

# Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- |   |   |
|---|---|
| <input type="radio"/> Land Use  | <input type="radio"/> Discharge                           |
| <input type="radio"/> Fast Track Land Use*  | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision   | <input type="radio"/> Extension of time (s.125)           |
| <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil) |   |
| <input type="radio"/> Other (please specify) _____  |   |

*\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

## 3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

## 4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, [tehonosupport@fndc.govt.nz](mailto:tehonosupport@fndc.govt.nz)

## 5. Applicant details

**Name/s:**

Shoan and Kim McMullien

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.


## 6. Address for correspondence

*Name and address for service and correspondence (if using an Agent write their details here)*

**Name/s:**

Advancedesogn Architecture

**Email:**

**Phone number:**

709

**Postal address:**

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

--

## 7. Details of property owner/s and occupier/s

*Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)*

**Name/s:**

Multiple owners

Property address/  
location:

Refer Title & Municipal Records.

Postcode

## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Shona and Kim McMullien

Site address/  
location:

Postcode 0473

Legal description:

Val Number:

5154026

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

Please notify of visitation time

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Application for Controlled activity under Rule 8.6.5.2.2 Papakainga

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

## 10. Would you like to request public notification?

☐ Yes ☒ No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☐ Building Consent EBC 2026-435/0 Issued (if known)

☐ Regional Council Consent (ref # if known) Ref # here (if known)

☐ National Environmental Standard Consent Consent here (if known)

☐ Other (please specify) Specify 'other' here

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☒ Yes ☐ No ☐ Don't know

☐ Subdividing land

☒ Disturbing, removing or sampling soil

☒ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

## 13. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application ☒ Yes

## 14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

## 15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

**Name/s:** (please write in full)

Shona and Kim McMullien

**Email:**

**Phone number:**

**Postal address:**

(or alternative method of service under section 352 of the act)

**Postcode** 473

### Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.



### 15. Billing details continued...

#### Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

**Name:** (please write in full)

Shona McMullien

**Signature:**

(signature of bill payer)

Date 11-Dec-2025

**MANDATORY**

### 16. Important Information:

#### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

#### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

#### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

### 17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

**Name** (please write in full)

Lee Wilkinson

**Signature**

Date 11-Dec-2025

*A signature is not required if the application is made by electronic means*

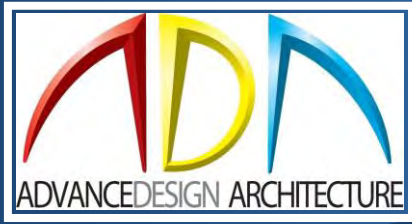
*See overleaf for a checklist of your information...*

## Checklist

*Please tick if information is provided*

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.



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www.advancedesign.co.nz

**Shona and Kim McMullien**

**33 Paniora Road, Waimamaku 0473**

**Land Use Consent Application**

# Land Use Consent Application

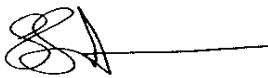
Under Section 88 of the Resource Management Act 1991

To Far North District Council

For : Shona and Kim McMullien, 33 Paniora Road, Waimamaku 0473

Subject : In response to approved EBC-2026-435/0 Form 4, notice of rule 8.6.5.1.1 (Rural Production: Residential Intensity). Request of consideration for Controlled Activity approval under Far North District Plan Rule 8.6.5.2.2 Papakainga Housing, per Maori Land Court License To Occupy stamped by the court dated 05/01/2022

Prepared by : Advancedesign Architecture



Lee Wilkinson

11 December 2025

- 1) The FNDC application form 9 has been filled in, signed and appended with this application.
- 2) The location of the proposed activity is 33 Paniora Road, Waimamaku which is the historic home of the Paniora family, now partly owned by Shona (Paniora) and Kim McMullien. The legal description is Lot 1 DP 175799 and is Zoned Rural Production
- 3) The proposed activity is to establish a second dwelling near to the main dwelling for the applicants to reside in.
- 4) This application is being filed pursuant to approval of Building Consent: EBC-2026-435/0
- 5) No other consents or statutory approvals are needed for the activity to which this application relates.
- 6) We have assessed the proposed activity in relation to Part 2 of the Resource Management Act 1991.
- 7) Included is an assessment of effects on the environment including information required by clauses 6 & 7 of schedule 4 of the Resource Management Act 1991.
- 8) This application has been assessed in relation to both the operational Far North District Plan and the Proposed District Plan.
- 9) Site suitability in relation to land stability and bearing is appended as an investigative report by Chartered Professional Engineer Thijs Drupsteen.
- 10) Italicised text indicates direct quote or copy from the cited documents.

## Contents

1	Introduction .....	4
1.1	Report Basis.....	4
1.2	Proposal Summary .....	4
1.3	Property Details .....	4
1.4	Relevant title conditions.....	5
1.5	Other approvals required .....	5
1.6	Processing requests .....	5
1.7	Statutory Context.....	5
2	Site and Environment.....	6
2.1	Site Location.....	6
2.2	Environmental context .....	7
2.3	Proposed use of existing crossing .....	7
2.4	Topography .....	7
3	The Proposal.....	8
3.1	General.....	8
3.2	The approved residential unit.....	8
3.3	Location within site .....	8
3.4	Context.....	8
3.5	Consultation .....	8
4	Rule Assessment .....	9
4.1	Applicable Planning Notations .....	9
4.2	Operational District Plan Rule assessment .....	9
4.3	Proposed District Plan Rule and Standards assessment .....	9
5	Assessment of Effects.....	10
5.1	Existing Environment .....	10
5.2	Permitted Baseline .....	10
5.3	Landscape character and amenity.....	10
5.4	Rural Production zone values.....	11
5.5	Physical effects.....	11
5.6	Cultural effects.....	12

5.7	Part 2 assessment.....	14
5.8	Adverse effects conclusion .....	15
6	Notification .....	16
6.1	Public Notification .....	16
6.2	Limited Notification .....	16
6.3	Conclusion regarding notification.....	16
7	Compliance Path and Conclusion .....	17
7.1	Compliance Path .....	17
7.2	Conclusion.....	17
	Appendix 1. Title and MLC Certificates .....	18
	Appendix 2. Proposal Plans .....	23
	Appendix 3. Site Suitability Report .....	33
	Figure 1. Site looking North East. ....	6
	Figure 2. From proposed site looking South east. ....	6
	Figure 3. Proposed site looking west .....	7
	Figure 4. Screenshot from NZ Archaeological Association website. ....	13

# 1 Introduction

## 1.1 Report Basis

This report has been prepared for Shona and Kim McMullien (the applicants) in support of an application to construct a residential dwelling unit onto the property at 33 Paniora Road for their own use.

## 1.2 Proposal Summary

The applicants own in part share the Fee Simple titled, 46,567m<sup>2</sup> property land zoned as Rural Production with primary house, minor outbuildings, and improvements. The current use of the land is as a homestead and as a light grazing farm. There are no 'Resource Areas' that relate to the site.

The applicants propose to re-locate a dwelling of around 90m<sup>2</sup> for them to use. After Geotechnical testing and some further consideration, the optimum site for this is where indicated on the plans.

## 1.3 Property Details

Applicants	Shona and Kim McMullien
Owners	Peter William Pickering, Shona McMullien, Rosemary Carole Thomas and Julie Rosalie Caroline Pickering as responsible trustees jointly, no survivorship
Site location	33 Paniora Road, Waimamaku
Legal Description	Lot 1 DP 175799
Title	NA105B/352
Area	46,598m <sup>2</sup>
District Plan	Far North
District Plan Zone	Rural Production

**Table 1:**  
Property  
Details

#### **1.4 Relevant title conditions**

Title NA105B/352 contains only 1 condition which relates to the determination that: the land is Maori Freehold Land. This proposal does not affect any of this in any way, a copy of the title and DP are included with this submission.

#### **1.5 Other approvals required**

No other approvals are required.

#### **1.6 Processing requests**

Prior to the release of any decision for this application, please forward the draft to the agent for comment.

#### **1.7 Statutory Context**

This report has been prepared acknowledging that section 104A of the RMA applies to controlled activities. We have prepared this report to supply information to address the relevant requirements outlined in section 104 (1) and inherent subsections.



## 2 Site and Environment

### 2.1 Site Location

The site is in a rural location on Paniora Road, inland Waimamaku



**Figure 1. Site looking North East.**

Pegs indicate house location.



**Figure 2. From proposed site looking South east.**

View to existing service vehicle accessway to main driveway.





**Figure 3. Proposed site looking west**

## **2.2 Environmental context**

The local environmental context is predominantly rural production with an emphasis on cattle raising in between stands of forest in the uplands. Interspersed between the farms are clusters of homes and smaller lifestyle blocks where a variety of farming types take place.

## **2.3 Proposed use of existing crossing**

The proposed new dwelling is intended to be accessed via the existing farm access crossing, which has been constructed to at least FNDC EES standard. This currently serves as heavy duty access for trucks transporting stock and farm materials.

## **2.4 Topography**

The immediate topography is grazed, gentle rolling hills with patches or stands of regenerating native or planted production forest. The watersheds fall away from the proposed site and generally head to the upper reaches of the Waimamaku Stream and then some 3km out to the west coast.

## **3 The Proposal**

### **3.1 General**

The proposal is to relocate a timber framed dwelling onto the site.

### **3.2 The approved residential unit**

A relocated 90m<sup>2</sup> two bedroom dwelling on pile footings and is intended to be sited at a geotechnically investigated and suitable location requiring minimal site disturbance directly off the internal accessway utilising the existing new shed access. This proposal is shown and dimensioned in plans prepared by Advancedesign Architecture included as Appendix 2

### **3.3 Location within site**

The proposed dwelling is intended to be accessed via the existing accessway, around 148m into the site.

### **3.4 Context**

The proposed new dwelling is within sightline of the existing homestead dwelling and intended for use by the applicants. The site is below sight level from both the road and surrounding areas. There is a considerable density of plantings already with several layers around the site itself. The intention of the applicants is to assist the building to blend into the environment by using colours from BS5252 and to continue on with planting out the site with further native and orchard plantings.

### **3.5 Consultation**

The majority of properties in this section of Paniora Road are owned by direct descendants of Taurau Reuben Paniora and Paekoraha John Paniora. This proposal is being undertaken under the aegis of the License To Occupy approved by the Maori Land Court in 2022. All living owners have signed off on the agreement.

## **4 Rule Assessment**

### **4.1 Applicable Planning Notations**

The site is zoned Rural Production under the operational Far North District Plan. The zoning under the proposed District Plan will be Maori Purpose Rural Zone. There are no additional Resource Area overlays to this site. We contend that the Form 4 notice should of in fact referred to Rule 8.6.5.2.2 as application included MLC License to occupy and notation that Shona McMillien (Paniora) grew up in the roadside house #33, identified as Homestead and attended Opononi Area School

### **4.2 Operational District Plan Rule assessment**

Assessment of the Operational Far North District Plan has been undertaken and it is our conclusion that the proposal fully meets in practice the operational intent contained within, (excepting Rule 8.6.5.1.1. which is then precluded by the more accurate referral to the Papakaia Housing Rule 8.6.5.2.2)

8.6.5.1.1 Compliance via Rule 8.6.5.2.2

8.6.5.1.2 Compliant

8.6.5.1.3 Compliant

8.6.5.1.4 Compliant

8.6.5.1.5 Compliant

8.6.5.1.8 Compliant

8.6.5.1.10 Compliant

### **4.3 Proposed District Plan Rule and Standards assessment**

This proposal appears to completely comply within the intent of the stated Objectives and Policies.

MPZ-R1 Compliant with PER-1 and Per-2

MPZ-R2 Complaint

MPZ-R3 Complaint

MPZ-R4 Excepted by rule reference to MPZ-R5

MPZ-R5 Compliant with PER-2 & PER-3

MPZ-R6 to MPZ-25 N/A

MPZ-S1 to MPZ-S7 Fully Compliant.

## 5 Assessment of Effects

### 5.1 Existing Environment

Section 104(1)(a) of the RMA requires consideration of any actual and potential effects on the environment of allowing an activity. The existing environment is described in Section 2 of this report.

### 5.2 Permitted Baseline

Section 104(2) of the RMA allows a consent authority to disregard an adverse effect of an activity on the environment if a plan permits an activity with that effect.

The permitted baselines of the site are as follows:

#### **8.6.5.2.2 PAPAINGA HOUSING**

*Papakainga housing is a controlled activity in the Rural Production Zone provided that: a. it complies with all the standards for permitted activities in this zone and in **Part 3 - District Wide Provisions**, except for the standards for residential intensity; and b. each residential unit has at least 3,000m<sup>2</sup> surrounding the unit for its exclusive use; provided that the amount of land elsewhere on the site, in addition to the 3,000m<sup>2</sup> surrounding the unit, is not less than that required for the discretionary activity residential intensity standard (refer to **Rule 8.6.5.4.1**).*

*In considering an application under this provision, the Council will restrict the exercise of its control to the following matters:*

- i. the number and location of dwellings;*
- ii. the location and standard of access;*
- iii. screening and planting.*

#### **8.6.5.4.1 RESIDENTIAL INTENSITY**

*Residential development shall be limited to one unit per 2ha of land. In all cases the land shall be developed in such a way that each unit shall have at least 2,000m<sup>2</sup> for its exclusive use surrounding the unit plus a minimum of 1.8ha elsewhere on the property.*

**This proposal meets the permitted baseline.**

### 5.3 Landscape character and amenity.

As outlined in section above it is permitted to create a new residential unit of this size on the property and the suitability of the land itself to successfully site a building on it that are addressed within this submission.

We present the fact that this is a rural production area and is sparsely populated with houses at appropriate distances from each other. Another aspect of rurally located homes is that the majority of them are relatively obscured by both site and farm landscaping and plantings. This is also definitely the case with this proposal as it is currently fully concealed from three quarters and it is intended to landscape plant out the remaining quadrant.

Amenity values are considered to be inherently subjective, meaning that: what one person finds pleasing, another may not. However, within the New Zealand rural context there are typically common accepted qualities that most people appreciate, such as clean air, open spaces, a green outlook and a quiet environment. This proposal fits well within the local amenity values.

#### **5.4 Rural Production zone values.**

This rural production area is a predominantly cattle raising country countryside or farm forestry. This proposed site, bulk and location would only cover around a further 100m<sup>2</sup> as parking and access are existent to the garage. This increase in site coverage represents less than 1% of the lot area so would not be noticeable in terms of the farm's productivity. Any activities related to the use of the proposed dwelling and their activities on the farm would in the main not be visible to neighbours due to location within the landscape and existing site plantings. The proposed dwelling and the proposed location are not antithetical to the typical zone values.

#### **5.5 Physical effects.**

The applicants brief for this project included wanting the project to have a minimal footprint and be as ecologically sound as practical. To that end they have chosen that the site services will be mostly self-contained excepting 90kg LPG cylinders for cooking and water heating. The stormwater catchment tanks will provide a suitable buffer for both drought periods and firefighting purposes. The proposed Natural Flow waste water treatment system is ecologically sound and produces a very high water quality output, eminently suitable for the proposed evapo-transpiration fields. The Natural Flow NF8000 system and the distance to any water bodies and the type of evaporative soakage system specified would preclude any effect on mahinga kai, mataitai or te hauhake ika. The overall effect on the environment will be less than minor.

## **5.6 Cultural effects.**

As Tangata Whenua this proposal seeks to construct a new residential unit as Papakainga on the family land. The entire ridgetop area along Paniora Road originally belonged to Shona's dad, Taurau Reuben Paniora (28<sup>th</sup> Maori Battalion), and his cousin Paekoraha John Paniora.

Over time this land has been divided among their descendants and of late there has been a steady returning home.

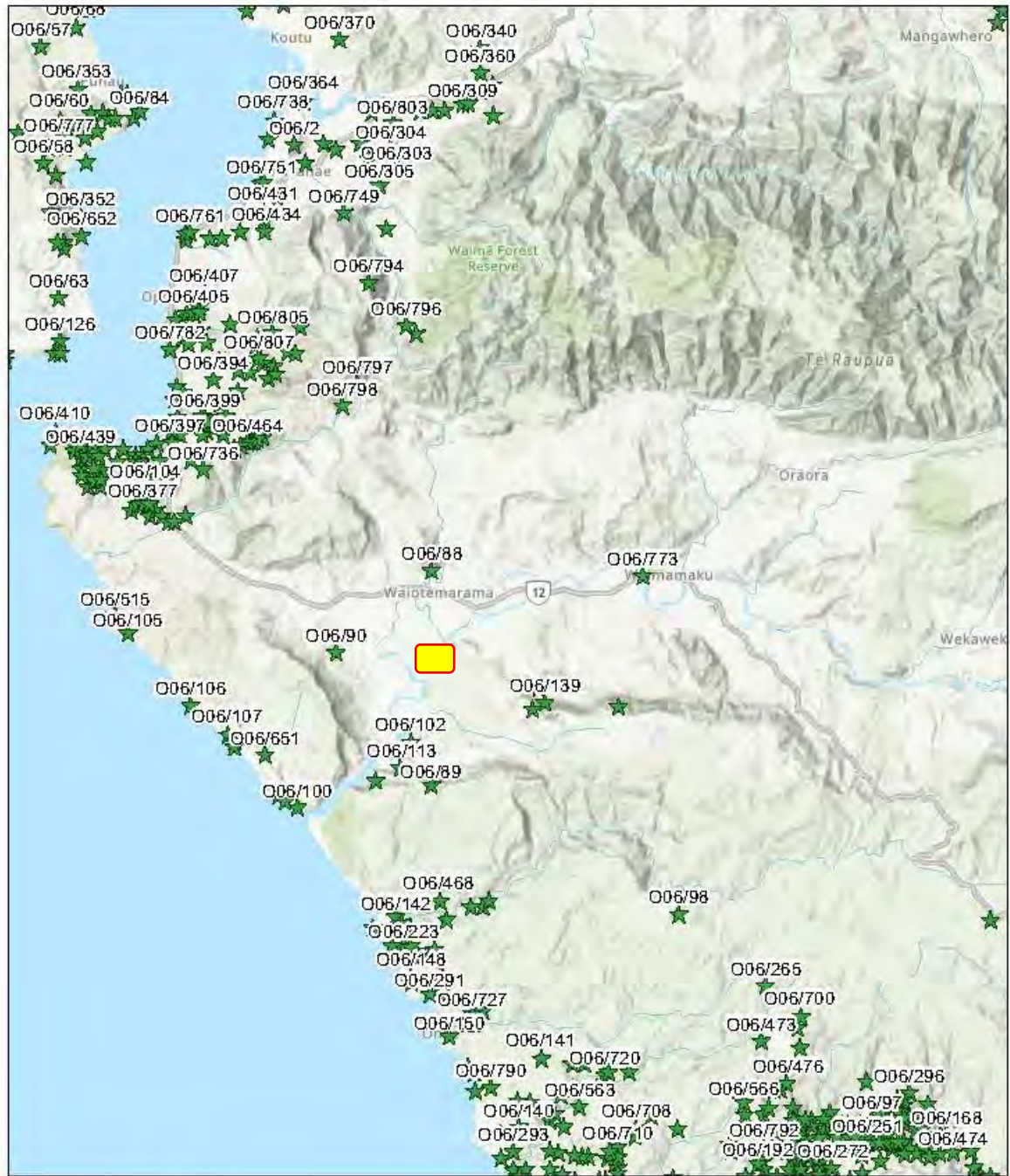
There are no known Wahi Tapu, Urupa or caves in the immediate vicinity and no reported discovery of any archaeological features.

We conclude that having regard to the above, and noting that there are no mapped sites of significance to Tangata Whenua near the subject site, any adverse effects associated with the proposal on cultural values would likely be less than minor.

NZ Archaeological local site listing chart follows.



## ArchSite

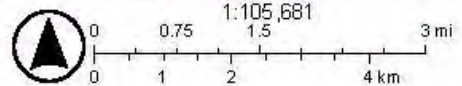


12/11/2025, 10:03:27 AM

Sites

★ Approved

New Zealand Hillshade



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**Figure 4. Screenshot from NZ Archaeological Association website.**



## 5.7 Part 2 assessment

The ethos driving this project was to establish a dwelling for Shina and Kim on the land that sits nicely within the fabric of the existing home, plantings and the greater neighbourhood within a Rural Production zoned area.

