

# Application for resource consent or fast-track resource consent

Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

## 1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes  No

## 2. Type of consent being applied for

(more than one circle can be ticked):

- |   |  |
|---|--|
| <input type="radio"/> Land Use                                    | <input type="radio"/> Discharge: Total volume = <input type="text"/> m <sup>3</sup><br><i>Note; volumes &gt;3m<sup>3</sup> requires NRC Consent.</i> |
| <input type="radio"/> Fast Track Land Use*                        |  |
| <input type="radio"/> Change of Consent Notice (s.221(3))         | <input type="radio"/> Subdivision  |
| <input type="radio"/> Certificate of Compliance (s.139)           | <input type="radio"/> Existing Use Certificate (s.139A)  |
| <input type="radio"/> Extension of time (s.125)                   | <input type="radio"/> Consent under National Environmental Standard<br>(e.g. Assessing and Managing Contaminants in Soil)                            |
| <input type="radio"/> Other (please specify) <input type="text"/> |  |

\*The fast track is for simple land use consents and is restricted to consents with a controlled activity status.

## 3. Would you like to opt out of the fast track process?

Yes  No

## 4. Consultation

Have you consulted with iwi/Hapū?  Yes  No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact:  
The Resource Consents Planning Technicians, [planning\\_technicians@fndc.govt.nz](mailto:planning_technicians@fndc.govt.nz)

## 5. Applicant details

Name/s:

David Brett Currin & Sylvie Currin Korankova

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991?  Yes  No

If yes, please provide details.


## 6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Email:

Phone number:

Work

Home

Postal address:

(or alternative method of service under section 352 of the act)

Postcode

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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## 7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

David Brett Currin & Sylvie Currin Korankova

Property address/  
location:


## 8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/  
location:

  
  
 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

### Site visit requirements:

Is there a locked gate or security system restricting access by Council staff?  Yes  No

Is there a dog on the property?  Yes  No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

## 9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Proposed addition and alteration to an existing dwelling including approximately 53.4m<sup>2</sup> of additional floor area, internal alterations, associated retaining walls, and minor earthworks within the General Coastal Zone.  
The proposal includes:  
• New bedroom and ensuite  
• Bathroom and laundry alterations  
• Ancillary/multipurpose lower-level space  
• Associated retaining and drainage works  
Resource Consent is required under Rule 10.6.5.1.1(c) relating to Visual Amenity within the General Coastal Zone, and Rule 12.4.6.1.2 relating to Fire Risk to Residential Units.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

The proposal has been prepared in accordance with the following version of the FNDC Engineering Standards:

2009  2023

## 10. Would you like to request public notification?

Yes  No

## 11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent  EBC-2026-855/0

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

## 12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)?  Yes  No  Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result?  Yes  No  Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

## 13. Natural hazards (National Policy Statement for Natural Hazards 2025)

Is the site subject to known or potential natural hazards (for example, flooding, coastal inundation, erosion, or unstable land), as contemplated by the National Policy Statement for Natural Hazards 2025?  Yes  No

If yes, please identify the relevant natural hazard(s) by ticking the applicable box(es) below:

Flooding

Active Faults

Landslips

Liquefaction

Coastal Erosion

Tsunami

Coastal Inundation

*Please ensure all relevant technical reports are submitted with the application.*

## 14. Assessment of environmental effects:

*Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.*

Your AEE is attached to this application  Yes

## 15. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision?  Yes  No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

**10. Other Consent required/being applied for under different legislation (more than one circle can be ticked):**

- Building Consent (BC ref # if known)  
EBC-2026-855/0
- Regional Council Consent (ref # if known)
- National Environmental Standard consent
- Other (please specify)

**11. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:**

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following (further information in regard to this NES is available on the Council's planning web pages):

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)  yes  no  don't know

Is the proposed activity an activity covered by the NES? (If the activity is any of the activities listed below, then you need to tick the 'yes' circle).  yes  no  don't know

- Subdividing land  Changing the use of a piece of land
- Disturbing, removing or sampling soil  Removing or replacing a fuel storage system

**12. Assessment of Environmental Effects:**

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as Written Approvals from adjoining property owners, or affected parties.

**Please attach your AEE to this application.**

**13. Billing Details:**

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write all names in full) David Currin

Email: \_\_\_\_\_

Postal Address: \_\_\_\_\_

\_\_\_\_\_ Post Code: \_\_\_\_\_

Phone Numbers: Work: \_\_\_\_\_ Home: \_\_\_\_\_ Fax: \_\_\_\_\_

**Fees Information:** An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20<sup>th</sup> of the month following invoice date. You may also be required to make additional payments if your application requires notification.

**Declaration concerning Payment of Fees:** I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: David Currin (please print)

Signat \_\_\_\_\_ (signature of bill payer – **mandatory**) Date: 13 May 2026

## 14. Important Information:

### Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

### Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement. A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

### Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, [www.fndc.govt.nz](http://www.fndc.govt.nz). These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

**Declaration:** The information I have supplied with this application is true and complete to the best of my knowledge.

Name: David Currin (please print)

Signature: \_\_\_\_\_ (signature)

Date: 13 May 2026

(A signature is not required if the application is made by electronic means)

### Checklist (please tick if information is provided)

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

*Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.*

**Only one copy of an application is required, but please note for copying and scanning purposes, documentation should be:**

**UNBOUND**

**SINGLE SIDED**

**NO LARGER THAN A3 in SIZE**

# Resource Consent – Assessment of Environmental Effects (AEE)

Proposed Addition to Existing Dwelling  
18 Highfields, Ahipara

## 1. Proposal Description

The proposal comprises an **addition and alteration to an existing dwelling** located at 18 Highfields, Ahipara.

Works include:

- Extension to the existing dwelling (approx. **53.4m<sup>2</sup>**)
- Enlargement and upgrade of existing bathroom and laundry areas
- Addition of **one bedroom and ensuite**
- Creation of **ancillary/multipurpose space** at lower level
- Associated retaining walls and minor earthworks

The proposal is **not a new dwelling** and does not increase the number of household units on the site.

## 2. Site Description

- Legal: Lot 1 DP 207792
- Area: approx. **16,003m<sup>2</sup>**
- Zone: **General Coastal Zone**
- Existing use: Established residential dwelling

The site is already developed with an existing multi-level dwelling which forms the dominant built element. The surrounding environment is rural/coastal with large lot sizes and low development intensity.

Site coverage remains very low (less than 6% impermeable area) .

## 3. Statutory Framework

### District Plan

The proposal is assessed under:

- **Rule 10.6.5.1.1 – Visual Amenity (General Coastal Zone)**
- **Rule 12.4.6.1.2 – Fire Risk to Residential Units**

The proposal does not meet permitted activity standards due to:

- Addition exceeding 50m<sup>2</sup>
- Existing building not present prior to 28 April 2000

Accordingly, the proposal is assessed as a **Restricted Discretionary Activity**.



