW-S5 Erosion & sediment control	Will be complied with.	Complies

#### 4.2.6 Summary of Activity Status under the Far North Proposed District Plan

Relevant rules with immediate effect are:

- EW-R12 and EW-R13, both of which can be satisfied as a permitted activity via consent conditions and an advice note.

## 5. ASSESSMENT OF ENVIRONMENTAL EFFECTS

*Section 104(1)(a) and (ab) requires the consent authority to have regard to any actual and potential effects on the environment of allowing the activity; and any measure proposed or agreed to by the application for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity.*

*Section 104(2) indicates that a consent authority may disregard an adverse effect of the activity on the environment if a national environmental standard of the plan permits an activity with that effect and Section 104(3)(a)(ii) requires a consent authority to not, when considering an application, have regard to any effect on a person who has given written approval to the application (unless that person has withdrawn the written approval before the date of a hearing or before the application is determined, as set out in 104(4)). Written approval has been obtained from the owner of 9 Broadview Road Opua, Lot 80 DP 79340.*

*Clauses 6 and 7 of Schedule 4 of the RMA indicate the information requirements and matters that must be addressed in or by an assessment of environmental effects, both of which are subject to the provisions of any policy statement or plan. This assessment of environmental effects is not limited to any particular matter.*

### 5.1 Visual amenity effects

The proposed built development provides for additions and alterations to the existing residential built development; therefore, the location makes use of an existing modified area and avoids the need for widescale disturbance of existing vegetation or earthworks. The additional built development is also located where access is readily available from the existing right of way.

The site does not include any mapped outstanding natural features, outstanding landscape features, or areas of high or outstanding natural character as mapped by the Regional Policy Statement.

The site retains ample undeveloped areas and provides a new grassed lawn adjacent to the proposed pool. Minimal earthworks are required to form the level lawn area, within a small part of the overall site.

Minimal clearance of selected indigenous vegetation is required to provide a cleared fire buffer.

The resultant built development will be cohesive in exterior materials and design, using a dark colour palette. The existing surrounding vegetation to the east, west and south assists with visually integrating the existing and proposed built development into the landscape and minimises the potential adverse landscape and visual effects of the proposed activity. It is considered that the additional built development will not be visually obtrusive, and with the darkened colour palette, cumulative effects are avoided.

The proposal remains in keeping with the current pattern of development and character of the area.

The neighbouring property owner to the north has provided written approval, and effects on this property can be disregarded in terms of the boundary activities resulting from the proposal (setback and sunlight rule infringements).

In summary, the proposed activity is considered to be an appropriate development, which avoids and mitigates adverse effects on visual amenity. Taking into account mitigating factors presented by the size, external colouring, and form of the additional built development, its siting upon the modified area of the site, and existing vegetation, it is considered that the proposed activity avoids and mitigates adverse visual and landscape effects so that they will be less than minor.

## 5.2 Stormwater management effects

Total impermeable surface coverage remains within the permitted activity standard, and effects related to impermeable surface coverage and stormwater can be disregarded. The impermeable area is located within a small portion of the overall site leaving the majority of the site permeable and able to absorb stormwater. It is noted that additional water storage tanks are proposed, which will capture an increased amount of stormwater runoff from roof surfaces.

## 5.3 Effects of fire risk

The proposed building additions will be located less than 20m away from the areas of surrounding vegetation. They include an addition to the western elevation, the new pool and deck on the northern elevation, and an added car deck to the eastern side of the accessory building and level 2 additions. The additions are placed within existing cleared areas where practicable. In addition, a 2-3m buffer will be formed around the eastern, western and southern perimeter of the built development, involving removal of selected vegetation to reduce the risk of fire spreading. Compared with the existing situation, where the dripline of existing trees is located almost immediately adjacent to parts of the existing building, this is considered to reduce the risk of fire hazard.

Paihia Volunteer Fire Brigade is located approximately 6km, or a ten minute drive from the subject site. Fire fighting water supply will comprise use of the existing water storage tank, with a new water outlet to be situated close to the driveway and fitted with a suitable hose coupling for fire fighting use. This improves the ability to manage fire compared with the existing situation. Written approval has been obtained from FENZ – refer to **Appendix 3**.

Overall, it is considered that the fire risk generated by the proposal is mitigated to an appropriate level so as to be less than minor.

## 5.4 Effects of earthworks

A small volume of earthworks is required to form the retained level lawn area. This will comprise fill which is to be located behind a proposed retaining wall, so will be a fully contained area where there is little risk of sediment laden water travelling beyond the earthworks area.

The new retaining wall will be engineer designed and will be subject to building consent, however this has not yet been issued.

In these circumstances, the actual and potential adverse effects of earthworks are considered to be less than minor.

## 5.5 Ecological effects

The perimeter of the existing built development is clear in some areas, has recent regrowth of a mixture of indigenous and exotic species in others, with the occasional mature tree in places (including exotic trees such as macadamia, as well as rimu). It is the applicant's intention to remove the least amount of vegetation necessary, as the existing vegetation cover contributes to maintenance of stability, prevents incursion of weeds, and has intrinsic ecological and visual qualities. This is offset with the need to minimise fire risk, which will be achieved through removal of selected trees, ferns and shrubs within a 2 – 3m perimeter of the built development area, and which can be completed as a permitted activity. The remainder of the vegetated cover over the site will be retained, this occupies the vast majority of the property. The potential adverse ecological effects of the proposed activity can be disregarded, and are nonetheless considered to be no more than minor.

## 6. STATUTORY ASSESSMENT

*Section 104(1)(b) of the Resource Management Act 1991 requires the consent authority, subject to Part 2 of the Act, to have regard to any relevant provisions of a national environmental standard, other regulations, a national policy statement, a New Zealand coastal policy statement, a regional policy statement, a plan or proposed plan, and any other matter the consent authority considers relevant and reasonably necessary to determine the application. Of relevance to the proposed activity are the following documents, which are commented on in the preceding Sections 6.1 – 6.5 of this Report. This is followed by an assessment of Part 2 of the Act.*

- *Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011*
- *Resource Management (National Environmental Standards for Freshwater) Regulations 2020*
- *National Policy Statement for Indigenous Biodiversity 2023 (NPS-IB)*
- *Regional Policy Statement for Northland*
- *Operative Far North District Plan*
- *Proposed Far North District Plan*
- *Regional Plan for Northland March 2026*

### 6.1 National Environmental Standards

#### 6.1.1 Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 (“NES:CS”)

The subject land is not recorded on the Northland Regional Council Selected Land-use Register as a site that has been used for any activity included in the Ministry for the Environment's Hazardous Activities and Industries List (“HAIL”).<sup>4</sup>

The site is not considered to be a ‘piece of land’, and the proposed activity is not covered by the above National Environmental Standard.

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<sup>4</sup> Northland Regional Council (n.d.): *Selected Land-use Register Map*. Retrieved 15 April 2026 from <https://localmaps.nrc.govt.nz/localmapsviewer/?map=65b660a9454142d88f0c77b258a05f21>

## 6.1.2 Resource Management (National Environmental Standard for Freshwater) Regulations 2020

The proposed activity does not involve work in or in close proximity to any freshwater features, including any earthworks or vegetation disturbance within 10m of a wetland, or earthworks and diversion of stormwater within a 100m setback from a natural inland wetland. Therefore, consent is not considered necessary pursuant to these regulations.

## 6.2 National Policy Statements

### 6.2.2 National Policy Statement for Indigenous Biodiversity 2023

The objective of the above policy statement is set out in 2.1, as copied below:

(1) *The objective of this National Policy Statement is:*

(a) *to maintain indigenous biodiversity across Aotearoa New Zealand so that there is at least no overall loss in indigenous biodiversity after the commencement date; and*

(b) *to achieve this:*

(i) *through recognising the mana of tangata whenua as kaitiaki of indigenous biodiversity; and*

(ii) *by recognising people and communities, including landowners, as stewards of indigenous biodiversity; and*

(iii) *by protecting and restoring indigenous biodiversity as necessary to achieve the overall maintenance of indigenous biodiversity; and*

(iv) *while providing for the social, economic, and cultural wellbeing of people and communities now and in the future.*

There are seventeen listed policies to achieve this objective. At this time, there are no SNAs mapped in the Operative or Proposed District Plan. Therefore, Policies 8, 13 and 15 are most relevant.

*Policy 8: The importance of maintaining indigenous biodiversity outside SNAs is recognised and provided for.*

*Policy 13: Restoration of indigenous biodiversity is promoted and provided for.*

*Policy 15: Areas outside SNAs that support specified highly mobile fauna are identified and managed to maintain their populations across their natural range, and information and awareness of highly mobile fauna is improved*

Part 3 guides the implementation of the NPS-IB. Of relevance is the following approach to implementing the NPS-IB.

#### 3.16 Indigenous biodiversity outside SNAs

(1) *If a new subdivision, use, or development is outside an SNA and not on specified Māori land, any significant adverse effects of the new subdivision, use, or development on indigenous biodiversity outside the SNA must be managed by applying the effects management hierarchy.*

(2) *All other adverse effects of any activities that may adversely affect indigenous biodiversity that is outside an SNA (other than indigenous biodiversity on specified Māori land (see clause 3.18)), must be managed to give effect to the objective and policies of this National Policy Statement.*

Effects Management Hierarchy is defined as follows:

*effects management hierarchy means an approach to managing the adverse effects of an activity on indigenous biodiversity that requires that:*

(a) *adverse effects are avoided where practicable; then*

(b) *where adverse effects cannot be avoided, they are minimised where practicable; then*

(c) *where adverse effects cannot be minimised, they are remedied where practicable; then*

(d) *where more than minor residual adverse effects cannot be avoided, minimised, or remedied, biodiversity offsetting is provided where possible; then*

(e) where biodiversity offsetting of more than minor residual adverse effects is not possible, biodiversity compensation is provided; then

(f) if biodiversity compensation is not appropriate, the activity itself is avoided.

The proposed activity involves removal of selected indigenous vegetation to provide a fire break. Adverse effects have been minimised as the proposal is for alterations and additions to existing residential buildings on existing cleared areas, and through the minimisation of clearance to avoid adverse effects. Remediation is not considered necessary, and residual adverse effects related to vegetation clearance are not expected to be more than minor in magnitude. The changes to the buildings do not increase the occupancy of the site. In terms of potential adverse effects on indigenous fauna, no adverse effects are anticipated.

Referring back to the objective and relevant policies of the NPS-IB; the effects of the proposal are such that indigenous biodiversity can be maintained, while providing for the social wellbeing of the property owners and their family. The habitats of specified highly mobile fauna within the site can be maintained. It is therefore considered that the proposal is consistent with the NPS-IB.

## 6.3 Regional Policy Statement for Northland (“RPS”)

The RPS provides an overview of resource management issues and gives objectives, policies, and methods to achieve integrated management of natural and physical resources of the region. The site is not within the coastal environment and not include areas of high or outstanding natural character, or outstanding natural landscapes or features. The relevant RPS policies are addressed below.

### ***Policy 4.4.1 – Maintaining and protecting significant ecological areas and habitats***

This policy specifies that, outside the coastal environment, subdivision, use and development activities should avoid, remedy and mitigate adverse effects so that they are no more than minor on threatened or at-risk indigenous taxa and significant indigenous vegetation and habitats. The proposed development avoids adverse effects on ecological values to the extent practicable, by locating the proposed additions within the existing developed area and minimising the extent of vegetation clearance required. Overall, adverse effects are not considered to be more than minor.

### ***Policy 5.1.1 – Planned and coordinated development***

This policy requires co-ordinated location, design and building for subdivision, land use and development. Relevant matters are listed under (a), (c), (e), (g) and (h). The proposal is for alterations and additions to an existing residential development within an existing lifestyle site. The proposal is considered consistent with this policy.

## 6.4 District Plan Objectives and policies

### 6.4.1 Operative Far North District Plan

The objectives and policies of the Coastal Environment and Coastal Living Zone, Natural Hazards and Soils & Minerals Sections of the District Plan are relevant to this proposal and are commented on below.

#### ***Coastal Environment***

##### **10.3 OBJECTIVES**

10.3.1 To manage coastal areas in a manner that avoids adverse effects from subdivision, use and development. Where it is not practicable to avoid adverse effects from subdivision use or development, but it is appropriate for the development to proceed, adverse effects of subdivision use or development should be remedied or mitigated.

10.3.2 To preserve and, where appropriate in relation to other objectives, to restore, rehabilitate protect, or enhance:

(a) the natural character of the coastline and coastal environment;

- (b) areas of significant indigenous vegetation and significant habitats of indigenous fauna;
- (d) the open space and amenity values of the coastal environment;
- (e) water quality and soil conservation (insofar as it is within the jurisdiction of the Council).

#### **10.4 POLICIES**

10.4.1 That the Council only allows appropriate subdivision, use and development in the coastal environment. Appropriate subdivision, use and development is that where the activity generally:

- (a) recognises and provides for those features and elements that contribute to the natural character of an area that may require preservation, restoration or enhancement; and
- (b) is in a location and of a scale and design that minimises adverse effects on the natural character of the coastal environment; and
- (c) has adequate services provided in a manner that minimises adverse effects on the coastal environment and does not adversely affect the safety and efficiency of the roading network; and
- (d) avoids, as far as is practicable, adverse effects which are more than minor on heritage features, outstanding landscapes, cultural values, significant indigenous vegetation and significant habitats of indigenous fauna, amenity values of public land and waters and the natural functions and systems of the coastal environment; and
- (e) promotes the protection, and where appropriate restoration and enhancement, of areas of significant indigenous vegetation and significant habitats of indigenous fauna; and
- (f) recognises and provides for the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu and other taonga; and
- (h) gives effect to the New Zealand Coastal Policy Statement and the Regional Policy Statement for Northland.

10.4.2 That sprawling or sporadic subdivision and development in the coastal environment be avoided through the consolidation of subdivision and development as far as practicable, within or adjoining built up areas, to the extent that this is consistent with the other objectives and policies of the Plan.

10.4.3 That the ecological values of significant coastal indigenous vegetation and significant habitats are maintained in any subdivision, use or development in the coastal environment.

10.4.9 That development avoids, where practicable, areas where natural hazards could adversely affect that development and/or could pose a risk to the health and safety of people.

10.4.10 To take into account the need for a year-round water supply, whether this involves reticulation or on-site storage, when considering applications for subdivision, use and development.

10.4.11 To promote land use practices that minimise erosion and sediment run-off, and storm water and waste water from catchments that have the potential to enter the coastal marine area.

10.4.12 That the adverse effects of development on the natural character and amenity values of the coastal environment will be minimised through:

- (a) the siting of buildings relative to the skyline, ridges, headlands and natural features;
- (b) the number of buildings and intensity of development;
- (c) the colour and reflectivity of buildings; (d) the landscaping (including planting) of the site;
- (e) the location and design of vehicle access, manoeuvring and parking areas.

### **Coastal Living Zone**

#### **10.7.3 OBJECTIVES These objectives supplement those set out in Section 10.3.**

10.7.3.1 To provide for the well being of people by enabling low density residential development to locate in coastal areas where any adverse effects on the environment of such development are able to be avoided, remedied or mitigated.

10.7.3.2 To preserve the overall natural character of the coastal environment by providing for an appropriate level of subdivision and development in this zone.

#### **10.7.4 POLICIES These policies supplement those set out in Section 10.4.**

10.7.4.1 That the adverse effects of subdivision, use, and development on the coastal environment are avoided, remedied or mitigated.

10.7.4.2 That standards be set to ensure that subdivision, use or development provides adequate infrastructure and services and maintains and enhances amenity values and the quality of the environment.

10.7.4.3 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the zone in regards to s6 matters, and shall avoid adverse effects as far as practicable by using techniques including:

- (a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;
- (b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;
- (d) through siting of buildings and development, design of subdivisions, and provision of access that recognise and provide for the relationship of Maori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Maori culture makes to the character of the District (refer Chapter 2, and in particular Section 2.5, and Council's "Tangata Whenua Values and Perspectives (2004)");
- (e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;
- (f) protecting historic heritage through the siting of buildings and development and design of subdivisions.

The proposed activity does not change the existing land use, being low density residential development within an existing lifestyle area, as an appropriate activity, and being neither sprawling nor sporadic. Adverse effects are avoided through the nature of the proposal and use of recessive and cohesive exterior

colour scheme, as well as retention of vegetated surrounds, in order to preserve natural character and avoid potential adverse effects on visual amenity values. The site is set back from the coastal marine area and has no known impact on heritage or cultural values.

Water supply is available through collection and storage of rainwater.

The proposal is considered consistent with the objectives and policies of the Coastal Environment and the Coastal Living Zone.

### **Soils and Minerals**

#### **12.3.3 OBJECTIVES**

12.3.3.2 *To maintain the life supporting capacity of the soils of the District.*

12.3.3.3 *To avoid, remedy or mitigate adverse effects associated with soil excavation or filling.*

#### **12.3.4 POLICIES**

12.3.4.1 *That the adverse effects of soil erosion are avoided, remedied or mitigated.*

12.3.4.2 *That the development of buildings or impermeable surfaces in rural areas be managed so as to minimise adverse effects on the life supporting capacity of the soil.*

12.3.4.4 *That soil excavation and filling, and mineral extraction activities be designed, constructed and operated to avoid, remedy or mitigate adverse effects on people and the environment.*

12.3.4.5 *That soil conservation be promoted.*

The proposed earthworks affect a small area of the site, within the modified area, and avoid adverse effects of the life supporting capacity of soils. The earthworks comprise filling within a contained location, and behind a proposed retaining wall, so as to avoid potential off-site effects associated with the run off of sediment laden stormwater. The filled area will be used as a lawn. The proposed earthworks activity is consistent with the relevant objectives and policies listed above.

### **Natural Hazards**

#### **12.4.3 OBJECTIVES**

12.4.3.1 *To reduce the threat of natural hazards to life, property and the environment, thereby to promote the well-being of the community.*

12.4.3.2 *To ensure that development does not induce natural hazards or exacerbate the effects of natural hazards.*

12.4.3.7 *To avoid fire risk arising from the location of residential units in close proximity to trees, or in areas not near fire fighting services.*

#### **12.4.4 POLICIES**

12.4.4.7 *That the risk to adjoining vegetation and properties arising from fires be avoided.*

The risk of fire can never be fully avoided, as fire risk would remain even with a 20m separation distance between a dwelling and areas of vegetation. However, the applicants have taken practicable steps to minimise fire risk from the proposed changes to their residential buildings, including using a buffer area immediately between the dwelling and the surrounding areas of continuous native vegetation where practicable and having adequate and appropriately located water supply to minimise the spread of fire.

The proposal is considered to be consistent with the above objectives and policies related to fire hazard, as it avoids fire risk to the extent practicable.

## **6.4.2 Proposed Far North District Plan**

Relevant objectives and policies are assessed below. It is concluded that the proposal will be consistent with the relevant strategies.

### **Rural Lifestyle Zone**

#### **Objectives**

RLZ-O1 *The Rural Lifestyle zone is used predominantly for low density residential activities and small scale farming activities that are compatible with the rural character and amenity of the zone.*

RLZ-O2 The predominant character and amenity of the Rural Lifestyle zone is characterised by:

- a. low density residential activities;
- b. small scale farming activities with limited buildings and structures;
- c. smaller lot sizes than anticipated in the Rural Production Zone;
- d. a general absence of urban infrastructure;
- e. rural roads with low traffic volumes;
- f. areas of vegetation, natural features and open space.

RLZ-O3 The role, function and predominant character and amenity of the Rural Lifestyle zone is not compromised by incompatible activities.

#### **Policies**

RLZ-P1 Enable activities that will not compromise the role, function and predominant character and amenity of the Rural Lifestyle zone, while ensuring their design, scale and intensity is appropriate to manage adverse effects in the zone, including:

- a. low density residential activities;
- b. small scale farming activities;
- c. home business activities; visitor accommodation; and
- d. small scale education facilities.

RLZ-P4 Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. consistency with the scale and character of the rural lifestyle environment;
- b. location, scale and design of buildings or structures;
- c. at zone interfaces:
  - i. any setbacks, fencing, screening or landscaping required to address potential conflicts;
  - ii. the extent to which adverse effects on adjoining or surrounding sites are mitigated and internalised within the site as far as practicable;
- d. the capacity of the site to cater for on-site infrastructure associated with the proposed activity;
- e. the adequacy of roading infrastructure to service the proposed activity;
- f. managing natural hazards;
- g. any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity; and
- h. any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.

The use of the property for low density residential use will not change, and the proposal does not result in any incompatible land use activities. The existing predominant character and amenity of this part of the rural lifestyle zone will not be adversely affected. Relevant adverse effects of the proposed activity will be avoided and mitigated, as described previously.

#### **OBJECTIVES**

EW-O1 Earthworks are enabled where they are required to facilitate the efficient subdivision and development of land, while managing adverse effects on waterbodies, the coastal marine area, public safety, surrounding land and infrastructure.

EW-O2 Earthworks are appropriately designed, located and managed to protect historical and cultural values, natural environmental values, preserve amenity and safeguard the life-supporting capacity of soils.

EW-O3 Earthworks are undertaken in a manner which does not compromise the stability of land, infrastructure and public safety.

#### **POLICIES**

EW-P4 Require earthworks to be of a type, scale and form that is appropriate for the location having regards to the effects of the activity, and:

- a. existing site constraints, opportunities and specific engineering requirements;
- b. the impact on existing natural landforms, features, historic heritage and indigenous biodiversity;
- c. compatibility with the visual amenity and character values of the area;
- d. changes in the natural landform that will lead to instability, erosion and scarring;
- e. impacts on natural drainage patterns and overland flow paths;
- f. using materials for retaining structures that are compatible with the visual amenity and the characteristics and qualities of the surrounding area;
- g. minimising adverse visual effects associated with any exposed cut faces or retaining structures, including with the use of screening, landscaping and/or planting; and
- h. loss of flood storage within flood hazard areas.

EW-P8 Manage earthworks to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. the location, scale and volume;
- b. depth and height of cut and fill;
- c. the nature of filling material and whether it is compacted;
- d. the extent of exposed surfaces or stockpiling of fill;
- e. erosion, dust and sediment controls;
- f. the risks of natural hazards, particularly flood events;

- g. *stormwater controls;*
- h. *flood storage, overland flow paths and drainage patterns;*
- i. *impacts on natural coastal processes;*
- j. *the stability of land, buildings and infrastructure;*
- k. *visual amenity, natural character and landscape values,*
- l. *historic heritage values, and whether any assessment or advice from a suitably qualified and experienced heritage expert is required;*
- m. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6;*
- n. *the life-supporting capacity of soils;*
- o. *the extent of indigenous biodiversity clearance and its effect on biodiversity values;*
- p. *outstanding natural character, outstanding natural landscapes and outstanding natural features;*
- q. *riparian margins;*
- r. *the location, operational and functional needs and use of infrastructure;*
- s. *temporary or permanent nature of any adverse effect; and*
- t. *traffic and noise effects.*

As described previously, it is considered that the adverse effects of earthworks on water quality, amenity values and soils can be avoided, remedied and mitigated. The earthworks location does not adversely affect any significant ecological, landscape, cultural, spiritual or heritage resources, and has an adequate setback from any water bodies.

### **Natural Hazards**

#### **Objectives**

*NH-O1 The risks from natural hazards to people, infrastructure and property are managed, including taking into account the likely long-term effects of climate change, to ensure the health, safety and resilience of communities.*

*NH-O2 Land use and subdivision does not increase the risk from natural hazards or risks are mitigated ...*

#### **Policies**

*NH-P9 Manage land use and subdivision that may be susceptible to wildfire risk by requiring:*

- (a) Setbacks from any contiguous scrub or shrubland, woodlot or forestry;*
- (b) Access for emergency vehicles; and*
- (c) Sufficient accessible water supply for fire-fighting purposes.*

The proposal includes measures to reduce the risk of fire, having adequate water supply to minimise the spread of fire. Other steps to minimise fire risk include using a buffer area immediately between the residential dwelling and the surrounding areas of continuous native vegetation. Access for emergency vehicles is unchanged from the present scenario; however, access to a suitable fire fighting water connection point will be improved.

The proposal is considered to be consistent with the above objectives and policies, as it avoids and mitigates wildfire risk to the extent practicable.

## **6.5 Regional Plan for Northland (March 2026)**

The discharge of sewage effluent onto land is controlled by the permitted activity rules C.6.1.3 of the Regional Plan for Northland. A feasible design that complies with that standard has been devised.

Proposed earthworks will not exceed 5,000m<sup>2</sup> of exposed earth at any time, and will be within the permitted activity earthworks thresholds specified in Table 15 of Rule C.8.3.1.

No consents are considered necessary for the proposed activity under the Regional Plan for this proposal, although careful implementation of earthworks, and the designed onsite wastewater and stormwater management systems, will be required.

## 6.6 Part 2 of the Resource Management Act 1991

An assessment of the proposal in relation to the relevant purpose and principles of Part 2 of the Resource Management Act 1991 is given below.

### **PART 2 PURPOSE AND PRINCIPLES**

#### **5 Purpose**

- (1) *The purpose of this Act is to promote the sustainable management of natural and physical resources.*
- (2) *In this Act, sustainable management means managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural wellbeing and for their health and safety while-*
  - (a) *Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
  - (b) *Safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*
  - (c) *Avoiding, remedying, or mitigating any adverse effects of activities on the environment.*

#### **6 Matters of national importance**

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall recognise and provide for the following matters of national importance:*

- (h) *the management of significant risks from natural hazards.*

#### **7 Other matters**

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development and protection of natural and physical resources, shall have particular regard to-*

- (b) *The efficient use and development of natural and physical resources;*
- (c) *The maintenance and enhancement of amenity values;*
- (f) *Maintenance and enhancement of the quality of the environment;*

#### **8 Treaty of Waitangi**

*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).*

The proposal is considered to promote sustainable management as per the purpose of the Act (Section 5) by enabling alterations and additions to existing residential development on the site to improve its suitability for the landowners and their family. The resultant use remains in accordance with the intended activities in the Coastal Living zone.

The development can be adequately serviced in terms of the disposal of wastewater and stormwater, and the collection and supply of water. The scale of the additions and alterations that are proposed, together with the retention of as much existing vegetation as possible (while taking into account the need to mitigate fire hazard risk) will ensure that adverse visual amenity effects are appropriately avoided and mitigated, to retain the existing character of the site and its surroundings. The proposal provides for the economic and social well-being of the owners of the property by allowing them to improve their home, resulting in physical changes to the site that are consistent with the nature and scale of development anticipated in the surrounding area. The proposed development can be completed in such a way that avoids, remedies and mitigates actual and potential adverse effects arising from earthworks, vegetation clearance, new and altered built development and impermeable areas.

In terms of Section 6 matters, the property is not within the RPS mapped coastal environment, and vegetation clearance is limited to the extent required to mitigate fire risk. Fire risk is mitigated to an appropriate extent.

The proposal has regard to Section 7 Matters and represents an efficient and anticipated use of the land, which will retain existing amenity values and maintain the quality of the environment.

The proposal is not considered to have any implications in terms of the Treaty of Waitangi.

# 7. CONSULTATION & NOTIFICATION ASSESSMENT

## 7.1 Summary of consultation

### Owners of Lot 80 DP 79340

Written approval has been obtained from the owners of Lot 80 DP 79340. Refer to **Appendix 5**.

### Fire & Emergency New Zealand (FENZ)

Fire & Emergency New Zealand have provided written approval to the submitted 'Non-Reticulated Firefighting Water Supplies, Vehicular Access & Vegetation Risk Reduction Application' for the proposed development. Refer to **Appendix 3**.

## 7.2 Public notification

Step 1: Public notification is not requested. Sections 95A(3)(b) and (c) do not apply.

Step 2: Public notification is not precluded.

Step 3: There are no relevant rules that require public notification, and the adverse effects of the proposal have been assessed as being less than minor, as set out in Section 5 of this Report. As such, public notification is not considered necessary.

Step 4: No special circumstances are considered to exist to warrant public notification.

## 7.3 Limited notification

Step 1: The site is not in the marine and coastal area or common marine and coastal area. There are no affected protected customary rights groups or affected customary marine title groups, the land is not subject to a statutory acknowledgement.

Step 2: Limited notification is not precluded.

Step 3: Section 95E describes when a person is an affected person. Section 95E(1) specifies that a person is an affected person if the consent authority decides that the activity's adverse effects on the person are minor or more than minor (but are not less than minor).

Section 95E(2) provides guidance as to how a consent authority should assess an activity's adverse effects on a person for the purposes of Section 95E, including clause (a), where they may disregard an adverse effect of the activity on a person if a rule or national environmental standard permits an activity with that effect and clause (b), where they must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion.

Section 95E(3) specifies that a person is not an affected person in relation to an application for a resource consent for an activity if (a) the person has given, and not withdrawn, approval for the proposed activity in a written notice received by the consent authority before the authority has decided whether there are any affected persons.

Taking into account the written approvals provided as outlined in Section 7.1 of this Report, we are of the opinion that there are no persons who will be adversely affected by the proposal, and no further written approvals have been sought. As such, it is considered that limited notification is not required via Step 3.

Step 4: There are no special circumstances to warrant notification to any other person.

## 7.4 Summary of Notification Assessment

As outlined above we are of the opinion that the proposal satisfies the statutory requirements for non-notification, and we respectfully request that it be processed on that basis.

## 8. CONCLUSION

In terms of section 104 and 104B of the Resource Management Act 1991, we consider that:

- Taking into account the range of short and long term actual and potential adverse effects on the environment resulting from the proposed activity, it is considered that these can all be avoided, remedied and mitigated, such that they will be less than minor in their scale and magnitude; and
- The proposal is considered to be generally consistent with the objectives and policies of the District Plan and Proposed District Plan.
- The proposal is considered to be consistent with the objectives and policies of the National Policy Statement for Indigenous Biodiversity, and Regional Policy Statement and;
- The proposal is in accordance with the Purpose and Principles of the Resource Management Act 1991.

We also note that:

- The proposal satisfies the statutory requirements for non-notification, and we respectfully request that it be processed on that basis.

For these reasons it is requested this application be considered to be a non-notified application, and that the Council grant consent to the proposal, under delegated authority, as detailed in the application and supporting information.

Signed   
Natalie Watson,  
Resource Planner

Date: 24 April 2026  
WILLIAMS & KING  
Kerikeri

## 9. APPENDICES

<b>Appendix 1</b>	Going Architectural Plans
<b>Appendix 2</b>	WaterFlow On-site Wastewater Design Report
<b>Appendix 3</b>	Fire & Emergency NZ FFWS Written Approval
<b>Appendix 4</b>	Record of Title
<b>Appendix 5</b>	Written Approval



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R. W. Muir  
Registrar-General  
of Land

**Identifier** **NA36A/1079**  
**Land Registration District** **North Auckland**  
**Date Issued** 09 November 1976

**Prior References**  
NA712/300

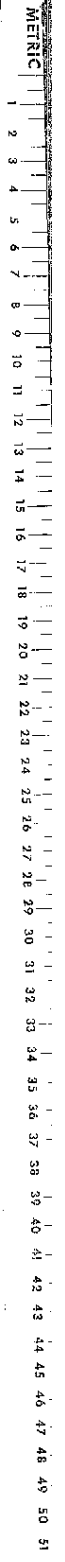
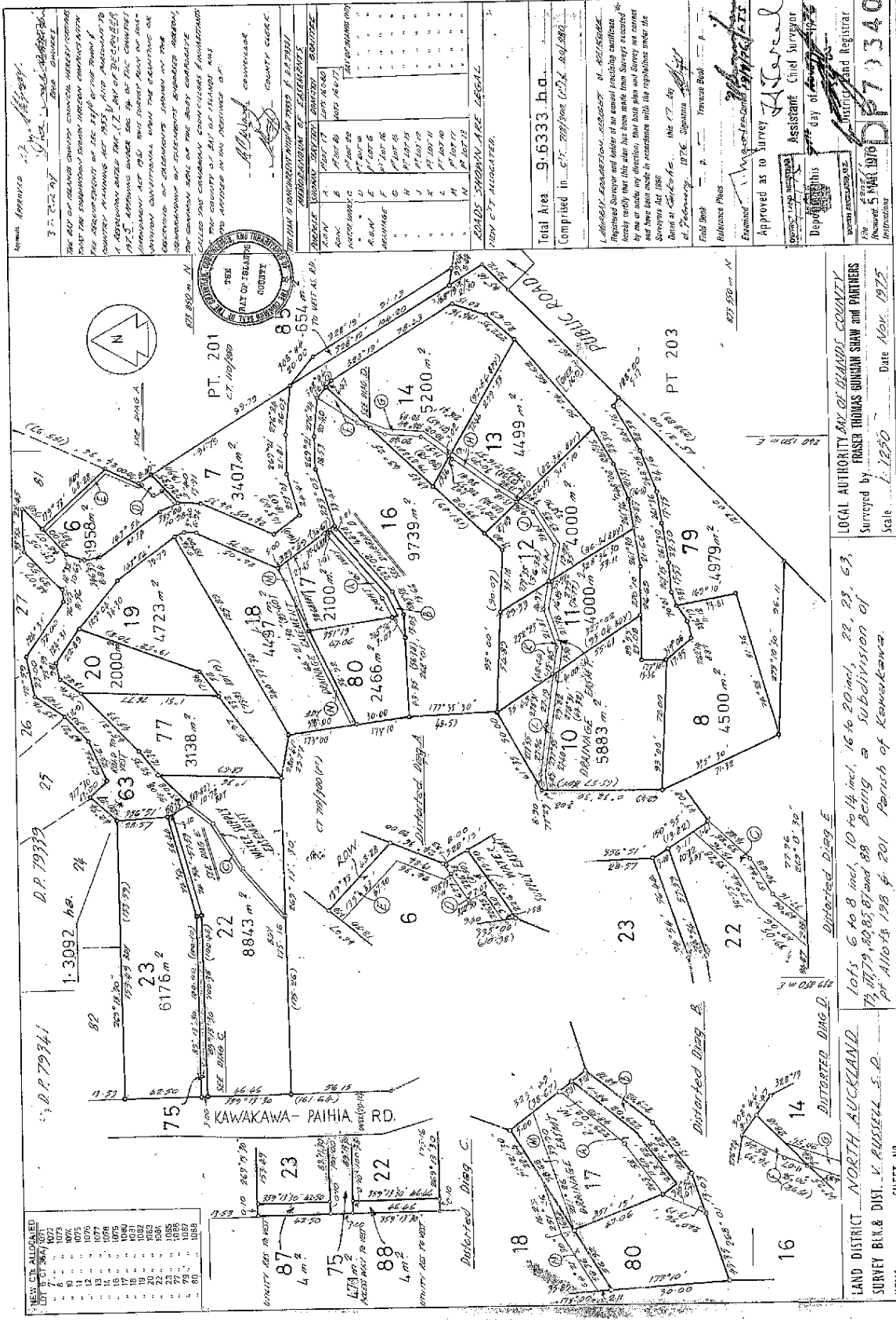
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**Estate** Fee Simple  
**Area** 9739 square metres more or less  
**Legal Description** Lot 16 Deposited Plan 79340  
**Registered Owners**  
Owen Blair Paterson and Zarah Strongman

---

**Interests**

Appurtenant hereto are rights of way specified in Easement Certificate 525883.13 - 9.11.1976 at 10:43 am  
The easements specified in Easement Certificate 525883.13 are subject to Section 37 (1) (a) Counties Amendment Act 1961  
Subject to a drainage right (in gross) over part marked F on DP 79340 favour of The Bay of Islands County Council created by Transfer 525883.14 - 9.11.1976 at 10.43 am  
9593290.2 Mortgage to Westpac New Zealand Limited - 12.12.2013 at 12:43 pm  
13195615.4 Variation of Mortgage 9593290.2 - 20.12.2024 at 4:26 pm



# Drawing List

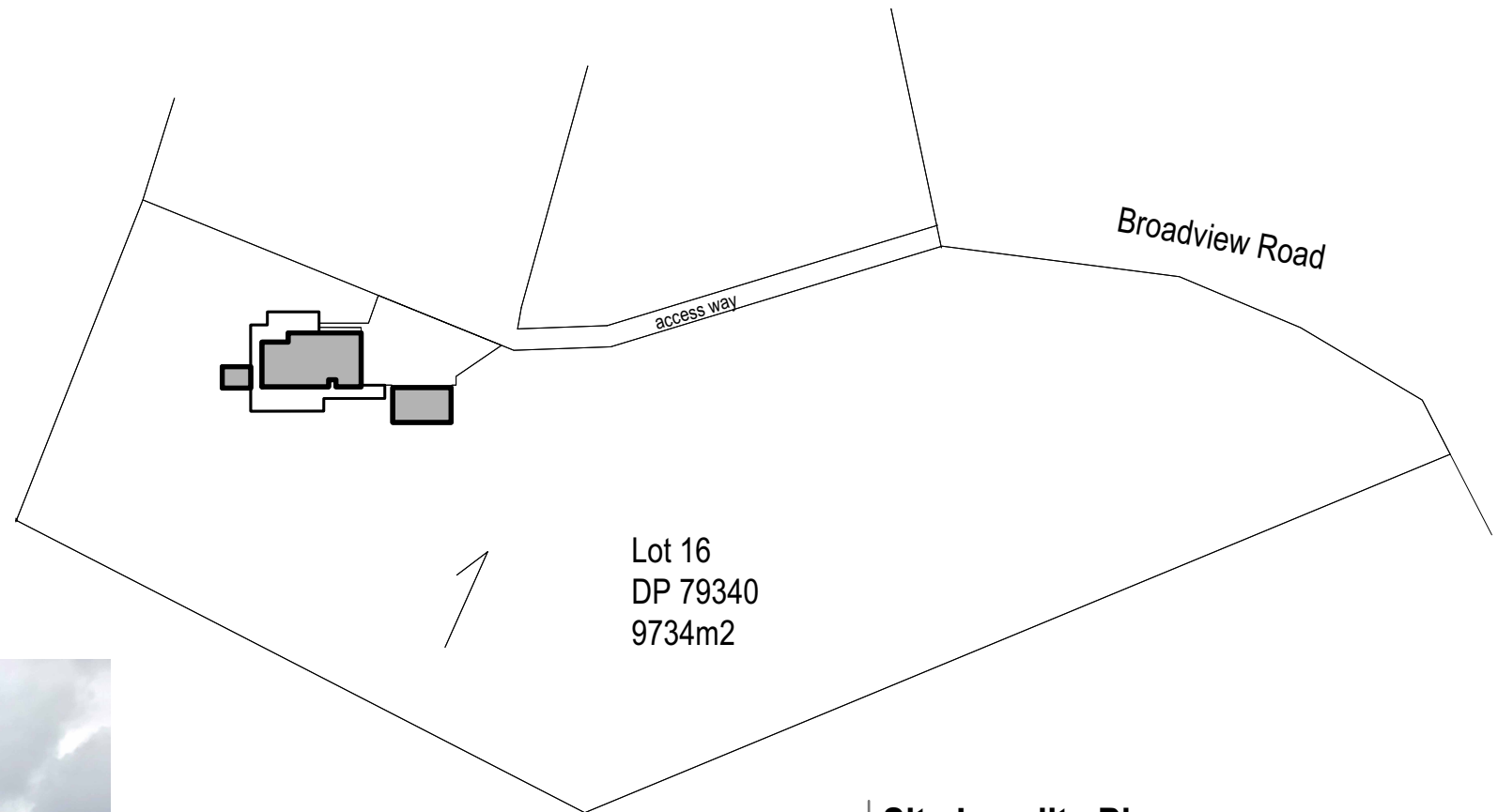
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Design Sheets

- A-01 Cover Page
- A-02 Site Plan\_Existing
- A-03 Site Plan\_Proposed
- A-04 House\_Floor Plans\_Existing
- A-04 House\_Floor Plans\_Existing
- A-05 House\_Elevations\_Existing
- A-06 Garage\_Elevations\_Existing
- A-07 Perspectives\_Existing
- A-08 House\_Floor Plans\_Proposed
- A-09 House\_Wall Framing Plan\_Proposed
- A-10 House\_Elevations\_Proposed
- A-11 House\_Elevations\_Proposed
- A-12 House\_Perspectives\_Proposed
- A-13 Sleepout\_Plans\_Proposed
- A-14 Sleepout\_Elevations\_Proposed
- A-15 Garage + Sleepout\_Perspectives\_Prc

**Rev:**

None



**1 | Site Locality Plan**  
Scale: 1:1000

## Proposed Addition & Alterations 7 Broadview Road, Opua 0200

**O. Paterson & Z. Strongman**

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Job:  
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O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

Dwg: Cover Page

Date: 17/04/2026 Rev:

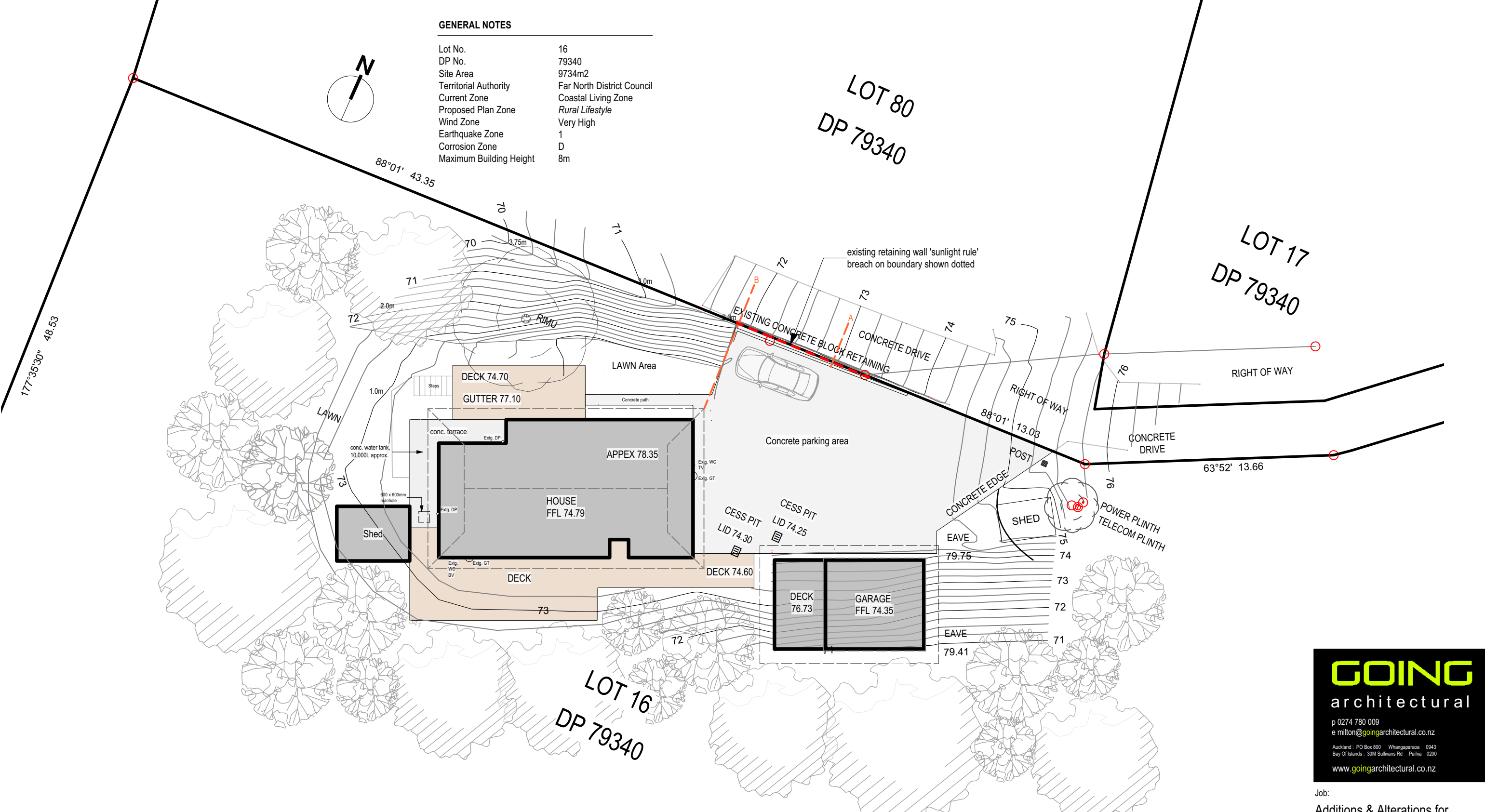
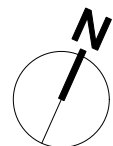
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Dwn: VM Ckd: MG

Sheet: A-01 Of: 15

**GENERAL NOTES**

Lot No. 16  
 DP No. 79340  
 Site Area 9734m<sup>2</sup>  
 Territorial Authority Far North District Council  
 Current Zone Coastal Living Zone  
 Proposed Plan Zone Rural Lifestyle  
 Wind Zone Very High  
 Earthquake Zone 1  
 Corrosion Zone D  
 Maximum Building Height 8m



**BUILDING COVERAGE**

Existing House = 100.3m<sup>2</sup>  
 Existing Garage & Sleepout = 63.6m<sup>2</sup>  
 Existing Shed = 12.0m<sup>2</sup>

Total Area = 175.9m<sup>2</sup>

**IMPERMEABLE SURFACES**

Existing House = 138.9m<sup>2</sup>  
 Existing Garage & Sleepout = 63.6m<sup>2</sup>  
 Existing Shed = 12.0m<sup>2</sup>  
 Driveway = 160.0m<sup>2</sup>

Total Area = 374.5m<sup>2</sup>  
 Percentage = 3.8%

Requirement = 10% max., compliant

**1 | Site Plan\_Existing**  
 Scale: 1:200

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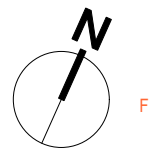
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 7 Broadview Road  
 Opuia 0200

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Date:	17/04/2026	Rev:	
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Dwn:	VM	Ckd:	MG
Sheet:	A-02	Of:	15

**GENERAL NOTES**

Lot No. 16  
 DP No. 79340  
 Site Area 9734m<sup>2</sup>  
 Territorial Authority Far North District Council  
 Current Zone Coastal Living Zone  
 Proposed Plan Zone Rural Lifestyle  
 Wind Zone Very High  
 Earthquake Zone 1  
 Corrosion Zone D  
 Maximum Building Height 8m



**LOT 80**  
**DP 79340**

**Earthworks / site preparation**  
 Site to be cleared of topsoil for flat building platform.  
 All topsoil to be retained on site for reinstatement.

