

Application for Temporary or Marginal Activity

Pursuant to Section 87BB of the Resource Management Act 1991 (the Act)

To qualify to be a marginal or temporary activity, a proposed activity must meet the following criteria:

- The activity would be a permitted activity except for a marginal or temporary non-compliance with requirements, conditions, and permissions specified in this Act, regulations (including any national environmental standard), a plan, or a proposed plan; and
- Any adverse environmental effects of the activity are no different in character, intensity, or scale than they would be in the absence of the marginal or temporary non-compliance referred to above; and
- Any adverse effects of the activity on a person are less than minor.

Prior to, and during, completion of this application form, please refer to Resource Consent Guidance Notes and Schedule of Fees and Charges – both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a Council Resource Consent representative to discuss this application prior to lodgement? ☐ Yes ☐ No

2. Applicant Details:

Name	Olaf Guy Eady and Simon Holm Eady and Joanna Maitland Chaplin	
Email (Electronic address for service)		
Postal address (or alternative method of service under section 352 of the Act)		
		Postcode

3. Address for Correspondence:

Name and address for service and correspondence (If using an Agent write their details here).

Name	Graeme Cunningham	
Email (Electronic address for service)		
Postal address (or alternative method of service under section 352 of the Act)		
		Postcode 1025

*All correspondence will be sent by email in the first instance.
Please advise us if you would prefer an alternative means of communication.*

4. Details of Property Owner/s and Occupier/s:

(Name and Address of the Owner/Occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required))

Name / s

As per applicant

Property address /
location

Postcode

5. Application Site Details:

Location and/or Property Street Address of the proposed activity:

Site address/location

Legal description

Certificate of title

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

6. Description of the Temporary or Marginal Activity:

Insert description of the proposal in sufficient detail to justify whether the activity is a 'marginal' or temporary' activity. Including a full explanation and assessment of any District Plan rules which the proposed activity does not comply with:

Rule: 12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS

The existing house was consented with landscape trees in very close proximity. The proposed extension is minor, being only 300mm past the existing building line and therefore any change in the relationship of the building to any surrounding trees is less than minor. The activity would be permitted activity except for marginal non compliance. Any adverse environmental effects of the activity are no different in character, intensity, or scale than they would be in the absence of the marginal or temporary non-compliance referred to above; FFWC has been applied for. Currently there is 40,000L of stored water

& infinite volume of seawater from the beach which are mitigating factors. The activity can be considered marginal and not in conflict with the current district plan Rule: 10.6.5.1.2 RESIDENTIAL INTENSITY

A second laundry and kitchenette is proposed to the existing dwelling. This is an overflow space for holiday guests and or the kids and their friends.

The owners will not be using the space as a second tenancy as suggested. Evidence of this is no tenancy fire/acoustic separation upgrades are proposed via BC to create a second legal sleeping cell. The activity would be a permitted activity except for a marginal or temporary non-compliance with requirements, there are no adverse environmental effects and no adverse effects of the activity.

Therefore the activity can be considered marginal and not in conflict with the current district plan.

7. Other Consent required/being applied for under different legislation:

(more than one circle can be ticked)

☐

Building Consent (BC ref # if known)

BC EBC-2025-168/0

☐

Other (please specify)

9. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name / s

Guy Eady

Postal address

(or alternative method of service under section 352 of the Act)

Work phone

Email

(Electronic address for service)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name of bill payer

(please print)

Signature of bill payer

(mandatory)

Date

11/11/2025

Guy Eady

Checklist

- ☐ Payment
- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Written approvals and a signed plan from each owner of an allotment with an infringed boundary
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Note to applicant

You must include all information required by this form. If all information is not included, the consent authority will return this to you and the correct information must be supplied before a written notice permitting your activity can be provided.

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ARCHITECTURAL LEGEND

EXISTING

	extg. timber framed walls
	extg. timber framed walls removed
	extg. timber framed walls upgraded
	extg. 250mm concrete block wall
	extg. 200mm concrete block wall

PROPOSED

	WALL 1
	90x45mm timber framed wall w. studs at 400mm crs nog vertically @ 800mm crs
	EXTERIOR: install PINK BATTS CLASSIC R2.2 insulating wall pads to all external walls. Selected cladding to exterior also refer to elevations for cladding.
	INTERIOR: 10mm gib for stopped & L4 paint finish interior.
	BATHROOM: 10mm GIB AQUALINE

PROPOSED JOINERY

	ALUMINIUM JOINERY
	new SELECTED aluminium window DGU all clear glass.
	Obscure glass for bathrooms.
	Refer to window schedule

	INTERIOR: DOOR JOINERY
	new 40mm hollow core panel door for paint finish w. selected hardware. Groved jamb for gib. Color TBC

GENERAL

dp	downpipe
tv	terminal vent

	exhaust
	HPM INLINE ceiling Exhaust fan for min 50L/s exhaust 100mm duct.
	Refer to elevations for location of gravity grille.

cos	check on site
oa	over all

ELECTRICAL

	Domestic Smoke Alarm**
	**Smoke alarms complying with one of the standards:UL217, ULC S531, AS3786, BS5446:Part1, are to be installed on or near the ceiling in accordance with Australian Standard AS1670.6.Alarms must have a hush facility located on the alarm itself. Owner is responsible for maintenance of the system as per manufacturer's recommendations.
	hotwater cylinder

NOTE:

1. Install 100mm proprietary restrictors for all window sill openings within 760mm from the inside floor level where the fall height exceeds 1.0m AND where the upstairs WC or any other fixed features are located within 500mm horizontal of an opening window.