**RECORD OF TITLE  
UNDER LAND TRANSFER ACT 2017  
FREEHOLD  
Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **NA134D/433**  
**Land Registration District** **North Auckland**  
**Date Issued** 09 April 2001

**Prior References**

NA74C/491      NA74C/492

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**Estate** Fee Simple  
**Area** 1.6003 hectares more or less  
**Legal Description** Lot 1-2 Deposited Plan 207792

**Registered Owners**

David Brett Currin and Sylive Currin Korankova

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**Estate** Fee Simple - 1/12 share  
**Area** 1377 square metres more or less  
**Legal Description** Lot 25 Deposited Plan 127889

**Registered Owners**

David Brett Currin and Sylive Currin Korankova

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**Interests**

Subject to Section 241(2) Resource Management Act 1991

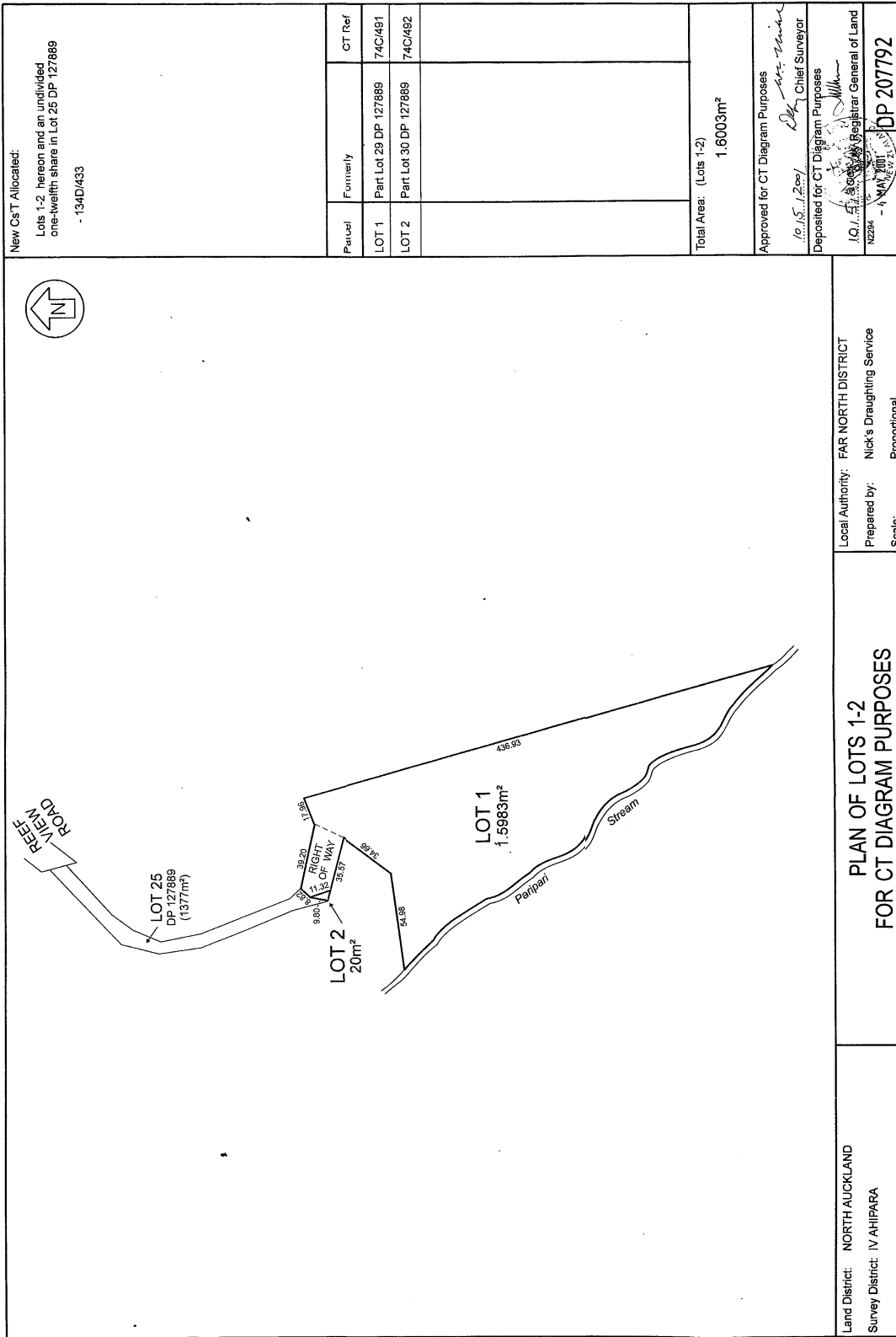
Appurtenant hereto is a right of way specified in Easement Certificate A381942

Land Covenant in Transfer C390295.1 (affects Lot 2)

Subject to a right of way over part marked A on DP 158245 specified in Easement Certificate D594601.9 - 9.4.2001 at 3.26 pm

The easements specified in Easement Certificate D594601.9 are subject to Section 243 (a) Resource Management Act 1991





New CST Allocated:  
Lots 1-2, hereon and an undivided  
one-twelfth share in Lot 25 DP 127889  
- 134D/433

Part	Formerly	CT Ref
LOT 1	Part Lot 29 DP 127889	74C/481
LOT 2	Part Lot 30 DP 127889	74C/492

Total Area: (Lots 1-2)  
1,600.3m<sup>2</sup>

Approved for CT Diagram Purposes  
*10.15.1200*  
*Chief Surveyor*

Deposited for CT Diagram Purposes  
*10.15.1200*  
*Registrar General of Land*  
NZS 2001  
DP 207792

**Micro Record Bureau Ltd.**  
DIGITAL COMPRESSION  
14 MAY 2001

# COVER LETTER / LODGEMENT EMAIL

**Subject: Resource Consent Application – 18 Highfields, Ahipara**

Hi there,

Please find attached a Resource Consent application for the proposed addition and alteration to an existing dwelling at **18 Highfields, Ahipara**.

The proposal involves a modest extension (approx. 53.4m<sup>2</sup>) and internal reconfiguration to an existing dwelling on a large rural-coastal site.

While the proposal triggers Resource Consent under Rule 10.6.5.1.1 due to the floor area and building age criteria, the design has been carefully developed to ensure that:

- The addition remains **subservient to the existing dwelling**
- The overall **height and visual prominence are reduced**, not increased
- Works are **contained within the existing building platform**
- External materials and colours are **recessive and non-reflective**

As outlined in the attached AEE, the proposal results in **less than minor effects** on visual amenity and coastal character and is consistent with the intent of the General Coastal Zone provisions.

Given the scale and nature of the works, we consider the application suitable for **non-notified processing**.

We have included a one-page **Planner Summary Sheet** to assist with efficient review.

Please let us know if any further information is required at this stage.

# Resource Consent – Assessment of Environmental Effects (AEE)

Proposed Addition to Existing Dwelling  
18 Highfields, Ahipara

## 1. Proposal Description

The proposal comprises an **addition and alteration to an existing dwelling** located at 18 Highfields, Ahipara.

Works include:

- Extension to the existing dwelling (approx. **53.4m<sup>2</sup>**)
- Enlargement and upgrade of existing bathroom and laundry areas
- Addition of **one bedroom and ensuite**
- Creation of **ancillary/multipurpose space** at lower level
- Associated retaining walls and minor earthworks

The proposal is **not a new dwelling** and does not increase the number of household units on the site.

## 2. Site Description

- Legal: Lot 1 DP 207792
- Area: approx. **16,003m<sup>2</sup>**
- Zone: **General Coastal Zone**
- Existing use: Established residential dwelling

The site is already developed with an existing multi-level dwelling which forms the dominant built element. The surrounding environment is rural/coastal with large lot sizes and low development intensity.

Site coverage remains very low (less than 6% impermeable area) .

## 3. Statutory Framework

### District Plan

The proposal is assessed under:

- **Rule 10.6.5.1.1 – Visual Amenity (General Coastal Zone)**
- **Rule 12.4.6.1.2 – Fire Risk to Residential Units**

The proposal does not meet permitted activity standards due to:

- Addition exceeding 50m<sup>2</sup>
- Existing building not present prior to 28 April 2000

Accordingly, the proposal is assessed as a **Restricted Discretionary Activity**.