By utilising existing site infrastructure in relation to the existing on site roading this proposal helps minimise the ecological footprint of any new addition to the overall site. This is not dissimilar to only needing to create a short driveway in an urban subdivision excepting that the stormwater run-off is directed and filtered by the existing land coverings and proposed plantings instead of municipal infrastructure.

The site has been investigated, examined and geotechnically tested and is entirely suitable to meet the needs and requirements of the owners with minimal works required and site establishment costs.

The proposal does not increase the amount of rain that is already falling on the site but helps focus and direct it in a way that will be environmentally beneficial to the site plantings.

The building method is a traditional timber framed cottage on a timber pile foundation which minimises any disturbance to the land itself. The Engineer has specified a type of waste water treatment system that both filters and oxygenates the outflow, which is then directed through planted beds and trees to irrigate these and then evaporate rather than flow into the water table. This will have a definable nett effect of increasing the carbon storage capacity, vegetative diversity, biomass and the associated flora and fauna that accompanies such plantings.

The majority of the building components are individually recycle-able and the building itself would be functionally single piece transportable, future re-use has been considered and most of the components can be fed into an existing recycling stream.

The water supply will also be self-contained with a first flush diverter and with approved specification filtration. In regards to stormwater handling, the primary catchment tank also helps enhance the fire protection capacity of the overall site area.

In terms of how the building will sit within the context of the land, the chosen location is practically hidden currently by the form of the land itself and the relatively dense landscaping plantings in the vicinity.

The proposed low reflectivity colour scheme and future plantings of native, exotic and fruit trees will help further diffuse any visual impact the building has on long distance landscape views.

We contend that as a whole this proposal will successively meet and mitigate any adverse effects on the environment.

This proposal accords with the purpose of the RMA for the following reasons:

1. The proposal promotes and facilitates the efficient use of resources by allowing the subject site to be developed in accordance with the stated intentions of the Far North District Plan.
2. The proposal is reflective of the existing amenity values and associated built environment character connected with the subject site and its surrounding environment.
3. The proposal does not increase any risk due to natural hazards.
4. There have been no adverse effects on human health identified or associated during collation of this proposal.

The proposal does not breach any matters of national importance noted in Section 6, or any of the other matters set out in Section 7 and 8 of the RMA.

## **5.8 Adverse effects conclusion**

When these matters are considered, the effects related to this proposal would be less than minor relative to permitted baseline and to the existing environment.

## **6 Notification**

### **6.1 Public Notification**

This report concludes that upon considering section 95A of the RMA and consideration that any discernible effects would be less than or no more than minor. There are no extraordinary circumstances associated with this application and the applicants have not requested notification. Public notification is not required.

### **6.2 Limited Notification**

Following section 95B of the RMA and assessment of section 95E-G of the RMA any adverse effects on neighbouring parties would be less than minor. As consequence limited notification is not required.

### **6.3 Conclusion regarding notification**

Upon consideration of the interpretations above we conclude that the proposal can proceed on the basis of non-notification.

## **7 Compliance Path and Conclusion**

### **7.1 Compliance Path**

Considerable attention has been made in order to meet or exceed the environmental impact requirements of the Far North District Plan: Plans, Objectives and Rules. In relation to the vicinity of the existing home and the proposed location on the site, the balance of available land is constrained by the existing topography and the existing built environment.

The Far North District Plan rule applicable is **8.6.5.2.2** and as outlined earlier the most suitable level area and access for the proposed dwelling is locating it where proposed. We have outlined how the proposal in general and every other way complies with both the intent of the Resource Management Act and the Far North District Plan

We have followed the above Compliance permission path outlined within the Far North District Council Plan by having a Chartered Engineer investigate and report both on the site findings and conditions in accordance with the requirements outlined. Report appended.

### **7.2 Conclusion**

This proposal is to construct an additional new dwelling on a family owned property zoned Rural Production. In the context of the land and existent landscaping, this proposal would fit well within the local rural countryside fabric and not be particularly noticeable to either neighbours nor passers by.

Due to the proposed location and construction methods, the environmental effects would be less than minor, due regard has been given to section 104(1)(a) of the RMA. We have considered the proposal in regard to the policies and objectives of Chapter 8 (Rural) of the Far North District Plan and find that it is in the main compliant.

We conclude that this proposal submission would have less than minor effect to any other persons, the environment or any other authorities, and that favourable consideration should be given to this request for Controlled Activity approval subject to appropriate conditions of consent.

## **Appendix 1. Title and MLC Certificates**



**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA105B/352**  
**Land Registration District** **North Auckland**  
**Date Issued** 29 May 1996

**Prior References**  
NA27C/72

---

**Estate** Fee Simple  
**Area** 4.5978 hectares more or less  
**Legal Description** Lot 1 Deposited Plan 175799

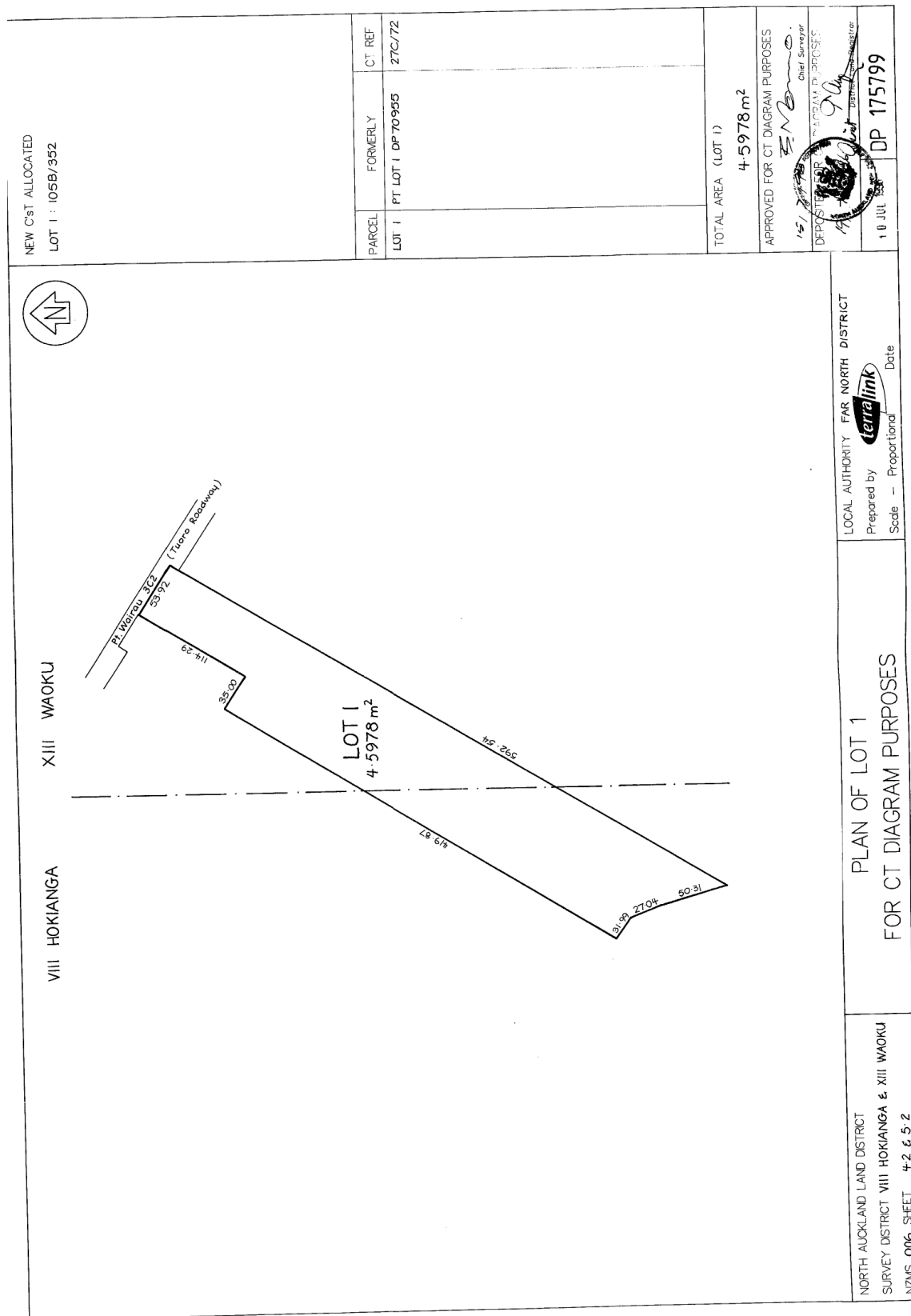
**Registered Owners**

Peter William Pickering, Shona McMullien, Rosemary Carole Thomas and Julie Rosalie Caroline Pickering as responsible trustees jointly, no survivorship

---

**Interests**

9883075.1 Status Order declaring that the status of the within land shall cease to be General Land and shall become Maori Freehold Land - 31.10.2014 at 3:07 pm



**LICENSE TO OCCUPY**Dated this day of 27/11/2021Between: The Reuben Taurau and Kirihimete  
Caroline Paniora Whanau trustAnd  
Shona McMullien**The Whenua:** Legal description of the land**Pt Lot** DPI75799**Status:** Maori Freehold land**Site:** Site being the land described on the annexed.

The Reuben Taurau and Kirihimete Caroline Paniora whanau trust grants to  
(Hereafter referred to as the license) and her/his whanau license to occupy the site, upon the terms  
and conditions set out below.

**Terms & Conditions**

1. The licensee shall keep the site, the house and any other buildings erected on the site clean and tidy.
2. Rates,  
The licensee shall be liable for any rates payable on the site, as determined by the Far North District council.  
Where the license shall pay to the Reuben Taurau and Kirihimete Caroline Paniora whanau trust a proportionate share of the rates for the block.
3. The licensee shall use the site for what ever purpose that will promote the wellbeing of the whanau.
4. Access:  
The Reuben Taurau and Kirihimete Caroline Paniora whanau trust shall grant to the licensee reasonable access across the land to the license site.
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The license to occupy may only be transferred or assigned by the license with the consent of the Reuben Taurau and Kirihimete Caroline Paniora whanau trust in writing and upon the following conditions.

The Transferee or Assignee is:

- a. A beneficial owner of the land, or
  - b. A direct descendant of the licensee.
  - c. The transferee is the spouse of the license and is entitled to an interest for life in the "License site" or until remarried.
6. Cost:  
The licensee shall pay the cost of the preparation and stamping of this License and the cost of noting the License into the public record or any other registry.

**Note:**

Consent for a License to occupy on Pt. Lot 1 DP175799, for the period of 50 years. - - - -

Shona McMullien S. McMullien Date: 27/11/2021  
Name of Licensee Signature

Milton Gabriel Leef [Signature] Date: 27/11/2021  
Witnessed By (Full Name) Signature

Initial: LM RL AO P.P



**Current Trustees:**

Rose Thomas Signature x R. Thomas Date: 27 / 11 / 2021  
Trustee/Chairperson

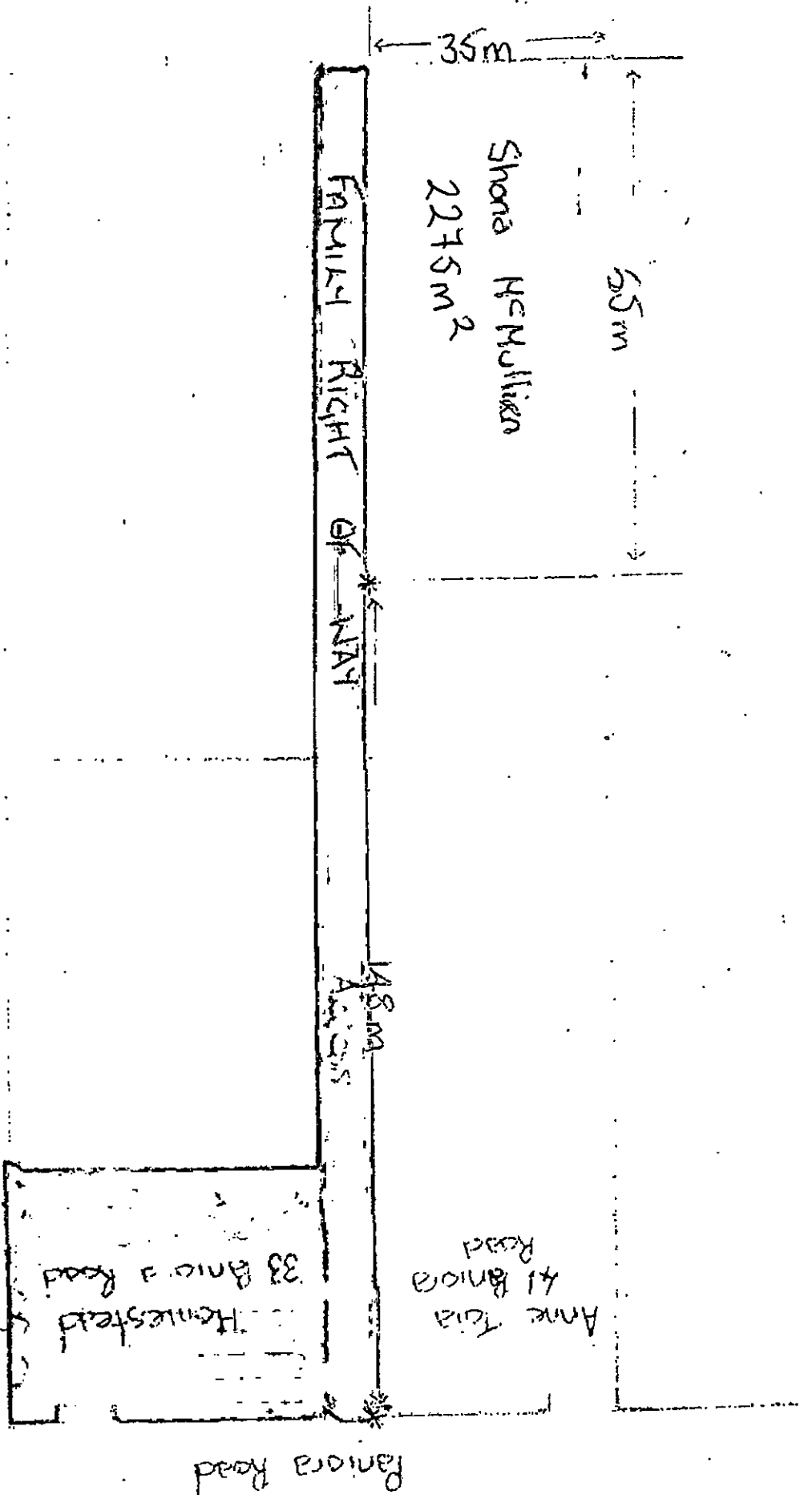
Shona McMullien Signature x S. McMullien Date: 27 / 11 / 2021  
Trustee/ Treasurer

Peter Pickering Signature x Peter Pickering Date: 27 / 11 / 2021  
Trustee

Julie Watts Nee Pickering Signature x J. Watts Date: 27 / 11 / 2021  
Trustee

I, Brandon-Lee Thomas Ward  
Deputy Registrar, Maori Land Court, Whangarei do  
hereby certify that the within instrument of alienation  
executed pursuant to:  
Section 150A of Te Ture  
Whenua Māori Act 1993  
has been noted in the records of the Maori Land Court.  
Deputy Registrar  
05 / 01 / 2022

Initial: RM AS JW PP



Section of land I would like to occupy measuring 65m by 35m and a distance of 148m from Paniora Road to the nearest part of the section.

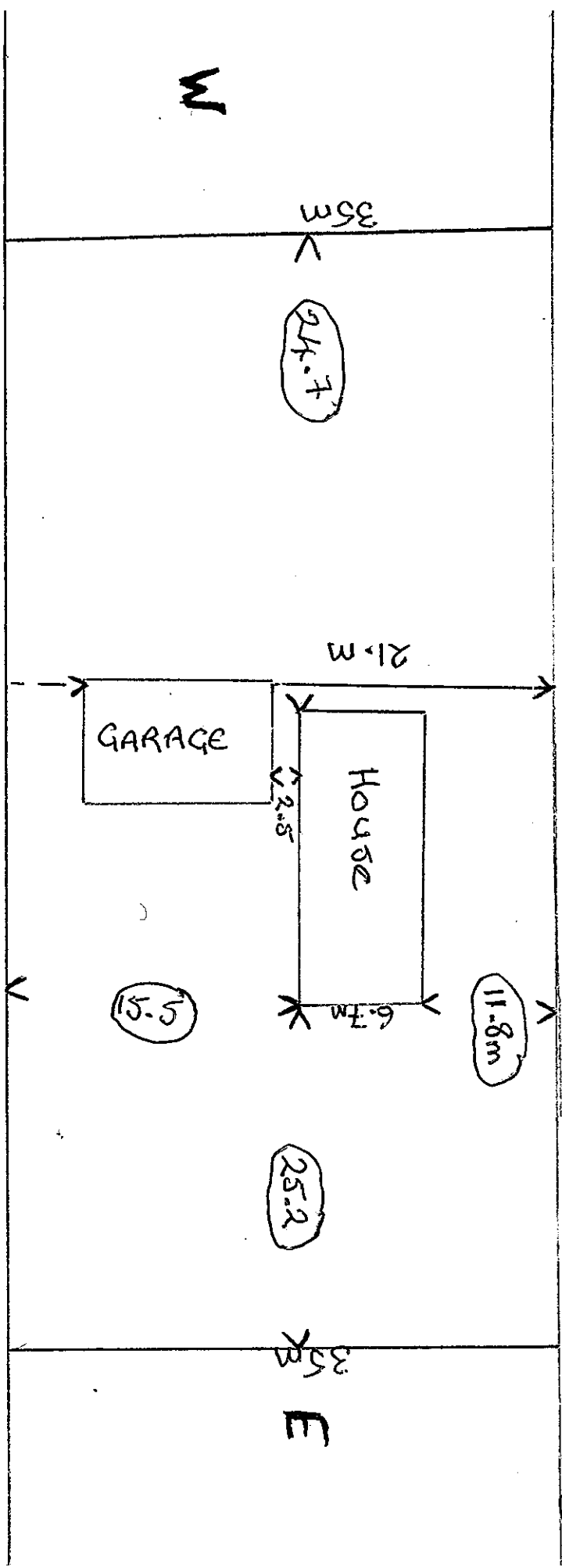
- ☐ Family Right of way
- ☐ Family Homestead 33 Paniora Road

