

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

☐ Yes ☐ No

2. Type of consent being applied for

(more than one circle can be ticked):

- | | |
|---|---|
| <input type="radio"/> Land Use | <input type="radio"/> Discharge |
| <input type="radio"/> Fast Track Land Use* | <input type="radio"/> Change of Consent Notice (s.221(3)) |
| <input type="radio"/> Subdivision | <input type="radio"/> Extension of time (s.125) |
| <input type="radio"/> Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil) | |
| <input type="radio"/> Other (please specify) _____ | |

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

☐ Yes ☐ No

4. Consultation

Have you consulted with Iwi/Hapū? ☐ Yes ☐ No

If yes, which groups have
you consulted with?

Who else have you
consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Far North Housing Ltd c/- Adrian Tonks

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? ☐ Yes ☒ No

If yes, please provide details.

6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Postcode 441

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

all correspondence to both adrian@fnhl.co.nz and info@northplanner.co.nz

7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Far North Holdings Limited

Property address/
location:

8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Far North Housing Limited

Site address/
location:

Legal description:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? ☐ Yes ☒ No

Is there a dog on the property? ☐ Yes ☒ No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

Proposal to subdivide which will result in 5 titles being reduced to 4. Land use consent also required for the proposed activities within the site. Combined subdivision and land use has been assessed as a Discretionary Activity in the Commercial zone.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

☐ Yes ☒ No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

☒ Building Consent

☐ Regional Council Consent (ref # if known)

☐ National Environmental Standard Consent

☐ Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? ☐ Yes ☒ No ☐ Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? ☒ Yes ☐ No ☐ Don't know

☒ Subdividing land

☐ Disturbing, removing or sampling soil

☐ Changing the use of a piece of land

☐ Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application ☒ Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? ☒ Yes ☐ No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

Far North Housing Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Adrian Tonks

Signature:

(signature of bill payer)

Date 08-Dec-2025

MANDATORY

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Adrian Tonks

Signature

Date 08-Dec-2025

A signature is not required if the application is made by electronic means

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- ☐ Payment (cheques payable to Far North District Council)
- ☐ A current Certificate of Title (Search Copy not more than 6 months old)
- ☐ Details of your consultation with Iwi and hapū
- ☐ Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- ☐ Applicant / Agent / Property Owner / Bill Payer details provided
- ☐ Location of property and description of proposal
- ☐ Assessment of Environmental Effects
- ☐ Written Approvals / correspondence from consulted parties
- ☐ Reports from technical experts (if required)
- ☐ Copies of other relevant consents associated with this application
- ☐ Location and Site plans (land use) AND/OR
- ☐ Location and Scheme Plan (subdivision)
- ☐ Elevations / Floor plans
- ☐ Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

Combined Subdivision & Land-use Resource Consent Proposal

Far North Holdings Limited

17-21 Puckey Avenue, Kaitia

Date 8/12/2025

Attention: Whitney Peat

We are pleased to submit an application for a combined subdivision and land-use resource consent. The parcel of land comprises of 5 titles and is located in the Commercial Zone. The subdivision will result in 5 titles being reduced to 4 titles. It is proposed that the lots are developed with a retail/office building and residential units, as well as the existing town square being held within one independent title.

Please find attached:

- An application form for a combined subdivision & land use resource consent in the Commercial zone,
- an Assessment of Environmental Effects indicating the potential and actual effects of the proposal on the environment.

The subdivision component can comply with the lot sizes for a controlled activity however due to the proposal not meeting 13.7.3.1 Property Access the subdivision will be assessed as a Discretionary activity. The land-use consent component has been assessed as a Discretionary Activity under the Far North Operative District Plan.

Regards,



Sheryl Hansford
Director/Senior Planner

Reviewed by:



Rochelle Jacobs
Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED



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Appendices

- 1. Far North District Council Application Form**
- 2. Certificate of Title NA677/143 – LINZ**
- 3. Certificate of Title NA616/213 – LINZ**
- 4. Certificate of Title NA671/63 – LINZ**
- 5. Certificate of Title NA671/116 – LINZ**
- 6. Certificate of Title NA11D/226 – LINZ**
- 7. Subdivision Scheme Plan –Vecta**
- 8. Concept Plans –Arcline Architecture**
- 9. Correspondence - Chorus**
- 10. Correspondence – Top Energy**
- 11. Engineering Report– Hoskin Civil**
- 12. Engineering Plans– Hoskin Civil**



1. Description of the Proposed Activity

1.1. The proposal is to undertake a subdivision of Lots 292- 296 DP14289, Pt Lot 90-91 DP10009 & Pt Lot 1-2 DP40670. The proposal is to adjust the boundaries which will result in parcels of land to reflect the current and proposed land uses, which are also being applied for as part of this application. The proposal will not increase the number of titles across the proposed allotments and will in fact reduce the number of titles by one.

Title Identifier	Parcels of Land included within Title Identifier
NA677/143	Lot 292 DP14289
NA616/213	Lot 293 DP14289
NA671/63	Lots 294 & 296 DP14289
NA413/116	Lot 295 DP14289
NA11D/226	Part Lot 90-91 DP10009 and Part Lot 1-2 DP40670



- Lot 1 – 2481m² – to contain 22 one-bedroom units, 11 of which will be accessible units on the ground floor.

- Lot 2 – 3380m² - to contain 15 two & three bedroom units.
- Lot 3 – 1209m² – to contain the retail / office space.
- Lot 4 – 836m² – to contain the town square that is already established.

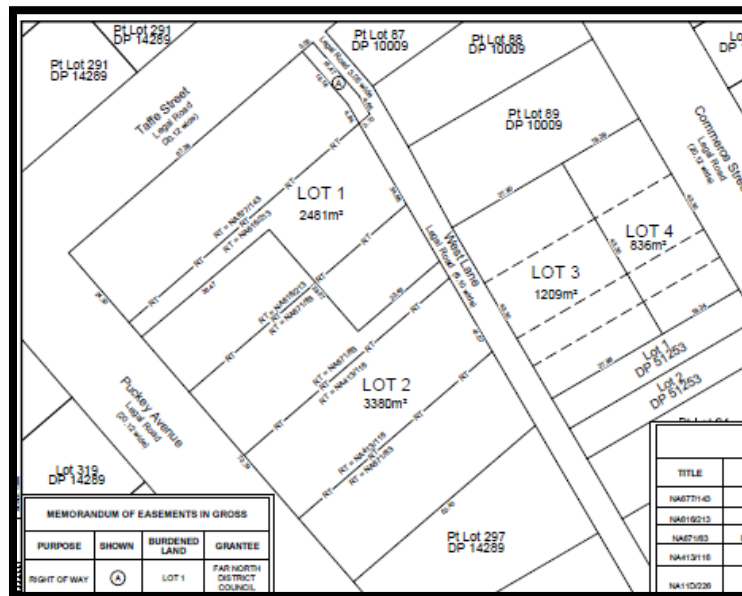


Figure 2: Proposed Scheme Plan

Land-use

- 1.4. The site currently contains the town square and a carparking area with Council temporarily using the rear of the site as a contractor's yard for the town's infrastructure upgrade.
- 1.5. The proposal is to create a separate title for the town square to enable the Far North District Council to take over ownership of this community space and develop the remainder of the site to establish a retail/office building behind the town square with the rear of the site to contain 37 residential units that will be made up of accessible units and 1 – 3 bedroom units with associated green space and parking.
- 1.6. The land-use proposal is broken down into four components. An assessment of each of the activities against the permitted zone rules will be undertaken further in this report.
 - **Lot 1 Residential Unit development** to be located on the western portion of the site adjacent to Taaffe Street and will contain 22 units within 2 blocks, with associated green space and parking.
 - **Lot 2 Residential Unit development** to be located on the southern portion of the site and will contain 15 units within 2 blocks, with associated green space and parking.
 - **Lot 3 – Retail/Office building** to be located behind the town square with vehicle access from West Lane. As shown on the overall floor plan prepared by Arcline Architecture the space is approximately 400m² and includes on-site parking.
 - **Lot 4 – Town square** adjacent to Commerce Street. This area is an existing community space.



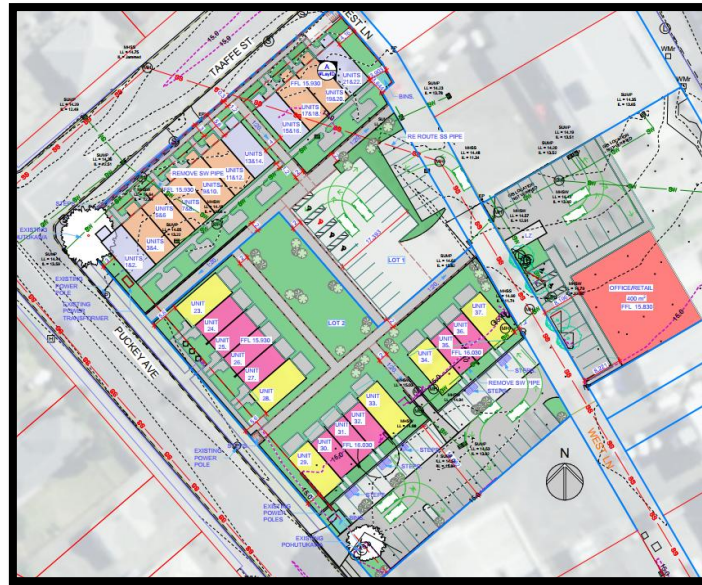


Figure 3: Overall Site Plan



Figure 4: Proposed overall development

2. The site and surrounding environment

- 2.1. The site is located at 17-21 Puckey Avenue, Kaitia which was the former site of Paknsave. The supermarket building fell into disrepair and was removed leaving the Puckey Ave portion of the site as a vacant section that is currently being used by FNDC as a storage depot for the town's infrastructure project. Part of the site that adjoins Commerce Street was developed as a community town square with the remainder of the site being used as an informal public carpark area.
- 2.2. Commerce Street is made up of commercial properties, some with accommodation on the upper level. Taafe Street contains commercial properties and a vacant contractor's yard. The majority of Puckey Avenue contains residential premises with a Chorus depot directly adjoining the site. It is noted council recently granted consent to construct 10 residential units within one title in close proximity to the subject site (also on Puckey Ave).



2.3. An aerial view of the surrounding environment is depicted in the image below.



Figure 4: Aerial image of the site and surrounding environment (site is highlighted in red).

Site Photos



Figure 6: Proposed Lot 3 and 4 taken from Proposed Lot 2.



Figure 5: Existing entrance from Puckey Ave which will be upgraded.



Figure 8: Existing entrance from Taaffe Street.



Figure 7: West Lane with Proposed Lot 1 to the left of the image.

3. Background

Title

- 3.1. The site is contained within five Record of Titles being – NA677/143, NA616/213, NA671/63, NA413/116 & NA11D/226. The titles have been included as attachments 2-6.

Site Features

- 3.2. The sites are located within the Commercial zone within the Operative District Plan and Mixed use under the Proposed District Plan. Both plans include Commerce Street as containing a Pedestrian Frontage overlay.

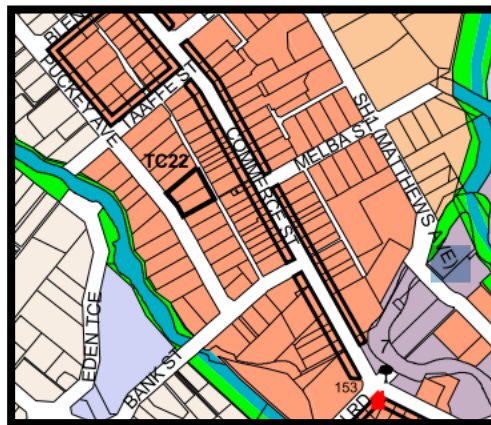


Figure 5: ODP Zone Map

- 3.3. The site is not located within the Coastal Environment under the Regional Policy Statement for Northland nor is the site shown to contain any outstanding landscapes or features. The site is not shown to contain any areas of Protected Natural Areas (PNA).
- 3.4. Given the sites urban location, connections are available to reticulated stormwater, water and wastewater services.
- 3.5. The NRC Hazard Maps show that the site is susceptible to natural hazards. The entire township and thereby the whole site is susceptible to the “*River Flood Hazard Zone – 100 Year Extent*”. The site is not susceptible to any coastal hazards.
- 3.6. The site does not contain any known archaeological sites.
- 3.7. The site is shown to be within a Treaty Settlement Area of Interest for Ngai Takoto, Te Rarawa and Te Aupouri.

4. Weighting of Plans

- 4.1. The proposal is subject to the Proposed District Plan process that was notified 27 July 2022.
- 4.2. The site is zoned as Mixed Use under the Proposed District Plan. When the Proposed Plan was first notified there were a number of rules which were identified as having immediate legal



effect. A Summary of submissions was notified on the 4 August 2023. Based on the volume and comprehensive nature of submissions, the Council has confirmed that no other rules will have legal effect until such time as a decision is made on those provisions.

- 4.3. District Plan hearings on submissions have recently concluded. No decision on the PDP provisions has been issued. For this reason, little weight is given to the PDP provisions with the exception of those rules which have immediate legal effect.

5. Activity Status of the proposal

- 5.1. Under the Operative Plan, the subject sites are located within the Commercial Zone. Under the Proposed District Plan, the sites are zoned as Mixed Use.
- 5.2. For ease of assessment, the tables below will include assessment of the subdivision, retail/office space & the residential development against the permitted rules, so it is clear where breaches occur and on what allotments these occur within.

Operative District Plan

- 5.3. The site is zoned Commercial. An assessment of the relevant subdivision, zone and district-wide rules of the District Plan is set out in the tables below.

Subdivision

ASSESSMENT OF THE APPLICABLE SUBDIVISION RULES FOR THE COMMERCIAL ZONE:		
<u>PERFORMANCE STANDARDS</u>		
Plan Reference	Rule	Performance of Proposal
13.7.1	BOUNDARY ADJUSTMENTS	Not applicable.
13.7.2.1	MINIMUM LOT SIZES	Controlled. The minimum lot size for a sewered site is 250m ² .
13.7.2.2	ALLOTMENT DIMENSIONS	Complies The proposed allotments can adequately fit the 14mx 14m concept building envelope.
13.7.2.3 to 13.7.2.8	Not applicable.	
14.6.1	ESPLANADE AREAS	Not applicable.

- 5.4. Although the proposed lot sizes are able to comply with the Controlled Provisions for the Commercial Zone under *Rule 13.7.2.1*, the proposal is unable to comply with the Controlled



Assessment Criteria set out under Rule 13.7.3.1, as the proposal is unable to comply with property access Rule 13.7.3.1 as will be discussed further in this report.

- 5.5. The proposal is able to comply with the assessment criteria set out under *Rule 13.9 Discretionary Activities*. As such, the subdivision proposal will be assessed as a **Discretionary Activity** and Chapter 13.10 will be assessed as part of the subdivision application.
- 5.6. Under Rule **13.6.8 Subdivision Consent before Work Commences** it states –
Except where prior consent has been obtained to excavate or fill land pursuant to rules under Section 12.3, or consent to vegetation clearance has been obtained pursuant to rules under Sections 12.1 or 12.2, and/or relevant consents have been obtained from the Regional Council, no work, other than investigatory work, involving the disturbance of the land or clearance of vegetation shall be undertaken until a subdivision consent has been obtained.
When the subdivision consent is granted, provided all the necessary calculations and assessment of effects is provided with the application, the subdivision consent application shall be deemed to include consent to excavate or fill land, and clear vegetation to the extent authorised by the consent and subject to any conditions in the consent. Alternatively, an applicant may apply to add a land use consent application to the subdivision consent application, for any excavation/filling work and/or vegetation clearance. This does not exempt a consent holder from also obtaining any relevant resource consent or approvals from the Regional Council or the Heritage New Zealand Pouhere Taonga for earthworks, vegetation clearance or disturbance of an archaeological site.
- 5.7. As shown within the Engineering Plans, excavations are proposed across the site which predominantly consist of fill material. The volumes we have been provided with are 91m³ of cut and 4023m³ of fill, creating a total imported fill amount of 3932m³ over an area of 7008m². As the excavations will form part of the subdivision consent and no works will be undertaken prior to approval of the subdivision consent, it is considered that consent for the excavations will form part of the subdivision application. As such, the amount of excavations per lot have not been provided and rather this has been applied over the entire site as a whole.

Land-use

- 5.8. Due to the developments being contained within separate titles the land-use assessment has been split into four areas to cover the different developments. These are as follows –
- **Proposed Lot 1** – to contain 22 units that will consist of accessible units, and 1 & 2 bedroom units.
 - **Proposed Lot 2** – to contain 15 units that will consists of 2 & 3 bedroom units.
 - **Proposed Lot 3** – to contain the retail / office space.
 - **Proposed Lot 4** – existing town square
- 5.9. An assessment of the Permitted rules under Section 7.7.5.1 for the Commercial Zone and Section 15 Transportation has been undertaken below.



Assessment of the permitted COMMERCIAL ZONE RULES:					
PERFORMANCE STANDARDS					
Plan Reference	Rule	Lot 1 Residential	Lot 2 Residential	Lot 3 Retail/Office	Lot 4 Town Square
7.7.5.1.1	BUILDING HEIGHT	Complies The building height does not exceed 12m	Complies	Complies	Complies
7.7.5.1.2	SUNLIGHT	Complies	Complies	Complies	Complies
7.7.5.1.3	VISUAL AMENITY & ENVIRONMENTAL PROTECTION	Complies	Complies	Complies	Not applicable
7.7.5.1.4	SETBACK FROM BOUNDARIES	Not applicable	Not applicable	Not applicable	Not applicable
7.7.5.1.5	NOISE MITIGATION FOR RESIDENTIAL ACTIVITIES	Complies The units will be designed to achieve compliance.	Complies	Not applicable	Not applicable
7.7.5.1.6	TRANSPORTATION	Assessment of Chapter 15 will be undertaken in the table below.			
7.7.5.1.7	KEEPING OF ANIMALS	Not applicable.			
7.7.5.1.8	NOISE	Not applicable			
7.7.5.1.9	No rule provided				
7.7.5.1.10	ROOF PITCH	Not applicable.			
7.7.5.1.11	STORMWATER	Complies			
7.7.5.1.12	HELICOPTER LANDING AREA	Not applicable.			

District Wide Matters

Plan Reference	Rule	Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Town Square
Chapter 15 Transportation					
		Proposed Lot 1	Proposed Lot 2	Proposed Lot 3	Town square
15.1.6A.2.1	TRAFFIC	Complies This lot contains 22 units. The first residential unit is exempt which equates to 147 movements (7 per unit).	Complies This lot contains 15 units. The first residential unit is exempt which equates to 98 movements (7 per unit)	Complies The retail/office space is 400m ² which equates to 40 movements	Not applicable. The square is a pedestrian/amenity space for the community.



15.1.6B.1.1	On-site Car Parking Standard	Complies This lot will contain 22 one bedroom units (some accessible). It is considered the most similar activity is 'pensioner housing' which requires one car park space per unit. This equates to 22 carparks. A total of 24 carparks are provided.	Complies This lot contains 15 units which equates to 30 carparks (2 per unit). A total of 32 carparks are provided.	Complies This lot contains a 400m ² building which equates to 10 carparks. A total of 25 carparks are provided.	Not applicable. The square is a pedestrian/amenity space for the community.
15.1.6B.1.4	Accessible Car Parking Spaces	Complies	Complies –	Complies	Not applicable.
15.1.6B.1.5	Car Parking Space Standards	Complies	Complies	Complies	Not applicable.
15.1.6B.1.6	Loading Spaces	Not applicable.	Not applicable.	Complies	Not applicable.
It is noted that the above rules in relation to car parking have been assessed although the NPS-UD is now applicable to FNDC.					
15.1.6C.1.1	PRIVATE ACCESSWAY IN ALL ZONES	Not Applicable No private accessways are proposed. The proposed right of way will cover an existing area of accessway.			
15.1.6C.1.2	PRIVATE ACCESSWAYS IN URBAN ZONES	Not Applicable No private accessways are proposed.			
15.1.6C.1.3	PASSING BAYS ON PRIVATE ACCESSWAYS IN ALL ZONES	Complies			
15.1.6C.1.4	ACCESS OVER FOOTPATHS	Not applicable.	Complies The site has 1 access over Puckey Ave which is 6m wide.	Not applicable.	Not applicable.
15.1.6C.1.5	VEHICLE CROSSING STANDARDS IN RURAL AND COASTAL ZONES	Not applicable.			



15.1.6C.1.6	VEHICLE CROSSING STANDARDS IN URBAN ZONES	Complies.
15.1.6C.1.7	GENERAL ACCESS STANDARDS	Discretionary Lots 1 & 3 have car park spaces that reverse off the site into West Lane.
15.1.6C.1.8	FRONTAGE TO EXISTING ROADS	Complies.

Overall Activity Status of the Proposal against the Operative District Plan

5.10. The proposal involves subdivision and land-use applications. Below is a breakdown of what is being applied for.

Subdivision

5.11. The proposed lot sizes are able to comply with the Controlled Provisions for the Commercial Zone under Rule 13.7.2.1, however the proposal is unable to comply with the Controlled Assessment Criteria set out under Rule 13.7.3.1 Property Access.

Overall Status of the Subdivision Application

5.12. The proposal is able to comply with the assessment criteria set out under Rule 13.9 Discretionary Activities. As such, the subdivision proposal will be assessed as a **Discretionary Activity** and Chapter 13.10 will be assessed as part of the subdivision application.

Land Use

5.13. The proposal results in the following breaches:

15.1.6C.1.7 General Access Standards

5.16. Lots 1 & 3 contain car parks that reverse off the site which breaches point (a) of this rule.

Overall Status of the Land Use Application

5.14. In accordance with Sections 7.6.5.4, 15.1.6C.2 Discretionary Activities, the land use application within Lots 1 & 3 will be assessed as a Discretionary Activity and the proposal will have regard to the relevant assessment criteria set out in Chapter 11 and Chapter 15. The development within Lots 2 & 4 has been assessed as Permitted and as such no further assessment is considered to be required for these lots.

Proposed District Plan

5.15. The proposal is also subject to the Proposed District Plan process. Within the Proposed District Plan, the site is zoned Mixed Use. Assessment of the matters relating to the Proposed District Plan that have immediate legal effect, has been undertaken below:

Chapter	Rule Reference	Compliance of Proposal
Hazardous Substances	The following rules have immediate legal effect:	Not applicable.



	<p>Rule HS-R2 has immediate legal effect but only for a new significant hazardous facility located within a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource</p> <p>Rules HS-R5, HS-R6, HS-R9</p>	<p>The proposal does not include a new significant hazardous facility nor is the property located within an area with a scheduled site and area of significance to Māori, significant natural area or a scheduled heritage resource.</p>
Heritage Area Overlays	<p>All rules have immediate legal effect (HA-R1 to HA-R14)</p> <p>All standards have immediate legal effect (HA-S1 to HA-S3)</p>	<p>Not applicable.</p> <p>The site is not located within a Heritage Area Overlay.</p>
Historic Heritage	<p>All rules have immediate legal effect (HH-R1 to HH-R10)</p> <p>Schedule 2 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any areas of historic heritage.</p>
Notable Trees	<p>All rules have immediate legal effect (NT-R1 to NT-R9)</p> <p>All standards have legal effect (NT-S1 to NT-S2)</p> <p>Schedule 1 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any notable trees.</p>
Sites and Areas of Significance to Māori	<p>All rules have immediate legal effect (SASM-R1 to SASM-R7)</p> <p>Schedule 3 has immediate legal effect</p>	<p>Not applicable.</p> <p>The site does not contain any sites or areas of significance to Māori.</p>
Ecosystems and Indigenous Biodiversity	<p>All rules have immediate legal effect (IB-R1 to IB-R5)</p>	<p>Not applicable.</p> <p>The site does not contain any known ecosystems or indigenous biodiversity to which these rules would apply.</p>
Subdivision	<p>The following rules have immediate legal effect:</p> <p>SUB-R6, SUB-R13, SUB-R14, SUB-R15, SUB-R17</p>	<p>Complies.</p> <p>The proposal is not for an Environmental Benefit subdivision, is not within a heritage area overlay or scheduled heritage resource and does not contain areas of significance to Māori or SNA.</p>
Activities on the Surface of Water	<p>All rules have immediate legal effect (ASW-R1 to ASW-R4)</p>	<p>Not applicable.</p> <p>The proposal does not involve activities on the surface of water.</p>
Earthworks	<p>The following rules have immediate legal effect:</p> <p>EW-R12, EW-R13</p> <p>The following standards have immediate legal effect:</p> <p>EW-S3, EW-S5</p>	<p>Permitted.</p> <p>Earthworks as part of this proposal will proceed under the guidance of an ADP and will be in accordance with the Erosion and Sediment Control Guidelines for Land Disturbing Activities in the Auckland Region 2016, in accordance</p>



		with Rules EW-12, EW-R13, EW-S3 and EW-S5.
Signs	<p>The following rules have immediate legal effect: SIGN-R9, SIGN-R10</p> <p>All standards have immediate legal effect but only for signs on or attached to a scheduled heritage resource or heritage area</p>	<p>Not applicable. No signs are proposed as part of this application.</p>
Orongo Bay Zone	Rule OBZ-R14 has partial immediate legal effect because RD-1(5) relates to water	<p>Not applicable. The site is not located in the Orongo Bay Zone.</p>

- 5.16. The assessment above indicates that the proposal is determined to be a **Permitted Activity** in regard to the Proposed District Plan. Therefore, no further assessment of these rules will be undertaken.

Regional Consent

- 5.17. Regional Consent will be required for works undertaken within a flood zone. This will be applied for and will be provided to the processing planner once obtained.

National Environmental Standards

National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health

- 5.18. A site visit, review of aerials historic property file data did not indicate that the site was HAIL, as such no assessment of the National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health has been undertaken. The application has been considered **Permitted** in terms of this regulation.

Other National Environmental Standards

- 5.19. No other National Environmental Standards are considered applicable to this development. The activity is considered permitted in terms of these above-mentioned documents.

6. Environmental Effects Assessment

- 6.1. Having reviewed the relevant plan provisions and taking into account the matters that must be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects warrant consideration as part of this application.

Subdivision

- 6.2. The subdivision proposal is able to comply with the controlled activity lot size provisions however cannot comply with 13.7.3.1 Property Access therefore is considered to be a **Discretionary Activity** as per District Plan Rule 13.9. An assessment has been undertaken in accordance with Section 13.10 Assessment Criteria of the District Plan below.



ALLOTMENT SIZES AND DIMENSIONS

- 6.3. The 'site' currently consists of 5 titles that range in size from 2213m² to 1051m² in area. The proposal will reduce the number of titles to 4 which will reflect the different land use activities within each title and enable the town square to continue to be used as a community space.
- 6.4. The proposed lot sizes can comply with the District Plan Controlled activity lot size provisions and are of sufficient area to accommodate the intended land use. The town square is an existing established space and will be contained within Lot 4. The separation of this area will enable Council to retain ownership of this space for the enjoyment of the community. The remainder of the site is currently vacant with the proposed lot sizes designed to accommodate specific land use activities being, retail space and accommodation.
- 6.5. The adjoining land use activities consist of commercial premises along Commerce Street & Taffe Street with the properties on Puckey Avenue being a mixture of both Commercial and Residential use. The land uses have been designed to be compatible with what is currently in existence; the town square and retail building are located in the Commercial area with the accommodation located between West Lane & Puckey Ave which are predominately residential in nature currently. It is noted that 10 residential units have recently obtained consent to be established at 16 Puckey Avenue. The surrounding environment consists of commercial & retail premises along Commerce street with a mix of residential development ranging from single dwellings to units, with a small amount of commercial entities located on Puckey Ave. It is therefore considered that the proposed allotments are compatible with the pattern of development and land use activities in the surrounding area. such that the lot sizes are not objectionable with allotments in the Commercial zone in general.
- 6.6. Access to the site is via existing crossing places on Puckey Avenue, Taaffe Street and West Lane. These access points are considered to be to Council standard where it is noted the previous use of the site would have generated a great deal more traffic movements and parking demand than what is proposed in this application.
- 6.7. In terms of cumulative and long-term effects, these are considered to be less than minor. The proposal will see the existing Town Square contained within a separate allotment, ensuring this area is retained for the community. The lot sizes created are generally larger than what is located in the immediate environment and result in a better utilisation of the land than its current use, which is vacant unused space. All effects are considered to be managed within the site boundaries and with the land-use application accompanying the subdivision application, it is clear what the intention of the newly created lots will be used for. As such, cumulative and long-term effects are considered to have been addressed in detail within this application such that these will be mitigated to a less than minor degree. The sites are not located within the rural or coastal environments and as such preservation of these environments has not been a consideration of the application.



NATURAL AND OTHER HAZARDS

- 6.8. The site is not subject to the 50yr ARI flood event but is subject to the 100yr +cc ARI flood hazard, as is the majority of the Kaitaia township. Hoskin Civil has assessed the flood hazard of the site and has designed finished floor levels to ensure that ground and building levels are raised at least 500mm above the NRC priority Model 1% AEP + Climate Change flood levels in accordance with standard flood resilience requirements. Please refer to the Engineering Report for further details.
- 6.9. The subject site is not known to be susceptible to coastal hazards, erosion, falling debris, slippage or subsidence. As discussed earlier in this report, the site is not known to have had or to currently have any activities undertaken which are listed as HAIL.
- 6.10. Overall, the proposal is not considered to create any adverse effects in relation to the site itself or the surrounding environment. There are no items within Section 106 which could determine that the proposal should be refused.

WATER SUPPLY

- 6.11. The site has existing water supply connections to the towns reticulated water supply. Hoskin Civil have completed a Three Waters Design Report for the accompanying development within each of the propose lots. In summary the *available pressure range demonstrates that the existing network can supply the development under typical peak-day conditions, with amply residual pressure above FNDC's minimum 25m service level requirement*. Please refer to the Three Waters Design Report for more detail.
- 6.12. A fire hydrant test was also conducted which has confirmed the network has sufficient capacity to meet Council's engineering standards in respect of firefighting water supply requirements.
- 6.13. It is then concluded within Section 2.4 of the Hoskin Civil Three Waters report that the existing water supply network has sufficient capacity to service the proposed development.

STORMWATER DISPOSAL

- 6.14. All lots will be connected to the existing reticulated stormwater network. Hoskin Civil have completed a Three Waters Design Report for the accompanying development. Below is a summary of the proposed stormwater management for the development but please refer to the Three Waters Design Report for more detail.

- 6.15. The stormwater reticulation for each block is proposed as follows:

Block A within Lot 1 will connect to the existing pipe that runs through the site. Block B within Lot 1 will require a realigned pipe to avoid placing infrastructure beneath buildings and to maintain long-term access and operability. Blocks C, D & E within Lot 2 will connect to a new private pipe network. Lots 3 & 4 have existing connections that will be utilised.

- 6.16. Hoskin Civil concluded that the *proposed configuration ensures that all stormwater runoff continues to be conveyed to existing downstream public infrastructure without increasing load*



on the receiving network. It is also noted that the proposal introduces new green space which reduces the amount of impermeable surfaces overall to what is currently in existence. The report summarises that the development does not increase the impervious footprint therefore the proposal is comparable to existing conditions and no stormwater attenuation or additional mitigation measures are required.

SANITARY SEWAGE DISPOSAL

- 6.17. Lots 1, 2 & 3 will be connected to the reticulated wastewater system. It is proposed to realign the existing pipe to allow for the building layout within proposed Lot 1. Hoskin Civil have completed a Three Waters Design Report for the development within Lots 1, 2 & 3 of the proposed subdivision. In summary *Block A & B within Lot 1 will be connected to a new private 150mm network discharging to the proposed vested 375mm realigned main, Blocks C, D & E within Lot 2 will be connected to a new private 150mm reticulation network discharging to the existing 300mm main located in West Lane. This configuration ensures each block is serviced by an appropriately sized wastewater connection, consistent with expected flow contributions and FNDC reticulation requirements.* Please refer to the Three Waters Design Report for more detail.
- 6.18. Hoskin Civil have noted in their report that the previous use of the site indicates that the network has previously conveyed wastewater discharges from this site which therefore would already have some established level of service provision. It is concluded that the existing infrastructure is expected to be able to accommodate the proposed developments.

ENERGY SUPPLY, TOP ENERGY TRANSMISSION LINES, & TELECOMMUNICATIONS

- 6.19. Top Energy and Chorus have been contacted as part of the subdivision application. Their comments have been included with this application.
- 6.20. Due to the proposed development that is to occur on Lots 1 & 2, it is anticipated that further correspondence will be required with Chorus and Top Energy as part of the build, to account for the connections needed for the residential development.

EASEMENTS FOR ANY PURPOSE

- 6.21. Given the location of the existing infrastructure within the sites and the proposed realignment of some of this infrastructure, easements will be required. As the location of the infrastructure is dependent on the acceptance of FNDC, it is considered that the standard condition requiring all easements to be shown on the scheme plan at the time of s223, is included within the decision document. This will ensure that all relevant easements are provided over existing and proposed infrastructure connections, where required.

PROVISION OF ACCESS

- 6.22. Access to Lots 1 & 3 will be via West Lane, with Lot 2 having access from both Puckey Avenue & West Lane. A right of way has been provided from Taffe Street onto West Lane to provide a double width crossing at this vehicle crossing point.



- [illegible]

6.24. The TIF created by the landuse activities have been assessed as being within the permitted allowances for the zone, such that the traffic movements are considered to be anticipated within the zone. Access to the sites will be via existing provisions which are proposed to be upgraded as part of the proposal. Carparking has been provided for and although there are some allocated car parks which will be required to reverse off site, these car parks consist of 15 car parks. It is noted that all of the sites with access to West Lane have car parks that reverse onto the lane so this scenario is not uncommon in the surrounding environment. As will be assessed in detail further in this assessment, no adverse effects are anticipated in regard to traffic access.