ELEMENTAL LEGEND

All fixings in accordance with NZS3604.2011unless noted otherwise

STRUCTURE: all new timber structure SG8

- S 20 new timber lintel w/ min. uplift fixing as per A4.05 LUMBERLOC fixing schedule
- S 21 new timber stringer 140x45 H3.2 fixed with M12 bolt @1200crs
- S 30 new 90x45 wall studs @ 400 ctrs nog @ 800mm crs, top & bottom plates, fixed as per NZS 3604
- S 31 selected flooring material - CHH ECOPLY 18mm flooring
- S 32 new rafters framing at 900 crs subject to site measure install
- S 33 new 70x45mm timber purlin T fixing 1/10gm self drilling screw 80mm long (alternative 2.4kN fixing permitted)
- S 34 LUMBERLOK 0.55x27mm G550 Z275 roof strip brace
- S 40 selected 18mm timber decking fixed with SPAX screws - TBC
- S 41 timber deck joist or deck batten
- S 42 balustrade TBC
- S 50 125x125mm H5 senton pile ordinary & braced 600mm deep minimum anchor 900mm deep minimum

ENCLOSURE

- E 01 THERMAKRAFT dpc
- E 02 SIKA BLACK SEAL ELASTIC brush applied waterproofing coating
- E 03 THERMAKRAFT supercourse 500
- E 10 Roof THERMAKRAFT COVERTEK 407 to lap
- E 11 Walls THERMAKRAFT WATER GATE PLUS to lap
- E 12 THERMAKRAFT ALUBAND flashing tape
- E 13 10mm H3.2 treated timber packer and airseal.
- E 14 nylon packer
- E 15 6mm JH VILLABOARD LINING soffit plastered smooth
- E 16 20x20mm timber scribe w/ silicone seal
- E 17 90x10mm single bevel skirting boards
- E 18 60x10mm to match extg architrave
- E 19 battens H3.2 90x20mm over exterior grade jack framing - 20mm gap

- E 20 H3.2 to match extg RP bevelback weatherboard circa 135x18mmm for paint finish direct fix with galvanised 60x2.8mm nails. Refer paint finishes schedule & color schedule.

- E 24 HUME PINE PINECLAD H3.1 Square Dressed Board 90x18mm
- E 25 HUME PINE PINECLAD H3.1 Square Dressed Board 180x18mm DS4 cut suit
- E 26 HUME PINE PRO SCRIBER 18mm H3.1 w/ silicone seal
- E 27 HUME PINE PINECLAD H3.1 timber fascia. Color to match - TBC
- E 28 REDWAYEXTRUSIONS uPVC 20mm cavity closer
- E 29 REDWAYEXTRUSIONS uPVC flashing. Refer product for selection.

- E 30 ROOFING INDUSTRIES CORRUGATE profile 0.55mm BMT COLORSTEEL.
- E 31 0.4mm BMT COLOUR STEEL flashing to match purpose made. Match roofing refer Colour Schedule.
- E 32 QUICKFLASH aluminium flashing. Refer QUICKFLASH product code for selection
- E 33 ROOFING INDUSTRIES QUARTER ROUND GUTTER with COLOURSTEEL dp. Match roofing refer Colour Schedule.
- E 34 VIKING TPO ENVIROCLAD membrane over 17.5 mm plywood SS screw fixing substrate on timber framing

- E 35 DEKTITE PREMIUM flashing boot installed according to manufactures instructions - allow for the correct size

- E 40 APL ALUMINIUM JOINERY w. DGU Awning, sliding and fixed windows, double track & entrance doors refer drawings. Confirm and allow for floor finishes including depth of carpet when constructing set down. Refer to colour schedule

- E 42 timber window joinery
- E 50 PROPRIETARY window head flashing by window supplier

- E 51 RASOGUM+ liquid-applied waterproofing membrane
- E 52 Bowmac SS175 each side bracket connection bearer to conc block wall
- E 53 SS joist hang joists to stringer

INTERIOR

- I 01 R2.2 KNAUF wall insulation 90mm thk. for 90mm timber framing
- I 02 R3.6 KNAUF ceiling insulation 175mm thk. insulation post install.
- I 03 R1.5 KNAUF floor insulation 70mm thk.
- I 04 10mm thk polystyrene insulation strip (0.25m2 C/W).

FINISHES LEGEND

symbol	description
WL1 F 10	TYPICAL NEW WALL new 10mm GIB board stopped level 4 paint finish direct fix to timber framing square stop at ceiling. Allow where required for packing to match existing gauge.Skirting board TBC.
WL2	LAUNDRYWALL & BATHROOM New 12mm T&G&V wall lining direct fix or on GIB substrate
TILE	selected client supplied tile over substrate

CEILING FINISHES

CL1 F 11	NEW TYPICAL SOFFIT new JH VILLABOARD SOFFIT LINING stopped & level 4 paint finish
CL2 F 11	NEW TYPICAL CEILING new 13mm GIB STANDARD or alternative stopped & level 4 paint finish on ceiling battens 65x35mm @ 600mm crs.

FLOOR FINISHES

FL1	FLOORING new T&G solid wood flooring to match existing over polyurethane substrate
FL2	Selected floor tile on 6mm james hardie backer board
DL1	DECK 140mm timber decking w. SS fixings

DRAINAGE & PLUMBING LEGEND

symbol	description
DN	SS drain pipe. Refer plan for size.
	SW drain pipe.
O	subfloor riser. Refer to plan for size. 50 mm sleeve for 100DN connections under concrete slab
dp	80DN down pipe minimum for SW. Refer plan for downpipe spreader location.
tv	65DN minimum terminal vent to roof for branch drain. Boot flashing over roof penetration.
	arrow slope down - indicates all fall to main drain connection
	Overflow relief gully. Sill cock to charge OFG.
IP	Inspection point
wc	water closet
tub	laundry washing tub
aav	air admittance valve
dw	dishwasher
shr	Tile Shower
mh	man hole
T	Town water supply connection

all pipes minimum grade falls in wall:
40DN 1:40
65DN 1:40
80DN 1:60
100DN 1:60
AS PER G13 OR AS/NZS 3500

all pipe support points to be:
50mm 500mm
100mm 1000mm
AS PER G13 OR AS/NZS 3500

- NOTE:
- 1 Plumbing Contractor is to verify that all plumbing fixture level and pipe gradients meet minimum building code and plumbing standards before starting work.
 - 2 Hot water cylinder shall have operating devices, safety devices, a drained safe tray and seismic restraints in accordance with NZBC
 - 3 Hot water pipework shall be thermally insulated

TIMBER TREATMENT & GRADE SPECIFICATION

Member	Species	Grade	Treatment
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FLOOR FRAMING - RADIATA PINE

Mid floor joists:	Radiata pine	SG8	H1.2
Boundary joists:	Radiata pine	SG8	H1.2

EXTERIOR WALL FRAMING - RADIATA PINE

Exterior walls:	Radiata pine	SG8	H1.2
Parapets:	Radiata pine	SG8	H1.2
Enclosed decks and balconies:	Radiata pine	SG8	H1.2
Cantilevered joists enclosed decks and balconies:	Radiata pine	SG8	H3.2
Wall battens (not cavity):	Radiata pine	Merch	H1.2
Jamb battens:	Radiata Pine	Merch	H3.1