Lot 10P 175799

N

65.43

Fence Boundary



W

35m

24.7

21.3m

GARAGE

House

2.5

11.8m

6.7m

15.5

25.2

35m

E

S

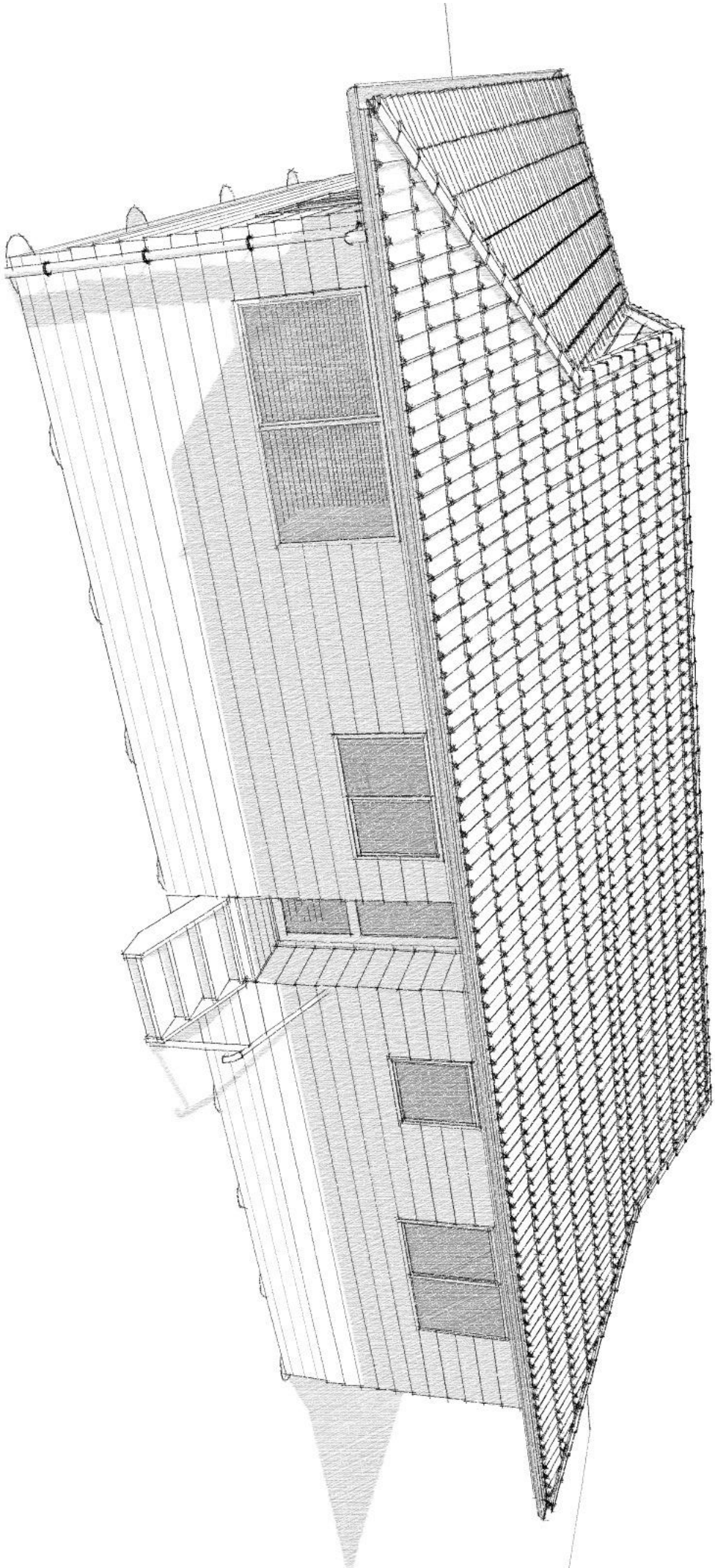
58.19m  
TO BOUNDARY

Road/Driveway



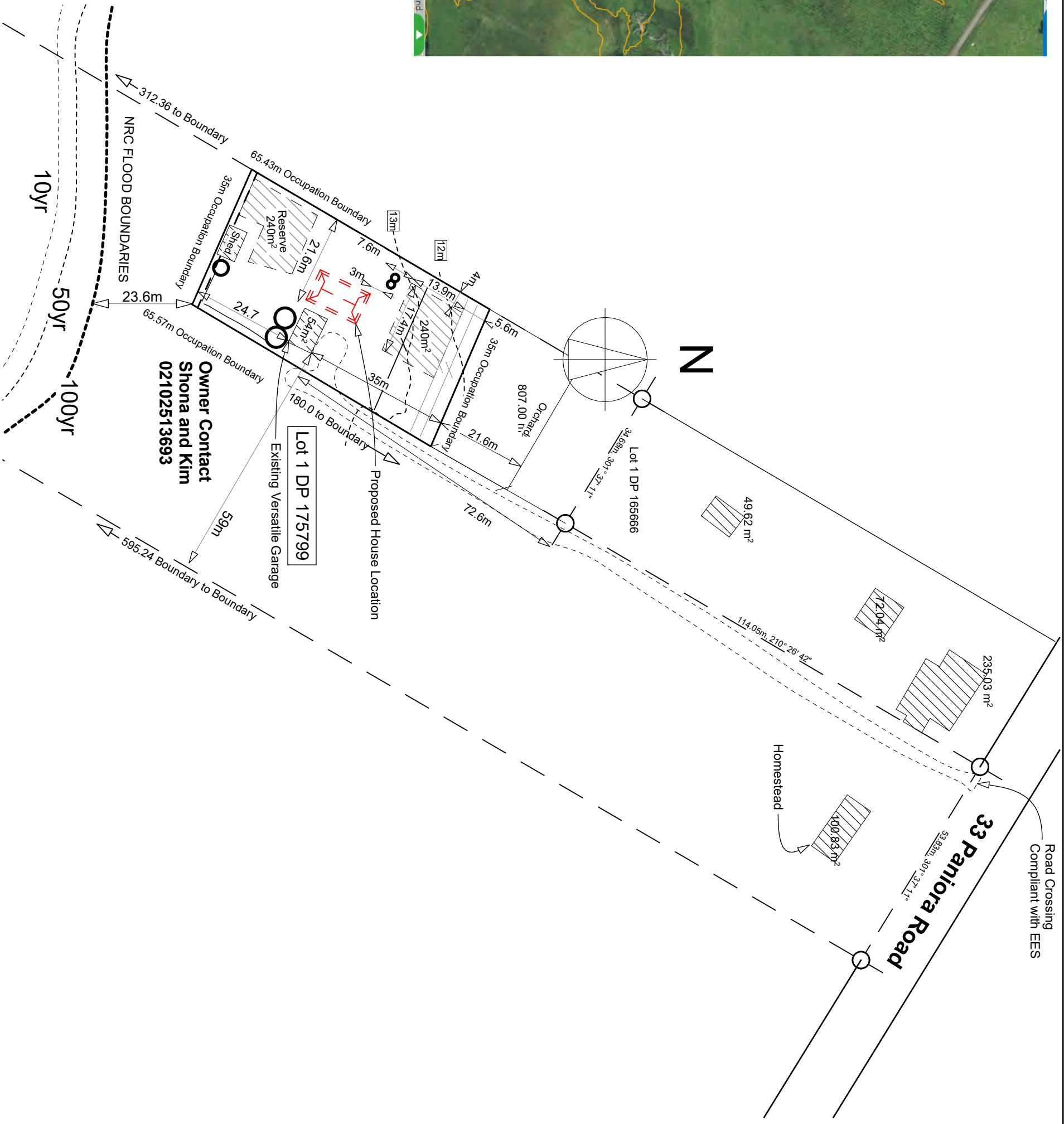
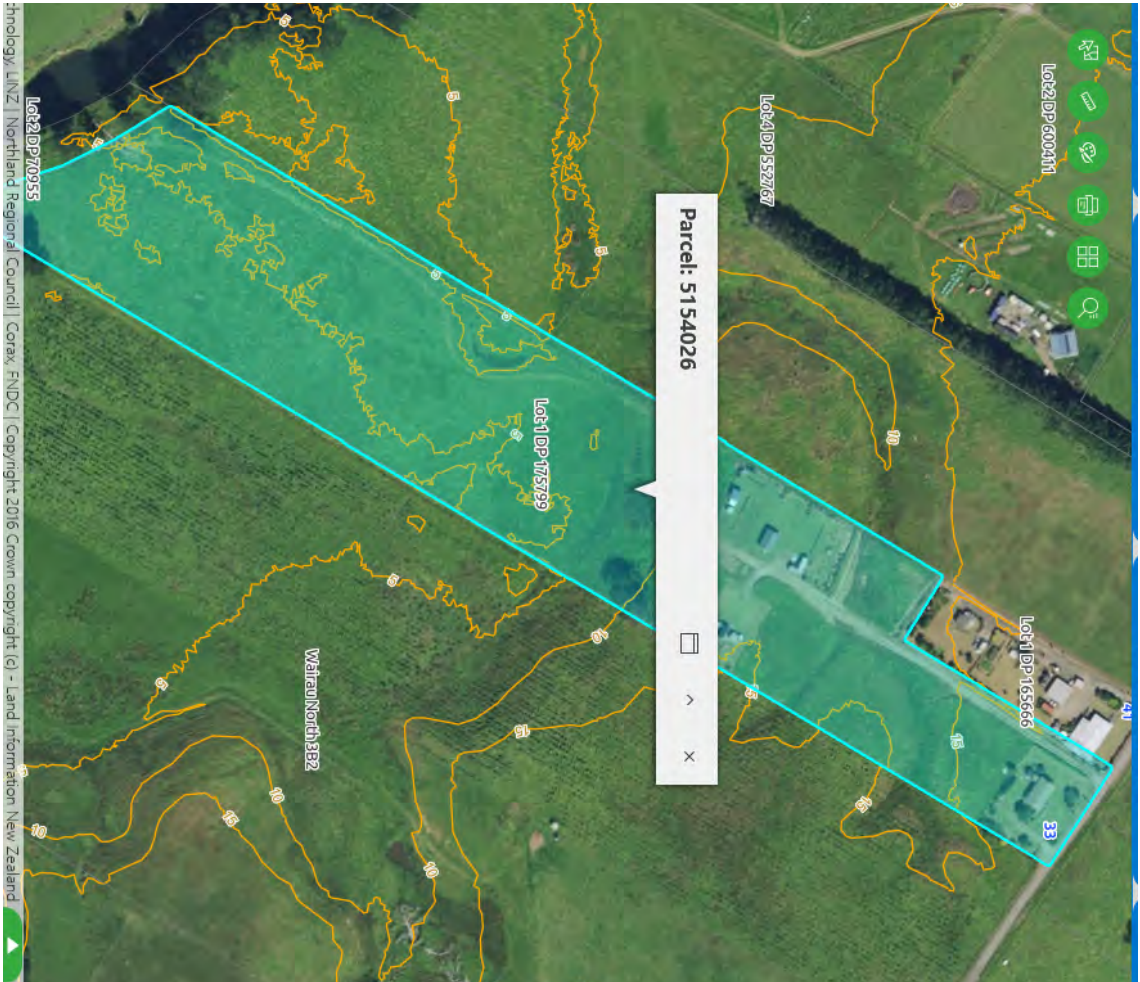
## Appendix 2. Proposal Plans

Sheet Index			
Layout ID	Layout Name	Issued	Remark
L101.1	Location Plan	<input type="checkbox"/>	
L101.2	Site Plan	<input type="checkbox"/>	
L102	Foundation Plan	<input type="checkbox"/>	
L103	Ground Floor Plan	<input type="checkbox"/>	
L104	Wall Bracing Plan	<input type="checkbox"/>	
L201	Section A	<input type="checkbox"/>	
L202	Section B	<input type="checkbox"/>	
L301	Elevations	<input type="checkbox"/>	
L302	Elevations	<input type="checkbox"/>	
A101	Foundation Details	<input type="checkbox"/>	
A102	Framing Details	<input type="checkbox"/>	



 <div>RC Application Issue</div>		For: Shona and Kim McMullien Job Title: 695 Relocate to Waimamaku At: 33 Paniora Road, Waimamaku FNDG, 0473 New Zealand		<table><tr><td>Drawn</td><td>CWM</td></tr><tr><td>Checked</td><td>Lee Wilkinson</td></tr><tr><td>Engineer</td><td>Thijs Drupsteen</td></tr><tr><td>Pilot Date</td><td>11/12/2025</td></tr><tr><td>Approved</td><td></td></tr></table>		Drawn	CWM	Checked	Lee Wilkinson	Engineer	Thijs Drupsteen	Pilot Date	11/12/2025	Approved		<div>ADVANCED DESIGN ARCHITECTURE</div> <div>PARUA BAY, WHANGAREI Ph (09) 4389 709 Email: info@advancedesign.co.nz</div>		<table><tr><td colspan="3">Drawing Title</td></tr><tr><td colspan="3">Sheet Index</td></tr><tr><td>Drawing Number</td><td>Scale</td><td>Job Number</td></tr><tr><td></td><td></td><td>ADG 695</td></tr></table>		Drawing Title			Sheet Index			Drawing Number	Scale	Job Number			ADG 695
Drawn	CWM																														
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		ADG 695																													
ALL DIMENSIONS TO BE VERIFIED ON SITE																															



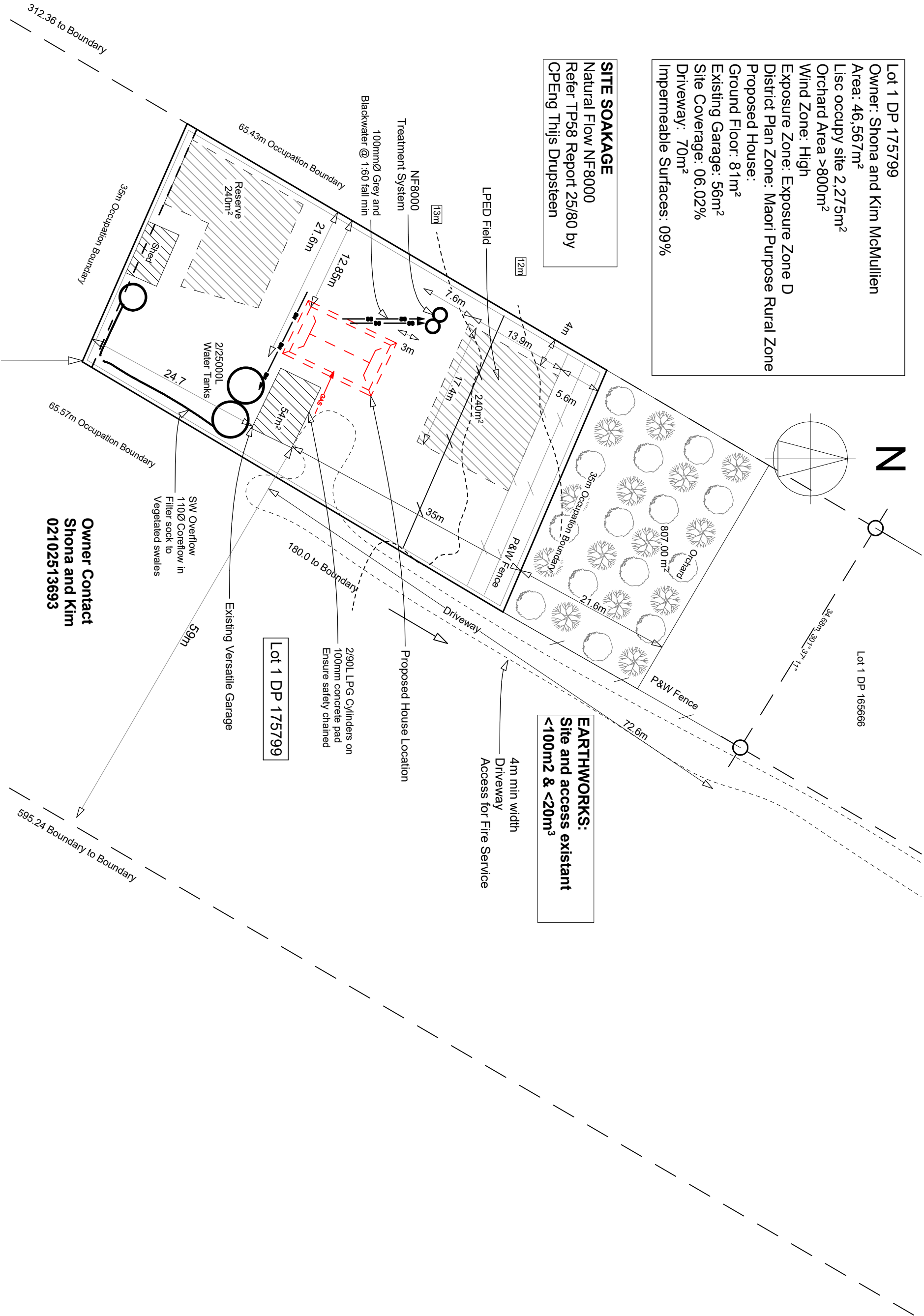


RC Application Issue

For:	Shona and Kim McMullen			ADVANCEDDESIGN ARCHITECTURE	Drawing Title
Job Title:	695 Relocate to Waimamaku				
At:	33 Paniora Road, Waimamaku FNDC, 0473				
	New Zealand				
	Drawn	CWM			
	Checked	Lee Wilkinson			
	Engineer	Thijs Drupesteen			
	Plot Date	11/12/2025			
	Approved				
		PARUA BAY, WHANGAREI Ph (09) 4389 709 Email: info@advancedesign.co.nz			
	Drawing Number	Scale	Job Number		
	L101.1	1:1000	ADG 695		
	ALL DIMENSIONS TO BE VERIFIED ON SITE				

Lot 1 DP 175799  
Owner: Shona and Kim McMullien  
Area: 46,567m<sup>2</sup>  
Lisc occupy site 2,275m<sup>2</sup>  
Orchard Area >800m<sup>2</sup>  
Wind Zone: High  
Exposure Zone: Exposure Zone D  
District Plan Zone: Maori Purpose Rural Zone  
Proposed House:  
Ground Floor: 81m<sup>2</sup>  
Existing Garage: 56m<sup>2</sup>  
Site Coverage: 06.02%  
Driveway: 70m<sup>2</sup>  
Impermeable Surfaces: 09%

**SITE SOAKAGE**  
Natural Flow NF8000  
Refer TP58 Report 25/80 by  
CPEng Thijs Drupsteen



## RC Application Issue

For: **Shona and Kim McMullien**  
Job Title: **695 Relocate to Waimamaku**  
At: **33 Paniora Road, Waimamaku**  
**FNDC, 0473**  
**New Zealand**

Drawn: **CWM**  
Checked: **Lee Wilkinson**  
Engineer: **Thijs Drupsteen**  
Plot Date: **11/12/2025**  
Approved:

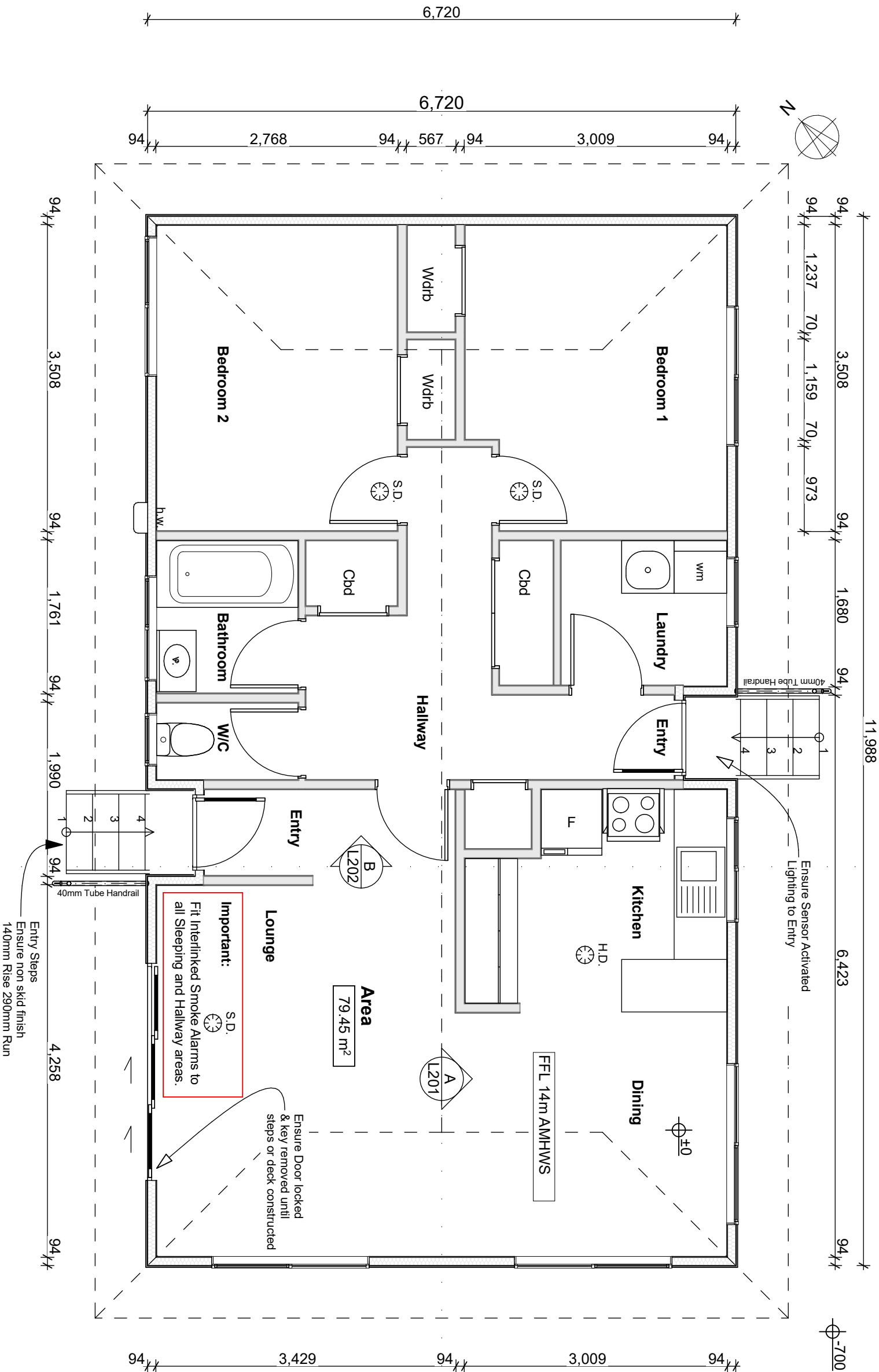
**ADVANCEDDESIGN ARCHITECTURE**

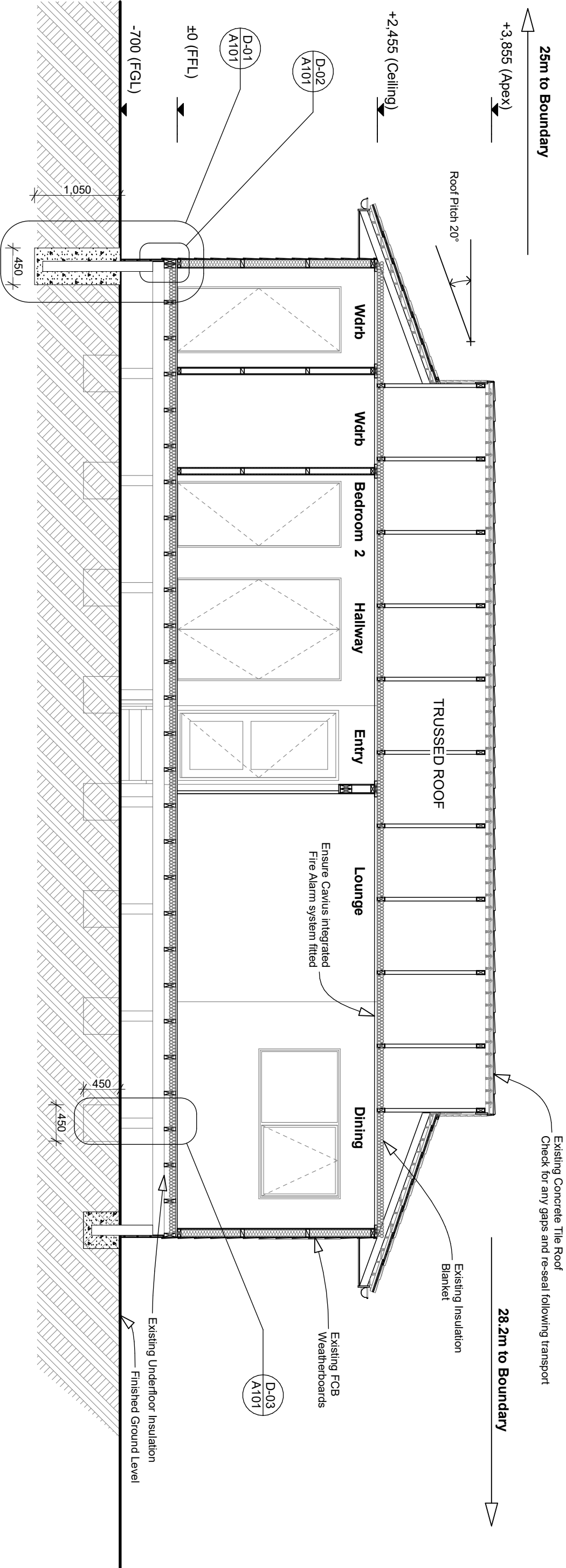
PARUA BAY, WHANGAREI  
Ph (09) 4389 709  
Email: info@advancedesign.co.nz

Drawing Title		
Site Plan		
Drawing Number	Scale	Job Number
L101.2	1:500	ADG 695

ALL DIMENSIONS TO BE VERIFIED ON SITE








Section A

1:50



RC Application Issue

ADVANCEDDESIGN ARCHITECTURE

For: Shona and Kim McMullien

Job Title: 695 Relocate to Waimamaku

At: 33 Paniora Road, Waimamaku

FNDC, 0473

New Zealand

Drawn: CWM

Checked: Lee Wilkinson

Engineer: Thijs Drupsteen

Plot Date: 11/12/2025

Approved:

ADVANCEDDESIGN ARCHITECTURE

PARUA BAY, WHANGAREI  
Ph (09) 4389 709  
Email: info@advancedesign.co.nz

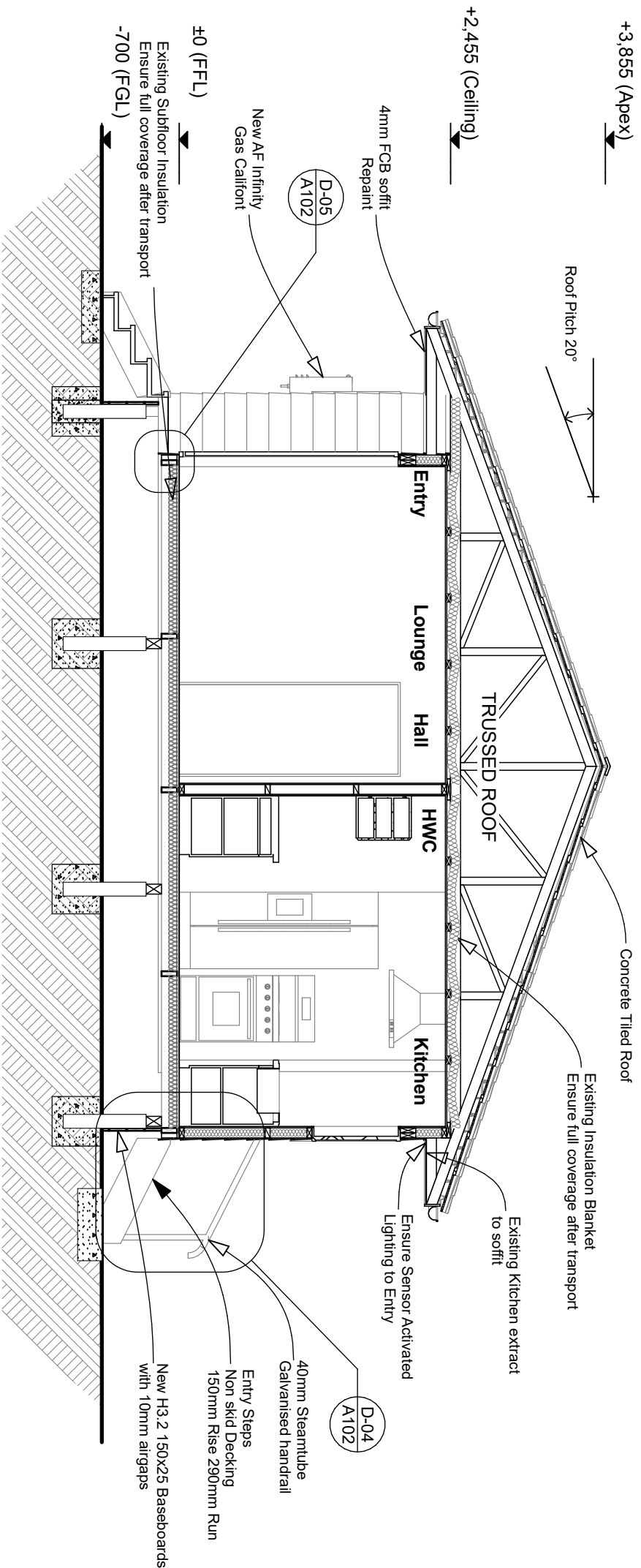
Section A

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Scale: 1:50

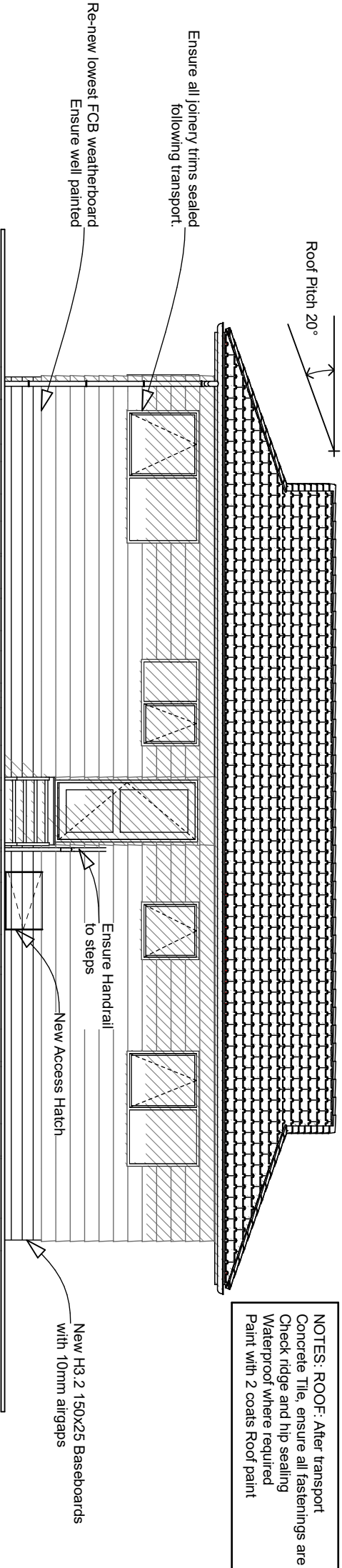
Job Number: ADG 695

ALL DIMENSIONS TO BE VERIFIED ON SITE

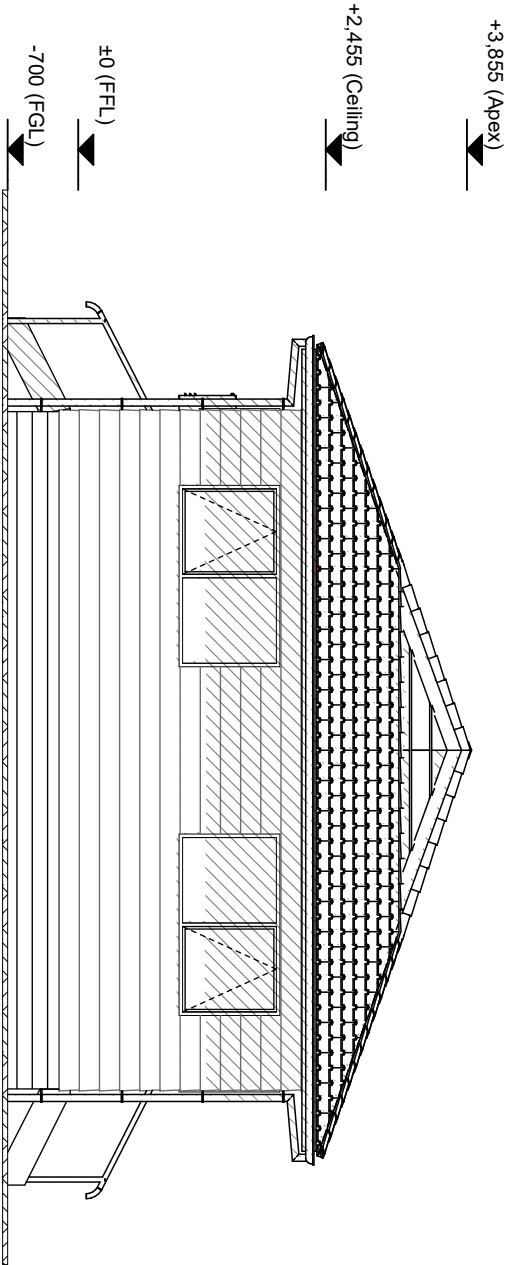


Section B

1:50

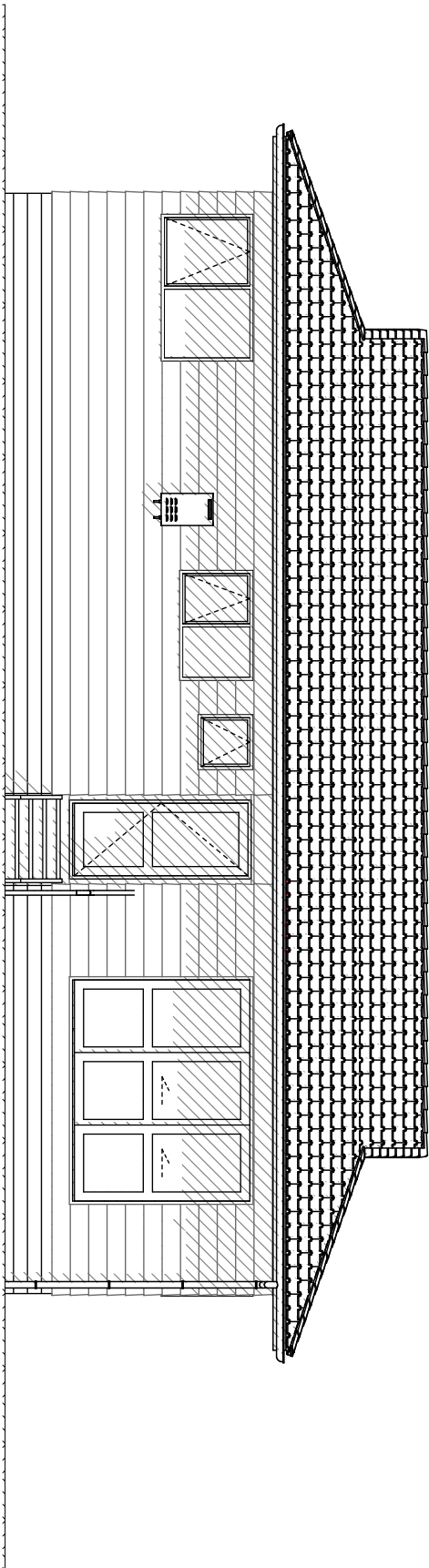


South East Elevation 1:75



South West Elevation 1:75

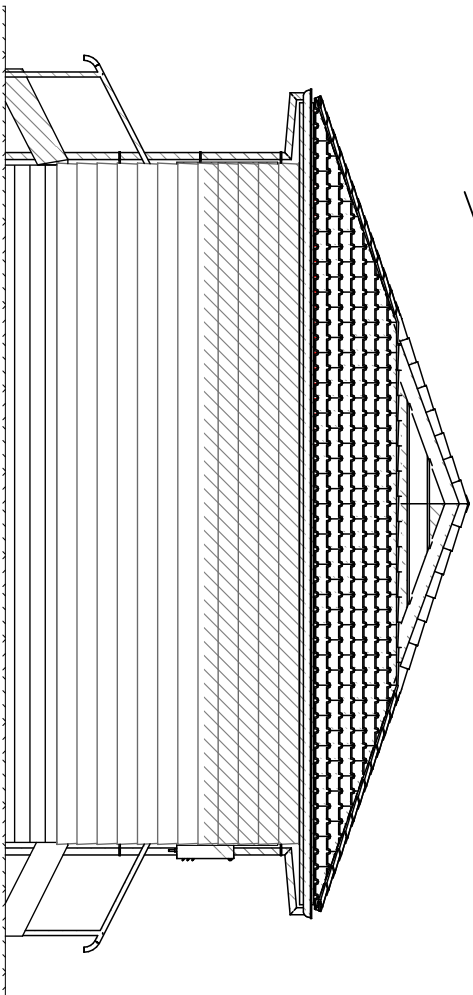
BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Low risk	0
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		1



North West Elevation

1:75

12m to Boundary



North East Elevation

1:75

**NZBC:E2 2011 WEATHERBOARDS**

**9.4.3.1 Fixings**  
Fixings shall comply with Tables 20 and 24. Weatherboards shall be drilled for nailing at all joints and ends. All cut ends of FCB weatherboards shall be primed.

**9.4.9 Finishes**  
Where a protective finish is required by NZS 3602, all exterior weatherboard surfaces, including laps, shall be sealed by priming. Two coats of exterior grade paint shall be applied, after priming, to all exposed surfaces. Paint systems shall comply with any of Parts 7, 8, 9 or 10 of AS 3730.

### **Appendix 3. Site Suitability Report**



# T.DRUPSTEEN CP Eng

B.E, CPEng,  
IntPE, CMEngNZ

3264 State Highway 12  
R D 3  
Kaikohe 0473  
Ph: 9-4014737  
Mob: 02 111 43 443  
[drupsteenthijis65@gmail.com](mailto:drupsteenthijis65@gmail.com)  
TD Ref: 25/ 80G  
Date: 26 September 2025

BY EMAIL

The Chief Executive  
Advancedesign Ltd  
PO Box 3284  
Onerahi  
Whangarei 0142  
[lee@advancedesign.co.nz](mailto:lee@advancedesign.co.nz)

Attention: Mr Lee Wilkinson  
Greetings Lee

## **Re: Kim and Shona Proposed House to be Relocated to 33 Paniora Rd Waimamaku** **Ground Strength Tests/ Geotechnical Appraisal**

**Overview:** This report covers the investigation done in fine weather on 19 September 2025 with Kim and Shona's help to check the ground strength in the centre of your proposed relocated house [location as indicated by them]

**Test Results:** A Scala Penetrometer test [also known as a Dynamic Cone Penetrometer or DCP] was done in the centre of the proposed house site. Shear vane test were taken down the same hole as the DCP. Shear vane testing revealed Ultimate Bearing Capacities [UBC's] Ranging from a minimum of 765 kPa to 792 kPa [The construction industry generally accepted minimum is 300kPa]. The full test results are shown in the attached test sheet 1.

**Discussion of Test Results and Conclusion:** The ground at the proposed site is satisfactory for the proposed timber-floored house on timber piles to be moved to the site.

### **Summary of relevant Design Parameters:**

**1 Is it NZS 3604 Good Ground?** No There is expansivity due to the muddy limestone clay soil types that comprise the subsoil. This means that any NZS 3604 pile footings of whatever type must be founded at least 450mm below cleared ground level/bottom of topsoil.

**2 Soil Expansivity:** Slight

**3 Ultimate Bearing Capacity for Design:** 300kPa [Allowing buildings to the non-specific design codes NZS 3604, NZS 4229, and NZS 4299- as well as specifically-designed buildings].

**4 Soil type for Seismic Calculations as per NZS 1170.5 S3 and NZS 3604:** Type C.

**5 Liquefaction risk:** The Far North District Council Map "Liquifaction Vulnerability" of the map series "Far North Atlas/ Kohinga Mahere" shows the area to be scores of metres clear of any "Possible"

liquefaction risk. Also it is pointed out that seismic soil liquefaction has hitherto not been reported in Northland. In addition to that Northland is the lowest-seismic area in NZ. In view of all these factors, the liquefaction risk for the site is considered to be less than minor.

**6 Flood Risk:** The site is some 13 m above sea level and there are no significant streams, rivers, or ponds or water courses within 20m of the proposed house site. Flooding risk is therefore less than minor.

**7 Tsunami Risk:** The Northland Regional Council hazard map “Tsunami Zones 2024” shows the tsunami risk to be confined to a few scores of meters from the beach front. Tsunami risk is therefore less than minor.

**8 Foundation Parameters:** All timber frame design can be done using NZS 3604 except that pile footing depths must be increased to the following depths:

ordinary piles: 450 mm

braced piles: 600 mm

anchor piles: 1050 mm

Any conventional concrete floor slab construction and perimeter footings [such as for a garage] must be designed specifically, or to MBIE Acceptable Solution B1/ AS1

**Geotechnical Appraisal:** The area is described on the Northland rock types geological map NZMS 290 O 04/ 05 “Waipoua-Aranga” as “Muddy limestone..”. The McMullien’s occupation parcel is almost dead flat [it has a slight slope of 3 degrees increasing to 9.8 degrees as one moves north on the parcel]. No obvious signs of on-going, recent, or geological-past earth movements were seen. And there are no retaining walls, cliffs, or escarpments nearby. In view of these facts, any possible settlement, subsidence, land movement or erosion risks are considered less than minor.