### 3A. Existing Resource Consent and Established Baseline

The subject site has an existing Resource Consent (**RC 2050457**) granted by Far North District Council for:

“Construction of a dwelling exceeding 50m<sup>2</sup> within the General Coastal Zone”

As part of that consent, Council specifically assessed and accepted effects relating to:

- Building bulk and scale
- Visual amenity
- Colour and reflectivity
- Landscaping and form

Council concluded that:

- Environmental effects would be **no more than minor**
- **No persons were considered adversely affected**
- The proposal was consistent with the objectives and policies of the District Plan

The dwelling has since been constructed and issued a **Code Compliance Certificate**, confirming it as a **lawfully established use** .

Accordingly, the existing dwelling forms the **established visual and environmental baseline** for the site.

The current proposal represents a **modest addition to an already consented and established built form**, and does not introduce a new or materially different outcome when compared to what has already been assessed and approved by Council.

### 3B. Matters of Discretion

In considering this application as a Restricted Discretionary Activity, Council’s discretion is limited to matters relating to:

- Visual amenity effects within the coastal environment
- Scale, form and external appearance of the building
- Effects on coastal character
- Fire risk in relation to vegetation proximity

This assessment has focused on these matters, and demonstrates that effects are no more than minor.

## 4. Assessment of Effects

### 4.1 Visual Amenity

Effects on visual amenity are considered **less than minor**, for the following reasons:

- The addition is **subservient in scale and form** to the existing dwelling
- The proposed works are **lower in height than the existing building**, reducing visual prominence
- The extension is **integrated into the existing building platform** and does not extend into undeveloped or sensitive coastal areas
- The existing dwelling already establishes the **visual baseline** for built form on the site
- External materials include **recessive colours and low-reflectivity finishes**, reducing visibility within the coastal landscape
- The large site area and setbacks significantly reduce any perception of dominance

While the proposed extension introduces a variation in cladding materials compared to the existing dwelling (which is primarily timber weatherboard with metal roofing), this change results in an overall **reduction in visual prominence and improved durability within the coastal environment**.

The lower level utilises **concrete block construction**, which provides a more recessive and grounded appearance, particularly when viewed against the natural landform. The upper level incorporates **aluminium cladding with a membrane roofing system**, both of which will be finished in **darker, non-reflective tones**, consistent with the intent of the original consent which required a recessive colour scheme to mitigate visual effects .

Overall, the proposed material palette will read as **more subdued and less visually prominent** than the existing timber weatherboard and metal roofing combination, and therefore represents an improvement in terms of visual amenity within the coastal environment.

Overall, the proposal does not materially increase visual effects beyond the established consented baseline for the site. In this respect, the proposal aligns more closely with contemporary coastal design approaches that favour recessive, low-reflectivity materials.

The proposal continues to rely on the established landscaping and natural landform to visually integrate the building into the wider coastal environment.

This approach is consistent with the original consent for the dwelling, which relied on landscaping and recessive design to mitigate visual effects. The proposal represents a continuation of an already approved development outcome, rather than the introduction of new development within the coastal environment.

## 4.2 Scale and Dominance

- The addition (approx. 53.4m<sup>2</sup>) is modest relative to the existing dwelling
- The building remains visually read as **a single dwelling**, not multiple forms
- The extension does not result in overdevelopment of the site

Effects relating to scale and dominance are **no more than minor**.

### 4.3 Coastal Character

- Works are contained within the **existing developed footprint**
- No extension further into the coastal environment occurs
- The proposal maintains the established residential character of the site

Effects on coastal character are **less than minor**.

### 4.4 Earthworks and Retaining

- Earthworks are limited and associated with the extension
- Retaining walls are integrated into the design and are typical of the site context
- Sediment control and drainage measures are included on plans

Effects are **less than minor**.

### 4.5 Fire Risk (Vegetation Proximity)

The proposal may fall within 20m of vegetation.

Mitigation includes:

- Separation from vegetation where practicable
- Standard construction materials and defensible space around the building

Given the residential context, effects are considered **no more than minor**.

### 4.6 Infrastructure and Services

- No significant increase in demand on infrastructure
- Existing servicing arrangements are maintained

Effects are **less than minor**.

### 4.7 Stormwater and Drainage

The proposal does not significantly increase impermeable surface area on the site.

Stormwater will continue to be managed in accordance with the existing site arrangements and natural overland flow paths.

Given the scale of the addition and the large site area, no adverse effects relating to stormwater runoff or neighbouring properties are anticipated.

Effects are considered less than minor.

## 5. Assessment Against Objectives and Policies

The proposal is consistent with the intent of the General Coastal Zone provisions as it:

- Maintains **low intensity development**
- Avoids adverse effects on **visual amenity and coastal character**
- Is **subservient to the existing built form**
- Does not introduce inappropriate scale or dominance

Overall, the proposal aligns with the relevant objectives and policies.

## 6. Notification Assessment

The proposal:

- Does not give rise to adverse effects on any person that are more than minor
- Is consistent with the established use of the site
- Will not adversely affect the wider environment

Accordingly, the application is considered suitable for **non-notified processing** under the RMA.

## 7. Conclusion

While the proposal triggers Resource Consent due to technical non-compliance with permitted activity standards, the actual environmental effects are **less than minor**.

The proposal represents a **modest and well-integrated extension** to an existing dwelling within a large coastal site and is consistent with the intent of the District Plan.

4 May 2026

David Brett Currin and Sylvie Currin Korankova  
18 Highfields  
RD 1  
Kaitaia 0481

Dear Sir / Madam,

**Building consent number:** EBC-2026-855/0  
**Property ID:** 3337947  
**Address:** 18 Highfields, Ahipara 0481  
**Description:** Proposed extension to an existing dwelling, with engineer, new retaining wall and new retaining wall to replace existing timber retaining wall

#### Requirement for Resource Consent

PIM Assessment of your application has highlighted the need for Resource Consent that must be granted prior to any building works or earthworks commencing.

**NB:** As of 27<sup>th</sup> July 2022, some rules and standards in the Far North District Council Proposed District Plan took legal effect and compliance with these rules applies to your building consent. Please visit our website to see these rules  
[Far North Proposed District Plan \(isoplan.co.nz\)](http://isoplan.co.nz)

The site is zoned **General Coastal and Residential** under the Operative District Plan. These works are proposed on Lot 1 DP 207792 within the **General Coastal Zone** and Resource Consent is required for breach of the following:

<b>Rule:</b>	10.6.5.1.1 VISUAL AMENITY (c) any alteration/addition to an existing building which does not exceed 50m <sup>2</sup> , provided that any alteration/ addition does not exceed the height of the existing building and that any alteration/addition is to a building that existed at 28 April 2000
<b>Reason:</b>	Plans demonstrate this addition/extension exceeds 50m <sup>2</sup> and the building did not exist at 28 April 2000.
<b>Rule:</b>	12.4.6.1.2 FIRE RISK TO RESIDENTIAL UNITS
<b>Reason:</b>	Proposed works appear to be located within 20m of the drip line of any trees in a naturally occurring or deliberately planted area of scrub or shrubland, woodlot or forest.

Please note there may be other rule breaches found during the Resource Consent process. It is your responsibility to ensure the Resource Consent approved plans match the Consented approved plans.

The application form can be downloaded from [www.fndc.govt.nz](http://www.fndc.govt.nz) and submitted to Council's (Planning Department) with the appropriate documentation and instalment fee.

If you have any queries, please contact the Duty Planner on [Duty.Planner@fndc.govt.nz](mailto:Duty.Planner@fndc.govt.nz) or 0800 920 029.