CAVITY BATTENS

Cavity battens Species Grade Treatment Timber - Non Structural:	Radiata pine	Merch	H3.1
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ROOF FRAMING - RADIATA PINE

Rafters:	Radiata pine	SG8	H1.2
Trusses:	Radiata pine	SG8	H1.2
Purlins:	Radiata pine	SG8	H1.2
Ceiling joist & batten:	Radiata pine	SG8	H1.2
Valley boards:	Radiata pine	Merch	H1.2
Sarking:	Radiata pine	Merch	H1.2
Skillion roof framing:	Radiata pine	SG8	H1.2
Enclosed flat roof framing:	Radiata pine	SG8	H1.2

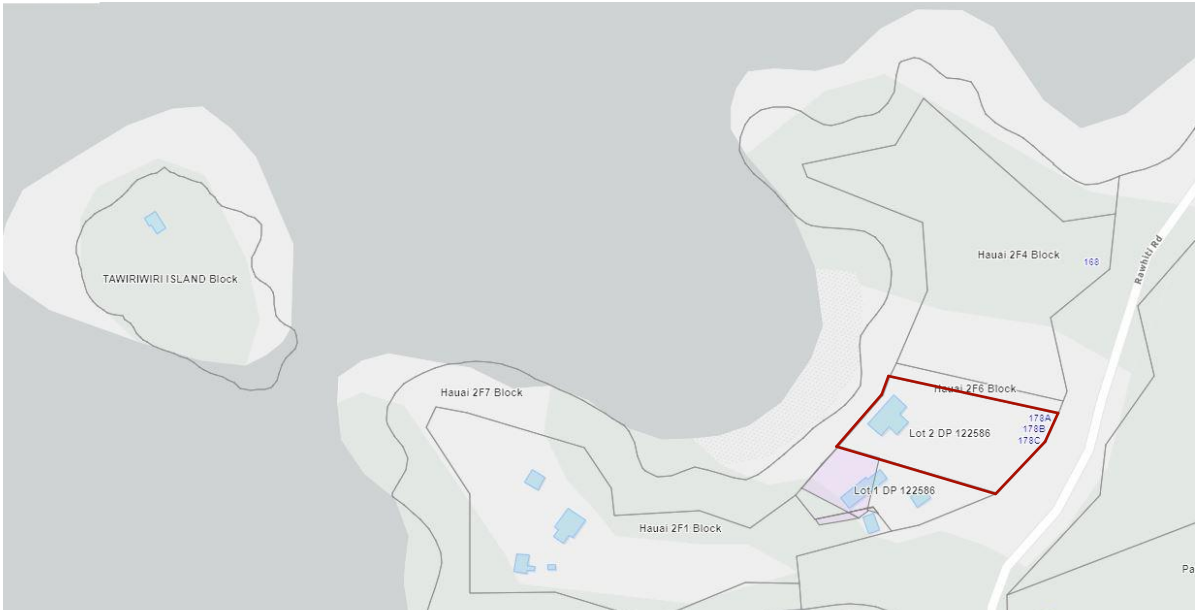
INTERIOR FRAMING - RADIATA PINE

Non structural walls:	Radiata pine	SG8	H1.2
Structural and braced walls:	Radiata pine	SG8	H1.2

EXTERIOR EXPOSED TIMBERS

Posts:	Radiata pine	SG8	H3.2 CCA
Joists:	Radiata pine	SG8	H3.2 CCA
Exterior stairs and steps:	Radiata pine	SG8	H3.2 CCA
Pergola:	Radiata pine	SG8	H3.2 CCA
Ground contact members	Radiata pine	SG8	H5 CCA