- ## EFFECT OF EARTHWORKS AND UTILITIES

- ## BUILDING LOCATIONS

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this report, which determines that the lots are capable of containing the proposed developments.

- 6.28. The entirety of the site is subject to river flood hazards. This has been accounted for within the Engineering report and as such, the FFL set for the buildings as part of the accompanying development will be within Council engineering standards.

PRESERVATION AND ENHANCEMENT OF HERITAGE RESOURCES, VEGETATION, FAUNA AND LANDSCAPE, AND LAND SET ASIDE FOR CONSERVATION PURPOSES

- 6.29. The site does not contain any areas of indigenous vegetation or habitats of indigenous fauna. The site is also not located within an area where kiwi are present.
- 6.30. The NZAA Maps do not show that there are any areas of historical or cultural significance within the site.
- 6.31. The site is not shown to be within an outstanding natural landscape or feature and there are no areas which would be required to be set aside as Council reserve. As already stated within this report, the site is not known to contain any wetlands or areas of indigenous biodiversity.
- 6.32. As such, it is considered that the proposal does not result in any effects on heritage resources, vegetation, fauna or landscapes. The proposed lot sizes are consistent with those in the surrounding environment. It is anticipated that any earthworks will proceed under the guidance of an ADP, with the standard advice note being issued on the decision.

SOIL

- 6.33. The site is zoned Commercial. As the site is not zoned General Rural or Rural Production, it is considered that the site is not considered to be Highly Productive Land and as such the NPS for Highly Productive Land is not considered applicable to this application.
- 6.34. The proposal is not considered to affect the life supporting capacity of soils. Due to the existing development in the area and the site being zoned Commercial it is considered that the proposal will not create any adverse effects in relation to soil.

ACCESS TO WATERBODIES

- 6.35. The site does not adjoin a river, lake or coastal marine area as such, this rule is not considered applicable.

LAND USE INCOMPATIBILITY

- 6.36. The subdivision will result in less titles than what there is currently. As a result of the subdivision, lots will be created to reflect the proposed land-use development and to also create a separate title for the existing community town square so the council can retain ownership of this space.
- 6.37. The proposed lots will contain a mix of community space, retail and residential housing which is compatible with the surrounding environment. The proposal is not considered to create any



reverse sensitivity effects or land use incompatibility, as the activities proposed are already in existence in the area.

- 6.38. The reports provided with this application adequately address any effects that may arise and propose mitigation measures to ensure that all effects are mitigated to a less than minor degree, further ensuring that no adverse effects arise from the development. Access to the sites will be via existing crossing places. The development overall will create a positive impact for the area.

It is also worth noting that the S42A Report for Urban Zones included the recommendation to include a restricted discretionary pathway for residential activity on the ground floor outside of the pedestrian frontage overlay (Page 121, paragraph 496 of the document).

- 6.39. Given the above, it is considered that the proposal will not create any incompatible land use or reverse sensitivity effects.

PROXIMITY TO AIRPORTS

- 6.40. Not applicable as the subject site is not located in close proximity to an airport.

NATURAL CHARACTER OF THE COASTAL ENVIRONMENT

- 6.41. The site is not within the Coastal Environment under the RPS maps. The subject site cannot be seen from the Coastal Marine Area.
- 6.42. Therefore, the proposal is not considered to create any adverse effects on the natural character of the coastal environment.

ENERGY EFFICIENCY AND RENEWABLE ENERGY DEVELOPMENT/USE

- 6.43. No energy efficient or renewable energy development are sought as part of this proposal.

NATIONAL GRID CORRIDOR

- 6.44. The site is not within a national grid corridor.

Land Use

- 6.45. Having reviewed the relevant plan provisions and taking into account the matters that must be addressed by an assessment of environmental effects as outlined in Clause 7 of Schedule 4 of the Act, the following environmental effects warrant consideration as part of this application.

Excavations

- 6.46. Excavation as part of this proposal will form part of the subdivision. NRC consent will also be applied for excavations within the flood zones.
- 6.47. Please refer to the Engineering Earthworks Plan for further details.



Property Access

- 6.48. There are some parking spaces within Lots 1 & 3 which are proposed to reverse on to West Lane, as shown on the site plan. This creates an infringement of Permitted Rule 15.1.6C.1.7(a) and as such, land use consent is sought for this breach. An assessment of the relevant criteria within 15.1.6C.4.1 will be undertaken below.

(a) Adequacy of sight distances available at the access location.

- 6.49. West Lane is of straight alignment. The intersection of West Lane and Taffe Street is located to the north, nearest to the carparking spaces within Lot 1. Given the nature of the proposed development, it is expected that drivers will be travelling at a speed less than 50km/h and that the available sight distance is sufficient to provide drivers time to react to any vehicles that are reversing into the lane.

(b) Any current traffic safety or congestion problems in the area.

- 6.50. Given the existing use of the site, there are no known congestion problems. The previous use of the site generated a lot of traffic movements and hence, proposed traffic movements are anticipated to be far less than what has previously been accounted for within this area.

(c) Any foreseeable future changes in traffic patterns in the area.

- 6.51. The surrounding environment contains existing built development, apart from the 10 unit development which has recently been approved along Puckey Avenue. Given there are multiple entrances to access the site (West Lane, Taffe Street and Puckey Avenue), traffic is anticipated to be easily managed and absorbed into the existing roading network.

(d) Possible measures or restrictions on vehicle movements in and out of the access.

(e) The adequacy of the engineering standards proposed and the ease of access to and from, and within, the site.

- 6.52. The access will be constructed as a two-way access. It is considered that the formed width of the access will provide sufficient space for two-way movement of light vehicles and the occasional movement of a larger vehicle. No additional measures are considered necessary.

(f) The provision of access for all persons and vehicles likely to need access to the site, including pedestrian, cycle, disabled and vehicular.

- 6.53. Pedestrian access has been provided for within the design of the development. Internal footpaths will provide access to the residential dwellings, with a pedestrian crossing across West Lane linking the residential development and the internal footpaths around the retail/office building, which then connects to the Town Square. Disabled access has been provided for. There are no cycle lanes in the vicinity of the site.

(g) The provision made to mitigate the effects of stormwater runoff, and any impact of roading and access on waterways, ecosystems, drainage patterns or the amenities of adjoining properties.



6.54. The site will be connected to the reticulated stormwater system. The proposal will result in less impermeable surface coverage than what is currently in existence.

(h) For sites with a road frontage with Kerikeri Road between its intersection with SH10 and Cannon Drive:

(i) the visual impact of hard surfaces and vehicles on the natural character;

(ii) the cumulative effects of additional vehicle access onto Kerikeri Road and the potential vehicle conflicts that could occur;

(iii) possible use of right of way access and private roads to minimise the number of additional access points onto Kerikeri Road;

(iv) the vehicle speed limit on Kerikeri Road at the additional access point and the potential vehicle conflicts that could occur.

6.55. Not applicable.

(h) The provisions of the roading hierarchy, and any development plans of the roading network.

6.56. We are not aware of any development plans.

(i) The need to provide alternative access for car parking and vehicle loading in business zones by way of vested service lanes at the rear of properties, having regard to alternative means of access and performance standards for activities within such zones.

6.57. Carparking and vehicle loading has been accounted for within the design for Lot 3.

(j) Any need to require provision to be made in a subdivision for the vesting of reserves for the purpose of facilitating connections to future roading extensions to serve surrounding land; future connection of pedestrian accessways from street to street; future provision of service lanes; or planned road links that may need to pass through the subdivision; and the practicality of creating such easements at the time of subdivision application in order to facilitate later development.

(k) Enter into agreements that will enable the Council to require the future owners to form and vest roads when other land becomes available (consent notices shall be registered on such Certificates of Title pursuant to Rule 13.6.7).

6.58. Not applicable.

(l) With respect to access to a State Highway that is a Limited Access Road, the effects on the safety and/or efficiency on any SH and its connection to the local road network and the provision of written approval from the New Zealand Transport Agency.

6.59. The sites are not accessed via a State Highway.



7. Statutory Assessment

Section 104B of the Act

- 7.1. Section 104B governs the determination of applications for Discretionary and Non-Complying Activities. With respect to both Discretionary and Non-Complying Activities, a consent authority may grant or refuse an application, and impose conditions under section 108.

Section 104(1)(a) of the Act

- 7.2. Section 104(1) of the Act states that when considering an application for resource consent –

“the consent authority must, subject to Part II, have regard to –

(a) Any actual and potential effects on the environment for allowing the activity; and

(ab) any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment that will or may result from allowing the activity; and

(b) Any relevant provisions of –

(i) A national environmental standard

(ii) Other regulations

(iii) A national policy statement

(iv) A New Zealand Coastal Policy Statement

(v) A regional policy statement or proposed regional policy statement

(vi) A plan or proposed plan; and

(c) Any other matter the consent authority considers relevant and reasonable necessary to determine the application.’

- 7.3. Actual and potential effects arising from a development as described in 104(1)(a) can be both positive and adverse (As described in section 3 of the act). Positive effects arising from this development are that the proposal will result in allotments which can be easily developed and better reflect the proposed use of the sites. The land use proposal will provide residential housing which is in high demand within the community. The retail/office space will link the residential development with the town square, which then supports the amenity of Commerce Street. The proposal will see an underutilise site developed to cater for the community providing social, economic and cultural benefits. Potential adverse effects relate to property access, specifically some vehicles needing to reverse on to West Lane when exiting.

- 7.4. Section 104(1)(ab) requires that the consent authority consider ‘any measure proposed or agreed to by the applicant for the purposes of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity’. In this case the proposal is not of a scale or nature that would require specific offsetting or environmental compensation measures to ensure positive effects on the environment.

- 7.5. Section 104(1)(b) requires the consent authority to consider the relevant provisions of the above listed documents. An assessment of the relevant statutory documents that corresponds



with the scale and significance of the effects that the activity may have on the environment has been provided in section 7.0 above.

- 7.6. Section 104(1)(c) states that consideration must be given to ‘any other matters that the consent authority considers relevant and reasonable, necessary to determine the application’. There are no other matters relevant to this application.

8. Policy Documents

- 8.1. In accordance with Section 104(1)(b) of the Act, the following documents are considered relevant to this application.

National Environmental Standards

- 8.2. As discussed earlier in this report, it was determined that there are not currently, nor have there been previously, any activities undertaken on the site which are listed on the HAIL. As such, the proposal is deemed Permitted in terms of the National Environmental Standards for Assessing and Managing Contaminants in Soil to Protect Human Health 2011.
- 8.3. There are no areas on the site which are considered to meet the definition of a natural inland wetland and therefore the NES for Freshwater is not considered applicable to the proposal.
- 8.4. No other National Environmental Standards are considered applicable to this development. The proposal is permitted in terms of the above-mentioned documents.

National Policy Statements

- 8.5. There are currently eight National Policy Statements in place. These are as follows:
- National Policy Statement on Urban Development
 - National Policy Statement for Freshwater Management
 - National Policy Statement for Renewable Electricity Generation
 - National Policy on Electricity Transmission
 - New Zealand Coastal Policy Statement
 - National Policy Statement for Highly Productive Land
 - National Policy Statement for Indigenous Biodiversity
 - National Policy Statement for Greenhouse Gas Emissions from Industrial Process Heat

National Policy Statement – Urban Development

- 8.5.1. The NPS - UD 2020 is about ensuring NZ’s towns are well functioning urban environments that meet the changing needs of our diverse communities. It removes overly restrictive barriers to development to allow growth ‘up’ and ‘out’ in locations that have good access to existing services, public transport networks and infrastructure. The Far North District Council is now a tier 3 Urban Environment therefore it is considered this policy statement is relevant. Although the Operative District Plan has not yet been updated, the requirement to provide a



set number of car parks will be removed in the plan change currently in progress. The proposal is considered consistent with the Objectives and Policies of the NPS – UD.

Other National Policy Statements

- 8.6. It is considered that no National Policy Statements are relevant to this application including the Coastal Policy Statement as the subdivision is not located within or in close proximity to the Coastal Environment.

Regional Policy Statement

- 8.7. The role of The Regional Policy Statement is to promote sustainable management of Northland's natural and physical resources by providing an overview of the regions resource management issues and setting out policies and methods to achieve integrated management of Northlands natural and physical resources.

- 8.8. The relevant objectives and policies have been assessed below.

Objective 3.13 Natural Hazard Risk

The risks and impacts of natural hazard events (including the influence of climate change) on people, communities, property, natural systems, infrastructure and our regional economy are minimised by:

- (a) Increasing our understanding of natural hazards, including the potential influence of climate change on natural hazard events;*
- (b) Becoming better prepared for the consequences of natural hazard events;*
- (c) Avoiding inappropriate new development in 10 and 100 year flood hazard areas and coastal hazard areas;*
- (d) Not compromising the effectiveness of existing defences (natural and man-made);*
- (e) Enabling appropriate hazard mitigation measures to be created to protect existing vulnerable development; and*
- (f) Promoting long-term strategies that reduce the risk of natural hazards impacting on people and communities.*
- (g) Recognising that in justified circumstances, critical infrastructure may have to be located in natural hazard-prone areas*

- 8.8.1. The entirety of the sites are shown to be susceptible to the 100yr +CC ARI flood hazard event. The design of the development has considered the flood risk which has been assessed within the Engineering Report and Plans. The site is zoned Commercial and proposed to be changed to Mixed use under the PDP. Given the proposed use of the allotments within the subdivision being a mix of commercial and residential, it is considered that the proposal is not inappropriate for the sites.
- 8.8.2. Any existing defences are not considered to be compromised given there are none within the sites.
- 8.8.3. The proposed development includes strategies to reduce the risk of natural hazards which have been incorporated into the design of the development.



- 8.8.4. As such, it is considered that the risks and impacts of natural hazard events are minimised within the proposal.

Objective 3.5 – Enabling Economic Wellbeing

Northland's natural and physical resources are sustainably managed in a way that is attractive for business and investment that will improve the economic wellbeing of Northland and its communities.

- 8.8.5. The proposed development will create housing as well as office/retail space which is in high demand and are of rare sorts in the current economic climate and it is considered that creating these type of allotments in an area which is of high demand will benefit the economic wellbeing of Northland and its communities. The proposal will provide a range of housing, which will provide economic wellbeing to the surrounding communities.

Objective 3.6 – Economic Activities – Reverse Sensitivity and Sterilisation

The viability of land and activities important for Northland's economy is protected from the negative impacts of new subdivision, use and development, with particular emphasis on either:

(a) Reverse sensitivity for existing:

- (i) Primary production activities;*
- (ii) Industrial and commercial activities;*
- (iii) Mining*; or*
- (iv) Existing and planned regionally significant infrastructure; or*

(b) Sterilisation of:

- (i) Land with regionally significant mineral resources; or*
- (ii) Land which is likely to be used for regionally significant infrastructure. *Includes aggregates and other minerals.*

- 8.8.6. Due to the location and zoning of the site, there are no reverse sensitivity effects created. The site and surrounding environment are mixed use in nature and the proposal will enhance this and maximise the potential use of this underutilised site. The proposal will see the development of a mix of residential units as well as a retail/office space and an independent lot created around the existing town square, which is not anticipated to create reverse sensitivity effects. The site does not contain regionally significant mineral resources and is not likely to be used for such use.

- 8.8.7. Due to the above, it is considered that there will be no reverse sensitivity effects as the proposal will create allotments and development which are not objectionable to the surrounding environment.

Policy 7.1.1 – General Risk Management Approach

Subdivision, use and development of land will be managed to minimise the risks from natural hazards by:

- (a) Seeking to use the best available information, including formal risk management techniques in areas potentially affected by natural hazards;*



- (b) Minimising any increase in vulnerability due to residual risk;*
- (c) Aligning with emergency management approaches (especially risk reduction);*
- (d) Ensuring that natural hazard risk to vehicular access routes and building platforms for proposed new lots is considered when assessing subdivision proposals; and*
- (e) Exercising a degree of caution that reflects the level of uncertainty as to the likelihood or consequences of a natural hazard event.*

8.8.8. The risk of natural hazards is considered to be minimised as appropriate measures have been undertaken within the design to ensure that there is no increase in vulnerability. The entirety of the Kaitia township is susceptible to river flood hazard risk and as such, it is not considered that the proposal is objectionable with existing development. Vehicular access and the risk of flood hazard have been assessed and as the vehicle accesses are existing, it is considered that the proposal will not change what is currently in existence. The access will be improved by the proposal. A degree of caution has been exercised within the design as is reflected within the engineering reports.

8.8.9. With the above methods, it is considered that the proposal builds resilience to the potential impacts of natural hazard events.

Policy 7.1.2 – New Subdivision and Land use within 10-year and 100-year flood Hazard Areas
New subdivision, built development (including wastewater treatment and disposal systems), and land use change may be appropriate within 10-year and 100-year¹⁹ flood hazard areas provided all of the following are met:

- (a) Hazardous substances will not be inundated during a 100-year flood event.*
- (b) Earthworks (other than earthworks associated with flood control works) do not divert flood flow onto neighbouring properties, and within 10-year flood hazard areas do not deplete flood plain storage capacity;*
- (c) A minimum freeboard above a 100-year flood event of at least 500mm is provided for residential buildings.*
- (d) Commercial and industrial buildings are constructed so as to not be subject to material damage in a 100 year flood event.*
- (e) New subdivision plans are able to identify that building platforms will not be subject to inundation and / or material damage (including erosion) in a 100-year flood event;*
- (f) Within 10-year flood hazard areas, land use or built development is of a type that will not be subject to material damage in a 100-year flood event; and*
- (g) Flood hazard risk to vehicular access routes for proposed new lots is assessed.*

8.8.10. There are no known hazardous substances on the site.

8.8.11. The subdivision will not result in any earthworks which will divert flow onto neighbouring properties nor deplete flood plain storage capacity.

8.8.12. A minimum freeboard has been applied to the proposed developments.



- 8.8.13. The subdivision and landuse application go hand in hand. There will be fill material brought on site as well as a minimum freeboard level imposed to ensure that the risk to future buildings is minimised.
- 8.8.14. Flood hazard risk to vehicular access routes was assessed as part of this proposal and has been addressed.
- 8.8.15. It is considered that the land is suitable for subdivision and the proposal does not increase the risk of material damage.

Policy 7.1.6 – Climate change and development

When managing subdivision, use and development in Northland, climate change effects will be included in all estimates of natural hazard risk, taking into account the scale and type of the proposed development and using the latest national guidance and best available information on the likely effects of climate change on the region or district.

- 8.8.16. Climate change factors have been included within the Engineering reports.
- 8.8.17. Overall, it is considered that the proposal is consistent with the intent of the RPS and adequate mitigation measures have been offered to ensure that the effects of natural hazards are mitigated to a less than minor degree.

Far North District Plan

Relevant objectives and policies

- 8.9. The relevant objectives and policies of the Plan are those related to the Subdivision Chapter, Urban Environment, Commercial Zone, and Transport. The proposal is considered to create no more than minor adverse effects on the urban environment. The proposal is considered to be consistent with the urban character of the surrounding area and is considered to have negligible effects on the amenity value of the area. The proposal is considered to be consistent with the objectives and policies of the Plan.

Assessment of the Objectives and Policies with the Subdivision Chapter

- 8.10. The following assessment is based upon the objectives and policies contained within Section 13.3 and 13.4 of the District Plan.

Objectives

13.3.1 To provide for the subdivision of land in such a way as will be consistent with the purpose of the various zones in the Plan, and will promote the sustainable management of the natural and physical resources of the District, including airports and roads and the social, economic and cultural well being of people and communities.

13.3.2 To ensure that subdivision of land is appropriate and is carried out in a manner that does not compromise the life-supporting capacity of air, water, soil or ecosystems, and that



any actual or potential adverse effects on the environment which result directly from subdivision, including reverse sensitivity effects and the creation or acceleration of natural hazards, are avoided, remedied or mitigated.

13.3.3 To ensure that the subdivision of land does not jeopardise the protection of outstanding landscapes or natural features in the coastal environment.

13.3.4 To ensure that subdivision does not adversely affect scheduled heritage resources through alienation of the resource from its immediate setting/context.

13.3.5 To ensure that all new subdivisions provide a reticulated water supply and/or on-site water storage and include storm water management sufficient to meet the needs of the activities that will establish all year round.

13.3.6 To encourage innovative development and integrated management of effects between subdivision and land use which results in superior outcomes to more traditional forms of subdivision, use and development, for example the protection, enhancement and restoration of areas and features which have particular value or may have been compromised by past land management practices.

13.3.7 To ensure the relationship between Māori and their ancestral lands, water, sites, wahi tapu and other taonga is recognised and provided for.

13.3.8 To ensure that all new subdivision provides an electricity supply sufficient to meet the needs of the activities that will establish on the new lots created.

13.3.9 To ensure, to the greatest extent possible, that all new subdivision supports energy efficient design through appropriate site layout and orientation in order to maximise the ability to provide light, heating, ventilation and cooling through passive design strategies for any buildings developed on the site(s).

13.3.10 To ensure that the design of all new subdivision promotes efficient provision of infrastructure, including access to alternative transport options, communications and local services.

13.3.11 To ensure that the operation, maintenance, development and upgrading of the existing National Grid is not compromised by incompatible subdivision and land use activities.

- 8.10.1. The proposal will see the existing titles reconfigured to enable more consistent and coherent allotments to support future and existing land use activities. The sites are zoned as Commercial and proposed to be rezoned as Mixed Use. The proposal will see Residential development created within two of the lots, officel/retail developed within one of the lots and the remaining allotment being created around the existing town square, to enable the continued independent use of the square. Natural and physical resources will be managed as the proposal will see better utilization of the lots as well as the economic and cultural wellbeing of people and the community being benefited by providing opportunity for a range of housing within an area which is considered to be suitable for such use.
- 8.10.2. Life supporting capacity of air, water, soil and ecosystems are not considered to be impacted by the proposal. The residential and commercial lots will be connected to the reticulated wastewater, water and stormwater systems. Reverse sensitivity effects are not anticipated as the intended use of the sites are for residential and commercial use which is consistent



with the surrounding environment. It is considered the proposal will not create any land use activities that are not already in existence in the surrounding environment. The proposal is not considered to accelerate natural hazards, as development within the proposed lots has been specifically designed, with natural hazards accounted for. The entirety of Kaitaia township is shown as a flood hazard area and as such, development is designed to account for this.

- 8.10.3. The site is not known to contain or be in close proximity to areas of outstanding landscapes or natural features and is not located within the coastal environment.
- 8.10.4. The proposal is not considered to affect heritage resources, with none being known to be located within the site.
- 8.10.5. The proposed lots will connect to the reticulated water supply as well as stormwater system where appropriate.
- 8.10.6. This application covers subdivision and land use provisions. The proposal will see innovative development and also provide for an integrated management of effects, resulting in a superior outcome to more traditional forms of subdivision. The proposed subdivision and land use application will see development within the lots whilst ensuring all effects are mitigated to a less than minor degree.
- 8.10.7. Top Energy has been contacted as part of the application process, with their requirements being for the lots to connect to their power supply. This will occur as part of the development.
- 8.10.8. Energy sufficient design has been supported in the subdivision by maximising the north-facing orientation of the lots, specifically Lots 1 & 2. The buildings have been professionally designed with heating, ventilation and cooling incorporated into the design.
- 8.10.9. The sites are not located within The National Grid.

Policies

13.4.1 That the sizes, dimensions and distribution of allotments created through the subdivision process be determined with regard to the potential effects including cumulative effects, of the use of those allotments on:

- (a) natural character, particularly of the coastal environment;*
- (b) ecological values;*
- (c) landscape values;*
- (d) amenity values;*
- (e) cultural values;*
- (f) heritage values; and*
- (g) existing land uses.*

13.4.2 That standards be imposed upon the subdivision of land to require safe and effective vehicular and pedestrian access to new properties.

13.4.3 That natural and other hazards be taken into account in the design and location of any subdivision.

13.4.4 That in any subdivision where provision is made for connection to utility services, the potential adverse visual impacts of these services are avoided.



13.4.5 That access to, and servicing of, the new allotments be provided for in such a way as will avoid, remedy or mitigate any adverse effects on neighbouring property, public roads (including State Highways), and the natural and physical resources of the site caused by silt runoff, traffic, excavation and filling and removal of vegetation.

13.4.6 That any subdivision proposal provides for the protection, restoration and enhancement of heritage resources, areas of significant indigenous vegetation and significant habitats of indigenous fauna, threatened species, the natural character of the coastal environment and riparian margins, and outstanding landscapes and natural features where appropriate.

13.4.7 That the need for a financial contribution be considered only where the subdivision would:

- (a) result in increased demands on car parking associated with non-residential activities; or*
- (b) result in increased demand for esplanade areas; or*
- (c) involve adverse effects on riparian areas; or*
- (d) depend on the assimilative capacity of the environment external to the site.*

13.4.8 That the provision of water storage be taken into account in the design of any subdivision.

13.4.9 That bonus development donor and recipient areas be provided for so as to minimise the adverse effects of subdivision on Outstanding Landscapes and areas of significant indigenous flora and significant habitats of fauna.

13.4.10 The Council will recognise that subdivision within the Conservation Zone that results in a net conservation gain is generally appropriate.

13.4.11 That subdivision recognises and provides for the relationship of Māori and their culture and traditions, with their ancestral lands, water, sites, waahi tapu and other taonga and shall take into account the principles of the Treaty of Waitangi.

13.4.12 That more intensive, innovative development and subdivision which recognises specific site characteristics is provided for through the management plan rule where this will result in superior environmental outcomes.

13.4.13 Subdivision, use and development shall preserve and where possible enhance, restore and rehabilitate the character of the applicable zone in regards to s6 matters. In addition subdivision, use and development shall avoid adverse effects as far as practicable by using techniques including:

- (a) clustering or grouping development within areas where there is the least impact on natural character and its elements such as indigenous vegetation, landforms, rivers, streams and wetlands, and coherent natural patterns;*
- (b) minimising the visual impact of buildings, development, and associated vegetation clearance and earthworks, particularly as seen from public land and the coastal marine area;*
- (c) providing for, through siting of buildings and development and design of subdivisions, legal public right of access to and use of the foreshore and any esplanade areas;*
- (d) through siting of buildings and development, design of subdivisions, and provision of access that recognise and provide for the relationship of Māori with their culture, traditions and taonga including concepts of mauri, tapu, mana, wehi and karakia and the important contribution Māori culture makes to the character of the District (refer Chapter 2 and in particular Section 2.5 and Council's "Tangata Whenua Values and Perspectives" (2004);*



(e) providing planting of indigenous vegetation in a way that links existing habitats of indigenous fauna and provides the opportunity for the extension, enhancement or creation of habitats for indigenous fauna, including mechanisms to exclude pests;

(f) protecting historic heritage through the siting of buildings and development and design of subdivisions.

(g) achieving hydraulic neutrality and ensuring that natural hazards will not be exacerbated or induced through the siting and design of buildings and development.

13.4.14 That the objectives and policies of the applicable environment and zone and relevant parts of Part 3 of the Plan will be taken into account when considering the intensity, design and layout of any subdivision.

13.4.15 That conditions be imposed upon the design of subdivision of land to require that the layout and orientation of all new lots and building platforms created include, as appropriate, provisions for achieving the following:

(a) development of energy efficient buildings and structures;

(b) reduced travel distances and private car usage;

(c) encouragement of pedestrian and cycle use;

(d) access to alternative transport facilities;

(e) domestic or community renewable electricity generation and renewable energy use.

13.4.16 When considering proposals for subdivision and development within an existing National Grid Corridor the following will be taken into account:

(a) the extent to which the proposal may restrict or inhibit the operation, access, maintenance, upgrading of transmission lines or support structures;

(b) any potential cumulative effects that may restrict the operation, access, maintenance, upgrade of transmission lines or support structures; and

(c) whether the proposal involves the establishment or intensification of a sensitive activity in the vicinity of an existing National Grid line.

- 8.10.10. There will be no adverse impacts on any of the items listed within Policy 13.4.1, as has been discussed throughout this report. Vehicular and pedestrian access has been discussed in depth within this report. It is considered that vehicular and pedestrian access as a result of the subdivision and land use activities have been designed to be safe and functional.
- 8.10.11. Natural hazards have been taken into account for the design and location of the new lots and proposed built development. As mentioned, the entirety of the Kaitia township is shown as being susceptible to river flood hazards and therefore the proposed built development has been designed in a way to ensure that the proposal does not accelerate or exacerbate these hazards.
- 8.10.12. Connections to utility services will be underground and therefore no visual impacts are anticipated.
- 8.10.13. The proposal is not considered to create any adverse effects on the neighbouring properties or connecting roads. The Engineering Report accompanying this application covers silt and erosion measures that will be undertaken for any excavations.
- 8.10.14. The site does not contain any heritage resources, significant areas of indigenous vegetation, fauna, threatened species and is not located within the coastal environment or in an area of outstanding landscape or natural features.



- 8.10.15. A financial contribution is not considered necessary as all parking demands will be maintained within the proposed site boundaries, with no overflow anticipated on the connecting roads. Esplanade areas are not a consideration of the proposal and no adverse effects on riparian areas are anticipated. The proposal does not depend on the assimilative capacity of the environment.
- 8.10.16. The residential and commercial developments will be connected to the reticulated water supply.
- 8.10.17. The sites are not located in an outstanding landscape and does not contain areas of significant indigenous flora or fauna.
- 8.10.18. The sites are not within the Conservation zone.
- 8.10.19. The proposal will result in a decrease in allotments and will see development which is not considered to be intensive such that site specific characteristics would be required. The management plan rule is not considered applicable to this proposal.
- 8.10.20. The sites do not contain any known areas of indigenous vegetation, landforms, rivers, streams or wetlands. The sites do not adjoin foreshore areas or esplanade areas. There are no existing areas of indigenous vegetation that would require linking to. The site does not contain any areas of historic heritage. Natural hazards will not be exacerbated. The design of the development has incorporated measures to avoid effects from natural hazards.
- 8.10.21. Assessment of the objectives and policies of the Commercial zone and Urban Environment as well as the relevant parts of Part 3 of the Plan will be undertaken below.
- 8.10.22. The application is for land use and subdivision and the design of the proposed buildings have been included as part of this application. It is considered that the items within 13.4.15 were taken into consideration for the design.
- 8.10.23. The sites are not located within the National Grid Corridor.

Assessment of Objectives and Policies within the Urban Environment

- 8.11. The following assessment is based upon the objectives and policies contained within Sections 7.3 and 7.4.

Objectives

- 7.3.1 To ensure that urban activities do not cause adverse environmental effects on the natural and physical resources of the District.*
- 7.3.2 To enable the continuing use of buildings and infrastructure in urban areas, particularly where these are under-utilised.*
- 7.3.3 To avoid, remedy or mitigate the adverse effects of activities on the amenity values of existing urban environments.*
- 7.3.4 To enable urban activities to establish in areas where their potential effects will not adversely affect the character and amenity of those areas.*
- 7.3.5 To achieve the development of community services as an integral and complementary component of urban development.*
- 7.3.6 To ensure that sufficient water storage is available to meet the needs of the community all year round.*

- 8.11.1. The proposal is not considered to create adverse environmental effects on the natural and physical resources of the District. All effects will be managed within the site boundaries, with



no adverse effects anticipated on the wider environment as has been discussed throughout this report and the accompanying reports.

- 8.11.2. The only existing activity on the site is the town square, which will remain unchanged as part of this proposal and will benefit from being contained within one independent title. There are no other buildings or infrastructure within the lots which would require continued use, given the lots are privately owned.
- 8.11.3. The amenity value of the urban environment is not considered to be adversely affected. The proposal is urban in nature and will provide a wider benefit to the community.
- 8.11.4. As has been discussed within this report, all effects will be mitigated to a less than minor degree.
- 8.11.5. The proposal will see housing developed as well as a retail/office space within an adjoining allotment. The new housing development within Proposed Lots 1 & 2 will provide much needed housing in the area. The proposal will also result in the town square being retained.
- 8.11.6. The developments will be connected to the reticulated water supply.

Policies

- 7.4.1 *That amenity values of existing and newly developed areas be maintained or enhanced.*
- 7.4.2 *That the permissible level of effects created or received in residential areas reflects those appropriate for residential activities.*
- 7.4.3 *That adverse effects on publicly-provided facilities and services be avoided or remedied by new development, through the provision of additional services.*
- 7.4.4 *That stormwater systems for urban development be designed to minimise adverse effects on the environment.*
- 7.4.5 *That new urban development avoid:*
 - (a) *adversely affecting the natural character of the coastal environment, lakes, rivers, wetlands or their margins;*
 - (b) *adversely affecting areas of significant indigenous vegetation or significant habitats of indigenous fauna;*
 - (c) *adversely affecting outstanding natural features, landscapes and heritage resources;*
 - (d) *adversely affecting the relationship of Maori and their culture and traditions with their ancestral lands, water, sites, waahi tapu, and other taonga;*
 - (e) *areas where natural hazards could adversely affect the physical resources of urban development or pose risk to people's health and safety;*
 - (f) *areas containing finite resources which can reasonably be expected to be valuable for future generations, where urban development would adversely affect their availability;*
 - (g) *adversely affecting the safety and efficiency of the roading network;*
 - (h) *the loss or permanent removal of highly productive and versatile soils from primary production due to subdivision and development for urban purposes.*
- 7.4.6 *That the natural and historic heritage of urban settlements in the District be protected (refer to Chapter 12).*
- 7.4.7 *That urban areas with distinctive characteristics be managed to maintain and enhance the level of amenity derived from those characteristics.*
- 7.4.8 *That infrastructure for urban areas be designed and operated in a way which:*
 - (a) *avoids remedies or mitigates adverse effects on the environment;*



(b) provides adequately for the reasonably foreseeable needs of future generations; and

(c) safeguards the life-supporting capacity of air, water, soil and ecosystems.