Yours faithfully



Lysigna Mare  
PIM Officer

**Delivery and Operations**

Emailed to: [beardarc48@gmail.com](mailto:beardarc48@gmail.com) or [tylerkharissa@gmail.com](mailto:tylerkharissa@gmail.com)

**FORM 4**  
**Certificate attached to**  
**PROJECT INFORMATION MEMORANDUM**  
Section 37, Building Act 2004

**Building Consent Number: EBC-2026-855/0**

**RESTRICTIONS ON COMMENCING BUILDING WORK UNDER  
RESOURCE MANAGEMENT ACT 1991**

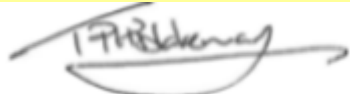
The building work referred to in the attached Project Information Memorandum is also required to have the following **Resource Consent(s)** under the Resource Management Act 1991:

• **Resource Consent – REQUIRED**

As the above Resource Consent(s) will affect the building work to which the Project Information Memorandum relates, until this has been granted no building work may proceed.

Failure to comply with the requirements of this notice may result in legal action being taken against you under the Resource Management Act 1991.

Signature:



Trent Blakeman  
Manager - Building Services –  
Delivery and Operations  
Far North District Council (Building Consent Authority)  
4 May 2026

Position:

On behalf of:

Date:

# 1. PLANNER SUMMARY SHEET

## PROJECT SUMMARY – RESOURCE CONSENT

18 Highfields, Ahipara

Proposed Addition to Existing Dwelling

### Proposal Overview

- Addition to existing dwelling: **approx. 53.4m<sup>2</sup>**
- Internal alterations to bathroom and laundry
- New **bedroom + ensuite**
- Ground level **ancillary/multipurpose space**
- Associated retaining walls and minor earthworks

### Site Context

- Site area: **16,003m<sup>2</sup> (1.6ha)**
- Zone: **General Coastal Zone**
- Established dwelling already present and visually dominant
- Low intensity development (**<6% site coverage**)

### Key Planning Trigger

- Rule 10.6.5.1.1(c):
  - Addition exceeds 50m<sup>2</sup>
  - Existing building post-2000

### Restricted Discretionary Activity

### Key Effects (Summary)

- ✓ Addition is **subservient to existing dwelling**
- ✓ **Lower in height** than existing structure
- ✓ Located within **existing building platform**
- ✓ No extension further into coastal environment
- ✓ **Recessive materials and colours**
- ✓ Large site + setbacks reduce visibility

Overall effects: **Less than minor**

### Fire Risk (Rule 12.4.6.1.2)

- Building within 20m vegetation (possible trigger)
- Standard mitigation + defensible space

Effects: **No more than minor**

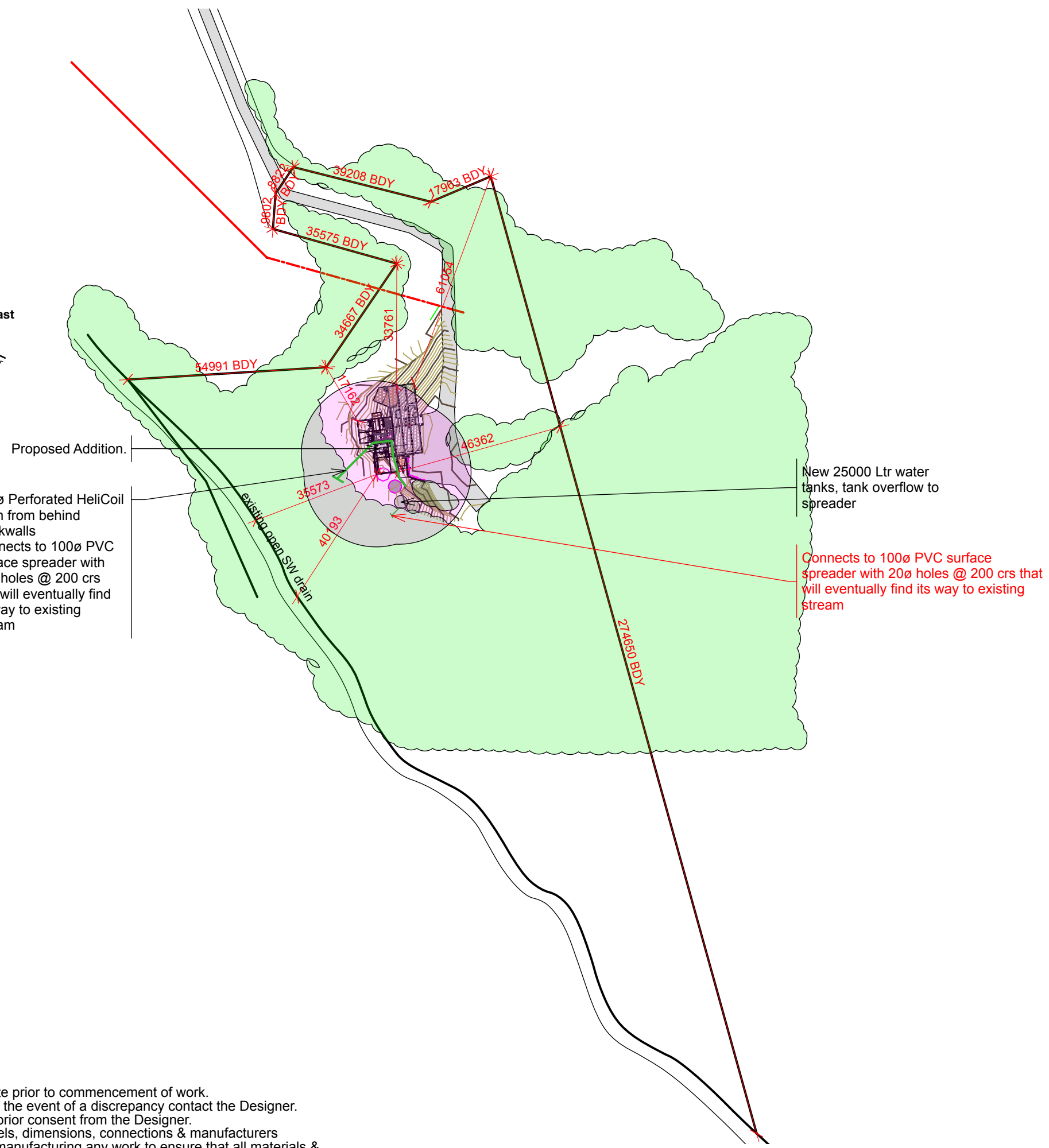
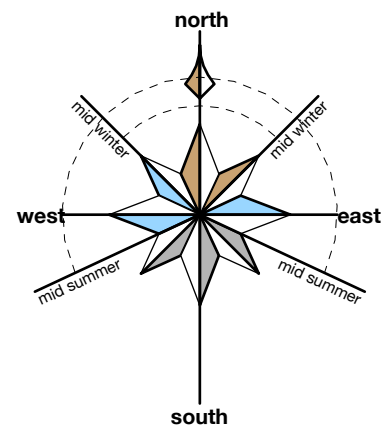
## **Outcome Sought**

- **Non-notified Resource Consent approval**

## **Supporting Documentation**

- Architectural drawings (A-series)
- Engineering details (S-series)
- AEE report

DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



**LEGAL DESCRIPTION**  
LOT 1  
DP 207792  
VALUATION NUMBER: 00039-50412  
TOTAL LAND AREA: 16003 m2

**SITE COVERAGE**  
EXISTING BUILDING AREA: 188.6m2  
EXISTING DRIVEWAY AREA: 598m2  
EXISTING DECK AREAS: 33.2m2  
EXISTING ROOFING: 263m2  
PROPOSED BUILDING AREA: 53.4m2  
PROPOSED ROOF TOTAL AREA: 53.4m2  
TOTAL AREA OF IMPERMEABLE SURFACES: 914.4m2  
TOTAL % OF IMPERMEABLE SURFACES: <6%

**FNDC ZONE GENERAL COASTAL**  
SETBACK TO BOUNDARIES

EARTHQUAKE ZONE 1  
EXPOSURE ZONE D  
CLIMATE ZONE 1  
WIND REGION A  
WIND ZONE **VERY HIGH**  
SNOW ZONE NO  
LEE ZONE NO

29/04/20	A	REV
TB	BY	DATE

REVISION AMENDMENTS

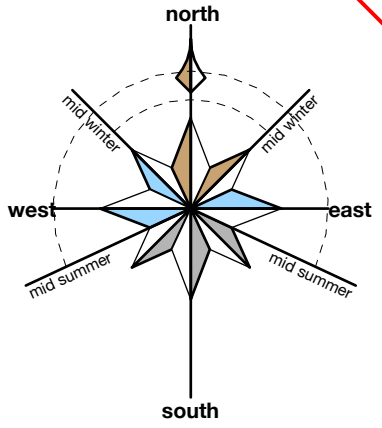
All dimensions to be checked on site prior to commencement of work.  
Work only to figured dimensions, in the event of a discrepancy contact the Designer.  
Do not change any details without prior consent from the Designer.  
Building Contractor to check all levels, dimensions, connections & manufacturers specifications before beginning or manufacturing any work to ensure that all materials & labour necessary to complete the project has been allowed for, whether inferred, drawn on plans or not.  
Liability will not be accepted by Designer for any materials or labour not shown on drawings or required by council or during construction.

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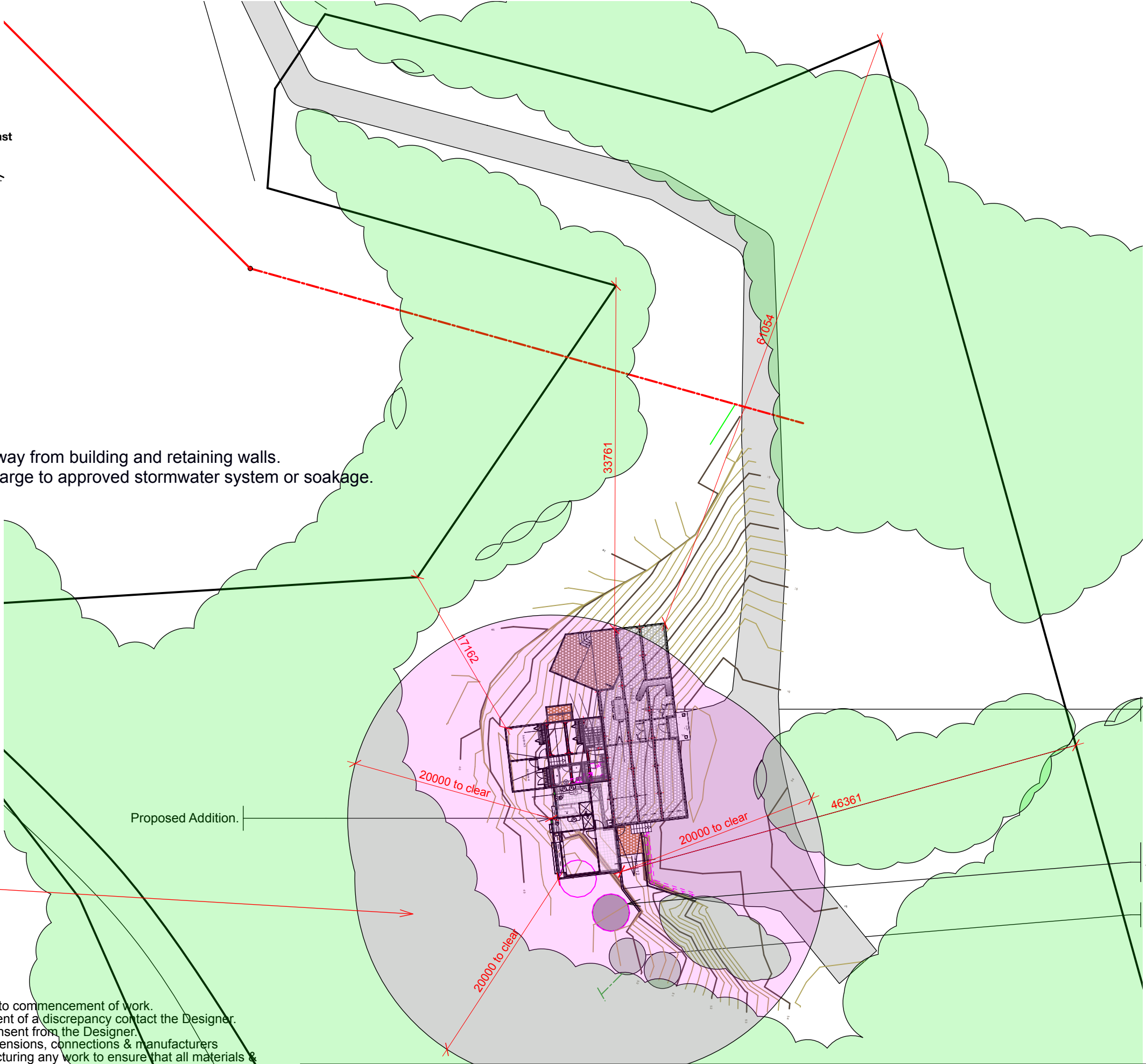
CLIENT:	D Currin & S Currin Korankova		PROJECT #	DC-0225
PROJECT:	18 Highfields, Ahipara		DATE #	18/02/2026
DWG	SITE PLAN		SCALE @ A3	1:1200
			DRAWN	KB/TB/DB
			CHKD	KB/TB/DB



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All surface water to fall away from building and retaining walls.  
Subsoil drainage to discharge to approved stormwater system or soakage.



"Area highlighted within the overlap of the fire setback and existing vegetation is to be cleared to mitigate fire risk to residential units."

Proposed Addition.

Existing Dwelling.

Existing Concrete Water Tanks 1.2m into ground.

New 25000 lts tanks

All dimensions to be checked on site prior to commencement of work.  
Work only to figured dimensions, in the event of a discrepancy contact the Designer.  
Do not change any details without prior consent from the Designer.  
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CLIENT:	D Currin & S Currin Korankova		PROJECT #	DC-0225
PROJECT:	18 Highfields, Ahipara		DATE #	18/02/2026
DWG	CLOSE UP SITE PLAN		SCALE @ A3	1:400
			DRAWN	KB/TB/DB
			CHKD	KB/TB/DB

PROJECT # DC-0225  
DWG # A01.1

REVISION AMENDMENTS	BY	DATE	REV

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REVISION AMENDMENTS

Silt fence installation is critical to it's performance.