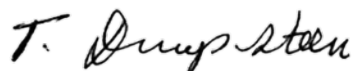
**Disclaimer:**

1 This report has been prepared for the sole use of my client Advancedesign Ltd, for the particular brief and on the terms and conditions agreed with my clients. It may not be used or relied on (in whole or part) by anyone else, or for any other purpose or in any other contexts, without our prior written agreement.

2 The sophistication of the investigation made is at an appropriate level to the cost/ complexity of the proposed structure. Inferences are made about the test results being representative for all parts of the site, but these cannot be guaranteed. Should radically different conditions be encountered during construction, this office should be notified. At least five working days advance notice of footing construction on sideling slopes for the house and the carport structure.

Please do not hesitate to contact me if you require any further information.

Best regards



Thijs (“Tase”) Drupsteen (Mr)  
NZ Chartered Professional Engineer 61652

Attached: Test results sheet 1 of 1.



T. DRUPSTEEN Consulting Engineer  
 B.E. CPEng, IntPE, M.I.R.E.N.Z.  
 3284 SH 12, RD 3 Halkioko 0473  
 Ph 6494014737 Fax 6494014738  
 Email: drupsteenthijss85@gmail.com

TD Ref: 25/806  
 Test Date 19/9/25  
 Report Date 26/9/25

By: T. Drupsteen

Job Name McMullien - Test Results Sheet 1 of 1 (33 Paxiana Rd)

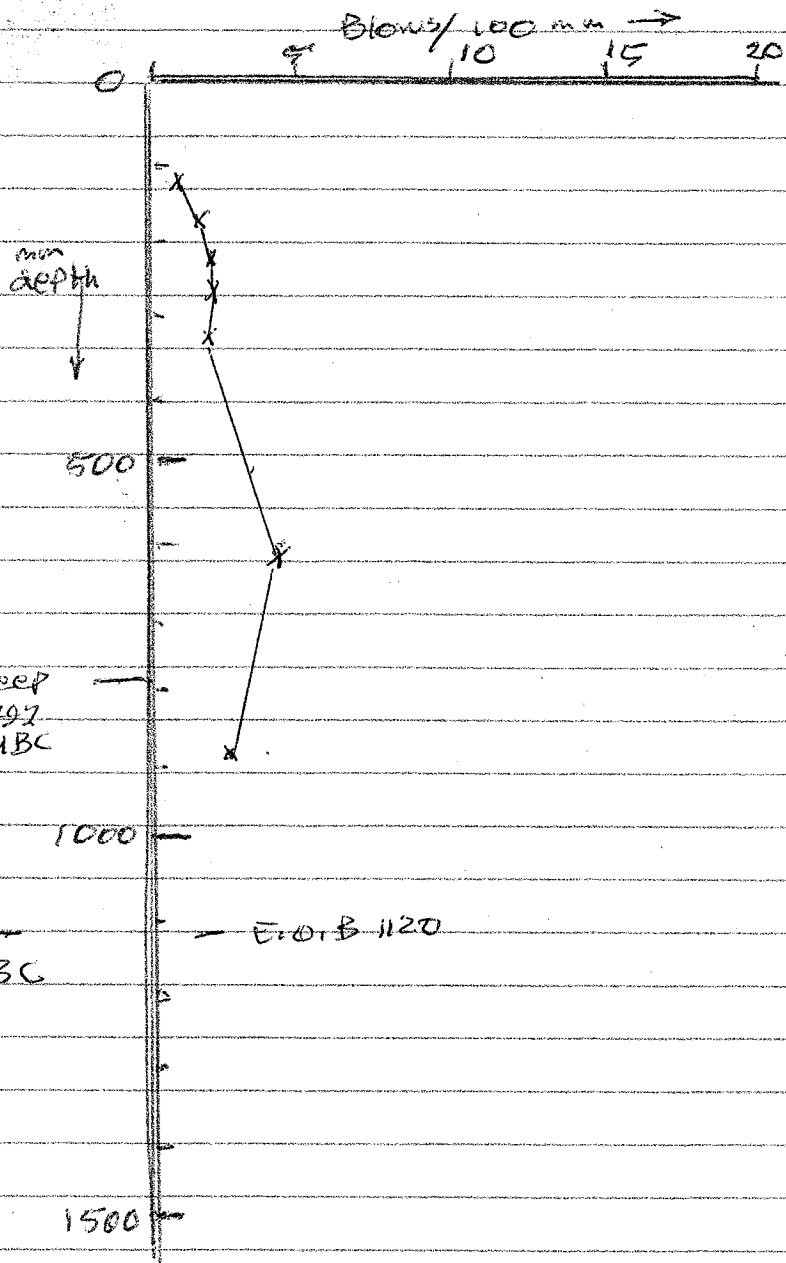
Scale (Dynamic Cone) Penetrometer Log

+ Shear Vane Results

NB: 1 shear vane kPa

= 9 kPa UBC

(xxx) remoulded shear  
 vane











**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA105B/352**  
**Land Registration District** **North Auckland**  
**Date Issued** 29 May 1996

**Prior References**  
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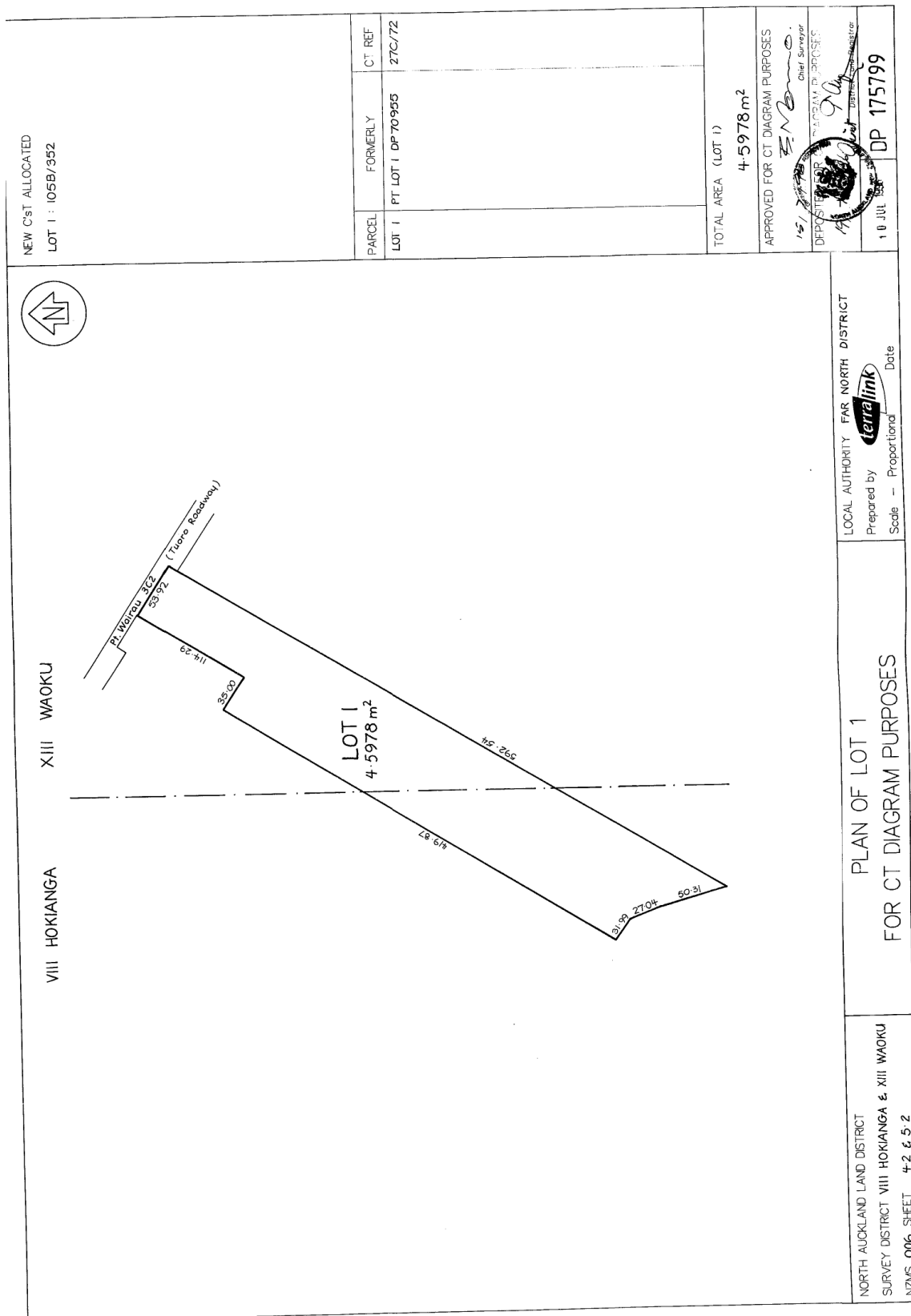
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Peter William Pickering, Shona McMullien, Rosemary Carole Thomas and Julie Rosalie Caroline Pickering as responsible trustees jointly, no survivorship

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**Interests**

9883075.1 Status Order declaring that the status of the within land shall cease to be General Land and shall become Maori Freehold Land - 31.10.2014 at 3:07 pm



24 JUL 1996

CENTIMETRES

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Caroline Paniora Whanau trustShona <sup>And</sup> McMullien**The Whenua:** Legal description of the land**Pt Lot** DPI75799**Status:** Maori Freehold land**Site:** Site being the land described on the annexed.

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- a. A beneficial owner of the land, or
  - b. A direct descendant of the licensee.
  - c. The transferee is the spouse of the license and is entitled to an interest for life in the "License site" or until remarried.
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**Note:**

Consent for a License to occupy on Pt. Lot 1 DP175799, for the period of 50 years. - - - -

Shona McMullien S. McMullien Date: 27/11/2021  
Name of Licensee Signature

Milton Gabriel Leef [Signature] Date: 27/11/2021  
Witnessed By (Full Name) Signature

Initial: LM RT AO P.P

**Current Trustees:**

Rose Thomas Signature x R. Thomas Date: 27 / 11 / 2021  
Trustee/Chairperson

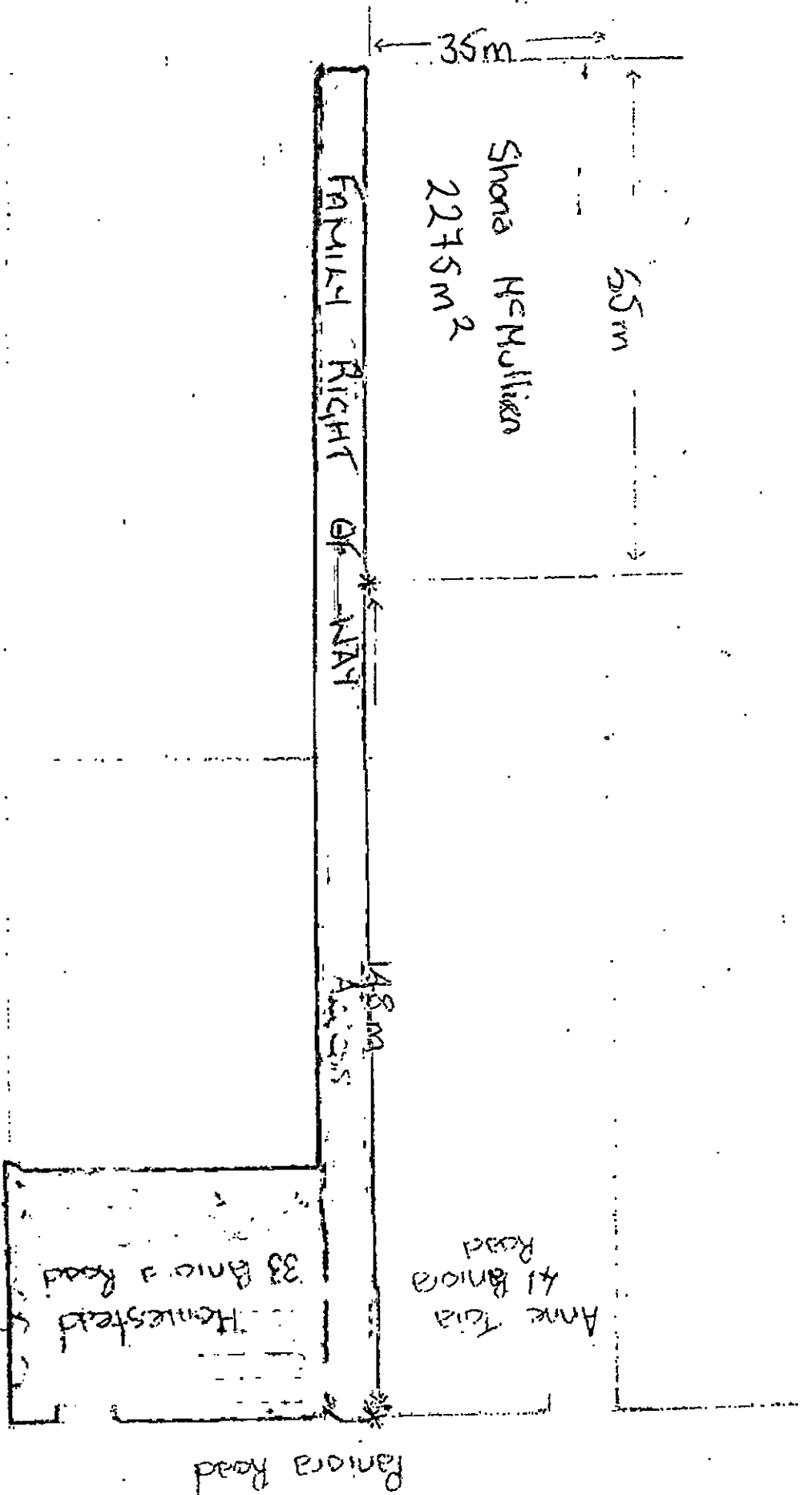
Shona McMullien Signature x S. McMullien Date: 27 / 11 / 2021  
Trustee/ Treasurer

Peter Pickering Signature x Peter Pickering Date: 27 / 11 / 2021  
Trustee

Julie Watts Nee Pickering Signature x J. Watts Date: 27 / 11 / 2021  
Trustee

I, Brandon-Lee Thomas Ward  
Deputy Registrar, Maori Land Court, Whangarei do  
hereby certify that the within instrument of alienation  
executed pursuant to:  
Section 150A of Te Ture  
Whangarei Maori Act 1993  
has been noted in the records of the Maori Land Court.  
Deputy Registrar  
05 / 01 / 2022

Initial: RM RS JW PP



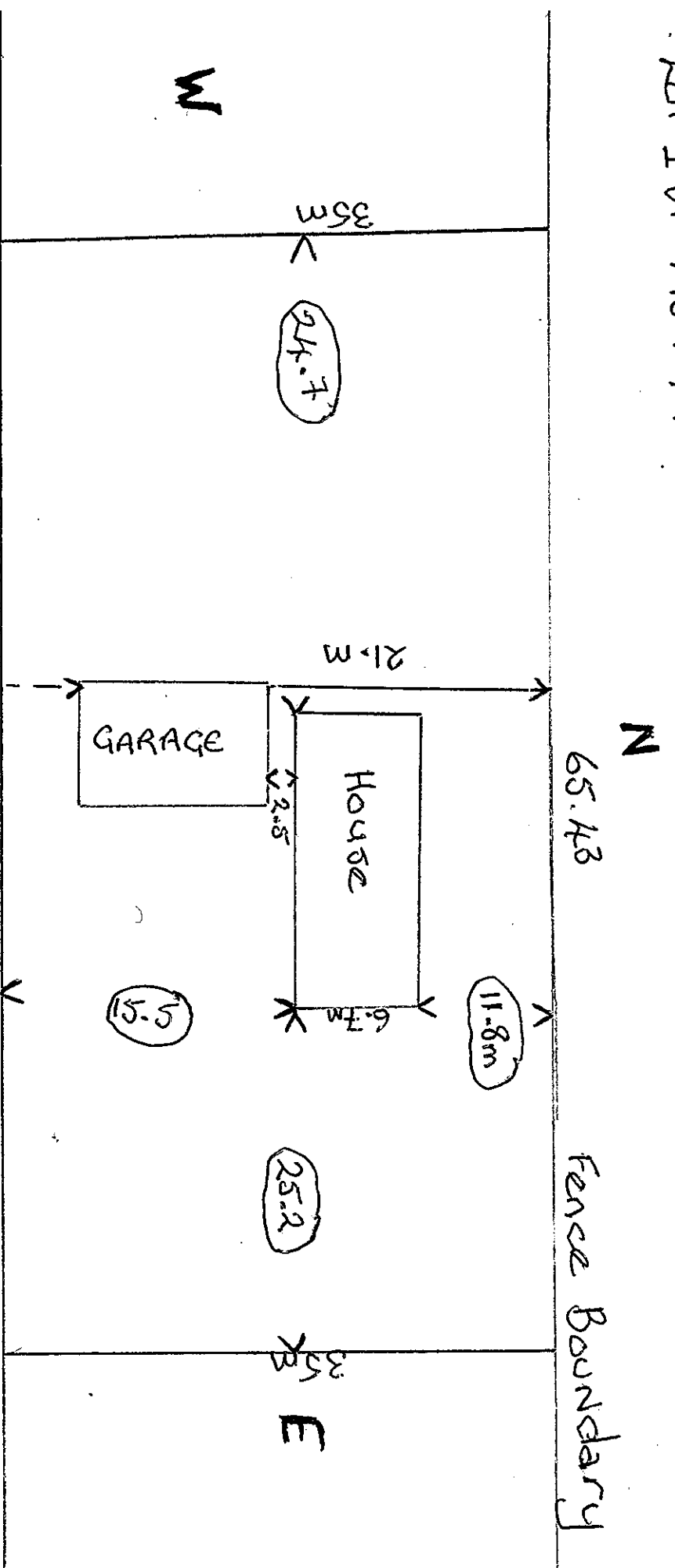
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- ☐ Family Homestead 33 Paniora Road

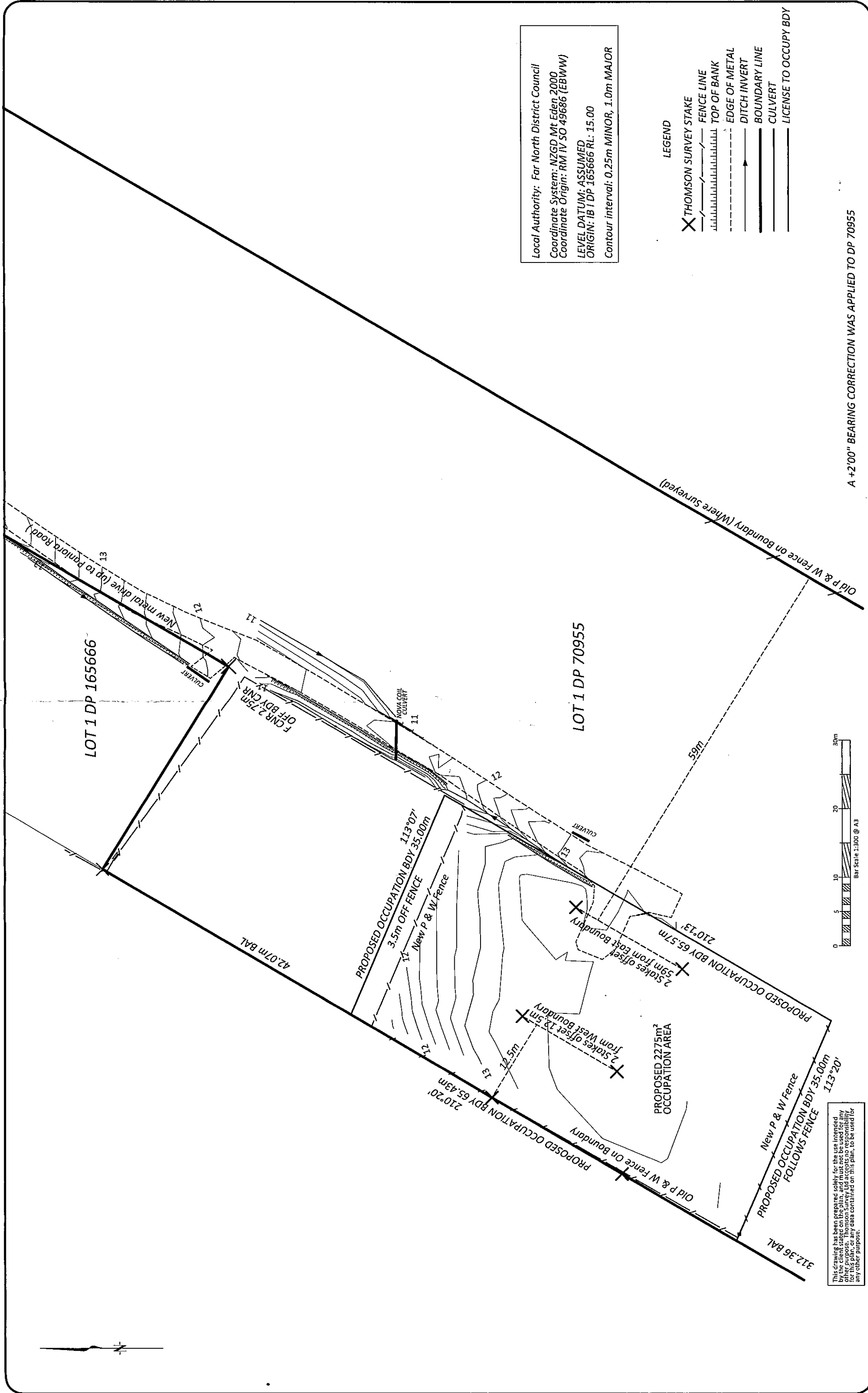
Lot 10P 175799

S  
58.19m  
TO BOUNDARY

Road/Driveway







This drawing has been prepared solely for the use intended by the client stated on the plan, and must not be used for any other purpose. Thomson Survey Ltd accepts no responsibility for any data contained on this plan, to be used for any other purpose.