7.4.9 That the need for community services in urban areas is recognised and provided for.

- 8.11.7. The amenity values of the sites will be enhanced by providing residential units, a retail space and continued use of the town square, which are consistent with the surrounding environment.
- 8.11.8. The sites are not zoned residential, however residential development is proposed on two of the allotments. It is considered that the actual effects created are consistent with standard residential activities. The accompanying reports detail mitigation measures provided for within the developments to ensure all effects are mitigated to a less than minor degree.
- 8.11.9. The proposal does include publicly provided facilities, which is the town square. The proposal will see the town square held within an independent title, which will enable ease of ownership and maintenance. No adverse effects on the town square are anticipated given the proposed use of the sites is consistent with development in the surrounding environment.
- 8.11.10. The stormwater design for the site has been detailed within the accompanying Engineering Report.
- 8.11.11. The sites are not located within the coastal environment nor near any lakes, rivers, wetlands or their margins. The sites do not contain any areas of indigenous vegetation, fauna or heritage resources and is not located in an area of outstanding landscapes or natural hazards. Natural hazards have been taken into consideration and mitigation measures provide for within the design. The site is not known to contain finite resources. The proposal is not considered to adversely affect the safety and efficiency of the roading network. The site is not considered to be highly productive land.
- 8.11.12. The site is not considered to have distinctive characteristics. Although it could be perceived, that as the proposal will see the underutilized lots developed to provide much needed services and accommodation for the community, the proposal is enhancing the characteristics and amenity of the sites.
- 8.11.13. As discussed within this report, the proposal is considered to mitigate any adverse effects to a less than minor degree. The proposal will provide housing for future generations. Life supporting capacity of air, water and soil are not considered to be compromised.
- 8.11.14. It is considered that the proposal has a functional need to be located in the area. The proposal will provide retail space and residential housing which is much needed in the area. The proposal will also see the town square maintained and enhanced by providing compatible activities within adjoining allotments. It is considered the proposal has recognised the need for these services and has provided for such.

Assessment of the objectives and policies within the Commercial Zone

- 8.12. The following assessment is based upon the objectives and policies contained within Sections 7.7.3 and 7.7.4.

Objectives



7.7.3.1 To achieve the development of commercial areas in the District accommodating a wide range of activities that avoid, remedy or mitigate the adverse effects of activities on other activities within the Commercial Zone and on the natural and physical resources of the District.

- 8.12.1. The proposal will see a wide range of activities provided for that are considered comparable with existing activities in the surrounding environment. The proposal will see two lots developed with residential units, in close proximity to other residential activities, with the two lots located closest to commercial activities being developed for similar activities. The town square will be maintained and enhanced. No adverse effects are anticipated given the mitigation measures included within the design of the developments. Natural and physical resources will be maintained.

Policies

7.7.4.1 That the Commercial Zone be applied to areas which are traditional commercial centres, and also to areas where the provision of commercial activity would not have adverse environmental effects, and would contribute to the needs and well being of the community.

7.7.4.2 That the range of activities provided for in the Commercial Zone be limited only by the needs for the effects generated by the particular activity to be consistent with other activities in the zone.

7.7.4.3 That standards be applied that protect visual and environmental amenity within the Commercial Zone, and the amenity of adjacent zones.

7.7.4.4 That stormwater disposal systems do not result in suspended solids, industrial by-products, oil, or other contaminated substance or waste entering the stormwater collection system in concentrations that are likely to pose an immediate or long term hazard to human health or the environment.

- 8.12.2. The site and surrounding environment are zoned Commercial which is reflective of the Kaitia township.
- 8.12.3. The proposed activities are considered to be consistent with other activities in the surrounding environment as has been detailed throughout this report.
- 8.12.4. The proposed development of the allotments has been assessed as permitted in terms of visual and environmental amenity.
- 8.12.5. Stormwater will be managed as detailed within this application and accompanying reports.

Assessment of the objectives and policies for Transportation

- 8.13. The following assessment is based upon the objectives and policies contained within Sections 15.1.3 and 15.1.4.

Objectives

15.1.3.1 To minimise the adverse effects of traffic on the natural and physical environment.

15.1.3.2 To provide sufficient parking spaces to meet seasonal demand in tourist destinations.

15.1.3.3 To ensure that appropriate provision is made for on-site car parking for all activities, while considering safe cycling and pedestrian access and use of the site.

15.1.3.4 To ensure that appropriate and efficient provision is made for loading and access for activities.



15.1.3.5 To promote safe and efficient movement and circulation of vehicular, cycle and pedestrian traffic, including for those with disabilities.

- 8.13.1. The proposal is not considered to create adverse effects on the natural and physical environment.
- 8.13.2. Tourist seasonal demand is not a consideration of this application given the nature of the proposed activities.
- 8.13.3. On site parking has been provided for within the proposed developments. It was concluded that the proposed parking spaces are sufficient for the intended use of the development. Pedestrian access was also considered and measures recommended to ensure safe access for pedestrians.
- 8.13.4. The sites are zoned as Commercial and as such, loading spaces are a requirement of the zone. Given the residential use of Lots 1 & 2, loading spaces have not been accounted for nor considered necessary. Lot 4 will contain the town square and once again, a loading space is not considered relevant. Lot 3 will contain the retail/commercial building where a loading space has been provided for.
- 8.13.5. Movement and circulation of vehicular and pedestrian access can be achieved in a safe and efficient manner.

Policies

15.1.4.1 That the traffic effects of activities be evaluated in making decisions on resource consent applications.

15.1.4.2 That the need to protect features of the natural and built environment be recognised in the provision of parking spaces.

15.1.4.3 That parking spaces be provided at a location and scale which enables the efficient use of parking spaces and handling of traffic generation by the adjacent roading network.

15.1.4.4 That existing parking spaces are retained or replaced with equal or better capacity where appropriate, so as to ensure the orderly movement and control of traffic.

15.1.4.5 That appropriate loading spaces be provided for commercial and industrial activities to assist with the pick-up and delivery of goods.

15.1.4.6 That the number, size, gradient and placement of vehicle access points be regulated to assist traffic safety and control, taking into consideration the requirements of both the New Zealand Transport Agency and the Far North District Council.

15.1.4.7 That the needs and effects of cycle and pedestrian traffic be taken into account in assessing development proposals.

15.1.4.8 That alternative options be considered to meeting parking requirements where this is deemed appropriate by the Far North District Council.

- 8.13.6. The proposal does not result in traffic infringements. The only infringement relates to some car parks being designed so that vehicles have to reverse off site. Given the low speed of West Lane, and the majority of the sites all operating the same way and the anticipated movements, it is considered that effects will be less than minor.
- 8.13.7. Parking spaces have been provided for within vacant areas of the site, to ensure the built development remains unaffected.



- 8.13.8. Parking spaces have been provided within the subject development to ensure safety of the adjacent roading network. Parking has been designed in accordance with the needs of each development, providing a location and scale which is suitable for each.
- 8.13.9. The sites currently do not contain any built development which would require parking and as such existing parking has not been a consideration of this proposal.
- 8.13.10. The sites are zoned as Commercial and as such, loading spaces are a requirement of the zone. Given the residential use of Lots 1 & 2, loading spaces have not been accounted for nor considered necessary. Lot 4 will contain the town square and once again, a loading space is not considered relevant. Lot 3 will contain the retail/office building where a loading space has been provided for.
- 8.13.11. Vehicle access to the proposed developments is considered to be suitable for the proposed development. The proposals will not see an increase in vehicle crossing places.
- 8.13.12. Pedestrian traffic has been taken into consideration. Cycle traffic has not been considered as there are no cycle lanes within the vicinity.
- 8.13.13. Alternative options for parking would be street parking along Taffe Street and Puckey Ave. It is noted that some residents may not have a vehicle and therefore do not require a parking space.

Proposed District Plan

- 8.14. Under the Proposed District Plan, the sites are zoned Mixed Use with Lot 4 also being partially covered by the Pedestrian Frontage overlay, therefore an assessment of the objectives and policies within this chapter has been included below. The proposal is considered to create no more than minor adverse effects on the environment and is consistent with the intent of the surrounding environment and the zone. The proposal is considered to be consistent with the objectives and policies of the Proposed District Plan.

Assessment of objectives and policies in the Mixed Use Zone

Objectives

MUZ-01 - The Mixed Use zone is the focal point for the district's commercial, community and civic activities, and provides for residential development where it complements and is not incompatible with these activities.

MUZ-02 - Development in the Mixed Use zone is of a form, scale, density and design quality that contributes positively to the vibrancy, safety and amenity of the zone.

MUZ-03 - Enable land use and subdivision in the Light Industrial zone where there is adequacy and capacity of available or programmed development infrastructure to support it.

MUZ-04 - The adverse environmental effects generated by activities within the zone are managed, in particular at zone boundaries.

MUZ-05 - Residential activity in the Mixed Use zone is located above commercial activities to ensure active street frontages, except where the interface is with the Open Space zone.

- 8.14.1. The proposal will see two allotments containing residential development and the other two being utilised as retail/office space and open space. The residential activity will be located at the rear, nearest to other residential activities along Puckey Ave. The commercial and open space activities will be contained near Commerce Street which contains mixed use



development. The proposal is considered to complement activities in the surrounding environment and will enhance the amenity of this currently underutilised space.

- 8.14.2. The proposal will see an underutilised area enhanced with activities that will support and complement the existing activities in the area. The scale, density and design have been proposed to cater for the needs of the district whilst ensuring that open space can be adequately provided for to ensure safety and amenity. The proposal is considered to achieve MUZ-02.
- 8.14.3. The sites are not within the Light Industrial zone.
- 8.14.4. No adverse effects are anticipated as detailed within this application.
- 8.14.5. The residential activity is not proposed above commercial activities given that there is ample area for residential use within independent allotments. The Kaitaia township is not considered to have the need for a large amount of additional commercial space, given there are existing buildings along Commerce Street which can provide for this. It is considered that the location of the proposed residential activity is suitable, given there is a large amount of residential activity along Puckey Ave already. The proposed residential activity will provide a transition area which can support the commercial activities within the township. Proposed Lot 4 contains the existing town square and is the only allotment classified as containing Pedestrian Frontage within the PDP and as such, it is considered that this street frontage is the most important in maintaining active street frontage, which the proposal will enable. Therefore, although the proposal is not completely consistent with MUZ-05, it is considered that given the large area and the configuration of the proposed allotments, the proposed design is considered to be most suitable for the site and the surrounding environment. It is also worth noting that the S42A Report for Urban Zones included the recommendation to include a restricted discretionary pathway for residential activity on the ground floor outside of the pedestrian frontage overlay areas (Page 121, paragraph 496 of the document).

Policies

MUZ-P1 - Enable a range of commercial, community, civic and residential activities in the Mixed Use zone where:

- a. it supports the function, role, sense of place and amenity of the existing environment; and*
- b. there is:*
 - i. existing infrastructure to support development and intensification, or*
 - ii. additional infrastructure capacity can be provided to service the development and intensification.*

MUZ-P2 - Require all subdivision in the Mixed Use zone to provide the following reticulated services to the boundary of each lot:

- a. telecommunications:*
 - i. fibre where it is available;*
 - ii. copper where fibre is not available;*
 - iii. copper where the area is identified for future fibre deployment.*
- b. local electricity distribution network; and*



- c. wastewater, potable water supply and stormwater where they are available.*

MUZ-P3 - Require development in the Mixed Use zone to contribute positively to:

- a. high quality streetscapes;*
- b. pedestrian amenity;*
- c. safe movement of people of all ages and abilities;*
- d. community well-being, health and safety; and*
- e. traffic, parking and access needs.*

MUZ-P4 - Require development in the Mixed Use zone that is adjacent to Residential and Open Space zones to maintain the amenity values of those areas, having specific regard to:

- a. visual dominance;*
- b. privacy;*
- c. shadowing;*
- d. ambient noise; and*
- e. light spill.*

MUZ-P5 - Restrict activities that are likely to have an adverse effect on the function, role, sense of place and amenity of the Mixed Use zone, including:

- a. residential activity, retirement facilities and visitor accommodation on the ground floor of buildings, except where a site adjoins an Open Space zone;*
- b. light or heavy industrial activity;*
- c. storage and warehousing;*
- d. large format retail activity over 400 m²; and*
- e. waste management activity.*

MUZ-P6 - Promote energy efficient design and the use of renewable electricity generation in the construction of mixed use development.

MUZ-P7 - Consider the following effects when assessing applications to establish residential, early childhood, retirement and education facilities:

- a. the level of ambient noise;*
- b. reduced privacy;*
- c. shadowing and visual domination; and*
- d. light spill.*

MUZ-P8 - Manage land use and subdivision to address the effects of the activity requiring resource consent, including (but not limited to) consideration of the following matters where relevant to the application:

- a. consistency with the scale, density, design, amenity and character of the mixed use environment;*
- b. the location, scale and design of buildings or structures, outdoor storage areas, parking and internal roading;*
- c. at zone interfaces:*



- i. *any setbacks, fencing, screening or landscaping required to address potential conflicts;*
 - ii. *any adverse effects on the character and amenity of adjacent zones;*
 - d. *the adequacy and capacity of available or programmed development infrastructure to accommodate the proposed activity; including:*
 - i. *opportunities for low impact design principles;*
 - ii. *management of three waters infrastructure and trade waste;*
 - e. *managing natural hazards;*
 - f. *the adequacy of roading infrastructure to service the proposed activity;*
 - g. *any adverse effects on historic heritage and cultural values, natural features and landscapes or indigenous biodiversity, and*
 - h. *any historical, spiritual, or cultural association held by tangata whenua, with regard to the matters set out in Policy TW-P6.*
- 8.14.6. The proposal is considered to support the role, sense of place and amenity of the existing environment as the proposal will complement the activities in the surrounding environment. Infrastructure can be provided for the development as detailed within this application.
- 8.14.7. Telecommunications, electricity, wastewater, water supply and stormwater will be provided for Lots 1, 2 & 3. Lot 4 will contain the town square and does not require such connections.
- 8.14.8. The proposal will see an increase in the quality of the streetscape and pedestrian amenity as it will see the site developed with infrastructure and buildings which can support the community. Currently the majority of the sites are utilised for a storage yard which is not visually appealing nor attractive to the community. The proposal will see well designed buildings constructed for accommodation, with a commercial/retail building adjoining the existing town square. The development has been designed to promote pedestrian amenity and will support the existing activities in the surrounding environment. People will be able to easily move throughout the development. Community well-being, health and safety will be enhanced by providing amenities which are needed in the town. Traffic, parking and access needs have been detailed within this report and will be provided for.
- 8.14.9. In terms of MUZ-P4, the sites are not adjacent to Residential or Open Space zones within the PDP. The adjacent allotments are all zoned Mixed-Use. Amenity values will be maintained and enhanced by the proposal.
- 8.14.10. The proposal does include residential activity on the ground floor of the proposed accommodation buildings within Proposed Lots 1 & 2. Although this is the case, the function, role and sense of place and amenity of the zone is not considered to be compromised. This is due to the fact that there is existing residential activity directly opposite the proposed development along Puckey Ave. The subject sites are in a location which has existing residential and commercial development in close proximity, making the sites located in a type of transition zone. Kaitiaki township is not considered to have the need for more commercial or retail spaces within the ground floor, as there are ample vacant buildings along Commerce Street which can provide for this type of use. Furthermore, the mixed-use buildings, with commercial on the ground floor and accommodation on top floors are congregated along Commerce Street. The proposed residential development is located along Puckey Ave and Taffe Street which is considered to be more prominent for residential development rather than commercial. Given the function, role, sense of place and amenity



of Puckey Ave and the western end of Taffe Street are primarily residential, it is considered that the proposal will not have an adverse effect on the above mentioned characteristics. Therefore, although the proposal is not completely consistent with MUZ-P5(a), it is considered that the proposal is consistent with the existing characteristics of this area such that no adverse effects will be created. (b)-(e) are not applicable. It is also worth noting that the S42A Report for Urban Zones included the recommendation to include a restricted discretionary pathway for residential activity on the ground floor outside of the pedestrian frontage overlay (Page 121, paragraph 496 of the document).

- 8.14.11. Energy efficient design has been considered as part of the development and incorporated into the design.
- 8.14.12. The proposal will see the establishment of residential development, as detailed within this application. In terms of ambient noise, given that there is existing residential development in the area, no adverse effects are anticipated. The development has been designed to ensure privacy can be maintained within the units. No adverse effects from shadowing or visual dominance are anticipated given the setback distances provided. Effects from light spill are considered to be less than minor.
- 8.14.13. The proposal will see a new development created on the sites, which is currently under utilised. Given the existing development in the area is dated, the proposal will see a new form of residential development created. However, it is worth noting that similar accommodation for 10 units has recently been approved along Puckey Ave. As such, it is considered that the proposal is consistent with the scale, design, density, amenity and character of the environment. Storage areas, parking and internal roading are all provided for within the attached plans. The sites are not located at a zone interface. Infrastructure can and will be provided for as part of the development. Natural hazards have been accounted for within the design. The roading infrastructure is considered adequate to accommodate the proposal. No adverse effects are anticipated on historic heritage, cultural values, natural features or landscapes or indigenous biodiversity.

Summary

- 8.15. The above assessment of the relevant policy documents demonstrates that the proposal will be consistent with the relevant objectives and policies of those statutory documents.
- 8.16. Due to the close proximity of the site to the Kaitaia township, there is a functional need for allotments of this size and housing to be located in the area, providing connectivity between the urban and commercial areas. The proposal provides for the social, economic and cultural well being of the community by providing residential housing in close proximity to employment, services and community infrastructure.
- 8.17. No reverse sensitivity effects are anticipated as the proposal is residential and commercial in nature which will greatly benefit the community.



9. Notification Assessment – Sections 95A to 95G of The Act

Public Notification Assessment

- 9.1. Section 95A requires a council to follow specific steps to determine whether to publicly notify an application. The following is an assessment of the application against these steps:

Step 1 Mandatory public notification in certain circumstances

(2) Determine whether the application meets any of the criteria set out in subsection (3) and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, go to step 2.

(3) The criteria for step 1 are as follows:

(a) the applicant has requested that the application be publicly notified;

(b) public notification is required under section 95C;

(c) the application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

- 9.1.1. It is not requested the application be publicly notified and the application is not made jointly with an application to exchange reserve land. Therefore Step 1 does not apply and Step 2 must be considered.

Step 2: Public Notification precluded in certain circumstances

(4) Determine whether the application meets either of the criteria set out in subsection (5) and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(5) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes public notification;

(b) the application is for a resource consent for 1 or more of the following, but no other, activities:

(i) a controlled activity;

(ii) [Repealed]

(iii) a restricted discretionary, discretionary, or non-complying activity, but only if the activity is a boundary activity.

(iv) [Repealed]

(6) [Repealed]

- 9.1.2. The application is not subject to a rule or NES that precludes public notification. The application is not for a controlled activity. The proposal includes activities which are not boundary activities. Therefore Step 3 must be considered.

Step 3: If not precluded by Step 2, public notification required in certain circumstances

(7) Determine whether the application meets either of the criteria set out in subsection (8) and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, go to step 4.

(8) The criteria for step 3 are as follows:

(a) the application is for a resource consent for 1 or more activities, and any of those activities is subject to a rule or national environmental standard that requires public notification;



(b) the consent authority decides, in accordance with section 95D, that the activity will have or is likely to have adverse effects on the environment that are more than minor.

- 9.1.3. No applicable rules require public notification of the application. The proposal is not considered to have a more than minor effect on the environment as detailed in the sections above.

Step 4; Public notification in special circumstances

(9) Determine whether special circumstances exist in relation to the application that warrant the application being publicly notified and,—

(a) if the answer is yes, publicly notify the application; and

(b) if the answer is no, do not publicly notify the application, but determine whether to give limited notification of the application under section 95B.

- 9.1.4. There are no special circumstances that exist to justify public notification of the application. The proposed lot sizes are larger than most of the sites in the area, although are not out of character with the commercial zone in general. The proposal will maximise the potential of the site, which is currently underutilised by providing a range of housing, a retail/office space and an independent title around the town square. The landuse application is a result of one infringement which relates to vehicles needing to reverse off site from some of the proposed parking areas within Lots 1 & 3, however it is considered that all effects will be mitigated to a less than minor degree, as has been explained within this report. Effects on adjoining sites have been considered and have been found to be less than minor due to the nature of the breaches as well as the fact that the proposal will enable use of the sites which is consistent with the surrounding environment. Hence the proposal is not considered to be exceptional or unusual.

Public Notification Summary

- 9.1.5. From the assessment above it is considered that the application does not need to be publicly notified, but assessment of limited notification is required.

Limited Notification Assessment

- 9.2. If the application is not publicly notified, a consent authority must follow the steps of section 95B to determine whether to give limited notification of an application.

Step 1: Certain affected groups and affected persons must be notified

(2) Determine whether there are any—

(a) affected protected customary rights groups; or

(b) affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity).

(3) Determine—

(a) whether the proposed activity is on or adjacent to, or may affect, land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11; and

(b) whether the person to whom the statutory acknowledgement is made is an affected person under section 95E.

(4) Notify the application to each affected group identified under subsection (2) and each affected person identified under subsection (3).



- 9.2.1. No customary rights groups or marine titles groups are considered to be affected. The proposal is not known to be subject to a statutory acknowledgement area. As such, it is considered that no notification is required. Therefore, Step 2 must be considered.

Step 2: Limited notification precluded in certain circumstances

(5) Determine whether the application meets either of the criteria set out in subsection (6) and,—

(a) if the answer is yes, go to step 4 (step 3 does not apply); and

(b) if the answer is no, go to step 3.

(6) The criteria for step 2 are as follows:

(a) the application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification;

(b) the application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 9.2.2. There is no rule in the plan or national environmental standard that precludes notification. The application is not for a prescribed activity and is for a subdivision and landuse proposal. Therefore Step 2 does not apply and Step 3 must be considered.

Step 3: Certain other affected persons must be notified

(7) In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.

(8) In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

(9) Notify each affected person identified under subsections (7) and (8) of the application. The proposal is not for a boundary activity nor is it a prescribed activity.

- 9.2.3. The proposal does not contain a boundary activity.

In deciding who is an affected person under section 95E, a council under section 95E(2):

(2) The consent authority, in assessing an activity's adverse effects on a person for the purpose of this section,—

(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and

(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and

(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

- 9.2.4. A Council must not consider that a person is affected if they have given their written approval or it is unreasonable in the circumstances to seek that person's approval.
- 9.2.5. Written approval from adjoining properties have not been sought. These adjoining properties have been assessed and comments on each of the sites are as follows:





Figure 10: Image showing adjoining properties taken into consideration as part of this application.

138 Commerce Street / Part Lot 87 DP 10009 (orange shade)

9.2.6. This allotment contains an existing commercial building and is separated from the subject site (Proposed Lot 1) by West Lane. The existing parking provisions for this site are directly from Taffe Street, with no other parking provisions being provided from West Lane given the extent of the building. Given independent access to this site is from Taffe Street, with no access or parking provisions from West Lane, it is considered that the proposal will not create any adverse effects on the activities within this allotment, as they can continue with no change.

9.2.7. All effects from the proposal will be managed within the site boundaries. Adequate erosion and sediment control measures will be in place to ensure there are no downstream effects created.

9.2.8. Overall, as has been discussed within this report, the proposal is considered to not create any adverse effects on this allotment and as such written approval has not been sought.

130 Commerce Street / Part Lot 88 DP 10009 (blue shade) & 126 Commerce Street / Pt Lot 89 DP 10009 (red shade)

9.2.9. These allotments also contain a commercial building with frontage to Commerce Street, and additional loading/parking space at the rear where access appears to be from West Lane. West Lane will continue to separate the sites. Given the access and parking arrangements within 130 and 126 Commerce Street will remain unaffected, it is considered that the



proposal will not create any adverse effects on the activities within these allotments. All built development has been designed to provide privacy and separation from the commercial buildings. Access to the site will remain unimpeded.

- 9.2.10. 126 Commerce Street will adjoin proposed parking spaces for the retail/office space within Lot 3, along the southern boundary of 126 Commerce Street. This is considered to provide benefit to the existing businesses by providing informal overflow parking and access. The proposal is considered to support the businesses in the surrounding area.

112 Commerce Street / Lot 1 DP51253 (purple shade)

- 9.2.11. This allotment contains an existing office building. The proposed retail/office building will adjoin this allotment. The existing building at 112 Commerce Street does not have any windows along the northern face, such that effects in terms of privacy and visual effects will be less than minor as the building will not be seen from the existing office building. Furthermore, this type of development is consistent with other buildings along Commerce Street, where buildings directly adjoin each other.

- 9.2.12. Access to the rear of the existing office building at 112 Commerce Street will remain unaffected, with access and parking maintained from West Lane.

- 9.2.13. Overall, as has been discussed within this report, the proposal is considered to not create any adverse effects on this allotment and as such written approval has not been sought.

15 Puckey Ave / Pt Lot 297 DP14289 (yellow shade)

- 9.2.14. This allotment is owned and operated by Chorus. This allotment will directly adjoin the parking space within Proposed Lot 2, which is currently what the site adjoins. As such, there will be no change in use along the boundary of this site, such that no adverse effects are anticipated. Access to 15 Puckey Ave is directly from Puckey Ave, such that existing access and parking arrangements within the site will remain unimpeded.

- 9.2.15. Overall, as has been discussed within this report, the proposal is considered to not create any adverse effects on this allotment and as such written approval has not been sought.

Summary

- 9.2.16. Due to the proposal being residential and commercial in nature and the fact that the development will be consistent with the existing development on site and in the surrounding environment, there are no adjoining properties considered to be affected to a more than minor degree. Access and parking to the sites will remain unchanged and although the proposal will see a change of use, this is not considered objectionable given the previous history of the site as well as the underlying zoning which provides for development similar to that proposed.

- 9.2.17. As a result of the above and with respect to section 95B(8) and section 95E, the proposal is considered to have less than minor effects on all owners and occupiers of adjacent properties. Therefore Step 3 does not apply and Step 4 must be considered.



Step 4: Further notification in special circumstances

(10) whether special circumstances exist in relation to the application that warrant notification of the application to any other persons not already determined to be eligible for limited notification under this section (excluding persons assessed under section 95E as not being affected persons),

- 9.2.18. The proposal is to undertake a subdivision to allow for the proposed built development within the sites. The proposal will see an underutilised allotment transformed to provide additional housing and retail space which is much needed in the area. All effects will be managed within the site boundaries. It is considered that no special circumstances exist to warrant notification of the application to any other persons.

Limited Notification Assessment Summary

- 9.2.19. Overall, from the assessment undertaken Steps 1 to 4 do not apply and there are no other affected persons.

Notification Assessment Conclusion

- 9.3. Pursuant to sections 95A to 95G it is recommended that the Council determine the application be non-notified for the above mentioned reasons.

10. Part 2 Assessment

- 10.1. The application must be considered in relation to the purpose and principles of the Resource Management Act 1991 which are contained in Section 5 to 8 of the Act inclusive.
- 10.2. The proposal will meet Section 5 of the RMA as the proposal will sustain the potential of natural and physical resources whilst meeting the foreseeable needs of future generations. It is considered that the proposal will safeguard the life-supporting capacity of air, water, soil and ecosystems. In addition, the proposal will avoid adverse effects on the environment and will maintain the character of the site and surrounding environment.
- 10.3. Section 6 of the Act sets out a number of matters of national importance. The subject site is not located within the coastal environment or near lakes, rivers or wetlands. There are no outstanding natural features or landscapes which are considered to be affected, nor any areas of significant indigenous vegetation or habitats of fauna. Public access is not considered relevant in this instance. The proposal is not considered to affect the relationship of Māori and their culture and traditions nor will it affect any historic sites, with none being noted within the site and all works to proceed under the guidance of an ADP. The site is shown to be susceptible to flood hazards, however this has been accounted for within the proposed design. It is considered that the effects of this proposal on Section 6 of the Act are considered to be less than minor.
- 10.4. Section 7 identifies a number of “other matters” to be given particular regard by a Council in the consideration of any assessment for resource consent, including the maintenance and



enhancement of amenity values. The proposal maintains amenity values in the area as the proposal is in keeping with the existing character of the surrounding environment.

- 10.5. Section 8 requires Council to take into account the principals of the Treaty of Waitangi. It is considered that the proposal raises no Treaty issues. The proposal has taken into account the principals of the Treaty of Waitangi and is not considered to be contrary to these principals.
- 10.6. Overall, the application is considered to be consistent with the relevant provisions of Part 2 of the Act, as expressed through the objectives, policies and rules reviewed in earlier sections of this application. Given that consistency, we conclude that the proposal achieves the purposes of sustainable management set out by Sections 5-8 of the Act.

11. Conclusion

- 11.1. The proposal is to undertake a subdivision of Lots 292- 296 DP14289, Pt Lot 90-91 DP10009 & Pt Lot 1-2 DP40670. The proposal is to adjust the boundaries which will result in parcels of land to reflect the current and proposed land uses, which are also being applied for as part of this application. The proposal will not increase the number of titles across the proposed allotments and will in fact reduce the number of titles by one.
- 11.2. A landuse application has also been applied for to cover the infringements relating to car parking where some car parks are required to reverse offsite for the development within Lots 1 & 3.
- 11.3. Due to the existing pattern of development in the area it is not considered that there are any adverse cumulative effects, and that the proposal does not result in degradation of the character of the surrounding environment.
- 11.4. In terms of section 104(1)(a) of the Act, the actual and potential effects of the proposal will be no more than minor.
- 11.5. It is also considered that the proposal will have no more than minor adverse effects on the wider environment; no other persons will be adversely affected by the proposal and there are no special circumstances.
- 11.6. The relevant provisions within Part 2 of the Act have been addressed as part of this application. The overall conclusion from the assessment of the statutory considerations is that the proposal is considered to be consistent with the sustainable management purpose of the Resource Management Act 1991.
- 11.7. It is considered that the proposal results in no more than minor effects on the environment and the proposal is generally consistent with the relevant objectives and policies set out under the District Plan, Proposed District Plan and Regional Policy Statement. The development is considered appropriate for consent to be granted on a non-notified basis.



12. LIMITATIONS

- 12.1. This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 12.2. Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.
- 12.3. Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 12.4. Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.