**Construction Hazards / Site Safety**  
 Building site area to be enclosed with 1.8m high temporary steel and mesh safety barriers along open boundary lines in accordance with NZBC F5 ensuring restricted access to children, & allowing controlled access for contractors, territorial authority or authorised personnel only.

Ensure all on site Hazards are clearly identified and listed on Hazard Site Boards.

**Drainage**  
 All drainage is to comply with NZS/AS3500 & NZ Building Code.  
 Confirm location & position of all drains on site.  
 Pipe junctions 45 degree or swept bends.  
 All downpipes 80mm dia sized to table NZBC E1 surface water. and stormwater drainage laid as per E1/AS1.

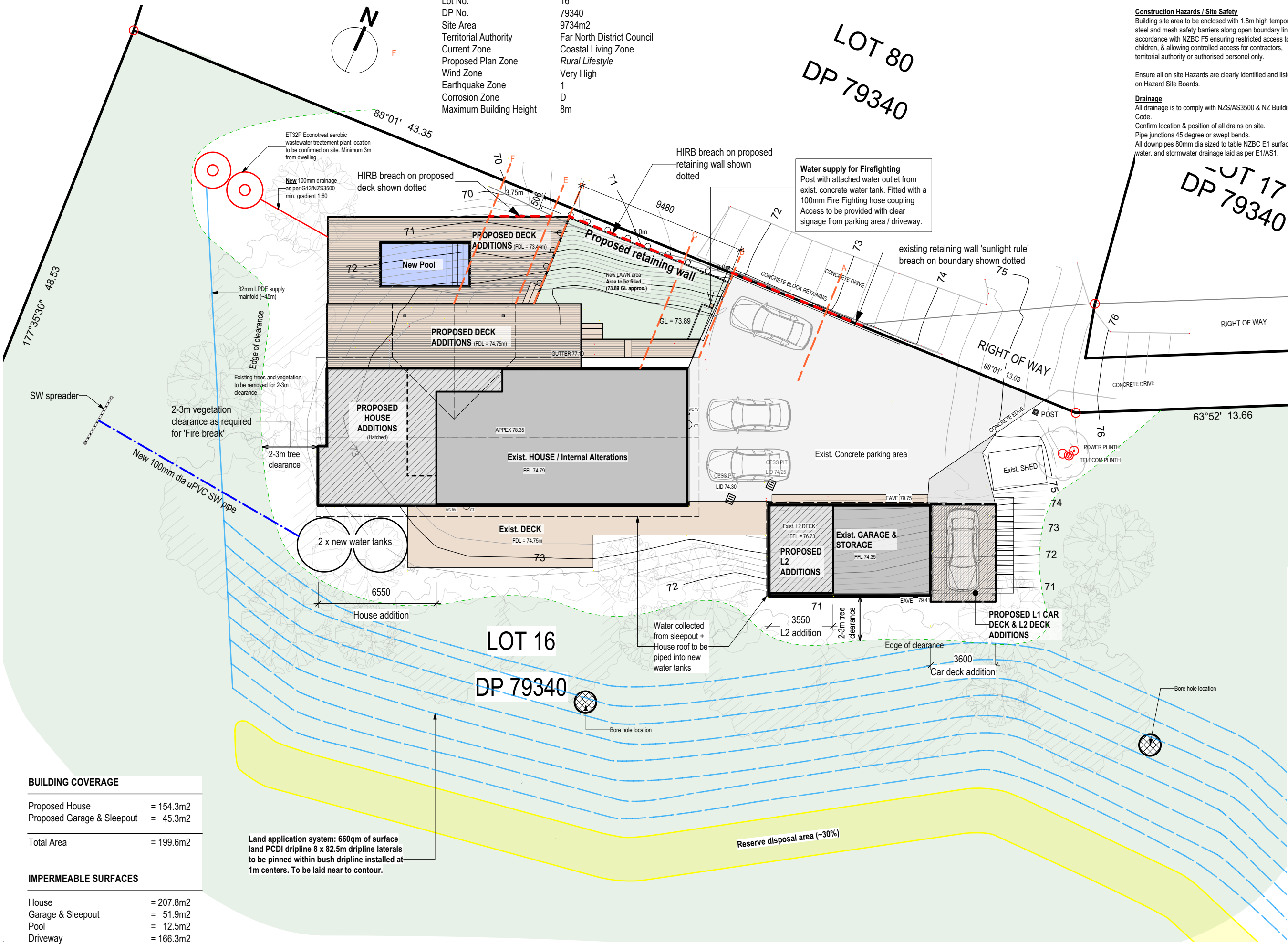
**Sediment & Dust Management**

**Erosion Controls**  
 - Install clean water diversion measures (sandbags or bunding) to divert surface water around the work site.  
 - Cover stockpiled material completely and securely with impermeable material like tarpaulin or polythene sheet.  
 - Re-vegetate stockpiles that will be kept on site long term.  
 - Do not stockpile material near stormwater catchpits, kerb channels, in over land flow paths or on gradients steeper than 15 per cent.

**Sediment Controls**  
 - Regularly sweep up any dust and dispose of it properly so that it will not become airborne or enter surface water.  
 - Install stormwater catchpit protection measures (filter bags, geotextile material, silt fences, filter socks etc) as a form of secondary control.  
 - For large sites or works areas, especially when working close to watercourse, install a silt fence around works area and stockpiles.

**Silt Fence Installation**  
 - 600mm high silt detention fence to be erected around side and lower areas for duration of project using geofabric supported with waratahs or post hammer-staked at least 400mm deep on the downhill side of the fabric, no more than 2m apart.  
 - be installed in a trench 200mm deep x 100mm wide.  
 - be 600mm high above ground, with an additional 200mm of cloth below ground in the trench.  
 - have each end of the fence return up the slope roughly 2m to prevent water going around the edges.  
 - be anchored by backfilling the trench and placing soil on top of the fabric.

Refer to GD05 Erosion & Sediment Control Guide for compliance - Auckland Council.



**BUILDING COVERAGE**

Proposed House	= 154.3m <sup>2</sup>
Proposed Garage & Sleepout	= 45.3m <sup>2</sup>
<b>Total Area</b>	<b>= 199.6m<sup>2</sup></b>

**IMPERMEABLE SURFACES**

House	= 207.8m <sup>2</sup>
Garage & Sleepout	= 51.9m <sup>2</sup>
Pool	= 12.5m <sup>2</sup>
Driveway	= 166.3m <sup>2</sup>
<b>Total Area</b>	<b>= 438.5m<sup>2</sup></b>

Requirement = 10% max., compliant

Land application system: 660qm of surface land PCDI dripline 8 x 82.5m dripline laterals to be pinned within bush dripline installed at 1m centers. To be laid near to contour.

**1 Site Plan Proposed**  
 Scale: 1:200

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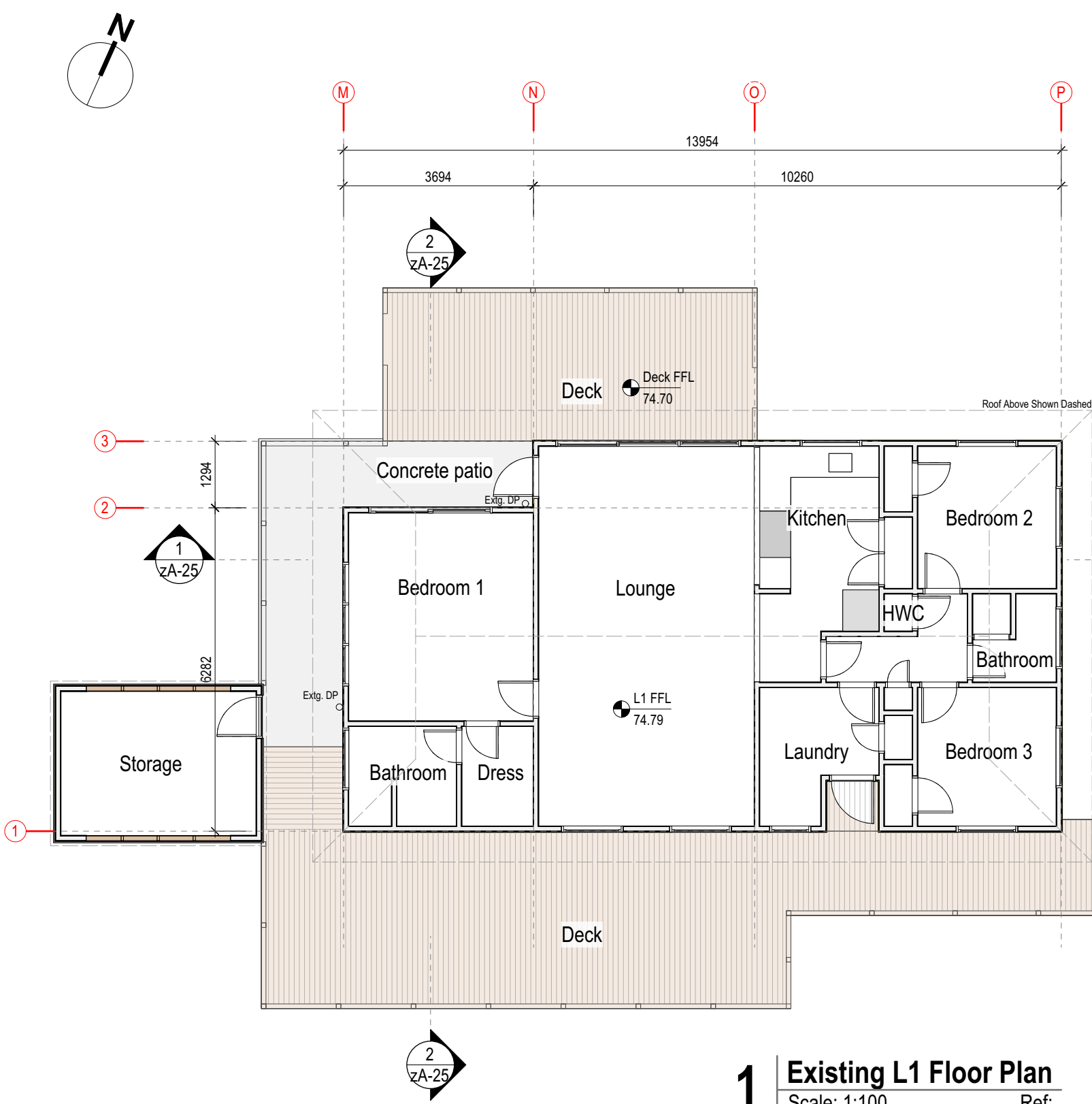
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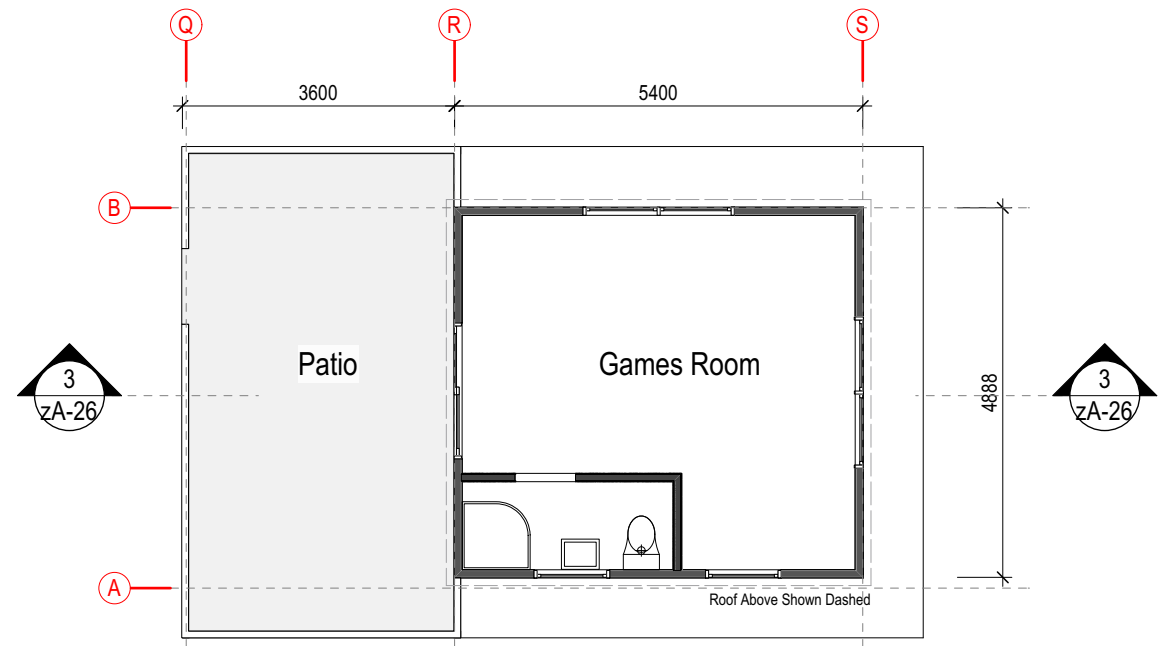
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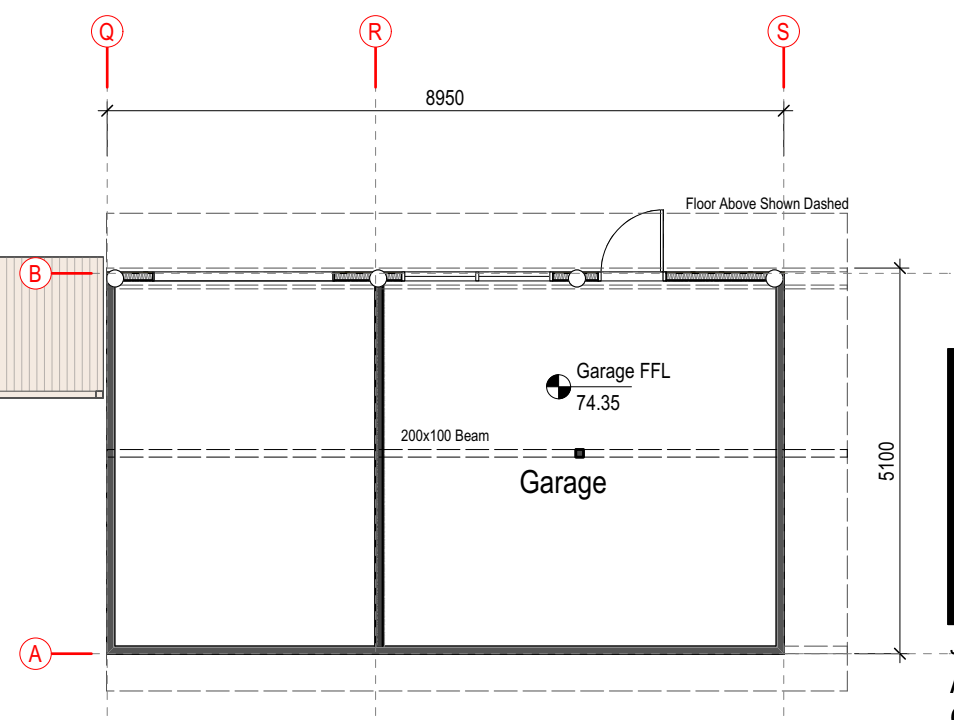
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 Ref: 23-02 Scale: As Noted  
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 Sheet: A-03 Of: 15



**1 Existing L1 Floor Plan**  
Scale: 1:100 Ref:



**2 Garage L2 Existing Floor Plan**  
Scale: 1:100

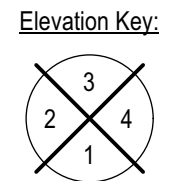


**Notes:**

- All measurements to be checked on site by contractor prior to commencement of works.
- Structural engineer and contractor to check existing structure and confirm feasibility of proposed structure prior to commencement of works.
- Existing waste water & stormwater connections to remain where possible. Allow to re-use existing WW & SW collection points to plumb proposed fixture. Contractor to C.O.S existing downpipes, gully traps & waste water vents/pipes location against this plan.

**Floor Areas - Existing**

L1 Floor Area	=	99.9m <sup>2</sup>
L1 Garage Area	=	45.0m <sup>2</sup>
L2 Garage Area	=	26.4m <sup>2</sup>
Storage Area	=	12.0m <sup>2</sup>
<b>Total Floor Area</b>	<b>=</b>	<b>156.9m<sup>2</sup></b>
L1 Decks/Patio Area	=	92.4m <sup>2</sup>
L2 Garage Deck Area	=	23.5m <sup>2</sup>



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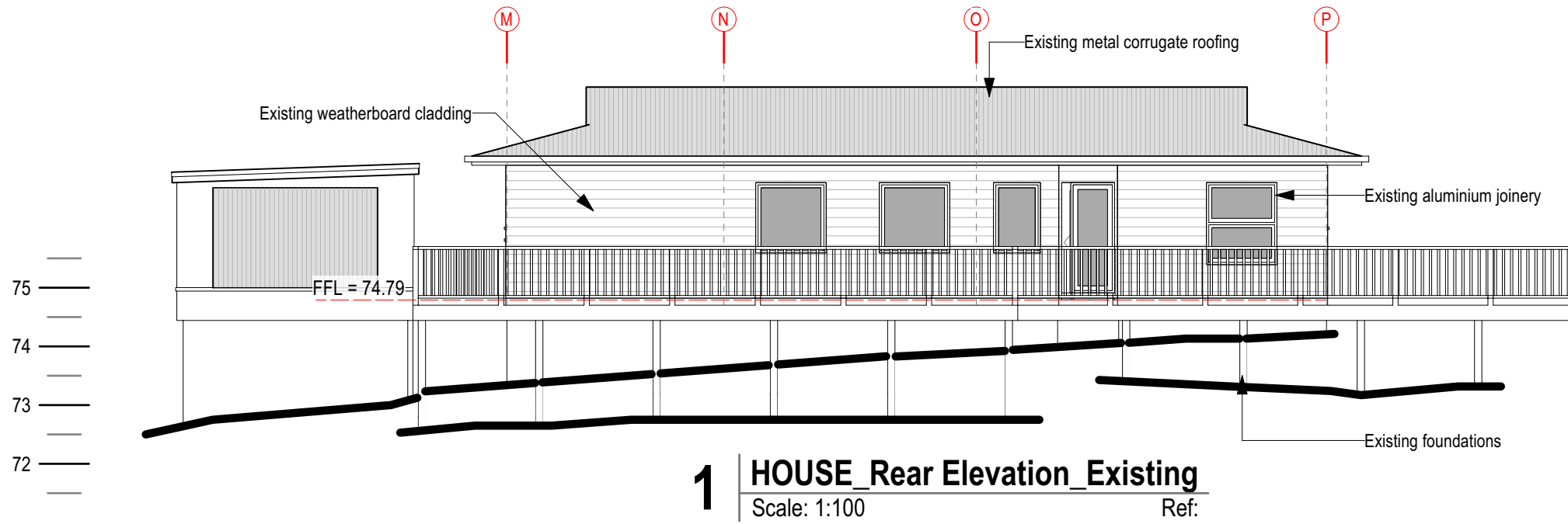
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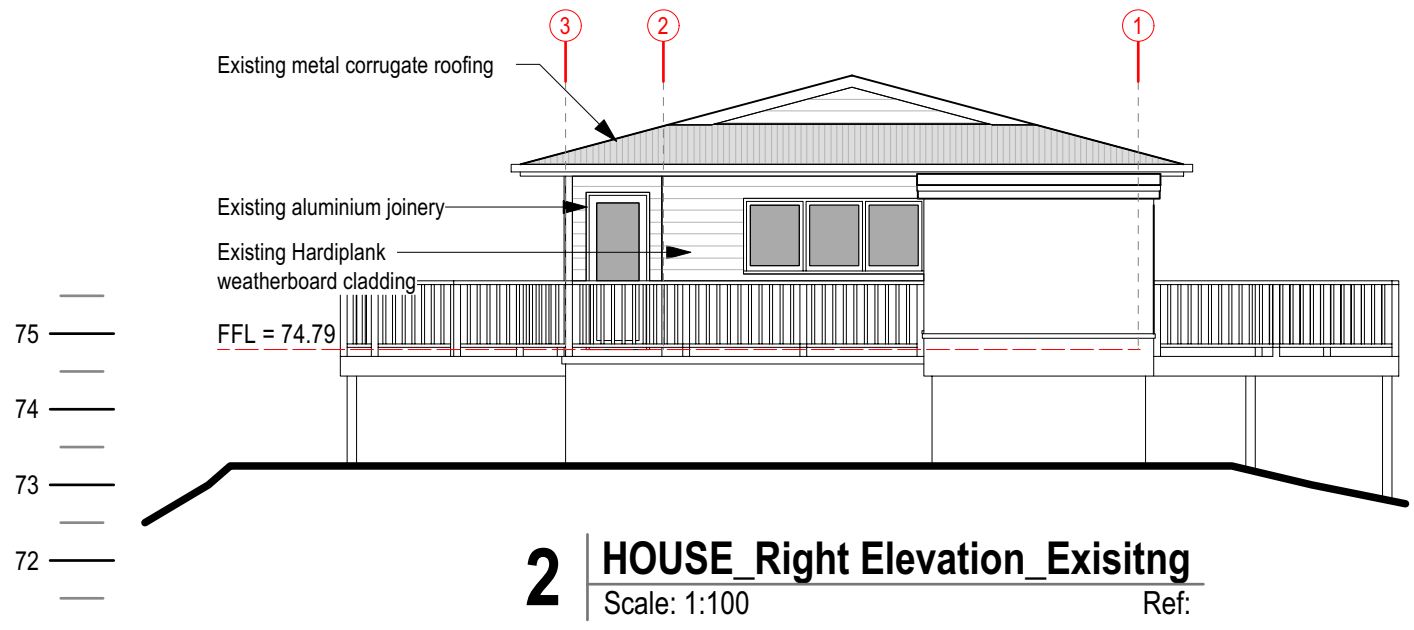
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**7 Broadview Road  
Opua 0200**

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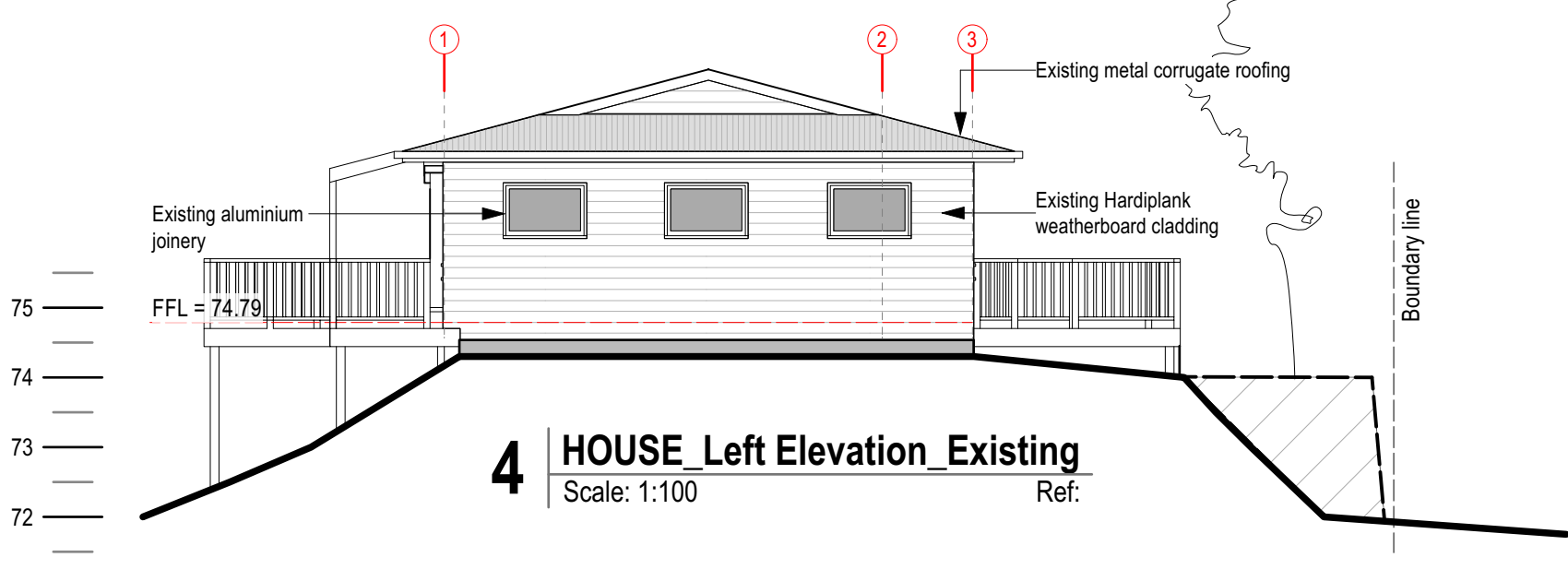
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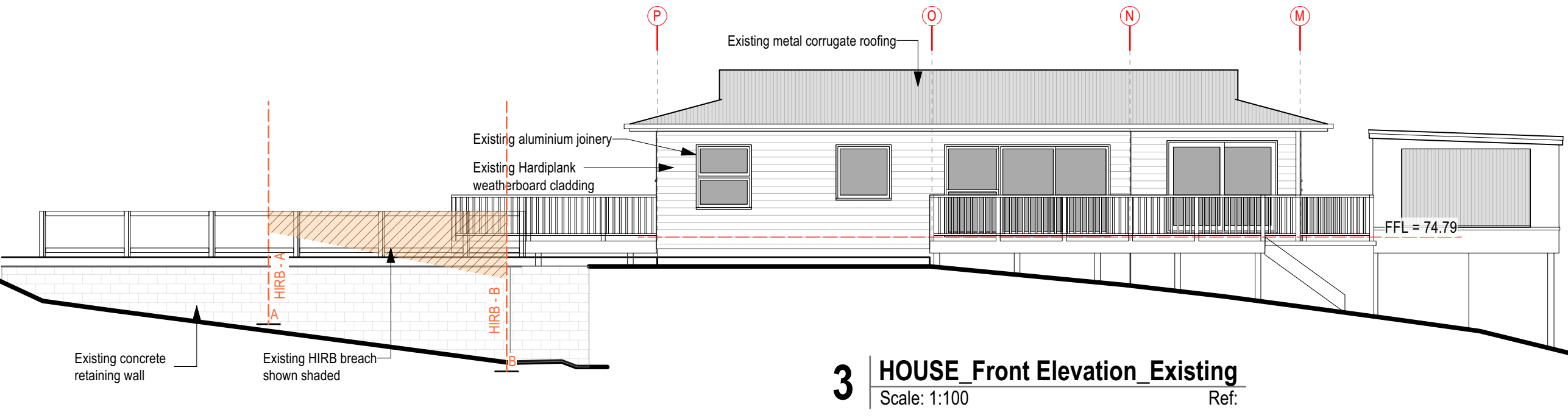
**1 HOUSE\_Rear Elevation\_Existing**  
 Scale: 1:100 Ref:



**2 HOUSE\_Right Elevation\_Existing**  
 Scale: 1:100 Ref:



**4 HOUSE\_Left Elevation\_Existing**  
 Scale: 1:100 Ref:



**3 HOUSE\_Front Elevation\_Existing**  
 Scale: 1:100 Ref:

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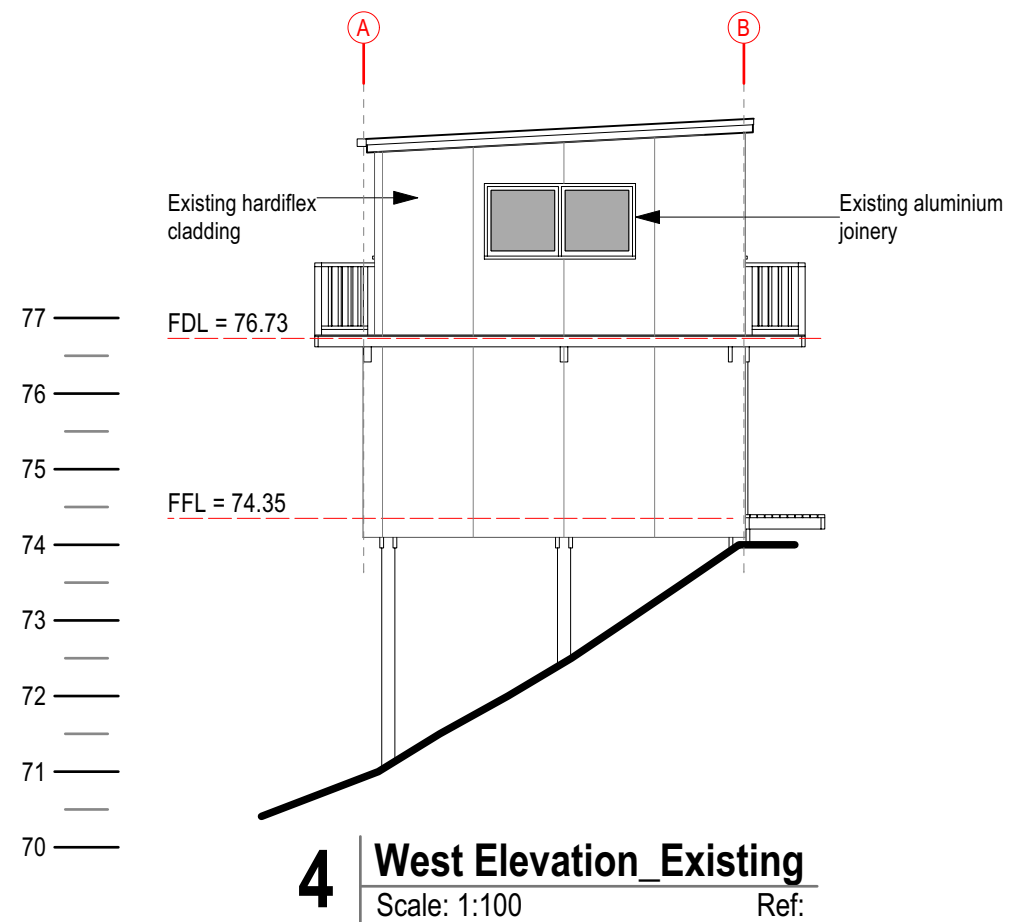
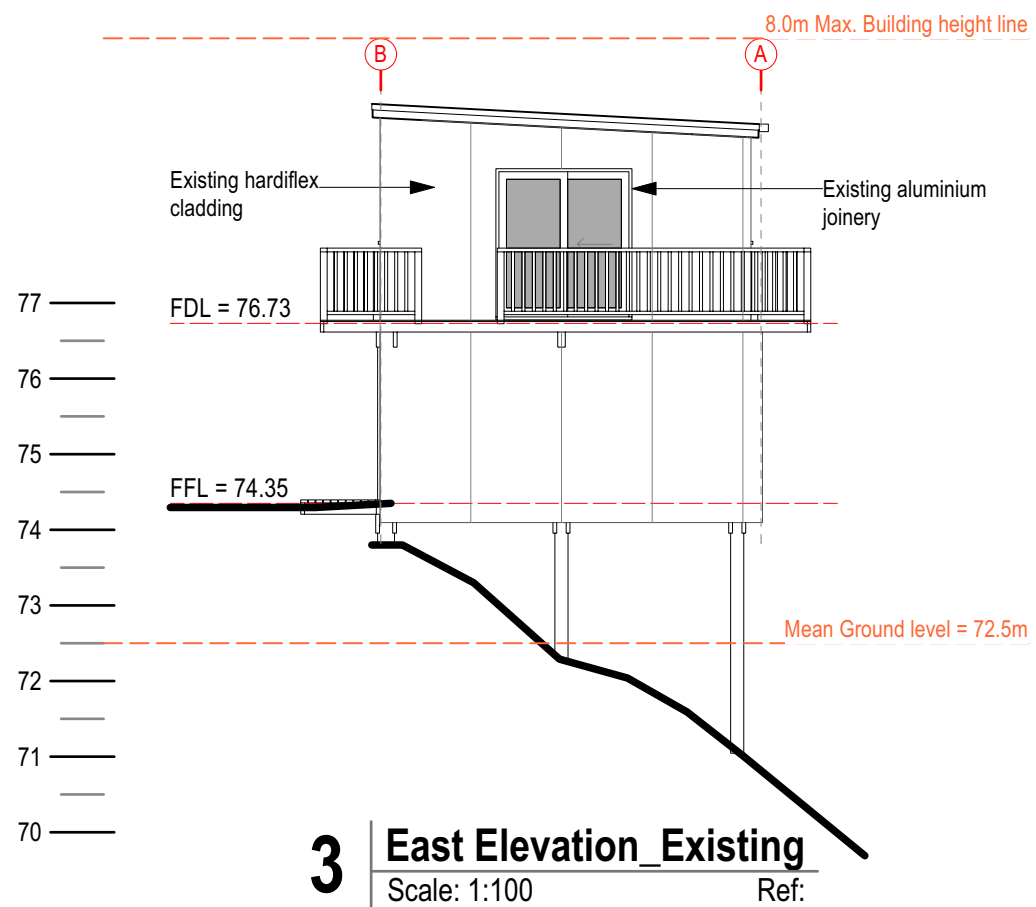
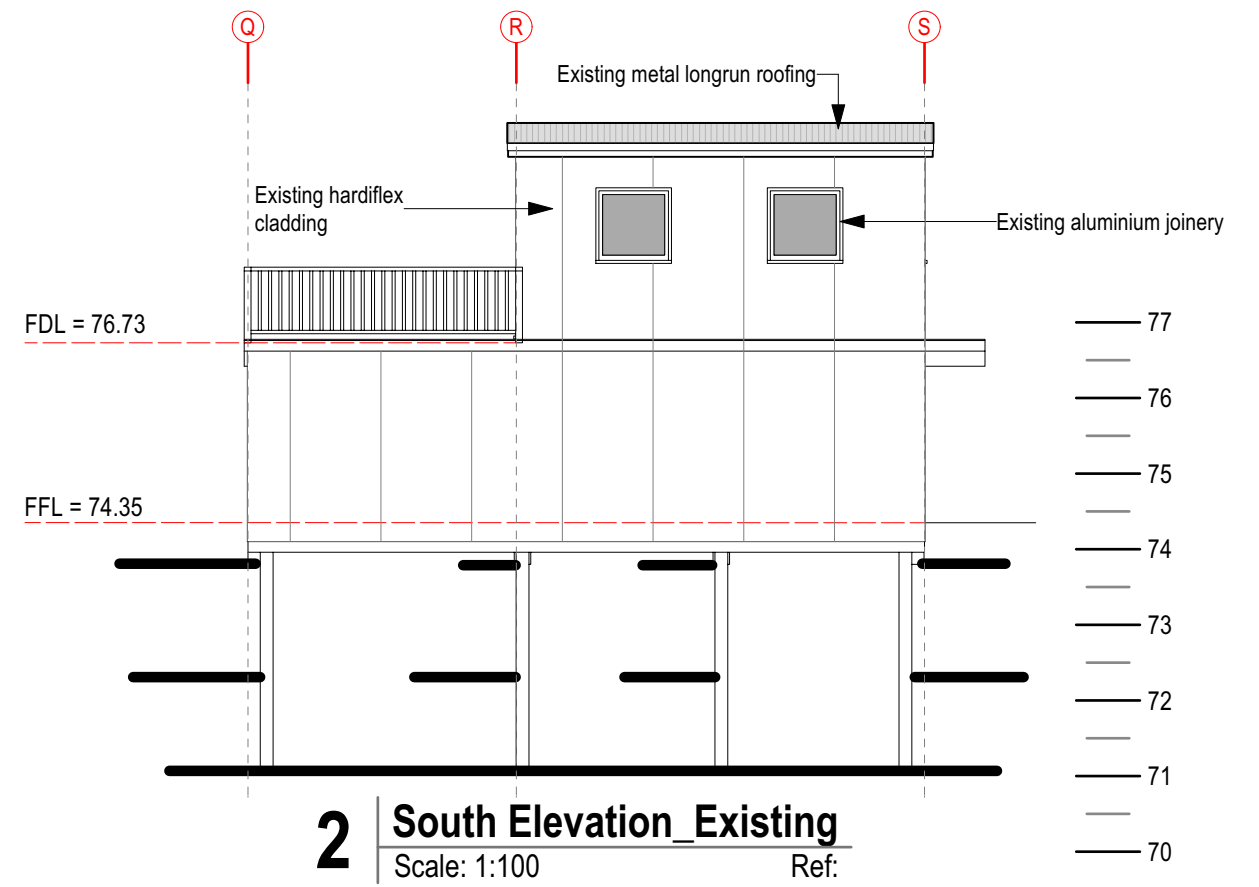
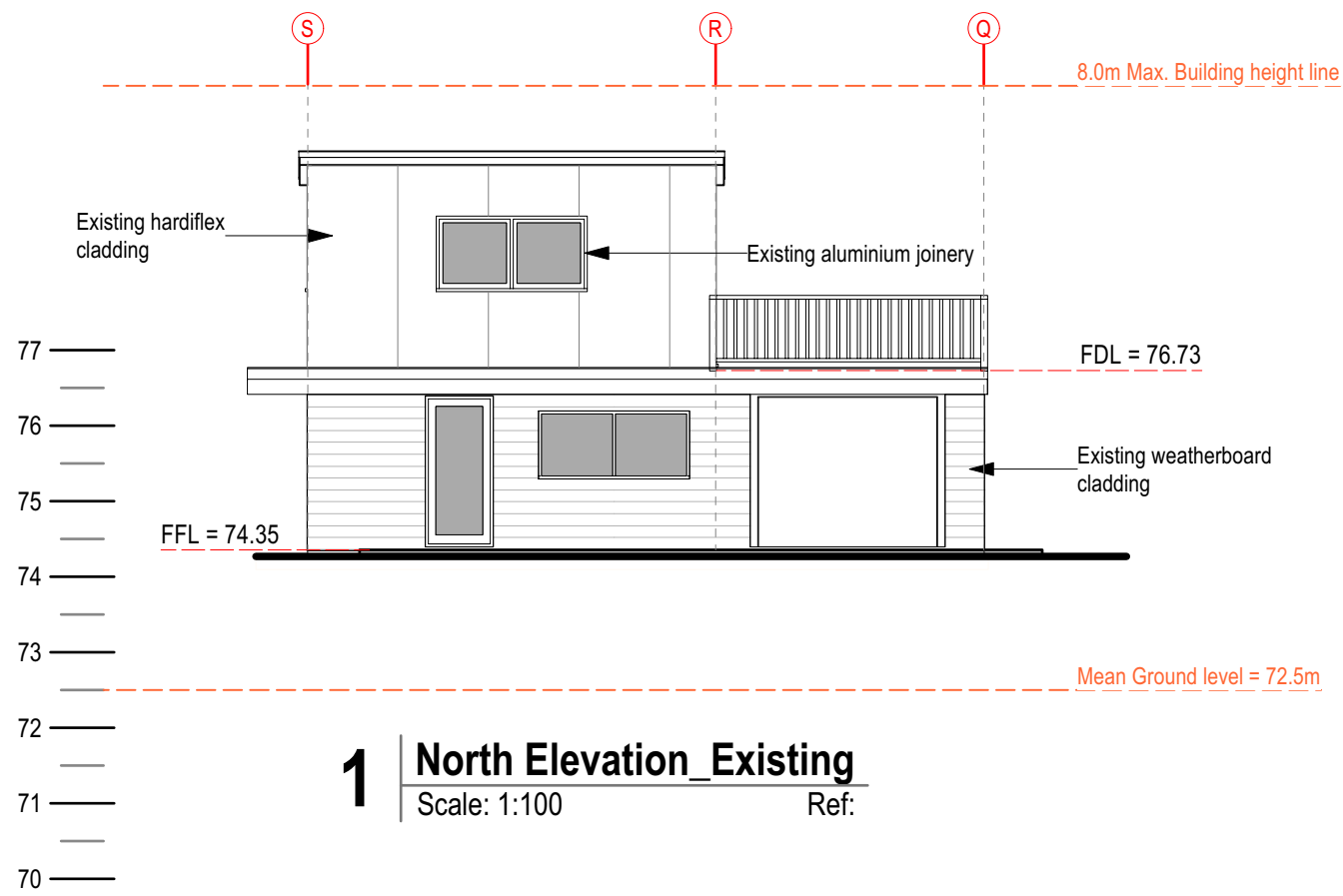
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Address: 7 Broadview Road Opua 0200

Dwg: House\_Elevations\_Existing

Date: 17/04/2026	Rev:
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Dwn: VM	Ckd: MG
Sheet: A-05	Of: 15



Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman  
Address:  
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Opua 0200

Dwg: Garage\_Elevations\_Existing

Date: 17/04/2026 Rev:

Ref: 23-02 Scale: As Noted

Dwn: VM Ckd: MG

Sheet: A-06 Of: 15



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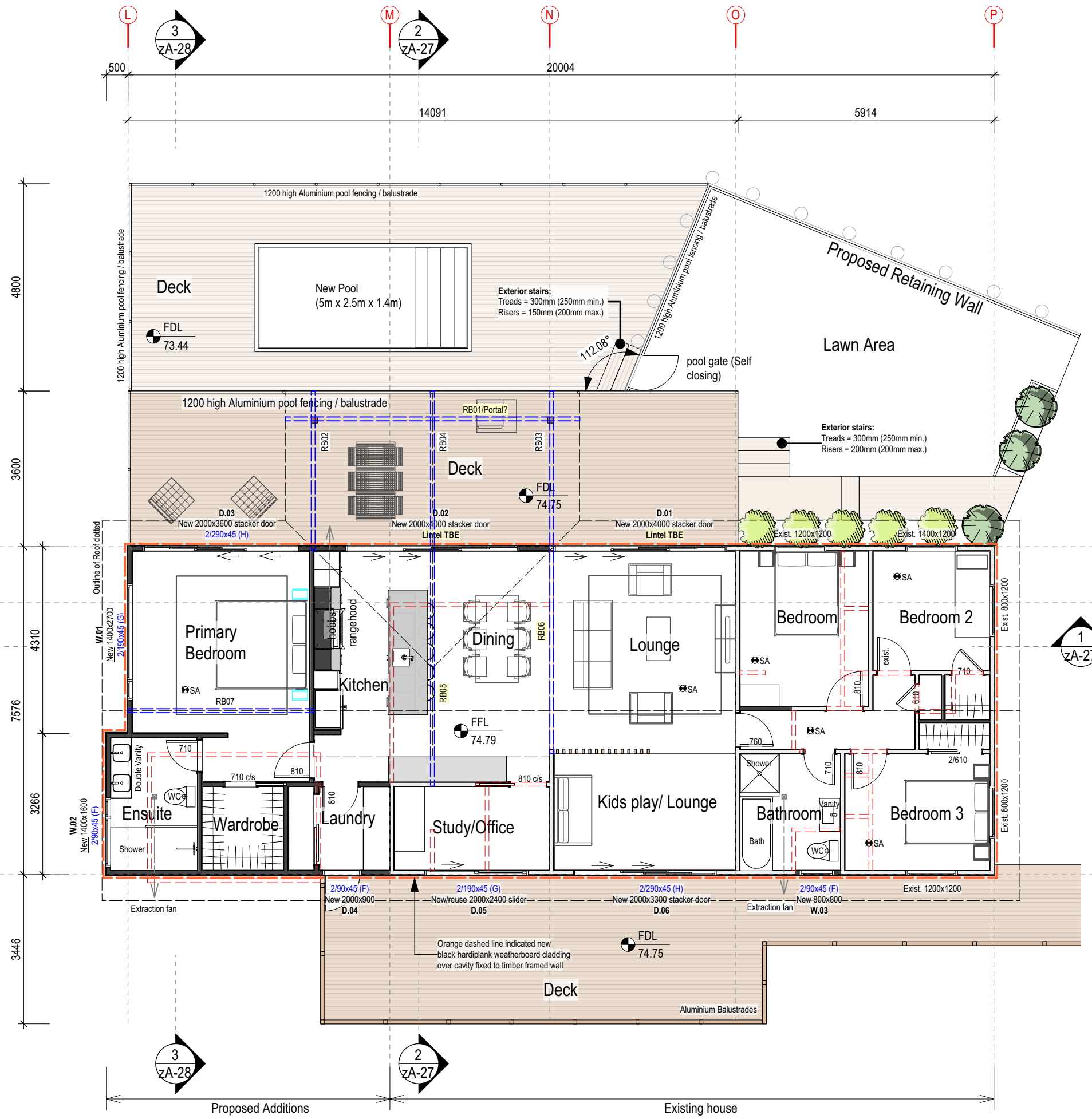
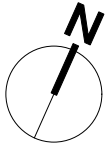
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Address:  
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Dwg: Perspectives\_Existing

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
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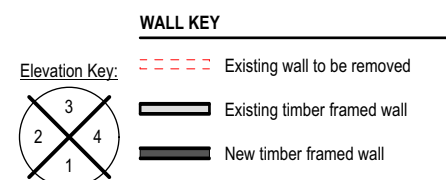


**Beams/Lintels**

RB01	Beam/Portal? TBE
RB02	240x90 SG8
RB03	240x90 SG8
RB04	240x90 SG8
RB05	Beam TBE
RB06	Beam TBE
RB07	2/290x45 SG8

# 1 HOUSE\_Plans\_Proposed

Scale: 1:100



**Floor Areas - Proposed**

L1 Floor Area	= 153.2m <sup>2</sup>
L1 Deck Area	= 102.5m <sup>2</sup>
Pool Deck Area	= 47.1m <sup>2</sup>

**SWIMMING POOL NOTES**

**Safety From Falling**  
1.2m high balustrade is to be installed on decks with a fall of 1.0m or more.

**Pool Fencing**  
1.2m balustrade (Unex - powdercoated aluminium) is to be installed on decks surrounding the pool area in accordance with F9/AS1 to ensure prohibited access for children.