Local Authority: Far North District Council  
Coordinate System: NZGD Mt Eden 2000  
Coordinate Origin: RM IV SO 49686 (EBWW)  
LEVEL DATUM: ASSUMED  
ORIGIN: IB 1 DP 165666 RL: 15.00  
Contour interval: 0.25m MINOR, 1.0m MAJOR

- LEGEND
- THOMSON SURVEY STAKE
  - FENCE LINE
  - TOP OF BANK
  - EDGE OF METAL
  - DITCH INVERT
  - BOUNDARY LINE
  - CULVERT
  - LICENSE TO OCCUPY BDY

A +2'00" BEARING CORRECTION WAS APPLIED TO DP 70955



315 Kerikeri Rd  
P.O. Box 372 Kerikeri  
Email: kerikeri@tsurvey.co.nz  
Ph: (09) 4077360  
www.tsurvey.co.nz

Registered Land Surveyors, Planners & Land Development Consultants

# SITE TOPO DETAIL & PROPOSED OCCUPATION AREA FOR SHONA MCMULLIEN ON LOT 1 DP 175799

Paniora Road, Waimamaku

PREPARED FOR: S. McMullien

Survey	Name	Date
Design	MD	29/06/22
Drawn	MD	1/07/22
Approved		
Rev		

ORIGINAL	SHEET SIZE
SCALE	1:300
	A3

Surveyors Ref. No. 10330  
Series  
Sheet 1 of 1

10330 SITE PLAN 01072022.LCD

# Application for Resource Consent Assessment in relation to NES

For : Shona and Kim McMullien

Subject : Resource Consent application Assessment in relation to N.E.S.

By : Advancedesign Architecture

Date : 10 December 2025

## **N.E.S.,& Relevant Standards**

- *National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health Regulations 2011 (NES-SC) (s104(1)(b)(i)).*
- *The relevant provisions of the National Policy Statement for Highly Productive Land (NPS-HPL) (s104(1)(b)(iii)).*

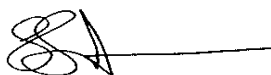
### **1.1 Summary assessment of proposal in relation to NPS-HPL**

Manaaki Whenua (Landcare) maps indicate that the site itself is not in an area of identified Highly Productive Land. Map and Legend follows

### **1.2 Summary assessment of proposal in relation to N.E.S. 2011:**

NRC Maps indicate no recorded Hail Sites in vicinity (Attached). As far as we can establish this area was cleared from forest to pasture during the late 1890's. There is no record of this area of land being used for anything but growing food and grazing. There are no indications of toxic accumulation, retarded plant growth nor vegetative discolouration on the proposed site and its surroundings. Checklist attached.

Regards,  
Lee Wilkinson



Director & LBP 116851

**Advancedesign Architecture**

**Advanced Architectural solutions for life**

**Ph (09) 4389709 (021) 1372965**

**Office: Parua Bay, Whangarei**

**Postal Address: P.O.Box 3284, Onerahi 0142**

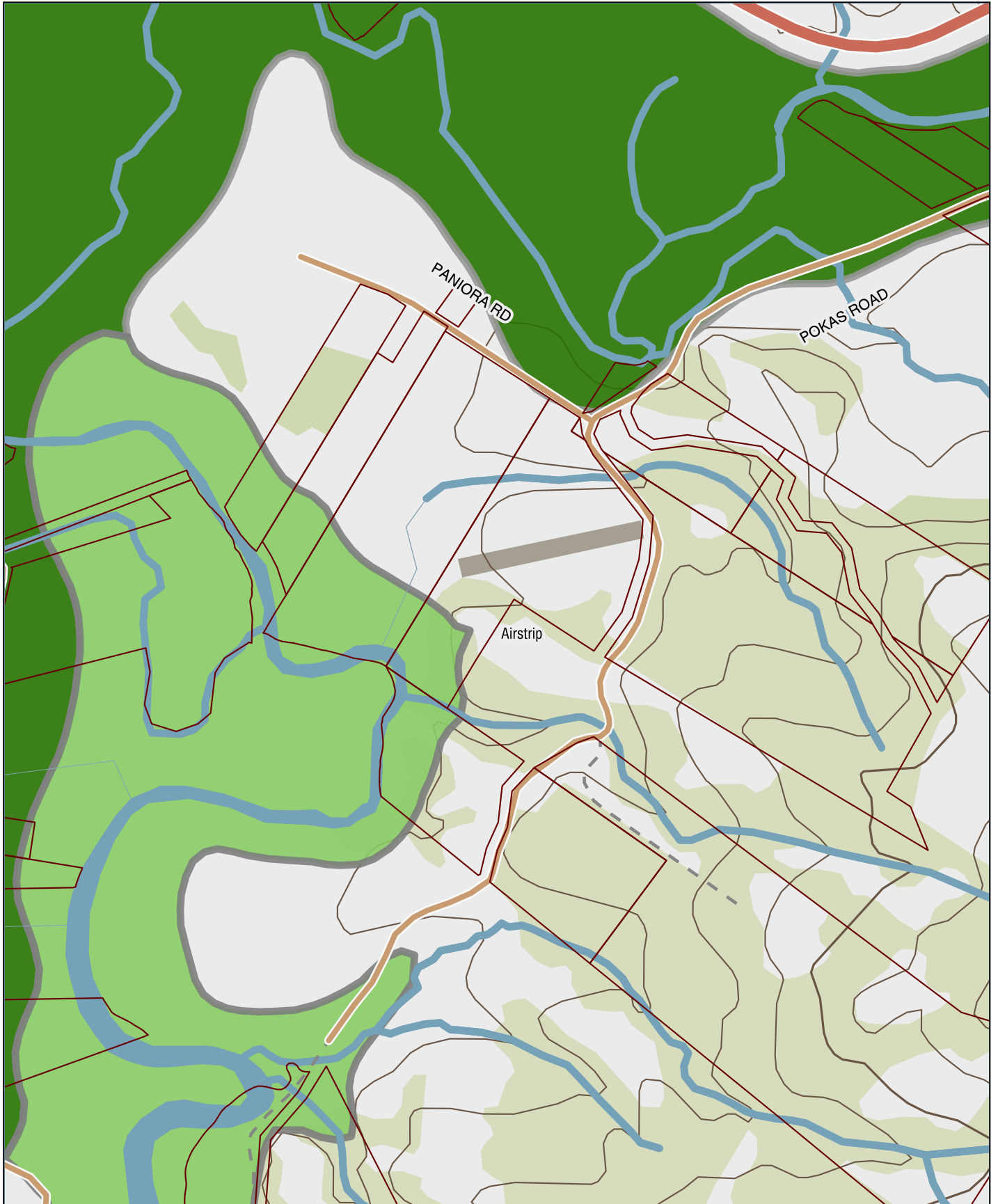


## Hazardous Activities and Industries List (HAIL) Checklist

A Chemical manufacture, application and bulk storage	Yes	No
Agrichemicals including commercial premises used by spray contractors for filling, storing or washing out tanks for agrichemical application	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Chemical manufacture, formulation or bulk storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Commercial analytical laboratory sites	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Corrosives including formulation or bulk storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dry-cleaning plants including dry-cleaning premises or the bulk storage of dry-cleaning solvents	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fertiliser manufacture or bulk storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Gasworks including the manufacture of gas from coal or oil feedstocks	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Livestock dip or spray race operations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Paint manufacture or formulation (excluding retail paint stores)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Persistent pesticide bulk storage or use including sport turfs, market gardens, orchards, glass houses or spray sheds	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pest control including the premises of commercial pest control operators or any authorities that carry out pest control where bulk storage or preparation of pesticide occurs, including preparation of poisoned baits or filling or washing of tanks for pesticide application	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pesticide manufacture (including animal poisons, insecticides, fungicides or herbicides) including the commercial manufacturing, blending, mixing or formulating of pesticides	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Petroleum or petrochemical industries including a petroleum depot, terminal, blending plant or refinery, or facilities for recovery, reprocessing or recycling petroleum-based materials, or bulk storage of petroleum or petrochemicals above or below ground	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pharmaceutical manufacture including the commercial manufacture, blending, mixing or formulation of pharmaceuticals, including animal remedies or the manufacturing of illicit drugs with the potential for environmental discharges	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Printing including commercial printing using metal type, inks, dyes, or solvents (excluding photocopy shops)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Skin or wool processing including a tannery or fellmongery, or any other commercial facility for hide curing, drying, scouring or finishing or storing wool or leather products	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Storage tanks or drums for fuel, chemicals or liquid waste	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wood treatment or preservation including the commercial use of anti-sapstain chemicals during milling, or bulk storage of treated timber outside	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B Electrical and electronic works, power generation and transmission		
Batteries including the commercial assembling	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electrical transformers including the manufacturing	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electronics including the commercial manufacturing	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Power stations	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C Explosives and ordinances production, storage and use		
Explosive or ordinance production, maintenance, dismantling, disposal, bulk storage or re-packaging	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Gun clubs or rifle ranges, including clay targets clubs that use lead munitions outdoors	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Training areas set aside exclusively or primarily for the detonation of explosive ammunition	<input type="checkbox"/>	<input checked="" type="checkbox"/>

<b>D Metal extraction, refining and reprocessing, storage and use</b>	<b>Yes</b>	<b>No</b>
Abrasive blasting including abrasive blast cleaning (excluding cleaning carried out in fully enclosed booths) or the disposal of abrasive blasting material	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Foundry operations including the commercial production of metal products by injecting or pouring molten metal into moulds	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Metal treatment or coating including polishing, anodising, galvanising, pickling, electroplating, or heat treatment or finishing using cyanide compounds	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Metalliferous ore processing including the chemical or physical extraction of metals, including smelting, refining, fusing or refining metals	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Engineering workshops with metal fabrication	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>E Mineral extraction, refining and reprocessing, storage and use</b>		
Asbestos products manufacture or disposal including sites with buildings containing asbestos products known to be in a deteriorated condition	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Asphalt or bitumen manufacture or bulk storage (excluding single-use sites used by a mobile asphalt plant)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cement or lime manufacture using a kiln including the storage of wastes from the manufacturing process	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Commercial concrete manufacture or commercial cement storage	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Coal or coke yards	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Hydrocarbon exploration or production including well sites or flare pits	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Mining industries (excluding gravel extraction) including exposure of faces or release of groundwater containing hazardous contaminants, or the storage of hazardous wastes including waste dumps or dam tailings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>F Vehicle refuelling, service and repair</b>		
Airports including fuel storage, workshops, washdown areas, or fire practice areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Brake lining manufacturers, repairers or recyclers	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Engine reconditioning workshops	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Motor vehicle workshops	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Port activities including dry docks or marine vessel maintenance facilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Railway yards including goods-handling yards, workshops, refuelling facilities or maintenance areas	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Service stations including retail or commercial refuelling facilities	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Transport depots or yards including areas used for refuelling or the bulk storage of hazardous substances	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>G Cemeteries and waste recycling, treatment and disposal</b>		
Cemeteries	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Drum or tank reconditioning or recycling	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landfill sites	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Scrap yards including automotive dismantling, wrecking or scrap metal yards	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Waste disposal to land (excluding where biosolids have been used as soil conditioners)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Waste recycling or waste or wastewater treatment	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<b>H Any land that has been subject to the migration of hazardous substances from adjacent land in sufficient quantity that it could be a risk to human health or the environment</b>		
<b>I Any other land that has been subject to the intentional or accidental release of a hazardous substance in sufficient quantity that it could be a risk to human health or the environment</b>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

# 33 Paniora Road



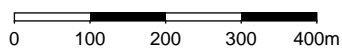
## OURENVIRONMENT



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Scale: 1:10,000






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Printed: 08:16:57 AM Fri, 12 Dec 2025