Note all CCA to be preservative code 01 or 02



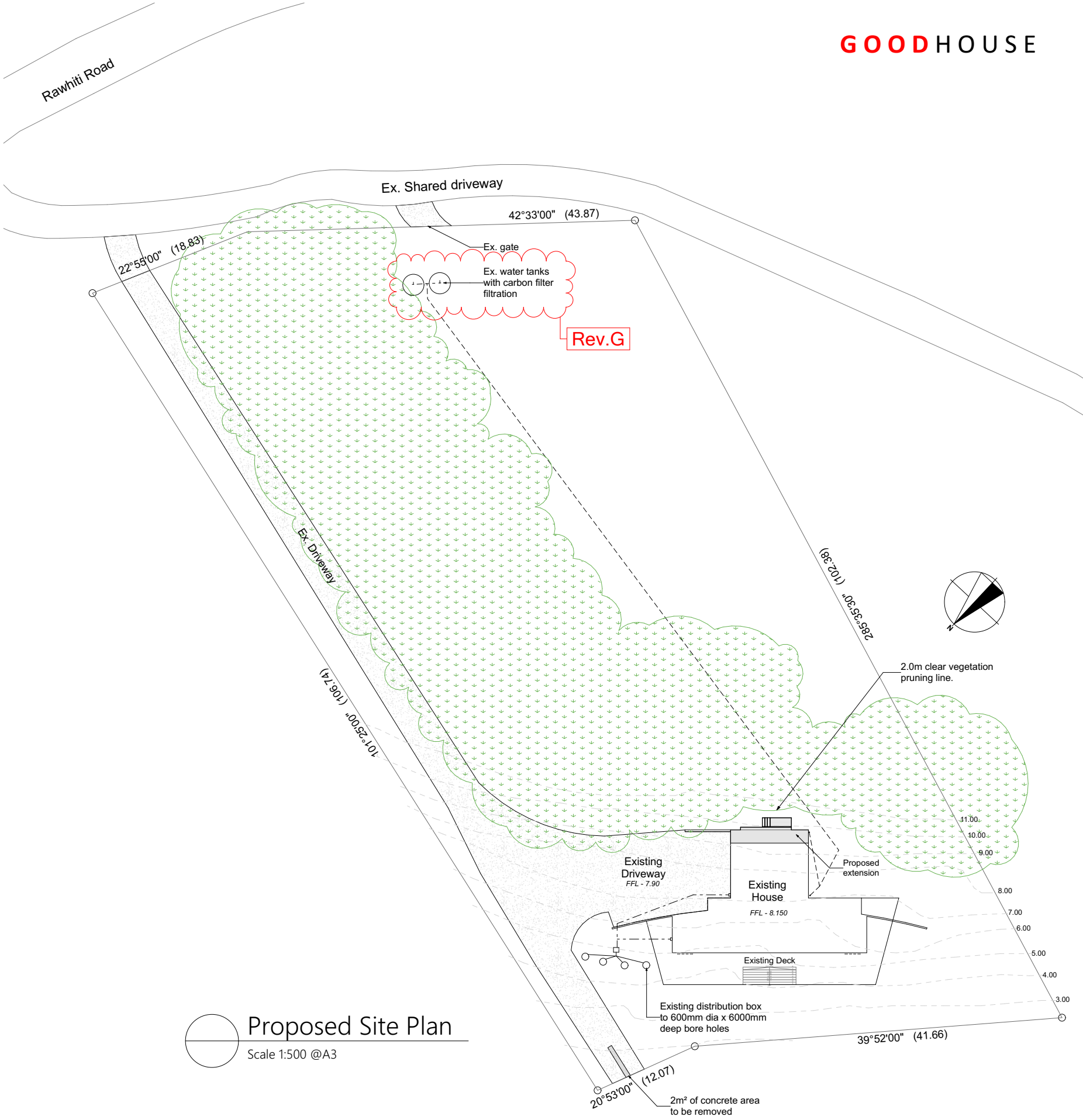
Location Plan
NTS



Site Image
NTS

Building Coverage <i>Net</i>		m2	
House (extg)		301.7	
Addition		2.1	
Total	5.40 %	303.8	COMPLIES
Impermeable Coverage <i>Gross</i>		m2	
Building Coverage		303.8	
Driveway		663.4	
Conc driveway area to be removed		- 2.1	
Total	17.16 %	965.1	NO CHANGE
Landscape area		m2	
Landscape		4631.7	
Total	82.37 %	4631.7	COMPLIES

LEGEND	
	New Extension
	Existing building
	New deck
	Existing driveway



Proposed Site Plan
Scale 1:500 @A3

Client
Eady Family
Project
Additions & Alterations
at Oruruhoa Bay, Rawhiti Northland 0184

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Project No.
24012
Date
28 AUG 24

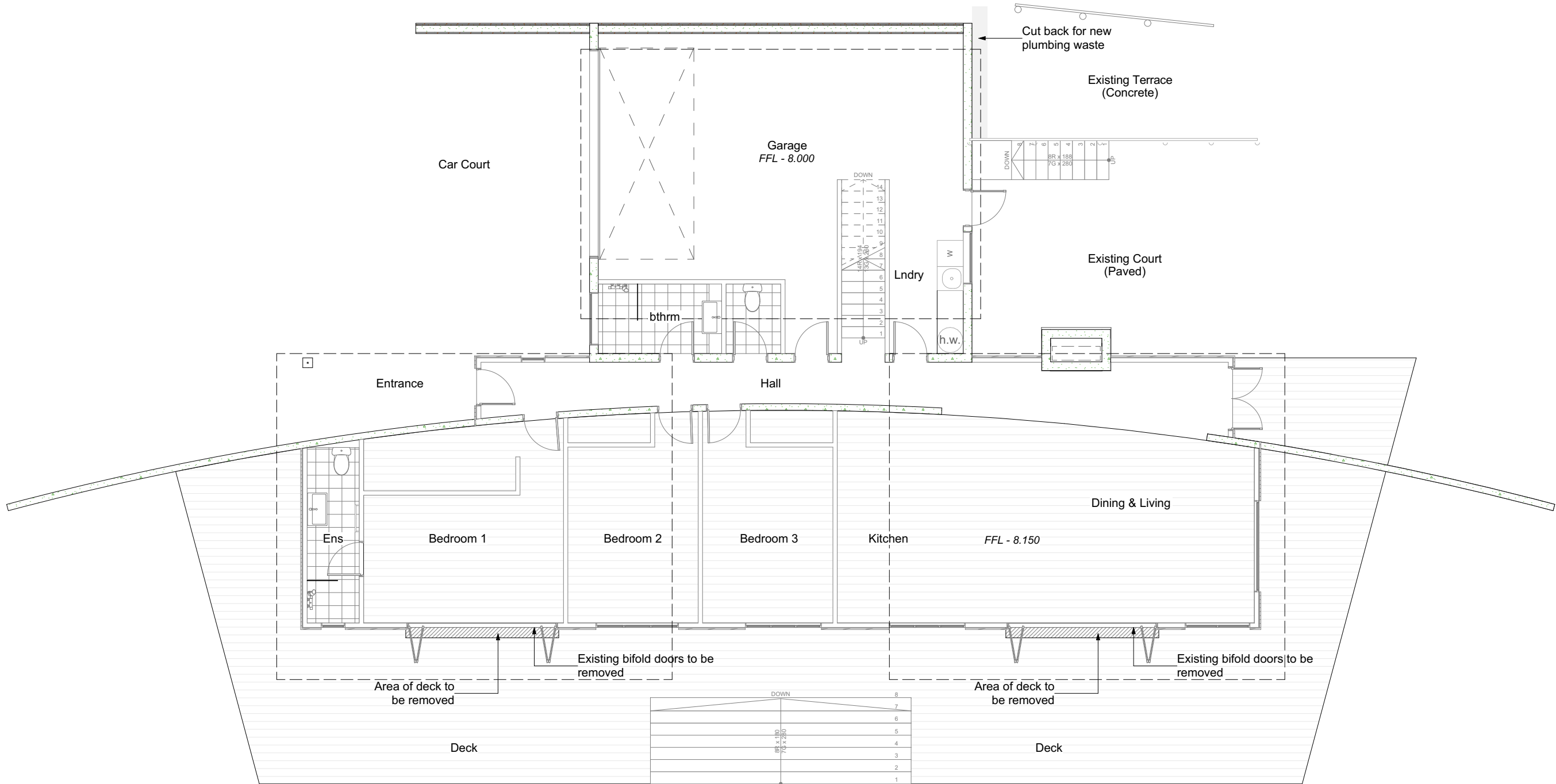
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Drawing Title
Proposed Site Plan
Drawing issue
Building Consent