**Pool Gates**  
Gates giving access to the pool area shall:  
a) Be hinged and atleast 1200mm high, and  
b) Open away from the pool and swing clear of any obstruction that might hold it open, and  
c) Have a self-closing device that will return the gate to the closed and latched position from any position with a stationary start, and  
g) Have hinges arranged such that when the gate is lifted or pulled down:  
i) the latching device will not release, and  
ii) the gate will not come off it's hinges, and  
iii) the ground clearance under the gate will not allow the passage of a 100mm dia sphere.

The latch on the gate shall:  
a) Automatically operate on the closing of the gate such that a manual operation is required to release it, and  
b) Be positioned so that it cannot be reached by a child from outside the pool area, and  
c) Not be capable of being released from outside the pool area by the insertion of a thin implement through any gaps.  
Refer to **F9/AS1 of the NZ Building Code**

**2.0 Barriers surrounding the immediate pool area**  
2.1.3 Pool barriers shall not be angled more than 15° from vertical and may only slope away from the pool. Any rails, rods or wires forming a part of a pool barrier that are not themselves vertical shall be at least 900 mm apart vertically to restrict climbing. There shall be no openings in the pool barrier that a 100 mm diameter sphere could pass through.

2.1.7 Any projections or indentions on the outside face of a pool barrier shall not have a horizontal projection from the face of the pool barrier greater than 10 mm unless they are at least 900 mm apart vertically

**2.2 Pool barrier on a property boundary**  
2.2.1 If a pool barrier is located on a property boundary, it shall:  
a) Be not less than 1800 mm high, measured from the ground level on the pool side, and  
b) Have no openings that a 100 mm diameter sphere could pass through, and  
c) Be located not less than 1000 mm horizontally from the water's edge, and  
d) Have a 900 mm high zone on the pool side of the barrier that begins not more than 150 mm from the top and is constructed as specified in Paragraphs 2.1.3 and 2.1.7, to restrict climbing by children.

**Smoke Alarms for Residential Houses**

**Type 1 - Domestic Smoke Alarm System**  
A type 1 is a smoke alarm or multiple interconnected smoke alarm device, each containing a smoke detector and an alarm sounding feature. The system shall comply with NZS 4514 (2021).

**Location of Smoke Alarms**  
The location of smoke alarms shall be as follows:  
(a) Smoke alarms shall be located on or near the ceiling;  
(b) Smoke alarms shall be located in all bedrooms, living spaces, hallways, and landings within the building;  
(c) Where a kitchen is separated from the living spaces and hallways by doors that can be closed, an alarm specified by its manufacturer as suitable for a kitchen shall be located in the kitchen. This may be a heat alarm to avoid nuisance activations;  
(d) In a multi-level household unit, there shall be at least one smoke alarm in each level; and  
(e) Where more than one smoke alarm is needed, these smoke alarms shall be interconnected so that when one activates, all smoke alarm devices in teh household unit will sound.

**Spacing**  
In locations where they are required, smoke alarms shall be spaced as follows:  
(a) The distance from any wall to a smoke alarm shall not exceed 5m; and  
(b) Smoke alarms shall be within 10m of each other in any direction.

**Note: Refer to NZS 4514 for guidance.**

**Existing House**  
The existing house smoke alarms are to be upgraded to interconnected alarms to NZS 4514 to comply as 'reasonably practicle'.

**NOTES**  
All timber framed construction to comply with NZS 3604:2011 and the NZ Building Code.

**Rangoohd & extraction fans**  
Fans to be extracted through soffits or walls where indicated on plans. Where terminating under soffit line, no specific weatherproofing req. Where terminating through wall cladding, refer detail for weatherproofing penetration. Min. Flow rates = 25L/s (shower & bath), 50L/s (cooktops), Laundry area = 20L/s (condensing dryer) / 40L/s (non-condensing dryer)

**Flooring - Sinks, Laundry Tubs, Washing Machines**  
All floors within 1500mm of sanitary fixtures and appliances are to be impervious and easily cleaned.

**Wet Areas**  
Water proof all "wet-wall-areas", floors and splash areas with Mapei Aquadefense waterproof membrane. Applications by approved applicators only. Non - Slip floor tiles to be laid in bathrooms / wet areas.

**Bathrooms / showers**  
Shower enclosures are to consist of Mapei waterproofing to floor and walls with tiles - installation in accordance with Mapei & Pro Finish Tray Shower systems. Glass and aluminium door systems installed to suit the shower space, to manufacturers specifications. Safety glass to showers. Shower floors are to have a minimum fall of 1:50 towards the floor waste.

Substrate:  
H3.1 treated plywood flooring is to be used in shower & wet areas.

Plywood must be a minimum of 17mm thick compysing with AS/NZ 2269, DC Grade Structural with sanded C face upwards and treated to H3 (CCA treated). LOSP treated plywood must not be used.

The plywood must be laid with the face grain at right angles to the floor joists. The plywood must be supported with dwangs or framing with a maximum of 400mm in each direction, fixed with 10g x 50mm stainless steel countersunk head screws at 150mm crs along the sheet edges and 200mm through the body of sheets.

**Lighting note:**  
Recessed down lights to comply with NZBC C2 & AS/NZS 60598.2.2 - The insulation rating is IC or IC-F. The IC-F rating is a NZ only rating that means that the downlight can be installed under insulation that is only rated to 90 degrees C. and also that the light is sealed so insulation cannot get into the fitting.

Lighting features location and model to be agreed between Owner and Electrician.

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Job:  
**Additions & Alterations for O. Paterson & Z. Strongman**

Address:  
**7 Broadview Road Opuia 0200**

Dwg: **House\_Floor\_Plans\_Proposed**

Date: **17/04/2026** Rev:  
Ref: **23-02** Scale: **As Noted**  
Dwn: **VM** Ckd: **MG**  
Sheet: **A-08** Of: **15**

**NOTES**  
All timber framed construction to comply with NZS 3604:2011 and the NZ Building Code.

**Building Wrap**  
Wrap framing with Tekton Wall Wrap

**New walls - Addition (VHWZ)**  
2.4m high walls = 90x70 H1.2 studs @ 600crs  
2.7m high walls = 90x70 H1.2 studs @ 400crs  
3.0m high walls = 90x45 H1.2 studs @ 300crs  
Dwangs to be @ 800crs. Studs, lintels and beams to be MSG8 grade.

Internal / non load-bearing wall framing:  
2.4m high = 90x70 H1.2 studs @ 600crs.  
2.7m high = 90x70 H1.2 studs @ 600crs.  
3.0m high = 90x70 H1.2 studs @ 400crs.  
Dwangs @ 800crs

**Interior Linings**  
Internal linings to be standard 10mm Gib Board.

**H1 - Energy Efficiency**  
Building Code Note:  
When carrying out building work to alter an existing building, the new work must comply with current code and section 112 of the Building Act, which says the building as a whole must to comply with the requirements of the Building Code to at least the same extent as it did immediately before the building work began and not make it worse. When it comes to H1 Energy Efficiency, the performance of the existing building does not need to meet current H1 requirements

**Additions / Alterations Insulation requirements:**  
Existing Exterior walls / thermal envelope - install new R2.2 insulation batts between existing studs to existing walls.

**H1 / Insulation**  
Ceiling insulation = Install where possible new R3.6 Skillion roof batts between existing/new roof framing

Wall insulation = Install where possible new R2.2 wall batts between existing/new studs

Floor insulation = Install new R2.5 Expol insulation panels between floor joists.

Windows / doors = Selected existing external windows & doors to be removed and replaced with new aluminium joinery, with double glazing (R0.26min) to match existing.

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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

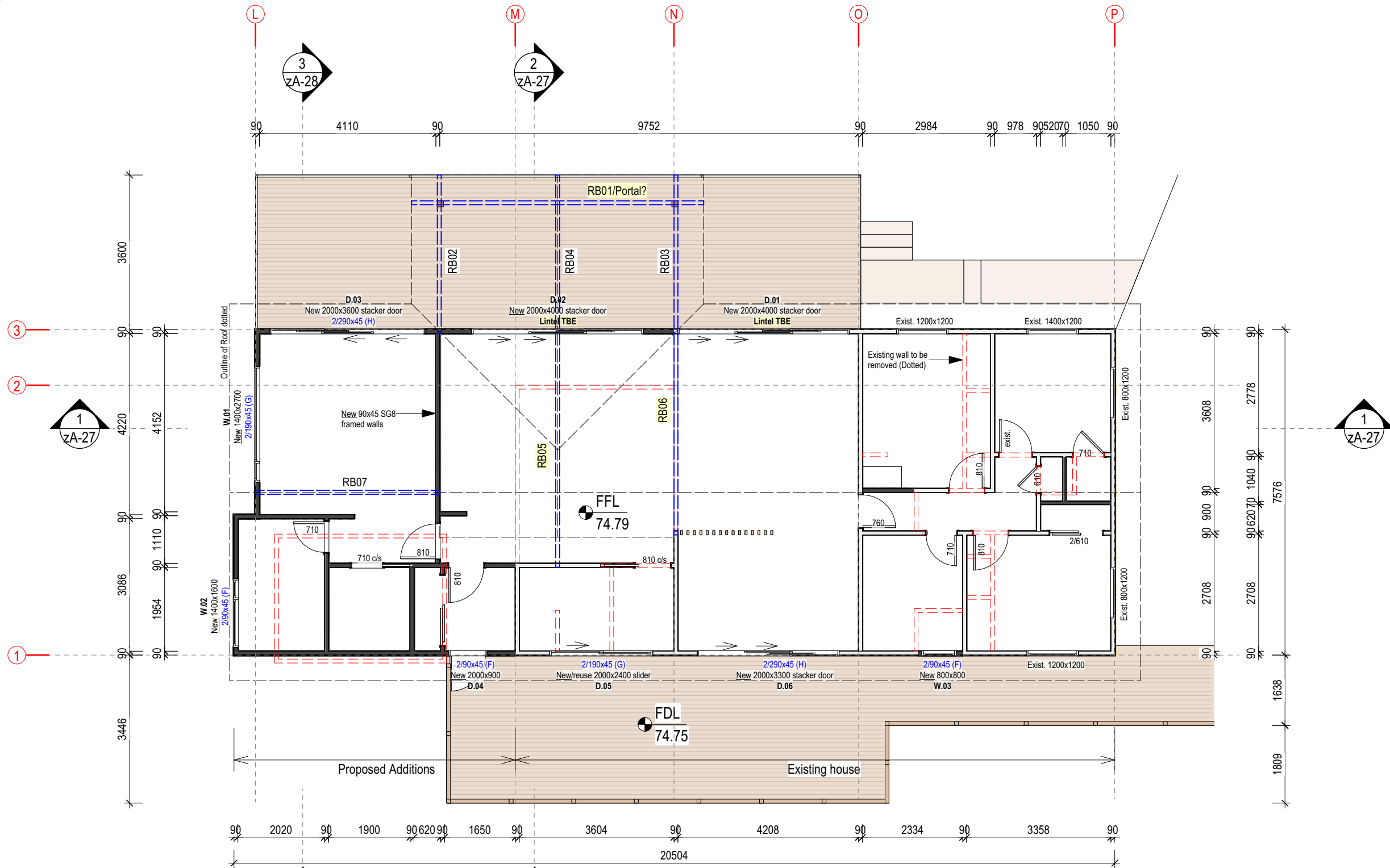
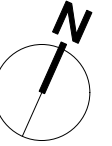
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Plan\_Proposed

Date: 17/04/2026 Rev:

Ref: 23-02 Scale: As Noted

Dwn: VM Ckd: MG

Sheet: A-09 Of: 15



# 1 HOUSE Wall Framing Plan\_Proposed

Scale: 1:100

**Beams/Lintels**

RB01	Beam/Portal? TBE
RB02	240x90 SG8
RB03	240x90 SG8
RB04	240x90 SG8
RB05	Beam TBE
RB06	Beam TBE
RB07	2/290x45 SG8

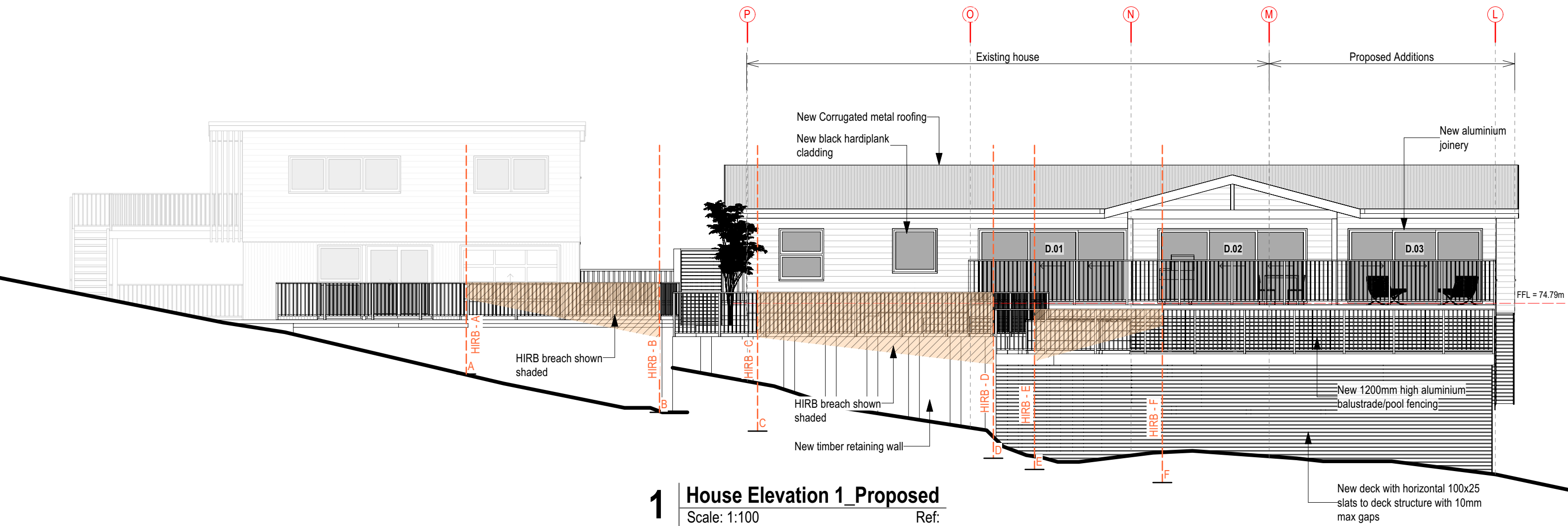
**Floor Areas - Proposed**

L1 Floor Area	= 153.2m2
L1 Deck Area	= 102.5m2
Pool Deck Area	= 47.1m2

**WALL KEY**

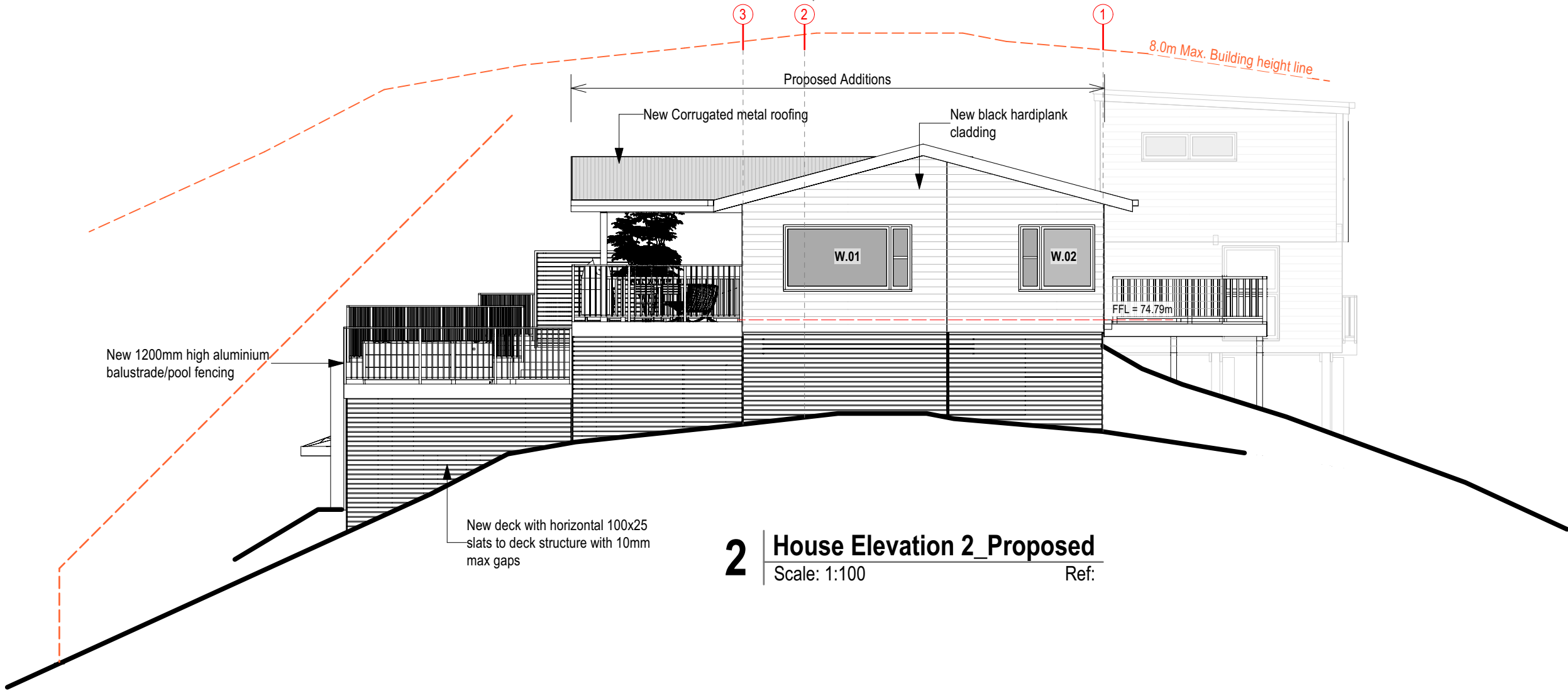
	Existing wall to be removed
	Existing timber framed wall
	New timber framed wall





**1 House Elevation 1\_Proposed**  
 Scale: 1:100 Ref:

- Exteriors**
- **Walls:**
    - New black hardiplank weatherboard cladding
  - **Roof:**
    - New metalcraft corrugated metal longrun roofing



**2 House Elevation 2\_Proposed**  
 Scale: 1:100 Ref:

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 e milton@goingarchitectural.co.nz

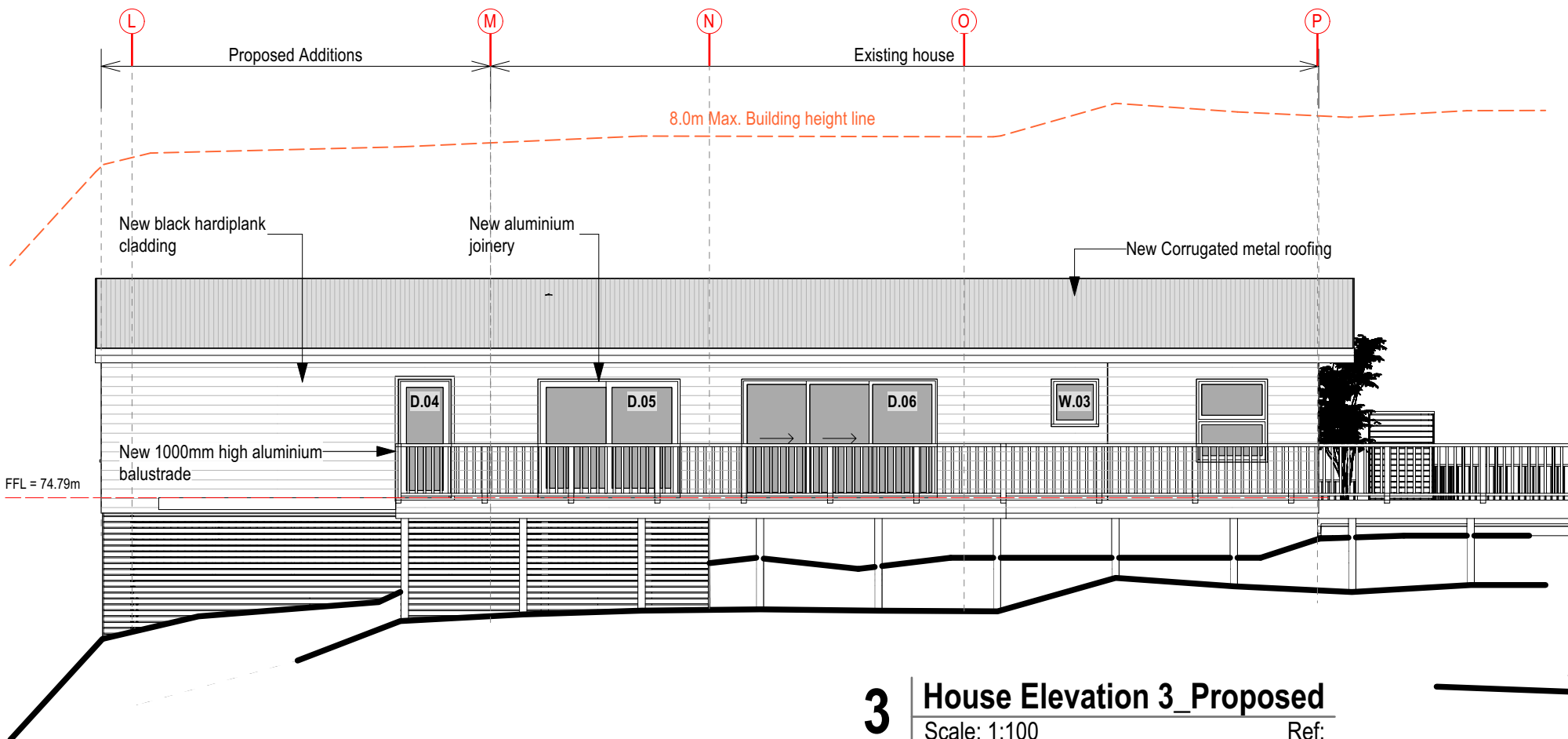
Auckland - PO Box 800 Whangaparaoa 0943  
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Job:  
 Additions & Alterations for  
 O. Paterson & Z. Strongman

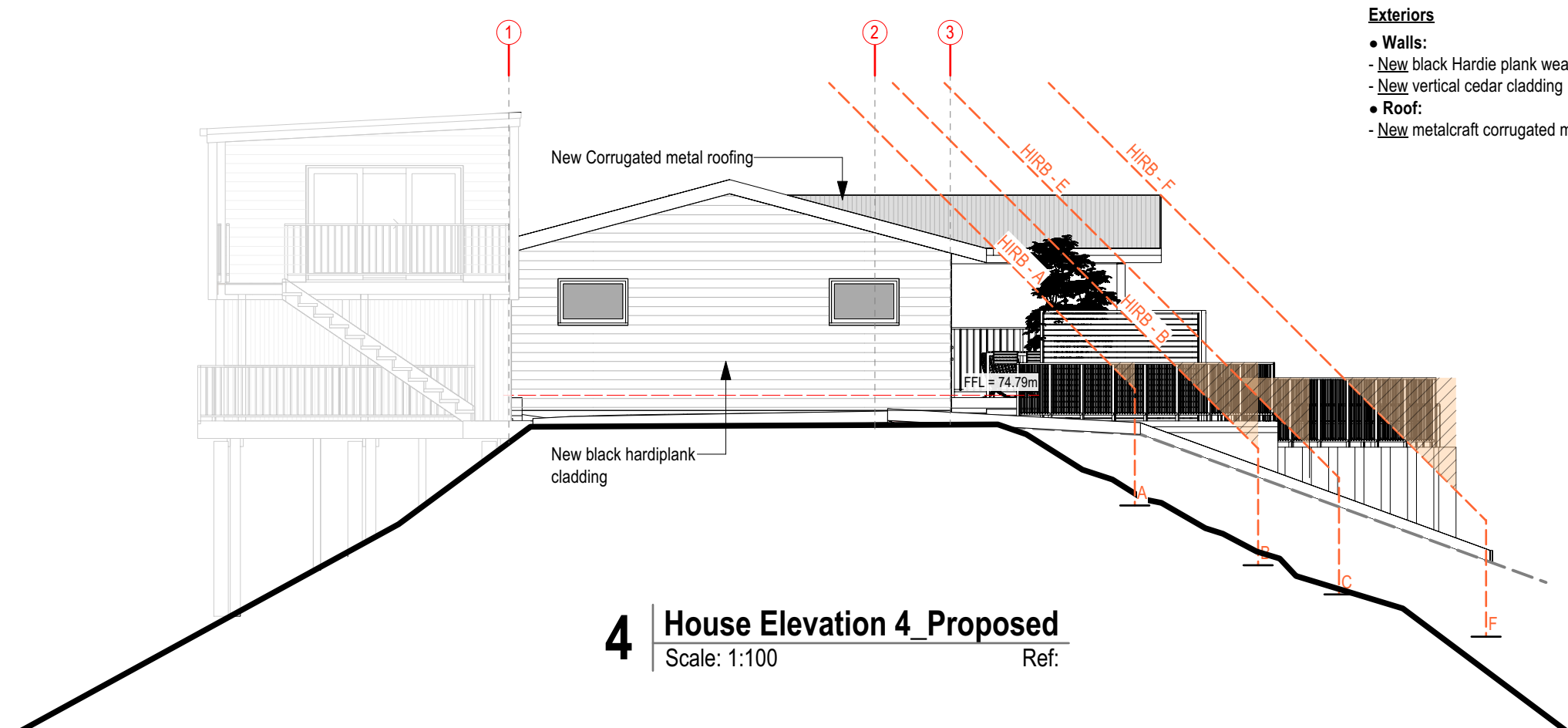
Address:  
 7 Broadview Road  
 Opuia 0200

Dwg: House\_Elevations\_Proposed

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-10	Of:	15



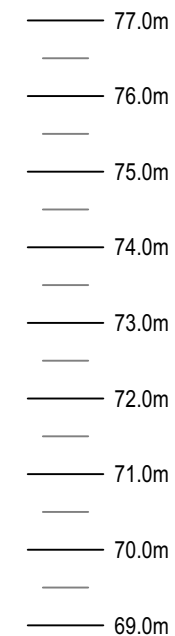
**3 House Elevation 3\_Proposed**  
Scale: 1:100 Ref:



**4 House Elevation 4\_Proposed**  
Scale: 1:100 Ref:

**Exteriors**

- **Walls:**
  - New black Hardie plank weatherboard cladding
  - New vertical cedar cladding
- **Roof:**
  - New metalcraft corrugated metal longrun roofing



Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

Dwg: House\_Elevations\_Proposed

Date: 17/04/2026 Rev:

Ref: 23-02 Scale: As Noted

Dwn: VM Ckd: MG

Sheet: A-11 Of: 15



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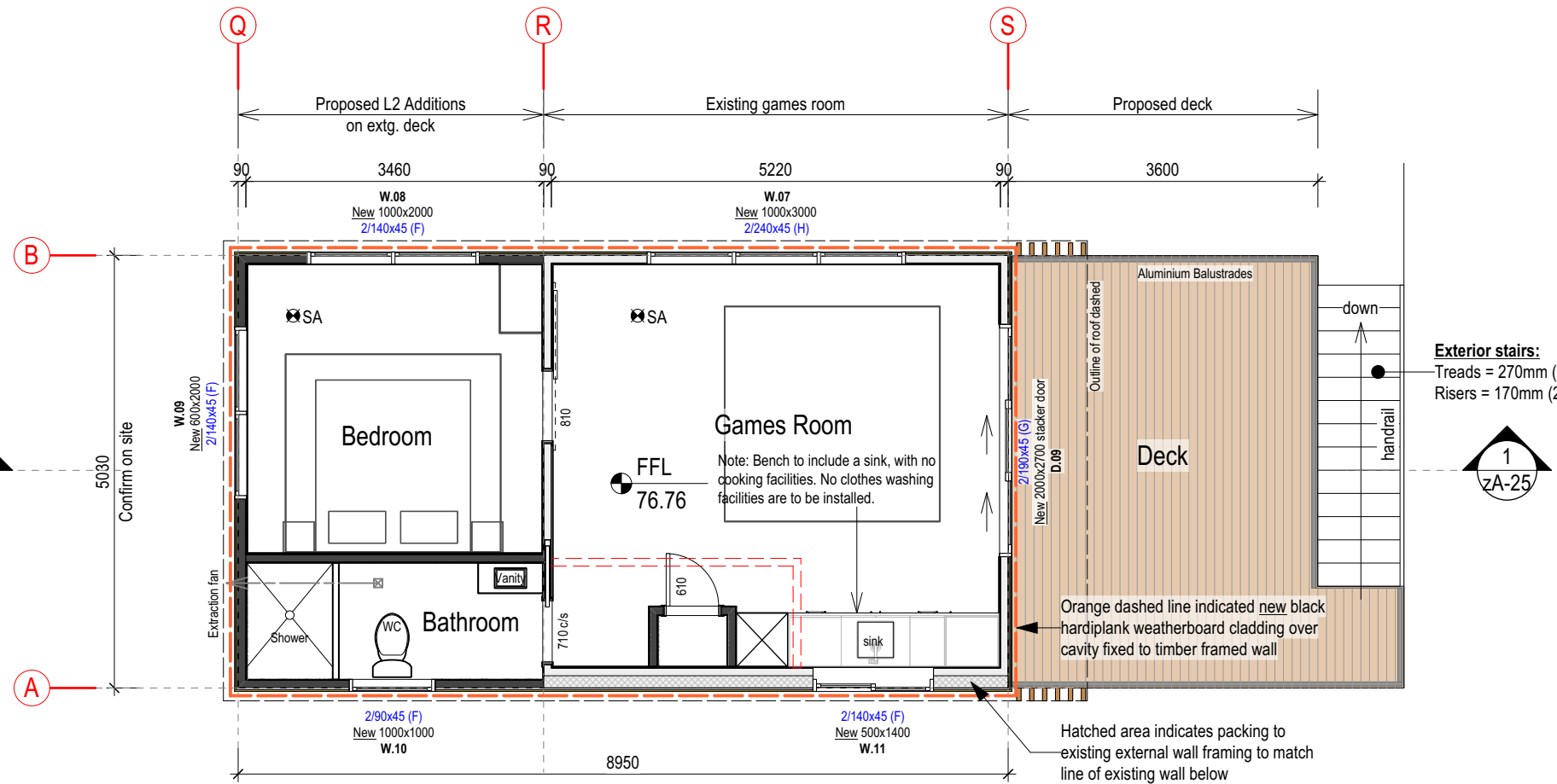
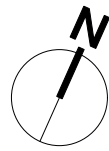
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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

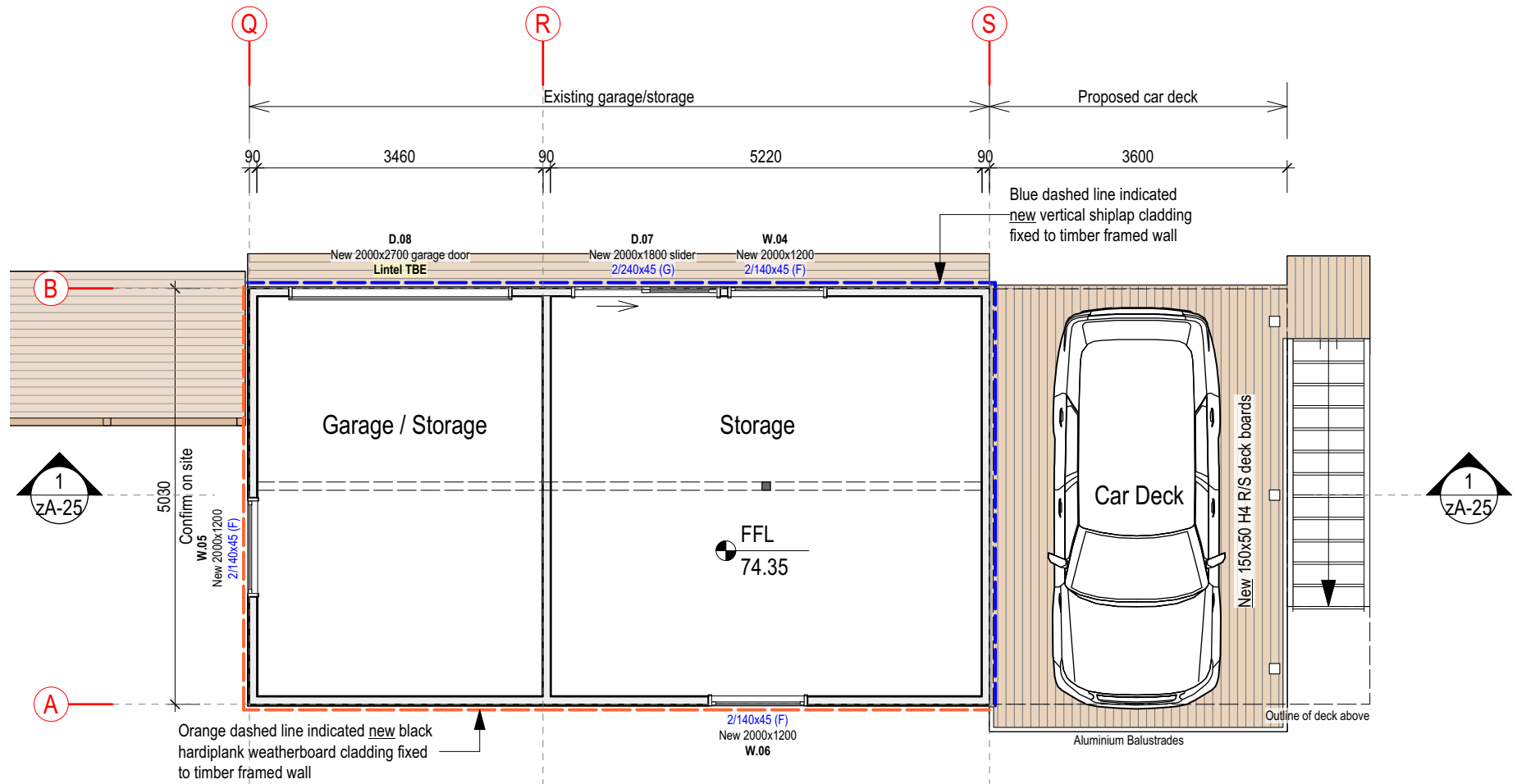
Address:  
7 Broadview Road  
Opua 0200

Dwg: House\_Perspectives\_Proposed

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-12	Of:	15



**2 L2 Sleepout Plan - Proposed**  
Scale: 1:75



**1 L1 Sleepout Plan - Proposed**  
Scale: 1:75

**Flooring - Sinks, Laundry Tubs, Washing Machines**  
All floors within 1500mm of sanitary fixtures and appliances are to be impervious and easily cleaned.

**Wet Areas**  
Water proof all "wet-wall-areas", floors and splash areas with Mapei Aquadefense waterproof membrane. Applications by approved applicators only. Non - Slip floor tiles to be laid in bathrooms / wet areas.

**Bathrooms / showers**  
Shower enclosures are to consist of Mapei waterproofing to floor and walls with tiles - installation in accordance with Mapei & Pro Finish Tray Shower systems. Glass and aluminium door systems installed to suit the shower space, to manufacturers specifications. Safety glass to showers. Shower floors are to have a minimum fall of 1:50 towards the floor waste.

**Substrate:**  
H3.1 treated plywood flooring is to be used in shower & wet areas.

Plywood must be a minimum of 17mm thick complying with AS/NZ 2269, DC Grade Structural with sanded C face upwards and treated to H3 (CCA treated). LOSP treated plywood must not be used.

The plywood must be laid with the face grain at right angles to the floor joists. The plywood must be supported with dwangs or framing with a maximum of 400mm in each direction, fixed with 10g x 50mm stainless steel countersunk head screws at 150mm crs along the sheet edges and 200mm through the body of sheets.

**Rangehood & extraction fans**  
Fans to be extracted through soffits or walls where indicated on plans. Where terminating under soffit line, no specific weatherproofing req. Where terminating through wall cladding, refer detail for weatherproofing penetration. Min. Flow rates = 25L/s (shower & bath), 50L/s (cooktops), Laundry area = 20L/s (condensing dryer) / 40L/s (non-condensing dryer)

**Smoke Alarms for Residential Houses**  
Type 1 - Domestic Smoke Alarm System  
A type 1 is a smoke alarm or multiple interconnected smoke alarm device, each containing a smoke detector and an alarm sounding feature. The system shall comply with NZS 4514 (2021).

**Location of Smoke Alarms**  
The location of smoke alarms shall be as follows:  
(a) Smoke alarms shall be located on or near the ceiling;  
(b) Smoke alarms shall be located in all bedrooms, living spaces, hallways, and landings within the building;  
(c) Where a kitchen is separated from the living spaces and hallways by doors that can be closed, an alarm specified by it's manufacturer as suitable for a kitchen shall be located in the kitchen. This may be a heat alarm to avoid nuisance activations;  
(d) In a multi-level household unit, there shall be at least one smoke alarm in each level; and  
(e) Where more than one smoke alarm is needed, these smoke alarms shall be interconnected so that when one activates, all smoke alarm devices in teh household unit will sound.

**Spacing**  
In locations where they are required, smoke alarms shall be spaced as follows:  
(a) The distance from any wall to a smoke alarm shall not exceed 5m; and  
(b) Smoke alarms shall be within 10m of each other in any direction.

**Note: Refer to NZS 4514 for guidance.**

**Existing House**  
The existing house smoke alarms are to be upgraded to interconnected alarms to NZS 4514 to comply as 'reasonably practicle'.

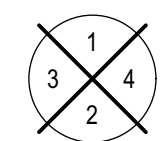
**Floor Areas - Proposed**

L1 Floor Area	= 44.9m <sup>2</sup>
L2 Floor Area	= 43.7m <sup>2</sup>
<b>Total Floor Area</b>	<b>= 88.6m<sup>2</sup></b>
L1 Car Deck Area	= 20.4m <sup>2</sup>
L2 Deck Area	= 18.4m <sup>2</sup>

**WALL KEY**

	Existing wall to be removed
	Existing timber framed wall
	New timber framed wall

**Elevation Key:**



**NOTES**  
All timber framed construction to comply with NZS 3604:2011 and the NZ Building Code.

**Building Wrap**  
Wrap framing with Tekton Wall Wrap

**New walls - Addition**  
2.4m high walls = 90x45 H1.2 studs @ 600crs  
2.7m high walls = 90x45 H1.2 studs @ 400crs  
3.0m high walls = 90x45 H1.2 studs @ 300crs  
Dwangs to be @ 800crs. Studs, lintels and beams to be MSG8 grade.

Internal / non load-bearing wall framing: 2.4-3.0m high = 90x45 H1.2 studs @ 600crs. Dwangs @ 800crs

**Interior Linings**  
Internal linings to be standard 10mm Gib Board.

**H1 - Energy Efficiency**  
Building Code Note:  
When carrying out building work to alter an existing building, the new work must comply with current code and section 112 of the Building Act, which says the building as a whole must to comply with the requirements of the Building Code to at least the same extent as it did immediately before the building work began and not make it worse. When it comes to H1 Energy Efficiency, the performance of the existing building does not need to meet current H1 requirements

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Existing Exterior walls / thermal envelope - install new R2.2 insulation batts between existing studs to existing walls.

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Recessed down lights to comply with NZBC C2 & AS/NZS 60598.2.2 - The insulation rating is IC or IC-F. The IC-F rating is a NZ only rating that means that the daylight can be installed under insulation that is only rated to 90 degrees C, and also that the light is sealed so insulation cannot get into the fitting.

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Ceiling insulation = Install where possible new R3.6 roof batts between existing roof framing

Wall insulation = Install where possible new R2.2 wall batts between existing/new studs

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Windows / doors = Selected existing external windows & doors to be removed and replaced with new aluminium joinery, with double glazing (R0.26min) to match existing.