# Legend

## Baseline Highly Productive Land

-  HPL - LUC Class 1
-  HPL - LUC Class 2
-  HPL - LUC Class 3

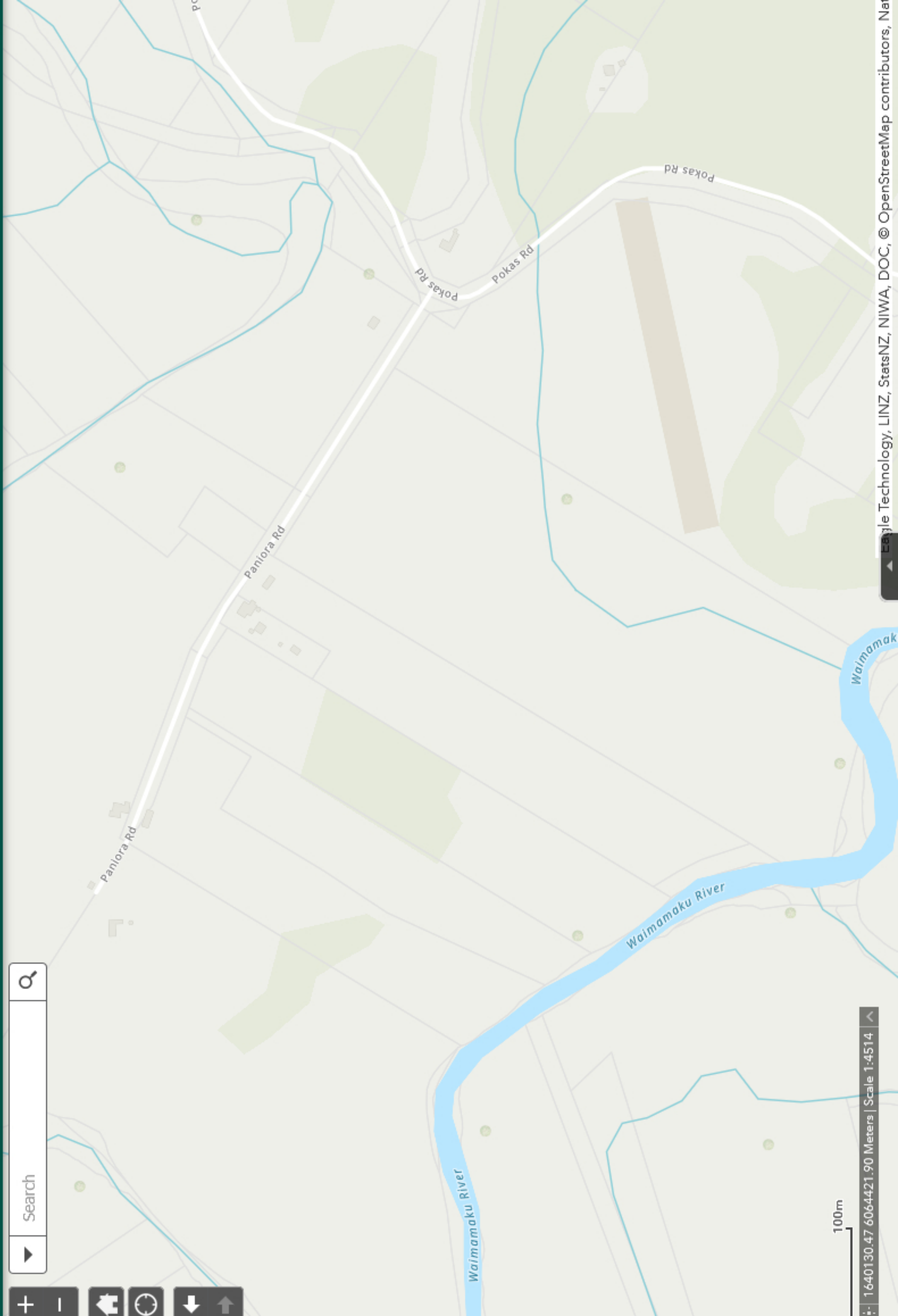
# OUR ENVIRONMENT



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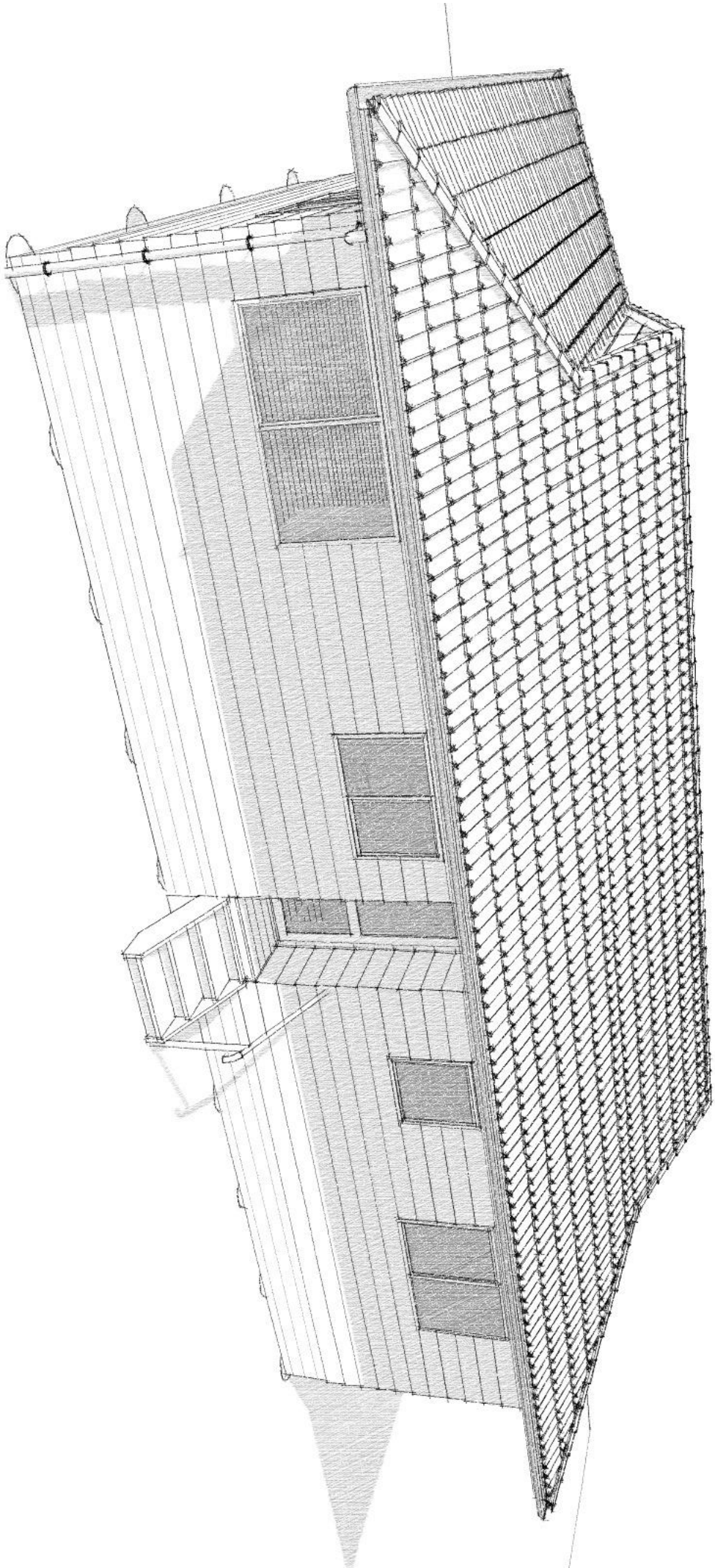
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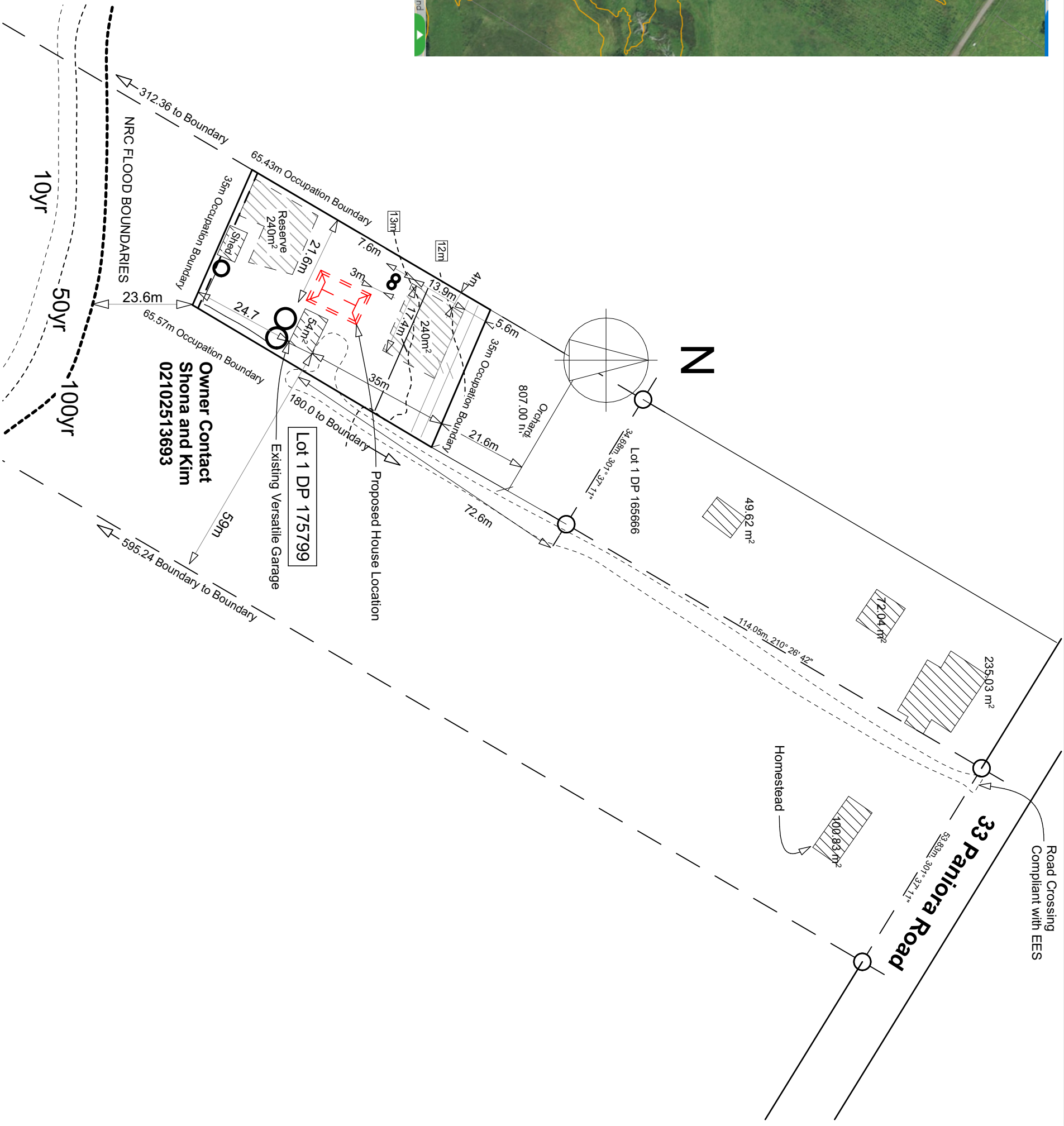
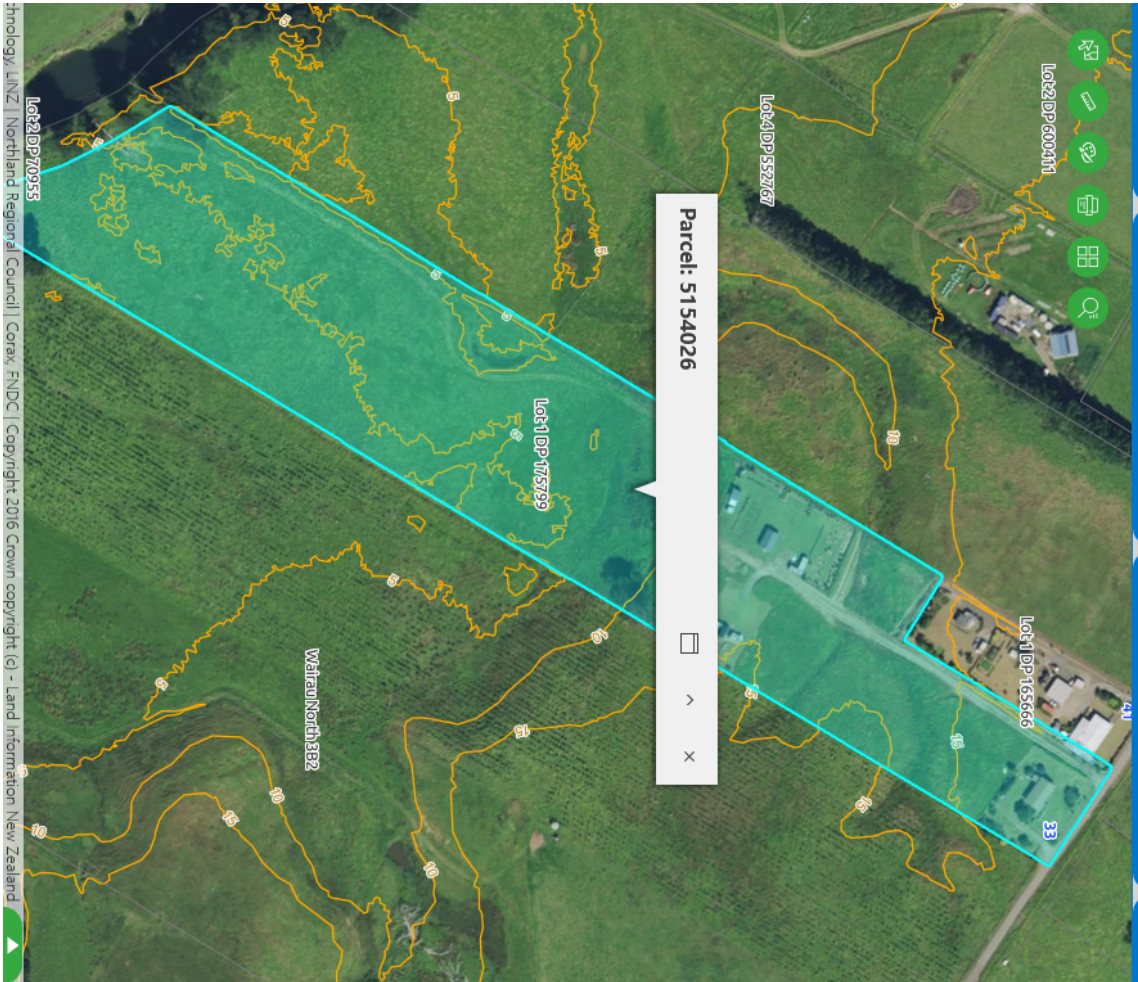




Sheet Index			
Layout ID	Layout Name	Issued	Remark
L101.1	Location Plan	<input type="checkbox"/>	
L101.2	Site Plan	<input type="checkbox"/>	
L102	Foundation Plan	<input type="checkbox"/>	
L103	Ground Floor Plan	<input type="checkbox"/>	
L104	Wall Bracing Plan	<input type="checkbox"/>	
L201	Section A	<input type="checkbox"/>	
L202	Section B	<input type="checkbox"/>	
L301	Elevations	<input type="checkbox"/>	
L302	Elevations	<input type="checkbox"/>	
A101	Foundation Details	<input type="checkbox"/>	
A102	Framing Details	<input type="checkbox"/>	







RC Application Issue

For: **Shona and Kim McMullen**  
Job Title: **695 Relocate to Waimamaku**  
At: **33 Paniora Road, Waimamaku**  
**FNDC, 0473**  
**New Zealand**

Drawn	CWM
Checked	Lee Wilkinson
Engineer	Thijs Drupesteen
Plot Date	11/12/2025
Approved	

**ADVANCEDDESIGN ARCHITECTURE**  
PARUA BAY, WHANGAREI  
Ph (09) 4389 709  
Email: info@advancedesign.co.nz

Drawing Title		
Location Plan		
Drawing Number	Scale	Job Number
L101.1	1:1000	ADG 695

ALL DIMENSIONS TO BE VERIFIED ON SITE

Z

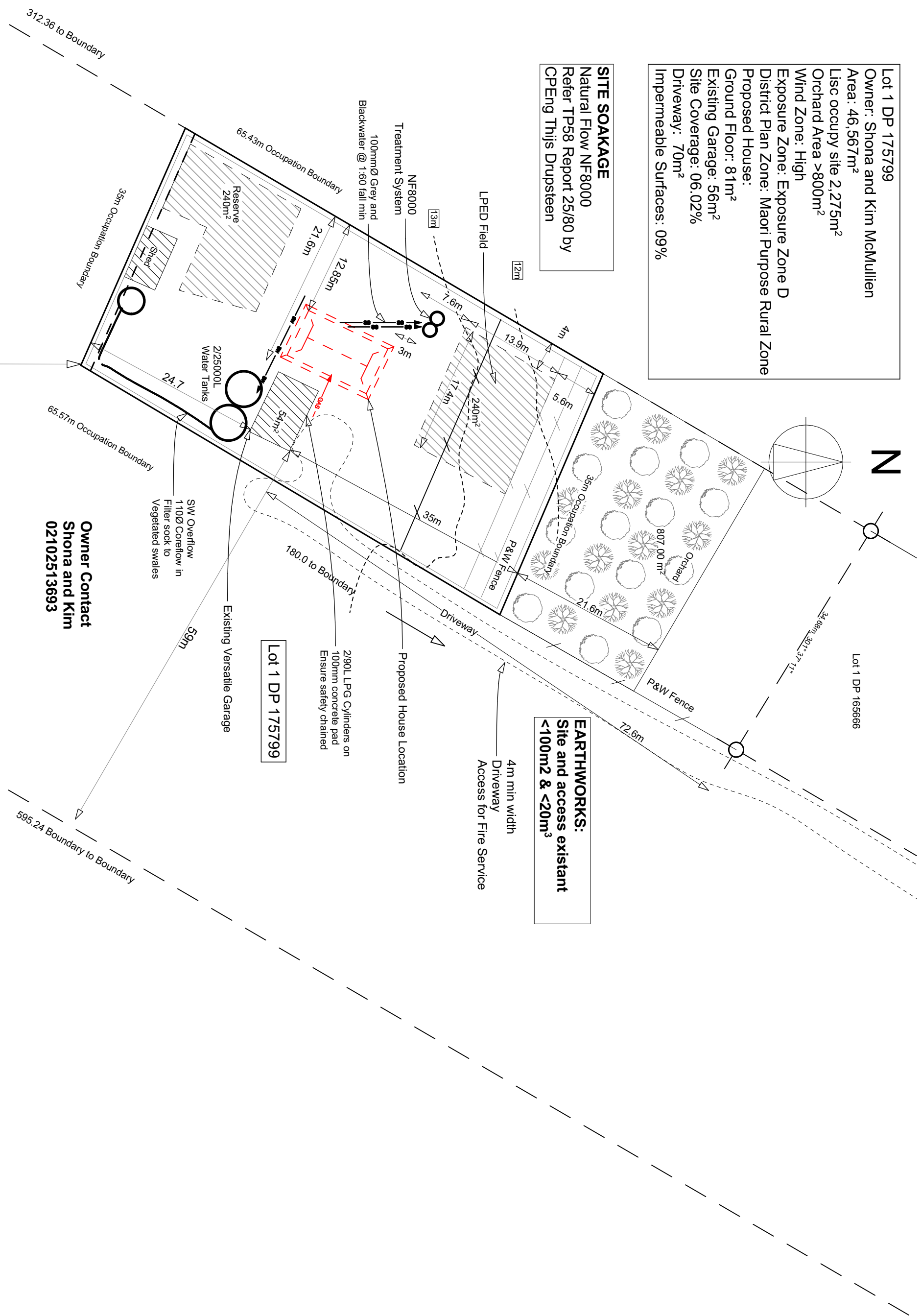
Lot 1 DP 165666

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2000

57, 74.

1



ADVANCED DESIGN ARCHITECTURE

## RC Application Issue

For:

Job Title: **695 Relocate to Waimamaku**

At: **33 Paniora Road. Waimamaku**

FNDc, 0473

## New Zealand

5

Checked Lee Wilkinson

Engineer Thijs Drupsteen

Plot Date	11/12/2025
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Approved \_\_\_\_\_

# ADVANCED DESIGN ARCHITECTURE

## Drawing 11b

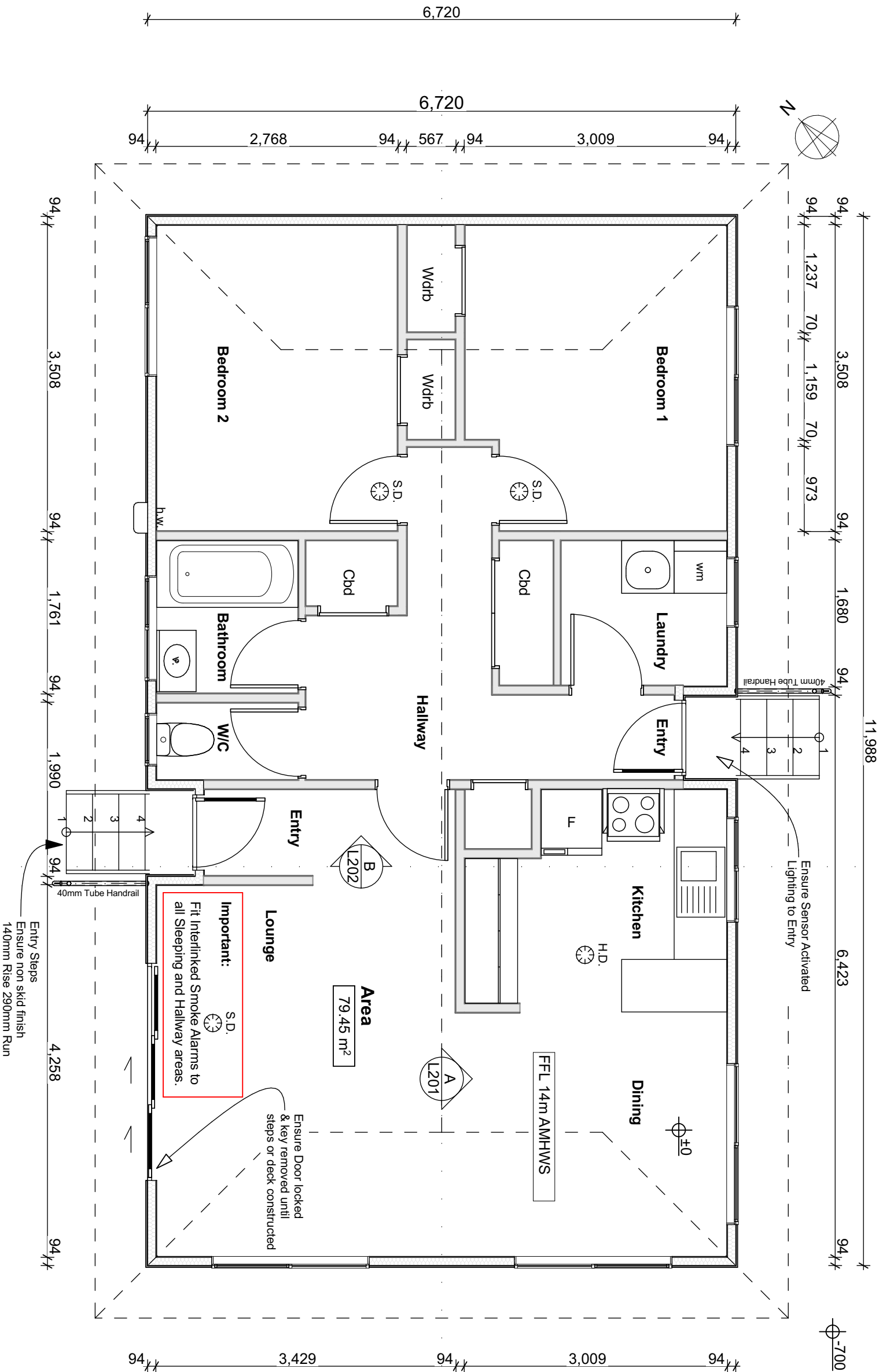
# Site Plan

Drawing Number

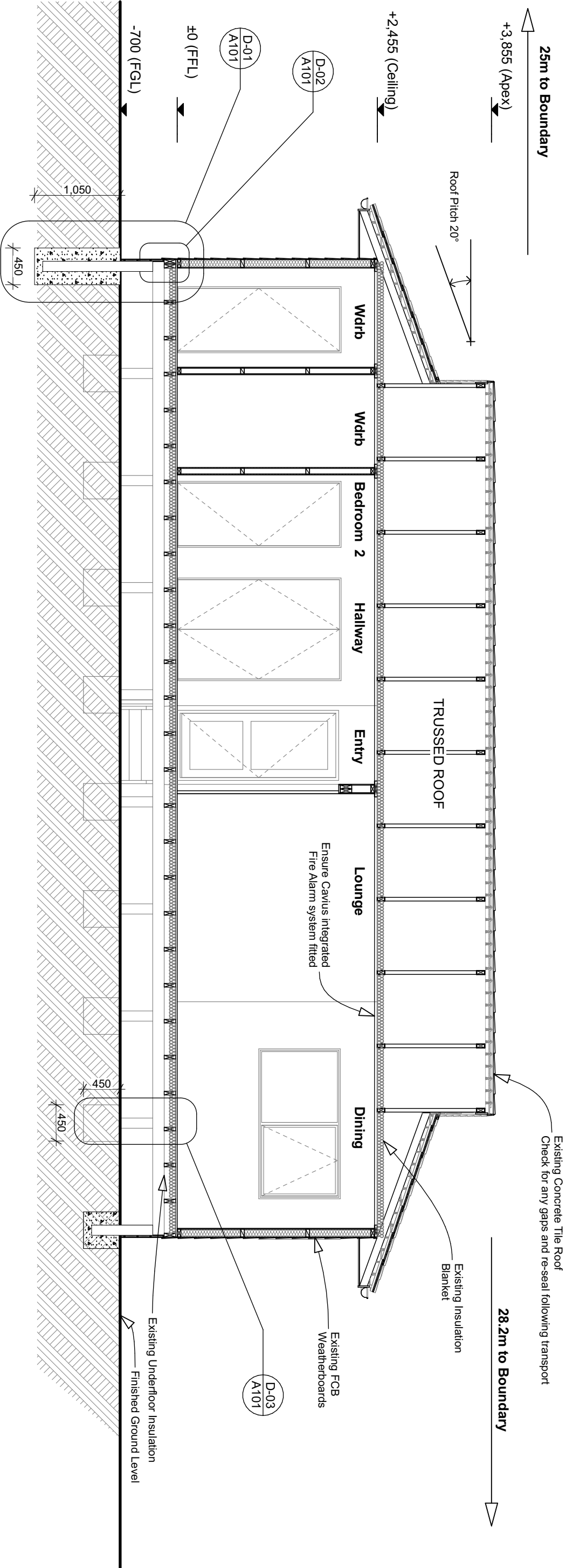
1.1012	1.500
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L101.2	1:500	ADG 695
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**ALL DIMENSIONS TO BE VERIFIED ON SITE**