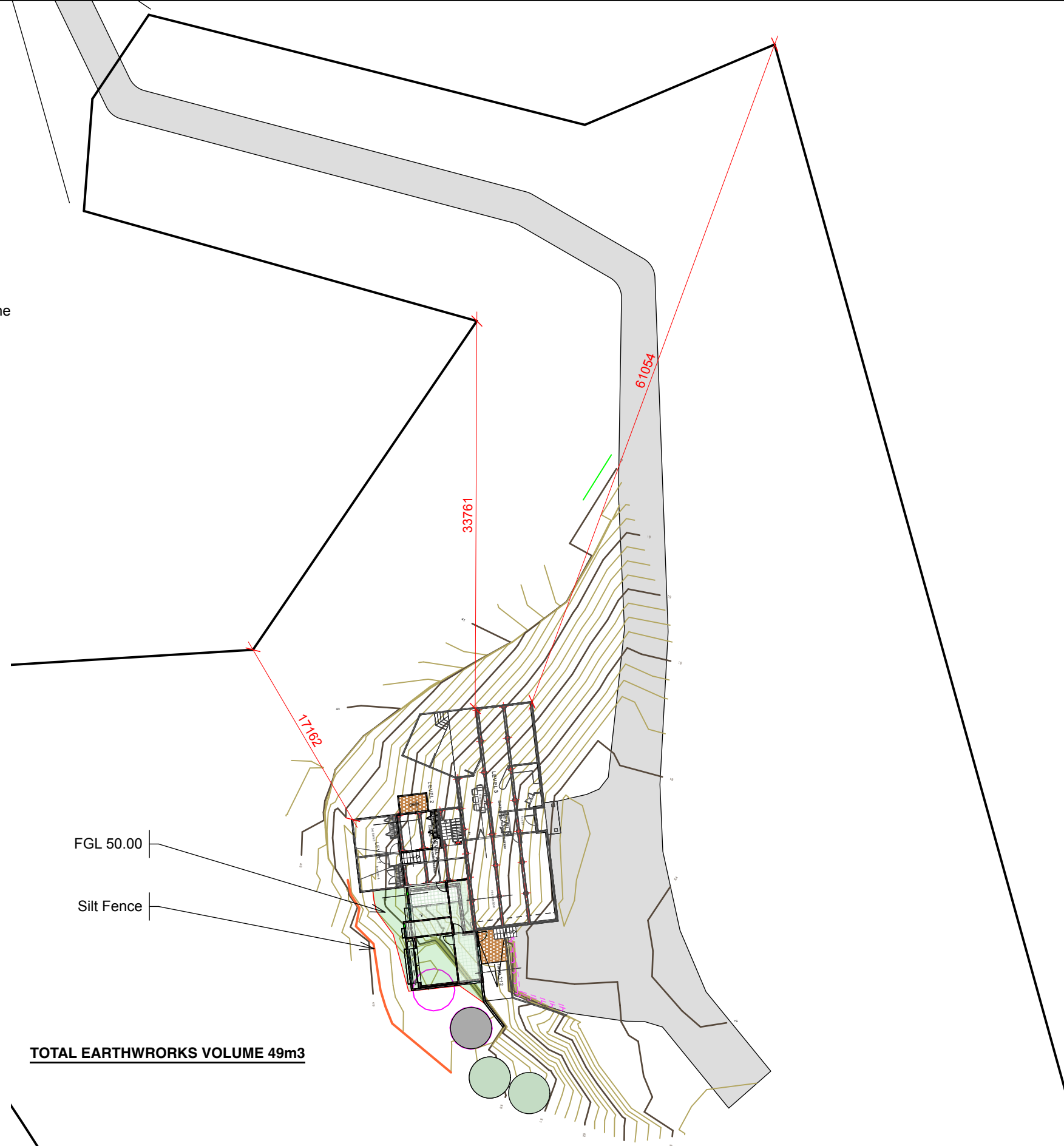
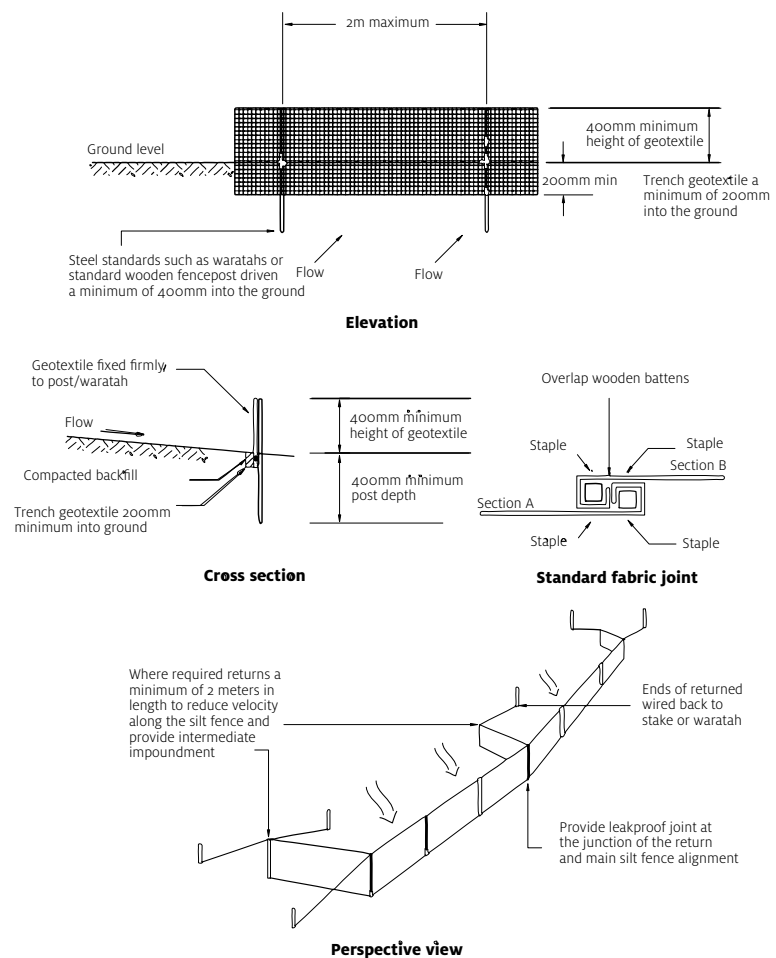
It needs to:

- 1 - be installed in a trench 200mm deep by 100mm wide.
- 2- have waratahs or posts hammer-staked at least 400mm deep on the downhill side of the fabric, no more than 2.0m apart.
- 3 - be 600mm high above ground, with an additional 200mm of cloth below ground in the trench.
- 4- have each end of the fence return up the slope roughly 2.0m to prevent water going around the edges.
- 5- be anchored by backfilling the trench and placing soil on top of the fabric.

Table 1

Silt fence design criteria			
Slope steepness (%)	Slope length (m) (Maximum)	Spacing of returns (m)	Silt fence length (m) (Maximum)
Flatter than 2%	Unlimited	N/A	Unlimited
2-10%	40	60	300
10-20%	30	50	230
20-33%	20	40	150
33-50%	15	30	75
> 50%	6	20	40