Drawing
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1:500 @A3

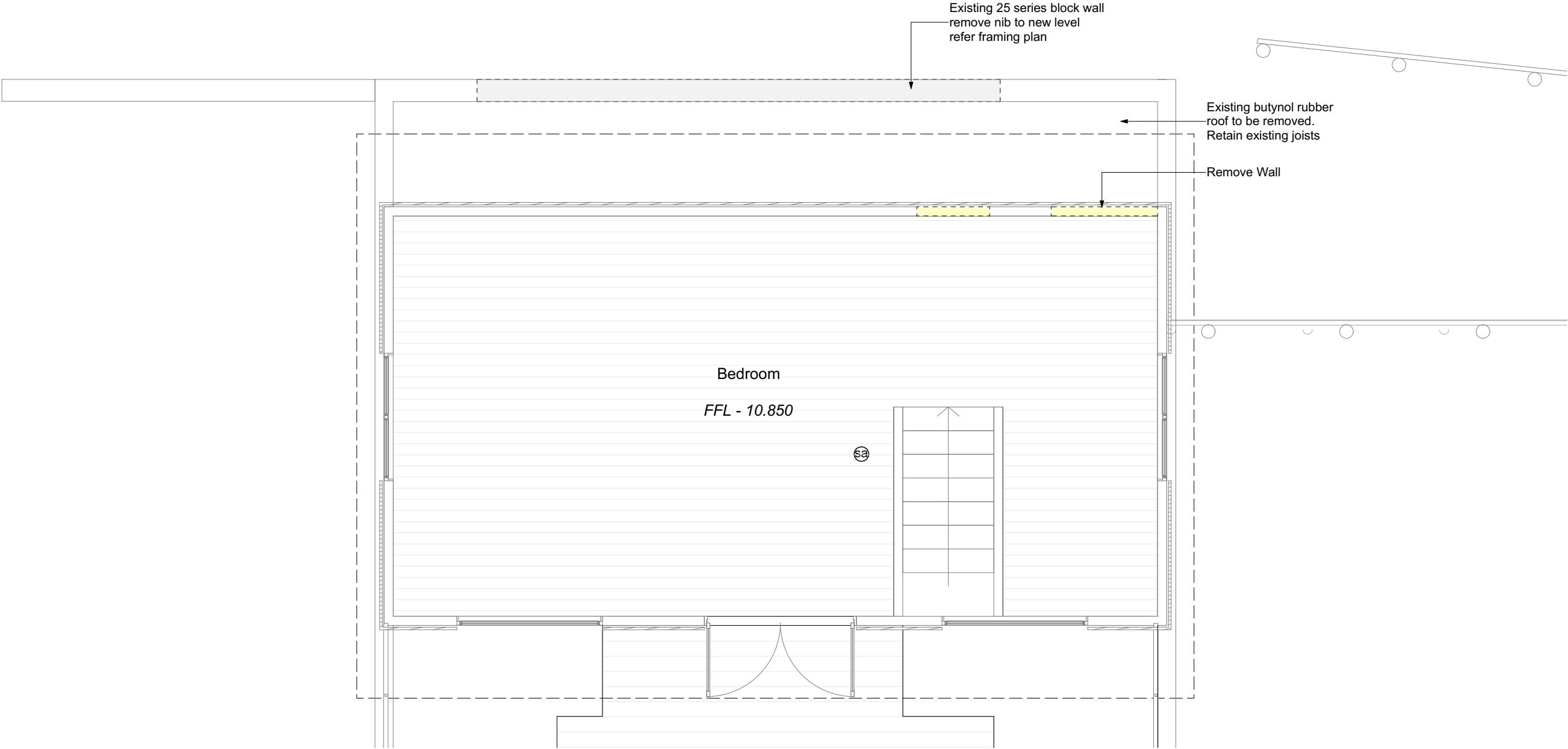
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Rev	Date	Title
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F	05/11/25 1...	HOLD ON WORKS
E	13/11/24 4...	BC
D	05/11/24 1...	BC RFI
C	14/10/24 1...	BC RFI



1 Ex. Ground Floor Plan
Scale 1:100 @A3

Rev	Date	Title
D	4/11/2024 ...	BC RFI
C	14/10/2024...	BC RFI
B	10/10/2024...	BC RFI
A	17/09/2024...	BC RFI



A Ex. First Floor Plan
Scale 1:50 @A3

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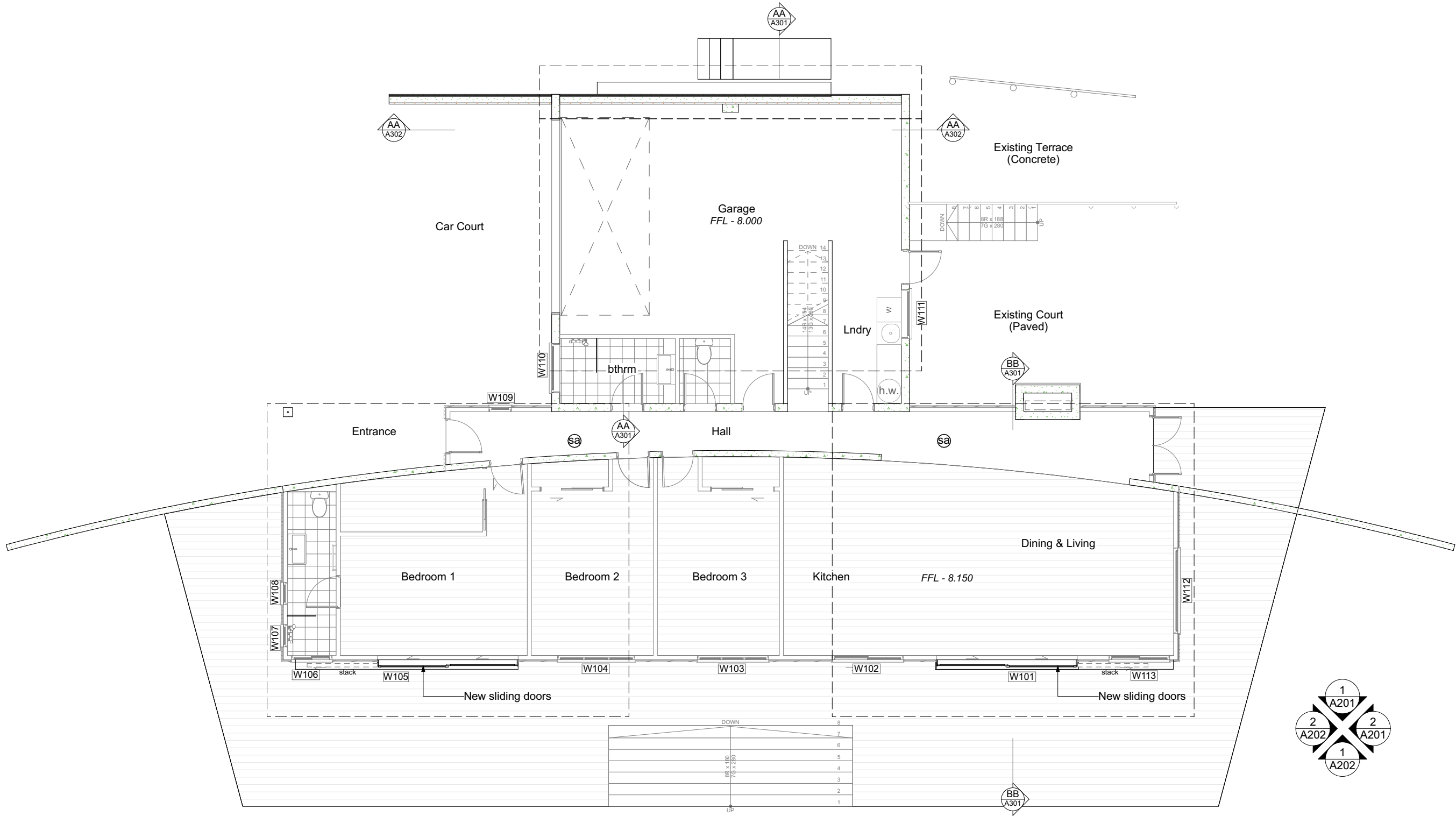
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Project No.
24012
Date
28 AUG 24
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Drawing Title
Existing First Floor Plan
Drawing issue
Building Consent