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R.W. Muir
Registrar-General
of Land

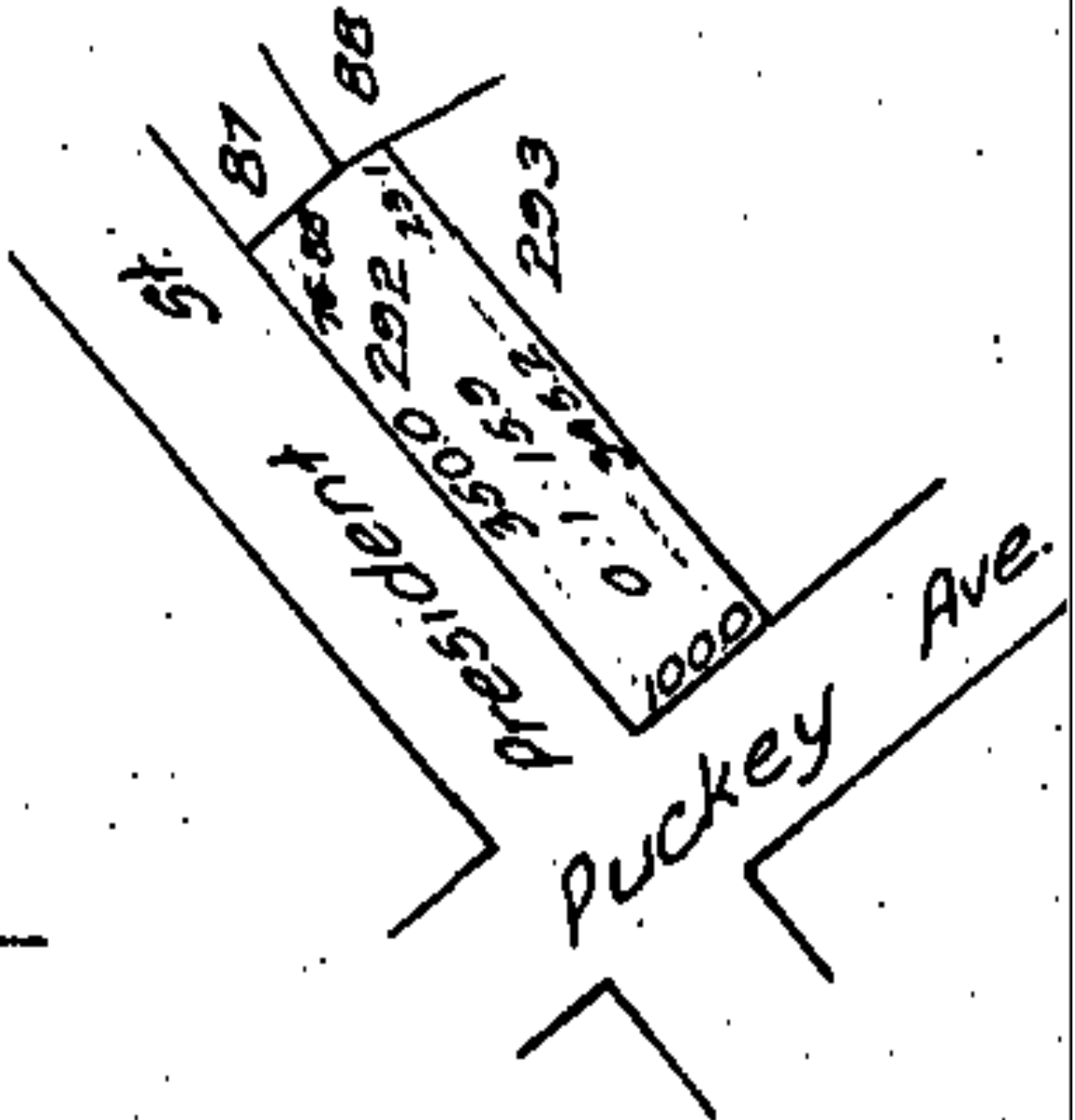
Identifier **NA677/143**
Land Registration District **North Auckland**
Date Issued 25 June 1936

Prior References
NA412/200

Estate Fee Simple
Area 1414 square metres more or less
Legal Description Lot 292 Deposited Plan 14289
Registered Owners
Far North Holdings Limited

Interests

Fencing Agreement in Transfer 277891 - 25.6.1936
B992336.1 CERTIFICATE PURSUANT TO SECTION 643 (2) LOCAL GOVERNMENT ACT 1974 (AFFECTS CST
NA616/213, NA413/116 AND NA671/63) - 17.5.1989 AT 9.40 AM
Land Covenant in Easement Instrument 6925573.3 - 28.6.2006 at 9:00 am





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Identifier

NA616/213

Part-Cancelled

Land Registration District **North Auckland**

Date Issued 27 August 1930

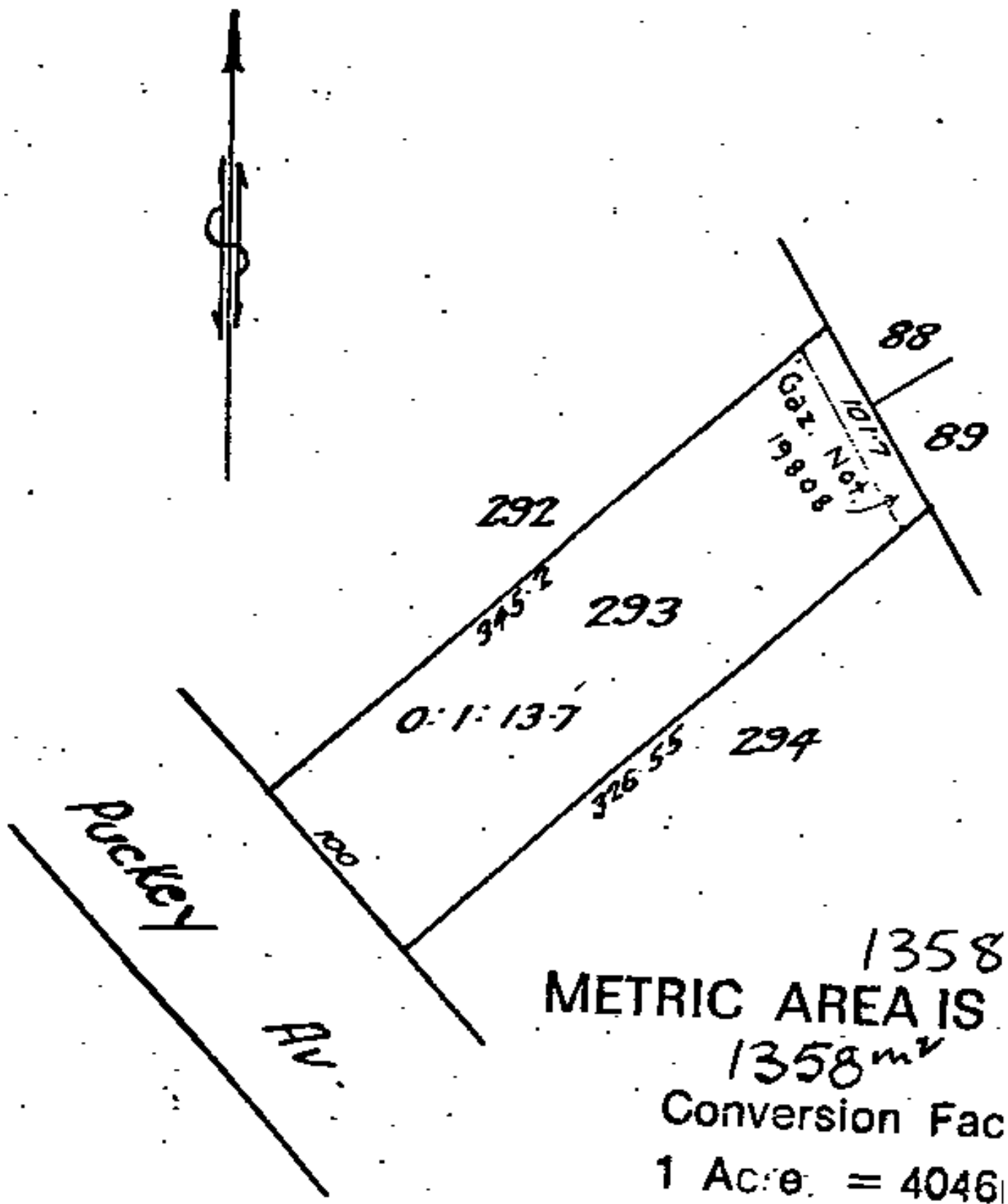
Prior References

NA412/200

Estate	Fee Simple
Area	1358 square metres more or less
Legal Description	Lot 293 Deposited Plan 14289
Registered Owners	
Far North Holdings Limited	

Interests

19808 Gazette Notice declaring part to be taken for a service lane and vesting the same in The Kaitaia Borough Council - 12.6.1963 at 12.12 pm
B992336.1 CERTIFICATE PURSUANT TO SECTION 643 (2) LOCAL GOVERNMENT ACT 1974 (AFFECTS C.T. NA413/116, NA667/143 AND NA671/63) - 17.5.1989 AT 9.40 AM
Land Covenant in Easement Instrument 6925573.3 - 28.6.2006 at 9:00 am





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Identifier

NA671/63

Part-Cancelled

Land Registration District **North Auckland**

Date Issued 20 January 1936

Prior References

NA633/149

Estate	Fee Simple
Area	2213 square metres more or less
Legal Description	Lot 294 and Lot 296 Deposited Plan 14289
Registered Owners	
Far North Holdings Limited	

Interests

19808 Gazette Notice declaring parts within land to be taken for a service land and vesting the same in the Kaitaia Borough Council - 12.6.1963 at 12.12 pm

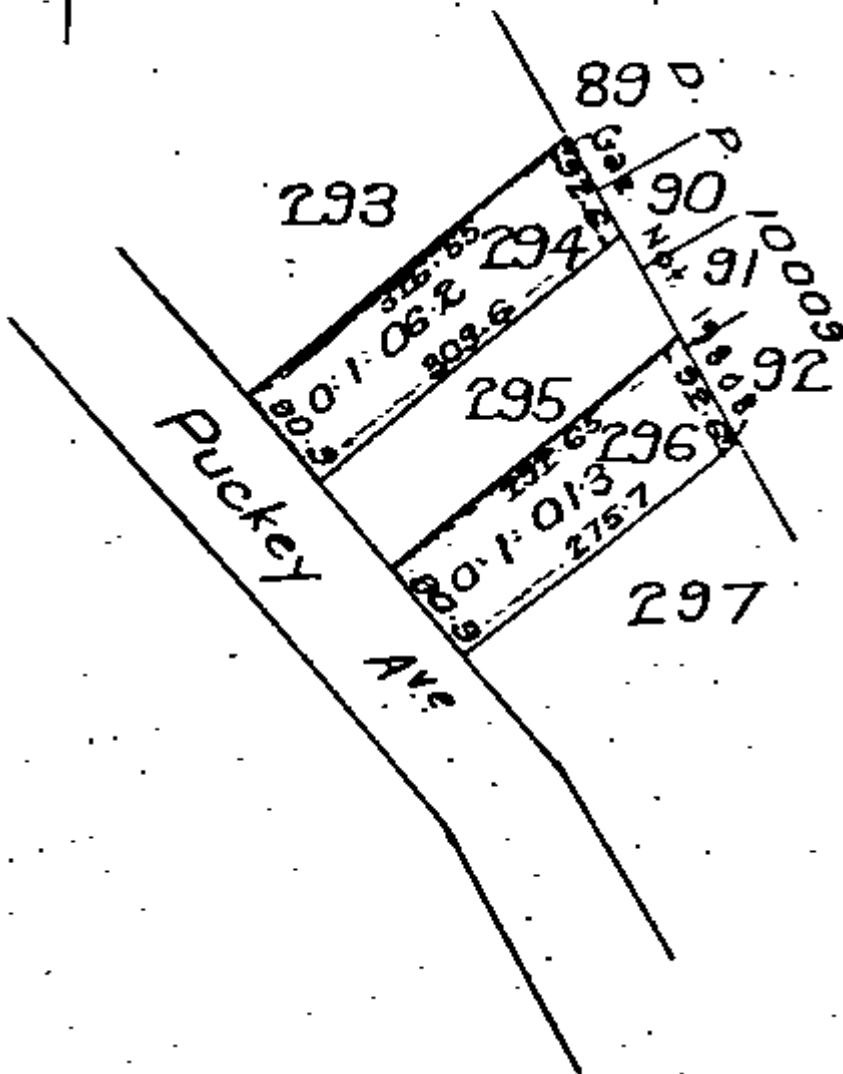
B992336.1 CERTIFICATE PURSUANT TO SECTION 643 (2) LOCAL GOVERNMENT ACT 1974 (AFFECTS CST NA616/213, NA613/116 AND NA413/116) - 17.5.1989 AT 9.40 AM

Land Covenant in Easement Instrument 6925573.3 - 28.6.2006 at 9:00 am

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 AREA IS 2213m²
 2213m²





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UNDER LAND TRANSFER ACT 2017
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Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier

NA413/116

Part-Cancelled

Land Registration District **North Auckland**

Date Issued 20 May 1925

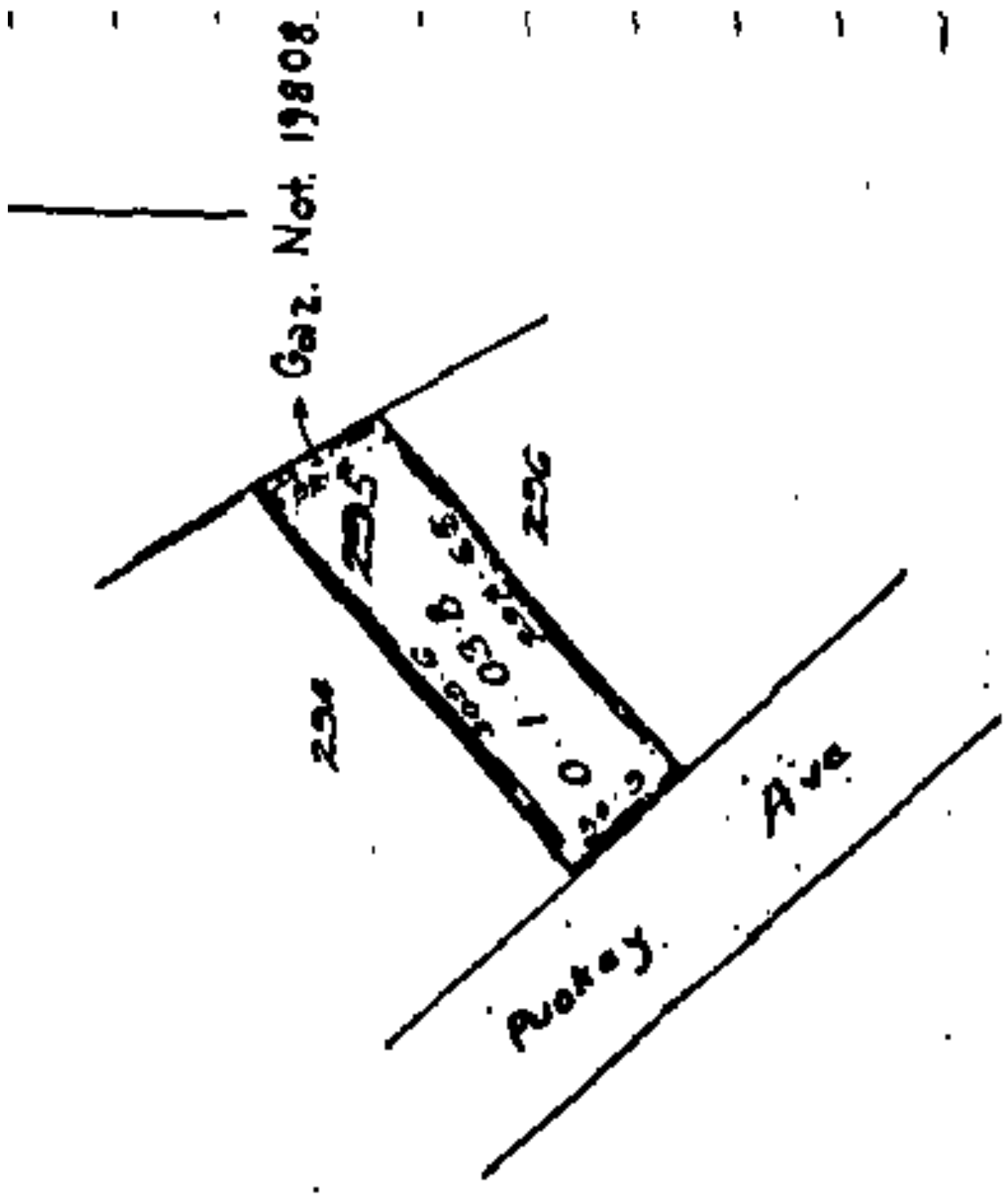
Prior References

NA412/200

Estate	Fee Simple
Area	1108 square metres more or less
Legal Description	Lot 295 Deposited Plan 14289
Registered Owners	
Far North Holdings Limited	

Interests

19808 Gazette Notice declaring part to be taken for a service lane and vesting the name in the Kaitia Borough Council - 12.6.1963 at 12.12 pm
B992336.1 CERTIFICATE PURSUANT TO SECTION 643(2) LOCAL GOVERNMENT ACT 1974 (AFFECTS CST NA616/213, NA677/143 AND NA671/63) - 17.5.1989 AT 9.40 AM
Land Covenant in Easement Instrument 6925573.3 - 28.6.2006 at 9:00 am





**RECORD OF TITLE
UNDER LAND TRANSFER ACT 2017
FREEHOLD**

**Guaranteed Search Copy issued under Section 60 of the Land
Transfer Act 2017**




R.W. Muir
Registrar-General
of Land

Identifier **NA11D/226**
Land Registration District **North Auckland**
Date Issued 23 June 1967

Prior References

NA1041/80 NA1101/172 NA317/106
NA692/46

Estate Fee Simple
Area 2045 square metres more or less
Legal Description Part Lot 90-91 Deposited Plan 10009 and
Part Lot 1-2 Deposited Plan 40670

Registered Owners

Far North Holdings Limited

Interests

Fencing Agreement in Transfer 109370 (affects part Lots 1 and 2 DP 40670)
Fencing Agreement in Transfer 134674 (affects part Lot 91 DP 10009)
Fencing Agreement in Transfer 182363 (affects part Lot 90 DP 10009)

CAREA IS 2045m²
2045m²

Area Factors:

Area = 4048m²

Perim = 25.23m

Link = 2012 metres

Commence St

Pl 90

215.20

26.19p

DP 100091

Pl 91

26.19p

Pl 1

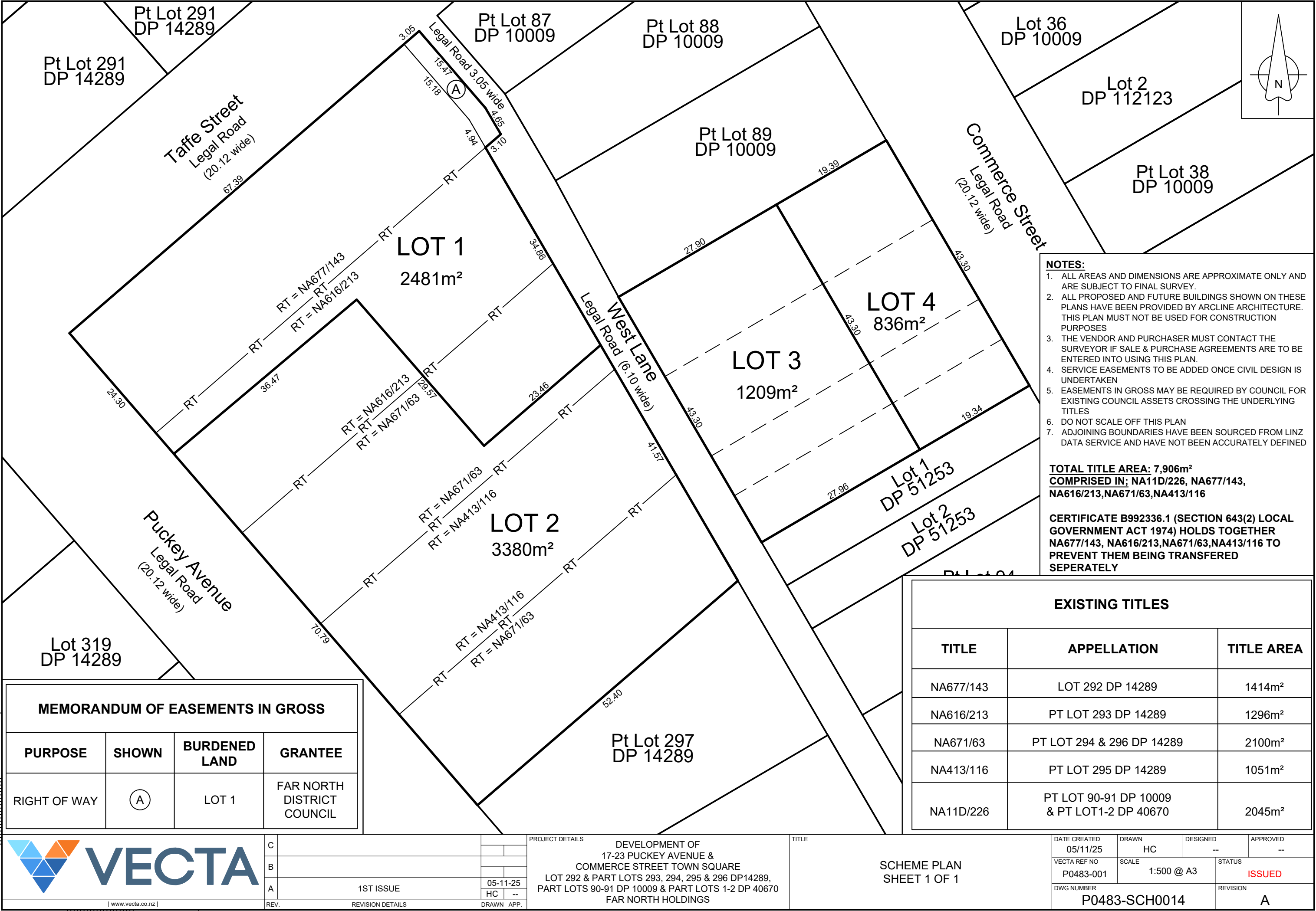
215.22

Pl 2

13.13p

DP 406704

15.34p.06
235




- NOTES:**
- 1. ALL AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY.
 - 2. ALL PROPOSED AND FUTURE BUILDINGS SHOWN ON THESE PLANS HAVE BEEN PROVIDED BY ARCLINE ARCHITECTURE. THIS PLAN MUST NOT BE USED FOR CONSTRUCTION PURPOSES
 - 3. THE VENDOR AND PURCHASER MUST CONTACT THE SURVEYOR IF SALE & PURCHASE AGREEMENTS ARE TO BE ENTERED INTO USING THIS PLAN.
 - 4. SERVICE EASEMENTS TO BE ADDED ONCE CIVIL DESIGN IS UNDERTAKEN
 - 5. EASEMENTS IN GROSS MAY BE REQUIRED BY COUNCIL FOR EXISTING COUNCIL ASSETS CROSSING THE UNDERLYING TITLES
 - 6. DO NOT SCALE OFF THIS PLAN
 - 7. ADJOINING BOUNDARIES HAVE BEEN SOURCED FROM LINZ DATA SERVICE AND HAVE NOT BEEN ACCURATELY DEFINED

TOTAL TITLE AREA: 7,906m²
COMPRISED IN; NA11D/226, NA677/143, NA616/213,NA671/63,NA413/116

CERTIFICATE B992336.1 (SECTION 643(2) LOCAL GOVERNMENT ACT 1974) HOLDS TOGETHER NA677/143, NA616/213,NA671/63,NA413/116 TO PREVENT THEM BEING TRANSFERED SEPERATELY

EXISTING TITLES		
TITLE	APPELLATION	TITLE AREA
NA677/143	LOT 292 DP 14289	1414m²
NA616/213	PT LOT 293 DP 14289	1296m²
NA671/63	PT LOT 294 & 296 DP 14289	2100m²
NA413/116	PT LOT 295 DP 14289	1051m²
NA11D/226	PT LOT 90-91 DP 10009 & PT LOT1-2 DP 40670	2045m²

MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND	GRANTEE
RIGHT OF WAY	(A)	LOT 1	FAR NORTH DISTRICT COUNCIL

 www.vecta.co.nz	C			
	B			
	A	1ST ISSUE	05-11-25	HC --
	REV.	REVISION DETAILS	DRAWN	APP.

PROJECT DETAILS

DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE
LOT 292 & PART LOTS 293, 294, 295 & 296 DP14289,
PART LOTS 90-91 DP 10009 & PART LOTS 1-2 DP 40670
FAR NORTH HOLDINGS

TITLE

SCHEME PLAN
SHEET 1 OF 1

DATE CREATED 05/11/25	DRAWN HC	DESIGNED --	APPROVED --
VECTA REF NO P0483-001	SCALE 1:500 @ A3	STATUS ISSUED	
DWG NUMBER P0483-SCH0014		REVISION A	

0 10 20 SCALE 1:500

	SHEET INDEX
A0001	Cover Page
A0002	Presentation
A0003	Presentation
A0004	Presentation
A0005	Presentation
A0006	Presentation
A1001	Location Plan
A1003	Existing Site Plan
A1004	Proposed Site Plan
A1501	Lower Floor Plans
A1502	Upper Floor Plans
A2001	Elevations Block A
A2002	Elevations Block A
A2003	Elevations Block B
A2004	Elevations Block B
A2005	Elevations Block C
A2006	Elevations Block C
A2007	Elevations Block D
A2008	Elevations Block D
A2009	Elevations Block E
A2010	Elevations Block E
A2011	Elevations Office, Retail

FAR NORTH HOUSING

17-21 PUCKEY AVE DEVELOPMENT

KAITAIA





CLIENT CONCEPT APPROVAL

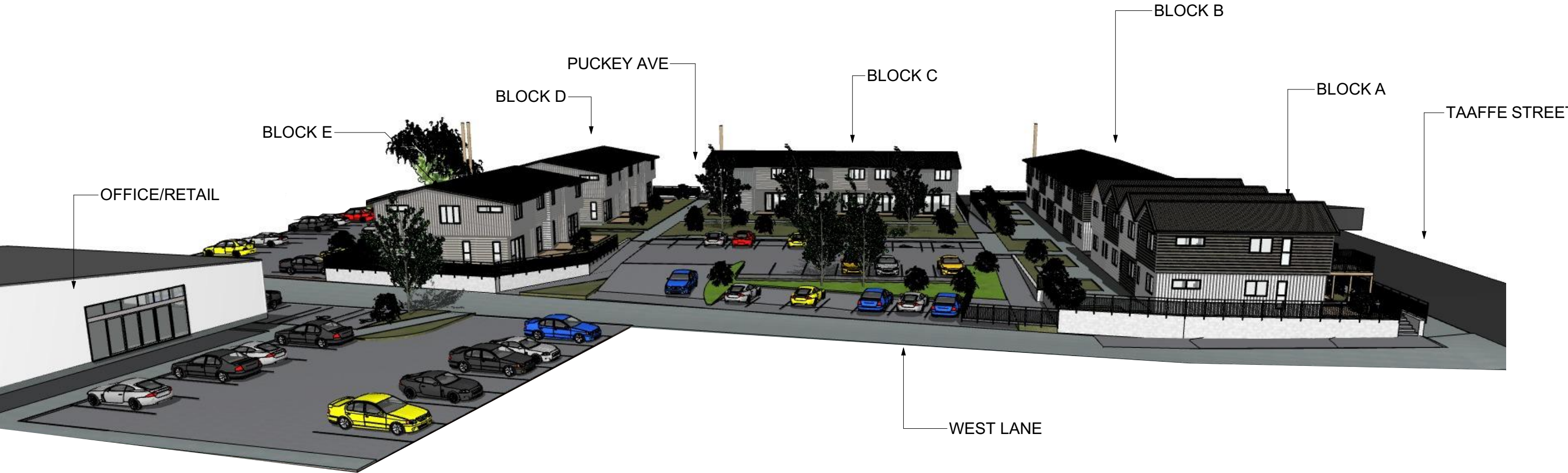
CONCEPT PLAN APPROVED BY CLIENT TO
PROCEED TO DETAILED DESIGN.

DATE: _____

SIGNED: _____

NOTE: CHANGES TO PLANS ONCE CONCEPT
APPROVAL SIGNED ARE LIABLE TO INCUR
ADDITIONAL CHARGES.

SITE PLAN NOTES:	
	A1-END UNIT - ACCESSIBLE (GROUND FLOOR) 1 BED (4) A1-END UNIT - STANDARD (UPPER FLOOR) 1 BED (4)
	A2-MID UNIT - ACCESSIBLE (GROUND FLOOR) 1 BED (7) A2-MID UNIT - STANDARD (UPPER FLOOR) 1 BED (7)
	A3-MID UNIT - STANDARD (2 FLOOR) 2 BED (9)
	A4-END UNIT - STANDARD (2 FLOOR) 3 BED (6)
TOTAL UNITS = 37	



CLIENT CONCEPT APPROVAL

CONCEPT PLAN APPROVED BY CLIENT TO PROCEED TO DETAILED DESIGN.

DATE: _____

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NOTE: CHANGES TO PLANS ONCE CONCEPT APPROVAL SIGNED ARE LIABLE TO INCUR ADDITIONAL CHARGES.



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Resene Touchstone cc

Resene Touchstone is a dark Lydian stone, full of warmth and velvet depth. Also available as a Resene CoolColour. A change in tone or product may be required for some colours to achieve a Resene CoolColour effect.

Colours are a representation only. Please refer to the actual paint or product sample. Resene colour charts, testpots and samples are available for ordering online. See [measurements](#) / [conversions](#) for more details on how electronic colour values are achieved.

Order colour samples / colour charts

Testpots Drawdowns Self adhesive labels

Colour information

Total colour code:	N45-008-083
Chart colour code:	-
Tone:	Mid/Mid grey
Colour palette:	Neutral
RGB:	82 79 70
Hex:	#524F46
Lab:	33.62 -0.57 5.76
CMYK:	0 4 15 68
Approximate LRV:	14

View colour menu...



Download | Search for more colours

Complementary colours

	Resene Eighth Friar Grey
	Resene Sea Fog
	Resene Scoria

Find similar colours

Find colours Close to RGB #

82 79 70

Find colours

View colour menu...

Resene Half Truffle cc

Resene Half Truffle is an oyster of the earth, a delicious beige morsel to consume. Also available as a Resene CoolColour. A change in tone or product may be required for some colours to achieve a Resene CoolColour effect.

Colours are a representation only. Please refer to the actual paint or product sample. Resene colour charts, testpots and samples are available for ordering online. See [measurements](#) / [conversions](#) for more details on how electronic colour values are achieved.

Order colour samples / colour charts

Testpots Drawdowns Self adhesive labels

Colour information

Total colour code:	Y84-009-084
Chart colour code:	6.5B031
Tone:	White
Colour palette:	Yellow
RGB:	205 201 190
Hex:	#CDC9BE
Lab:	81.00 -0.55 5.98
CMYK:	0 2 7 20
Approximate LRV:	64

View colour menu...



Download | Search for more colours

Complementary colours

	Resene Truffle
	Resene Travertine
	Resene Sorrento

Curtain recommendations

	Resene Lyrical - Naturelle
	Resene Ripple - Charcoal

Find similar colours

Find colours Close to RGB #

Resene Innocence cc

Resene Innocence is a damp gabardine grey green, resolute and quietly uncomplicated. Also available as a Resene CoolColour. A change in tone or product may be required for some colours to achieve a Resene CoolColour effect.

Colours are a representation only. Please refer to the actual paint or product sample. Resene colour charts, testpots and samples are available for ordering online. See [measurements](#) / [conversions](#) for more details on how electronic colour values are achieved.

Order colour samples / colour charts

Drawdowns Self-Adhesive Labels Testpots

Colour information

Total colour code:	G59-009-179
Chart colour code:	-
Tone:	Pastel
Colour palette:	Green
RGB:	109 119 115
Hex:	#6D7773
Lab:	49.11 -4.58 0.91
CMYK:	8 0 3 53
Approximate LRV:	27

Resene Eighth Tapa cc

Resene Eighth Tapa is a tint of grey with a myriad of complex underhues. Also available as a Resene CoolColour. A change in tone or product may be required for some colours to achieve a Resene CoolColour effect.

Colours are a representation only. Please refer to the actual paint or product sample. Resene colour charts, testpots and samples are available for ordering online. See [measurements](#) / [conversions](#) for more details on how electronic colour values are achieved.

Order colour samples / colour charts

Testpots Drawdowns Self-Adhesive Labels

Colour information

Total colour code:	N78-005-103
Chart colour code:	-
Tone:	White
Colour palette:	Neutral
RGB:	183 184 178
Hex:	#B7B8B2
Lab:	74.55 -1.45 2.92
CMYK:	1 0 3 28
Approximate LRV:	54



Download | Search for more colours

Complementary colours

	Resene Zibibbo
	Resene Legend
	Resene Half Oilskin

Curtain recommendations

	Resene Garden Party - Nautilus
	Resene Lyrical - Hydra
	Resene Maze - Charcoal

Find similar colours



Download | Search for more colours

Complementary colours

	Resene Sea Fog
	Resene Gravel
	Resene Feverpitch

Find similar colours

Find colours Close to RGB #

183 184 178

Find colours

Resene Sea Fog

Resene Sea Fog is a versatile white with a hint of grey, best used with muted rather than bright colours. Recommended complementary colours are from the Resene Total Colour System and may not be included in this Resene special palette.

Colours are a representation only. Please refer to the actual paint or product sample. Resene colour charts, testpots and samples are available for ordering online. See [measurements](#) / [conversions](#) for more details on how electronic colour values are achieved.

Order colour samples / colour charts

Testpots Drawdowns Self adhesive labels

Colour information

Total colour code:	N92-005-100
Chart colour code:	8B030
Tone:	White
Colour palette:	Neutral
RGB:	233 231 227
Hex:	#E9E7E3
Lab:	91.63 -0.12 2.18
CMYK:	0 1 3 9
Approximate LRV:	81

View colour menu...



Download | Search for more colours

Complementary colours

	Resene Alabaster
	Resene Eternity
	Resene Jaguar

Curtain recommendations

	Resene Influence - Charcoal
--	-----------------------------

Find similar colours

Find colours Close to RGB #

233 231 227

Resene Quarter Stonehenge cc

Resene Quarter Stonehenge is a soft Cambrian stone, timeless and enduring. Also available as a Resene CoolColour. A change in tone or product may be required for some colours to achieve a Resene CoolColour effect. View on The Range Whites & Neutrals (2014) or the Resene Whites & Neutrals palette W17.

Colours are a representation only. Please refer to the actual paint or product sample. Resene colour charts, testpots and samples are available for ordering online. See [measurements](#) / [conversions](#) for more details on how electronic colour values are achieved.

Order colour samples / colour charts

Testpots Drawdowns Self adhesive labels

Colour information

Total colour code:	BR75-009-075
Chart colour code:	7GR90
Tone:	White
Colour palette:	Brown
RGB:	171 165 158
Hex:	#ABA59E
Lab:	68.05 0.89 4.39
CMYK:	0 4 8 33
Approximate LRV:	48

Resene Eighth Ironsand cc

N51-006-073



Resene Eighth Ironsand is a smoky grey brown, warm and cocooning.

Products

Testpot 60ml



* Colours are a representation only. Always try a Resene testpot or view a physical colour sample before making your final choice.

Similar Colours

Scheme 1 - UNITS D & E

Three schemes which can be repeated on units.

Roof, Fascias, Railings and windows: Touchstone

Doors: Cedar look -

Soffit: Resene Sea Fog

Unit One walls: Quarter Arrowtown

Unit Two walls: Half Truffle

Unit Three walls: Quarter Stonehenge

Optional feature walls: Eighth Ironsand

Scheme 2 - UNIT C

Roof, Fascias, Railings and Joinery: Touchstone

Doors: Cedar look -

Soffit: Resene Sea Fog

Unit One walls: Resene Eighth Tapa

Optional Feature: Resene Innocence

Unit Two Walls: Resene Quarter Arrowtown

Optional Feature: Resene Touchstone

Scheme 3 - UNITS A & B

Roof, Fascias, Railings and windows: Touchstone

Doors: Cedar look -

Soffit: Resene Sea Fog

Walls: Resene Sea Fog

Optional feature walls: Touchstone

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NOTE: CHANGES TO PLANS ONCE CONCEPT APPROVAL SIGNED ARE LIABLE TO INCUR ADDITIONAL CHARGES.