Figure 1



**TOTAL EARTHWORKS VOLUME 49m3**

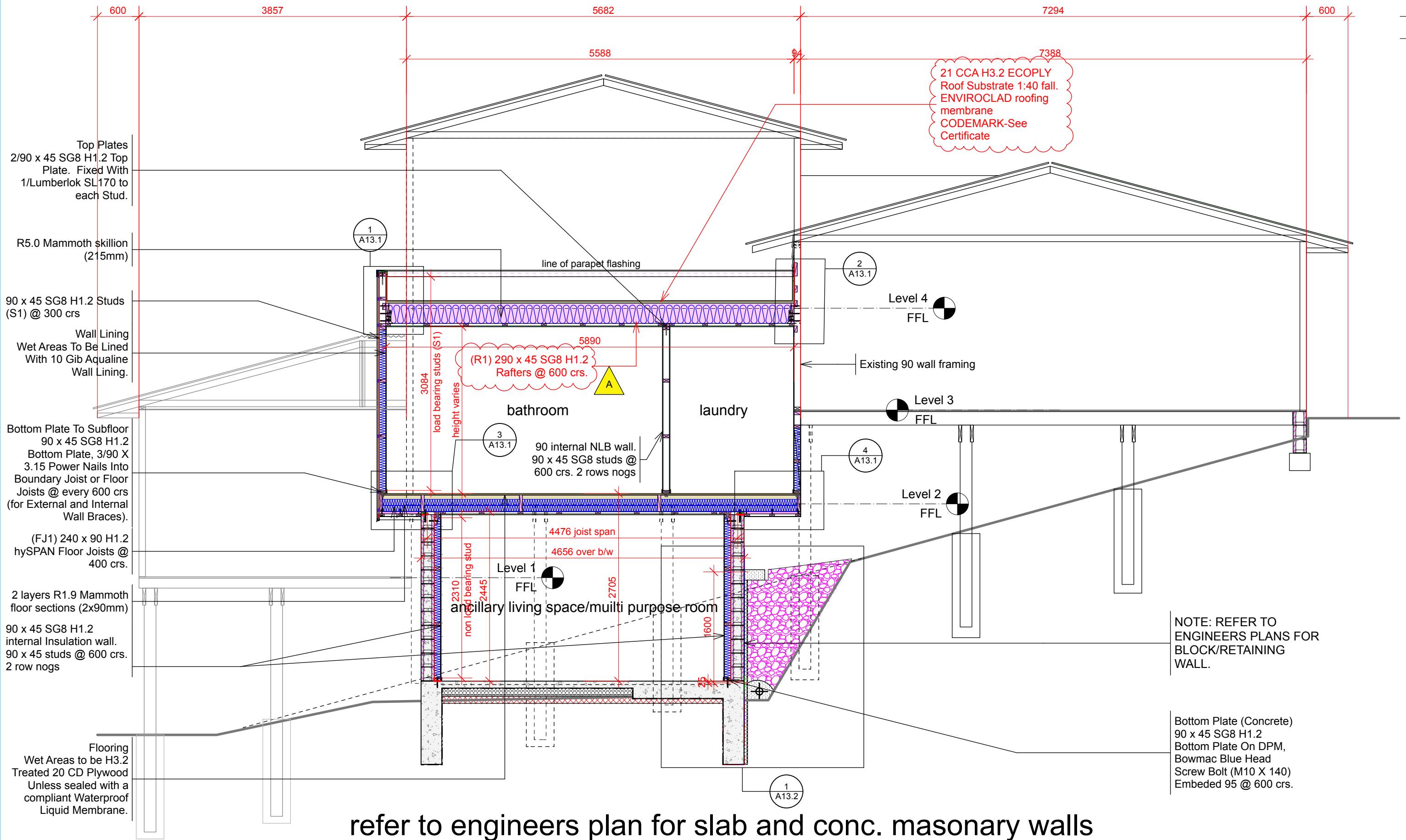
CLIENT:	D Currin & S Currin Korankova		PROJECT #	DC-0225
PROJECT:	18 Highfields, Ahipara		DATE #	18/02/2026
DWG	CUT FILL PLAN		SCALE @ A3	1:5
			DRAWN	KB/KB/TB/DB
			CHKD	KB/KB/TB/DB
			DWG #	A01.2







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refer to engineers plan for slab and conc. masonry walls

**A-A** Cross Section  
000

Note:  
Bolted Connections.  
50 x 50 x 3 Flat Washers to all Timber Faces.  
Use S.S where exposed, otherwise Galv.

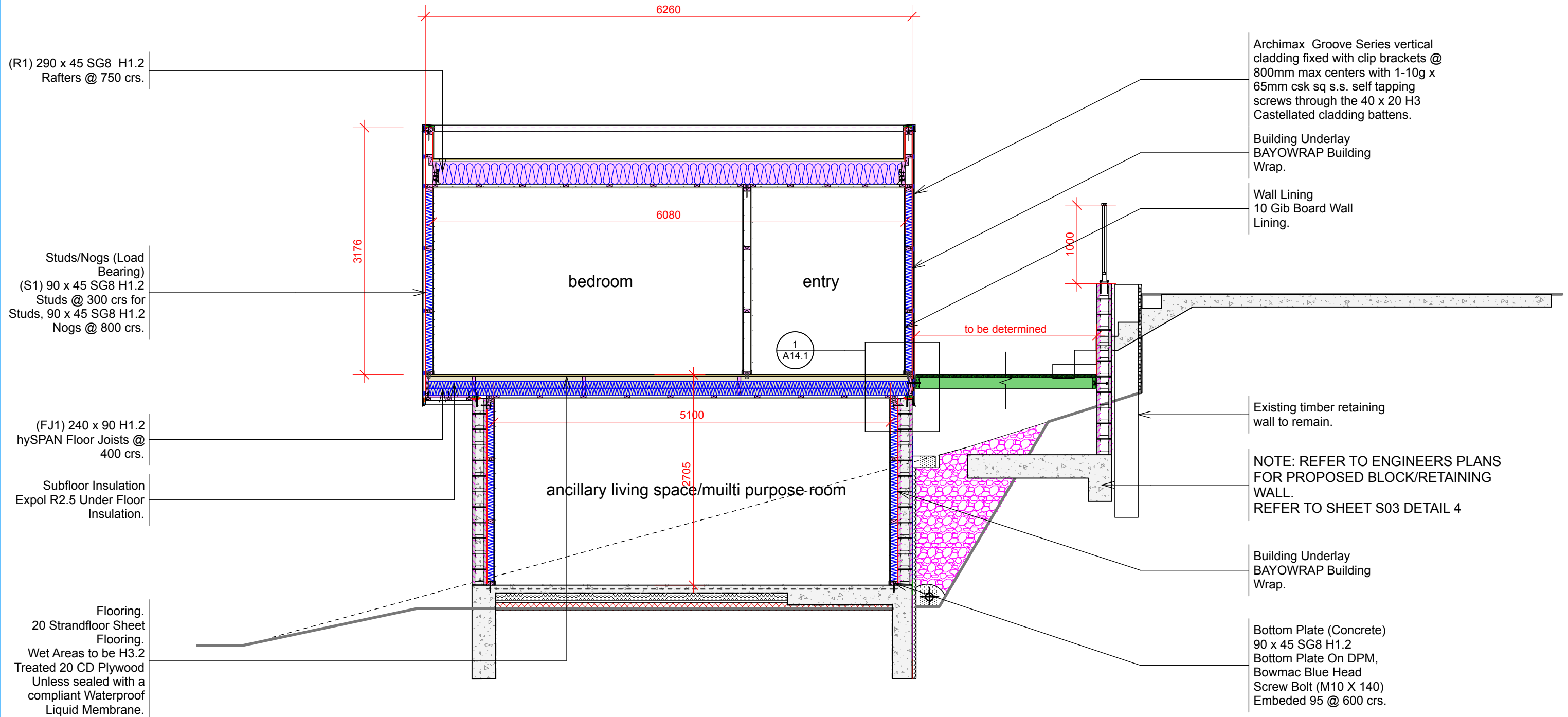
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CLIENT: D Currin & S Currin Korankova  
PROJECT: 18 Highfields, Ahipara  
DWG: CROSS SECTION A-A