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Job:  
**Additions & Alterations for O. Paterson & Z. Strongman**

Address:  
**7 Broadview Road  
Opua 0200**

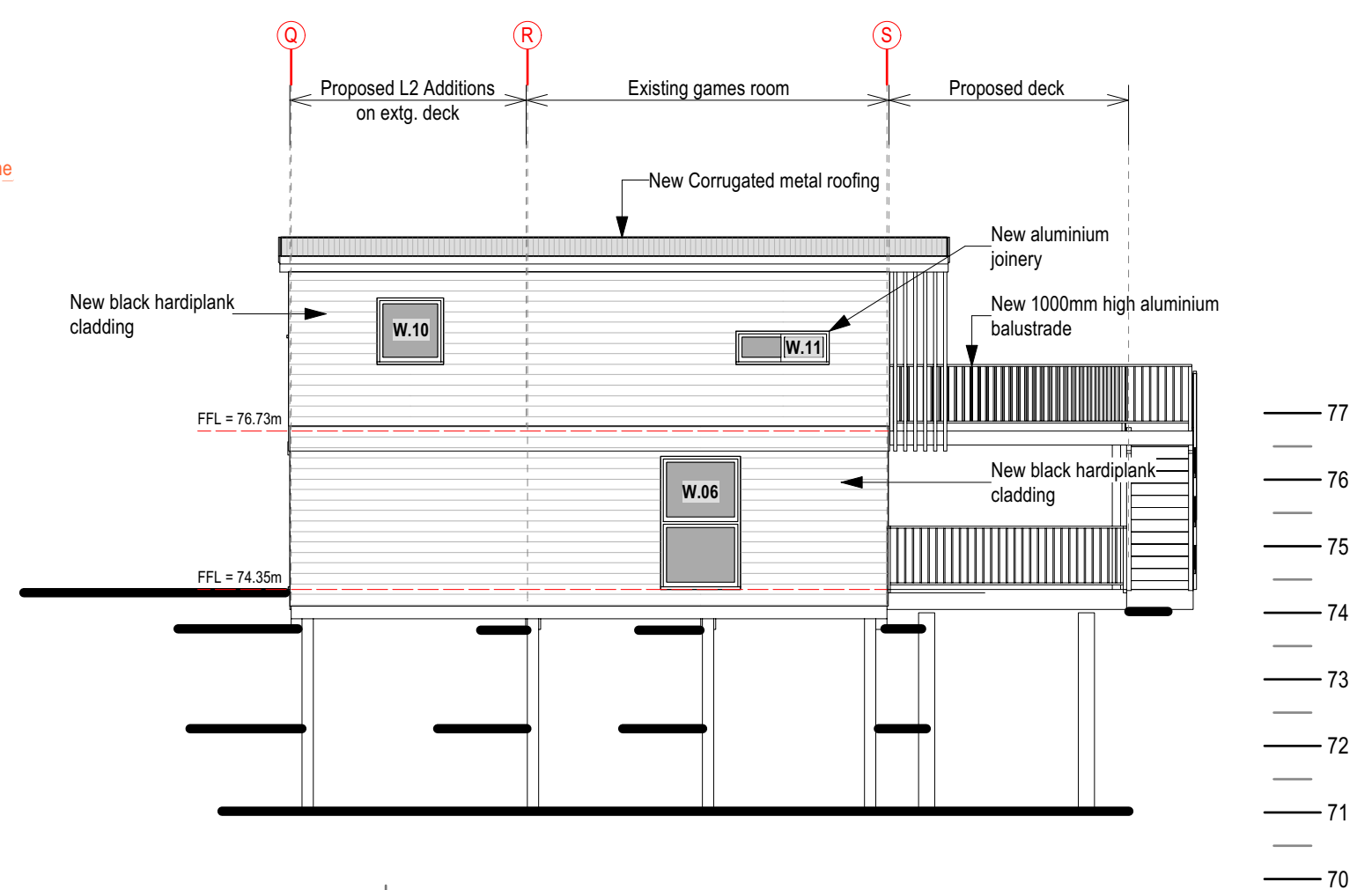
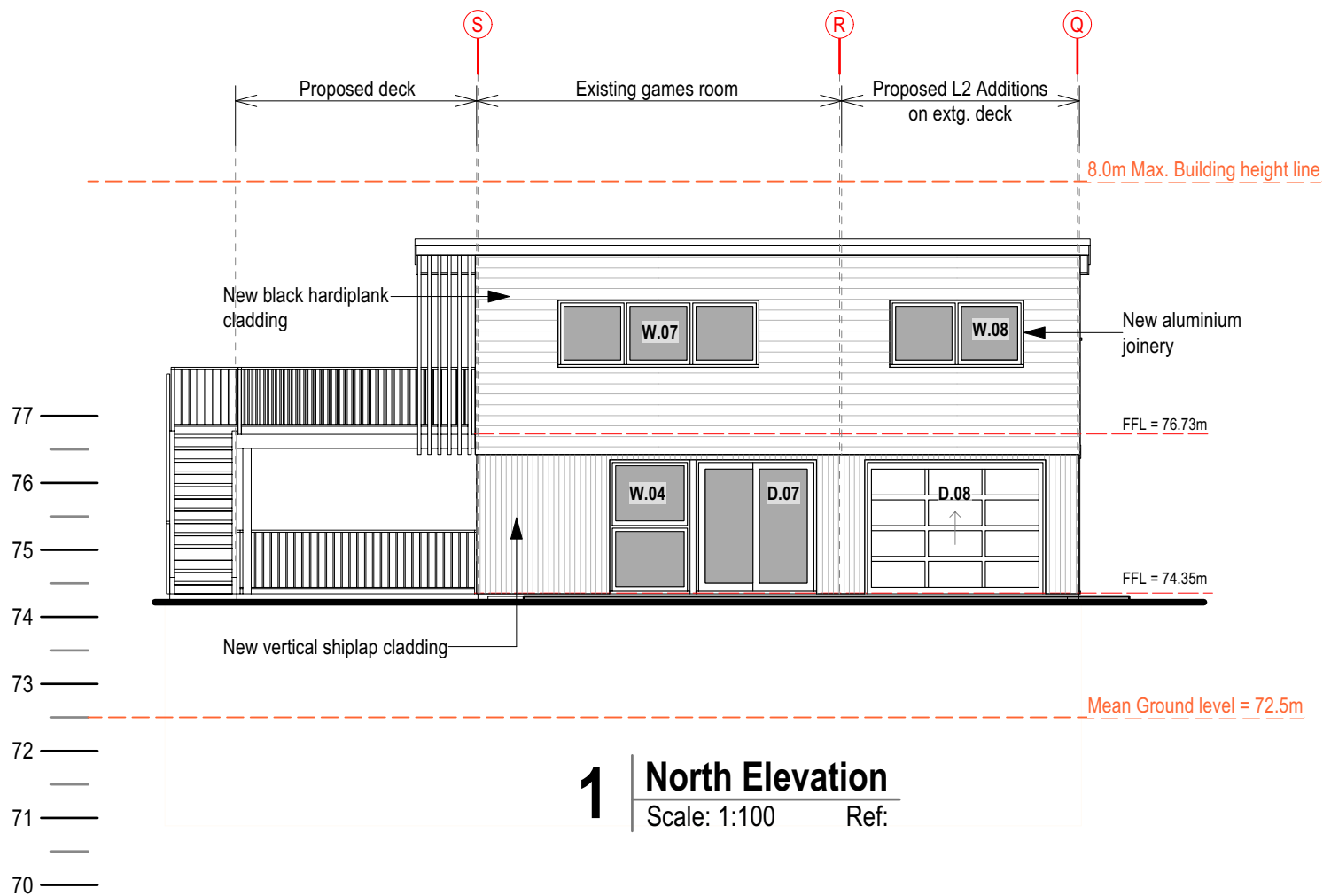
Dwg: **Sleepout\_Plans\_Proposed**

Date: **17/04/2026** Rev:

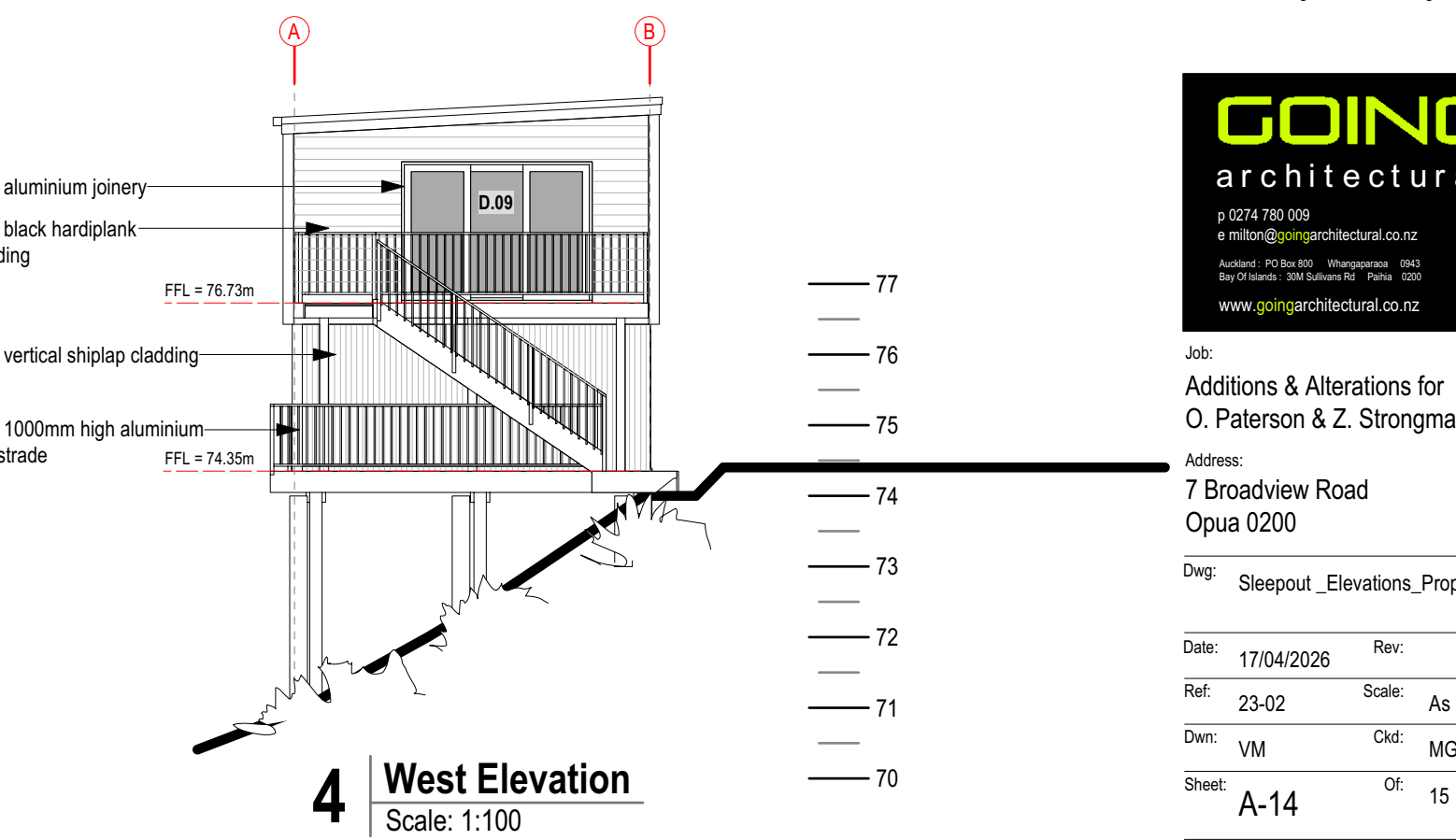
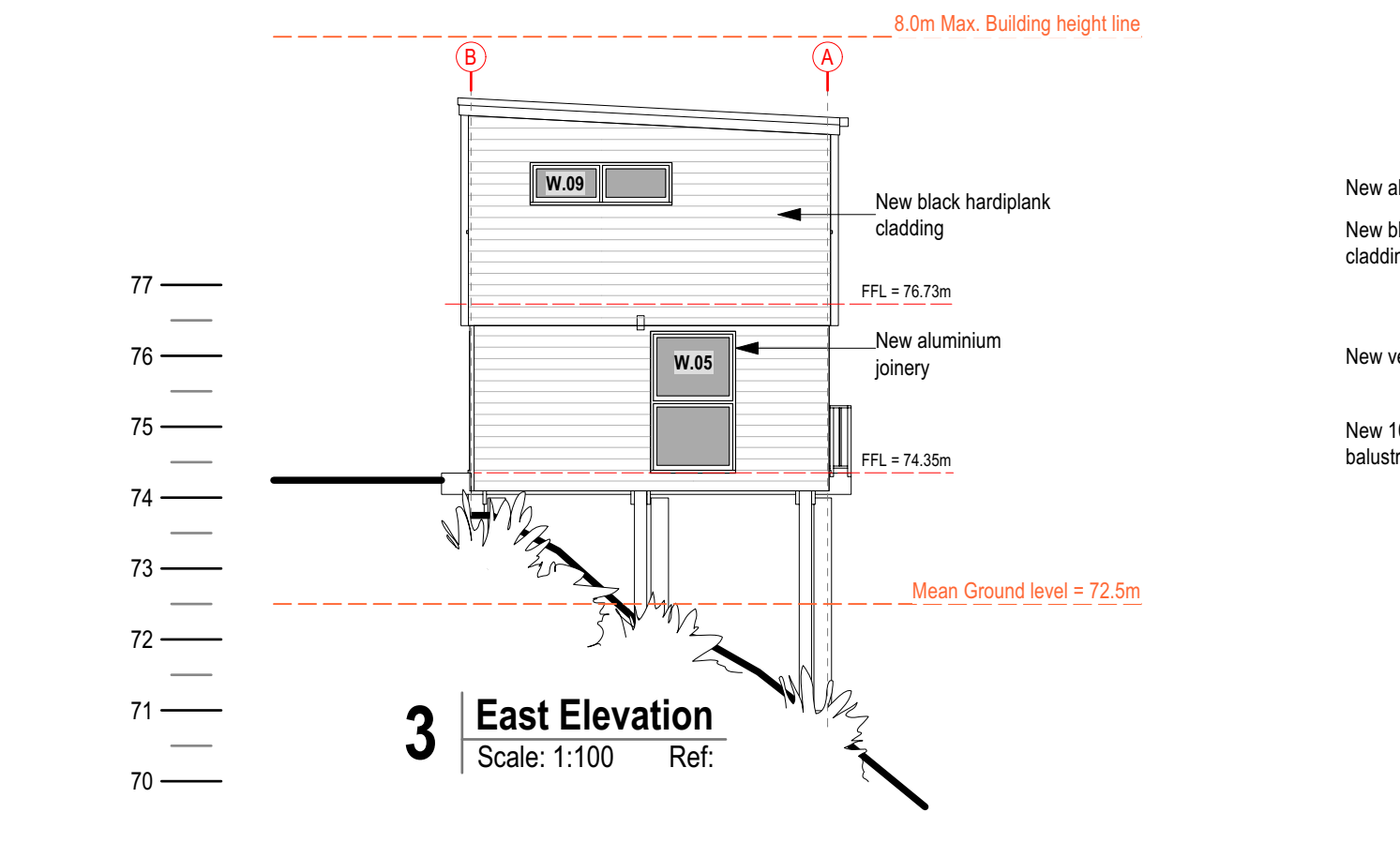
Ref: **23-02** Scale: **As Noted**

Dwn: **VM** Ckd: **MG**

Sheet: **A-13** Of: **15**



- Exteriors**
- **Walls:**
    - New black Hardiplank weatherboard cladding
    - New vertical shiplap cladding
  - **Roof:**
    - New metalcraft corrugated metal longrun roofing



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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
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Opua 0200

Dwg: Sleepout\_Elevations\_Proposed

Date: 17/04/2026 Rev:  
Ref: 23-02 Scale: As Noted  
Dwn: VM Ckd: MG  
Sheet: A-14 Of: 15



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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

Dwg:	Garage + Sleepout_Perspectives_Proposed		
Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-15	Of:	15

## STATEMENT OF DESIGN - PS1

**Issued by:** Matt Riddell

**To:** Owen Paterson

**Copy to be supplied to:** Far North District Council

**In Respect of:** Econotreat Domestic Onsite Wastewater and Sewage System Design

**At:** 7 Broadview Road, Opua

**Legal Description:** Lot 16 DP 79340

Waterflow NZ Ltd has been engaged by Owen Paterson to provide the technical design services and details in respect of the requirements of G13/MM4 and B2 Durability of the Building Code 2004, for an Onsite Wastewater and Sewage System for their building at the above location.

The Design has been carried out in accordance with AS/NZS 1547/2012 and Clause B2, G13 and G14 of the Building Regulations 2004.

The proposed building work covered by this producer statement is described on the drawings titled: Owen Paterson Onsite Wastewater Design Report, and numbered 1-42 together with the specification, and other documents set out in the schedule attached to this statement.

**On behalf of the Design Firm,** and subject to:

- (i) Site verification of the following design assumptions: correct installation of the system and drainage fields
- (ii) All proprietary products meeting their performance specification requirements;

As an independent design professional covered by a current policy for Professional Indemnity Insurance, no less than \$200,000\*, I **believe on reasonable grounds** the building, if constructed in accordance with the drawings, specifications, and other documents provided or listed in the attached schedule, will comply with the relevant provisions of the Building Code.

Signed by: Matt Riddell - PS Author '2384' Auckland Council, NZQA Onsite Wastewater Training/Opus, Approved Designer

Date: 04/02/2026

Signature: 

Waterflow NZ Ltd  
4/525 Great South Road  
Penrose, Auckland 1061

*Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000\*.*



**WaterFlow**  
Bringing Clarity to Wastewater

**2026**

**Waterflow NZ Ltd**  
Certified Designer



**Owen Paterson**  
**7 Broadview Road**  
**Opuia**  
**Lot 16 DP 79340**

**Reference Number: 25156**

**Issued 04/02/2026**

**ONSITE WASTEWATER DESIGN REPORT**

## **Limitations / Disclaimer**

This document has been prepared by Waterflow NZ Ltd specifically for the commissioning client and for the project described. It should not be used, copied, or relied upon by any other party without written confirmation from Waterflow NZ Ltd that the report is appropriate for their intended purpose.

The design and recommendations presented are based on the site information, test results, and reference material made available at the time the assessment was undertaken. Any assumptions or data provided by others are considered correct unless clearly stated otherwise. Waterflow NZ Ltd cannot accept responsibility for the consequences of relying on information that is later found to be incomplete or inaccurate.

Site conditions, development plans, or client requirements may change over time. If this occurs, the conclusions and design in this report may no longer be suitable. It is the client's responsibility to seek a review of this report if new information emerges or if the project scope is amended.

This report focuses on wastewater treatment and disposal design. It does not include a geotechnical stability assessment. Waterflow NZ Ltd are not Geotechnical Engineers and make no representations regarding slope stability, ground settlement, or subsurface hazards. Where ground stability or geotechnical risk is a concern, a separate assessment by a suitably qualified professional is required.

The successful performance of any wastewater system depends on correct installation. Installers must follow all manufacturer instructions and Waterflow NZ Ltd design details. Any proposed departures from the design must be approved by the property owner, Waterflow NZ Ltd, and the relevant Council before the work proceeds.

Compliance with regional and district rules, consent conditions, and relevant legislation remains the responsibility of the property owner. Routine servicing, monitoring, and desludging of the system are essential to maintain performance and minimise environmental effects. Failure to undertake required maintenance may result in system malfunction or regulatory non-compliance, for which Waterflow NZ Ltd cannot be held liable.



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## **Attachments**

- PS1
- Land Application System Schematics
- Pump Specification
- Electrical Diagram
- Assessment of Environmental Effects
- System & Installation Specifications
- Home Owners Care Guide

**Disclaimer**

The design presented herein is based on the information available at the time of preparation and reflects the conditions known at that time.

If additional information comes to light or if there are significant changes in site conditions or circumstances, the design may no longer be valid. In such cases, the design must be reassessed and potentially revised by the designer to ensure its continued suitability.

The designer(s) disclaim any responsibility for the design's applicability or effectiveness under new or altered conditions and recommend a review before implementation if any such changes occur.

**PART A: CONTACT AND PROPERTY DETAILS****A 1. Consultant / Evaluator**

<b>Name:</b>	Xandir Fatialofa
<b>Company/Agency:</b>	Waterflow New Zealand Ltd
<b>Address:</b>	4/525 Great South Road, Penrose, Auckland 1061
<b>Phone:</b>	09 431 0042
<b>Fax:</b>	
<b>Email Address:</b>	<a href="mailto:xandir@waterflow.co.nz">xandir@waterflow.co.nz</a>

**A 2: Applicant Details**

<b>Applicant Name:</b>	Owen Paterson
<b>Company Name:</b>	
<b>Property Owner:</b>	Owen Paterson
<b>Owner Address:</b>	7 Broadview Road, Opua
<b>Phone:</b>	
<b>Mobile:</b>	0800 USETOTAL
<b>Email Address:</b>	owen@totalplumbing.nz

**A 3: Site Information**

<b>Sited Visited by:</b>	Ken Hoyle	<b>Date:</b>	Tuesday, 13 January 2026
<b>Physical Address:</b>	7 Broadview Road, Opua		
<b>Territorial Authority:</b>	Far North District Council		
<b>Regional Council:</b>	Northland Regional Council		
<b>Regional Rule</b>	C.6.1.3		
<b>Legal Status of Activity:</b>	<b>Permitted:</b>	<input checked="" type="checkbox"/>	<b>Controlled:</b> <input type="checkbox"/> <b>Discretionary:</b> <input type="checkbox"/>
<b>Total Property Area (m<sup>2</sup>):</b>	9739m <sup>2</sup>		
<b>Map Grid Reference:</b>			
<b>Legal Description of Land (as on Certificate of Title):</b>			
<b>Lot No:</b>	16		
<b>DP No:</b>	79340		
<b>CT No:</b>	NA36A/1079		



**A 4: Are there any previous existing discharge consents relating to this proposal or other waste discharge/disposal on the site?**

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

**If yes, give reference No's and description:**

--

**A 5: Dwelling(s) for which on-site wastewater service is to be provided**

<b>Status of dwelling(s) to be serviced:</b>	<b>New</b>	<input type="checkbox"/>	<b>Existing</b>	<input checked="" type="checkbox"/>	<b>Multiple</b>	<input type="checkbox"/>
<b>How many dwellings on the property?</b>	1					
<b>Capacity of dwellings:</b>	<b>Dwelling 1</b>	4				
<b>(or number of bedrooms)</b>	<b>Dwelling 2</b>	1				
	<b>Dwelling 3</b>					
	<b>Other:</b>					
<b>Notes:</b>						



## PART B: SITE ASSESSMENT - SURFACE EVALUATION

### B 1: Site Characteristics

Performance of adjacent systems:	(Unknown)		
Estimated annual rainfall (mm):	1000 - 1250 (as per NIWA statistics)		
Seasonal variation (mm):	300-400mm		
Vegetation cover:	Grass and bush		
Slope shape:	Waxing Planar		
Slope angle:	24 °		
Surface water drainage characteristics:	Broad overland to distant flowpaths		
Flooding potential?	Yes:	No:	x
If Yes, specify relevant flood levels relative to disposal area:			
Site characteristics:	7 Broadview Road is a residential property of just under one hectare. It is located to the western side of Broadview Road about 1.3km northwest of Opuia. The property is mostly covered in native bush and has a generally south facing aspect with moderate to steep slopes. There is an existing residential dwelling and garage which are to be renovated and a new onsite wastewater management system is proposed to replace the existing septic tank. There are no overland flow paths, surface waters or flood plains on the property.		

### B 2: Slope Stability

Has a slope stability assessment been carried out on the site?

Yes:		No:	x
------	--	-----	---

If no, why not?

Low slope:	x	No signs of instability:	x	Other:
------------	---	--------------------------	---	--------

If yes, give brief details of report:

Details:	
Author:	
Company/Agency:	
Date of report:	

### B 3: Site Geology

--

**B 4: Slope Direction**

What aspect does the proposed disposal system face?

North		West	
North-West		South-West	
North-East		South-East	
East		South	x

**B 5: Site Clearances if applicable (also on site plan)**

	Treatment Separation Distance (m)	Disposal Field Separation Distance (m)
Boundaries:	>1.5	>1.5
Surface Water:	>15	>15
Ground Water:	>1.2	>1.2
Stands of Trees / Shrubs:	n/a	n/a
Wells/Water Bores:	>20	>20
Embankments / Retaining Walls:	>3	>3
Buildings:	>3	>3
Other:		

**B 6: Please identify any site constraints applicable for this property, and indicate how the design process is to deal with these.**

Constraints	Explain how constraints are being dealt with
1 Site constraints: (a) (b)	n/a



**PART C: SITE ASSESSMENT - SOIL INVESTIGATION**

**C 1: Soil Profile Determination Method**

Test pit:		Depth (mm):		No. of Test pits:	
Bore hole:	x	Depth (mm):	1200	No. of Bore holes	2
Other:					

**C 2: Fill Material**

Was fill material intercepted during the subsoil investigation?

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

If yes, please specify the effect of the fill on wastewater disposal:

--

**C 3: Permeability Testing**

Has constant head Permeability Testing (Ksat) been carried out?

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

If yes, please indicate the details (test procedure, number of tests):

--

Test report attached?

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

**C 4: SURFACE WATER CUT OFF DRAINS**

Are surface water interception/diversion drains required?

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

**C 5: DEPTH OF SEASONAL WATER TABLE:**

Winter (m):	>1.2
Summer (m):	>1.2

Was this:

Measured:	<input checked="" type="checkbox"/> no sign of ground water or mottling in bore holes
Estimated:	<input type="checkbox"/>

**C 6: SHORT CIRCUITS**

Are there any potential short circuit paths?

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

If yes, how have these been addressed?

--

**C 7: SOIL CATEGORY**

Is topsoil present?

Yes:	<input checked="" type="checkbox"/>	No:	<input type="checkbox"/>
------	-------------------------------------	-----	--------------------------

If yes, what is the topsoil depth &amp; soil description?

100mm layer of silty topsoil overlying silty clays
--

Indicate the disposal field soil category (as per AS/NZS 1547:2012 Table E1)

Category	Description	Drainage	(x)
1	Gravel, coarse sand	Rapid draining	
2	Loamy sand, sandy loam	Free draining	
3	Medium-fine sandy loam, loam & silt loam	Good draining	
4	Sandy clay-loam, clay loam & silty clay-loam	Moderate draining	
5	Sandy clay, light clay, silty clay	Moderate to slow draining	x
6	Medium to Heavy Clays	Slow draining	

Reason for placing in stated category:

Result of bore hole/test pit sample	<input checked="" type="checkbox"/>
Profile from excavation	<input type="checkbox"/>
Geotech report	<input type="checkbox"/>
Other:	<input type="checkbox"/>

**C 8: SOIL STRUCTURE**

Based on results of the in-situ soil profile investigation above (C7) please indicate the disposal (land application) field soil structure:

Massive	<input type="checkbox"/>
Single grained	<input type="checkbox"/>
Weak	<input type="checkbox"/>
Moderate	<input checked="" type="checkbox"/>
Strong	<input type="checkbox"/>

C 9: As necessary, provide qualifying notes on the relationship of Soil Category (C7) to Soil Structure (C8) and the effect this relationship will have on design loading rate selection:

--



## PART D: DISCHARGE DETAILS

### D 1: Water supply source for the property:

Rain water (roof collection)	
Bore/well	
Public supply	x

### D 2: Are water reduction fixtures being used?

Yes:	<input checked="" type="checkbox"/>	No:	<input type="checkbox"/>	(according to our knowledge at time of design report)
------	-------------------------------------	-----	--------------------------	---

If 'yes' Please state:

Standard water reduction fixtures such as 6/3 dual flush toilets, shower-flow restrictors, aerator faucets and water-conserving automatic washing machines and dishwasher, no garbage grinder

### D 3: Daily volume of wastewater to be discharged:

No. of bedrooms/people:	1: 4 Bedroom 2: 1 Bedroom 3:
Design occupance (people): (as per AC TP-58, Table 6.1)	1: 6 People 2: 2 People 3:
	<b>Black / Grey water</b>
Per capita wastewater production (litres/person/day): (as per AS/NZS 1547:2012 Table H3, Note 2)	1: 165 L/day 2: 165 L/day 3:
Total daily wastewater production (litres per day):	1320 L/day
Notes:	

### D 4: Is daily wastewater discharge volume more than 2000 litres?

Yes:	<input type="checkbox"/>	No:	<input checked="" type="checkbox"/>
------	--------------------------	-----	-------------------------------------

### D 5: Gross lot area to discharge ratio:

Gross lot area:	9739 m <sup>2</sup>
Total daily wastewater production (litres/day):	1320 L
Lot area to discharge ratio:	7.38

### D 6: Net Lot Area

Area of lot available for installation of the disposal (land application) field and reserve area:

Net lot area (m <sup>2</sup> ):	8739 m <sup>2</sup>
Reserve area (m <sup>2</sup> ):	30% 198m <sup>2</sup>

**PART E: LAND DISPOSAL METHOD****E 1: Indicate the proposed loading method:**

	Black / Grey Water
Gravity Dose:	
Dosing Siphon:	
Pump:	D42A/B

**E 2: If a pump is being used please provide following information:**

Total Design Head (m):	#N/A
Pump Chamber Volume (litres):	1600
Emergency Storage Volume (litres):	2120

**Is a high water level alarm being installed in pump chambers?**

Yes:	<input checked="" type="checkbox"/>	No:	<input type="checkbox"/>
------	-------------------------------------	-----	--------------------------

**E 3: Identify the type(s) of Land Disposal method proposed for this site:**

	Black / Grey Water
P.C.D.I. Dripper Irrigation:	PCDI surface laid and mulched
L.P.E.D. System:	
Evapo-Transpiration Beds:	
Other:	
(as per Schematics attached)	

**E 4: Identify the Loading Rate proposed for option selected in E3:**

as per AS/NZS 1547:2012 Table L1 & M1	Black / Grey Water
Loading Rate (litres/m <sup>2</sup> /day):	2
Disposal Area Basal (m <sup>2</sup> ):	
Areal (m <sup>2</sup> ):	660

**E 6: Details and dimensions of the disposal (land application) field:**

Length (m):	82.5	No. Lines:	8	Hole Size:	N/A
Width (m):	8.0	Spacing (m):	1.0	Hole Spacing:	N/A
Notes:	660sqm of Surface laid PCDI dripline pinned at 1m centers and covered with a minimum covering of 100mm mulch. See schematic drawing attached.				



## **PART F: PROPOSED WASTEWATER TREATMENT SYSTEM**

A Econotreat ET32P System, fed through surface laid PCDI dripline is suitable for this site. The ET32P System has enough capacity to accommodate 1600ltr per day, so will be well within its capacity. The land application system is designed to discharge a maximum volume of 1320ltrs per day and if this is exceeded it could cause failure resulting in environmental and public harm.

## **PART G: OPERATION AND MAINTENANCE OF SYSTEM**

The operation of this complete system will be explained verbally to the owner by the Installer or Agent on Completion of Installation; also provided with Waterflow's Home Owner's Manual.

Waterflow NZ Ltd encourages the Home Owner to monitor and care for your Econotreat system yourself, with our backing and support, and by doing so you will learn how your system works and operates and how to keep it in top working order.

It is also recommended that a Maintenance Program contract is in place at all times to ensure this system is maintained at top performance at all times.

All on site wastewater systems require regular maintenance; in this case once annually is suffice and may be specified within the consent process by the Building Department of Far North District Council. This Maintenance will be recorded on hard copy and supplied to both the Owner and Far North District Council Compliance Officer if requested.

**NOTE TO OWNER:** All written records pertaining to the wastewater system should be retained in a safe place. When a change of ownership occurs, a full and complete history is able to be passed to the new owners.

Animals are to be physically excluded from the installed effluent field to avoid damage, and to reduce the risk of soil compaction in the vicinity of the bed.

Planting within this area is encouraged to assist with evapotranspiration by plants.

**PART H: SOIL LOG PROFILE**



**100mm layer of silty topsoil overlying silty clays Class 5, (as per AS/NZS 1547:2012 Table E1)**




**PART I: SITE IMAGES**






## DECLARATION

I, hereby certify that, to the best of my knowledge and belief, the information given in this application is true and complete.

<b>Prepared By:</b>	
<b>Name:</b>	Xandir Fatialofa - Design Technician
<b>Signature:</b>	
<b>Date:</b>	4/02/2026

<b>Designed By:</b>	
<b>Name:</b>	Matt Riddell - PS Author '2384' Auckland Council, NZQA Onsite Wastewater Training/Opus, Approved Designer
<b>Signature:</b>	
<b>Date:</b>	4/02/2026

**NOTE:** The Waterflow Systems are to be installed by a registered drainlayer to the designs supplied by Waterflow NZ Ltd. All work to comply with Regional Council Water and Soil Plans.

### Comments/Summary:

The disposal field will need to be protected from traffic and animal grazing. Planting this area is recommended to increase Evapotranspiration.

Suitable plants for the disposal field can be found on our website [www.naturalflow.co.nz](http://www.naturalflow.co.nz)

Waterflow Treatment systems to be installed by accredited installer unless other arrangements have been made by Waterflow NZ Ltd

For more information do not hesitate to contact the team at Waterflow NZ Ltd on 0800 628 356



Enlargement on next page



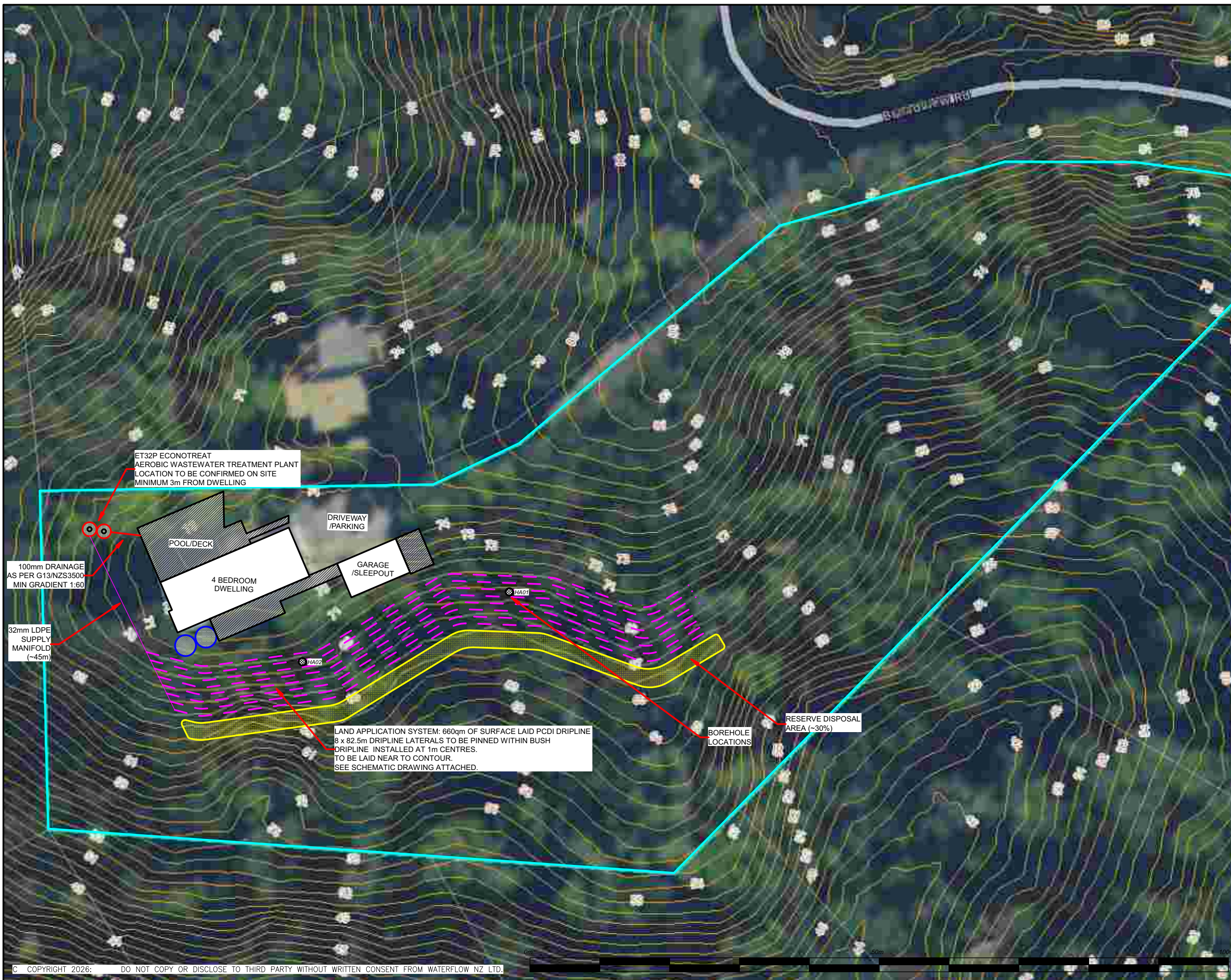
**SITE LOCATION PLAN:**

Owen Paterson  
 7 Broadview Road  
 Opua  
 Lot 16DP 79340  
 0.9739HA

**SCALE:**

1 : 25340

@ A3



ET32P ECONOTREAT  
AEROBIC WASTEWATER TREATMENT PLANT  
LOCATION TO BE CONFIRMED ON SITE  
MINIMUM 3m FROM DWELLING

DRIVEWAY  
/PARKING

POOL/DECK

4 BEDROOM  
DWELLING

GARAGE  
/SLEEPOUT

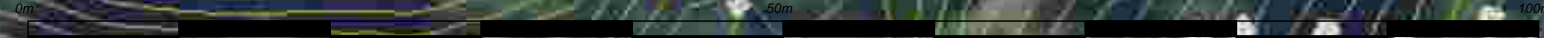
100mm DRAINAGE  
AS PER G13/NZS3500  
MIN GRADIENT 1:60

32mm LDPE  
SUPPLY  
MANIFOLD  
(~45m)

LAND APPLICATION SYSTEM: 660qm OF SURFACE LAID PCDI DRIPLINE  
8 x 82.5m DRIPLINE LATERALS TO BE PINNED WITHIN BUSH  
DRIPLINE INSTALLED AT 1m CENTRES.  
TO BE LAID NEAR TO CONTOUR.  
SEE SCHEMATIC DRAWING ATTACHED.

RESERVE DISPOSAL  
AREA (~30%)

BOREHOLE  
LOCATIONS



PO Box 24  
Maungaturoto  
[www.waterflow.co.nz](http://www.waterflow.co.nz)

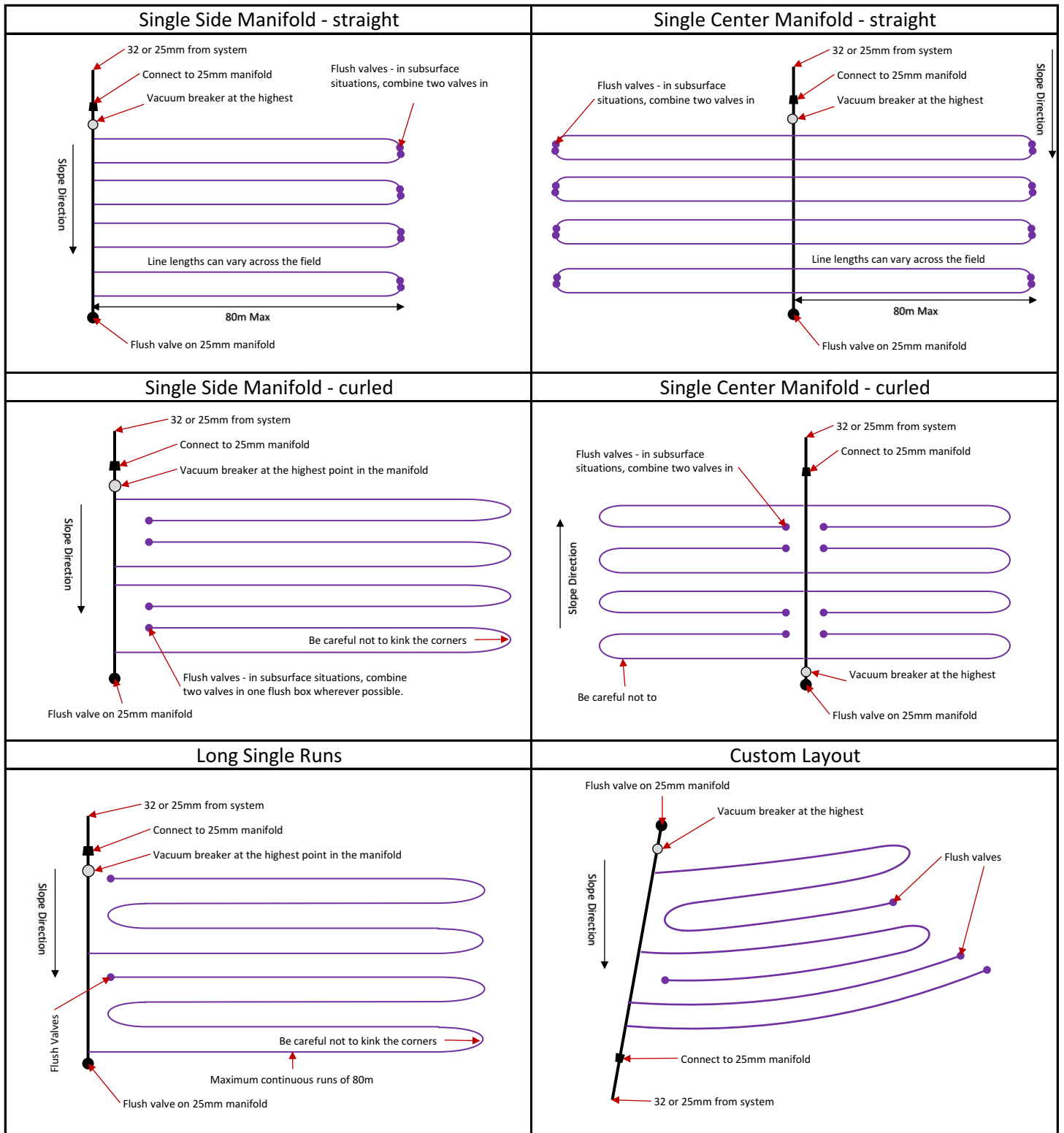
CLIENT  
**OWEN PATERSON**

PROJECT  
**7 BROADVIEW ROAD  
OPUA  
ON-SITE WASTEWATER  
TREATMENT AND DISPOSAL**

TITLE  
**PROPOSED ONSITE  
WASTEWATER LAYOUT**

DATE	04/02/26	
DRAWN	MR	
DESIGN	MR	
CHECKED	KH	
JOB No.	WF03628	SCALE. 1:500@A3
DWG No.	WF03628-01	REV. A

# Common PCDI Layouts

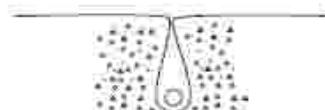


## Cross Sections of PCDI installation

150mm Mulch or Leaf Litter



Subsoil Buried @ 100-150mm





# METZERPLAS

## ADI

Cylindrical PC  
(Pressure  
Compensated)  
dripper.

- Cylindrical PC dripper, with unique regulating labyrinth with self-flushing operation at the beginning and the end of each irrigation cycle.
- Triple inlet filter with filtering area 10 times larger than any other dripper.
- High clog resistance.
- Suitable for poor quality and effluent water.
- Large pressure compensation range up to 4.3 bars.
- Dripline diameter: 16, 18 and 20 mm.
- Dripper flow rate: 1.6, 2.2 and 3.5 l/h.
- *Rootguard*® configuration available for extra root protection in SDI (Subsurface Drip Irrigation).



### ADI Dripline Technical Data:

Model	Inside Diameter (mm)	Wall Thickness (mm)	Min. Working Pressure (bars)	Max. Working Pressure (bars)	KD
ADI 16	13.8	0.9	0.8	3.5	1.12
		1.15	0.8	4.3	0.95
ADI 18	15.8	1.2	0.8	4.3	0.95
ADI 20	17.4	1.0	0.8	3.5	0.85
		1.25	0.8	4.3	0.6



# METZERPLAS

**ADI**

Cylindrical PC (Pressure Compensated) dripper.

ADI 16 mm. Maximum lateral length (I.D. 13.8 mm, W.T 0.9 mm, Inlet pressure 2.5 bars):

Nom. Flow Rate (l/h)	Spacing Between Drippers (m)						
	0.20	0.30	0.40	0.50	0.60	0.75	1.00
1.6	86	122	156	188	218	260	324
2.2	72	103	131	157	182	216	269
3.5	51	73	94	113	131	156	195

ADI 18 mm. Maximum lateral length (I.D. 15.8 mm, W.T 1.2 mm, Inlet pressure 2.5 bars):

Nom. Flow Rate (l/h)	Spacing Between Drippers (m)						
	0.20	0.30	0.40	0.50	0.60	0.75	1.00
2.0	93	134	171	205	238	284	355
3.5	65	92	118	142	166	198	247

ADI 20 mm. Maximum Lateral length (I.D. 17.4 mm, W.T 1.0 mm, Inlet pressure 2.5 bars):

Nom. Flow Rate (l/h)	Spacing Between Drippers (m)						
	0.20	0.30	0.40	0.50	0.60	0.75	1.00
1.6	128	182	234	281	325	388	484
2.2	113	159	202	242	279	331	409
3.5	76	109	140	168	196	233	291

For additional tables and data please contact Metzerplas Technical Department or visit our website: [www.metzerplas.com](http://www.metzerplas.com)

## Packaging Data

Model	Roll Length (m)	Quantity Per Container (Rolls)		
		20	40	40 h
ADI 16	400	150	300	350
ADI 18	300	150	300	333
ADI 20	300	133	266	300



**APPLICATIONS**

- > Non-potable rainwater applications
- > Lawn and garden irrigation
- > Sump emptying to higher heads
- > Treated effluent disposal
- > Water transfer from wells



D42A/B

D53A/B

**Submersible  
Drainage Pumps**

Model Numbers: D42A/B, D53A/B

Submersible sump pump with two and three impeller designs for higher pressure, up to 45m head.