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Architecture

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FAR NORTH
HOUSING

Presentation

FAR NORTH HOUSING

17-21 PUCKEY AVE, DEVELOPMENT
KAITAIA

Rev No. Revision

Date

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NTS

Drawn By

SE

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3/12/2025

1:12 pm

Sheet No:

A0006

RC SET



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SITE PLAN NOTES:

- A1-END UNIT - ACCESSIBLE (GROUND FLOOR) 1 BED (4)
A1-END UNIT - STANDARD (UPPER FLOOR) 1 BED (4)
- A2-MID UNIT - ACCESSIBLE (GROUND FLOOR) 1 BED (7)
A2-MID UNIT - STANDARD (UPPER FLOOR) 1 BED (7)
- A3-MID UNIT - STANDARD (2 FLOOR) 2 BED (9)
- A4-END UNIT - STANDARD (2 FLOOR) 3 BED (6)

TOTAL UNITS = 37

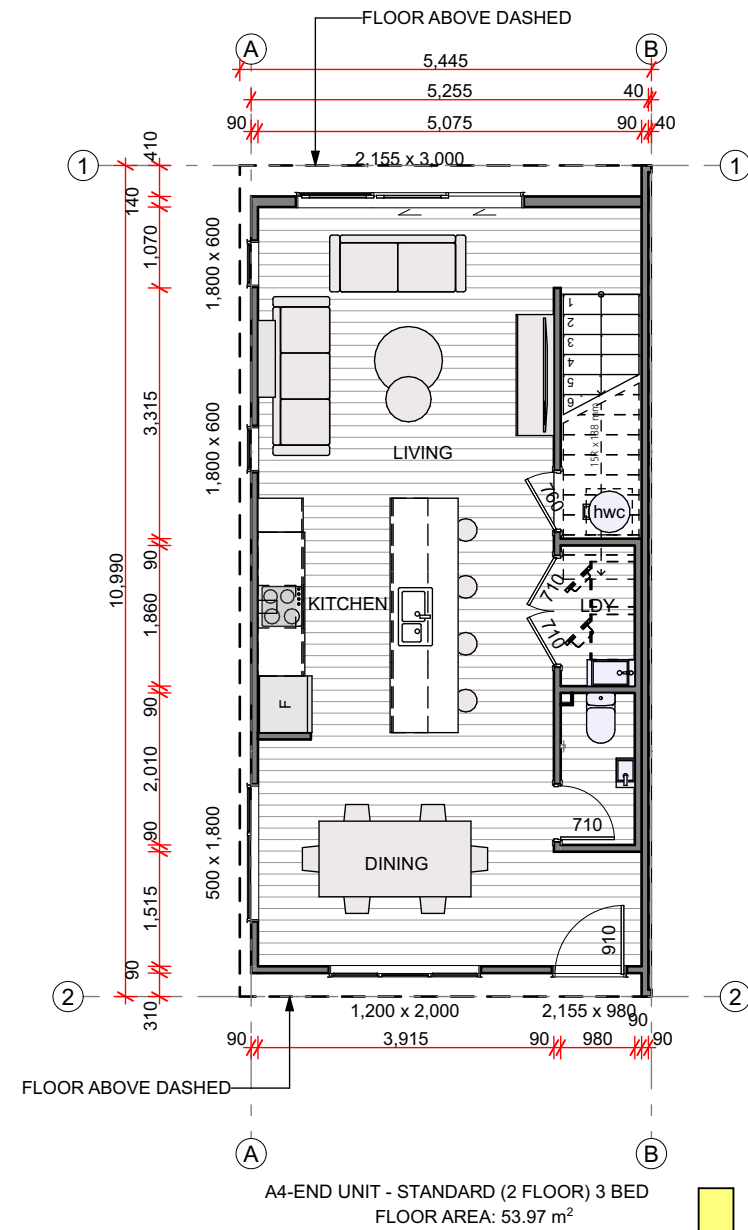
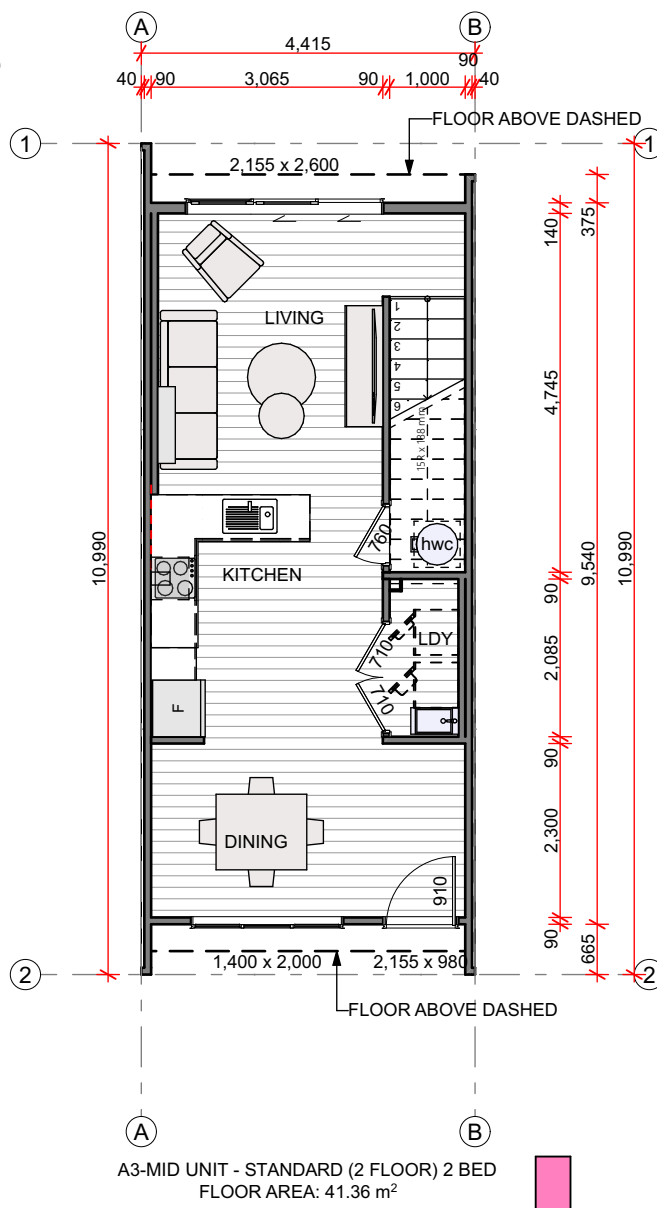
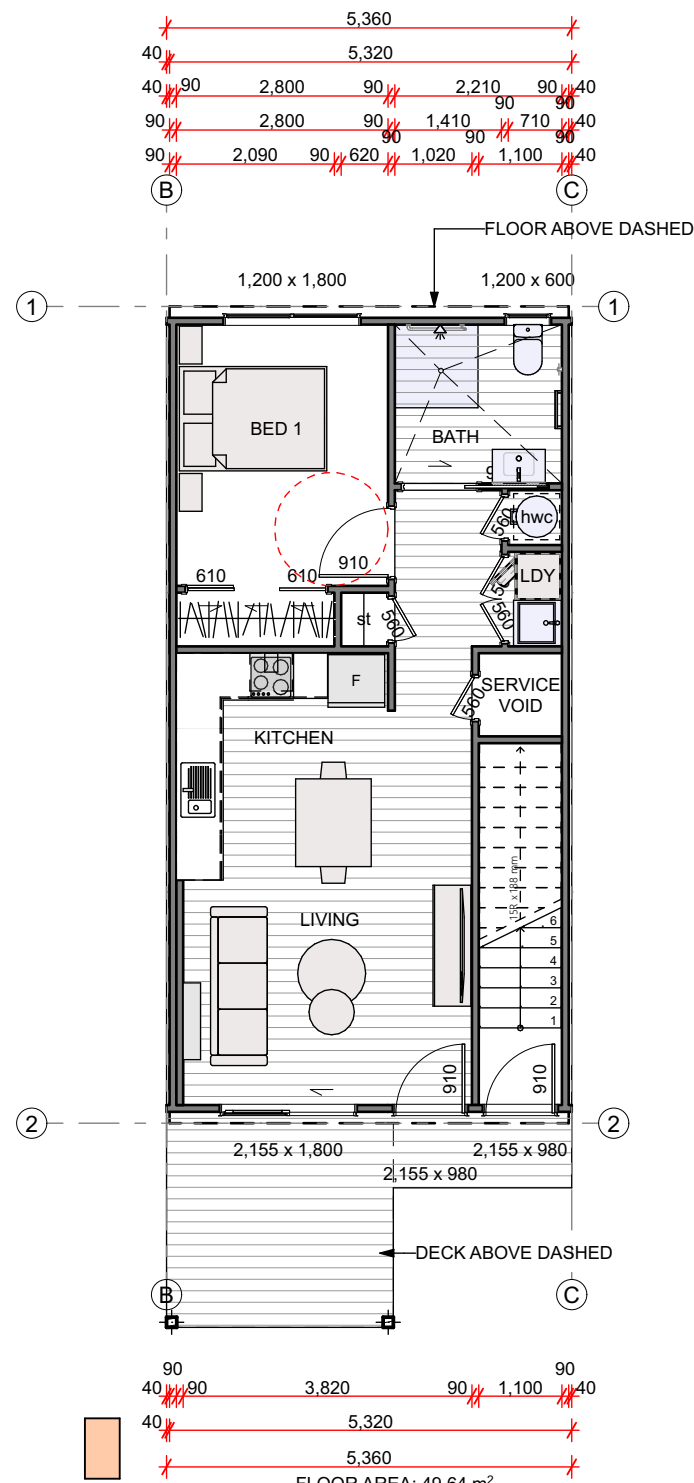
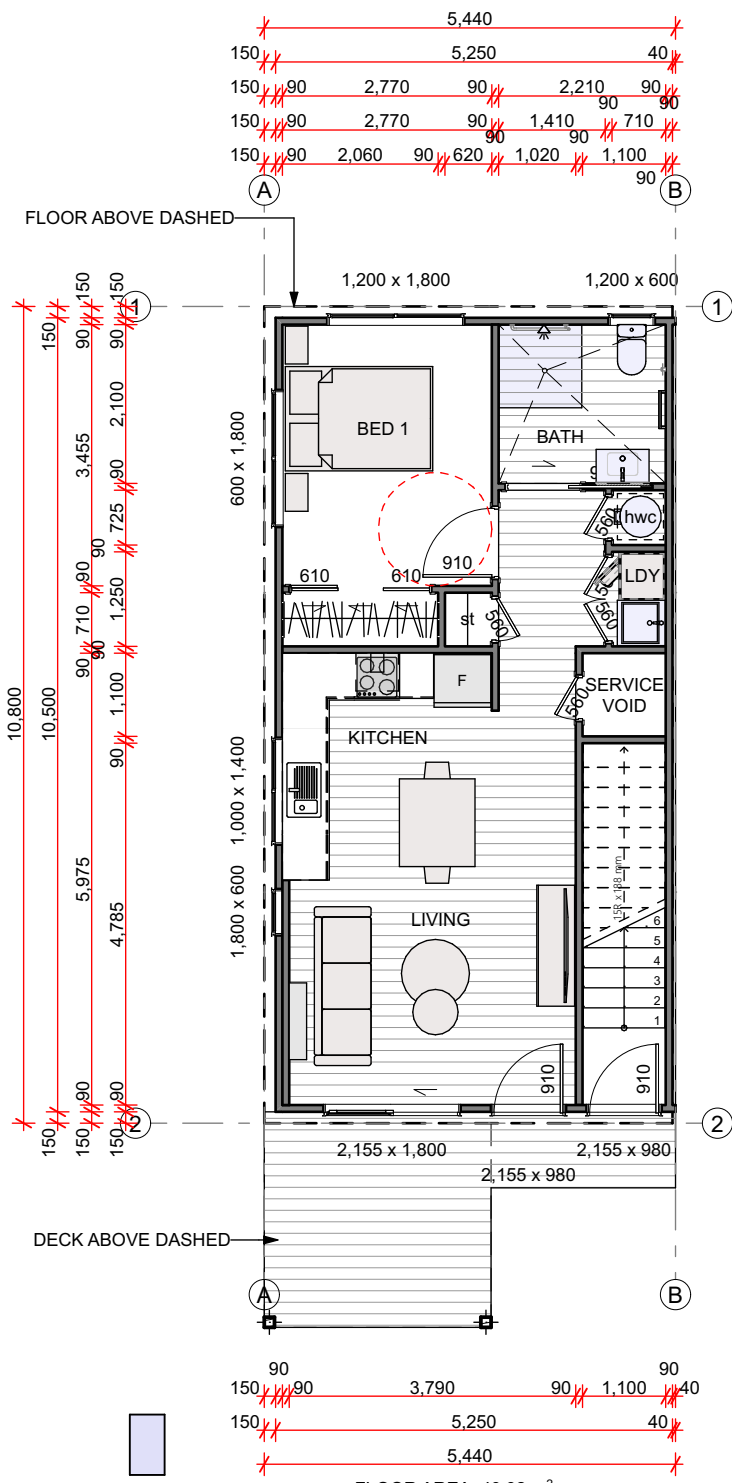
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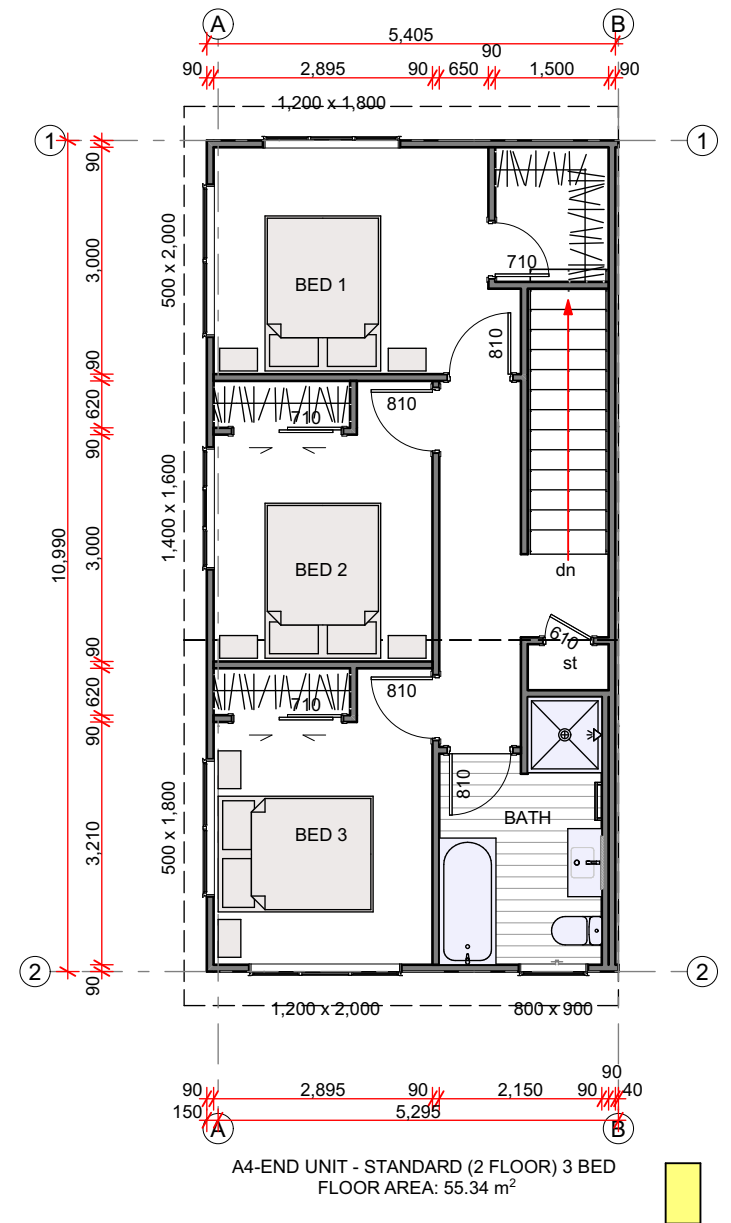
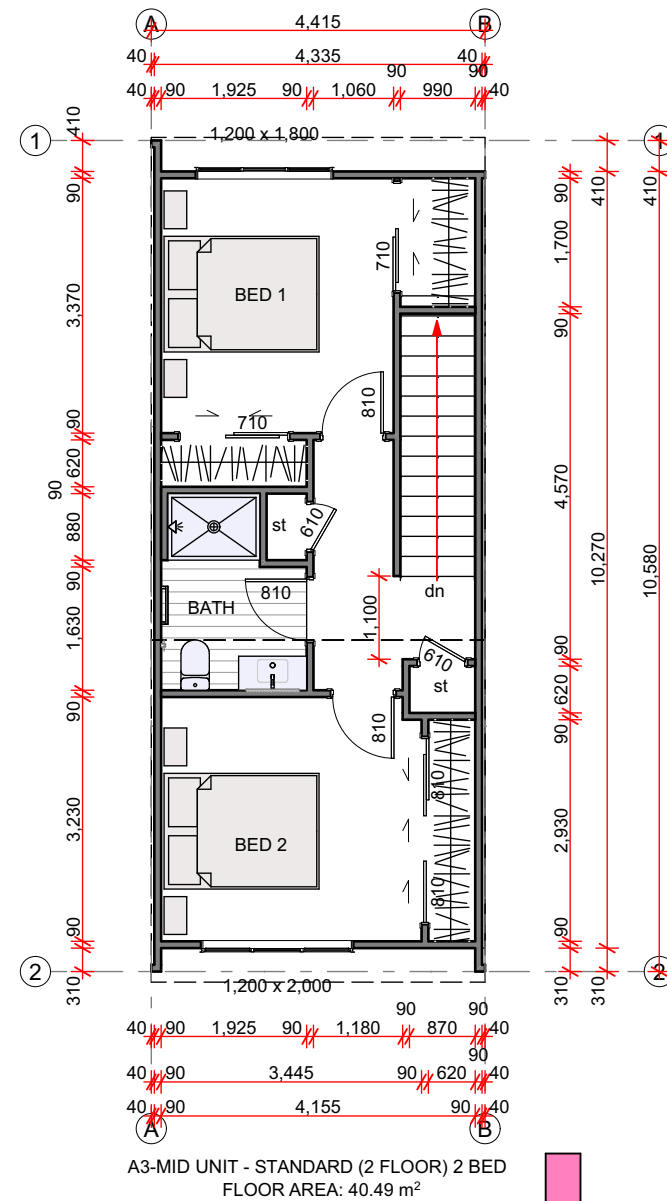
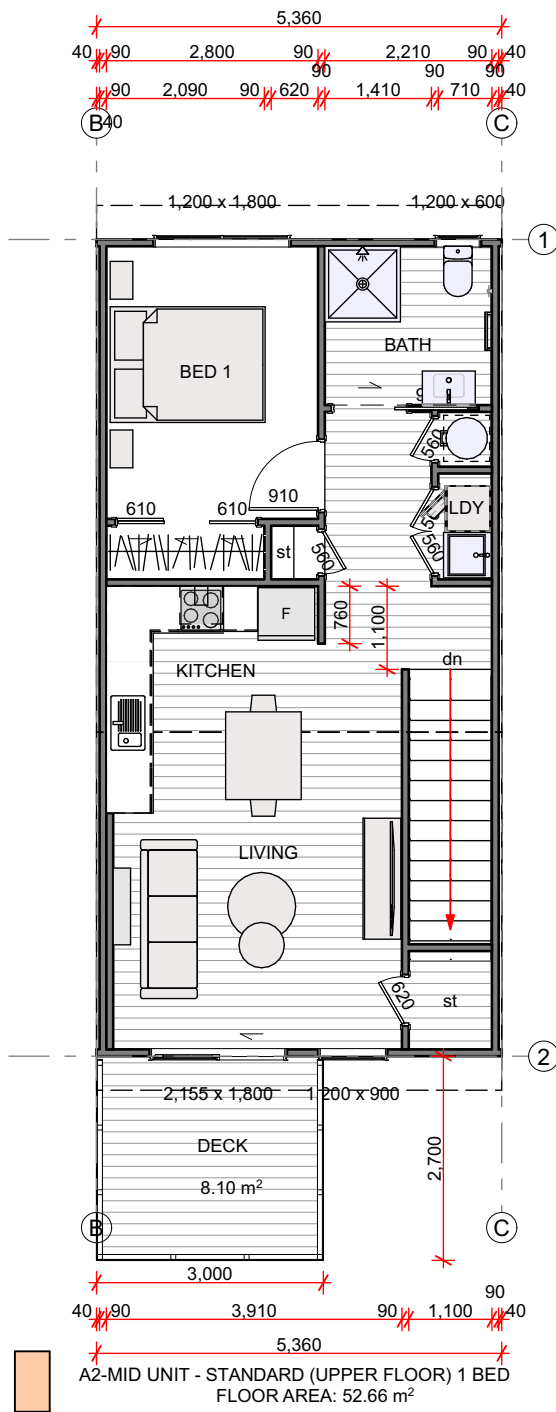
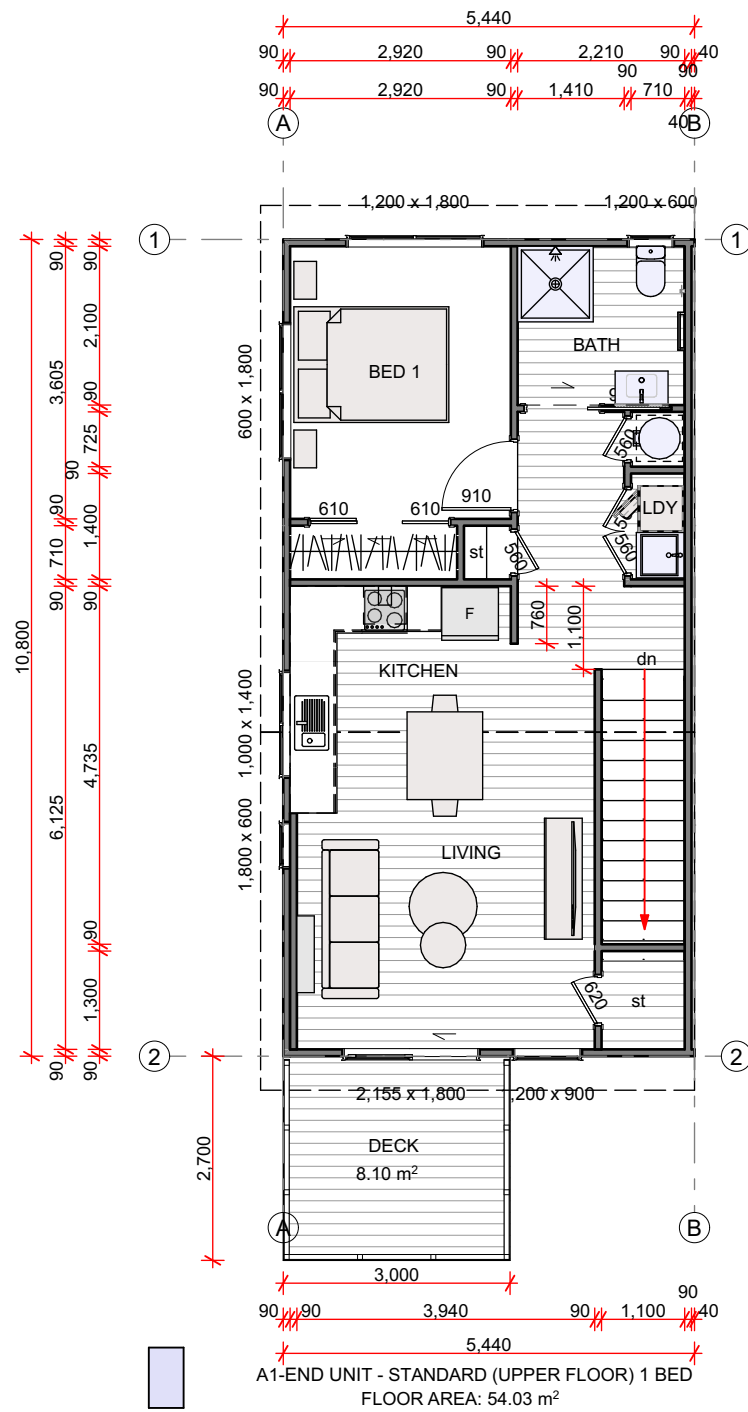
- PROVIDE LEVEL LANDING AT EVERY 750mm HEIGHT DIFFERENCE TO PATHS AND RAMPS.
- 400mm WIDE DECK STRIP TO FRONT AND REAR OF ALL UNITS, TO PROVIDE A LEVEL ENTRY.

SITE WORKS

TOTAL AREA OF FILL = 4800m²

TOTAL VOLUME OF FILL = 5200m³

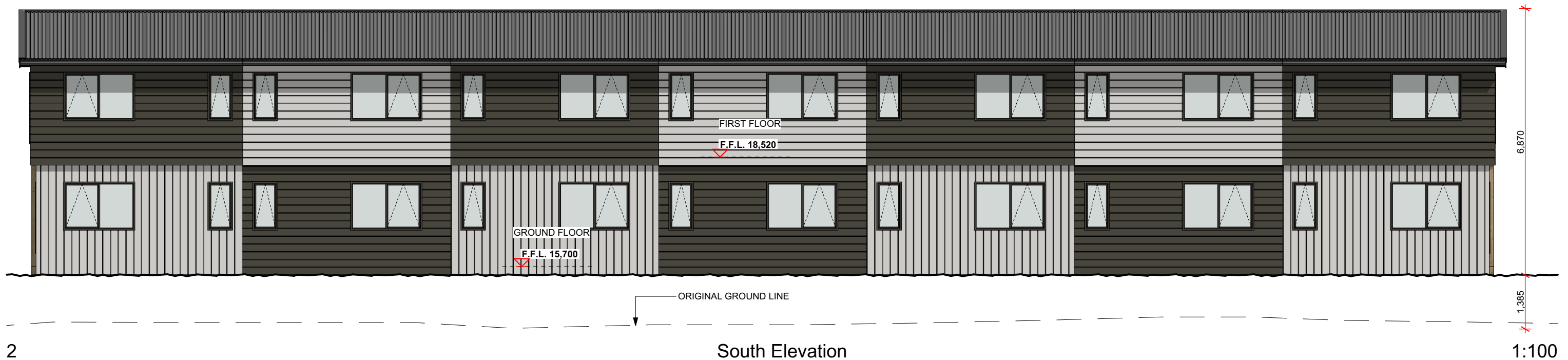
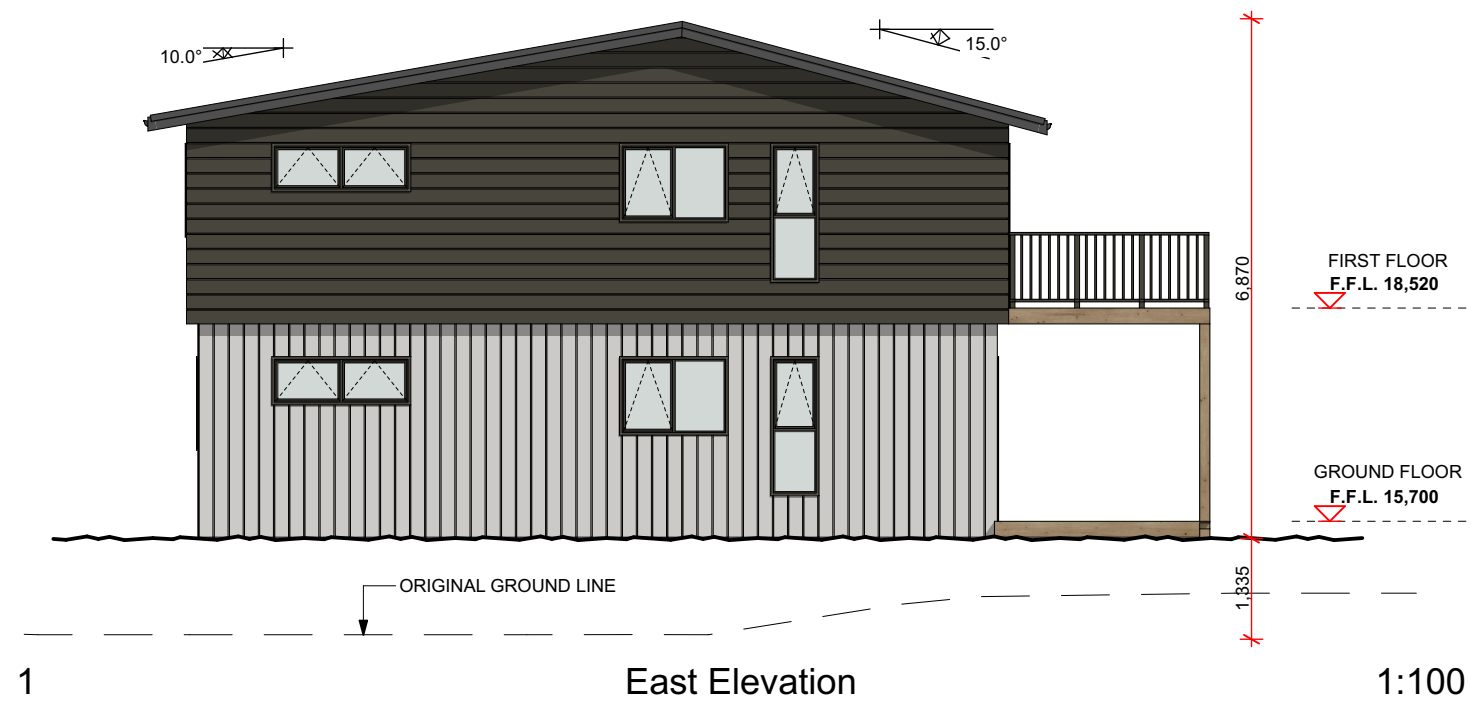














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Architecture

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(Email): info@arcline.co.nz
(Web): www.arcline.co.nz



FAR NORTH
HOUSING

Elevations Block C

FAR NORTH HOUSING

17-21 PUCKEY AVE, DEVELOPMENT
KAITAIA

Rev No. Revision

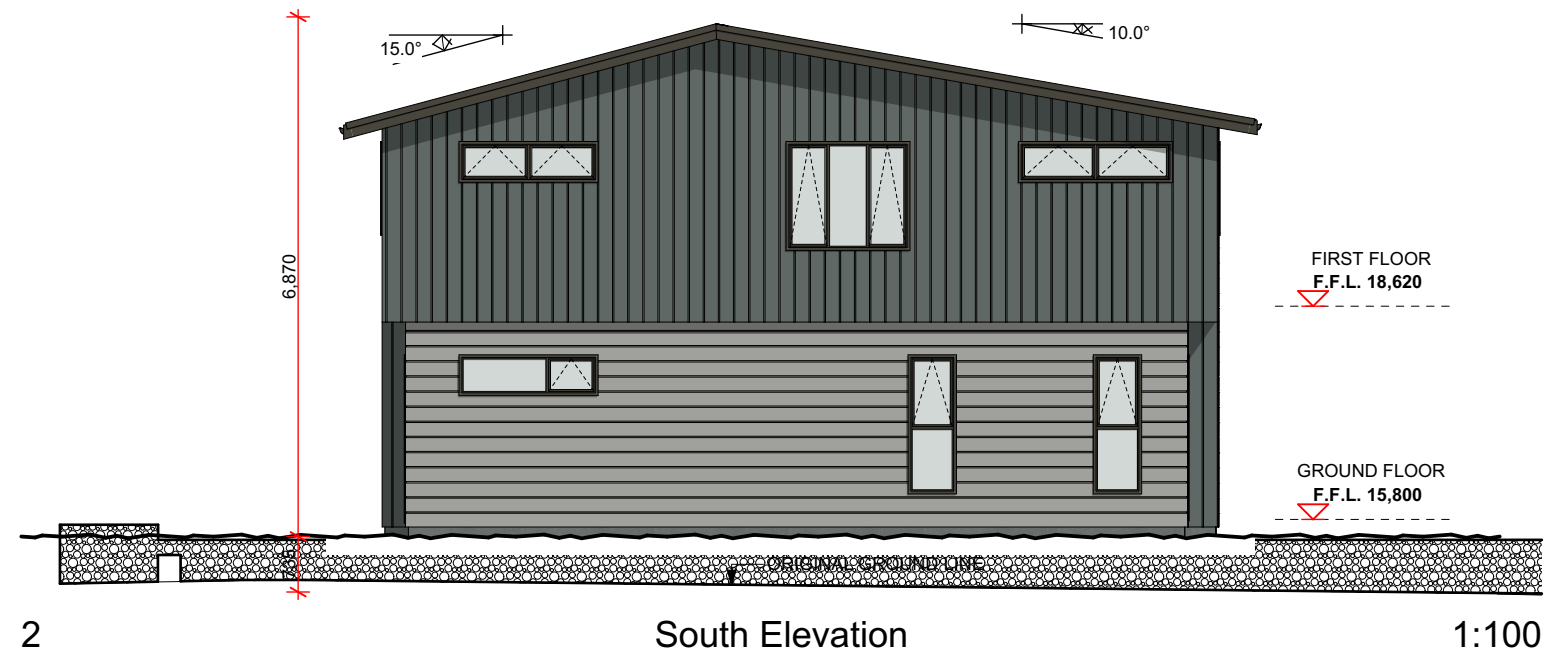
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Sheet No:

A2005

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Elevations Block C

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KAITAIA

Rev No. Revision

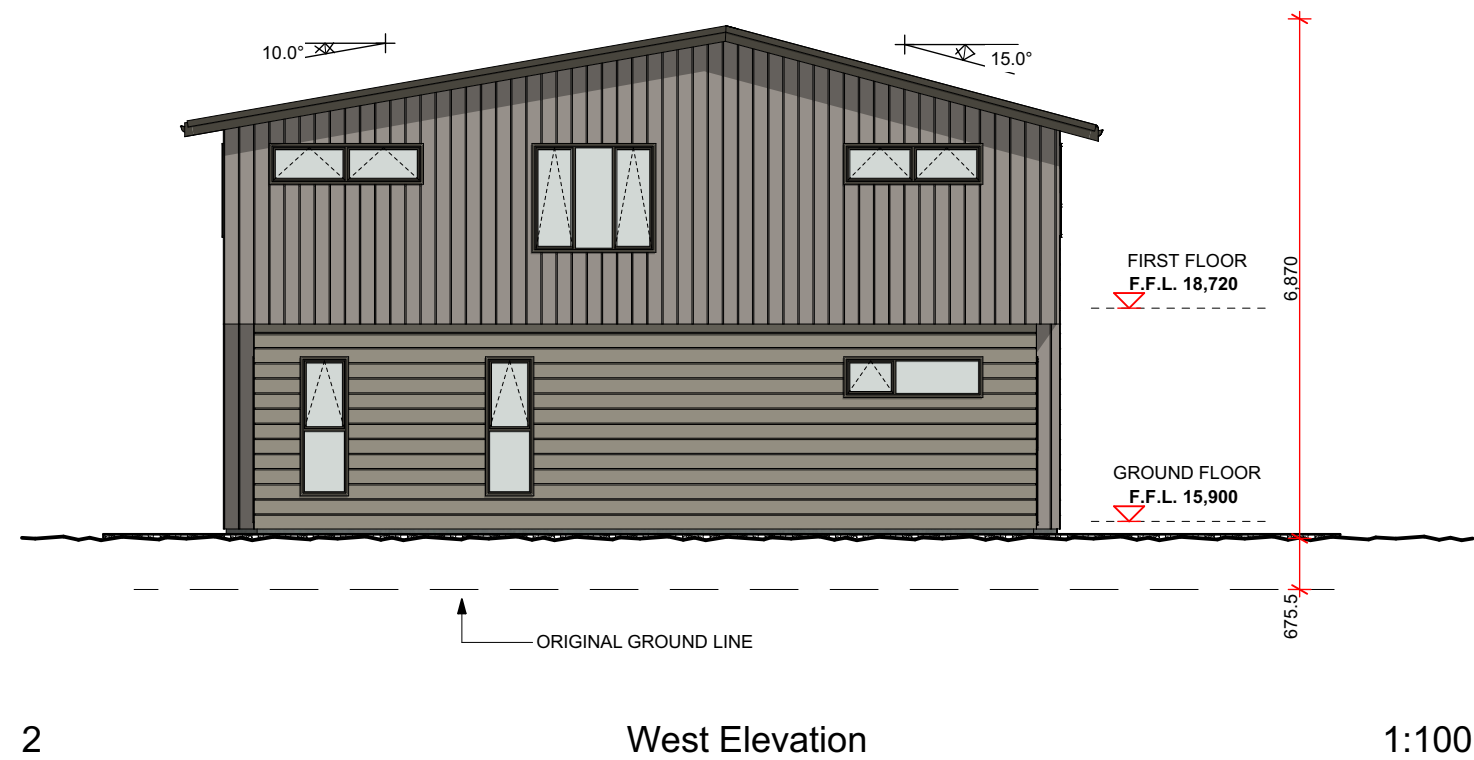
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Elevations Block D

FAR NORTH HOUSING

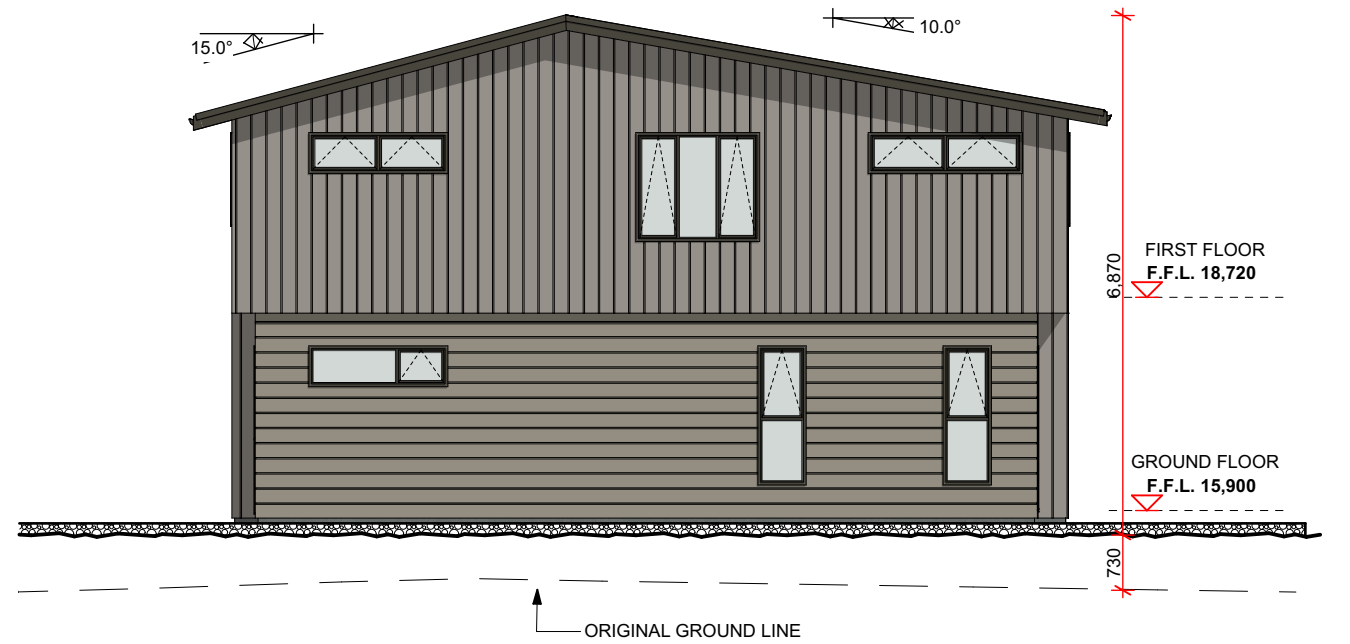
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KAITIA

Rev No. Revision

Date

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Issued: 3/12/2025
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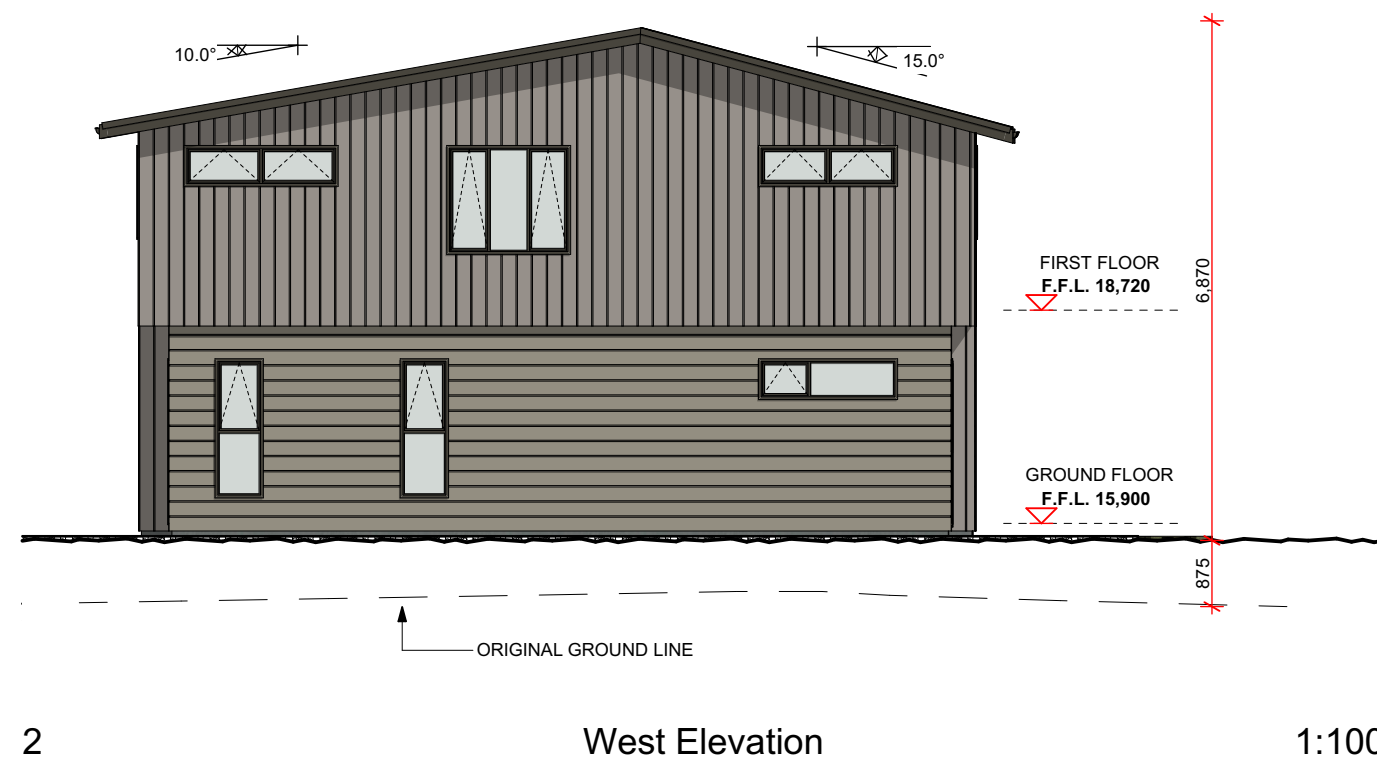
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A2007
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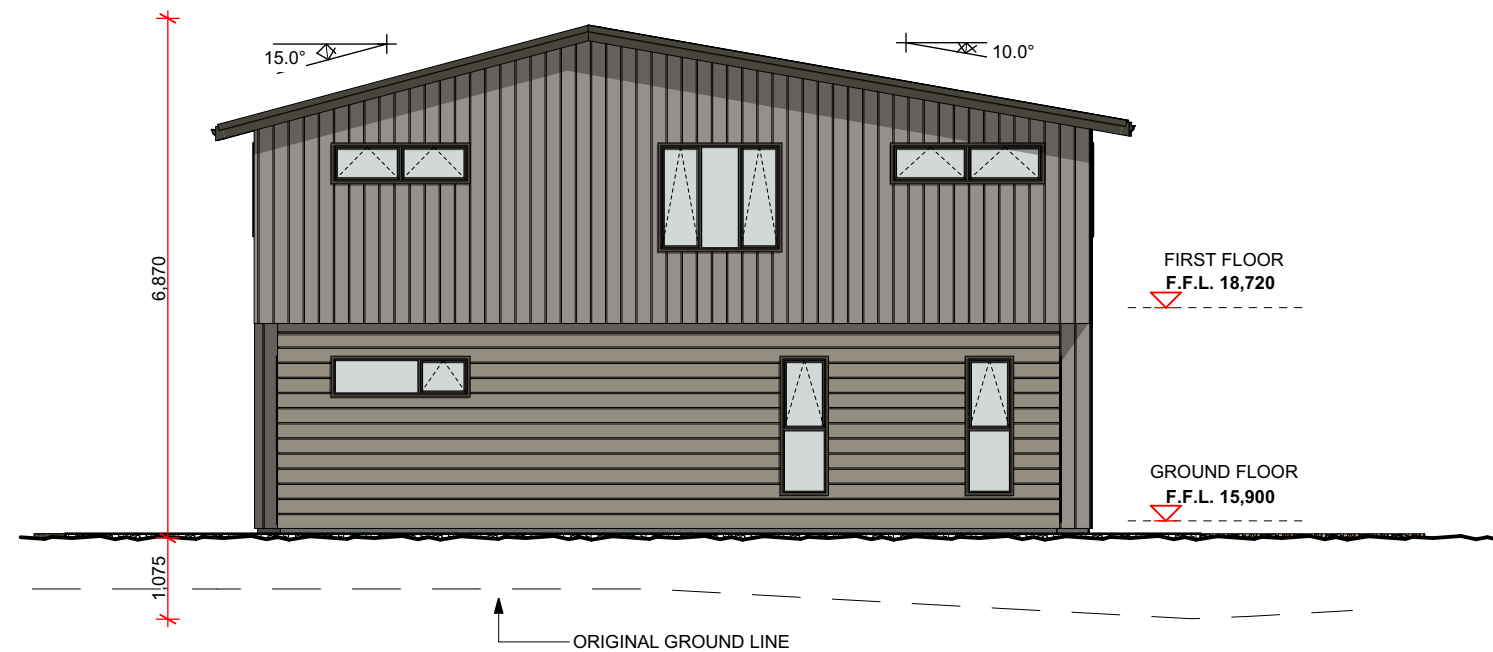


1 East Elevation 1:100



2 South Elevation 1:100

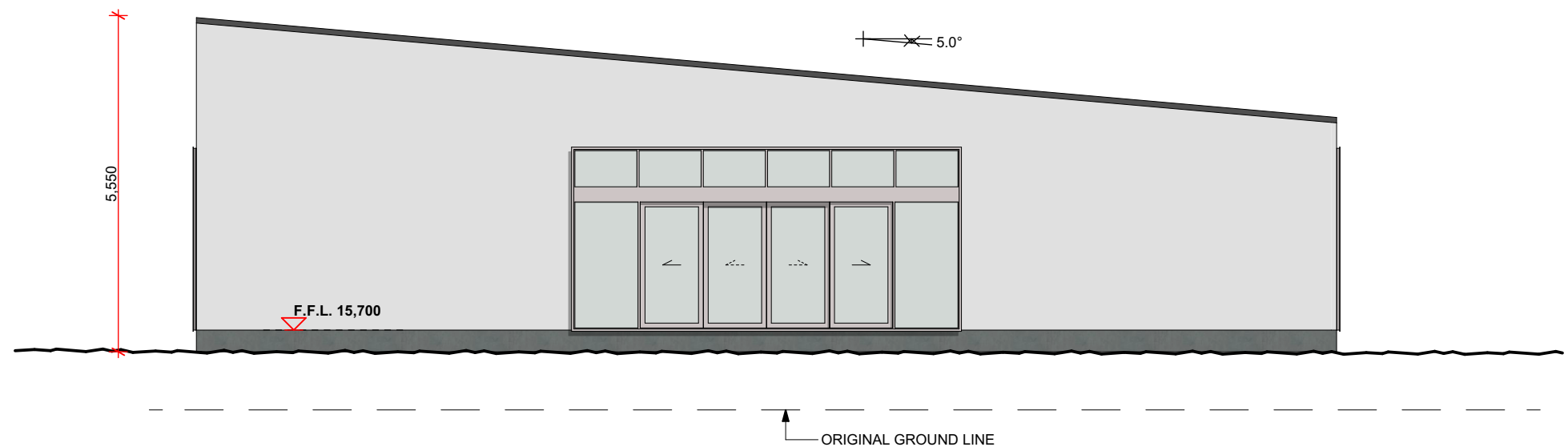




1 East Elevation 1:100



2 South Elevation 1:100



1 North Elevation 1:100



2 West Elevation 1:100



3 East Elevation 1:100

Chorus NZ Ltd
4 Graham Street
Auckland CBD
Auckland

Adrian Tonks
Far North Holdings Limited
5449A State Highway 12
Kaikohe, 0472

01/12/2025

Hi Adrian,

Thank you for providing an indication of your development plans in the Kaitaia area. I can confirm that we have infrastructure in the general land area that you are proposing to develop at 17-21 Puckey Avenue, Kaitaia. Chorus will be able to extend our network to provide connection availability. However, please note that this undertaking would of course be subject to Chorus understanding the final total property connections that we would be providing, roll-out of property releases/dates and what investment may or may not be required from yourselves and Chorus to deliver the infrastructure to and throughout the site in as seamless and practical way as possible.

The cost can only be finalised at the time that you are ready to proceed.

Chorus is happy to work with you on this project as the network infrastructure provider of choice. What this ultimately means is that the end customers (business and homeowners) will have their choice of any retail service providers to take their end use services from once we work with you to provide the physical infrastructure.

Please reapply with a detailed site plan once you are ready to proceed.

Kind Regards,



Merita Tagaloa
Group Account Manager
Chorus NZ Ltd



Top Energy Limited

Level 2, John Butler Centre
60 Kerikeri Road
P O Box 43
Kerikeri 0245
New Zealand
PH +64 (0)9 401 5440
FAX +64 (0)9 407 0611

21 November 2025

Sheryl Hansford
Northland Planning & Development 2020 Ltd

Email: info@northplanner.co.nz

To Whom It May Concern:

**RE: PROPOSED SUBDIVISION
FNHL – 17 to 21 Puckey Avenue, Kaitaia
NA677/143, NA616/213, NA671/63, NA413/116 & NA11D/226.**

Thank you for your recent correspondence with attached proposed subdivision scheme plans.

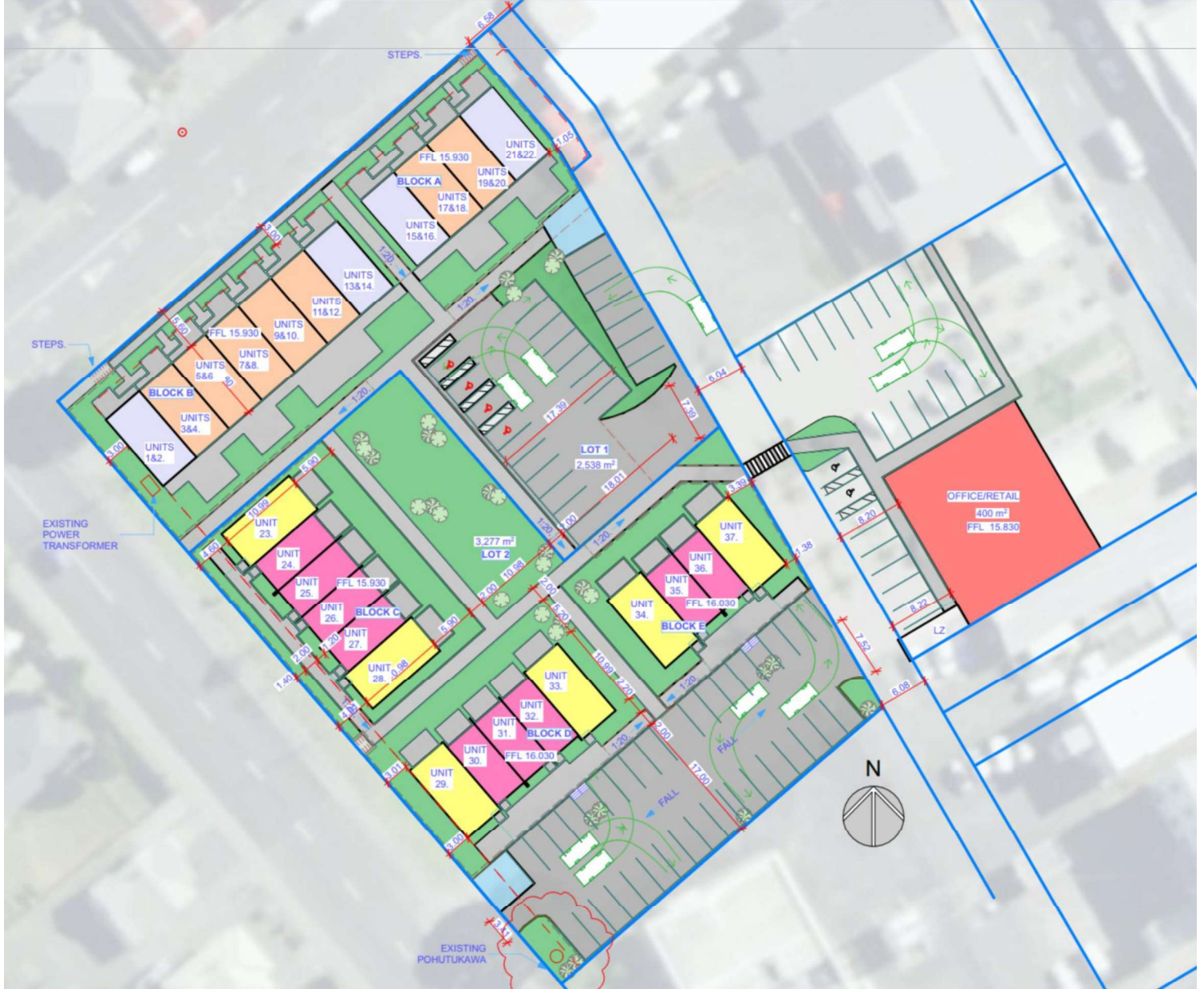
Top Energy's requirement for this subdivision is that power be made available for proposed units. Design and costs to provide a power supply would be provided after application and an on-site survey have been completed.

Link to application: [Top Energy | Top Energy](#)

In order to get a letter from Top Energy upon completion of your subdivision, a copy of the resource consent decision must be provided.

Yours sincerely

Aaron Birt
Planning and Design
T: 09 407 0685
E: aaron.birt@topenergy.co.nz



Far North Housing Limited

17-21 Puckey Ave Development, Kaitaia Three Waters Report

084-3WR-01_RevP1



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DOCUMENT CONTROL

Hoskin Civil Quality System: Issued Details

Document Reference	25007 Puckey Ave RC Plans 20251204
Report Revision	P1
Report Status	Draft
Prepared by	Kelvin Kapp / CPEng
Reviewed by	Aaron Parker / CPEng
Approved by	Kelvin Kapp / CPEng
Date Issued	5 December 2025

Hoskin Civil Quality System: Revision Details

Revision Number	N/A
Revised Sections	N/A
Revisions by	N/A
Revision Reviewed by	

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LIMITATION: This report has been prepared on behalf of and for the exclusive use of Hoskin Civil's Client and is subject to and is issued in connection with the provisions of the agreement between Hoskin Civil and its Client. Hoskin Civil accepts no liability or responsibility for or in respect of any use of or reliance upon this report by any third party.

1. Introduction

This Three Waters Report has been prepared to support the proposed Far North Housing Limited development at 17–21 Puckey Avenue, Kaitaia, shown in **Figure 1**. The purpose of the report is to assess the servicing requirements for water supply, wastewater, and stormwater, and to confirm that appropriate and compliant infrastructure solutions are available to support the development.

The assessment has been informed by a review of existing public infrastructure, proposed site layout drawings, regional flood information, and the FNDC Engineering Standards (May 2023). Proposed servicing solutions have been developed to ensure that the development can be integrated into the existing networks while meeting performance, resilience, and compliance requirements.

This report must be read in conjunction with the supporting appendices, which form an integral part of the assessment. These include:

- **Appendix A:** Proposed site development layout from Arcline Architecture (Site Plan A1004).
- **Appendix B:** Resource consent engineering drawings prepared for the Puckey Avenue development.
- **Appendix C:** NRC Flood Level Report (Parcel ID 5150971), providing modelled flood information for the site.

Together, the report and its appendices provide a comprehensive overview of the existing and proposed Three Waters servicing arrangements for the proposed development.



Figure 1: 17–21 Puckey Avenue Development, Kaitaia

2. Water Supply

2.1 Existing and Proposed Water Network

The site is currently serviced by two water mains:

- an existing 100 mm diameter MDPE water main along the northern boundary (Taaffe Street), and
- an existing 50 mm diameter MDPE water main along the western boundary (Puckey Avenue).

As illustrated in **Figure 2**, it is proposed to construct a 50 mm rider main along the southern and eastern boundaries of the site. This rider main will form a ring connection between the existing 50 mm main on Puckey Avenue and the existing 100 mm main on Taaffe Street, improving serviceability.

Water supply connections to each development block are proposed as follows:

- **Block A & Block B:** Connected to the existing 100 mm main on Taaffe Street (north boundary).
- **Block C:** Connected to the existing 50 mm main on Puckey Avenue (west boundary).
- **Blocks D & E:** Connected to the proposed 50 mm rider main.
- **Office/Retail Building:** Connected to the existing service connections that ties into the 180 mm main located in Commerce Street.

This configuration ensures each block has a suitably sized service connection consistent with expected demand and network configuration.



Figure 2: Existing & Proposed Water Supply Network

2.2 Demand Calculation

Water demand has been calculated in accordance with the FNDC Engineering Standards (May 2023, Section 6.2.2) and the Water and Wastewater Code of Practice for Land Development and Subdivision (Chapter 6: Water, Section 6.3.5).

Table 1 summarises the adopted design criteria. These criteria form the basis for domestic, commercial, peak day, and peak hourly demand calculations for the proposed development.

Domestic water demand for each block, based on the proposed unit types and expected household population, is summarised in **Table 2**. The commercial demand associated with the office/retail building is presented in **Table 3**. A combined total demand summary is presented in **Table 4**.

Table 1: Demand Calculation Criteria

Demand Calculation Criteria	
Average Domestic Day Demand	300 L/person/day
Peak Domestic & Commercial Day Factor	2
Peak Domestic & Commercial Hourly Factor	5
Average Hourly Demand on peak day	12.5 L/person/hour
% Net Floor Area (NFA) of Gross Floor Area (GFA)	80%
Average Commercial Day Demand	1 person per 15m ² net floor area at 65 L/person/day

Table 2: Estimated Domestic Day Demand

	Block A		Block B		Block C		Block D		Block E	
Unit Type	A1	A2	A1	A2	A3	A4	A3	A4	A3	A4
Number of Units	4	4	4	10	4	2	3	2	2	2
Number of Beds per Unit	1	1	1	1	2	3	2	3	2	3
Population Per Unit	2	2	2	2	4	4	4	4	4	4
Total Population per Unit Type	8	8	8	20	16	8	12	8	8	8
Average Day Demand (L/s)	0.03	0.03	0.03	0.07	0.06	0.03	0.04	0.03	0.03	0.03
Peak Day Demand (L/s)	0.06	0.06	0.06	0.14	0.11	0.06	0.08	0.06	0.06	0.06
Peak Hourly Demand (L/s)	0.14	0.14	0.14	0.35	0.28	0.14	0.21	0.14	0.14	0.14

Table 3: Estimated Commercial Day Demand

	GFA (m ²)	NFA (m ²)	Building Floor Levels	Population per 15m ² NFA	Average Day Demand (L/s)	Peak Day Demand (L/s)	Peak Hourly Demand (L/s)
Office Building	400	320	1	21.33	0.02	0.03	0.08

Table 4: Estimated Total Demand

	Estimated Domestic Day Demand (L/s)	Estimated Commercial Day Demand (L/s)	Total (L/s)
Average Day Demand (L/s)	0.36	0.02	0.38
Peak Day Demand (L/s)	0.72	0.03	0.75
Peak Hourly Demand (L/s)	1.81	0.08	1.89

2.3 Existing Capacity

2.3.1 Current Peak Day

Existing network capacity was assessed using the FNDC Kaitaia Hydraulic Water Model (2022). As shown in **Figure 3**, a current peak-day simulation indicates that pressures within the mains supplying the site range from:

- Minimum pressure: 52 m
- Maximum pressure: 65 m

These modelled results include existing demand allocations for the parcels within the development footprint. The existing modelled pre-development demand is summarised in **Table 5**.

The available pressure range demonstrates that the existing network can supply the development under typical peak-day conditions, with ample residual pressure above FNDC's minimum 25m service level requirement.

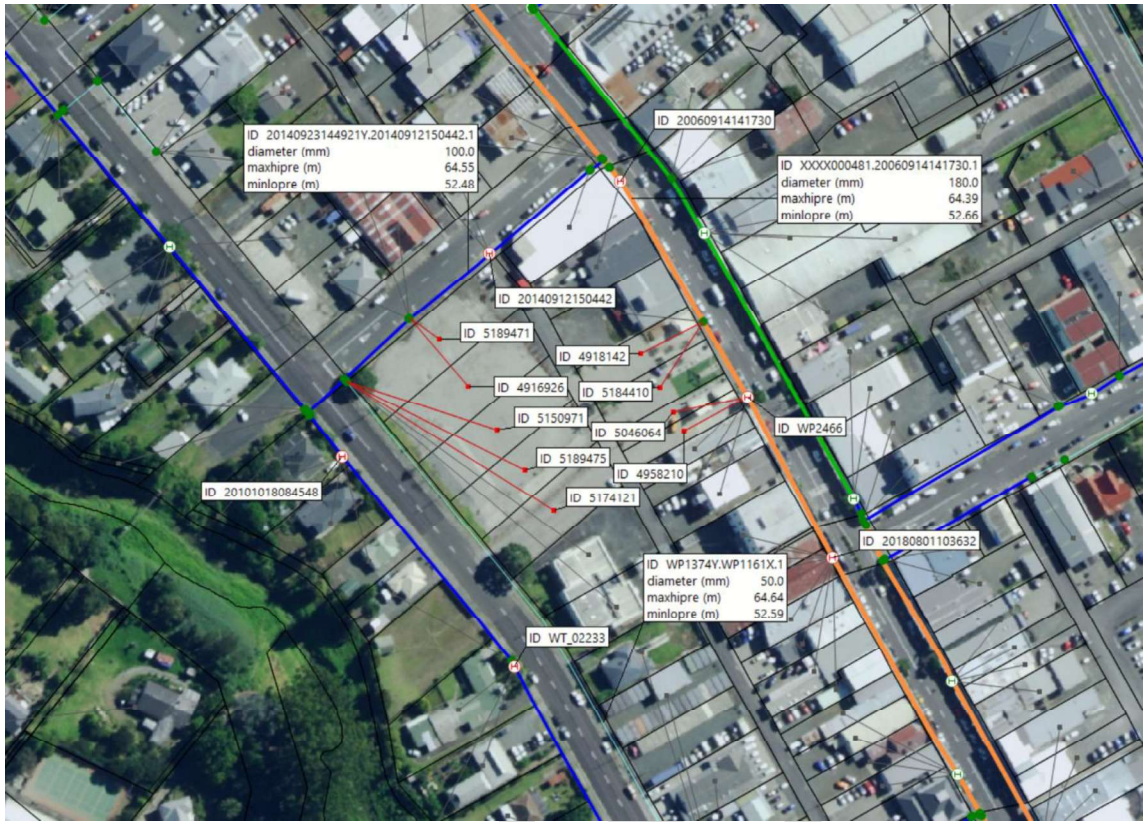


Figure 3: FNDC Kaitaia Hydraulic Model Peak Day Scenario

Table 5: Existing Modelled Demand

Office Site		Housing Site		Total (L/s)
Parcel ID	Average Demand (l/s)	Parcel ID	Average Demand (l/s)	
5184410	0.01	5150971	0.00	0.11
4958210	0.01	5189475	0.01	
5046064	0.01	5189471	0.01	
4918142	0.01	4916926	0.01	
		5174121	0.01	
Total	0.06		0.06	

2.3.2 Firefighting

A Fire Hydrant Test was conducted using the FNDC Kaitaia hydraulic model. As shown in **Table 6**, the nearby hydrants are capable of providing:

- FW2 (12.5 L/s) with residual pressures between 51.8–56.7 m, and
- FW3 (25 L/s) with residual pressures between 36.1–53.2 m,

all of which exceed the minimum 10 m residual pressure required in SNZ PAS 4509:2008.

Given that the development's Peak Hourly Demand is only 1.89 L/s, the additional demand loading is negligible relative to the tested FW2/FW3 firefighting flows. The network therefore has sufficient capacity to meet both domestic peak demands and firefighting requirements.

Table 6: Fire Flow Analysis

Hydrant	Minimum Fire Flow FW2 (L/s)	Residual Pressure at Minimum Fire Flow (m)	Maximum Fire Flow FW3 (L/s)	Residual Pressure at Maximum Fire Flow (m)	Pre-Test Pressure (m)
20140912150442	12.5	55.72	25	50.3	60.09
20101018084548	12.5	54.61	25	46.01	60.23
20060914141730	12.5	56.66	25	53.24	60.2
WP2466	12.5	56.54	25	53.15	59.95
WT_02233	12.5	51.82	25	36.09	60.03
20180801103632	12.5	56.4	25	53.06	59.81

2.4 Summary

The following conclusions are made with respect to the water supply servicing for the Puckey Avenue development:

- Blocks A & B will be serviced from the existing 100 mm water main on Taaffe Street.
- Block C will connect to the existing 50 mm water main on Puckey Avenue.
- Blocks D & E will be supplied via the proposed 50 mm rider main forming a looped connection between Puckey Avenue and Taaffe Street.
- The office/retail building will utilise the existing service connection to the 180 mm main in Commerce Street.

The calculated Peak Hourly Demand of 1.89 L/s is minor relative to the available network capacity. The existing hydraulic model demonstrates a minimum pressure of 52 m under peak-day conditions. A 12.5 L/s firefighting drawdown reduces pressure by approximately 5 m, meaning the significantly smaller development demand will not compromise minimum pressure requirements.

Firefighting performance meets SNZ PAS 4509:2008 requirements up to an FW3 classification, retaining more than the required 10 m residual pressure.

Overall, the existing water supply network has sufficient capacity to service the proposed development.

3. Wastewater

3.1 Existing and Proposed Wastewater Network

The site is currently serviced by a 300 mm AC gravity wastewater main that runs from West Lane through the northeastern portion of the site before continuing north toward Taaffe Street.

As shown in **Figure 4**, it is proposed to realign the existing 300 mm AC main with a 375 mm diameter pipe. This upgrade is required to align with the proposed building layout and avoid locating strategic wastewater assets beneath building footprints.

The development will be reticulated internally by a series of 150 mm PVC gravity wastewater lines that will collect flows from each block and convey them to the receiving public network.