Drawing
Scale:
1:50
@A3

Drawing Number		
A102		
Rev	Date	Title
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C	14/10/2024...	BC RFI
B	10/10/2024...	BC RFI
A	17/09/2024...	BC RFI



1 Prop. Ground Floor Plan
Scale 1:100 @A3

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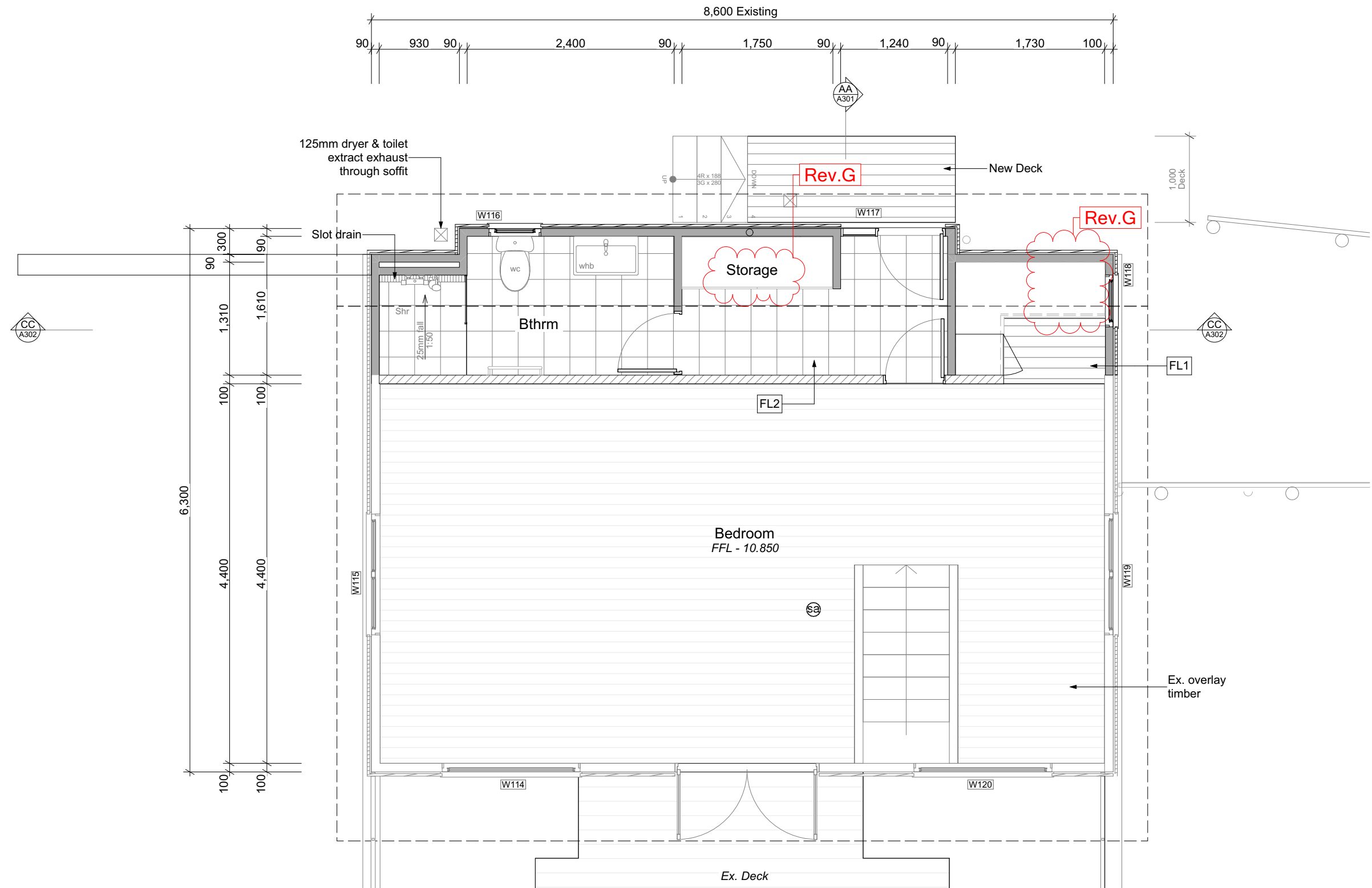
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Drawing Title
Proposed Ground Floor Plan
Drawing issue
Building Consent

Drawing
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Drawing Number
A103

Rev	Date	Title
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C	14/10/2024...	BC RFI
B	10/10/2024...	BC RFI
A	17/09/2024...	BC RFI