**WHY CHOOSE DAVEY  
SUBMERSIBLE DRAINAGE PUMPS?**

Double mechanical seal, one in oil bath on motor and extra mechanical seal on pump

- Superior reliability
- Long service life

Corrosion resistant 304 stainless steel shaft, motor shell and fasteners

- Long service life

Cast 316 stainless steel motor caps and super tough engineered thermo plastic pump casing

- Outstanding corrosion resistance
- Long life

Centrifugal multistage 2 and 3 impeller designs

- Higher pressures and increased efficiency

Closed vane impellers with long engagement “D” drives

- Positive operation
- Long service life

Patented independently floating neck rings

- Outstanding pump performance
- Long pump life

Corrosion resistant hard wearing polycarbonate impellers

- Long service life

Corrosion resistant stainless steel fine mesh suction strainer with large surface area

- Prevents blockages of the pump by solids

In-built automatic thermal overload

- Protects the motor in the event of blockage or voltage supply problems

HO7RNF oil resistant leads, 10 metres long with 3 pin power plug

- Easy to connect to power supply
- Longer life in dirty water



## OPERATING LIMITS

Type	D42A/B	D53A/B
Capacities to	120 lpm	130 lpm
Maximum total head	32m	45m
Maximum submergence	12m	
Maximum pumped water temperature	40°C	
Maximum soft solids	1.9mm O.D.	
Outlet size (BSP)	1" F	

## SUITABLE FLUIDS

Clean water of neutral pH containing up to 1% small solids. Some wear should be expected while pumping hard solids in suspension.

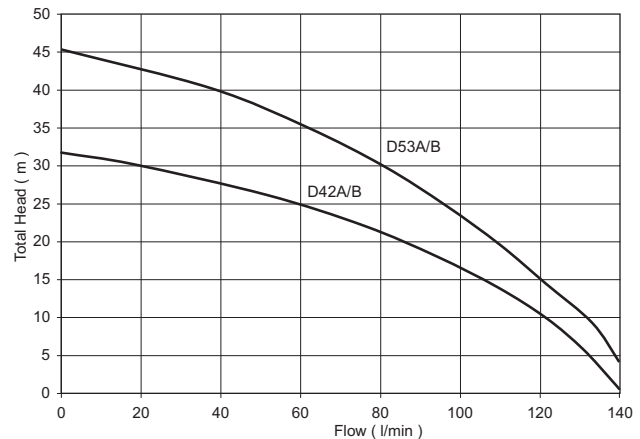
## MATERIALS OF CONSTRUCTION

PART	MATERIAL
Impeller	Glass filled polycarbonate
Lock nut	304 stainless steel
Pump casing	Glass filled polycarbonate
Diffuser and blanking ring	Glass filled noryl
Mechanical seal – pump	Carbon / ceramic
Mechanical seal – motor	Silicon carbide / ceramic oil in bath
Shaft seal elastomer	Nitrile rubber
Pump shaft	304 stainless steel
O-rings	Nitrile rubber
Motor shell	304 stainless steel
Bottom bearing housing	Cast 316 stainless steel
Upper motor cover	Cast 316 stainless steel
Handle	304 stainless steel
Fasteners	304 stainless steel
Float and power supply leads	HO7RN-F oil resistant

## ELECTRICAL DATA

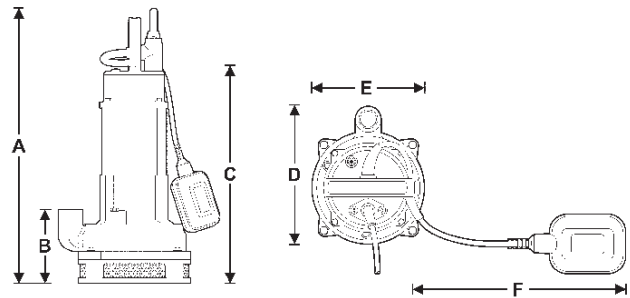
Type	D42A/B	D53A/B
Supply voltage	220-240V	
Supply frequency	50Hz single phase	
Speed	2 pole, 2850rpm	
Full load current (Run)	4.3A	5.7A
Locked rotor current (Start)	14A	
Input power (P <sub>1</sub> )	1.00kW	1.31kW
Output power (P <sub>2</sub> )	0.60kW	0.84kW
IP rating	X8	
Insulation class	Class F	
Starting	P.S.C.	
Lead	10m long	

## HYDRAULIC PERFORMANCE



## DIMENSIONS (MM)

Type	A	B	C	D	E	F	Outlet B.S.P.	Net Weight (kg)
D42A/B	475	130	370	235	195	330	1" F	10.8
D53A/B	535	170	430	235	195	330	1" F	16.5



## INSTALLATION AND PRIMING

Use a rope to position and retrieve the pump. Do not lower or retrieve the pump using the power lead as this may damage the cable entry seals, causing water leaks and unsafe operation.

Do not use this product for recirculating or filtering swimming pools, spas, etc. While these pumps are built to high safety standards, they are not approved for installations where people will be in the water while they are operating.

Do not pump abrasive materials. Sand and grit in the water being pumped will accelerate wear, causing shortened pump life.

Keep your pump clean, particularly in situations where lint, hair or fibrous materials may get bound around the pump shaft. Regular inspection and cleaning will extend pump life.

Make room for the float switch to operate. Automatic models have a float switch to turn them on when the water level rises and turn them off again when it has been pumped down to the safe operating level of the pump. If the float switch is not free to rise and fall, correct pump operation may not be possible.

Do not run your pump dry. Non-automatic models must be switched off manually or by way of an external float/level switch when the water level is reduced to the top of the pump housing.

# **Assessment of Environmental Effects**

## **Owen Paterson of 7 Broadview Road, Opuā Lot 16 DP 79340**

### **1.1 Description of Proposal**

The owners of this site propose an extension to the existing dwelling on the property. The finished dwelling will have four bedrooms and a sleep out above the garage.

### **1.2 Site Description**

7 Broadview Road is a residential property of just under one hectare. It is located to the western side of Broadview Road about 1.3km northwest of Opuā. The property is mostly covered in native bush and has a generally south facing aspect with moderate to steep slopes. There is an existing residential dwelling and garage which are to be renovated and a new onsite wastewater management system is proposed to replace the existing septic tank. There are no overland flow paths, surface waters or flood plains on the property.

### **1.3 Wastewater Volume**

In calculating the wastewater flows we have allowed for a maximum occupancy of 8 persons, based on the proposed 4 bedroom dwelling (as per AC TP-58, Table 6.1). Total wastewater production is based on an allowance of 165 litres per person per day (as per AS/NZS 1547:2012 Table H3, Note 2), which is conservative given that water is public supply and standard water reduction fixtures will be used throughout the house. Standard water reduction fixtures are as per Note 2 of Table H3. As a minimum these will include:

- Dual flush toilets
- Shower-flow restrictors
- Aerator taps
- Water efficient washing machine e.g a modern front load

### **1.4 Wastewater Volume**

The ET32P system that is proposed will treat the wastewater to a high standard prior to dispersal using a PCDI drip line, into a purpose-designed disposal field, where the removal of nutrient will continue, both in the receiving soils and by plant uptake.

The system will be capable of producing reductions in Biochemical Oxygen Demand, Total Suspended Solids, Nitrogen, and Coliforms to a standard that meets the requirements (see details below). The system will cater for the wastewater requirements of the private dwellings (domestic wastewater) and will not service any commercial or trade waste sources. Risk Minor to Nil.

## 1.5 Proposed Treatment System

The objective of the treatment system is to reduce and remove much of the contaminants from the wastewater prior to discharge into the receiving soil. This will improve the long-term performance of the disposal field as well as reducing the risk to the receiving environment. The system will consist of:

- Septic Tank Module
- ET32P
- Land Application System

The system is constructed using plastic injection molded tanks. The system produces treated effluent with BOD <20mg/l, Suspended solids <20mg/l.

## 1.6 Land Application System

The proposed irrigation system uses pressure-compensating dripper lines ensuring an even delivery of moisture over the entire irrigation field and a conservative DLR of 2mm. We propose the use of Metzerplas unibioline ADI16/3.5 @ 0.6m/c with the Dripline laid out at 1m centres. This Dripline will then be covered by 100mm landscape mulch. Densely planting this area will greatly enhance evapo-transpiration and be very beneficial especially in the wetter months of the year. This irrigation can be installed in conjunction with existing or proposed landscaping.

## 1.7 Surface & Ground Water

It is proposed to treat the water to a high standard prior to discharge and the proposed irrigation system will introduce the water into the topsoil horizon using PCDI irrigation. A low application rate of treated effluent into the topsoil will significantly reduce the likelihood of, any breakout or runoff or any risk of surface water contamination. With the ground water levels being >1.2m this conservative DLR also means the risk of ground water contamination is virtually nil. A majority of the undeveloped areas of this site are suitable for a PCDI disposal field when the necessary setbacks are observed. Risk Minor to Nil.

## 1.8 Air Quality

The proposed ET32P system will produce no noticeable odour when functioning correctly. Any odour will be contained within the tanks. The PCDI irrigation system will load the soil at a rate that should not cause ponding, spraying or aerosol of the effluent that could potentially cause odours. Risk Minor to Nil.

## 1.9 Visual Impact

The tanks are installed wholly below ground level with only the lids being visible. The lids will protrude approximately 100mm to prevent egress of storm water into the system. The disposal field will be located in a purpose designed mulched and intensively planted disposal area. Warning signs may be installed to indicate the presence of the disposal area, although probably not necessary in a domestic situation, also the area may be fenced to restrict access.

## 1.10 Environmental Risks

Risks are associated with this proposal are minor. The treatment system will be automated, and the Home Owner will be given a 'Home Owners Care Guide' which explains the necessary visual checks to ensure no issues arise with the system, specifically – solids build-up - high water level – discharge failure – filter blockage.

Peak flow into the system are not expected to be significant and the system includes a large emergency storage volume.

## 1.11 Maintenance Requirements

The maintenance requirement of this system is minimal, with the system fully automated. The system requires little input from the operator apart from the regular cleaning of the outlet filter between the treatment system and the Dripline field. All other maintenance interventions must be carried out by service persons familiar with the operation of the system and approved by the manufacturer. Maintenance may include checking of the dissolved oxygen levels, cleaning of effluent outlet filter, removal of excess sludge volume, checking of control panel function, etc....

The disposal field is quite possibly the most important and sensitive part of the treatment system and requires a reasonable amount of maintenance to keep it functioning well. Any leaking or damaged Dripline must be fixed quickly using the appropriate materials, the planting must be maintained, weeds removed and grass kept cut. The Dripline should be kept covered with a suitable bark, mulch, or topsoil.



# ECONOTREAT™

ET32P



**System Specifications &  
Installation Instructions**

---

# ET32P

## System Specifications & Installation Instructions



### Compliance Requirements

All Waterflow Septic Tanks and Treatment Modules meet the requirements of the New Zealand Building Code G13-VM4, Clause B1 - Structure, and Clause B2 Durability. As stated in the AS/NZS 1546.1:2008 Standard, 1.5.2.1, all septic tanks constructed to this Standard meet the requirements of the New Zealand Building Code for Clause B1 - Structure and Clause B2 Durability.

The design and specifications of the septic tank are fully compliant with the AS/NZS1546.1:2008 Standard, including but not limited to:

**Structural Integrity:** The tank is designed using Polymer suitable for the manufacturing method as per 9.4.1 AS/NZS1546.1:2008, with all exposed lids being UV protected, with appropriate foot anchors and reinforcement, ensuring it meets the structural requirements specified in the standard.

**Material Specifications:** All materials used, including the Polymer composition, comply with the necessary standards for durability and suitability in septic tank applications.

**Capacity and Dimensions:** The tank's dimensions and baffle placements align with the standard's guidelines, ensuring proper functionality and waste management.

**Access and Maintenance Provisions:** The design includes provisions for easy access, necessary for regular inspection, cleaning, and maintenance in accordance with the standard.

Please feel free to ask for a copy of this complete document, if required.

### Treatment Process

SAFF is a cost-effective method of wastewater treatment and sewage sanitation that is primarily used in residential and commercial complexes particularly for small to medium sized treatment plants where available land is limited, and where full-time operational manning would be uneconomical. A well designed Submerged Aerobic Fixed Film (SAFF) plant has no moving parts within its process zones, any serviceable items will be positioned to access easily without disrupting the ongoing treatment.

#### Primary Septic Tank

Influent enters this chamber from the source whereby larger solids settle into the bottom of the primary tank and are removed periodically as sludge, and where other buoyant material (oils and fats) float upward to form a 'crust' that is essential to trap and retain septic odours. The primary tank is a simple settling and scum retention module in which the accumulating sludge in the base of the tank biodegrades and consolidates slowly under the action of facultative and anaerobic microorganisms. The primary tank module is fitted with an outlet filter which is a very effective and relatively low-cost filter that is fitted to the outlet of the primary tank and leads to a considerable improvement in the performance of the whole wastewater treatment system.

#### Aeration Module

Influent enters from the Primary Chamber where the excess biodegradable Organic Matter is degraded by the biomass on the SAFF media. Air is introduced into this chamber via an air blower to create an environment for aerobic bacteria to multiply and flourish. SAFF reactor is a type of aerobic attached growth treatment process with a small footprint area, stable process, lesser sludge production and modular installations which are the key features of the SAFF process. Essentially SAFF system is a hybrid reactor where attached growth and suspended growth activity takes place simultaneously.

#### Clarification Chamber

Is essentially a quiescent zone where the activated sludge is 'settled out' and returned to the primary tank via a sludge return system. These particles aid in further biological reduction, denitrification and provides a constant food supply rich in microbes supporting the system through periods of limited flows.

# ET32P

## System Specifications & Installation Instructions

### Effluent Quality

The Econotreat ET32P Series wastewater treatment system generates advanced secondary treated effluent of the following quality provided that there are no inhibitory or toxic substances within the wastewater that will impair the biological performance of the system:

- 5-day Biochemical Oxygen Demand (BOD5) 15 mg/L
- Suspended solids 15 mg/L

Note: Please read Guidelines on how to care for your EconoTreat wastewater system which are to be adhered to at all times.

The treated wastewater will usually be disposed of via a land application system, designed according to AS/NZS 1547:2012 which describes various land application systems for primary treated effluent. Disposal systems must also comply with the relevant Regional Authority rules, and these should be consulted.

### Loading Rates

- Total Daily Flow Rate 2000 L per day
- Organic loading as BOD5 700g per day
- Suspended solids loading 700g per day

**Important: the actual maximum loading of an installed EconoTreat EP32P System is limited to the capacity of the land application system it discharges to. For example if the land application system is designed with a capacity of 800L per day, then the EP32P System must not be loaded at more than 800L per day.**

#### Dual Chamber Septic Tank

3200L Nominal Capacity  
2000mm Diameter  
2038mm High

#### Aeration Tank

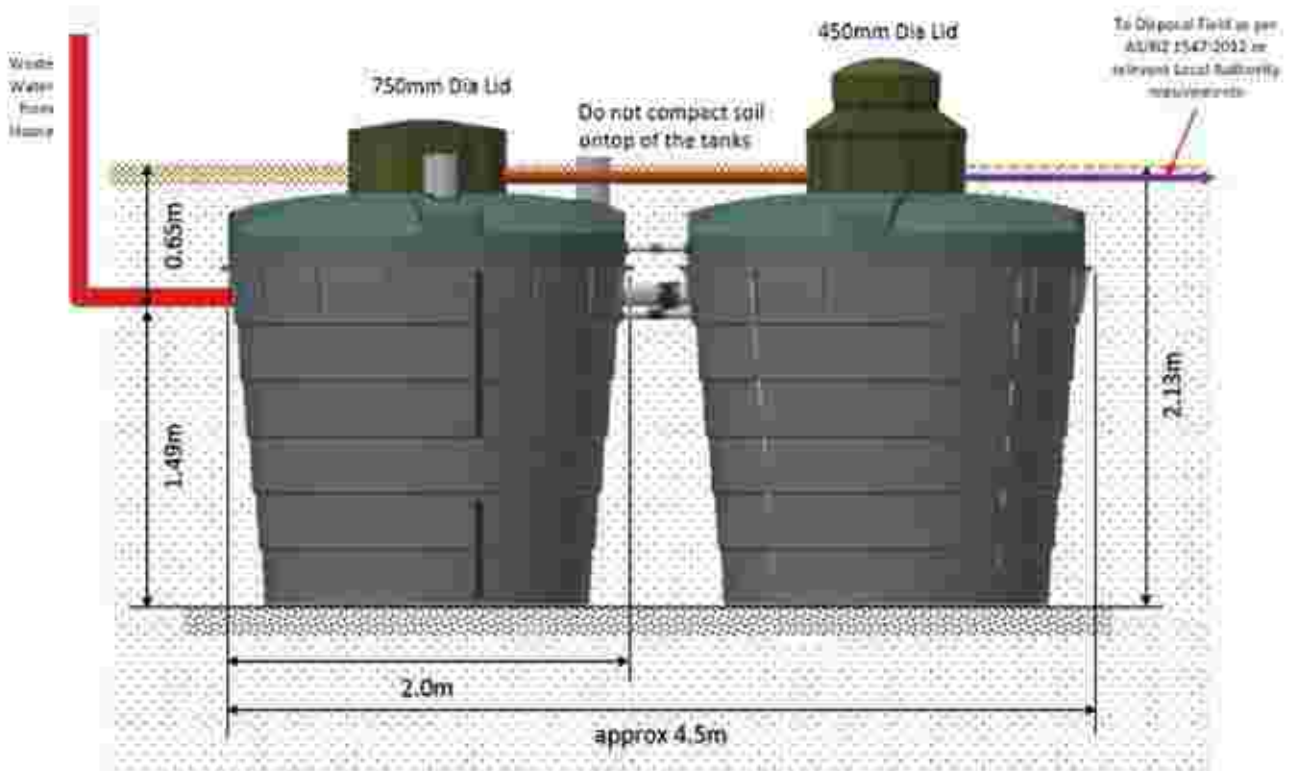
3200L Nominal Capacity  
2000mm Diameter  
2038mm High

#### Pump Chamber

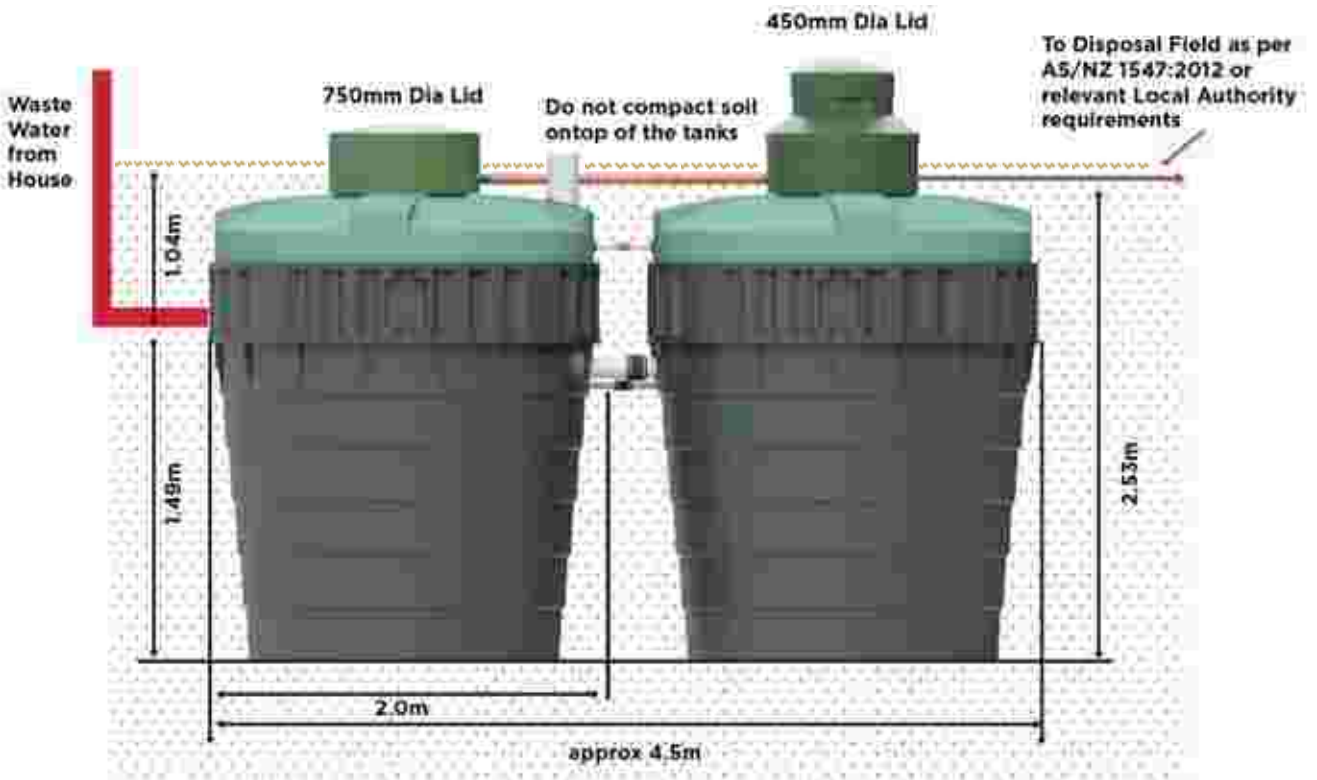
780mm Diameter  
1200mm High  
350L Nominal Capacity

(Located in the center of the Septic Tank)

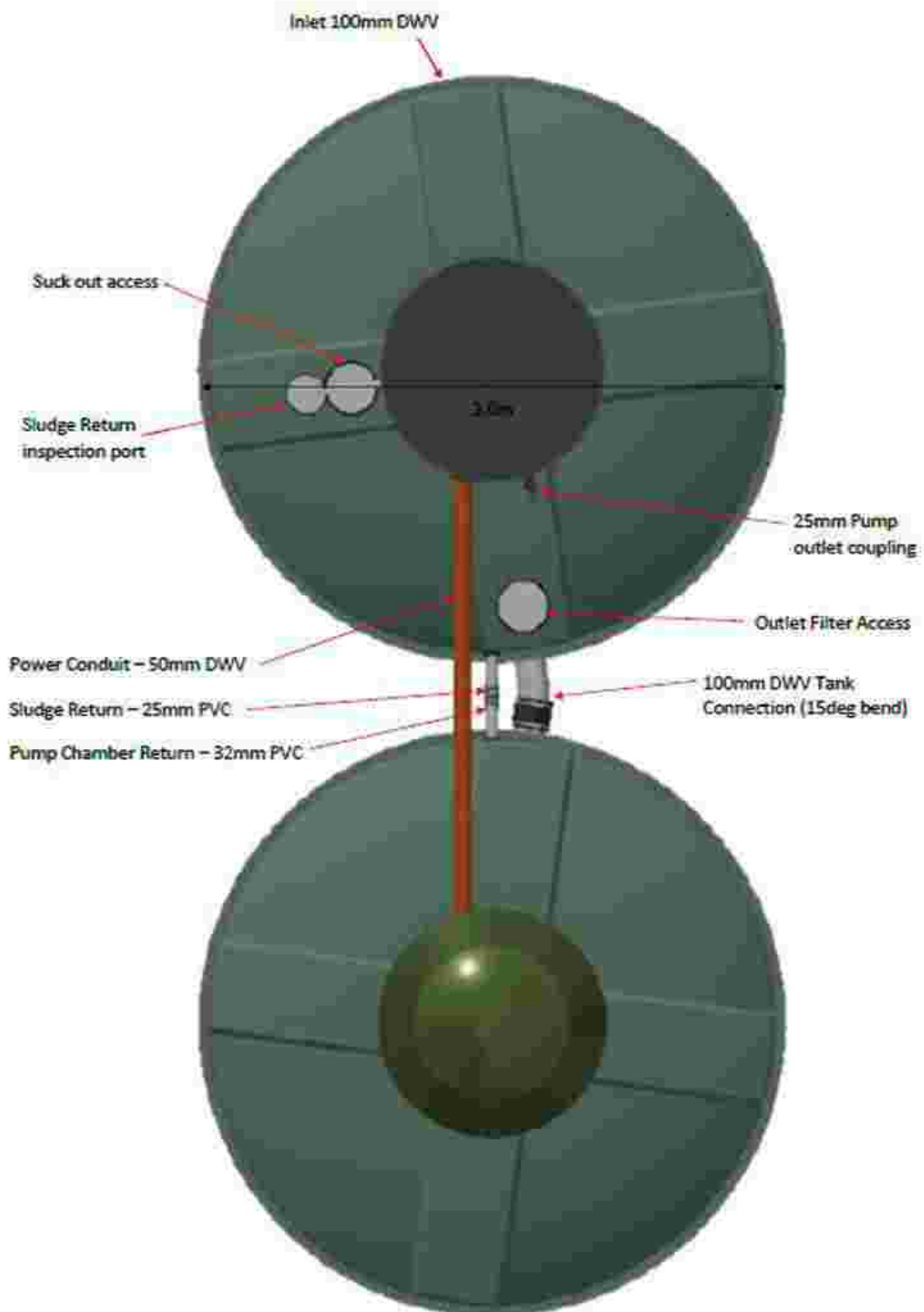
## Schematic Drawings



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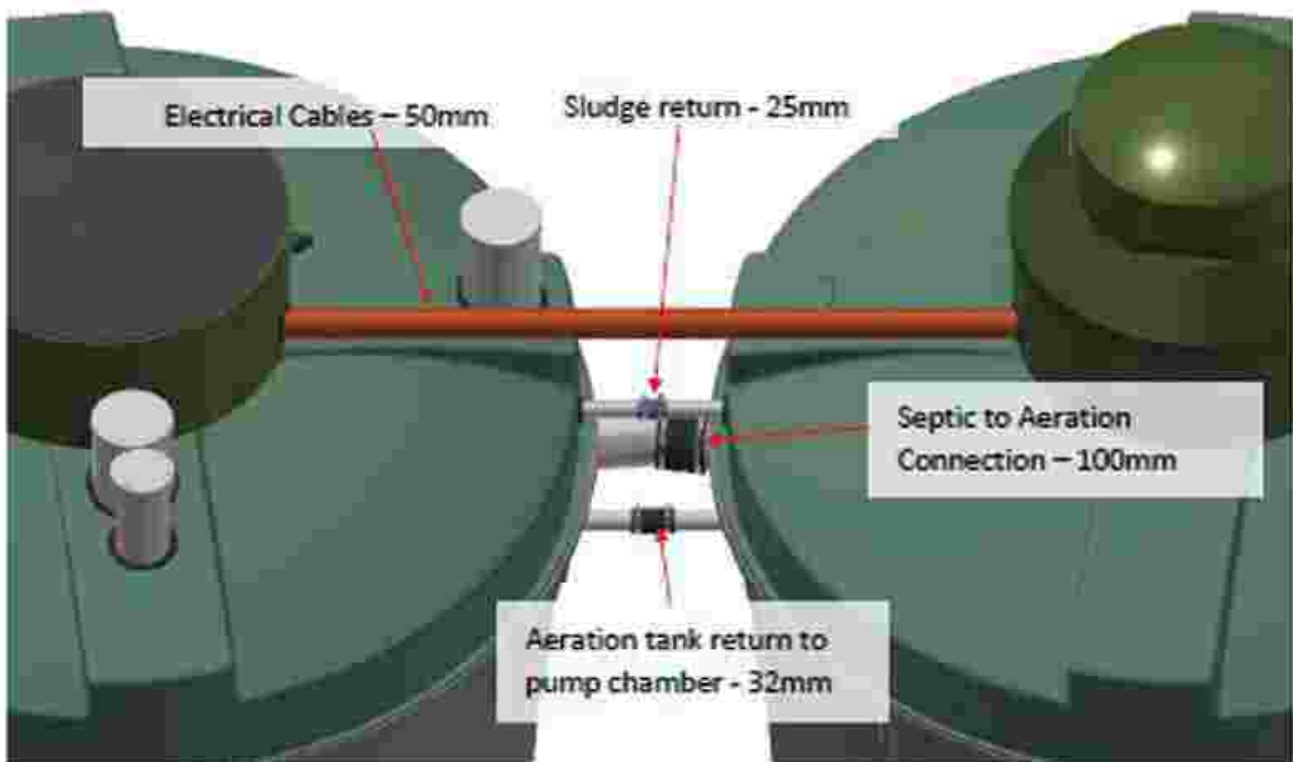
### Top View



## Instructions for Installation

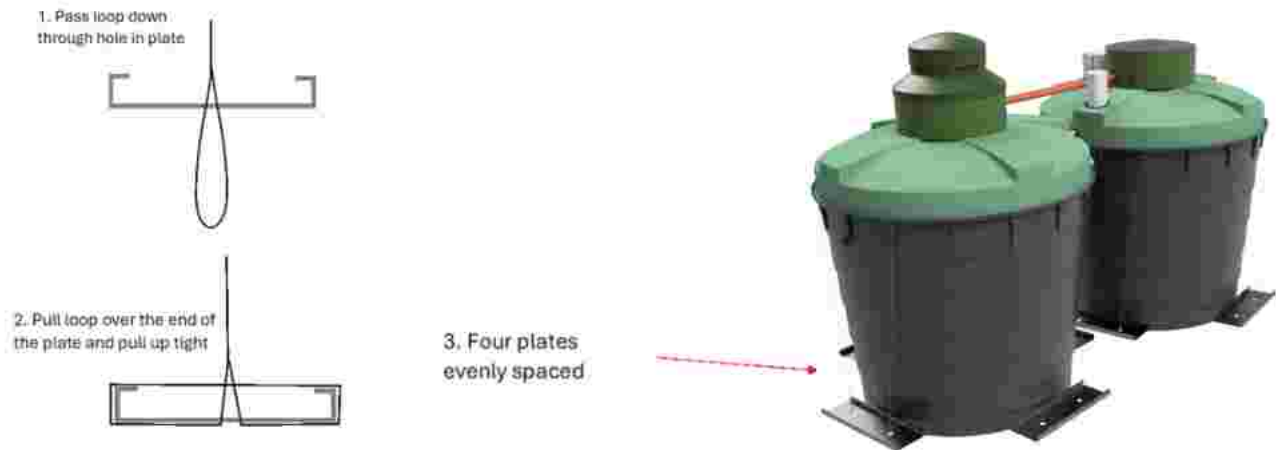
**The EconoTreat system is to be installed or signed off by a registered Drain layer to the design specified by Waterflow NZ Ltd. The following installation instructions and procedures followed correctly will ensure System performance is not compromised in any way.**

1. Excavate two 2.5m x 2.5m level platforms at an appropriate depth to ensure adequate fall for inlet pipe from the source or dwelling. This has to be installed on virgin ground. The two platforms need to be on the same level and close to each other.
2. Where possible excavate a trench away from the System and lay a drain coil and drainage metal at the base of the System to drain away any surface or ground water.
3. Move the tanks close together so all the pipes meet. Connect each pipe using the rubber couplings supplied and take a photo of them. See diagram below for identification of each pipe.



4. Install 4 anti-floatation plates to hold the modules securely in the ground. Wires should be hanging tight as they are designed to hold the plates 50 - 100mm above the bottom of the tank, as per below image. Take a photo of this before backfilling for Waterflow sign off.

## Instructions for Installation



5. Connect the risers with 50mm DVW. There will be holes already drilled and uniseals supplied.

6. Draw the cables from the pump chamber through to 50mm DWV to the treatment tank. The cables are coiled inside the septic tank.

7. Trench from Dose Chamber outlet to disposal field and lay the 25mm alkathene feed line.

8. Backfill the excavation from the base of the tank with a GAP/PAP 20 metal, dry mixed with cement to form a solid mass, to a minimum of 400mm above the anchor plates. Then continue with metal, clean unsaturated soils or spoil from the excavation, (if suitable i.e. up to Class 4 as per AS/NZS 1547:2012) in approximately 200mm layers. Compact each layer evenly with a mechanical compactor to minimise subsidence and back fill to the level of the invert pipe.

9. Backfill around the pipe work with compacted clean sand/fines then complete back filling up to the maximum level of the backfill lines indicated on the shoulder of the tank or in the product specification sheet supplied.

10. Ensure the area around the tank is free draining and sloping away in all directions, to ensure that any rain or surface runoff will not pond on or near the tank.

11. Do not cover the top of the System with heavy soils but you can cover with a layer of topsoil, bark mulch or similar media material.

# ET32P

## System Specifications & Installation Instructions

### Installation Location and Certification

These tanks are not designed for vehicle loads and shall be located no closer than 2m to a driveway, road frontage or a building. If for any reason the tank is located where vehicle traffic may drive over the tank or approach closer than 2m, or where it may be trampled on by farm stock then the tank should be protected by a concrete slab designed to support these loads. Surface water must also be diverted from flowing into the installation.

Installation must be certified to AS/NZS 1547:2012, the certificate to be issued and held by the regulatory authority.

### High Water Table Installations

All tanks have been engineered and designed for maximum strength, in accordance with the NZC 3604. Clauses B1 and B2 for structure and durability, to withstand any hydraulic pressures, both lateral and uplift, created by high water table conditions.

In high water table installations, it is important to fill the tanks with water. This removes the hydraulic uplift and simplifies the installation. In extremely high-water tables, cement can be added to fine metal to create a mass around the dead men anchors secured to the tanks (alternately concrete could be used). Waterflow must be made aware of this early on in view of supplying a tank that is fit for purpose.

### Plumbing Pipes and Fittings

All internal plumbing is done with PVC pipes with appropriate connections according to AS/NZS 1260 and AS/NZS 4130.

### Alarm System

The VBB-P-2000 System is equipped with an AS/NZS 1546.3 compliant audible and visual alarm with a mutable alarm signal and alarm light. The alarm panel must be mounted in a location that is readily visible within the dwelling.

Alarm is triggered by a high-level float switch in the pump well.

# ET32P

## System Specifications & Installation Instructions



### Backfill and Bedding

Backfill the excavation from the base of the tank with a GAP/PAP 20 metal, dry mixed with cement to form a solid mass, to a minimum of 400mm above the anchor plates. Then continue with metal, clean unsaturated soils or spoil from the excavation, (if suitable i.e. up to Class 4 as per AS/NZS 1547:2012) in approximately 200mm layers. Compact each layer evenly with a mechanical compactor to minimise subsidence and back fill to the level of the invert pipe.

### Electrical

Where a pump is required to dose the Land Application System, all electrical connections must be installed according to AS/NZS 3000. The electrical connections are housed in an enclosure on the top of the tank. Please see separate Electrical Guide for more details.

# ET32P

## System Specifications & Installation Instructions



### Warranty

WATERFLOW NZ LTD warrants that all Treatment Systems manufactured by WaterFlow NZ Ltd will be free from defects in materials and workmanship for the following periods from the date of installation, under the following conditions:

1. Plastic-Moulded tanks: 15 years
2. Concrete Tanks: 15 years
3. Filter Media: 5 years
4. Dosing float: 2 years
5. Electrical Components and Pump: 2 years

WATERFLOW NZ LTD will, at its discretion, repair or replace any defective components with the same or equivalent part at no charge to the consumer, in accordance with the following terms and conditions laid out in the WaterFlow NZ's Warranty Certificate. Full text warranty available on request.

1st June 2025  
Dean Hoyle  
Managing Director



# WaterFlow

Bringing Clarity to Wastewater

Our team of wastewater experts are here to help.  
Let's see if Econotreat could be right for your backyard.

*Smarter wastewater and sewage systems, for a  
cleaner New Zealand.*

**0800 628 356**

**[www.waterflow.co.nz](http://www.waterflow.co.nz)**

**[sales@waterflow.co.nz](mailto:sales@waterflow.co.nz)**

ET-32P-SpecInstall-250516

# ECONOTREAT™





# ECONOTREAT™

Advanced Secondary Treatment  
Aerated Wastewater System



Owner's  
Manual

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# EconoTreat Wastewater Systems

## Owner's Manual

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# EconoTreat Wastewater Systems

## Owner's Manual

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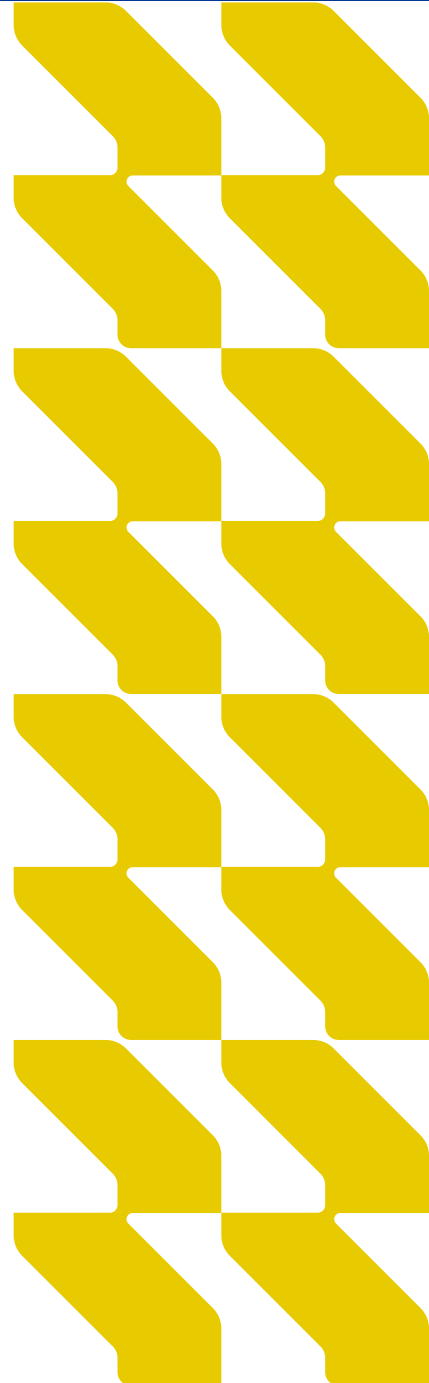
### To the Owner

Thank you for choosing an EconoTreat System to treat and care for your on-site sewage and wastewater.

Your EconoTreat System is fully automatic in operation and requires little owner intervention to ensure years of service. It is useful that the owner/operator of the system understand some of the broad concepts of the system operation. This manual has been written to provide this simple explanation and to serve as a future reference so that you can ensure that the system is operating effectively at all times.

We encourage you to monitor and care for your EconoTreat system with our backing and support. By doing so you will learn how your system works and operates and how to keep it in top working order. WaterFlow promises consistent results year after year.

Kind regards,  
The Waterflow Team



# EconoTreat Wastewater Systems

## Owner's Manual

### WaterFlow NZ Ltd Warranty

WATERFLOW NZ LTD warrants that the Waterflow NZ System will be free from defects in materials and workmanship for the following periods from the date of installation, under the following conditions:

1. Plastic-Moulded tanks: 15 years
2. Concrete Tanks: 15 years
3. Filter media: 5 years
4. Dosing float: 2 years
5. Electrical components and Pump: 2 years

WATERFLOW NZ LTD will, at its discretion, repair or replace any defective components with the same or equivalent part at no charge to the consumer, in accordance with the full terms.

**Note: Full warranty document available at your request.**

# EconoTreat Wastewater Systems

## Owner's Manual

### Components of Your Wastewater Septic System

#### Primary Chamber / Tank

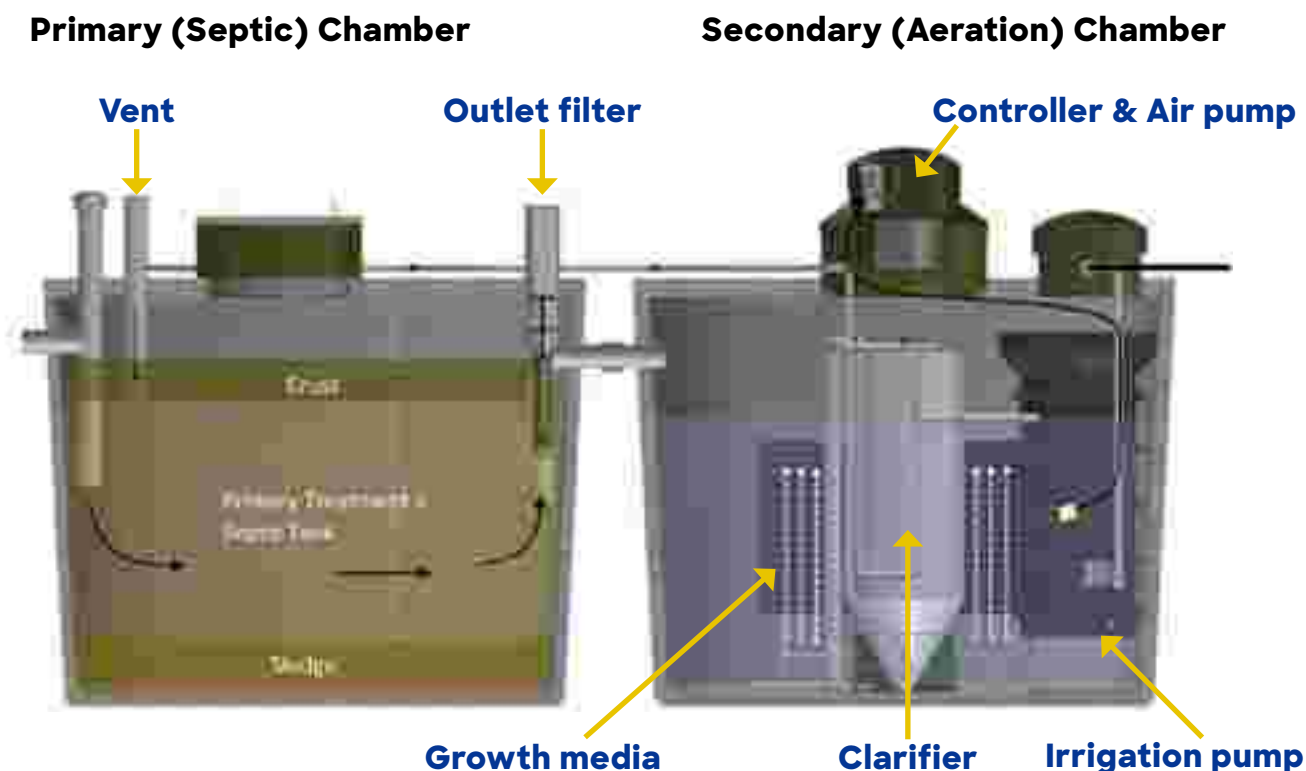
Influent enters the chamber via the source whereby scum and solids capable of settling are separated from the raw influent. Primary treated effluent flows through a transfer port to the aeration tank. This primary tank will also act as a storage chamber for sludge returned from the Clarification Chamber.

#### Aeration Chamber

Water enters from the Primary Chamber. Air is introduced into this chamber via an air blower to create an environment for aerobic bacteria and other helpful organisms to consume the organic matter present. The aeration tank is designed in a manner to help prevent short circuiting of the wastewater to ensure extended aeration. Media is present in the tank to support the growth of bacteria.

#### Clarification Chamber

The Clarification chamber is essentially a quiescent zone where suspended particles/solids are settled out of the water. These particles are returned to the Primary chambers via a sludge return which aids in further biological reduction, denitrification and providing a constant food supply rich in microbes supporting the system through periods of limited flows.



# EconoTreat Wastewater Systems

## Owner's Manual

### Service Agent Role

Your EconoTreat System requires annual service and maintenance inspections unless otherwise specified by local regulations. This will need to be done by our trained technicians. We will phone to arrange a suitable time to attend to your servicing needs. Servicing done by technicians who are not approved by WaterFlow will void your Warranty.

A record sheet (in duplicate) will be completed by our technician at the time of service. One copy is for you the customer and available upon payment, the other copy will be retained for our records.

Please call our office for the cost of servicing after the initial 12-month period.

Servicing includes:

1. A general inspection of tank area, irrigation and drainage.
2. Inspection of electrical equipment including timer, Low powered Blower, irrigation pump, warning lights and connections.
3. Inspection of Pump-out Chamber and septic tank, checking air lines, adjusting air supply (if necessary), operating de-sludging unit, resetting air control, operating submersible switch, checking bio-mass growth, checking sludge level.
4. Inspection of irrigation including lines, jets and outlets. Between 4 - 9 years the tank will need to be de-sludged (pumped out) as with any septic tank. We will notify you of this requirement, as the service technicians will be monitoring sludge depth annually.

# EconoTreat Wastewater Systems

## Owner's Manual

### Owner Care Role

#### Did you know...

...that as a homeowner you're responsible to make sure your wastewater system gets the required maintenance needed to protect the investment in your home? This guide will help you care for your wastewater system. It will help you understand how your system works and what steps you can take as a homeowner to ensure your system will work efficiently.

The owner is greatly encouraged to maintain a monthly visual check of the operation of their system and to make sure their land application systems are maintained in good condition.

1. Industry recommendation is to have a maintenance contract in place at all times
2. Visual check of treatment system
3. Visual check of land application system
4. Notify your approved service provider of any issues

#### Intermittent Use

There are no precautions to take. Your EconoTreat can be left to function automatically for 6 to 12 months. However, if you are likely to be away from home for more than six months you may like to contact our office, so we can make a routine check.

#### Efficient Water Use - it really does make a difference

Average indoor water use in the typical single-family home is approximately 180ltrs per person per day. The more water a household conserves, the less water enters the septic system. Efficient water use can improve the operation of the wastewater system and reduce any risk of disposal field overload.