Wastewater connections for each block are proposed as follows:

- Block A & Block B: Connected to a new private 150 mm network discharging to the proposed vested 375 mm realigned main.
- Blocks C, D & E: Connected to a new private 150 mm reticulation network discharging to the existing 300 mm main located in West Lane.

This configuration ensures that each block is serviced by an appropriately sized wastewater connection, consistent with expected flow contributions and FNDC reticulation requirements.

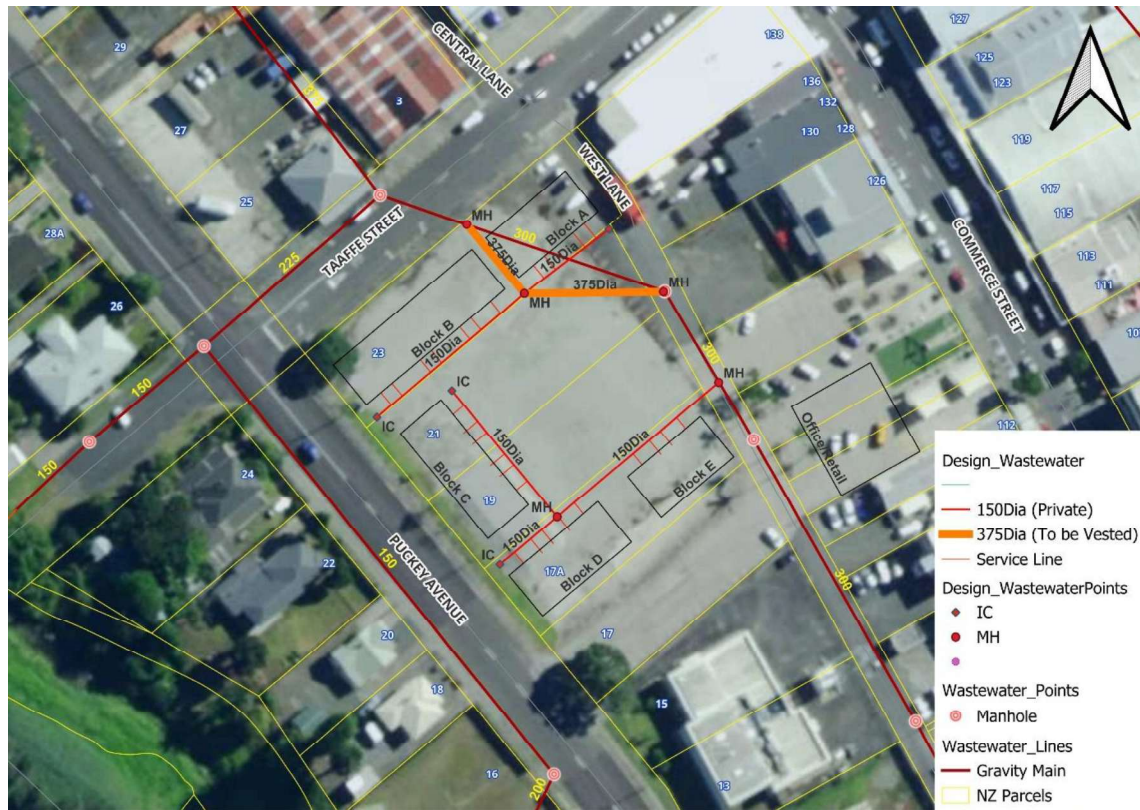


Figure 4: Existing and Proposed Wastewater Network

3.2 Contributing Flows Calculation

Wastewater flow contributions have been calculated in accordance with the FNDC Engineering Standards (May 2023, Section 5.2.2).

Table 7 summarises the adopted design criteria, which form the basis for calculating:

- Average Daily Dry Weather Flow (ADWF)
- Peak Dry Weather Flow (PDWF)
- Peak Wet Weather Flow (PWWF)

Residential wastewater contributions from each block are summarised in **Table 8**. The commercial contribution from the office/retail building is shown in **Table 9**, and the combined development flows are summarised in **Table 10**.

Table 7: Wastewater Flow Contribution Design Criteria

Wastewater Flow Contribution Calculation Criteria	
Average Daily Dry Weather Flows (ADWF) for Residential Activities	200 L/person/day
Peaking Factors to be applied to ADWF Flows for Dry weather peak daily flow (PDWF)	2.5
Peaking Factors to be applied to ADWF Flows for Peak wet weather flow (PWWF)	5
Peak Design Dry Weather Flow (PDWF) Rates for Light commercial water usage	0.4 L/sec/ha
% Net Floor Area (NFA) of Gross Floor Area (GFA)	80%

Table 8: Residential Flow Contribution

	Block A		Block B		Block C		Block D		Block E	
Unit Type	A1	A2	A1	A2	A3	A4	A3	A4	A3	A4
Number of Units	4	4	4	10	4	2	3	2	2	2
Number of Beds per Unit	1	1	1	1	2	3	2	3	2	3
Population Per Unit	2	2	2	2	4	4	4	4	4	4
Total Population per Unit Type	8	8	8	20	16	8	12	8	8	8
ADWF (L/s)	0.02	0.02	0.02	0.05	0.04	0.02	0.03	0.02	0.02	0.02
PDWF (L/s)	0.04	0.04	0.04	0.09	0.07	0.04	0.06	0.04	0.04	0.04
PWWF (L/s)	0.09	0.09	0.09	0.23	0.19	0.09	0.14	0.09	0.09	0.09

Table 9: Commercial Flow Contribution

	GFA (m ²)	NFA (m ²)	Building Floor Levels	ADWF (L/s)	PDWF (L/s)	PWWF (L/s)
Office Building	400	320	1	0.0064	0.0128	0.032

Table 10: Estimated Total Flow Contribution

	Estimated Residential Flows (L/s)	Estimated Commercial Flows (L/s)	Total (L/s)
ADWF (L/s)	0.24	0.0064	0.25
PDWF (L/s)	0.48	0.0128	0.49
PWWF (L/s)	1.20	0.032	1.24

3.3 Existing Capacity

FNDC is currently undertaking a programme of wastewater network and treatment upgrades in Kaitaia aimed at improving conveyance capacity, reducing wet-weather overflows, and strengthening system resilience to support township growth. These works include improvements to key reticulation routes, additional network storage, and enhancements to the wastewater treatment process.

Based on the scale and intent of these upgrades, it is expected that the wider Kaitaia wastewater system will have sufficient downstream capacity to accommodate the additional flows generated by the Puckey Avenue development. However, confirmation of available capacity must be obtained from FNDC during the detailed design phase, once updated network modelling and operational information becomes available.

Historic development flows:

The site was previously occupied by a PAK'nSAVE supermarket. Based on the current FNDC wastewater design criteria, the estimated historic flow contribution from the supermarket is shown in **Table 11**. Although the historic contribution (approximately 0.26 L/s PWWF) is lower than the peak wet-weather flows calculated for the proposed development (approximately 1.24 L/s PWWF), it is reasonable to assume that the downstream network has previously received flows from this site over an extended period of operation.

While this does not confirm available capacity, it provides some indication that the network has historically conveyed wastewater discharges from the site, and therefore may have some existing level of service provision. Final confirmation of downstream network capacity will however need to be obtained from FNDC during the detailed design stage.

Table 11: Estimated Historic Flow Contribution

	GFA (m ²)	NFA (m ²)	Building Floor Levels	ADWF (L/s)	PDWF (L/s)	PWWF (L/s)
Office Historic Building (Old PAK'nSAVE Building)	3202	2561.6	1	0.05	0.10	0.26

3.4 Summary

The following conclusions are made with respect to the wastewater servicing for the Puckey Avenue development:

- Block A and Block B will be connected to a new private 150 mm network discharging to the proposed vested 375 mm realigned main.
- Blocks C, D and E will be connected to a new private 150 mm reticulation network discharging to the existing 300 mm main located in West Lane.

The estimated Peak Wet Weather Flow (PWWF) contribution of the site is approximately 1.24 L/s.

FNDC is undertaking wider wastewater network and treatment upgrades in Kaitaia aimed at improving wet-weather performance, reducing overflow risk, and increasing system capacity and resilience. Based on the above considerations, it is expected that the downstream network will be able to accommodate the proposed development flows; however, confirmation of available capacity must be obtained from FNDC during the detailed design phase.

There is also a reasonable probability that the downstream network has historically received wastewater flows from the former PAK'nSAVE operation on the site. While this does not confirm available capacity, it does indicate that the network has previously conveyed wastewater discharges from the site and may therefore already have some established level of service provision.

4. Stormwater

4.1 Existing and Proposed Stormwater Network

The site is serviced by several existing public stormwater assets. Along the southern boundary, an existing 150 mm concrete stormwater pipe conveys flows from west to east. On the eastern side of the site, east of West Lane, an existing 375 mm diameter concrete pipe conveys flows from south to north. This pipe ultimately discharges into an existing 600 mm concrete pipe, which then runs westward through the site toward Taaffe Street.

As shown in **Figure 5**, it is proposed to realign the existing 600 mm concrete stormwater pipe with a new 600 mm diameter pipe. The realignment is required to avoid placing strategic stormwater infrastructure beneath proposed building footprints and to maintain long-term access and operability.

Stormwater reticulation for each block is proposed as follows:

- Block A will connect directly to the existing 600 mm pipe running through the site.
- Block B will be reticulated via a new private 150 mm pipe that will discharge to the upstream end of the proposed 600 mm realigned pipe.
- Blocks C, D and E will be reticulated via new private 150 mm and 225 mm pipe networks, discharging east of West Lane to the existing 375 mm concrete pipe.

Carparking areas will be serviced with new catchpits and private reticulation:

- The northern carpark will drain to a catchpit with a 225 mm lead pipe discharging to an existing 300 mm concrete pipe.
- The southern carparks will drain to two catchpits connected via private 225 mm and 300 mm pipes discharging into the existing 375 mm stormwater pipe on the eastern side of West Lane.

This configuration ensures that all stormwater runoff continues to be conveyed to existing downstream public infrastructure without increasing load on the receiving network.



Figure 5: Existing and Proposed Stormwater Network

4.2 Flood Hazards

Flood hazards at the site were assessed using the NRC Priority River Model, MIKE 21 Awanui Catchment Model, with focus on the 1% AEP + climate change 24-hour event results, consistent with the available regional flood information presented in Appendix C.

Figure 6 illustrates the peak flood elevations for the design event. The results indicates that the site is fully inundated during the 1% AEP + climate change event. The highest predicted flood level occurs along the southern boundary of Lot 17 at approximately RL 15.4 m, with the highest point being RL 15.438 m in the southwest corner of the same lot.

Finished floor levels and site design contours have been set to ensure that ground and building levels are raised at least **500 mm above** the NRC priority model 1% AEP + CC flood level, in accordance with standard flood resilience requirements.

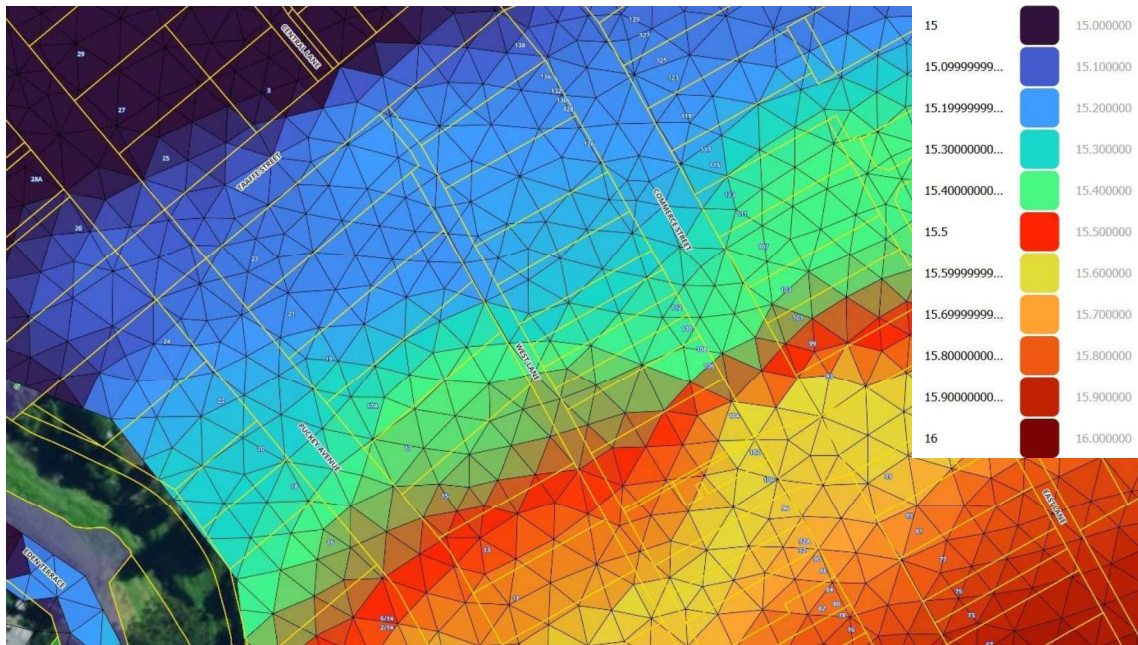


Figure 6: NRC Priority Model 100yr + CC 24hr event

4.3 Existing Capacity

The pre-development site was almost entirely impervious due to its former commercial use. Under the proposed development, the site will remain predominantly impervious, with stormwater runoff patterns and impervious area ratios remaining materially unchanged.

As the development does not increase the impervious footprint, the post-development stormwater discharge will be comparable to the existing (pre-development) discharge. Accordingly:

- No stormwater attenuation is required.
- No hydrological neutrality assessment is required.
- The receiving stormwater network will continue to receive flows consistent with its current load.

This approach aligns with industry practice for brownfield developments where imperviousness is not materially increased.

4.4 Summary

The following conclusions are made with respect to the stormwater servicing for the Puckey Avenue development.

The site is currently serviced by multiple stormwater pipes ranging from 150 mm to 600 mm in diameter. The existing 600 mm concrete pipe running westward through the site will be realigned to avoid conflicts with the new building layout while maintaining access to this strategic asset. Each development block will be reticulated through new private stormwater networks discharging to existing public pipes on Taaffe Street or West Lane.

Flood hazard information from the NRC Priority Model indicates that the site is fully inundated during the 1% AEP + climate change event. Accordingly, finished floor levels have been set to provide a minimum freeboard of 500 mm above the modelled flood elevations to ensure adequate flood resilience.

As the pre-development site was already fully impervious, the proposed development does not result in any increase in stormwater runoff. The receiving environment will therefore experience flows comparable to existing conditions, and no stormwater attenuation or additional mitigation measures are required.

5. Recommendations

5.1 Water Supply

1. **Hydrant pressure testing:** Undertake on-site hydrant flow and pressure tests to confirm the hydraulic model outputs and validate available firefighting performance.
2. **Flow meter data acquisition:** Request recent flow meter records from FNDC for the surrounding network to validate base demand assumptions and confirm model calibration.
3. **Detailed design modelling:** Incorporate the calculated development demands into the FNDC hydraulic model during detailed design and run updated scenarios to confirm operational and firefighting performance.

5.2 Wastewater

1. **Confirm downstream capacity with FNDC:** Engage with FNDC during the detailed design phase to obtain updated network modelling or capacity assessments confirming that the downstream system can accommodate the proposed development flows.
2. **Detailed design modelling:** Incorporate the calculated development flow contribution into the updated FNDC hydraulic model during detailed design and run updated scenarios to confirm operational performance.

5.3 Stormwater

1. **Overland flow assessment:** Undertake an assessment of overland flow paths for smaller storm events during the detailed design phase and incorporate appropriate design measures to ensure safe conveyance and compliance with FNDC stormwater requirements.

6. Appendices

6.1 Appendix A:

Proposed site development layout from Arcline Architecture (Site Plan A1004).

DRAFT

6.2 Appendix B:

Resource consent engineering drawings prepared for the Puckey Avenue development.

DRAFT

6.3 Appendix C

NRC Flood Level Report (Parcel ID 5150971), providing modelled flood information for the site.

DRAFT



KAPP, K CPEng | CMEngNZ | IntPE(NZ)
Senior Civil Engineer

5 December 2025

17-21 Puckey Ave Development, Kaitaia - Three Waters Report

Prepared for Far North Housing Limited
Hoskin Civil Report: 084-3WR-01_RevP1

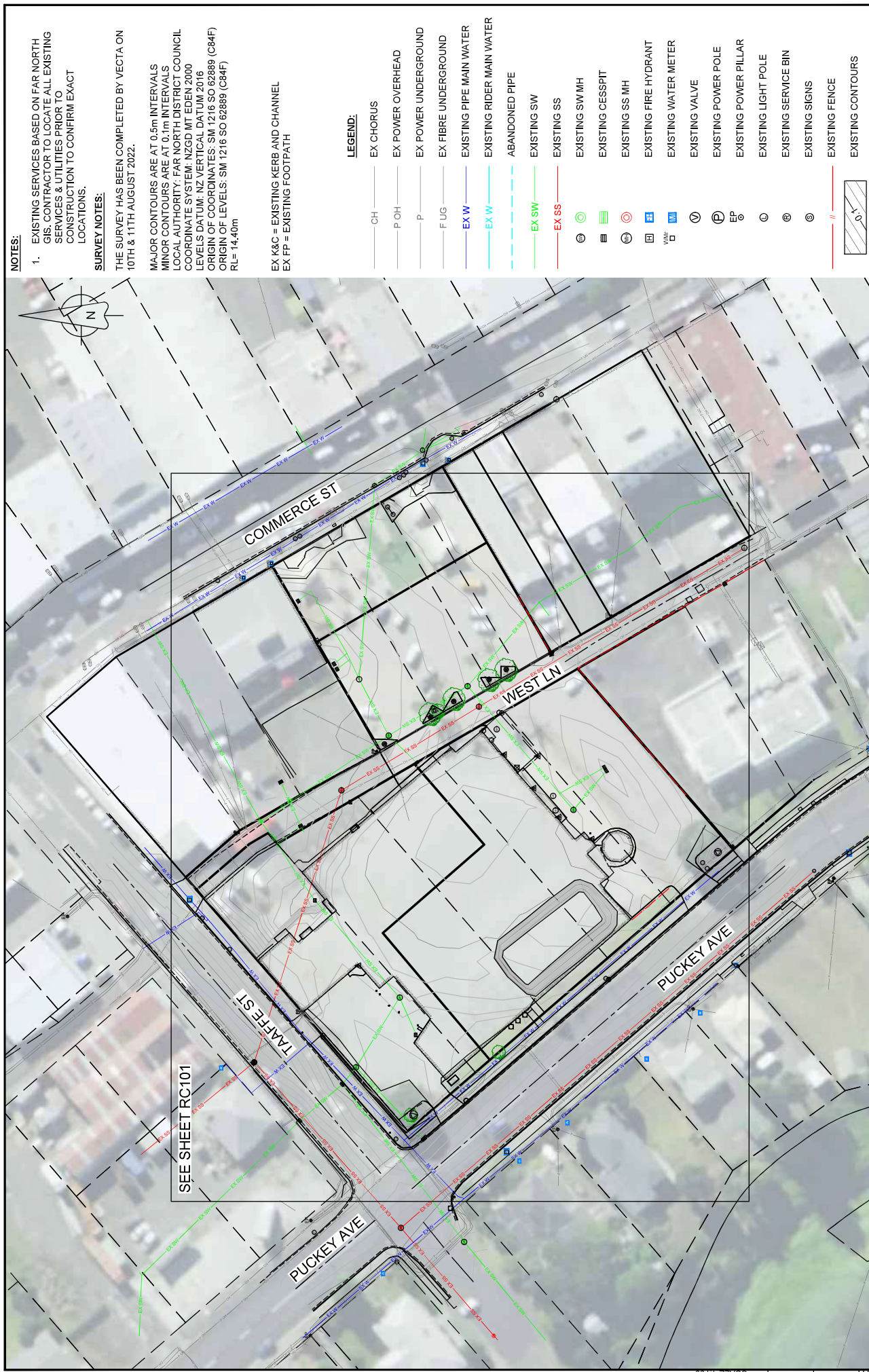
LOCATION
113 Bank Street
Whangarei 0110



CIVIL ENGINEERING DESIGN
FOR RESOURCE CONSENT
FAR NORTH HOUSING LIMITED
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITAIA
PROJECT REF: 25007

SCHEDULE OF DRAWINGS		
SHEET #	TITLE	REV
RC000	COVER SHEET	A
RC100	EXISTING SITE PLAN - OVERVIEW	A
RC101	EXISTING SITE PLAN - SHEET 1	A
RC200	BULK EARTHWORKS PLAN	A
RC210	EROSION & SEDIMENT CONTROL PLAN	A
RC220-221	EROSION & SEDIMENT CONTROL DETAILS - SHEET 1 - 2	A
RC300	ROADING AND FINISHED LEVELS PLAN	A
RC400	DRAINAGE PLAN	A
RC405	PRIORITY RIVERS 100YR + CC 24HR FLOOD LEVELS	A
RC410	EXISTING IMPERVIOUS AREAS CATCHMENT PLAN	A
RC415	PROPOSED DEVELOPMENT IMPERVIOUS AREAS CATCHMENT PLAN	A
RC420-422	STORMWATER LONGSECTIONS SHEET 1 - 3	A
RC430-432	SANITARY SEWER LONGSECTIONS SHEET 1 - 2	A
RC500	POTABLE WATER PLAN - OVERVIEW	A
RC501	POTABLE WATER PLAN - SHEET 1	A
RC510	POTABLE WATER FIRE HYDRANT PLAN	A





NOTES:

- 1. EXISTING SERVICES BASED ON FAR NORTH GIS. CONTRACTOR TO LOCATE ALL EXISTING SERVICES & UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM EXACT LOCATIONS.

SURVEY NOTES:


THE SURVEY HAS BEEN COMPLETED BY VECTA ON 10TH & 11TH AUGUST 2022.

MAJOR CONTOURS ARE AT 0.5m INTERVALS
MINOR CONTOURS ARE AT 0.1m INTERVALS
LOCAL AUTHORITY: FAR NORTH DISTRICT COUNCIL
COORDINATE SYSTEM: NZGD MT EDEN 2000
LEVELS DATUM: NZ VERTICAL DATUM 2016
ORIGIN OF COORDINATES: SM 1216 SO 62889 (C84F)
ORIGIN OF LEVELS: SM 1216 SO 62889 (C84F)
RL= 14.40m

EX K&C = EXISTING KERB AND CHANNEL
EX FP = EXISTING FOOTPATH

LEGEND:

- CH — EX CHORUS
- P OH — EX POWER OVERHEAD
- P — EX POWER UNDERGROUND
- F UG — EX FIBRE UNDERGROUND
- EX W — EXISTING PIPE MAIN WATER
- EX W — EXISTING RIDER MAIN WATER
- EX SW — ABANDONED PIPE
- EX SS — EXISTING SW
- EX SS — EXISTING SS
- EX SW MH — EXISTING SW MH
- EX CESSPIT — EXISTING CESSPIT
- EX SS MH — EXISTING SS MH
- EX FHY — EXISTING FIRE HYDRANT
- EX WM — EXISTING WATER METER
- EX V — EXISTING VALVE
- EX EP — EXISTING POWER POLE
- EX PP — EXISTING POWER PILLAR
- EX LP — EXISTING LIGHT POLE
- EX SB — EXISTING SERVICE BIN
- EX S — EXISTING SIGNS
- EX F — EXISTING FENCE
- EX C — EXISTING CONTOURS



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1ST ISSUE

DATE PLOTTED: Thursday, 4 December 2025 9:25:41 pm

FILE PATH: C:\Users\AurorParker\OneDrive\Documents\Hoskin Civil - Documents\Civil Projects\2025\25007 FNNL - Puckey Ave\CAD Resource Consent\25007 RC100 Ex Site Plan.dwg

PROJECT DETAILS

TITLE: FAR NORTH HOUSING LIMITED (FNNL) DEVELOPMENT OF 17-23 PUCKEY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIARA

DATE CREATED: 03-12-2025
DRAWN: JY
DESIGNED: AP
APPROVED: AP

SCALE: 1:750

REVISION

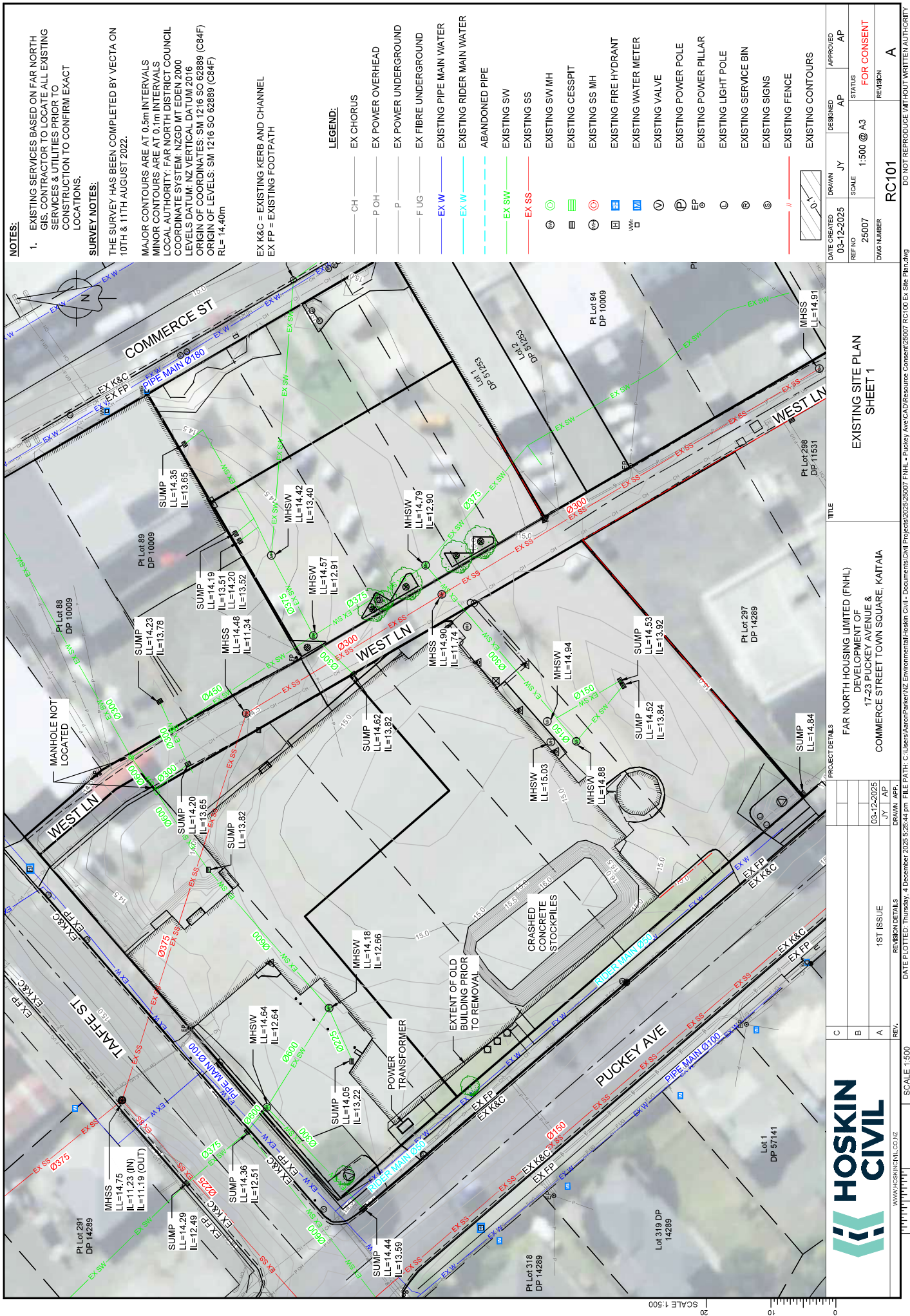
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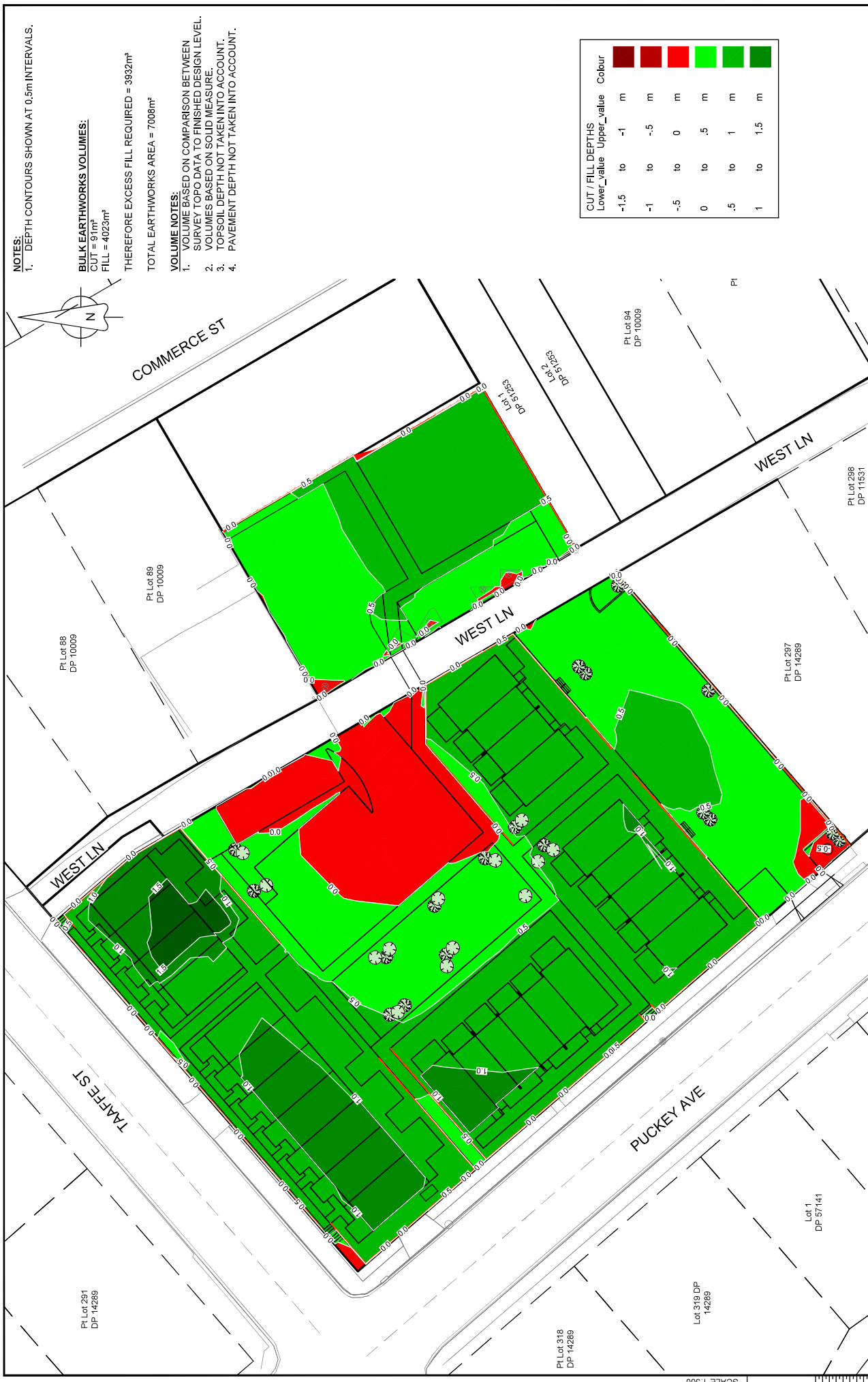
EXISTING SITE PLAN OVERVIEW

RC100

FOR CONSENT

A






NOTES:
1. DEPTH CONTOURS SHOWN AT 0.5m INTERVALS.

BULK EARTHWORKS VOLUMES:
CUT = 91m³
FILL = 4023m³
THEREFORE EXCESS FILL REQUIRED = 3932m³
TOTAL EARTHWORKS AREA = 7008m²

VOLUME NOTES:
1. VOLUME BASED ON COMPARISON BETWEEN SURVEY TOPO DATA TO FINISHED DESIGN LEVEL.
2. VOLUMES BASED ON SOLID MEASURE.
3. TOPSOIL DEPTH NOT TAKEN INTO ACCOUNT.
4. PAVEMENT DEPTH NOT TAKEN INTO ACCOUNT.

CUT / FILL DEPTHS			Upper_value	Lower_value	Colour
-1.5	to	-1	m		
-1	to	-0.5	m		
-0.5	to	0	m		
0	to	0.5	m		
0.5	to	1	m		
1	to	1.5	m		

		PROJECT DETAILS		TITLE		DESIGNED		APPROVED	
C	B	1ST ISSUE		FAR NORTH HOUSING LIMITED (FNHL) DEVELOPMENT OF 17-23 PUCKEY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIARA		JY	AP	AP	AP
A	A	REVISION DETAILS		17-23 PUCKEY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIARA		SCALE	1:500 @ A3	STATUS	FOR CONSENT
REV.		DATE PLOTTED: Thursday, 4 December 2025 5:25:55 pm		DRAWN: JRP		DWG NUMBER		REVISION	
						RC200		A	

- LEGEND:**



HOSKIN
CIVIL

DETAILS

FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIAIA

EROSION & SEDIMENT CONTROL PLAN

DATE CREATED	DRAWN	DESIGNED	APPROVED
03-12-2025	JY	AP	AP
REF NO	SCALE	STATUS	
25007	1:500 @ A3	FOR CONSENT	
DWG NUMBER	RC210		REVISION
			A

		COMMERCIAL STREET, TOWN SQUARE, PERTH WA	
WWW.DOEWA.GOV.AU		REVISION DETAILS	
REV.	DATE	DRAWN	APP.
1	2025-05-04	JY	AP
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STABILISED CONSTRUCTION ENTRANCE SPECIFICATIONS:

APPLICATION

USE A STABILISED CONSTRUCTION ENTRANCE AT ALL POINTS OF CONSTRUCTION SITE INGRESS AND EGRESS WITH A CONSTRUCTION PLAN LIMITING TRAFFIC TO THESE ENTRANCES ONLY. THEY ARE PARTICULARLY USEFUL ON SMALL CONSTRUCTION SITES BUT CAN BE UTILISED FOR ALL PROJECTS.