Window/Door Schedule -

- W101 - Existing bidold door to be replaced
- W102 - Existing window to be replaced
- W103 - Existing window to be replaced
- W104 - Existing window to be replaced
- W105 - Existing bidold door to be replaced
- W106 - Existing window to be replaced
- W107 - Existing window to be replaced
- W108 - Existing window to be replaced
- W109 - Existing window to be replaced
- W110 - Existing window to be replaced
- W111 - Existing window to be replaced
- W112 - Existing window to be replaced
- W113 - Existing window to be replaced
- W114 - Existing window to be replaced
- W115 - Existing window to be replaced
- W116 - New Window Aluminium joinery
- W117 - New Door Aluminium joinery
- W118 - New Window Aluminium joinery
- W119 - Existing window to be replaced
- W120 - Existing window to be replaced

refer window and door schedule on sheets
A601 - A603

1 Proposed First Floor Plan
Scale 1:50 @A3

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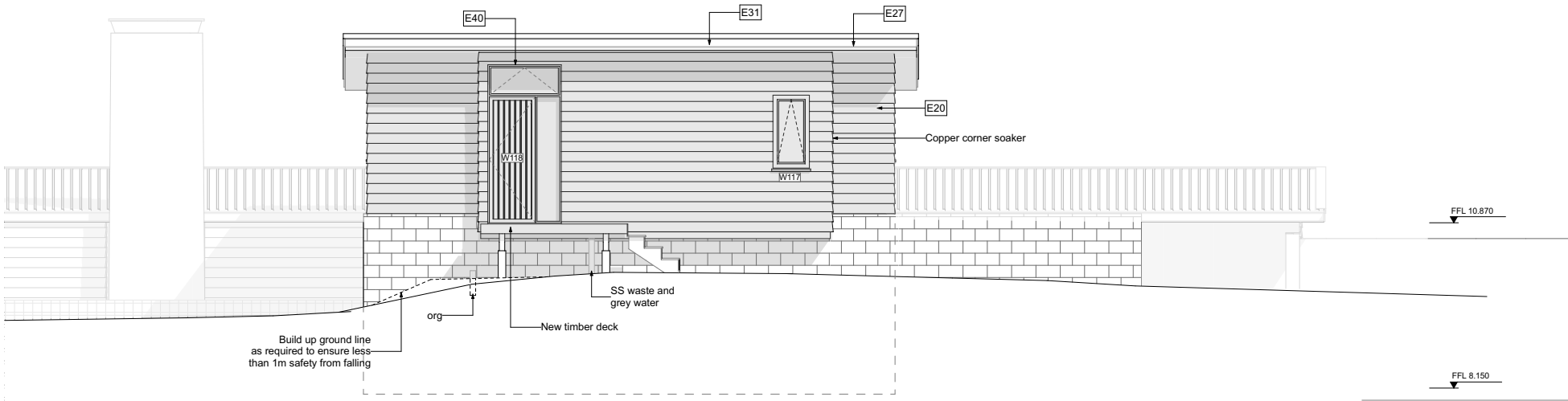
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Drawing Title
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Drawing issue
Building Consent

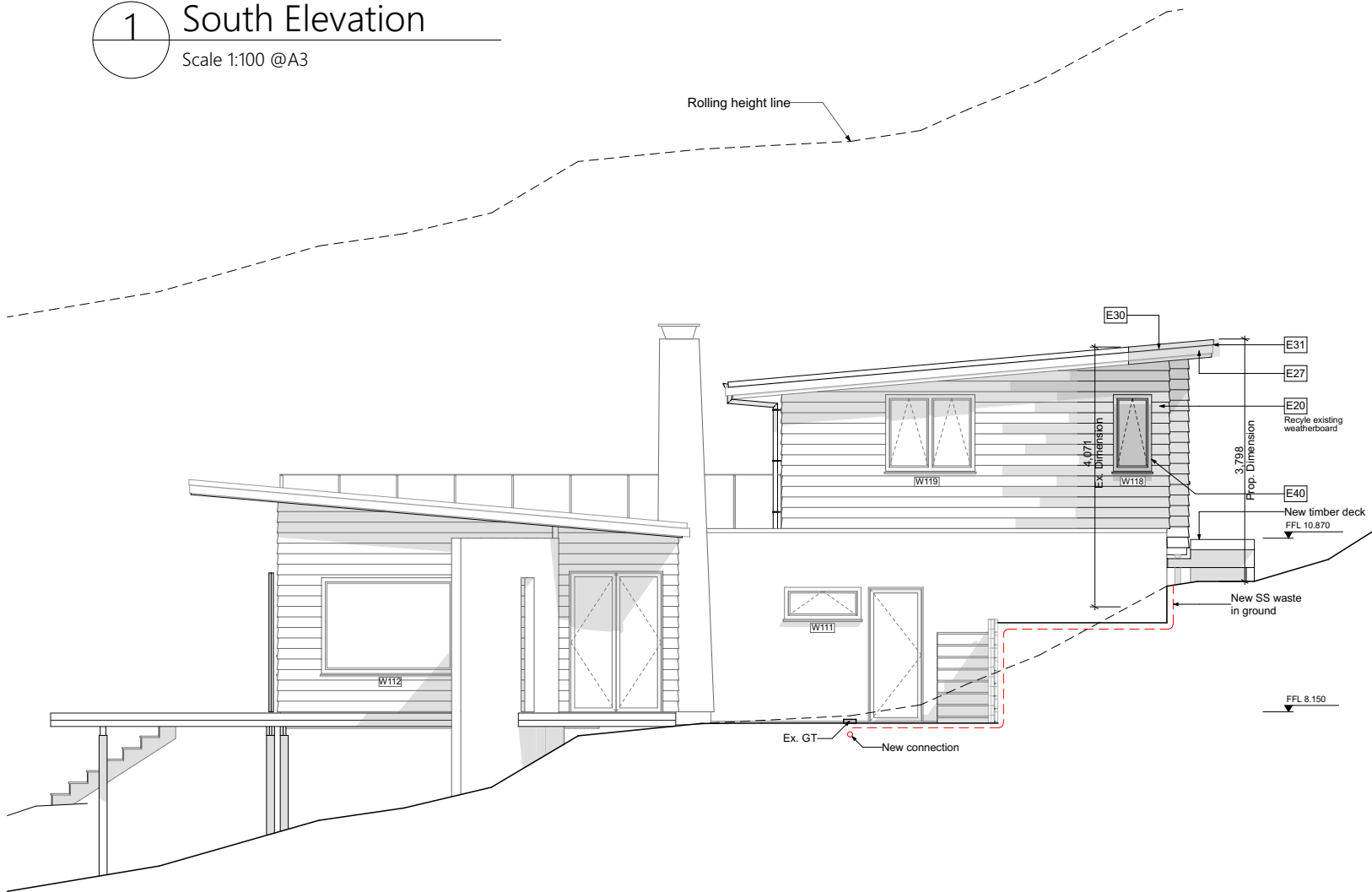
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F	05/11/25 1...	HOLD ON WORKS
E	13/11/24 4:...	BC
D	05/11/24 1...	BC RFI
C	14/10/24 1...	BC RFI