PROJECT # DC-0225  
DATE # 18/02/2026  
SCALE @ A3 1:50  
DRAWN KB/TB/DB  
CHKD KB/TB/DB



A13



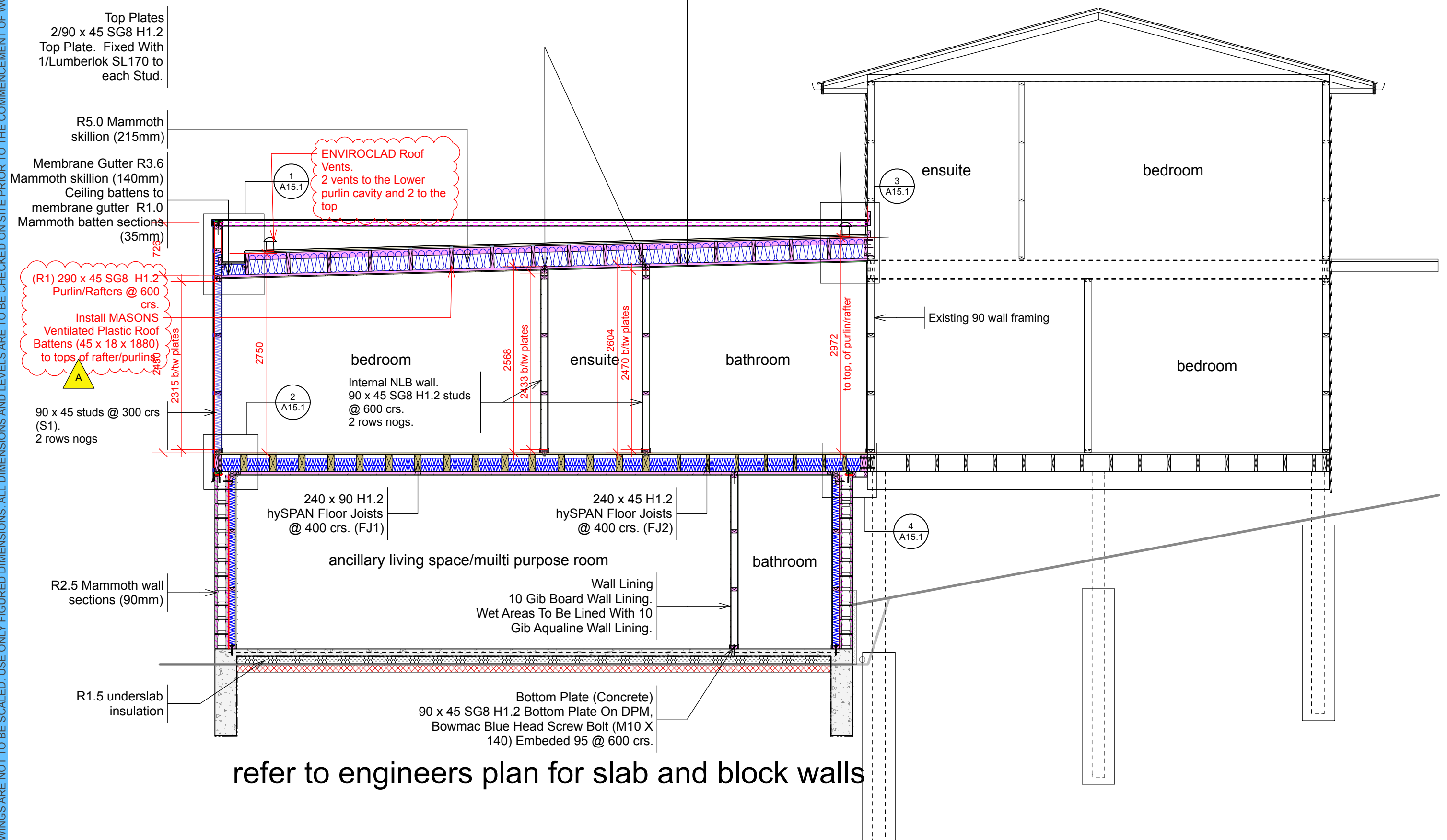
refer to engineers plan for slab and block walls

B-B Cross Section  
000

CLIENT:	D Currin & S Currin Korankova	PROJECT #	DC-0225
PROJECT:	18 Highfields, Ahipara	DATE #	18/02/2026
DWG	CROSS SECTION B-B	SCALE @ A3	1:50
		DRAWN	KB/TB/DB
		CHKD	KB/TB/DB



DRAWINGS ARE NOT TO BE SCALED. USE ONLY FIGURED DIMENSIONS AND LEVELS ARE TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK.



refer to engineers plan for slab and block walls

C-C Cross Section  
000

Note:  
Bolted Connections  
50 x 50 x 3 Flat Washers to all Timber Faces.  
Use S.S where exposed, otherwise Galv.

CLIENT: D Currin & S Currin Korankova  
PROJECT: 18 Highfields, Ahipara  
DWG: LONG SECTION 1-1

PROJECT # DC-0225  
DATE # 18/02/2026  
SCALE @ A3 1:50  
DRAWN KB/TB/DB  
CHKD KB/TB/DB



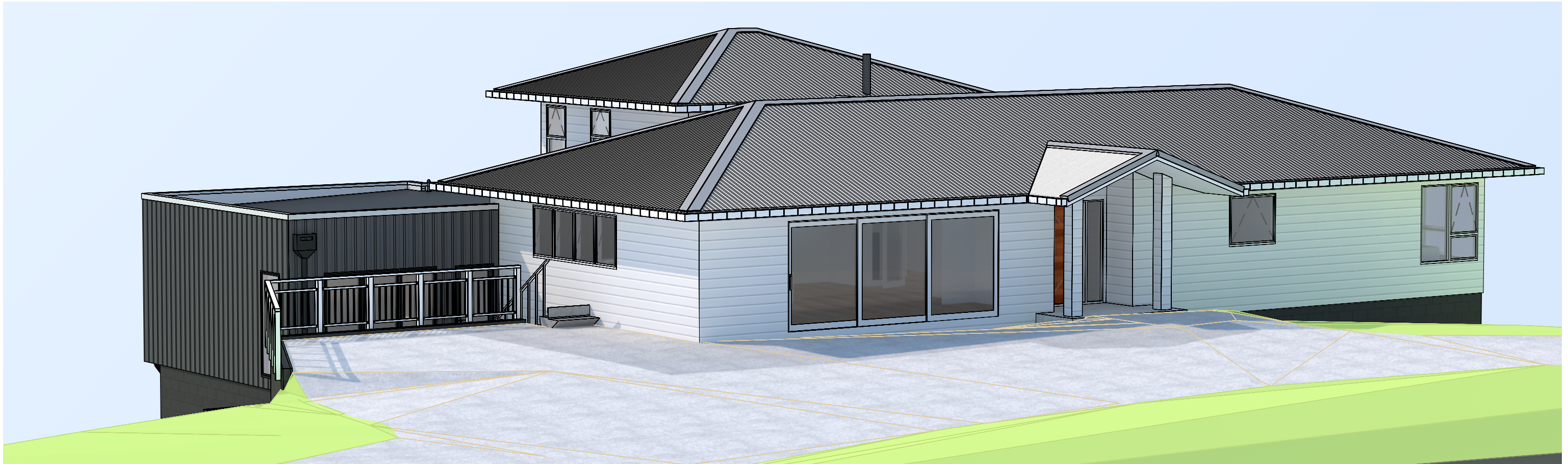
A15



PERSPECTIVES

D Currin & S Currin Korankova





PERSPECTIVES

D Currin & S Currin Korankova



021 247 7232 - 022 454 9863 - 022 167 9900



*architecture*

*beard*

*architectural and structural designers*

**design vision strategy**