#### Washing machines

By selecting the proper load size, you'll reduce wastewater. Washing small loads of laundry on the large-load cycle wastes precious water and energy. If you can't select load size, run only full loads of laundry. N.B. A new Energy Star washing machine uses 35 percent less energy and 50 percent less water than a standard model.

# EconoTreat Wastewater Systems

## Owner's Manual



### Inspection Checklist

When checking the system operation, take particular note of;

1. Remove and clean outlet filter every 3-4 months.
2. Field performance, particularly looking for any undue odours or effluent breakout (flush field lines 2-3 monthly).
3. All electrical parts (if applicable). Ensure all pump alarms are working.
4. Clean disc filter 2-3 monthly (if applicable)

# EconoTreat Wastewater Systems

## Owner's Manual

### Care for your Land Application System (LAS / Disposal Field)

Your disposal field is an important part of your wastewater system. Here are a few things you should do to maintain it:

- Flush driplines regularly – every 3 months recommended
- Mow your disposal field and maintain plantings regularly to ensure access to flushpoints etc.
- Plant only recommended wetland plants over and near your wastewater system. Roots from nearby trees or shrubs might clog and damage the disposal field
- Protect both the treatment system and the disposal field from vehicle traffic, including livestock to avoid damage to the pipes, tank, or other septic system components.
- Do not build any structures over it or seal it with concrete, asphalt etc
- Keep roof drains, basement sump pump drains, and other rainwater or surface water drainage systems away from the disposal field. Flooding the disposal field with excessive water slows down or stops treatment processes and can cause plumbing fixtures to back up
- Trees with very aggressive roots, such as willows, should be kept well away from the disposal field
- A soggy disposal field won't absorb and neutralise liquid waste. Plan landscaping, roof gutters and foundation drains so that excess water is diverted away from the disposal field



# EconoTreat Wastewater Systems

## Owner's Manual

### Effects of Household Cleaning Chemicals

Use of many cleaning chemicals in facilities served by on-site disposal systems, can result in high concentrations of the constituents in those cleaning agents being discharged into the receiving soils. These chemicals and constituents can have a massive impact on the quality and condition of the receiving soils over time.

Many of the chemicals can disrupt soil structure and decrease hydraulic conductivity while others can act as bactericides, destroying the essential micro-organisms required to achieve the high level of biodegradation in the treatment and disposal systems.

The following matters need to be considered when using cleaning agents in a domestic situation:

- Laundry powders are often extremely high in sodium which will destroy the salt balance in the soils. Check the labels for low sodium and phosphorous contents.
- Wastewater flow from dishwashing machines can have an impact on wastewater treatment systems, in terms of the strong cleaning chemicals used, so check labels for low sodium products
- Highly corrosive cleaners (such as toilet and drain cleaners) that have precautionary labels warning users to minimise direct contact, are an indication that they can adversely affect the wastewater treatment system. Up to 1 cup of bactericides such as bleach can be sufficient to impact on all the micro-organisms/bugs in a septic system.

# EconoTreat Wastewater Systems

## Owner's Manual

### Substitutes For Household Cleaning Chemicals

Use of the following readily biodegradable substitutes for common potentially harmful household cleaning chemicals will reduce the stress on any wastewater system, significantly enhance the performance of the whole system and increase the life of the land application system, while reducing the potential effects of the receiving soils.

#### **General Cleaners**

Use soft soap cleaners and bio-degradable cleaners and those low in chlorine levels. Contact us for a new biological cleaner that will help you system.

#### **Ammonia-Based Cleaners**

Instead sprinkle baking soda on a damp sponge.

#### **Disinfectants**

In preference use Borax (sold in most Bin Inn stores): ½ cup in 4-litres of water.

#### **Drain De-Cloggers**

Avoid using de-clogging chemicals. Instead use a plunger or metal snake, or remove and clean trap. Contact us for very effective, worm friendly, drain cleaning products.

#### **Scouring Cleaners and Powders**

Instead sprinkle baking soda on a damp sponge or add 4-Tbs baking soda to 1-Litre warm water. It's cheaper and won't scratch.

#### **Toilet Cleaners**

Sprinkle on baking soda, then scrub with toilet brush.

#### **Laundry Detergent**

Choose one with a zero phosphate content and low in alkaline salts (in particular, a low sodium level) and no chlorine.

# EconoTreat Wastewater Systems

## Owner's Manual

### Do's and don'ts

#### DO

- If your system requires power supply make sure this remains on continuously
- Wipe and bin your fats and frying oils rather than rinsing them down the drain
- Check faucets and toilets for leaks; make repairs if necessary
- Use low flush toilets where possible
- Use a 'displacer' to reduce the amount of water needed to flush older toilets
- Use aerators on faucets and flow reducer nozzles on showers to help lower water consumption
- Reduce water levels for small loads of laundry
- Wait until the dishwasher is full to run it
- Perform regular monthly visual checks of your system and field
- Keep records of all maintenance undertaken on the wastewater systems

#### DO NOT

- Switch off power unless servicing
- Use cleaners high in chlorine, phosphorous or ammonia in toilets or kitchen sink
- Pour any toxic/strong chemicals (paint, oil, grease, paint thinners or pesticides) down any drains
- Pour strong or large volumes of acid down any drains. These include: vinegar, brine, lemon juice.
- Flush down your toilet - Dental floss, feminine hygiene products, diapers, wipes, cotton swabs, cigarette butts, cat litter, dog poo, and other kitchen and bathroom items. Flushing household chemicals, gasoline, oil, pesticides, antifreeze, and paint can also stress or destroy the biological treatment taking place in the system or might contaminate surface or ground waters.
- Discard any drugs down the sink or toilet
- Alter or add any part of your system without Waterflow NZ LTD's approval

# EconoTreat Wastewater Systems

## Owner's Manual

### Troubleshooting

To ensure the most effective operation of your EconoTreat System you should familiarise yourself with the contents of this manual. The system has a high-water level and air failure alarm that can be muted as per AS/NZS 1546.3:2008. The mute function will automatically reset to audible in 24hrs. The EconoTreat has been designed to include additional safety margins and minor mishaps and normal household usage will not usually affect the operation of the system.

However, if the alarm sounds or strong odours persist, please call your service

<b>Problem</b>	<b>Potential Cause(s)</b>	<b>Remedial Action(s)</b>
<b>Alarm sounds (will indicate air or water alarm)</b>	Irrigation pump not working Air supply not working No power at the tank Blocked Septic filter	Check power source and wriggle pipe from pump to ensure float is not stuck Check water levels Listen for the air compressor Clean septic outlet filter Check your fuse board Open the taps on your drip field to assist water exiting faster High level float switch in the pump well may be triggered - the alarm will reset after the water level in the sump subsides If your system has a disc filter, remove and clean it If everything all looks to be ok, it may be a faulty alarm sensor (mute alarm and contact your service provider.
<b>Water around tank</b>	System overflowing Blocked outlet filter Storm/Surface water	Check there is power on at the system Remove and clean outlet filter Divert Storm/Surface water away from the system
<b>Excessive foaming</b>	Too much laundry detergent Too many washes	Use recommended quantities Spread wash loads over different days

# EconoTreat Wastewater Systems

## Owner's Manual

Problem	Potential Cause(s)	Remedial Action(s)
<b>Persistent odours</b>	<p>Too much water usage</p> <p>Excessive chemicals in use</p> <p>Gully traps dried out or non-existent (if the bathroom does not get used often, the water can evaporate out of a gully trap allowing odour to escape into the house).</p>	<p>Add biologic starter pack</p> <p>Install water saving devices</p> <p>Stop fats, oils, and grease going down the drain</p> <p>Reduce water usage or install water saving devices</p> <p>Avoid using nasty chemicals (Eco store, Earthwise, Ecobeings and Dishpod are great options)</p> <p>Run water down drain to ensure gully trap is blocking odour</p> <p>System will recover</p>
<b>Irrigation system not working</b>	<p>Irrigation pump not working</p> <p>Irrigation lines kinked or blocked</p> <p>Saturated areas at the end of the irrigation field</p>	<p>Check power source and wriggle pipe from pump to ensure float is not stuck</p> <p>Locate all flush valves, check if water is exiting</p> <p>Flush irrigation line and remove kinks or blockages</p> <p>Turn flush valves off to avoid further saturation</p> <p>Check if any large machinery has driven over / near it</p>
<b>Water ponding on irrigation field</b>	<p>Storm/Surface water</p> <p>Irrigation line blocked</p> <p>Excessive water use</p>	<p>Install water saving devices</p> <p>Repair irrigation pipe</p> <p>Redirect any surface water away from the irrigation field</p>
<b>Household drains gurgling</b>	<p>Blocked drain to the tank</p> <p>Check your main switchboard that the power to the system is on</p> <p>Check water levels, if flooded then a technician may be needed to investigate further</p>	<p>Check and make sure you can see the inlet into the tank. If you can you have a drainage issue.</p> <p>Send pictures of the inside of the tank to <a href="mailto:service@waterflow.co.nz">service@waterflow.co.nz</a> to arrange an inspection</p> <p>Please limit water usage until we can come to site</p> <p>Stop and fats, oils, or grease going down the drain</p>

# ECONOTREAT™

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**Need a hand? We're here to help.**

**0800 628 356**

**[www.waterflow.co.nz](http://www.waterflow.co.nz)**

**[sales@waterflow.co.nz](mailto:sales@waterflow.co.nz)**





WHAKARATONGA IWI

**FIRE  
EMERGENCY**

NEW ZEALAND

## Non-Reticulated Firefighting Water Supplies, Vehicular Access & Vegetation Risk Reduction Application for New and Existing Residential Dwellings and Sub-Divisions



# Contents

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## Section A - Firefighting Water Supplies and Vegetation Risk Reduction Waiver

***“Fire and Emergency New Zealand strongly recommends the installation of automatic fire detection system devices such as smoke alarms for early warning of a fire and fire suppression systems such as sprinklers in buildings (irrespective of the water supply) to provide maximum protection to life and property”.***

### Waiver Explanation Intent

Fire and Emergency New Zealand [FENZ] use the New Zealand Fire Service [NZFS] Code of Practice for firefighting water supplies (SNZ PAS 5409:2008) (The Code) as a tool to establish the quantity of water required for firefighting purposes in relation to a specific hazard (Dwelling, Building) based on its fire hazard classification regardless if they are located within urban fire districts with a reticulated water supply or a non-reticulated water supply in rural areas. The code has been adopted by the Territorial Authorities and Water Supply Authorities. The code can be used by developers and property owners to assess the adequacy of the firefighting water supply for new or existing buildings.

The Area Manager under the delegated authority of the Fire Region Manager is responsible for approving applications in relation to firefighting water supplies. The Area Manager may accept a variation or reduction in the amount of water required for firefighting for example; a single level dwelling measuring 200<sup>m</sup><sup>2</sup> requires 45,000L of firefighter water under the code, however the Area Managers in Northland have excepted a reduction to 10,000L.

This application form is used for the assessment of proposed water supplies for firefighting in non-reticulated areas only and is referenced from (Appendix B – Alternative Firefighting Water Sources) of the code. This application also provides fire risk reduction guidance in relation to vegetation and the 20-metre dripline rule under the Territorial Authority’s District Plan. Fire and Emergency New Zealand are not a consenting authority and the final determination rests with the Territorial Authority.

For more information in relation to the code of practice for Firefighting Water supplies, Emergency Vehicle Access requirements, Home Fire Safety advice and Vegetation Risk Reduction Strategies visit [www.fireandemergency.nz](http://www.fireandemergency.nz)

## Section B – Applicant Information

Applicants Information	
Name:	Owen Paterson & Zarak Strongman
Address:	7 Broadview Road, Opua 0200
Contact Details:	021 635 673
Return Email Address:	c/- milton@goingarchitectural.co.nz

## Section C – Property Details

Property Details	
Address of Property:	7 Broadview Road, Opua 0200
Lot Number/s:	Lot 16 DP 79340
Dwelling Size: (Area = Length & Width)	20m x 7.5m, 153m <sup>2</sup> dwelling, plus 45m <sup>2</sup> sleepout
Number of levels: (Single / Multiple)	House = one level, sleepout / garage = two levels

## 1. Fire Appliance Access to alternative firefighting water sources - Expected Parking Place & Turning circle

*Fire and Emergency have specific requirements for fire appliance access to buildings and the firefighting water supply. This area is termed the hard stand. The roading gradient should not exceed 16%. The roading surface should be sealed, able to take the weight of a 14 to 20-tonne truck and trafficable at all times. The minimum roading width should not be less than 4 m and the property entrance no less 3.5 metres wide. The height clearance along access ways must exceed 4 metres with no obstructions for example; trees, hanging cables, and overhanging eaves.*

1 (a) Fire Appliance Access / Right of Way	
Is there at least 4 metres clearance overhead free from obstructions?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Is the access at least 4 metres wide?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Is the surface designed to support a 20-tonne truck?	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Are the gradients less than 16%	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Fire Appliance parking distance from the proposed water supply is 9 metres	

*If access to the proposed firefighting water supply is not achievable using a fire appliance, firefighters will need to use portable fire pumps. Firefighters will require at least a one-metre wide clear path / walkway to carry equipment to the water supply, and a working area of two metres by two metres for firefighting equipment to be set up and operated.*

1 (b) Restricted access to firefighting water supply, portable pumps required
Has suitable access been provided? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Comments: flat

*Internal FENZ Risk Reduction comments only:*

Click or tap here to enter text.

## 2. Firefighting Water Supplies (FFWS)

What are you proposing to use as your firefighting water supply?

2 (a) Water Supply Single Dwelling	
Tank	<input checked="" type="checkbox"/> Concrete Tank <input type="checkbox"/> Plastic Tank <input checked="" type="checkbox"/> Above Ground (Fire Service coupling is required - 100mm screw thread suction coupling) <input type="checkbox"/> Part Buried (max exposed 1.500 mm above ground) <input type="checkbox"/> Fully Buried (access through filler spout) Volume of dedicated firefighting water 10,000litres

2 (b) Water Supply Multi-Title Subdivision Lots / Communal Supply	
Tank Farm	<input type="checkbox"/> Concrete Tank <input type="checkbox"/> Plastic Tank <input type="checkbox"/> Above Ground (Fire Service coupling is required - 100mm screw thread suction coupling) <input type="checkbox"/> Part Buried (max exposed 1.500mm above ground) <input type="checkbox"/> Fully Buried (access through filler spout) Number of tanks provided <a href="#">Click or tap here to enter text.</a> Number of Tank Farms provided <a href="#">Click or tap here to enter text.</a> Water volume at each Tank Farm <a href="#">Click or tap here to enter text.</a> Litres Volume of dedicated firefighting water <a href="#">Click or tap here to enter text.</a> litres

2 (c) Alternative Water Supply	
Pond:	Volume of water: <a href="#">Click or tap here to enter text.</a>
Pool:	Volume of water: 20,000 litres
Other:	Specify: <a href="#">Click or tap here to enter text.</a>
	Volume of water: <a href="#">Click or tap here to enter text.</a>

*Internal FENZ Risk Reduction comments only:*

[Click or tap here to enter text.](#)

### 3. Water Supply Location

The code requires the available water supply to be at least 6 metres from a building for firefighter safety, with a maximum distance of 90 metres from any building. This is the same for a single dwelling or a Multi-Lot residential subdivision. Is the proposed water supply within these requirements?

3 (a) Water Supply Location	
Minimum Distance:	Is your water supply at least 6 metres from the building? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
Maximum Distance	Is your water supply no more than 90 metres from the building? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO

3 (b) Visibility
How will the water supply be readily identifiable to responding firefighters? E.g.: tank is visible to arriving firefighters or, there are signs / markers posts visible from the parking place directing them to the tank etc.
Comments: Signage / markers will be positioned

3 (c) Security
How will the FFWS be reasonably protected from tampering? E.g.: light chain and padlock or, cable tie on the valve etc.
Explain how this will be achieved: Cable tie on the valve

*Internal FENZ Risk Reduction comments only:*

Click or tap here to enter text.

## 4. Adequacy of Supply

*The volume of storage that is reserved for firefighting purposes must not be used for normal operational requirements. Additional storage must be provided to balance diurnal peak demand, seasonal peak demand and normal system failures, for instance power outages. The intent is that there should always be sufficient volumes of water available for firefighting, except during Civil Défense emergencies or by prior arrangement with the Fire Region Manager.*

### 4 (a) Adequacy of Water supply

**Note:** *The owner must maintain the firefighting water supply all year round. How will the usable capacity proposed be reliably maintained? E.g. automatically keep the tank topped up, drip feed, rain water, ballcock system, or manual refilling after use etc.*

Comments:

Water tank will be fitted with a ballcock system to maintain min. supply requirements.

*Internal FENZ Risk Reduction comments only:*

Click or tap here to enter text.

## 5. Alternative Method using Appendix's H & J

*If Table 1 + 2 from the Code of Practice is not being used for the calculation of the Firefighting Water Supply, a competent person using appendix H and J from the Code of Practice can propose an alternative method to determine firefighting water supply adequacy.*

*Appendix H describes a method for determining the maximum fire size in a structure. Appendix J describes a method for assessing the adequacy of the firefighting water supply to the premises.*

### 5 (a) Alternative Method Appendix H & J

If an alternative method of determining the FFWS has been proposed, who proposed it?

Name: Click or tap here to enter text.

Contact Details: Click or tap here to enter text.

Proposed volume of storage?

Litres: Click or tap here to enter text.

Comments:

Click or tap here to enter text.

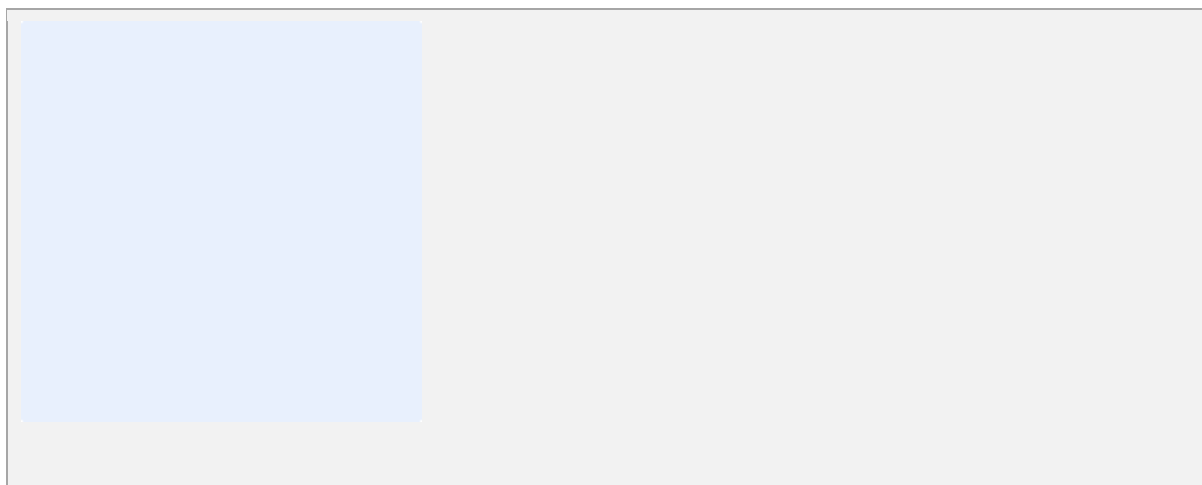
*\* Please provide a copy of the calculations for consideration.*

*Internal FENZ Risk Reduction comments only:*

Click or tap here to enter text.

## 6. Diagram

Please provide a diagram identifying the location of the dwelling/s, the proposed firefighting water supply and the attendance point of the fire appliance to support your application.



*Internal FENZ Risk Reduction comments only:*

Click or tap here to enter text.

## **7. Vegetation Risk Reduction - Fire + Fuel = Why Homes Burn**

*Properties that are residential, industrial or agricultural, are on the urban–rural interface if they are next to vegetation, whether it is forest, scrubland, or in a rural setting. Properties in these areas are at greater risk of wildfire due to the increased presence of nearby vegetation.*

*In order to mitigate the risk of fire spread from surrounding vegetation to the proposed building and vice-versa, Fire Emergency New Zealand recommends the following;*

### *I. Fire safe construction*

*Spouting and gutters – Clear regularly and consider screening with metal mesh. Embers can easily ignite dry material that collects in gutters.*

*Roof – Use fire resistant material such as steel or tile. Avoid butanol and rubber compounds.*

*Cladding – Stucco, metal sidings, brick, concrete, and fibre cement cladding are more fire resistant than wood or vinyl cladding.*

### *II. Establish Safety Zones around your home.*

*Safety Zone 1 is your most important line of defence and requires the most consideration. Safety Zone 1 extends to 10 metres from your home, you should;*

- a) Mow lawn and plant low-growing fire-resistant plants; and*
- b) Thin and prune trees and shrubs; and*
- c) Avoid tall trees close to the house; and*
- d) Use gravel or decorative crushed rock instead of bark or wood chip mulch; and*
- e) Remove flammable debris like twigs, pine needles and dead leaves from the roof and around and under the house and decks; and*
- f) Remove dead plant material along the fence lines and keep the grass short; and*
- g) Remove over hanging branches near powerlines in both Zone 1 and 2.*

### *III. Safety Zone 2 extends from 10 – 30 metres of your home.*

- a) Remove scrub and dead or dying plants and trees; and*
- b) Thin excess trees; and*
- c) Evenly space remaining trees so the crowns are separated by 3-6 metres; and*
- d) Avoid planting clusters of highly flammable trees and shrubs*
- e) Prune tree branches to a height of 2 metres from the ground.*

### *IV. Choose Fire Resistant Plants*

*Fire resistant plants aren't fire proof, but they do not readily ignite. Most deciduous trees and shrubs are fire resistant. Some of these include: poplar, maple, ash, birch and willow. Install domestic sprinklers on the exterior of the sides of the building that are less 20 metres from the vegetation. Examples of highly flammable plants are: pine, cypress, cedar, fir, larch, redwood, spruce, kanuka, manuka.*

*For more information please go to <https://www.fireandemergency.nz/at-home/the-threat-of-rural-fire/>*

*If your building or dwelling is next to vegetation, whether it is forest, scrubland, or in a rural setting, please detail below what Risk Reduction measures you will take to mitigate the risk of fire development and spread involving vegetation?*

### **7 (a) Vegetation Risk Reduction Strategy**

Proposed trimming back of existing trees from all buildings - as per site plan. Proposed new cladding is fire resistant / fibre cement weatherboards.

*Internal FENZ Risk Reduction comments only:*

Click or tap here to enter text.

## 8. Applicant

Checklist	
<input checked="" type="checkbox"/>	Site plan (scale drawing) – including; where to park a fire appliance, water supply, any other relevant information.
<input checked="" type="checkbox"/>	Any other supporting documentation (diagrams, consent).

I submit this proposal for assessment.

Name: Milton Going Dated: 26/032026

Contact No.: 0274780009

Email: milton@goingarchitectural.co.nz

Signature: MG

## 9. Approval

*In reviewing the information that you have provided in relation to your application being approximately a [Click or tap here to enter text.](#) square metre, Choose an item. dwelling/sub division, and non-sprinkler protected.*

*The Area Manager of Fire and Emergency New Zealand under delegated authority from the Fire Region Manager, Te Hiku, has assessed the proposal in relation to firefighting water supplies and the vegetation risk strategy. The Manager [Choose an item.](#) agree with the proposed alternate method of Fire Fighting Water Supply and vegetation risk reduction strategies proposed by the applicant.*

Name: [Click or tap here to enter text](#)

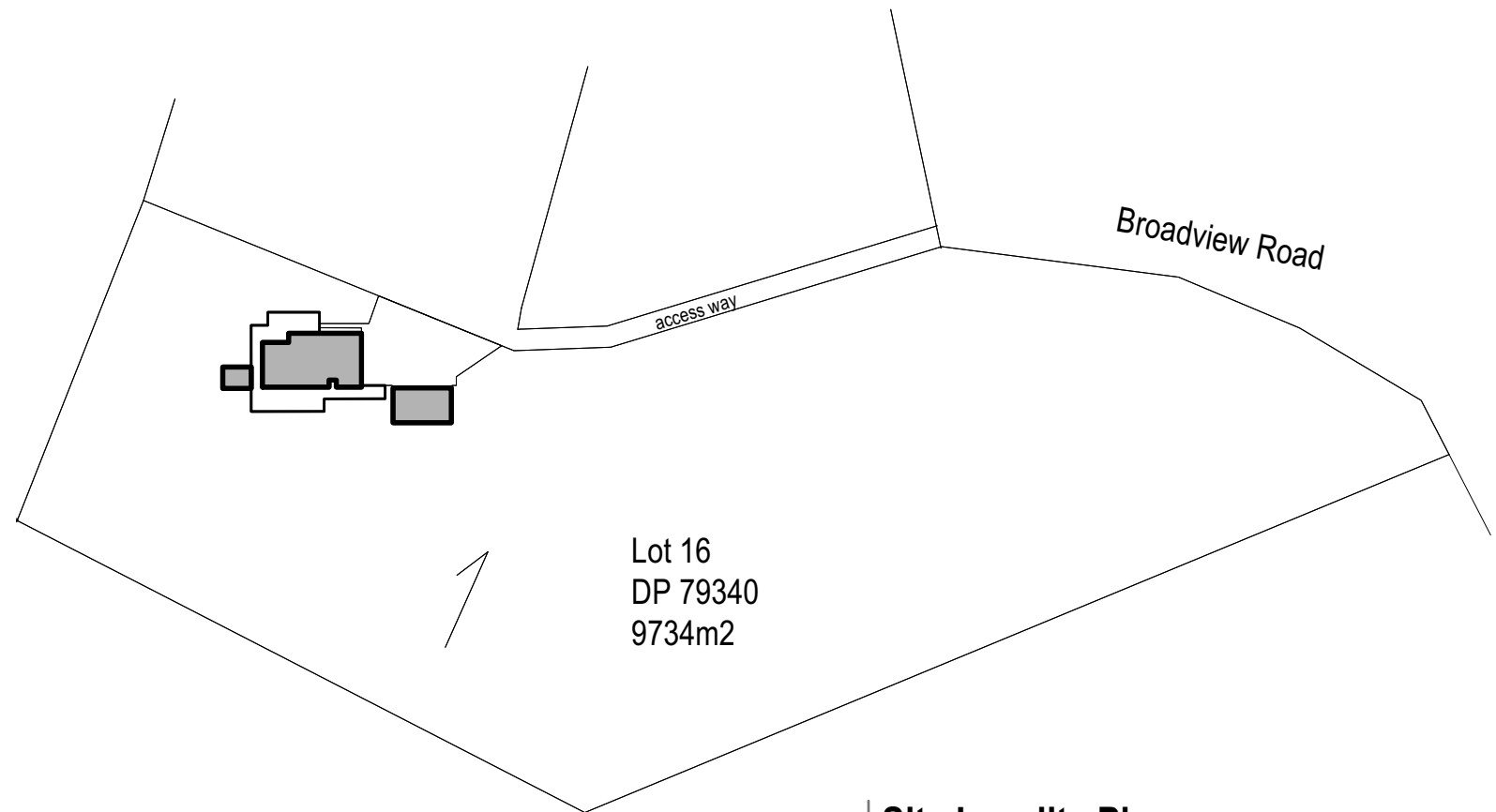
Signature: [Click or tap here to enter](#)

P.P on behalf of the Area Manager

Fire and Emergency New Zealand  
Te Tai Tokerau / Northland District

**APPROVED**  
By GoffinJ at 9:32 am, Mar 31, 2026

Jason Goffin- Advisor Risk  
Reduction



**1** | **Site Locality Plan**  
Scale: 1:1000

# Proposed Addition & Alterations 7 Broadview Road, Opuia 0200

**O. Paterson & Z. Strongman**

## Drawing List

Sheet:		Rev:
Design Sheets		
A-01	Cover Page	None
A-02	Site Plan_Existing	
A-03	Site Plan_Proposed	
A-03a	Site Plan_Proposed_FFWS	
A-04	House_Floor Plans_Existing	
A-04	House_Floor Plans_Existing	
A-05	House_Elevations_Existing	
A-06	Garage_Elevations_Existing	
A-07	Perspectives_Existing	
A-08	House_Floor Plans_Proposed	None
A-09	House_Elevations_Proposed	
A-10	House_Elevations_Proposed	
A-11	House_Perspectives_Proposed	
A-12	Sleepout_Plans_Proposed	
A-13	Sleepout_Elevations_Proposed	

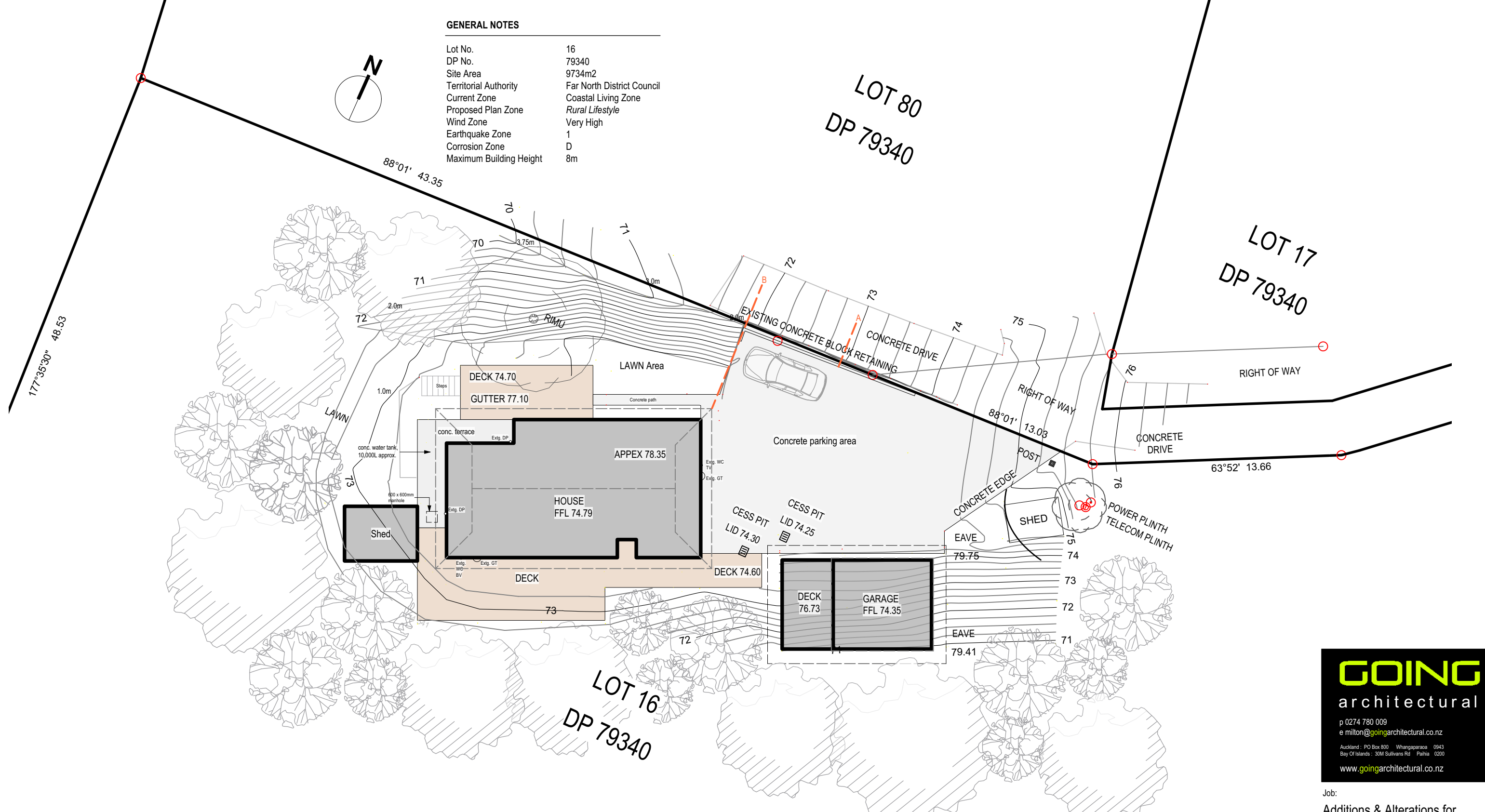
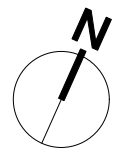


Job:  
**Additions & Alterations for  
O. Paterson & Z. Strongman**  
Address:  
**7 Broadview Road  
Opuia 0200**

Dwg:	Cover Page	
Date:	26/03/2026	Rev:
Ref:	23-02	Scale: As Noted
Dwn:	VM	Ckd: MG
Sheet:	A-01	Of: 14

**GENERAL NOTES**

Lot No. 16  
 DP No. 79340  
 Site Area 9734m<sup>2</sup>  
 Territorial Authority Far North District Council  
 Current Zone Coastal Living Zone  
 Proposed Plan Zone Rural Lifestyle  
 Wind Zone Very High  
 Earthquake Zone 1  
 Corrosion Zone D  
 Maximum Building Height 8m



**BUILDING COVERAGE**

Existing House = 100.3m<sup>2</sup>  
 Existing Garage & Sleepout = 63.6m<sup>2</sup>  
 Existing Shed = 12.0m<sup>2</sup>

Total Area = 175.9m<sup>2</sup>

**IMPERMEABLE SURFACES**

Existing House = 138.9m<sup>2</sup>  
 Existing Garage & Sleepout = 63.6m<sup>2</sup>  
 Existing Shed = 12.0m<sup>2</sup>  
 Driveway = 160.0m<sup>2</sup>

Total Area = 374.5m<sup>2</sup>  
 Percentage = 3.8%

Requirement = 10% max., compliant

**1 | Site Plan\_Existing**  
 Scale: 1:200

**GOING**  
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 e milton@goingarchitectural.co.nz

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 Bay Of Islands - 30M Sullivan Rd Pahiia 0220

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Job:  
 Additions & Alterations for  
 O. Paterson & Z. Strongman

Address:  
 7 Broadview Road  
 Opua 0200

Dwg: Site Plan\_Existing

Date:	26/03/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-02	Of:	14

**GENERAL NOTES**

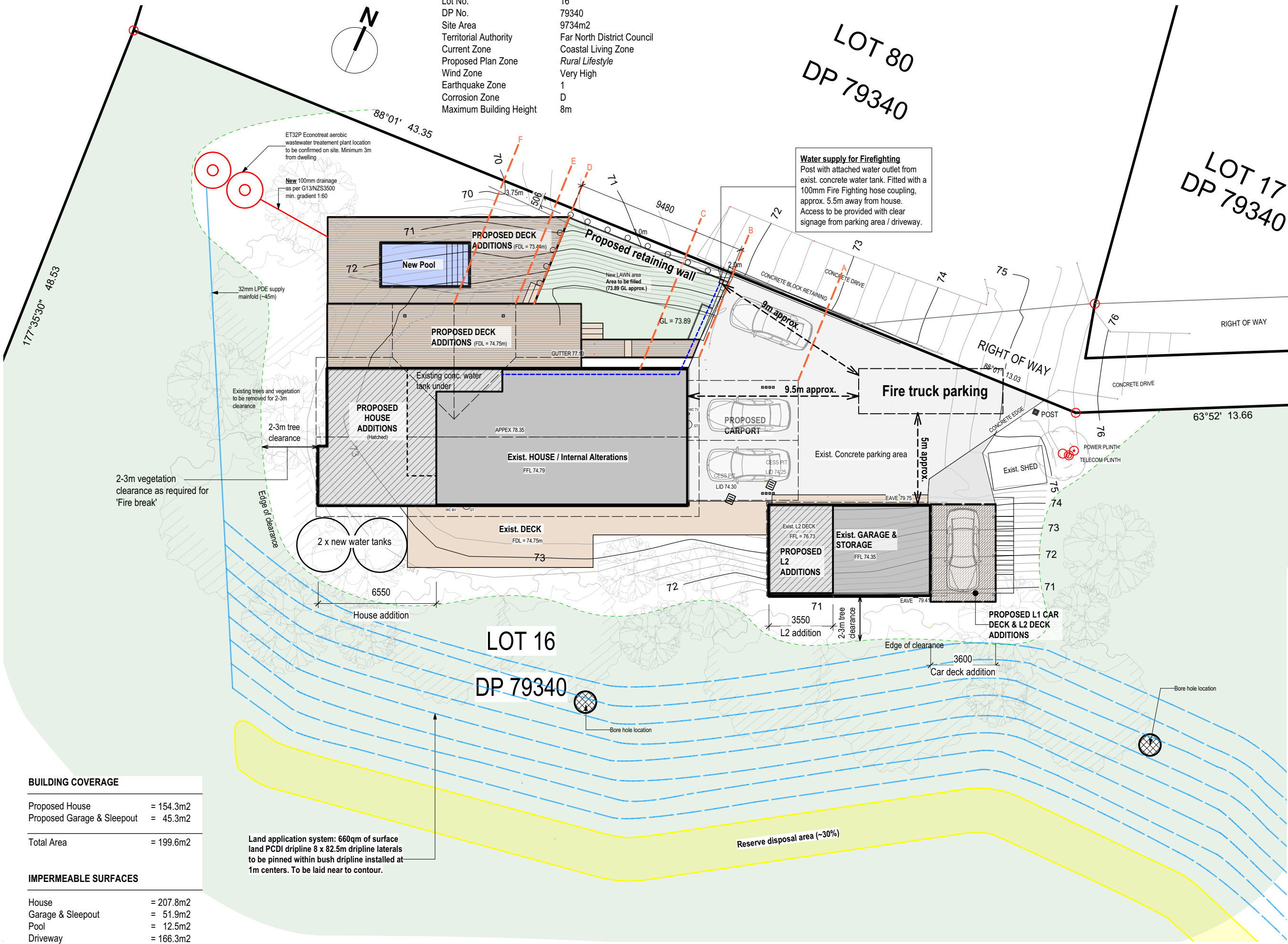
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 Wind Zone Very High  
 Earthquake Zone 1  
 Corrosion Zone D  
 Maximum Building Height 8m

**Earthworks / site preparation**  
 Site to be cleared of topsoil for flat building platform.  
 All topsoil to be retained on site for reinstatement.

**Construction Hazards / Site Safety**  
 Building site area to be enclosed with 1.8m high temporary steel and mesh safety barriers along open boundary lines in accordance with NZBC F5 ensuring restricted access to children, & allowing controlled access for contractors, territorial authority or authorised personnel only.

Ensure all on site Hazards are clearly identified and listed on Hazard Site Boards.

**Drainage**  
 All drainage is to comply with NZS/AS3500 & NZ Building Code.  
 Confirm location & position of all drains on site.  
 Pipe junctions 45 degree or swept bends.  
 All downpipes 80mm dia sized to table NZBC E1 surface water, and stormwater drainage laid as per E1/AS1.



BUILDING COVERAGE	
Proposed House	= 154.3m <sup>2</sup>
Proposed Garage & Sleepout	= 45.3m <sup>2</sup>
<b>Total Area</b>	<b>= 199.6m<sup>2</sup></b>

IMPERMEABLE SURFACES	
House	= 207.8m <sup>2</sup>
Garage & Sleepout	= 51.9m <sup>2</sup>
Pool	= 12.5m <sup>2</sup>
Driveway	= 166.3m <sup>2</sup>
<b>Total Area</b>	<b>= 438.5m<sup>2</sup></b>

Requirement = 10% max., compliant

Land application system: 660qm of surface land PCDI dripline 8 x 82.5m dripline laterals to be pinned within bush dripline installed at 1m centers. To be laid near to contour.

**1 Site Plan\_Proposed**  
 Scale: 1:200

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Job: Additions & Alterations for O. Paterson & Z. Strongman

Address: 7 Broadview Road  
 Opuia 0200

Dwg: Site Plan\_Proposed\_FFWS

Date: 26/03/2026 Rev:  
 Ref: 23-02 Scale: As Noted  
 Dwn: VM Ckd: MG  
 Sheet: A-03a Of: 14



## NOTICE OF WRITTEN APPROVAL

Written Approval of Affected Parties in accordance with Section 95E of the Resource Management Act

PART A – To be completed by Applicant

Applicant/s Name:

Zarah  
Owen Paterson & Zarah Strongman

Address of proposed activity:

7 Broadview Road, Opua 0200

Legal description:

Lot 16 DP 79340

Description of the proposal (including why you need resource consent):

Proposed additions & alterations to existing house & sleepout, including new decks, pool, and wastewater treatment system.

Resource consent required for sunlight rule breach, setback to boundary breach, fire risk (proximity of surrounding bush).

Details of the application are given in the attached documents & plans (list what documents & plans have been provided to the party being asked to provide written approval):

- |    |   |
|----|---|
| 1. | Setback breach to boundary of existing and proposed retaining walls - sheets A02, A03                       |
| 2. | Sunlight rule breaches from boundary to existing & proposed retaining walls, fencing - sheets A05, A09, A10 |
| 3. | _____   |
| 4. | _____   |
| 5. | _____   |
| 6. | _____   |

**Notes to Applicant:**

1. Written approval must be obtained from all registered owners and occupiers.
2. The **original copy** of this signed form and **signed plans and accompanying documents** must be supplied to the Far North District Council.
3. The amount and type of information provided to the party from whom you seek written approval should be sufficient to give them a full understanding of your proposal, its effects and why resource consent is needed.

PART B – To be completed by Parties giving approval

**Notes to the party giving written approval:**

1. If the owner and the occupier of your property are different people then separate written approvals are required from each.
2. You should only sign in the place provided on this form and accompanying plans and documents if you **fully understand** the proposal and if you **support** or have **no opposition** to the proposal. Council will not accept conditional approvals. If you have conditions on your approval, these should be discussed and resolved with the applicant directly.
3. Please note that when you give your written approval to an application, council cannot take into consideration any actual or potential effects of the proposed activity on you unless you formally withdraw your written approval **before** a decision has been made as to whether the application is to be notified or not. After that time you can no longer withdraw your written approval.
4. Please sign and date all associated plans and documentation as referenced overleaf and return with this form.
5. If you have any concerns about giving your written approval or need help understanding this process, please feel free to contact the duty planner on 0800 920 029 or (09) 401 5200.

Full name/s of party giving approval: TREVOR NOEL SIMPSON

Address of affected property including legal description: 9 BROADVIEW RD LOT 80 OPUA DP 79340

Contact Phone Number/s and email address: Daytime: 0210300444 email: trev.ruth@singtel.co.nz

I am/we are the OWNER(S) / OCCUPIER(S) of the property (circle which is applicable)

*Please note: in most instances the approval of all the legal owners and the occupiers of the affected property will be necessary.*

1. I/We have been provided with the details concerning the application submitted to Council and understand the proposal and aspects of non-compliance with the Operative District Plan.
2. I/We have signed each page of the plans and documentation in respect of this proposal (these need to accompany this form).
3. I/We understand and accept that once I/we give my/our approval the Consent Authority (Council) cannot take account of any actual or potential effect of the activity and/or proposal upon me/us when considering the application and the fact that any such effect may occur shall not be relevant grounds upon which the Consent Authority may refuse to grant the application.
4. I/We understand that at any time before the notification decision is made on the application, I/we may give notice in writing to Council that this approval is withdrawn.