1 South Elevation
Scale 1:100 @A3



2 West Elevation
Scale 1:100 @A3

BUILDING ENVELOPE RISK MATRIX		
South Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	Low risk	0
Total Risk Score:		4

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	High risk	4
Total Risk Score:		8

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Drawing Title
Elevation
Drawing issue
Building Consent

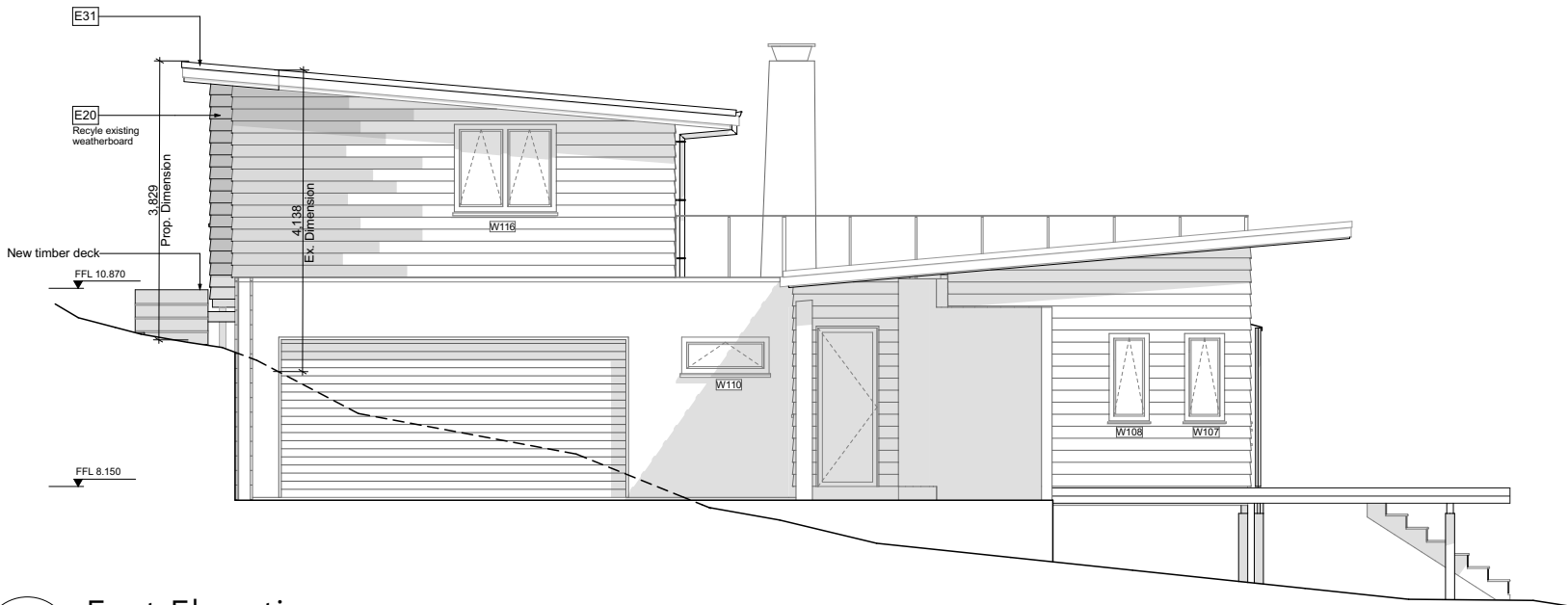
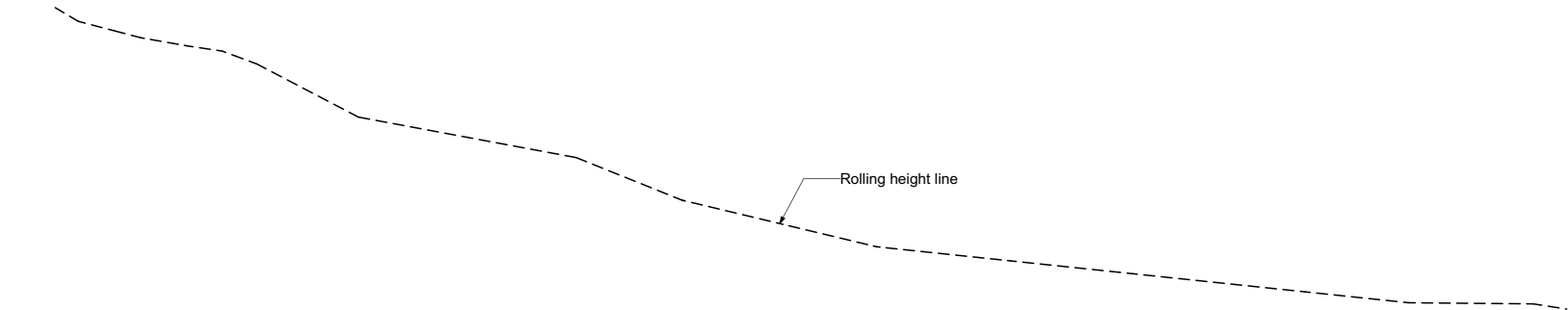
Drawing
Scale:
1:100
@A3

Drawing Number
A201A

Rev	Date	Title
D	4/11/2024 ...	BC RFI
C	14/10/2024...	BC RFI
B	10/10/2024...	BC RFI
A	17/09/2024...	BC RFI



1 North Elevation
Scale 1:100 @A3



2 East Elevation
Scale 1:100 @A3

BUILDING ENVELOPE RISK MATRIX		
North Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	High risk	4
Total Risk Score:		8

BUILDING ENVELOPE RISK MATRIX		
West Elevation		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	High risk	2
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low	0
Deck design	High risk	4
Total Risk Score:		8

Client
Eady Family
Project
**Additions & Alterations
at Oruruhoa Bay, Rawhiti Northland 0184**

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Project No.
24012
Date
28 AUG 24

Drawn By
#Contact ID
Checked By

Drawing Title
Elevation
Drawing issue
Building Consent

Drawing
Scale:
**1:100
@A3**

Drawing Number
A202c

Rev	Date	Title
D	4/11/2024 ...	BC RFI
C	14/10/2024...	BC RFI
B	10/10/2024...	BC RFI
A	17/09/2024...	BC RFI