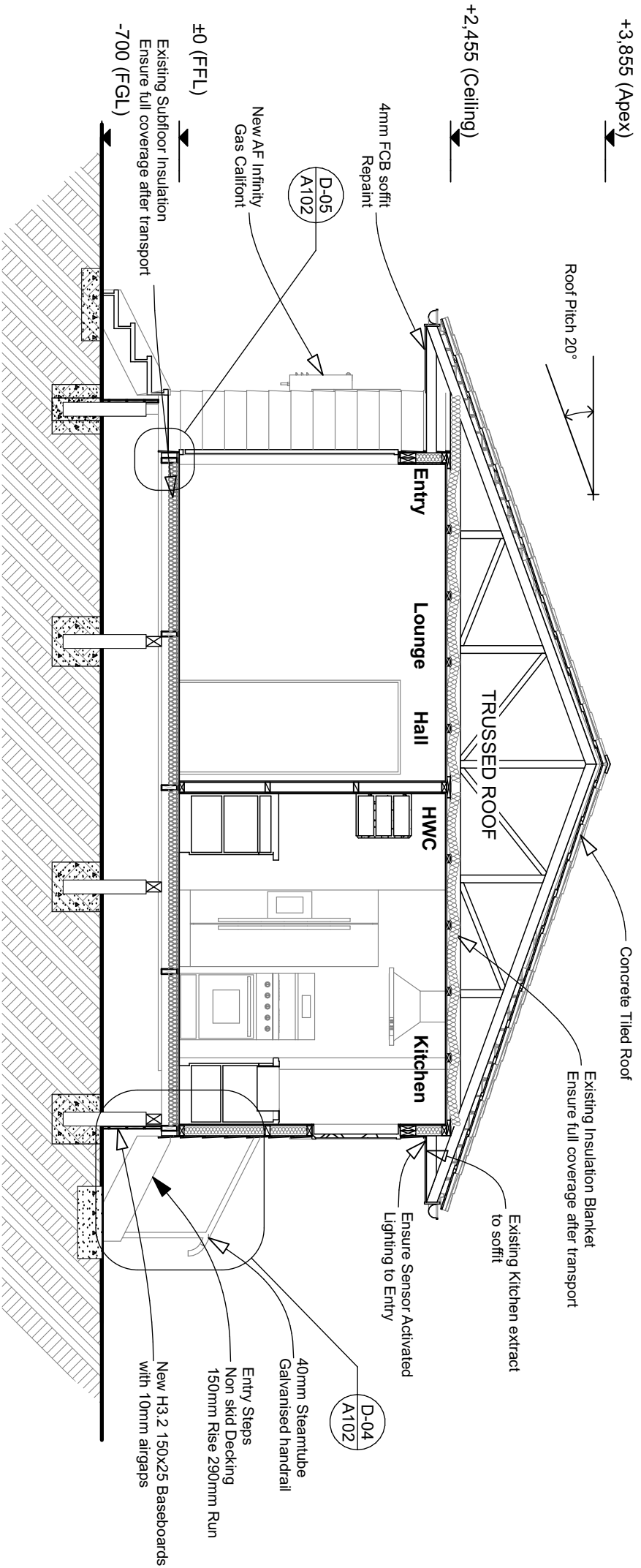






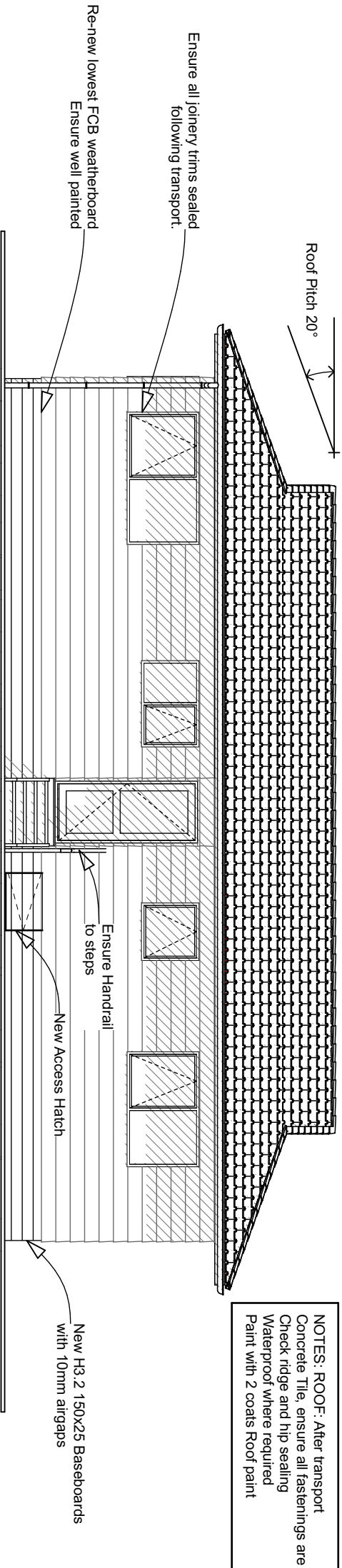
Section A

1:50



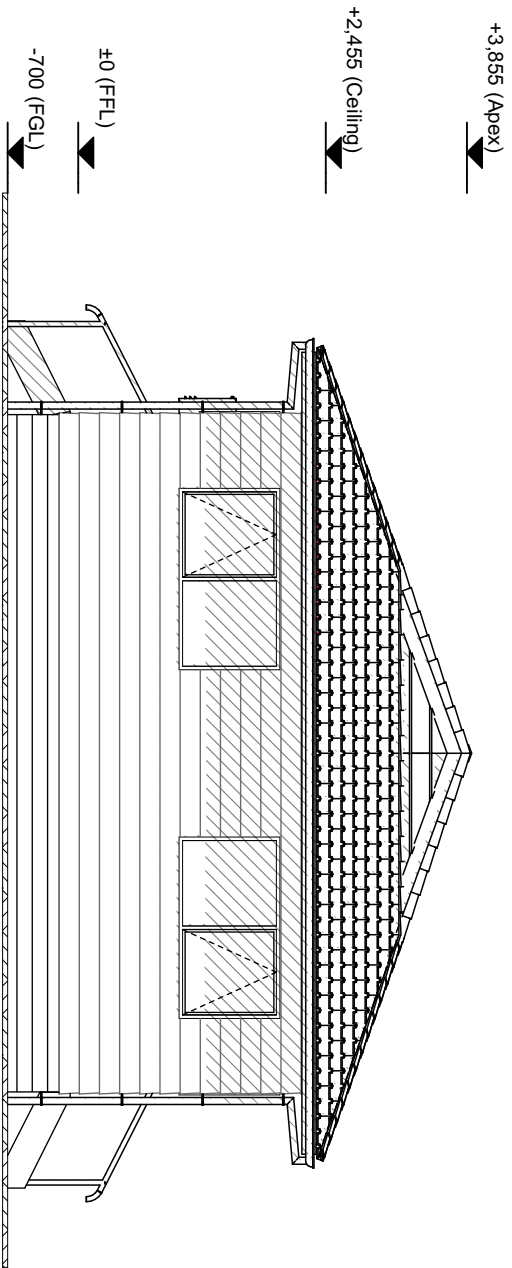
Section B  
1:50





South East Elevation

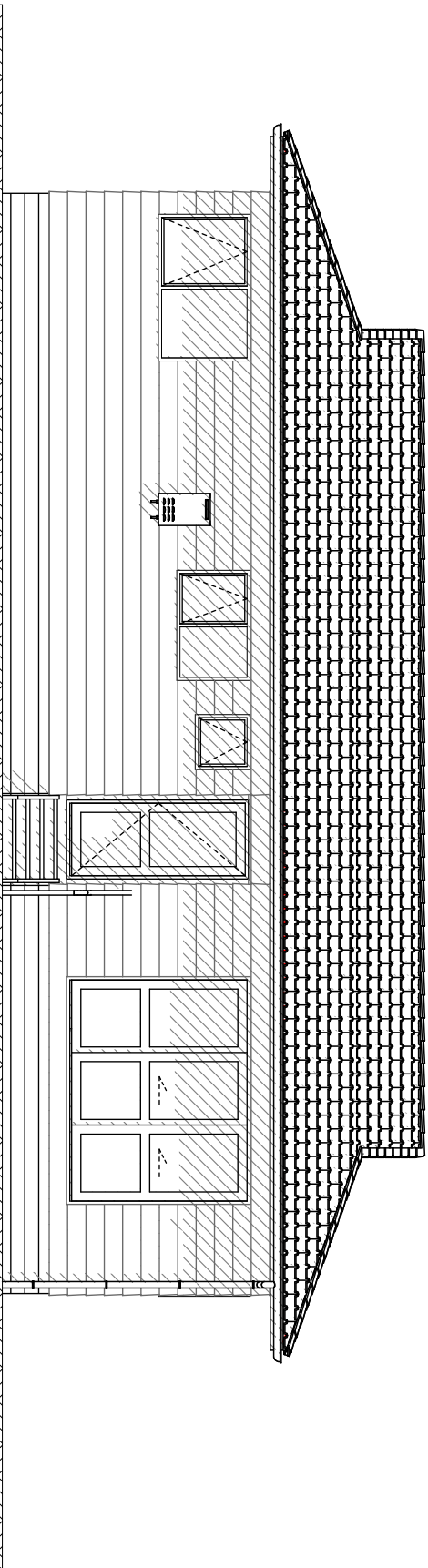
1:75



South West Elevation

1:75

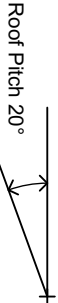
BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Low risk	0
Envelope complexity	Low risk	0
Deck design	Low	0
Total Risk Score:		1



North West Elevation

1:75

12m to Boundary



North East Elevation

1:75

**NZBC:E2 2011 WEATHERBOARDS**

**9.4.3.1 Fixings**

Fixings shall comply with Tables 20 and 24. Weatherboards shall be drilled for nailing at all joints and ends. All cut ends of FCB weatherboards shall be primed.

**9.4.9 Finishes**

Where a protective finish is required by NZS 3602, all exterior weatherboard surfaces, including laps, shall be sealed by priming. Two coats of exterior grade paint shall be applied, after priming, to all exposed surfaces. Paint systems shall comply with any of Parts 7, 8, 9 or 10 of AS 3730.



ADVANCEDDESIGN ARCHITECTURE

**RC Application Issue**

For: **Shona and Kim McMullen**  
Job Title: **695 Relocate to Waimamaku**  
At: **33 Paniora Road, Waimamaku**  
**FNDC, 0473**  
**New Zealand**

Drawn	CWM
Checked	Lee Wilkinson
Engineer	Thijs Drupsteen
Plot Date	11/12/2025
Approved	

**ADVANCEDDESIGN ARCHITECTURE**

PARUA BAY, WHANGAREI  
Ph (09) 4389 709  
Email: info@advancedesign.co.nz

Drawing Title		
Elevations		
Drawing Number	Scale	Job Number
<b>L302</b>	<b>1:75</b>	<b>ADG 695</b>

ALL DIMENSIONS TO BE VERIFIED ON SITE

# T.DRUPSTEEN CP Eng

B.E, CPEng,  
IntPE, CMEngNZ

3264 State Highway 12  
R D 3  
Kaikohe 0473  
Ph: 9-4014737  
Mob: 02 111 43 443  
[drupsteenthijis65@gmail.com](mailto:drupsteenthijis65@gmail.com)  
TD Ref: 25/ 80G  
Date: 26 September 2025

BY EMAIL

The Chief Executive  
Advancedesign Ltd  
PO Box 3284  
Onerahi  
Whangarei 0142  
[lee@advancedesign.co.nz](mailto:lee@advancedesign.co.nz)

Attention: Mr Lee Wilkinson  
Greetings Lee

## **Re: Kim and Shona Proposed House to be Relocated to 33 Paniora Rd Waimamaku** **Ground Strength Tests/ Geotechnical Appraisal**

**Overview:** This report covers the investigation done in fine weather on 19 September 2025 with Kim and Shona's help to check the ground strength in the centre of your proposed relocated house [location as indicated by them]

**Test Results:** A Scala Penetrometer test [also known as a Dynamic Cone Penetrometer or DCP] was done in the centre of the proposed house site. Shear vane test were taken down the same hole as the DCP. Shear vane testing revealed Ultimate Bearing Capacities [UBC's] Ranging from a minimum of 765 kPa to 792 kPa [The construction industry generally accepted minimum is 300kPa]. The full test results are shown in the attached test sheet 1.

**Discussion of Test Results and Conclusion:** The ground at the proposed site is satisfactory for the proposed timber-floored house on timber piles to be moved to the site.

### **Summary of relevant Design Parameters:**

**1 Is it NZS 3604 Good Ground?** No There is expansivity due to the muddy limestone clay soil types that comprise the subsoil. This means that any NZS 3604 pile footings of whatever type must be founded at least 450mm below cleared ground level/bottom of topsoil.

**2 Soil Expansivity:** Slight

**3 Ultimate Bearing Capacity for Design:** 300kPa [Allowing buildings to the non-specific design codes NZS 3604, NZS 4229, and NZS 4299- as well as specifically-designed buildings].

**4 Soil type for Seismic Calculations as per NZS 1170.5 S3 and NZS 3604:** Type C.

**5 Liquefaction risk:** The Far North District Council Map "Liquifaction Vulnerability" of the map series "Far North Atlas/ Kohinga Mahere" shows the area to be scores of metres clear of any "Possible"

liquefaction risk. Also it is pointed out that seismic soil liquefaction has hitherto not been reported in Northland. In addition to that Northland is the lowest-seismic area in NZ. In view of all these factors, the liquefaction risk for the site is considered to be less than minor.

**6 Flood Risk:** The site is some 13 m above sea level and there are no significant streams, rivers, or ponds or water courses within 20m of the proposed house site. Flooding risk is therefore less than minor.

**7 Tsunami Risk:** The Northland Regional Council hazard map “Tsunami Zones 2024” shows the tsunami risk to be confined to a few scores of meters from the beach front. Tsunami risk is therefore less than minor.

**8 Foundation Parameters:** All timber frame design can be done using NZS 3604 except that pile footing depths must be increased to the following depths:

ordinary piles: 450 mm

braced piles: 600 mm

anchor piles: 1050 mm

Any conventional concrete floor slab construction and perimeter footings [such as for a garage] must be designed specifically, or to MBIE Acceptable Solution B1/ AS1

**Geotechnical Appraisal:** The area is described on the Northland rock types geological map NZMS 290 O 04/ 05 “Waipoua-Aranga” as “Muddy limestone..”. The McMullien’s occupation parcel is almost dead flat [it has a slight slope of 3 degrees increasing to 9.8 degrees as one moves north on the parcel]. No obvious signs of on-going, recent, or geological-past earth movements were seen. And there are no retaining walls, cliffs, or escarpments nearby. In view of these facts, any possible settlement, subsidence, land movement or erosion risks are considered less than minor.

**Disclaimer:**

1 This report has been prepared for the sole use of my client Advancedesign Ltd, for the particular brief and on the terms and conditions agreed with my clients. It may not be used or relied on (in whole or part) by anyone else, or for any other purpose or in any other contexts, without our prior written agreement.

2 The sophistication of the investigation made is at an appropriate level to the cost/ complexity of the proposed structure. Inferences are made about the test results being representative for all parts of the site, but these cannot be guaranteed. Should radically different conditions be encountered during construction, this office should be notified. At least five working days advance notice of footing construction on sideling slopes for the house and the carport structure.

Please do not hesitate to contact me if you require any further information.

Best regards



Thijs (“Tase”) Drupsteen (Mr)  
NZ Chartered Professional Engineer 61652

Attached: Test results sheet 1 of 1.

T. DRUPSTEEN Consulting Engineer  
 B.E. CPEng, IntPE, M.I.R.E.N.Z.  
 3284 SH 12, RD 3 Halkiokahe 0473  
 Ph 6494014737 Fax 6494014738  
 Email: drupsteenthijss85@gmail.com

TD Ref: 25/806

Test Date 19/9/25

Report Date 26/9/25

By: T. Drupsteen

Job Name McMullien - Test Results Sheet 1 of 1 (33 Paxionae Rd)

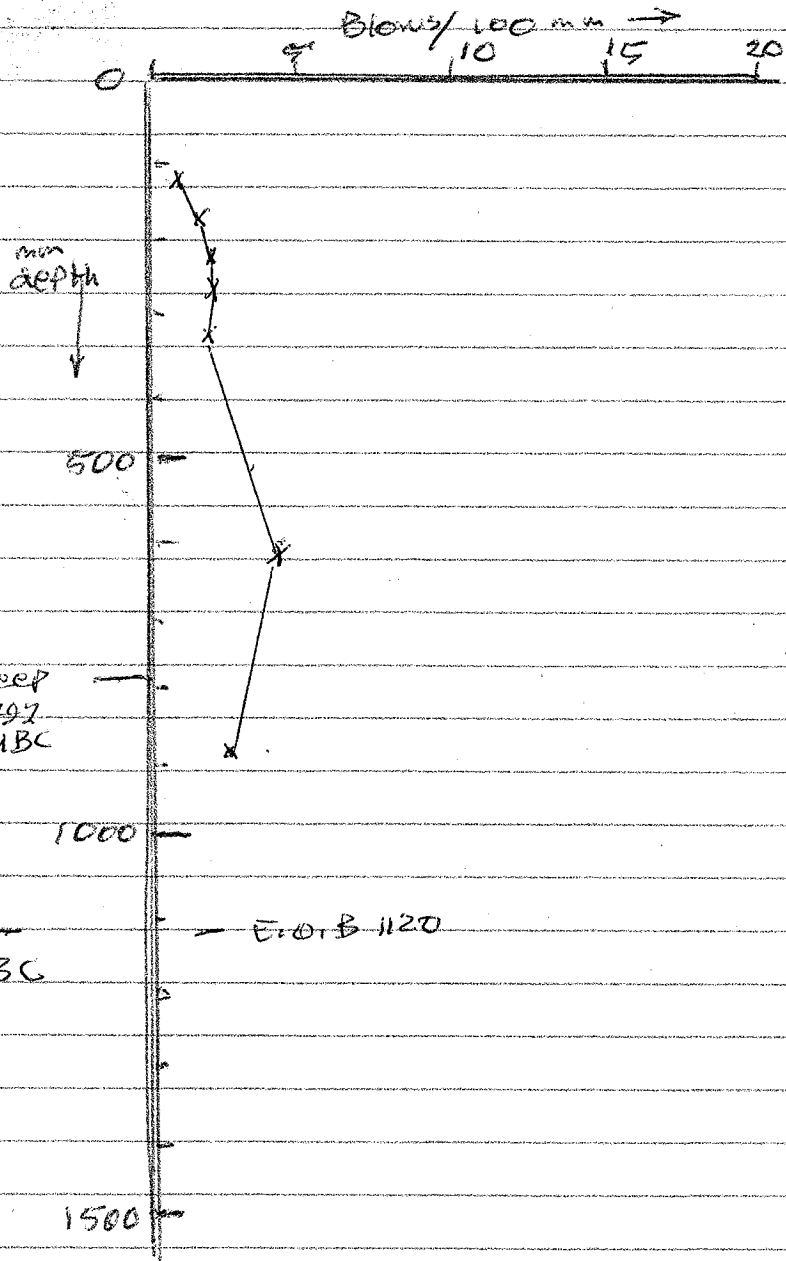
Scale (Dynamic Cone) Penetrometer Log

+ Shear Vane Results

NB: 1 shear vane kPa

= 9 kPa UBC

(xxx) remoulded shear  
 vane



SV 790 deep  
~~800~~ kPa = 797  
 kPa UBC

SV 1120 deep  
 85 kPa = 765 kPa UBC

Er. B 1120