Signature: [Signature] Date: 17-4-26

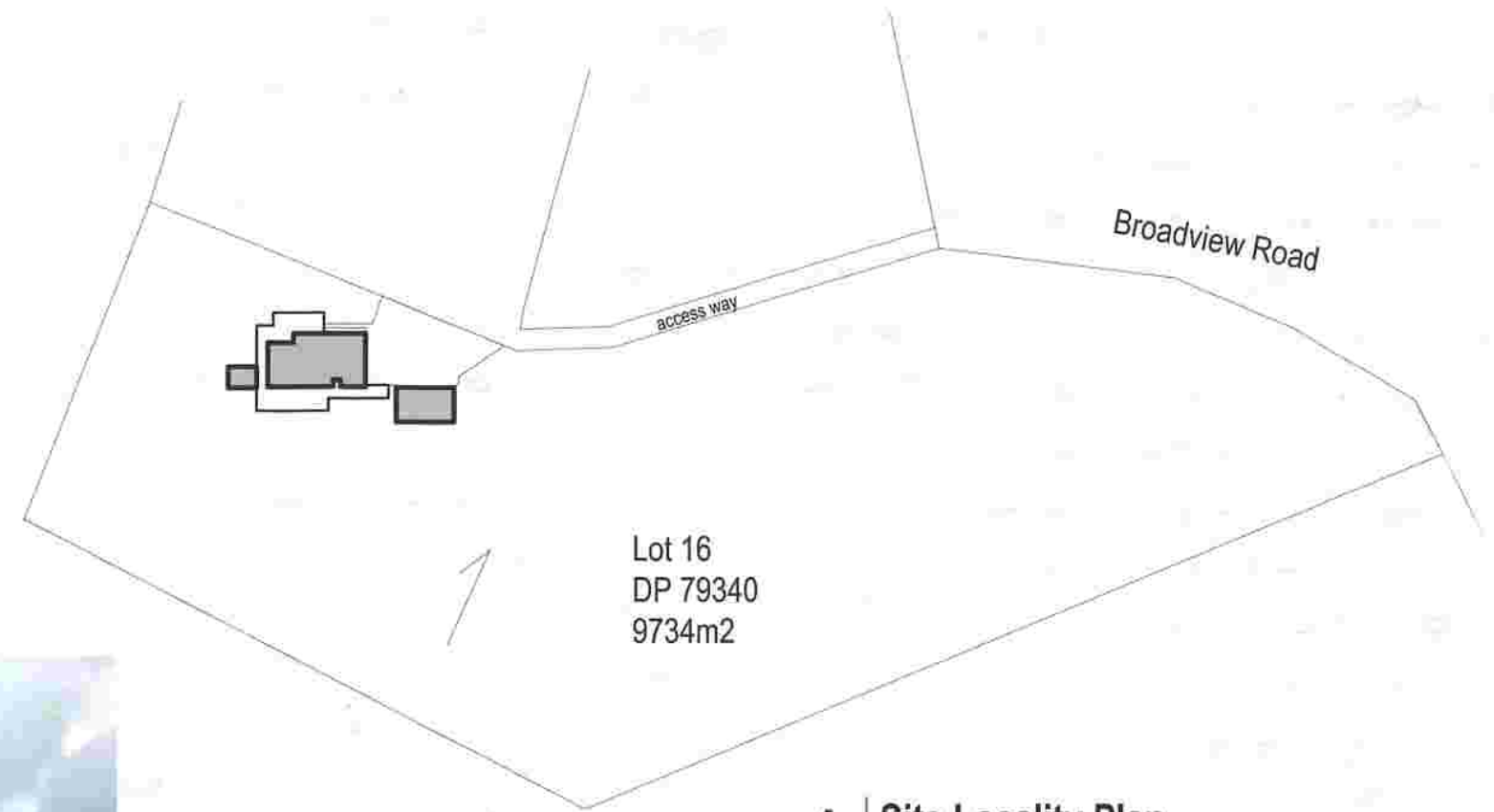
Signature: [Signature] Date: 17-04-2026

Signature: [Signature] Date: [Signature]

Signature: [Signature] Date: [Signature]

# Drawing List

<b>Sheet:</b>		<b>Rev:</b>	
Design Sheets			
A-01	Cover Page	None	
A-02	Site Plan_Existing		
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A-07	Perspectives_Existing		
A-08	House_Floor Plans_Proposed		
A-09	House_Wall Framing Plan_Proposed		
A-10	House_Elevations_Proposed		
A-11	House_Elevations_Proposed		
A-12	House_Perspectives_Proposed		
A-13	Sleepout_Plans_Proposed		
A-14	Sleepout_Elevations_Proposed		
A-15	Garage + Sleepout_Perspectives_Prc		



**1** | **Site Locality Plan**  
Scale: 1:1000



## Proposed Addition & Alterations 7 Broadview Road, Opua 0200

O. Paterson & Z. Strongman

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e milton@goingarchitectural.co.nz

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Bay Of Islands - 304 Salsbery Rd - Pukekohe - 0200  
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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

Dwg: Cover Page

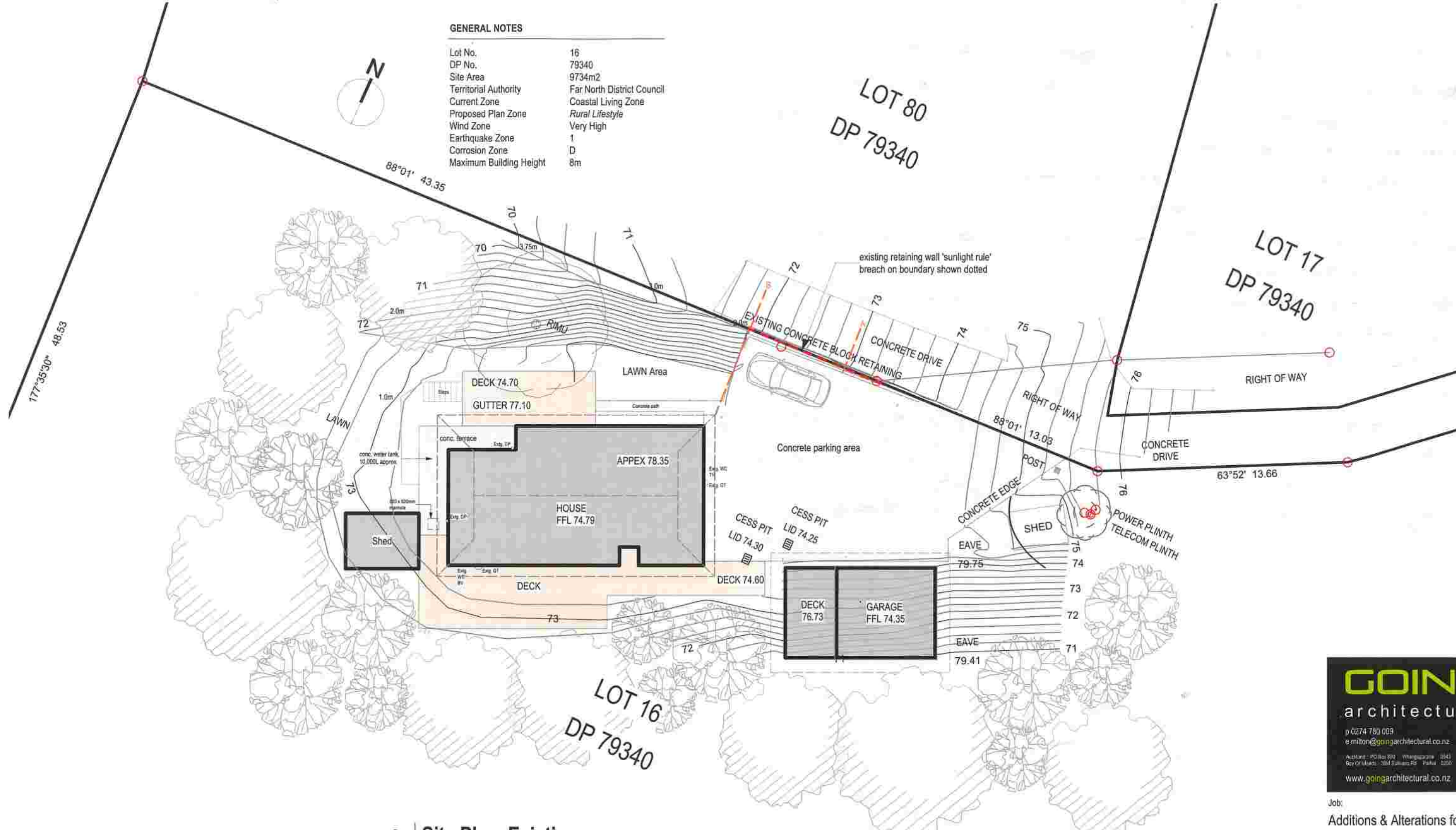
Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-01	Of:	15

Resource Consent Plans 1

*Milton*

**GENERAL NOTES**

Lot No.	16
DP No.	79340
Site Area	9734m <sup>2</sup>
Territorial Authority	Far North District Council
Current Zone	Coastal Living Zone
Proposed Plan Zone	Rural Lifestyle
Wind Zone	Very High
Earthquake Zone	1
Corrosion Zone	D
Maximum Building Height	8m



**1 | Site Plan\_Existing**  
Scale: 1:200

**BUILDING COVERAGE**

Existing House	= 100.3m <sup>2</sup>
Existing Garage & Sleepout	= 63.6m <sup>2</sup>
Existing Shed	= 12.0m <sup>2</sup>
<b>Total Area</b>	<b>= 175.9m<sup>2</sup></b>

**IMPERMEABLE SURFACES**

Existing House	= 138.9m <sup>2</sup>
Existing Garage & Sleepout	= 63.6m <sup>2</sup>
Existing Shed	= 12.0m <sup>2</sup>
Driveway	= 160.0m <sup>2</sup>
<b>Total Area</b>	<b>= 374.5m<sup>2</sup></b>
<b>Percentage</b>	<b>= 3.8%</b>

Requirement = 10% max., compliant

**GOING**  
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e milton@goingarchitectural.co.nz

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Bay Of Islands - 30M Bulweria Rd - Pukea 0200

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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
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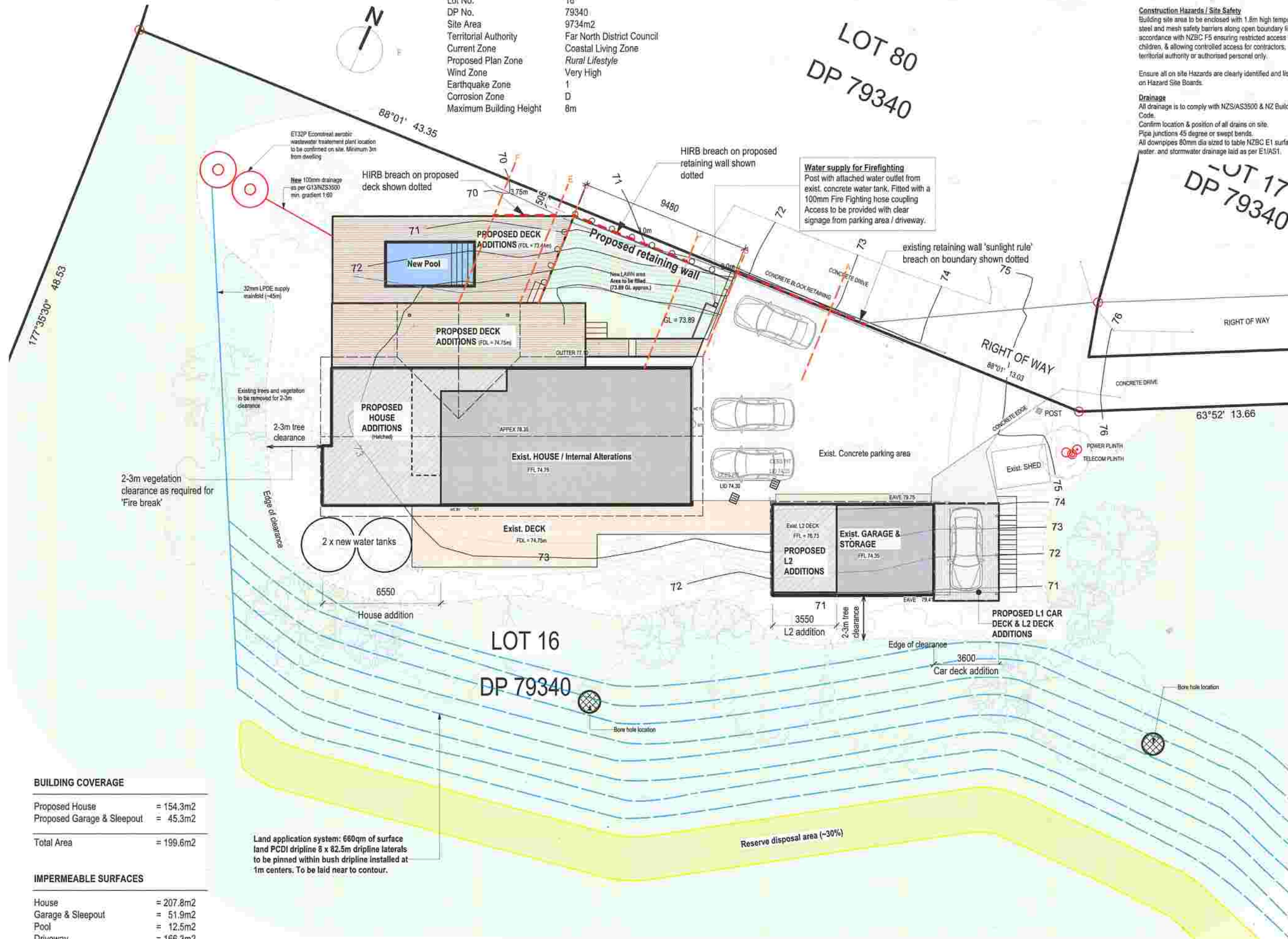
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*L. Lines*

**GENERAL NOTES**

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**Construction Hazards / Site Safety**

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Ensure all on site Hazards are clearly identified and listed on Hazard Site Boards.

**Drainage**

All drainage is to comply with NZS/AS3500 & NZ Building Code. Confirm location & position of all drains on site. Pipe junctions 45 degree or swept bends. All downpipes 80mm dia sized to table NZBC E1 surface water, and stormwater drainage laid as per E1/AS1.

**Sediment & Dust Management**

**Erosion Controls**

- Install clean water diversion measures (sandbags or bunding) to divert surface water around the work site.
- Cover stockpiled material completely and securely with impermeable material like tarpaulin or polythene sheet. Re-vegetate stockpiles that will be kept on site long term.
- Do not stockpile material near stormwater catchpits, kerb channels, in over land flow paths or on gradients steeper than 15 per cent.

**Sediment Controls**

- Regularly sweep up any dust and dispose of it properly so that it will not become airborne or enter surface water.
- Install stormwater catchpit protection measures (filter bags, geotextile material, silt fences, filter socks etc) as a form of secondary control.
- For large sites or works areas, especially when working close to watercourse, install a silt fence around works area and stockpiles.

**Silt Fence Installation**

- 600mm high silt detention fence to be erected around side and lower areas for duration of project using geofabric supported with walatals or post hammer-staked at least 400mm deep on the downhill side of the fabric, no more than 2m apart.
- be installed in a trench 200mm deep x 100mm wide.
- be 600mm high above ground, with an additional 200mm of cloth below ground in the trench.
- have each end of the fence return up the slope roughly 2m to prevent water going around the edges.
- be anchored by backfilling the trench and placing soil on top of the fabric.

Refer to GD05 Erosion & Sediment Control Guide for compliance - Auckland Council.

**BUILDING COVERAGE**

Proposed House	= 154.3m <sup>2</sup>
Proposed Garage & Sleepout	= 45.3m <sup>2</sup>
<b>Total Area</b>	<b>= 199.6m<sup>2</sup></b>

**IMPERMEABLE SURFACES**

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**1 Site Plan\_Proposed**  
Scale: 1:200

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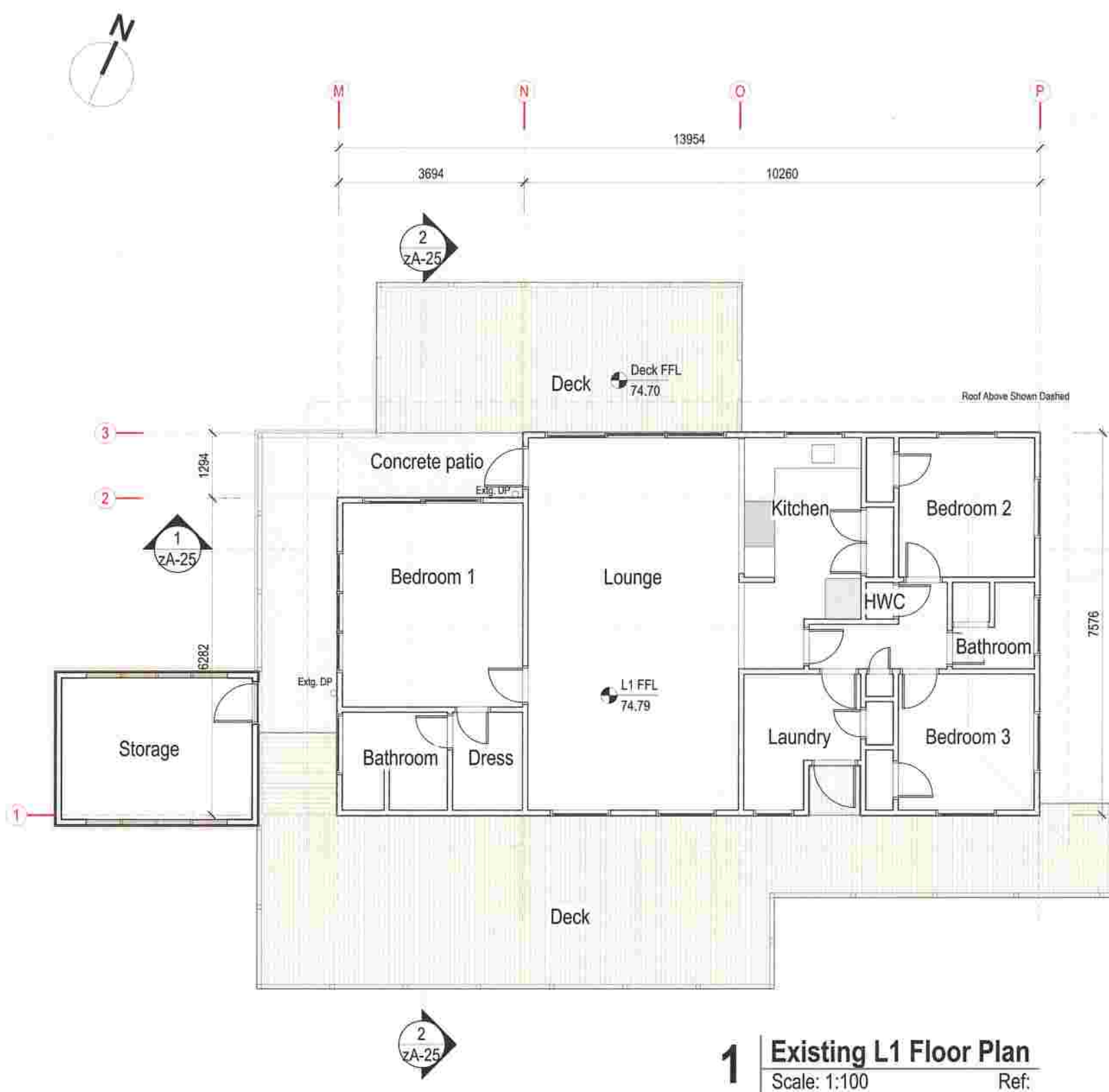
Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
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Opua 0200

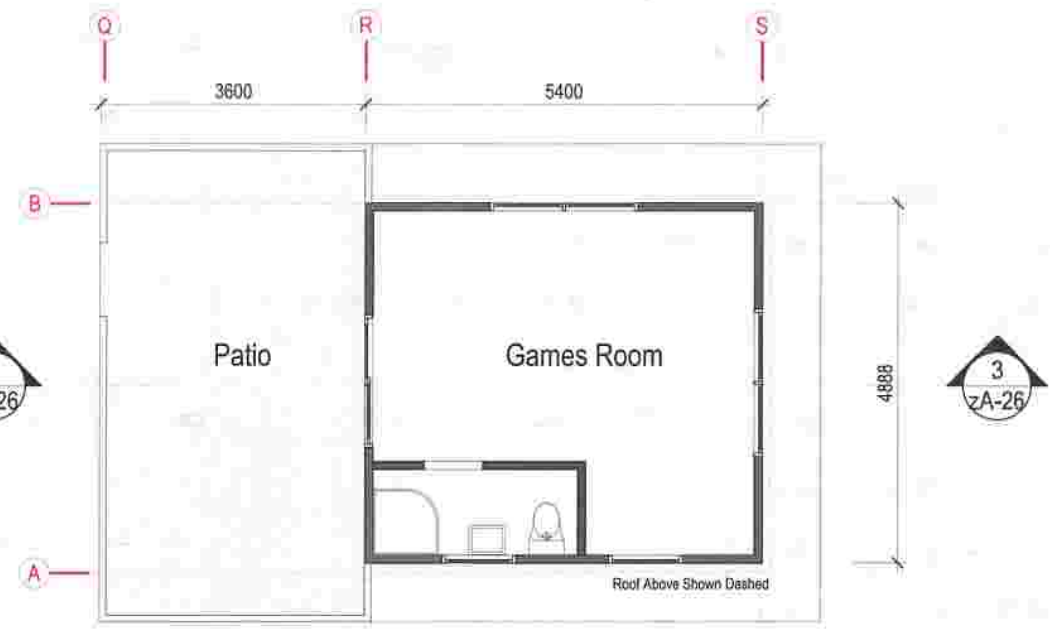
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Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-03	Of:	15

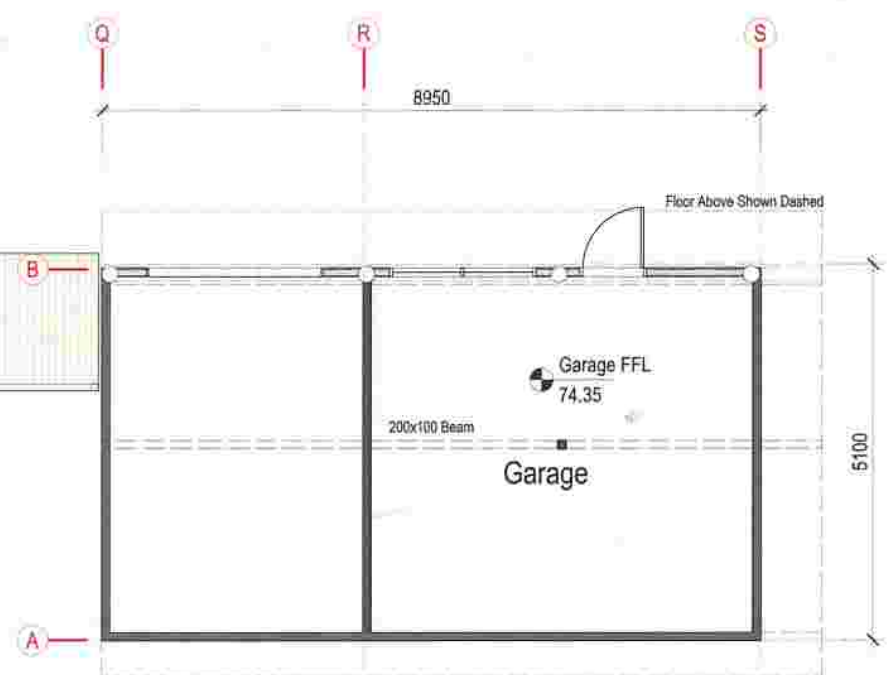
*L. L. S.*



**1 Existing L1 Floor Plan**  
Scale: 1:100 Ref:



**2 Garage L2 Existing Floor Plan**  
Scale: 1:100

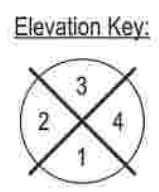


**Notes:**

- All measurements to be checked on site by contractor prior to commencement of works.
- Structural engineer and contractor to check existing structure and confirm feasibility of proposed structure prior to commencement of works.
- Existing waste water & stormwater connections to remain where possible. Allow to re-use existing WW & SW collection points to plumb proposed fixture. Contractor to C.O.S existing downpipes, gully traps & waste water vents/pipes location against this plan.

**Floor Areas - Existing**

L1 Floor Area	= 99.9m <sup>2</sup>
L1 Garage Area	= 45.0m <sup>2</sup>
L2 Garage Area	= 26.4m <sup>2</sup>
Storage Area	= 12.0m <sup>2</sup>
<b>Total Floor Area</b>	<b>= 156.9m<sup>2</sup></b>
L1 Decks/Patio Area	= 92.4m <sup>2</sup>
L2 Garage Deck Area	= 23.5m <sup>2</sup>



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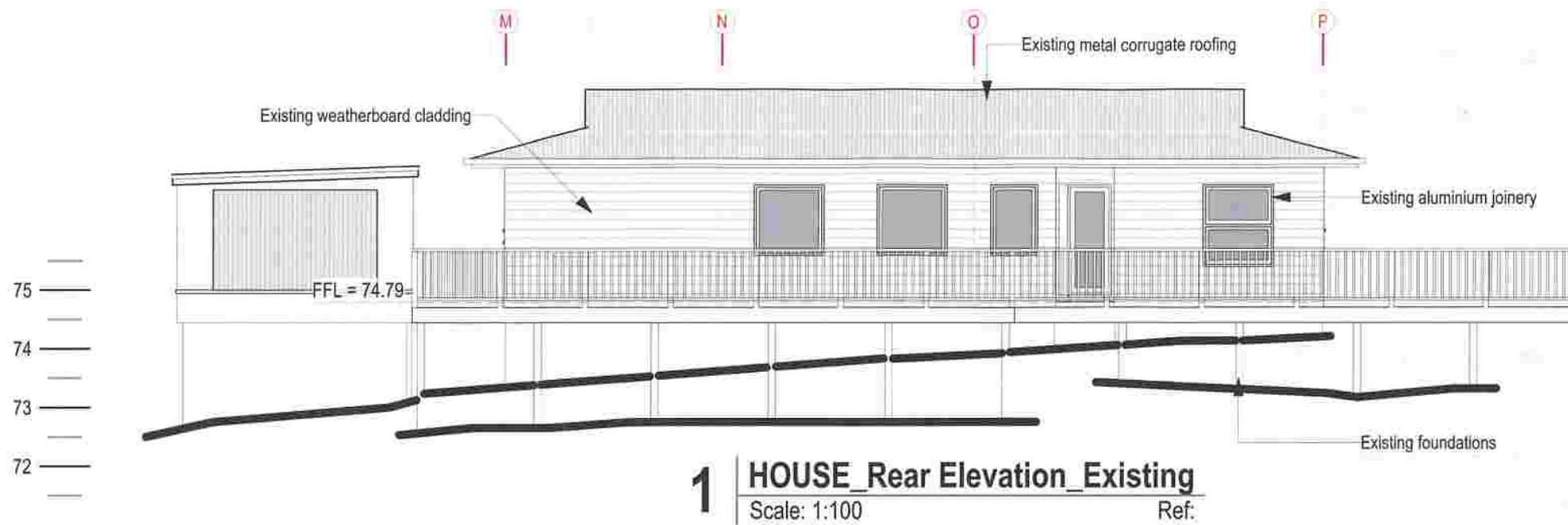
Job:  
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O. Paterson & Z. Strongman

Address:  
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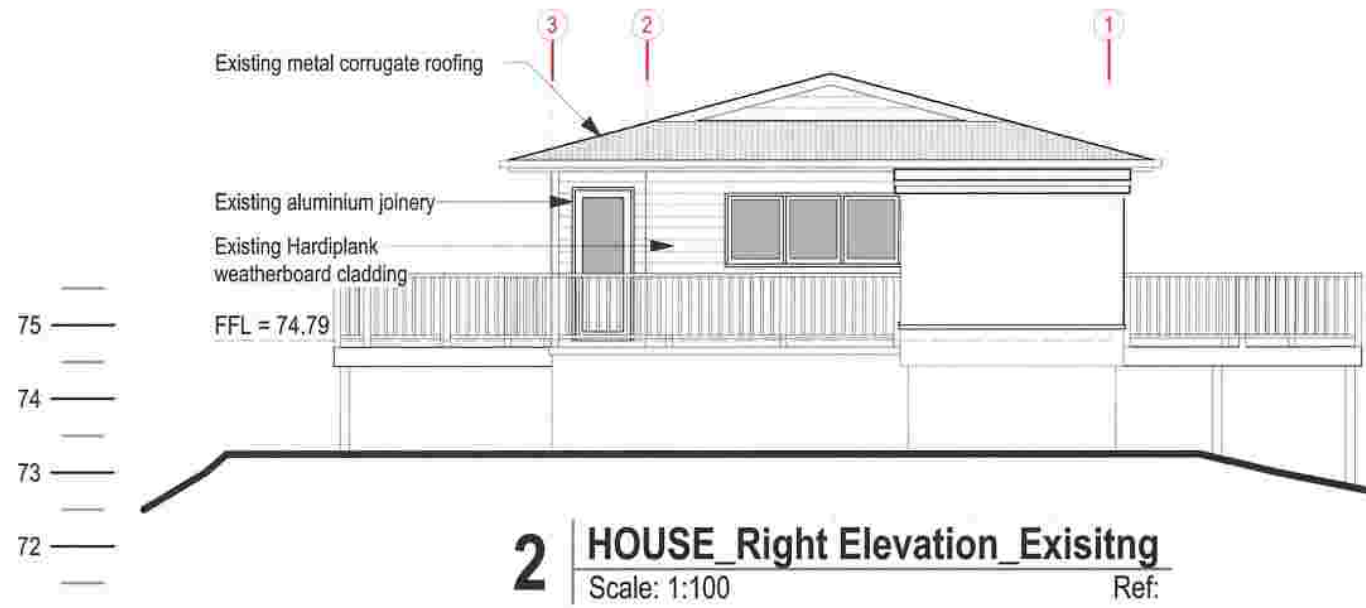
Dwg: House\_Floor Plans\_Existing

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-04	Of:	15

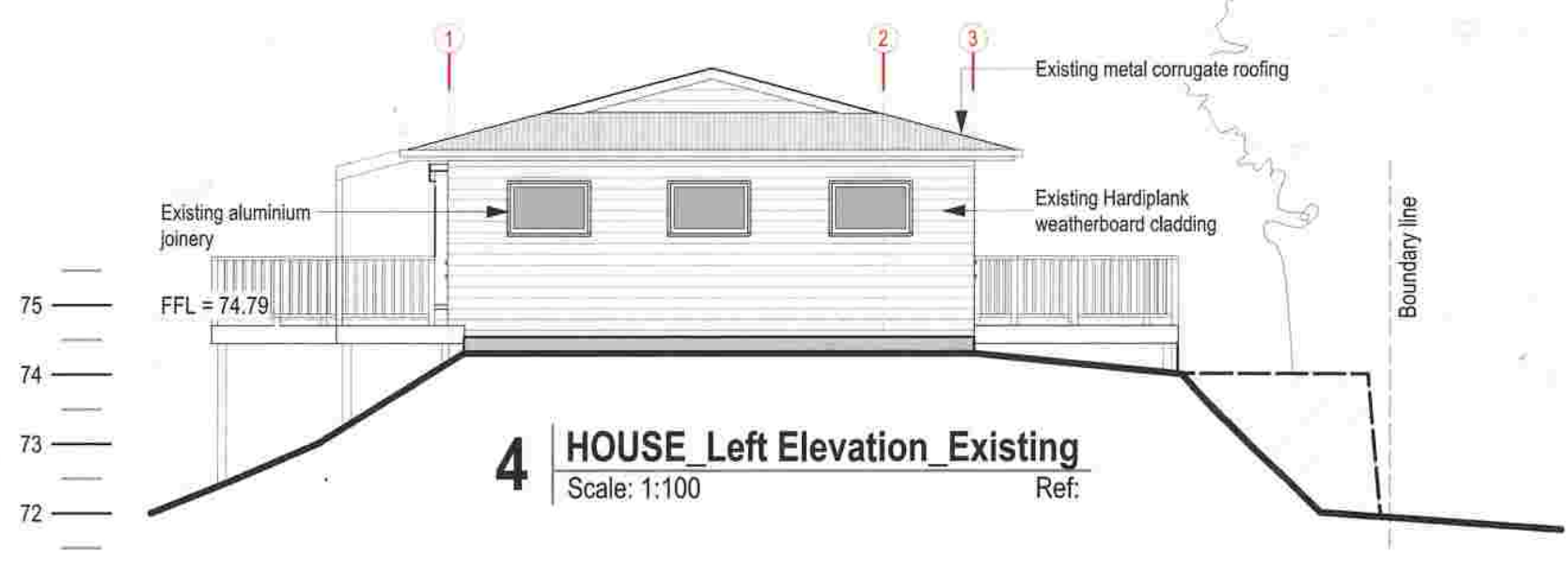
*L. Paterson*



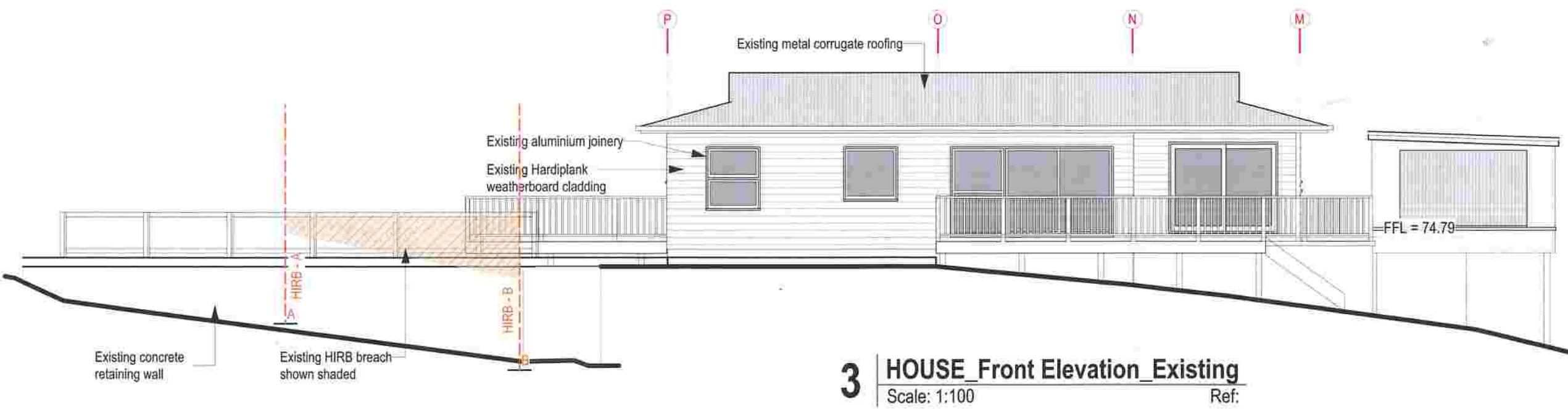
**1 HOUSE\_Rear Elevation\_Existing**  
Scale: 1:100 Ref:



**2 HOUSE\_Right Elevation\_Existing**  
Scale: 1:100 Ref:



**4 HOUSE\_Left Elevation\_Existing**  
Scale: 1:100 Ref:



**3 HOUSE\_Front Elevation\_Existing**  
Scale: 1:100 Ref:

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Dwg: House\_Elevations\_Existing

Date: 17/04/2026	Rev:
Ref: 23-02	Scale: As Noted
Dwn: VM	Ckd: MG
Sheet: A-05	Ot: 15

*L. L. S.*



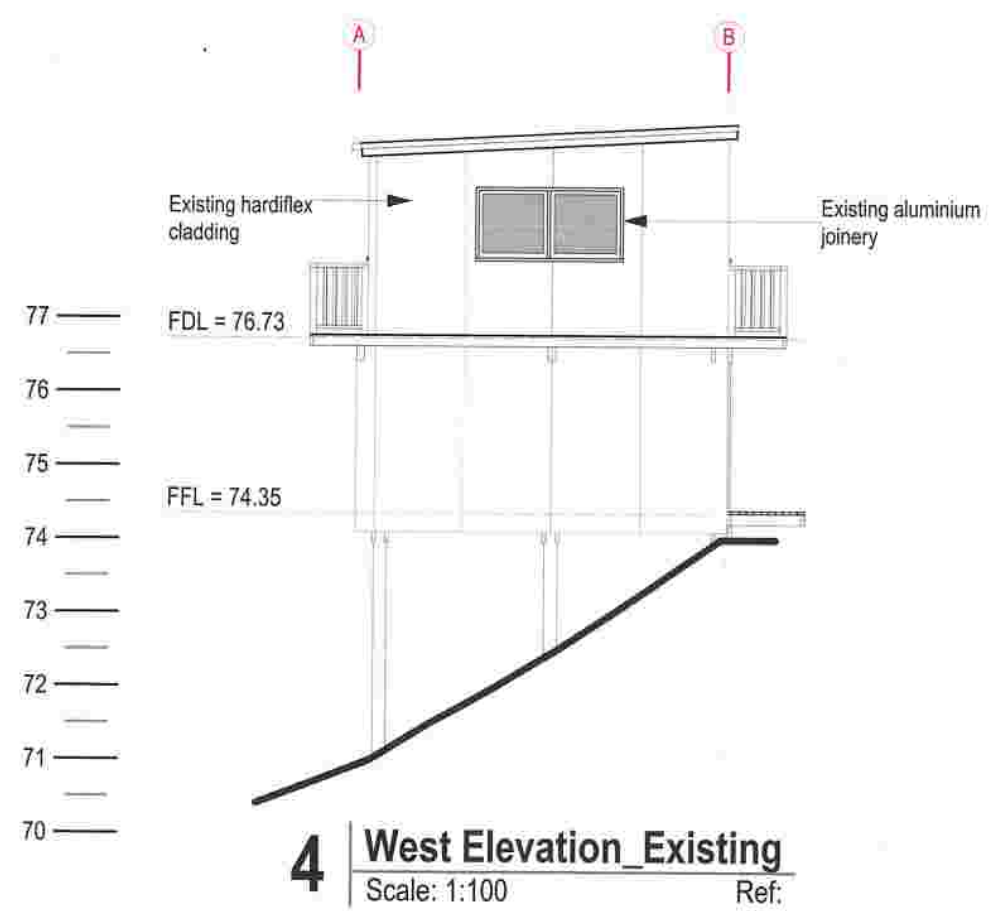
**1 North Elevation Existing**  
Scale: 1:100 Ref.



**2 South Elevation Existing**  
Scale: 1:100 Ref.



**3 East Elevation Existing**  
Scale: 1:100 Ref.



**4 West Elevation Existing**  
Scale: 1:100 Ref.

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Address: 7 Broadview Road Opua 0200

Dwg: Garage\_Elevations\_Existing

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-06	Of:	15

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Dwg: Perspectives\_Existing

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-07	Of:	15

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**Beams/Lintels**

RB01	Beam/Portal? TBE
RB02	240x90 SG8
RB03	240x90 SG8
RB04	240x90 SG8
RB05	Beam TBE
RB06	Beam TBE
RB07	2/290x45 SG8

# 1 HOUSE Plans Proposed

Scale: 1:100



**WALL KEY**

	Existing wall to be removed
	Existing timber framed wall
	New timber framed wall

**Floor Areas - Proposed**

L1 Floor Area	= 163.2m <sup>2</sup>
L1 Deck Area	= 102.5m <sup>2</sup>
Pool Deck Area	= 47.1m <sup>2</sup>

**SWIMMING POOL NOTES**

**Safety From Falling**  
1.2m high balustrade is to be installed on decks with a fall of 1.0m or more.

**Pool Fencing**  
1.2m balustrade (Unex - powdercoated aluminium) is to be installed on decks surrounding the pool area in accordance with F9/AS1 to ensure prohibited access for children.

**Pool Gates**  
Gates giving access to the pool area shall:  
a) Be hinged and at least 1200mm high, and  
b) Open away from the pool and swing clear of any obstruction that might hold it open, and  
c) Have a self-closing device that will return the gate to the closed and latched position from any position with a stationary start, and  
g) Have hinges arranged such that when the gate is lifted or pulled down:  
i) the latching device will not release, and  
ii) the gate will not come off its hinges, and  
iii) the ground clearance under the gate will not allow the passage of a 100mm dia sphere.

The latch on the gate shall:  
a) Automatically operate on the closing of the gate such that a manual operation is required to release it, and  
b) Be positioned so that it cannot be reached by a child from outside the pool area, and  
c) Not be capable of being released from outside the pool area by the insertion of a thin implement through any gaps.  
Refer to F9/AS1 of the NZ Building Code

**2.0 Barriers surrounding the immediate pool area**  
2.1.3 Pool barriers shall not be angled more than 15° from vertical and may only slope away from the pool. Any rails, rods or wires forming a part of a pool barrier that are not themselves vertical shall be at least 900 mm apart vertically to restrict climbing. There shall be no openings in the pool barrier that a 100 mm diameter sphere could pass through.

2.1.7 Any projections or indentions on the outside face of a pool barrier shall not have a horizontal projection from the face of the pool barrier greater than 10 mm unless they are at least 900 mm apart vertically

**2.2 Pool barrier on a property boundary**  
2.2.1 If a pool barrier is located on a property boundary, it shall:  
a) Be not less than 1800 mm high, measured from the ground level on the pool side, and  
b) Have no openings that a 100 mm diameter sphere could pass through, and  
c) Be located not less than 1000 mm horizontally from the water's edge, and  
d) Have a 900 mm high zone on the pool side of the barrier that begins not more than 150 mm from the top and is constructed as specified in Paragraphs 2.1.3 and 2.1.7, to restrict climbing by children.

**Smoke Alarms for Residential Houses**

**Type 1 - Domestic Smoke Alarm System**  
A type 1 is a smoke alarm or multiple interconnected smoke alarm device, each containing a smoke detector and an alarm sounding feature. The system shall comply with NZS 4514 (2021).

**Location of Smoke Alarms**  
The location of smoke alarms shall be as follows:  
(a) Smoke alarms shall be located on or near the ceiling;  
(b) Smoke alarms shall be located in all bedrooms, living spaces, hallways, and landings within the building;  
(c) Where a kitchen is separated from the living spaces and hallways by doors that can be closed, an alarm specified by its manufacturer as suitable for a kitchen shall be located in the kitchen. This may be a heat alarm to avoid nuisance activations;  
(d) In a multi-level household unit, there shall be at least one smoke alarm in each level; and  
(e) Where more than one smoke alarm is needed, these smoke alarms shall be interconnected so that when one activates, all smoke alarm devices in the household unit will sound.

**Spacing**  
In locations where they are required, smoke alarms shall be spaced as follows:  
(a) The distance from any wall to a smoke alarm shall not exceed 5m; and  
(b) Smoke alarms shall be within 10m of each other in any direction.

**Note: Refer to NZS 4514 for guidance.**

**Existing House**  
The existing house smoke alarms are to be upgraded to interconnected alarms to NZS 4514 to comply as 'reasonably practicable'.

**NOTES**  
All timber framed construction to comply with NZS 3604:2011 and the NZ Building Code.

**Rangerood & extraction fans**  
Fans to be extracted through soffits or walls where indicated on plans. Where terminating under soffit line, no specific weatherproofing req. Where terminating through wall cladding, refer detail for weatherproofing penetration. Min. Flow rates = 25L/s (shower & bath), 50L/s (cooktops), Laundry area = 20L/s (condensing dryer) / 40L/s (non-condensing dryer)

**Flooring - Sinks, Laundry Tubs, Washing Machines**  
All floors within 1500mm of sanitary fixtures and appliances are to be impervious and easily cleaned.

**Wet Areas**  
Water proof all "wet-wall-areas", floors and splash areas with Mapei Aquadefense waterproof membrane. Applications by approved applicators only. Non-Slip floor tiles to be laid in bathrooms / wet areas.

**Bathrooms / showers**  
Shower enclosures are to consist of Mapei waterproofing to floor and walls with tiles - installation in accordance with Mapei & Pro Finish Tray Shower systems. Glass and aluminium door systems installed to suit the shower space, to manufacturers specifications. Safety glass to showers. Shower floors are to have a minimum fall of 1:50 towards the floor waste.

**Substrate:**  
H3.1 treated plywood flooring is to be used in shower & wet areas.

Plywood must be a minimum of 17mm thick complying with AS/NZ 2269, DC Grade Structural with sanded C face upwards and treated to H3 (CCA treated). LOSP treated plywood must not be used.

The plywood must be laid with the face grain at right angles to the floor joists. The plywood must be supported with dwangs or framing with a maximum of 400mm in each direction, fixed with 10g x 50mm stainless steel countersunk head screws at 150mm crs along the sheet edges and 200mm through the body of sheets.

**Lighting note:**  
Recessed down lights to comply with NZBC C2 & AS/NZS 60598.2.2 - The insulation rating is IC or IC-F. The IC-F rating is a NZ only rating that means that the downlight can be installed under insulation that is only rated to 90 degrees C and also that the light is sealed so insulation cannot get into the fitting.

Lighting features location and model to be agreed between Owner and Electrician.

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Dwg: House\_Floor\_Plans\_Proposed

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-08	Of:	15



**NOTES**  
All timber framed construction to comply with NZS 3604:2011 and the NZ Building Code.

**Building Wrap**  
Wrap framing with Tekton Wall Wrap

**New walls - Addition (VHWZ)**  
2.4m high walls = 90x70 H1.2 studs @ 600crs  
2.7m high walls = 90x70 H1.2 studs @ 400crs  
3.0m high walls = 90x45 H1.2 studs @ 300crs  
Dwangs to be @ 800crs. Studs, Intels and beams to be MSG8 grade.

**Internal / non load-bearing wall framing:**  
2.4m high = 90x70 H1.2 studs @ 600crs.  
2.7m high = 90x70 H1.2 studs @ 600crs.  
3.0m high = 90x70 H1.2 studs @ 400crs.  
Dwangs @ 800crs

**Interior Linings**  
Internal linings to be standard 10mm Gb Board.

**H1 - Energy Efficiency**

**Building Code Note:**  
When carrying out building work to alter an existing building, the new work must comply with current code and section 112 of the Building Act, which says the building as a whole must comply with the requirements of the Building Code to at least the same extent as it did immediately before the building work began and not make it worse. When it comes to H1 Energy Efficiency, the performance of the existing building does not need to meet current H1 requirements.

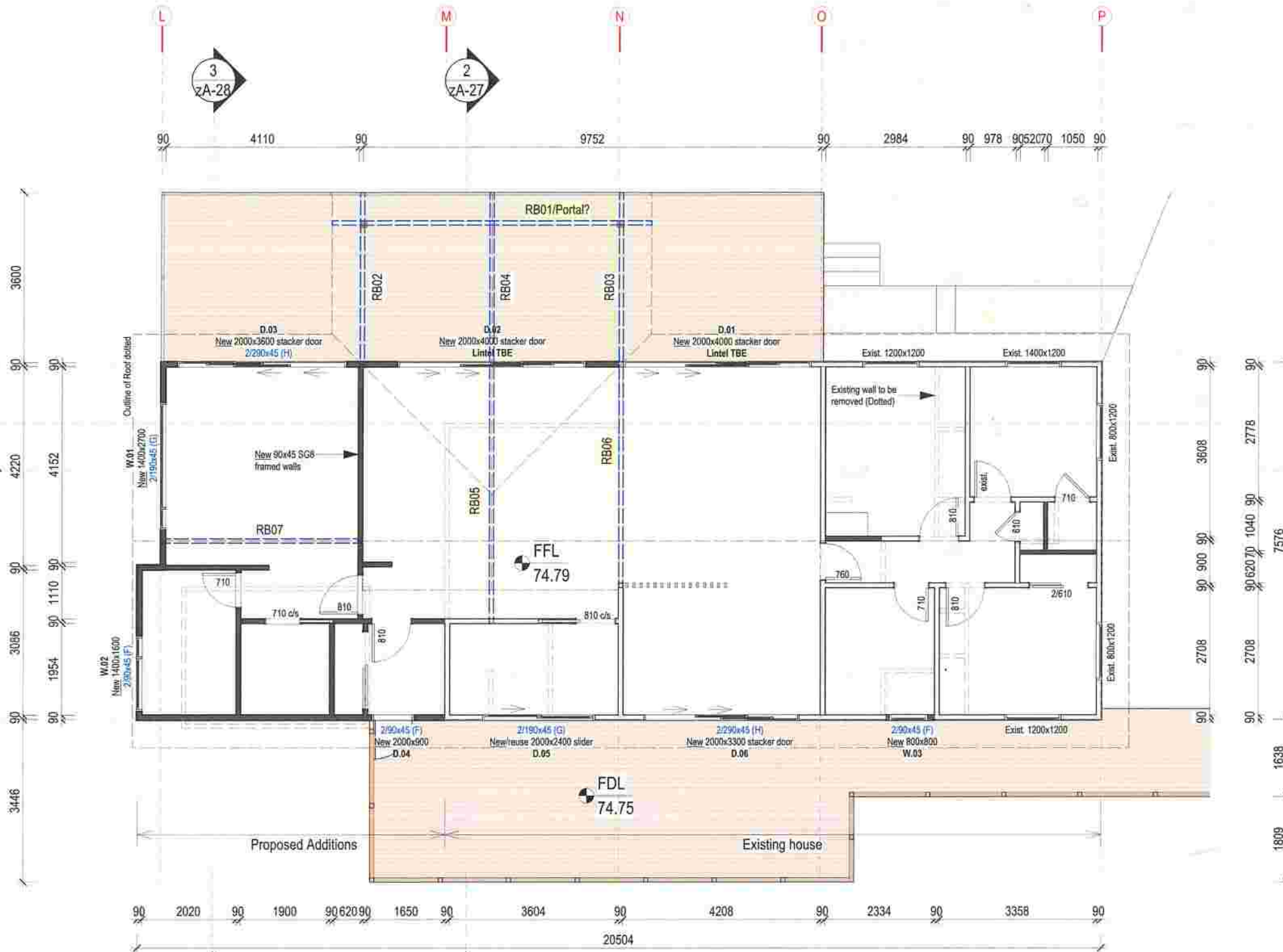
**Additions / Alterations / Insulation requirements:**  
Existing Exterior walls / thermal envelope - install new R2.2 insulation bats between existing studs to existing walls.

**H1 / Insulation**  
Ceiling insulation = Install where possible new R3.6 Skillion roof batts between existing/new roof framing

Wall insulation = Install where possible new R2.2 wall batts between existing/new studs

Floor insulation = Install new R2.5 Espol insulation panels between floor joists.

Windows / doors = Selected existing external windows & doors to be removed and replaced with new aluminium joinery, with double glazing (R0.26min) to match existing.



**1 HOUSE Wall Framing Plan\_Proposed**  
Scale: 1:100

**Beams/Lintels**

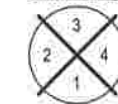
- RB01 Beam/Portal? TBE
- RB02 240x90 SG8
- RB03 240x90 SG8
- RB04 240x90 SG8
- RB05 Beam TBE
- RB06 Beam TBE
- RB07 2/290x45 SG8

Floor Areas - Proposed	
L1 Floor Area	= 153.2m <sup>2</sup>
L1 Deck Area	= 102.5m <sup>2</sup>
Pool Deck Area	= 47.1m <sup>2</sup>

**WALL KEY**

- Existing wall to be removed
- Existing timber framed wall
- New timber framed wall

**Elevation Key:**



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Dwg: House\_Wall Framing  
Plan\_Proposed

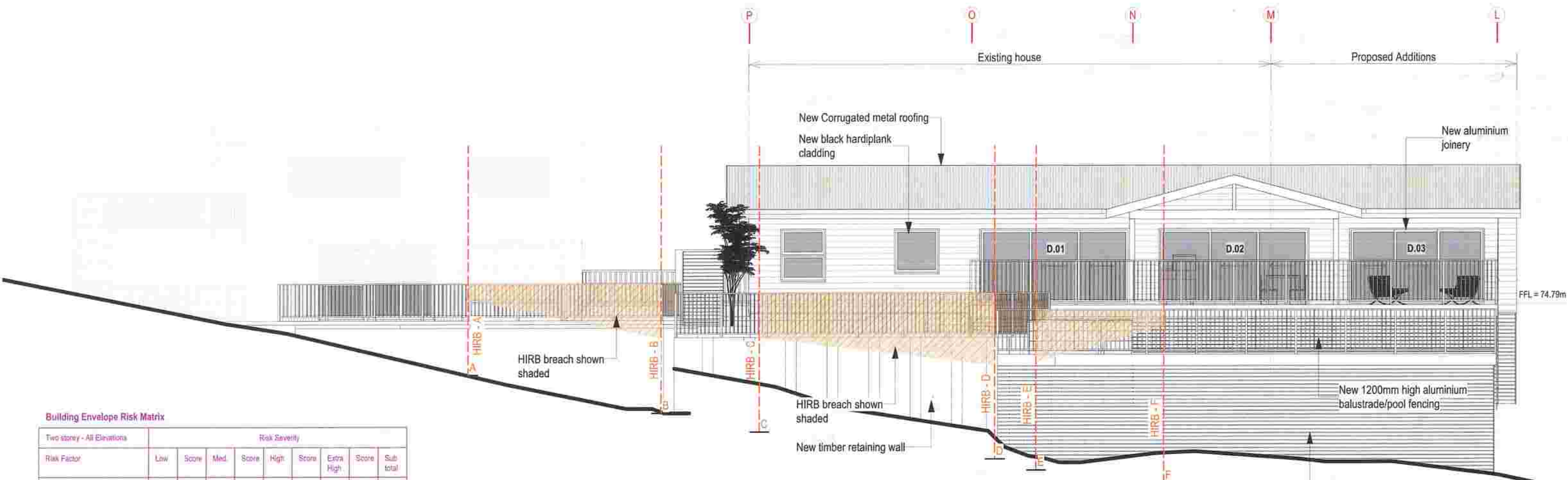
Date: 17/04/2026 Rev:

Ref: 23-02 Scale: As Noted

Dwn: VM Ckd: MG

Sheet: A-09 Of: 15

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**Building Envelope Risk Matrix**

Risk Factor	Risk Severity							Sub-total	
	Low	Score	Med.	Score	High	Score	Extra High		
Two storey - All Elevations									
Wind Zone	0		0		1		2	X	2
Number of storeys	0	X	1		2		4		0
Roof / Wall intersection design	0	X	1		3		5		0
Eaves Width	0		1	X	2		5		1
Envelope Complexity	0	X	1		3		6		0
Deck Design	0	X	2		4		6		0
Total Risk Score									3

**1 House Elevation 1\_Proposed**  
Scale: 1:100 Ref:

New deck with horizontal 100x25 slats to deck structure with 10mm max gaps

**Exteriors**

- Walls:
  - New black hardiplank weatherboard cladding
- Roof:
  - New metalcraft corrugated metal longrun roofing

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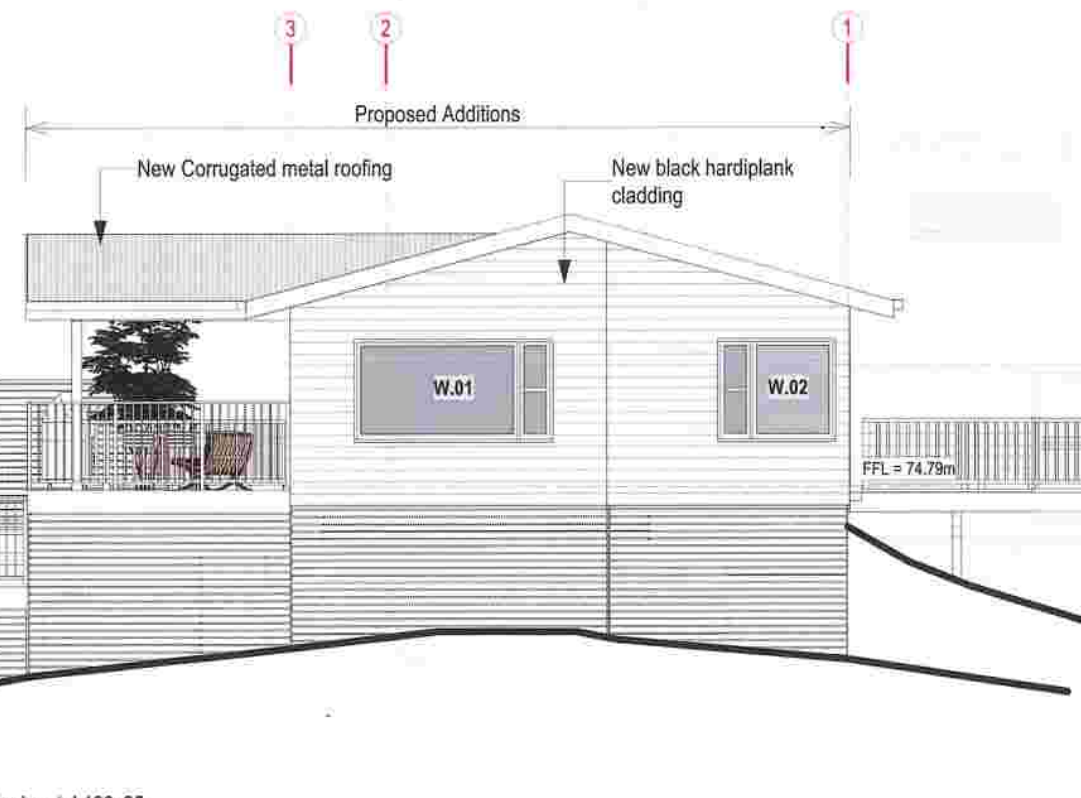
Dwg: House\_Elevations\_Proposed

Date: 17/04/2026 Rev:

Ref: 23-02 Scale: As Noted

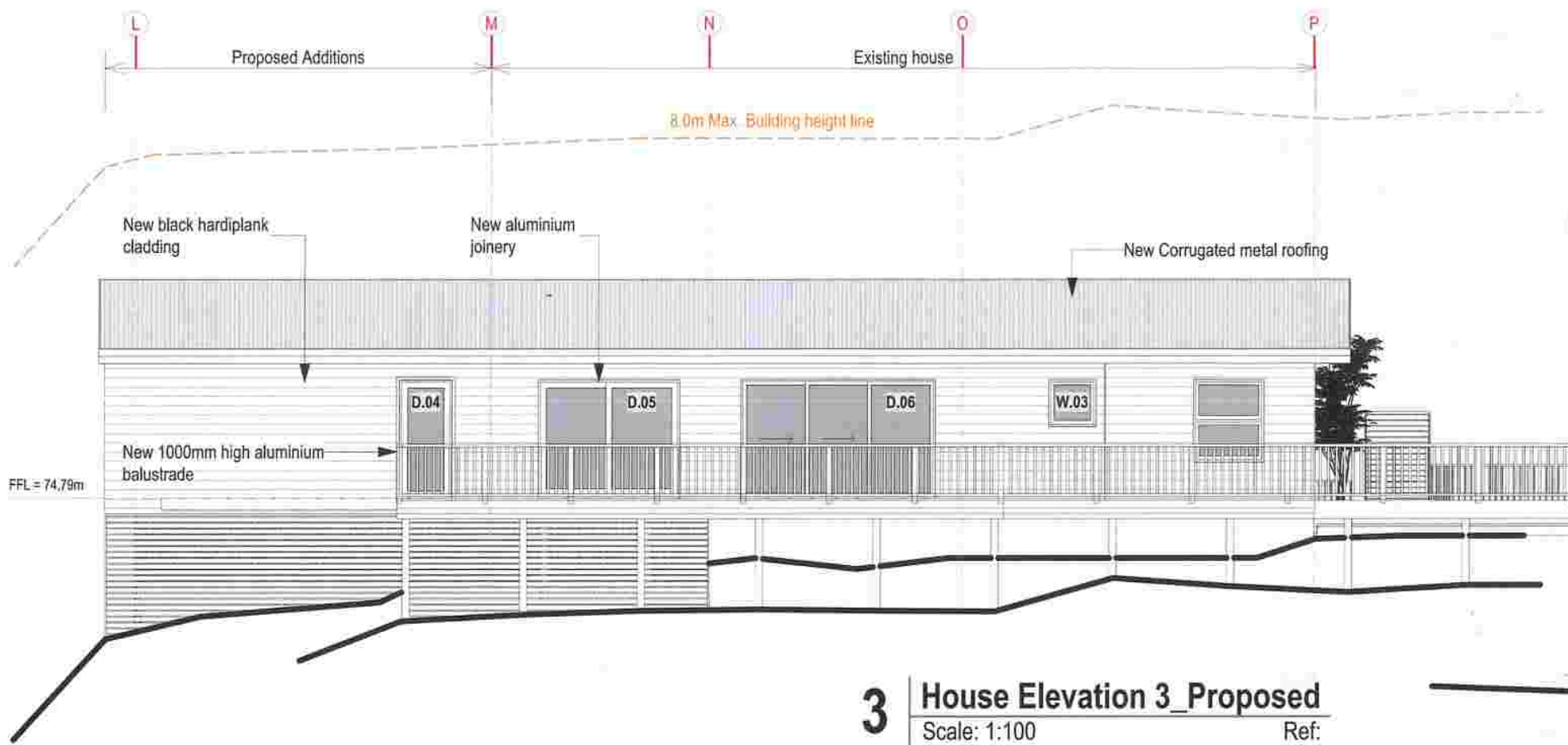
Dwn: VM Ckd: MG

Sheet: A-10 Of: 15



**2 House Elevation 2\_Proposed**  
Scale: 1:100 Ref:

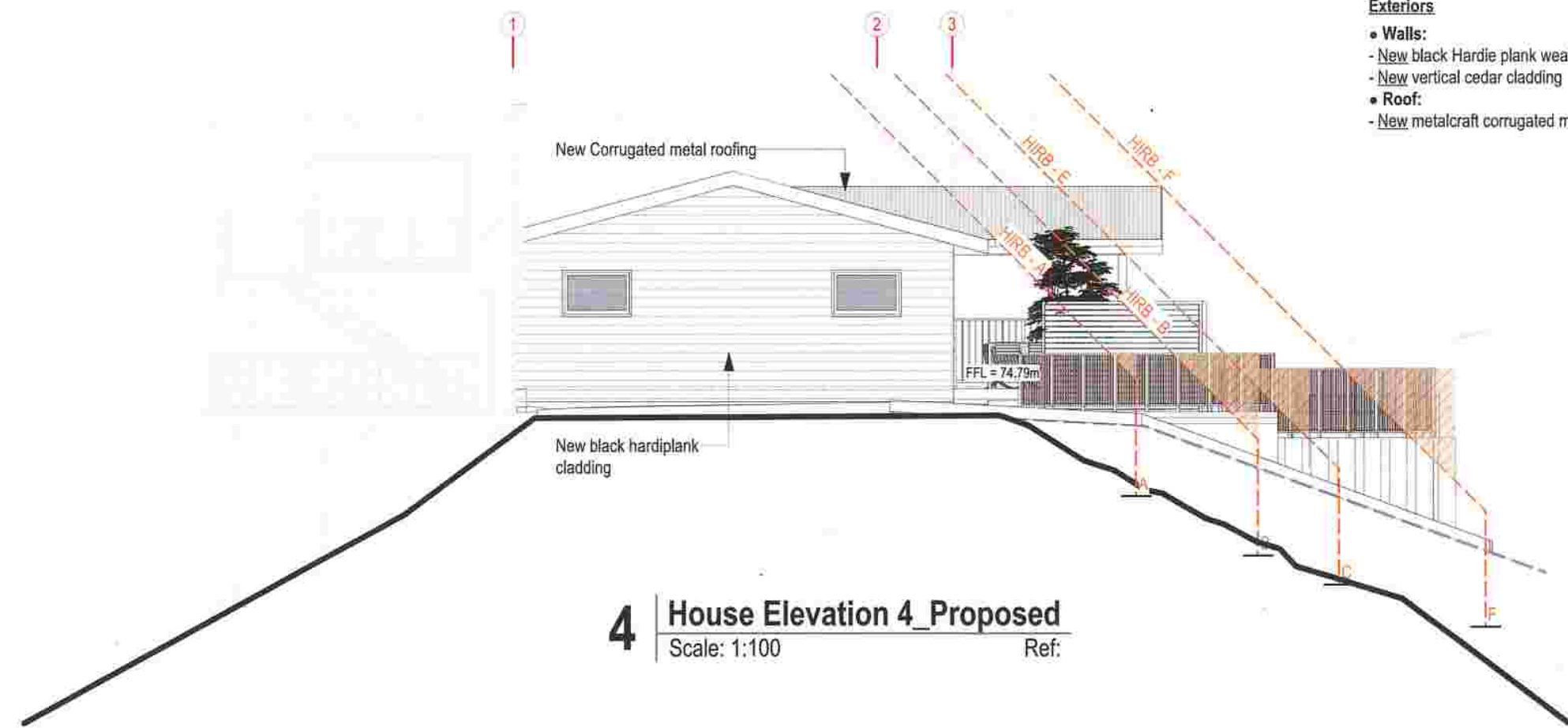
New deck with horizontal 100x25 slats to deck structure with 10mm max gaps



**3** House Elevation 3\_Proposed  
 Scale: 1:100 Ref:

**Exteriors**

- **Walls:**
  - New black Hardie plank weatherboard cladding
  - New vertical cedar cladding
- **Roof:**
  - New metalcraft corrugated metal longrun roofing



**4** House Elevation 4\_Proposed  
 Scale: 1:100 Ref:

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Dwg: House\_Elevations\_Proposed

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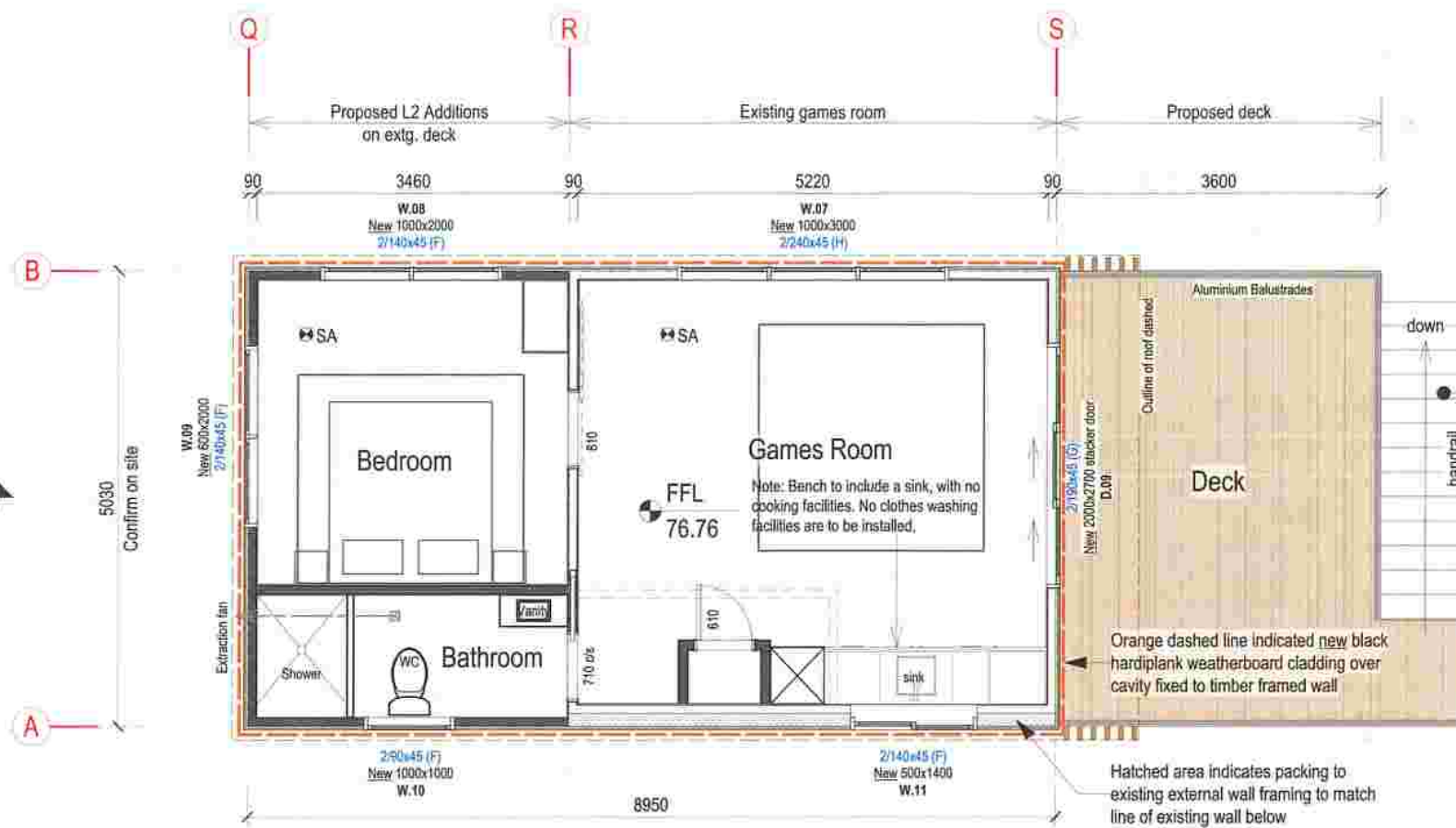
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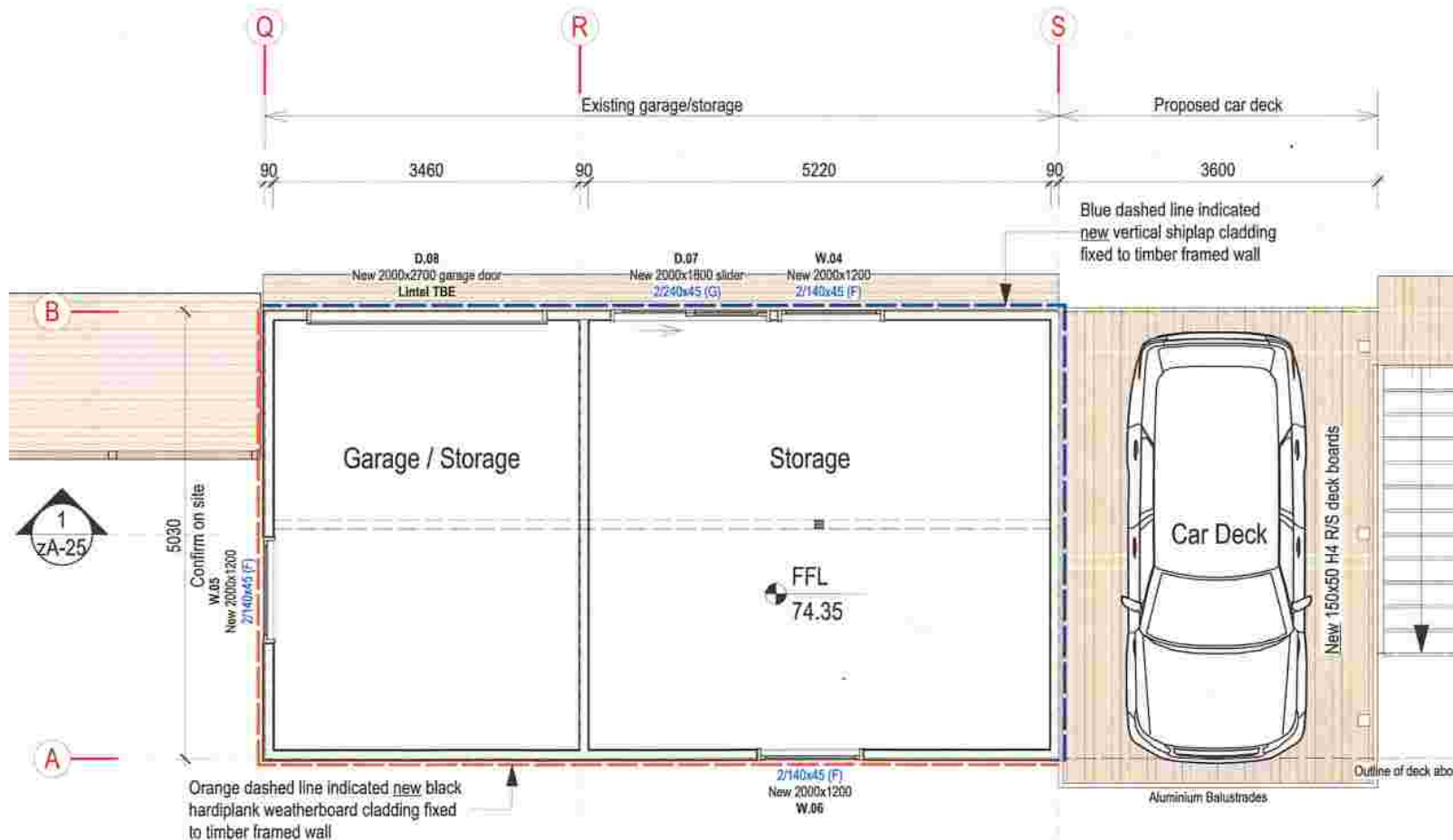
Dwg: House\_Perspectives\_Proposed

Date:	17/04/2026	Rev:	
Ref:	23-02	Scale:	As Noted
Dwn:	VM	Ckd:	MG
Sheet:	A-12	Of:	15

*Milton*



**2 | L2 Sleepout Plan - Proposed**  
Scale: 1:75



**1 | L1 Sleepout Plan - Proposed**  
Scale: 1:75

**Exterior stairs:**  
Treads = 270mm (250mm min.)  
Risers = 170mm (200mm max.)



**Flooring - Sinks, Laundry Tubs, Washing Machines**  
All floors within 1500mm of sanitary fixtures and appliances are to be impervious and easily cleaned.

**Wet Areas**  
Water proof all "wet-wall-areas", floors and splash areas with Mapei Aquadefense waterproof membrane. Applications by approved applicators only. Non-Slip floor tiles to be laid in bathrooms / wet areas.

**Bathrooms / showers**  
Shower enclosures are to consist of Mapei waterproofing to floor and walls with tiles - installation in accordance with Mapei & Pro Finish Tray Shower systems. Glass and aluminium door systems installed to suit the shower space, to manufacturers specifications. Safety glass to showers. Shower floors are to have a minimum fall of 1:50 towards the floor waste.

**Substrate:**  
H3.1 treated plywood flooring is to be used in shower & wet areas.

Plywood must be a minimum of 17mm thick comprising with AS/NZ 2269, DC Grade Structural with sanded C face upwards and treated to H3 (CCA treated). LOSP treated plywood must not be used.

The plywood must be laid with the face grain at right angles to the floor joists. The plywood must be supported with dwangs or framing with a maximum of 400mm in each direction, fixed with 10g x 50mm stainless steel countersunk head screws at 150mm c/s along the sheet edges and 200mm through the body of sheets.

**Rangehood & extraction fans**  
Fans to be extracted through soffits or walls where indicated on plans. Where laminating under soffit line, no specific weatherproofing req. Where terminating through wall cladding, refer detail for weatherproofing penetration. Min. Flow rates = 25L/s (shower & bath), 50L/s (cooktops), Laundry area = 20L/s (condensing dryer) / 40L/s (non-condensing dryer)

**Smoke Alarms for Residential Houses**  
**Type 1 - Domestic Smoke Alarm System**  
A type 1 is a smoke alarm or multiple interconnected smoke alarm device, each containing a smoke detector and an alarm sounding feature. The system shall comply with NZS 4514 (2021).

**Location of Smoke Alarms**  
The location of smoke alarms shall be as follows:  
(a) Smoke alarms shall be located on or near the ceiling;  
(b) Smoke alarms shall be located in all bedrooms, living spaces, hallways, and landings within the building;  
(c) Where a kitchen is separated from the living spaces and hallways by doors that can be closed, an alarm specified by its manufacturer as suitable for a kitchen shall be located in the kitchen. This may be a heat alarm to avoid nuisance activations;  
(d) In a multi-level household unit, there shall be at least one smoke alarm in each level; and  
(e) Where more than one smoke alarm is needed, these smoke alarms shall be interconnected so that when one activates, all smoke alarm devices in that household unit will sound.

**Spacing**  
In locations where they are required, smoke alarms shall be spaced as follows:  
(a) The distance from any wall to a smoke alarm shall not exceed 5m; and  
(b) Smoke alarms shall be within 10m of each other in any direction.

**Note: Refer to NZS 4514 for guidance.**  
**Existing House**  
The existing house smoke alarms are to be upgraded to interconnected alarms to NZS 4514 to comply as 'reasonably practicable'.

**Floor Areas - Proposed**

L1 Floor Area	= 44.9m <sup>2</sup>
L2 Floor Area	= 43.7m <sup>2</sup>
<b>Total Floor Area</b>	<b>= 88.6m<sup>2</sup></b>
L1 Car Deck Area	= 20.4m <sup>2</sup>
L2 Deck Area	= 18.4m <sup>2</sup>

**WALL KEY**

	Existing wall to be removed
	Existing timber framed wall
	New timber framed wall

**Elevation Key:**



**NOTES**  
All timber framed construction to comply with NZS 3604:2011 and the NZ Building Code.

**Building Wrap**  
Wrap framing with Tekton Wall Wrap

**New walls - Addition**  
2.4m high walls = 90x45 H1.2 studs @ 600c/s  
2.7m high walls = 90x45 H1.2 studs @ 400c/s  
3.0m high walls = 90x45 H1.2 studs @ 300c/s  
Dwangs to be @ 800c/s. Sluds, lintels and beams to be MSG8 grade.

Internal / non load-bearing wall framing: 2.4-3.0m high = 90x45 H1.2 studs @ 600c/s. Dwangs @ 800c/s

**Interior Linings**  
Internal linings to be standard 10mm Gib Board.

**H1 - Energy Efficiency**  
**Building Code Note:**  
When carrying out building work to alter an existing building, the new work must comply with current code and section 112 of the Building Act, which says the building as a whole must to comply with the requirements of the Building Code to at least the same extent as it did immediately before the building work began and not make it worse. When it comes to H1 Energy Efficiency, the performance of the existing building does not need to meet current H1 requirements

**Additions / Alterations Insulation requirements:**  
Existing Exterior walls / thermal envelope - install new R2.2 insulation batts between existing studs to existing walls.

**Lighting note:**  
Recessed down lights to comply with NZBC C2 & AS/NZS 60598.2.2 - The insulation rating is IC or IC-F. The IC-F rating is a NZ only rating that means that the downlight can be installed under insulation that is only rated to 80 degrees C, and also that the light is sealed so insulation cannot get into the fitting.

Lighting features location and model to be agreed between Owner and Electrician.

**H1 / Insulation**  
Ceiling insulation = Install where possible new R3.6 roof batts between existing roof framing

Wall insulation = Install where possible new R2.2 wall batts between existing/new studs

Floor insulation = Install new R2.5 Ekopol insulation panels between floor joists.

Windows / doors = Selected existing external windows & doors to be removed and replaced with new aluminium joinery, with double glazing (R0.26min) to match existing.

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Job:  
**Additions & Alterations for O. Paterson & Z. Strongman**

Address:  
**7 Broadview Road Opua 0200**

Dwg: **Sleepout\_Plans\_Proposed**

Date: **17/04/2026** Rev:

Ref: **23-02** Scale: **As Noted**

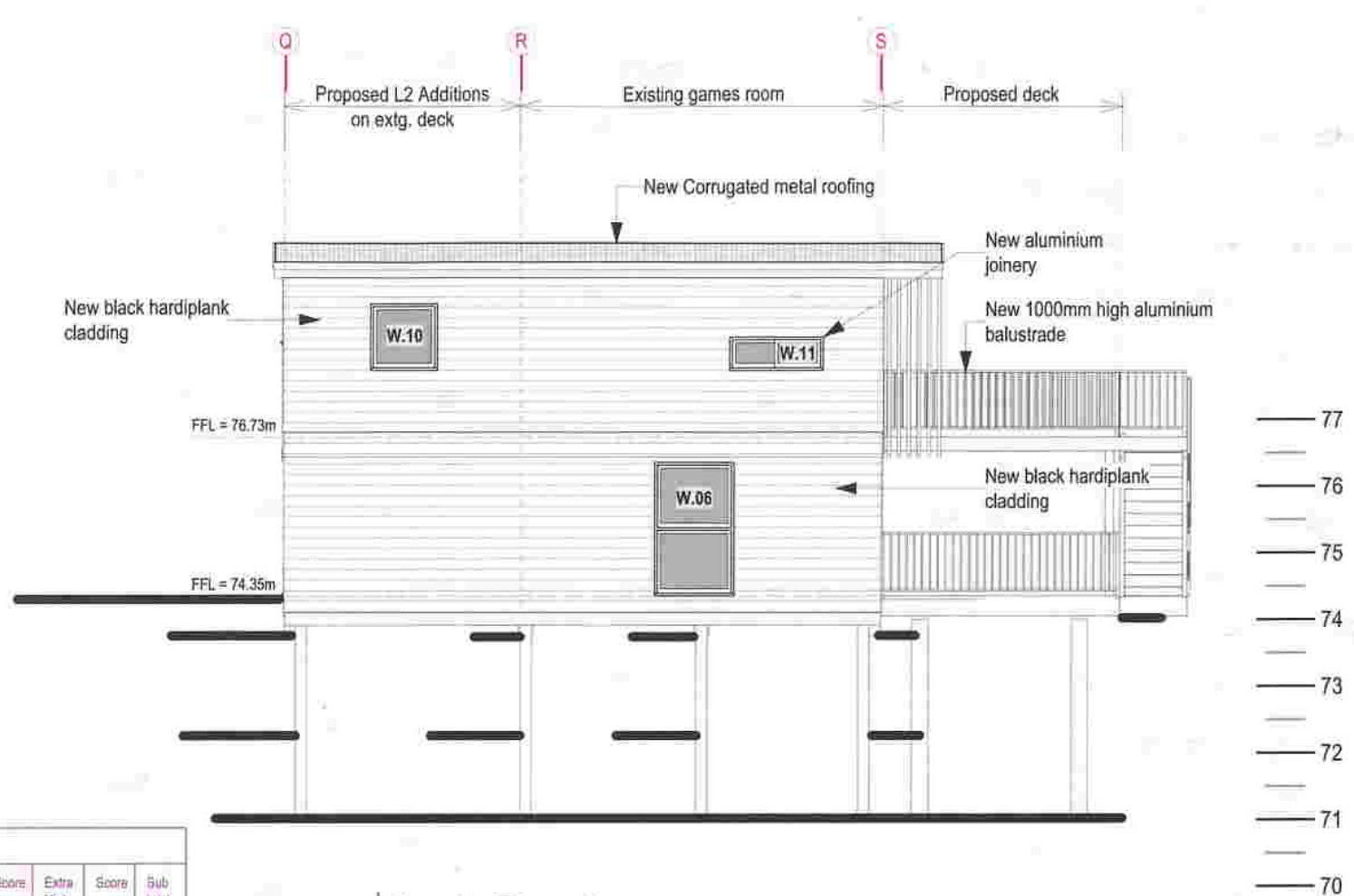
Dwn: **VM** Ckd: **MG**

Sheet: **A-13** Of: **15**

*Handwritten signatures and initials.*



**1 North Elevation**  
Scale: 1:100 Ref:

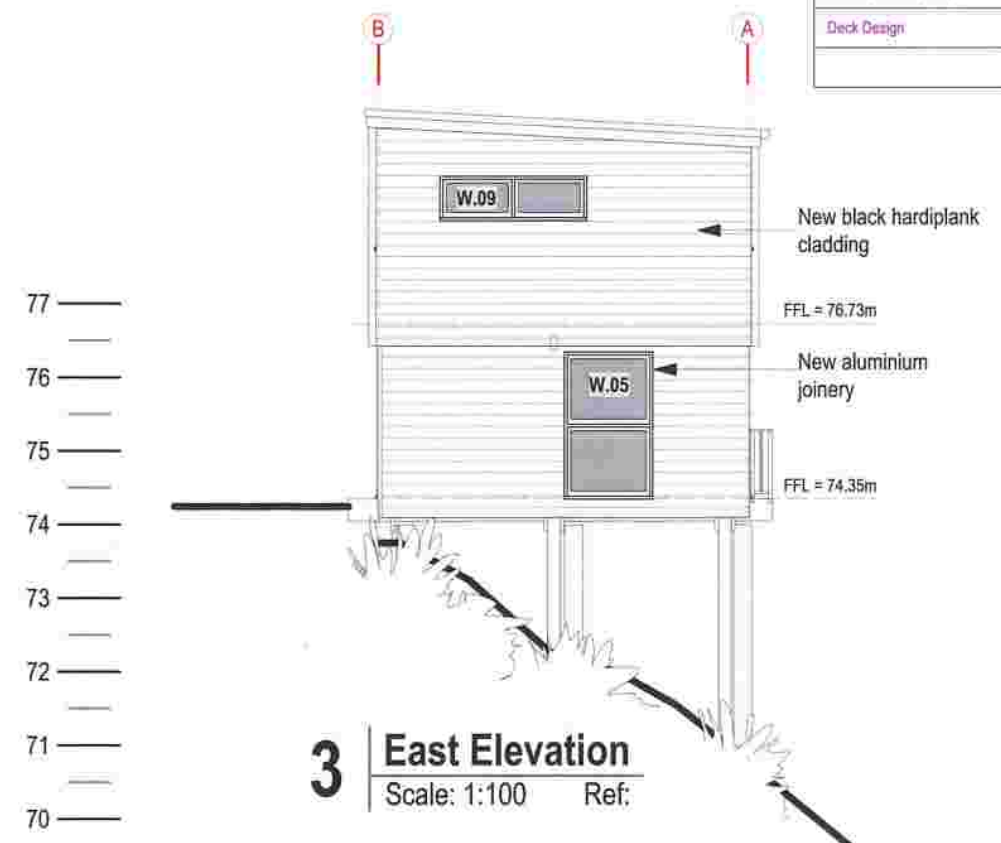


**2 South Elevation**  
Scale: 1:100 Ref:

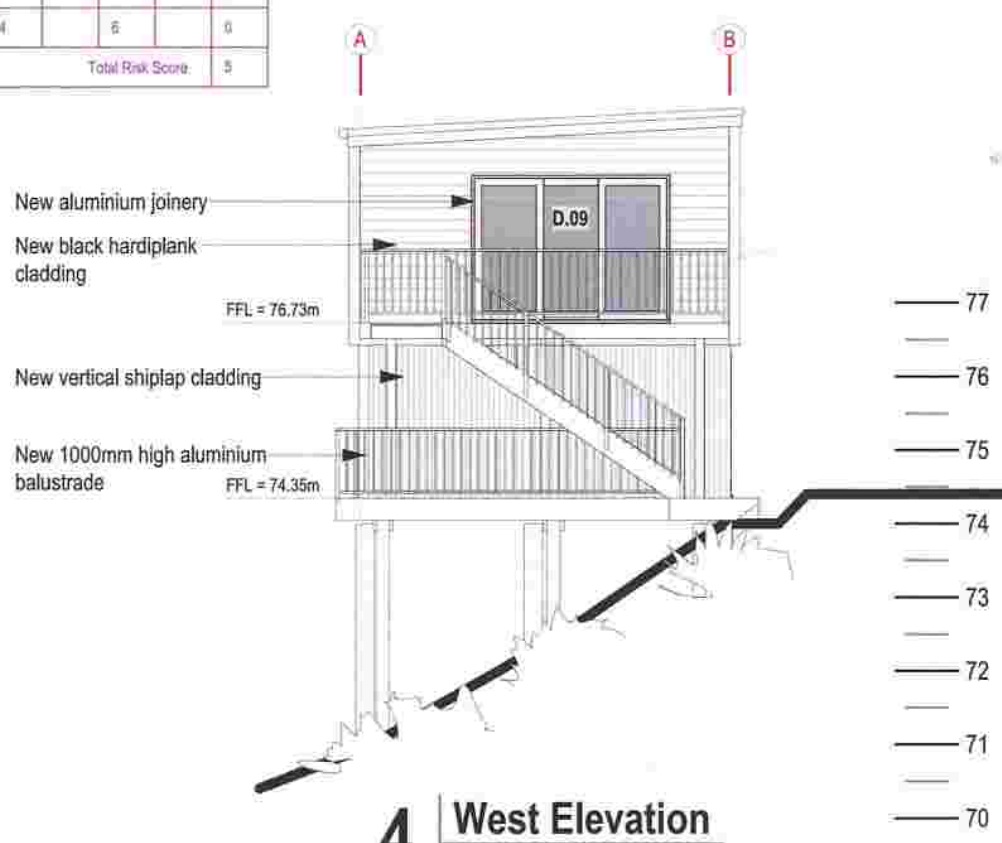
**Building Envelope Risk Matrix**

Risk Factor	Risk Severity								
	Low	Score	Med.	Score	High	Score	Extra High	Score	Sub total
Wind Zone	0		0		1		2	X	2
Number of storeys	0		1		2	X	4		2
Roof / Wall intersection design	0	X	1		3		5		0
Eaves Width	0		1	X	2		5		1
Envelope Complexity	0	X	1		3		6		0
Deck Design	0	X	2		4		6		0
Total Risk Score:									5

- Exteriors**
- Walls:
    - New black Hardiplank weatherboard cladding
    - New vertical shiplap cladding
  - Roof:
    - New metalcraft corrugated metal longrun roofing



**3 East Elevation**  
Scale: 1:100 Ref:



**4 West Elevation**  
Scale: 1:100

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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

Dwg: Sleepout\_Elevations\_Proposed

Date: 17/04/2026 Rev:  
Ref: 23-02 Scale: As Noted  
Dwn: VM Ckd: MG  
Sheet: A-14 Of: 15

*f a reg*



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Job:  
Additions & Alterations for  
O. Paterson & Z. Strongman

Address:  
7 Broadview Road  
Opua 0200

Dwg: Garage +  
Sleepout\_Perspectives\_Proposed

Date: 17/04/2026 Rev:

Ref: 23-02 Scale: As Noted

Dwn: VM Ckd: MG

Sheet: A-15 Of: 15

*Handwritten signature*



- Accounts
- Pay & transfer
- Manage cards
- Product & services
- Timeline

## Payments & Transfers

Pay or Transfer Planned payments

### Payment confirmed

From **Zarah+Owen**  
03-0351-0208786-004

To **New Far North District Council - Debtors**  
12-3244-0022509-000

✓ Saved to payees list.

Details to appear on: **Zarah+Owen 25k loan**  
Resource consent app

Details to go to: **Far North District Council - Debtors**  
RC Bro adview Road PATERSON

Reference 01665

Amount \$2,625.00

Date 22 Apr 2026 (today)

Make another payment