DESIGN:

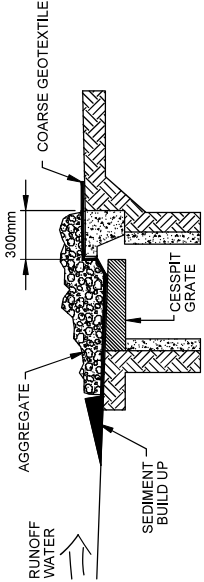
CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS AND OTHER UNSUITABLE MATERIAL AND PROPERLY GRADE IT.

1. LAY WOVEN GEOTEXTILE; PIN DOWN EDGES AND OVERLAP JOINTS.
2. PROVIDE DRAINAGE TO CARRY RUNOFF FROM THE STABILISED CONSTRUCTION ENTRANCE TO A SEDIMENT CONTROL MEASURE.
3. PLACE AGGREGATE TO THE SPECIFICATIONS BELOW AND SMOOTH IT.
4. STABILISED CONSTRUCTION ENTRANCE AGGREGATE SPECIFICATIONS:

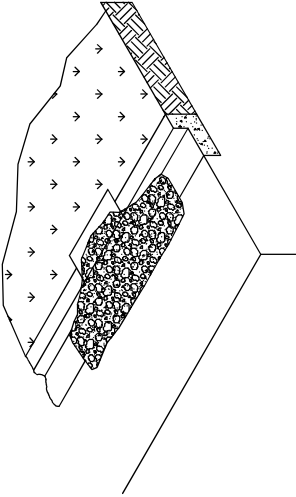
AGGREGATE SIZE		5-150mm WASHED AGGREGATE
THICKNESS		150mm MINIMUM OR 1.5 X AGGREGATE SIZE
LENGTH		10m MINIMUM LENGTH RECOMMENDED
WIDTH		4m MINIMUM

MAINTENANCE

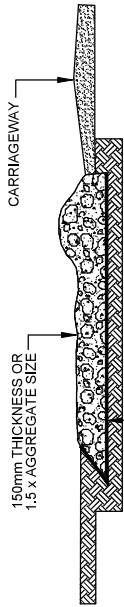
1. MAINTAIN THE STABILISED CONSTRUCTION ENTRANCE IN A CONDITION TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. AFTER EACH RAINFALL INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT FROM THE STABILISED CONSTRUCTION ENTRANCE AND CLEAN OUT AS NECESSARY.
2. WHEN WHEEL WASHING IS ALSO REQUIRED, ENSURE THIS IS DONE ON AN AREA STABILISED WITH AGGREGATE WHICH DRAINS TO AN APPROVED SEDIMENT RETENTION FACILITY.



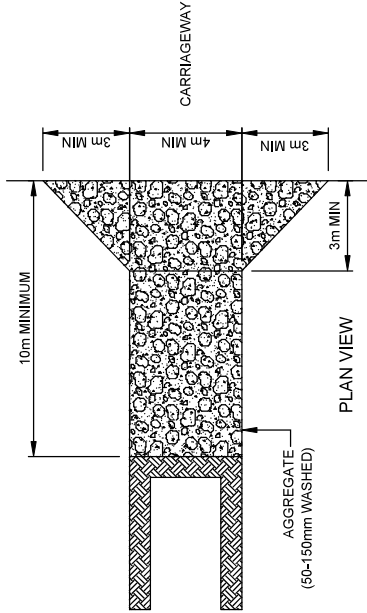
CROSS SECTION



STORMWATER INLET PROTECTION - FILTER MEDIA DESIGN



SIDE ELEVATION



PLAN VIEW

STABILISED CONSTRUCTION ENTRANCE



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REV. C B A

1ST ISSUE

JY J AP

03-12-2025

DATE PLOTTED: Thursday, 4 December 2025 2:25:39 pm

DATE PLOTTED: Thursday, 4 December 2025 2:25:39 pm

PROJECT DETAILS
FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIARA

TITLE
EROSION & SEDIMENT CONTROL DETAILS
SHEET 1

DATE CREATED
03-12-2025

REF NO
25007

DWG NUMBER
RC220

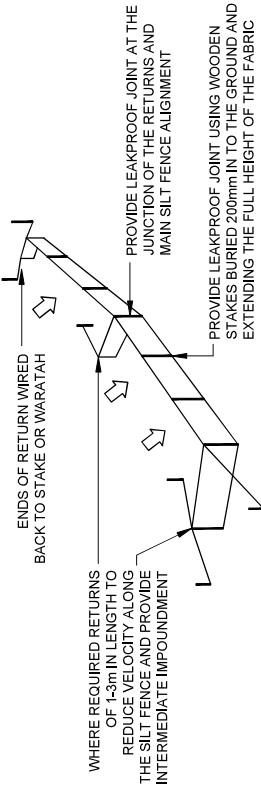
DESIGNED
AP

APPROVED
AP

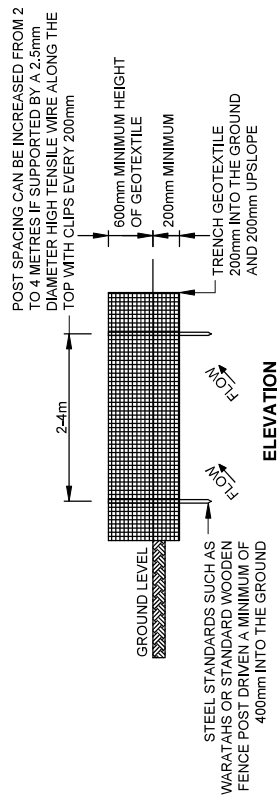
STATUS
FOR CONSENT

REVISION
A

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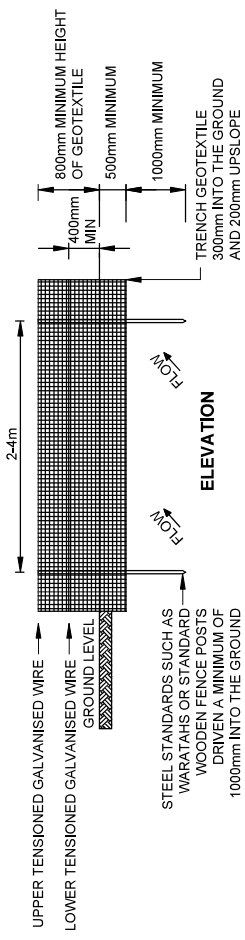
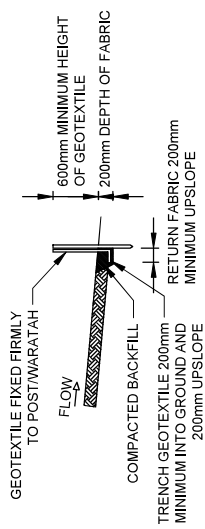
SILT FENCE WITH RETURNS AND SUPPORT WIRE



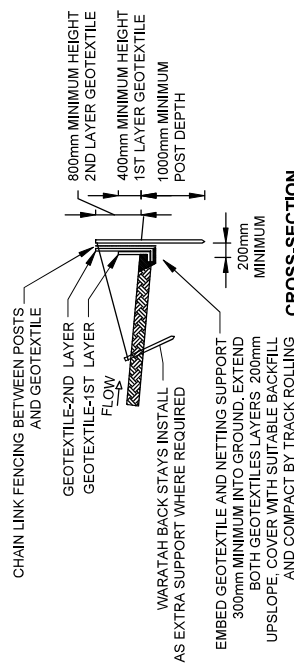
ELEVATION

SILT FENCE CONSTRUCTION

CROSS-SECTION



ELEVATION



CROSS-SECTION

SUPER SILT FENCE DESIGN CRITERIA:

SLOPE STEEPNESS %	SLOPE LENGTH (m) (MAX)	SPACING OF RETURNS (m)
0-10%	UNLIMITED	60
10-20%	30	50
20-33%	30	40
33-50%	30	30
>50%	15	20

SILT FENCE DESIGN CRITERIA:

SLOPE STEEPNESS %	SLOPE LENGTH (m) (MAX)	SPACING OF RETURNS (m)
<2%	N/A	UNLIMITED
2-10%	40	60
10-20%	30	50
20-33%	20	40
33-50%	15	30
>50%	6	20

GRAB TENSILE STRENGTH:
TENSILE MODULUS:
APPARENT OPENING SIZE:

>440N (ASTM D4632)
0.140 ps (MINIMUM)
0.1-0.5mm (ASTM D4751)

WRAP BOTH ENDS OF THE FABRIC AROUND ONE STAKE AND CLAMP THE OTHER STAKE TO IT USING SELF TAPPING WOOD SCREWS AT 150mm SPACINGS

SECTION B

STANDARD FABRIC JOINT

SUPER SILT FENCE CONSTRUCTION

PROJECT DETAILS		TITLE		DATE CREATED		DRAWN		DESIGNED		APPROVED	
FAR NORTH HOUSING LIMITED (FNHL) DEVELOPMENT OF 17-23 PUCKEY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIARA		EROSION & SEDIMENT CONTROL DETAILS SHEET 2		03-12-2025		JY		AP		AP	
1ST ISSUE				03-12-2025		JY		AP		FOR CONSENT	
REV.		REV.		DATE PLOTTED: Thursday, 4 December 2025 2:25:35 pm		FILE PATH: C:\Users\Aron\Public\12 Environmental\Hoskin Civil - Documents\Civil Projects\2507 RC220 ESCP Detailing		DWG NUMBER		RC221	
WWW.HOSKINCIVIL.CO.NZ		DO NOT REPRODUCE WITHOUT WRITTEN AUTHORITY								A	



NOTES:

1. DESIGN CONTOURS SHOWN AT 100mm INTERVALS.

EX K&C = EXISTING KERB AND CHANNEL
EX FP = EXISTING FOOTPATH
VC = VEHICLE CROSSING
NIB = NIB KERB

LEGEND:

RETAINING WALL

DESIGN CONTOURS

PROJECT DETAILS				TITLE			
FAR NORTH HOUSING LIMITED (FNHL) DEVELOPMENT OF 17-23 PUCKY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIAIA				ROADING & FINISHED LEVELS PLAN			
DATE PLOTTED: Thursday, 4 December 2025 5:26:01 pm REV. A				DATE CREATED 03-12-2025			
1ST ISSUE				DRAWN JY			
REV. A				SCALE 1:500 @ A3			
SCALE 1:500				DWG NUMBER RC300			
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				STATUS FOR CONSENT			
				REVISION			




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- NOTES:**
- EXISTING SERVICES BASED ON FAR NORTH GIS. CONTRACTOR TO LOCATE ALL EXISTING SERVICES & UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM EXACT LOCATIONS.
 - DESIGN CONTOURS SHOWN AT 100mm INTERVALS.
 - ALL MANHOLES ARE Ø1050 UNLESS OTHERWISE STATED.
 - MANHOLE LIDS ARE TO BE ROTATED OUT OF PATHWAYS & CROSSINGS WHERE POSSIBLE.
- EX K&C = EXISTING KERB AND CHANNEL
EX FP = EXISTING FOOTPATH

LEGEND:

- EXISTING SW
- EXISTING SW TO BE VESTED
- EXISTING SS
- EXISTING SW MH
- EXISTING CESSPIT
- EXISTING SS MH
- PROPOSED SW PIPE (TO BE VESTED)
- PROPOSED SW PIPE (PRIVATE)
- PROPOSED SEWER (TO BE VESTED)
- PROPOSED SEWER (PRIVATE)
- PROPOSED SW MH
- SW INSPECTION CHAMBER
- PROPOSED SW CESSPIT
- PROPOSED SS MH
- SS INSPECTION CHAMBER
- DESIGN CONTOURS



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DATE PLOTTED: Thursday, 4 December 2025 2:26:04 pm

FILE PATH: C:\Users\Aaron\Public\Hoskin Civil - Documentation\Projects\2025\25007 FINHL - Puckey Ave\CAD\Resource Consent\25007 RC400 Drainage Planning

1ST ISSUE

03-12-2025

JY AP

PROJECT DETAILS

FAR NORTH HOUSING LIMITED (FNHL)

DEVELOPMENT OF

17-23 PUCKEY AVENUE &

COMMERCE STREET TOWN SQUARE, KAITIA

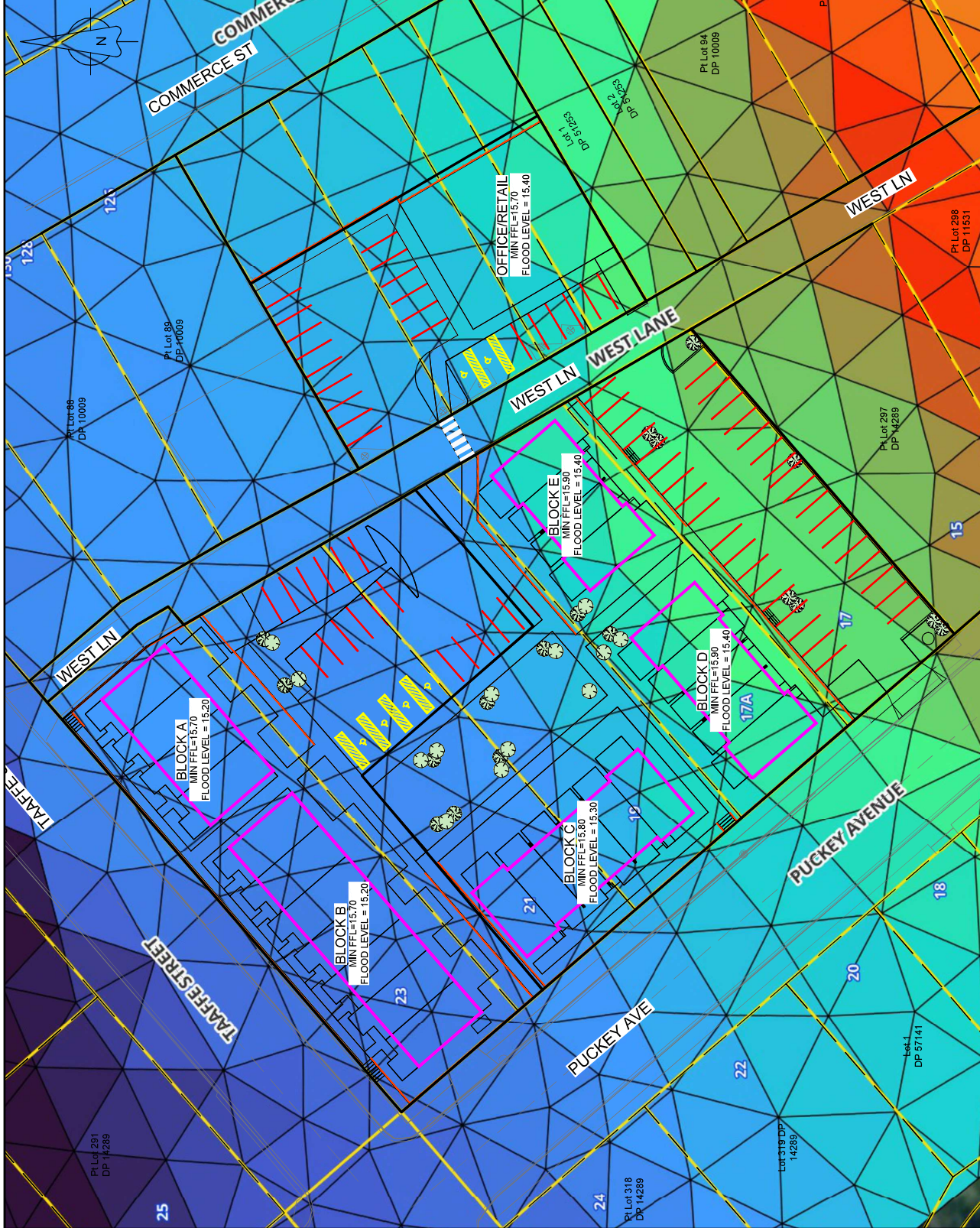
TITLE

DRAINAGE PLAN

DATE CREATED	DRAWN	DESIGNED	APPROVED
03-12-2025	JY	AP	AP
REF NO	SCALE	1:500 @ A3	STATUS
25007			FOR CONSENT
DWG NUMBER			REVISION
			A

RC400

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PROJECT DETAILS		TITLE	
FAR NORTH HOUSING LIMITED (FNHL) DEVELOPMENT OF 17-23 PUCKEY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIARA		PRIORITY RIVERS 100YR + CC 24HR FLOOD LEVELS	
1ST ISSUE		25007	
03-12-2025		1:500 @ A3	
DRAWN: AP		DESIGNED: AP	
REV. A		AP	
DATE PLOTTED: Thursday, 4 December 2025 5:28:09 pm		DATE CREATED: 03-12-2025	
FILE PATH: C:\Users\Aurora\Public\NZ Environmental\Hoskin Civil - Documents\Civil Projects\2507\25007 RC-005 Flood Levels.dwg		REF NO: 25007	
SCALE: 1:500		DWG NUMBER: RC405	
0 10 20		AP	
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LEGEND:


- EXISTING PAVEMENT AREA (6828m²)
- EXISTING GRASS AREA (205m²)
- TOTAL AREA: 7033m²

PROJECT DETAILS		TITLE		EXISTING IMPERVIOUS AREAS CATCHMENT PLAN		DATE CREATED DRAWN 03-12-2025 JY		DESIGNED JY		APPROVED AP	
FAR NORTH HOUSING LIMITED (FNHL) DEVELOPMENT OF 17-23 PUCKEY AVENUE & COMMERCE STREET TOWN SQUARE, KAITIARA						REF NO 25007		SCALE 1:500 @ A3		STATUS FOR CONSENT	
1ST ISSUE		DRAWN JY		AP AP		DWG NUMBER 25007		REVISION		A	
REV.		DATE PLOTTED: Thursday, 4 December 2025 5:25:57 pm		FILE PATH: C:\Users\Aaron\Public\NZ Environmental\Hoskin Civil - Documents\Civil Project\2025\25007 FNHL - Puckey Ave\CAD Resource Consent\25007 RC410 Catchment Evaluating.dwg		SCALE 1:500		DO NOT REPRODUCE WITHOUT WRITTEN AUTHORITY			



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A	1ST ISSUE	03-12-2025	JY	AP

DATE PLOTTED: Thursday, 4 December 2025 2:25:47 pm
FILE PATH: C:\Users\Aaron\Public\Hoskin Civil - Documents\Civil Projects\2025\25007 FmHL - Puckey Ave\CAD\Resource Consent\25007 RC415 Catchment Proposed.dwg

PROJECT DETAILS

FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIARA

TITLE

PROPOSED DEVELOPMENT IMPERVIOUS AREAS CATCHMENT PLAN

DATE CREATED	DRAWN	JY	AP	APPROVED
03-12-2025				AP

REF NO 25007
DWG NUMBER

SCALE 1:500 @ A3

STATUS FOR CONSENT

REVISION

RC415

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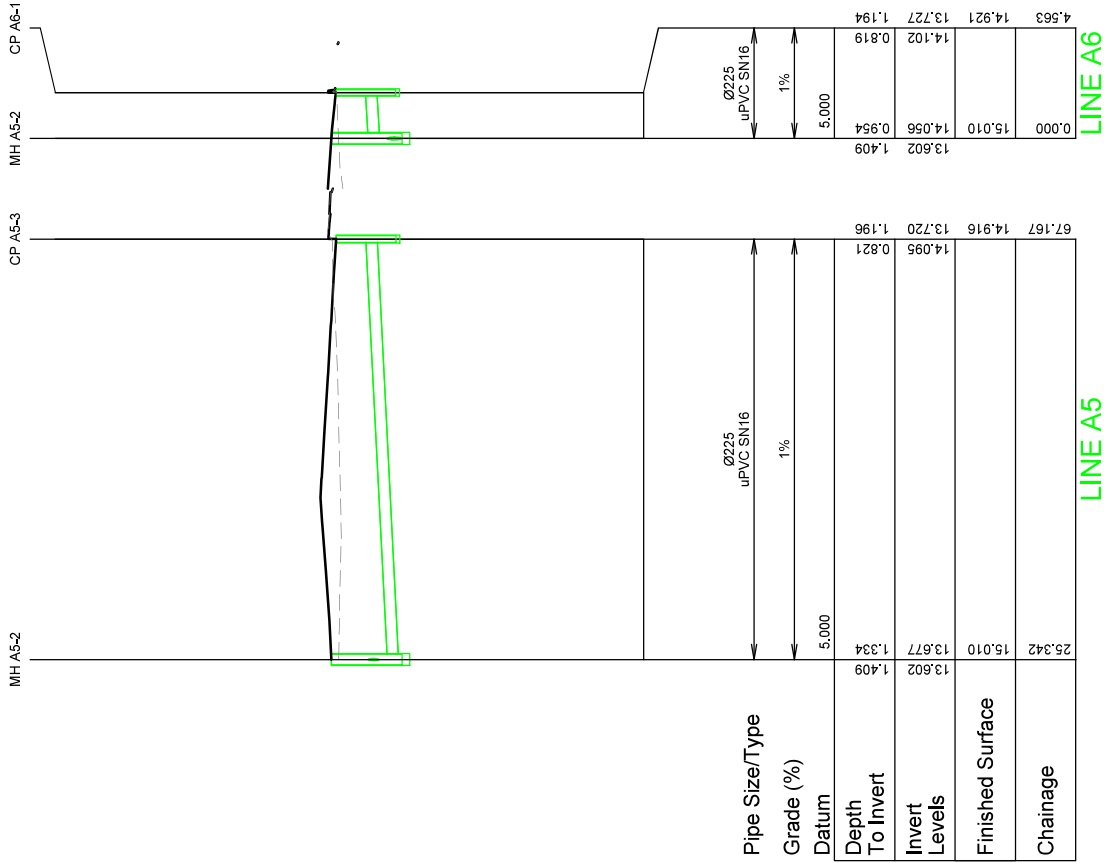
LEGEND:

- PROPOSED ROOF AREA (1782m²)
- PROPOSED ACCESS AREA (2175m²)
- PROPOSED PATH AREA (1124m²)
- PROPOSED PERVIOUS AREA (1952m²)
- TOTAL AREA: 7033m²



LEGEND:

- PROPOSED SW PIPE (TO BE VESTED)
- PROPOSED SW PIPE (PRIVATE)



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REV. C B A

1ST ISSUE
REVISION DETAILS
DRAWN BY: JY
CHECKED BY: AP

DATE PLOTTED: Thursday, 4 December 2025 5:25:51 pm
FILE PATH: C:\Users\Aaron\Panini\NZ Environmental\Hoskin Civil - Documents\Gill Projects\2025\25007 FNHL - Puckey Ave\CAD Resource Consent\25007 RC420 SWA.S.dwg

PROJECT DETAILS
FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIARA

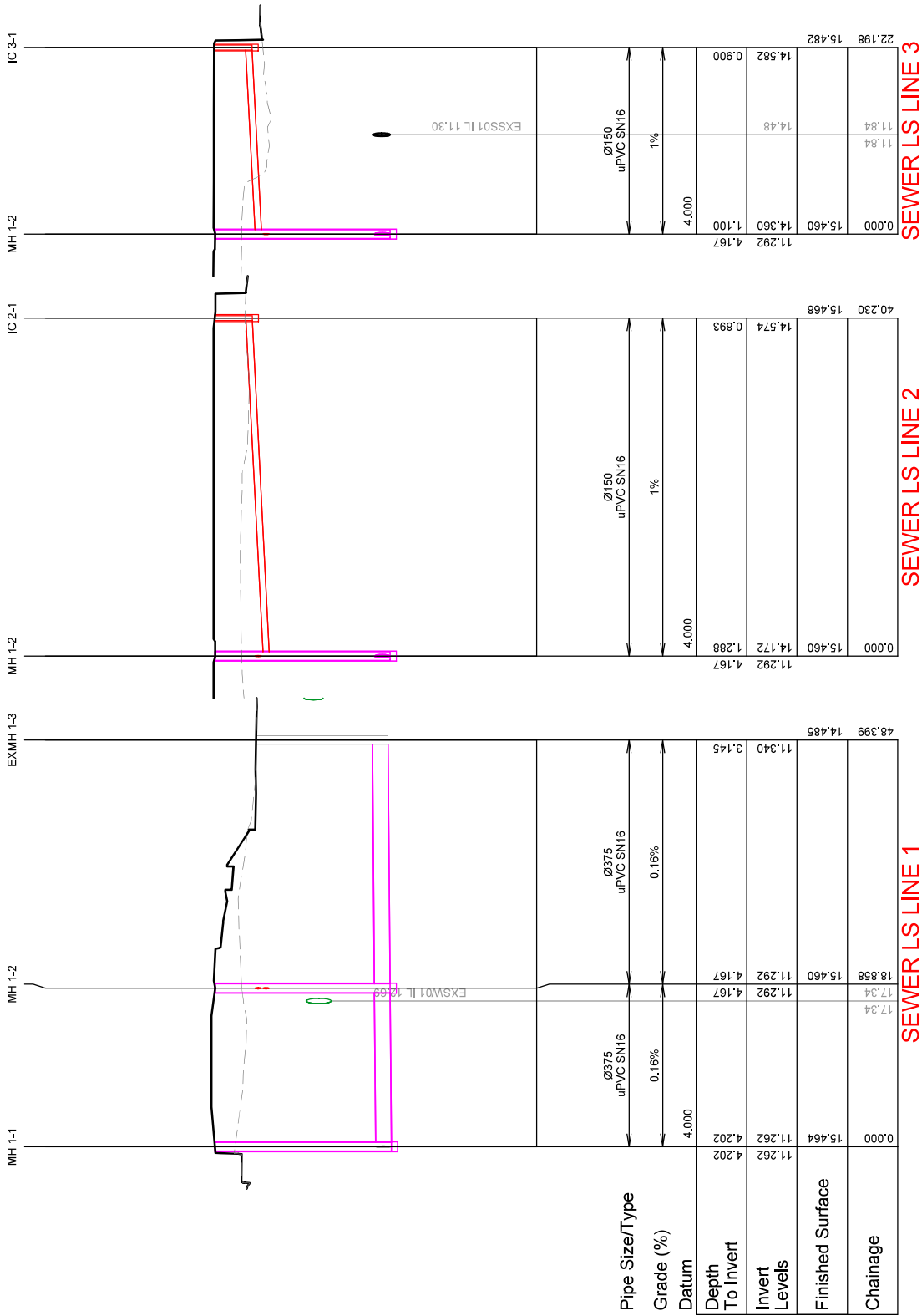
TITLE
STORMWATER LONGSECTIONS
SHEET 3

DATE CREATED: 03-12-2025
REF NO: 25007
DWG NUMBER: RC422
DRAWN: JY
SCALE: 1:500(H) @ A3
1:100(V) @ A3
DESIGNED: AP
STATUS: FOR CONSENT
APPROVED: AP
REVISION: A

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LEGEND:

- PROPOSED SEWER (TO BE VESTED)
- PROPOSED SEWER (PRIVATE)



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SCALE 1:500

FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIAKA

SANITARY SEWER LONGSECTIONS
SHEET 1

TITLE

PROJECT DETAILS

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1ST ISSUE

03-12-2025
JY AP

DATE CREATED
03-12-2025

DATE

DESIGNED
JY AP

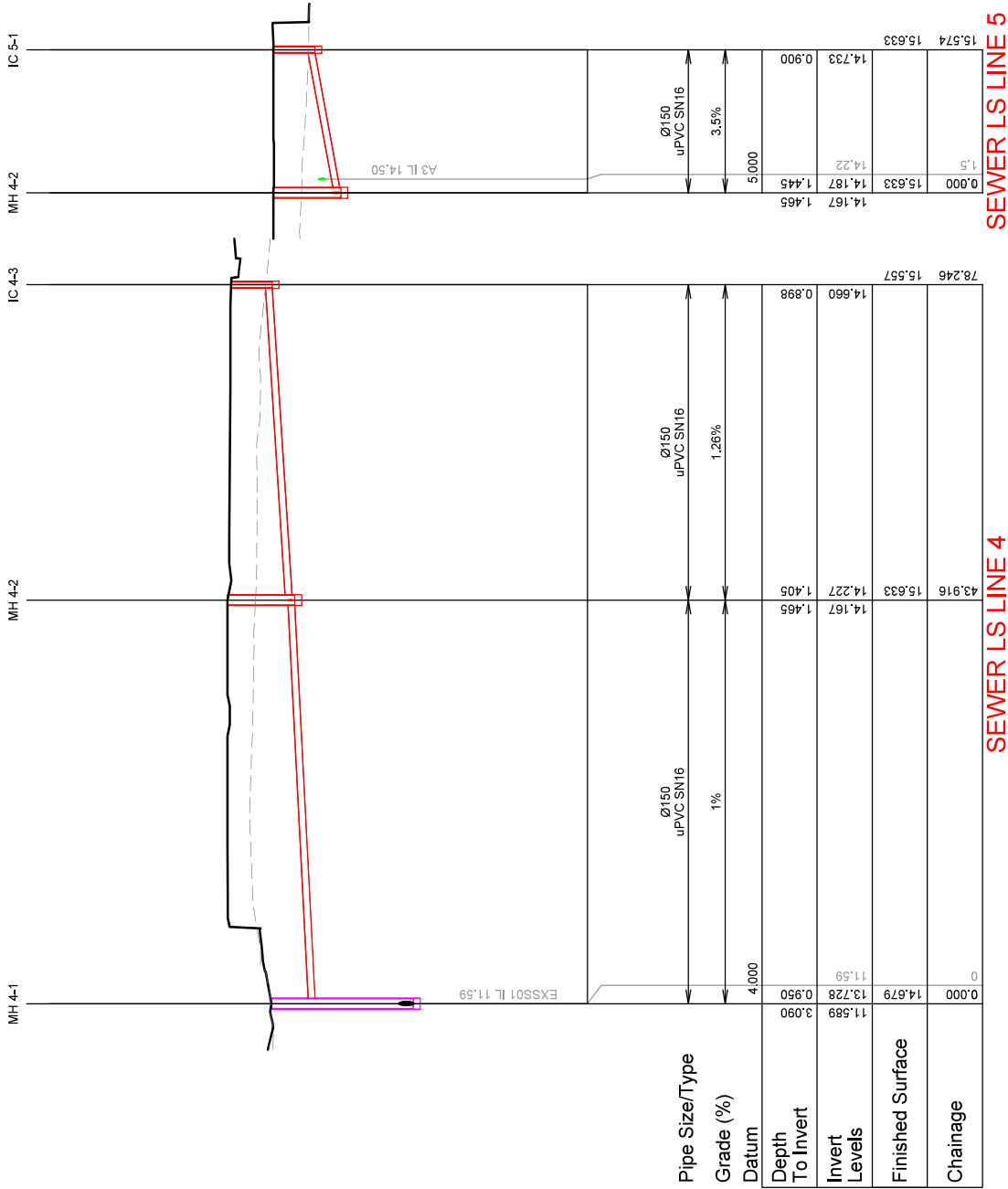
AP
AP

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REVISION

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LEGEND:

- PROPOSED SEWER (TO BE VESTED)
- PROPOSED SEWER (PRIVATE)



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SCALE 1:500

PROJECT DETAILS
FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIAA

TITLE
SANITARY SEWER LONGSECTIONS
SHEET 2

DATE CREATED	DRAWN	DESIGNED	APPROVED
03-12-2025	JY	AP	AP
REF NO	SCALE	STATUS	REVISION
25007	1:500(H) @ A3 1:100(V) @ A3	FOR CONSENT	A
DWG NUMBER	RC431		

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- NOTES:**
- EXISTING SERVICES BASED ON FAR NORTH DISTRICT COUNCIL GIS. CONTRACTOR TO LOCATE ALL EXISTING SERVICES & UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM EXACT LOCATIONS.
 - ALL METAL FITTINGS OR CONNECTIONS TO BE PROTECTED WITH PAINT OR WRAPPED FOR PROTECTION.
 - ALL WATER PIPES TO BE PE100 PN12.5.
 - 150mm MOWING STRIP TO BE LAID AROUND ALL MULTIBOXES AND VALVES IN BERM.

EX K&C = EXISTING KERB AND CHANNEL
EX FP = EXISTING FOOTPATH
EX FH = EXISTING FIRE HYDRANT

- LEGEND:**
- Ø50 (63OD) PE100 PN12.5 RIDER MAIN (TO BE VESTED)
 - MULTI WATER BOX (REVENUE METERS)
 - PEET VALVE (TO BE VESTED)
 - LOT CONNECTION (20mm) (PRIVATE)
 - EXISTING WATER
 - EXISTING FIRE HYDRANT
 - EXISTING VALVE
 - EXISTING WATER METER

SEE SHEET RC501



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1ST ISSUE

03-12-2025

JY J AP

DATE PLOTTED: Thursday, 4 December 2025 9:25:44 pm

FILE PATH: C:\Users\AronParker\OneDrive\Documents\Hoskin Civil - Documents\Hoskin Civil\Projects\3025\3507 FNLH - Puckey Ave\CAD\Resource Consent\3507 RC500 Potable Water Plan.dwg

PROJECT DETAILS

FAR NORTH HOUSING LIMITED (FNHL)

DEVELOPMENT OF

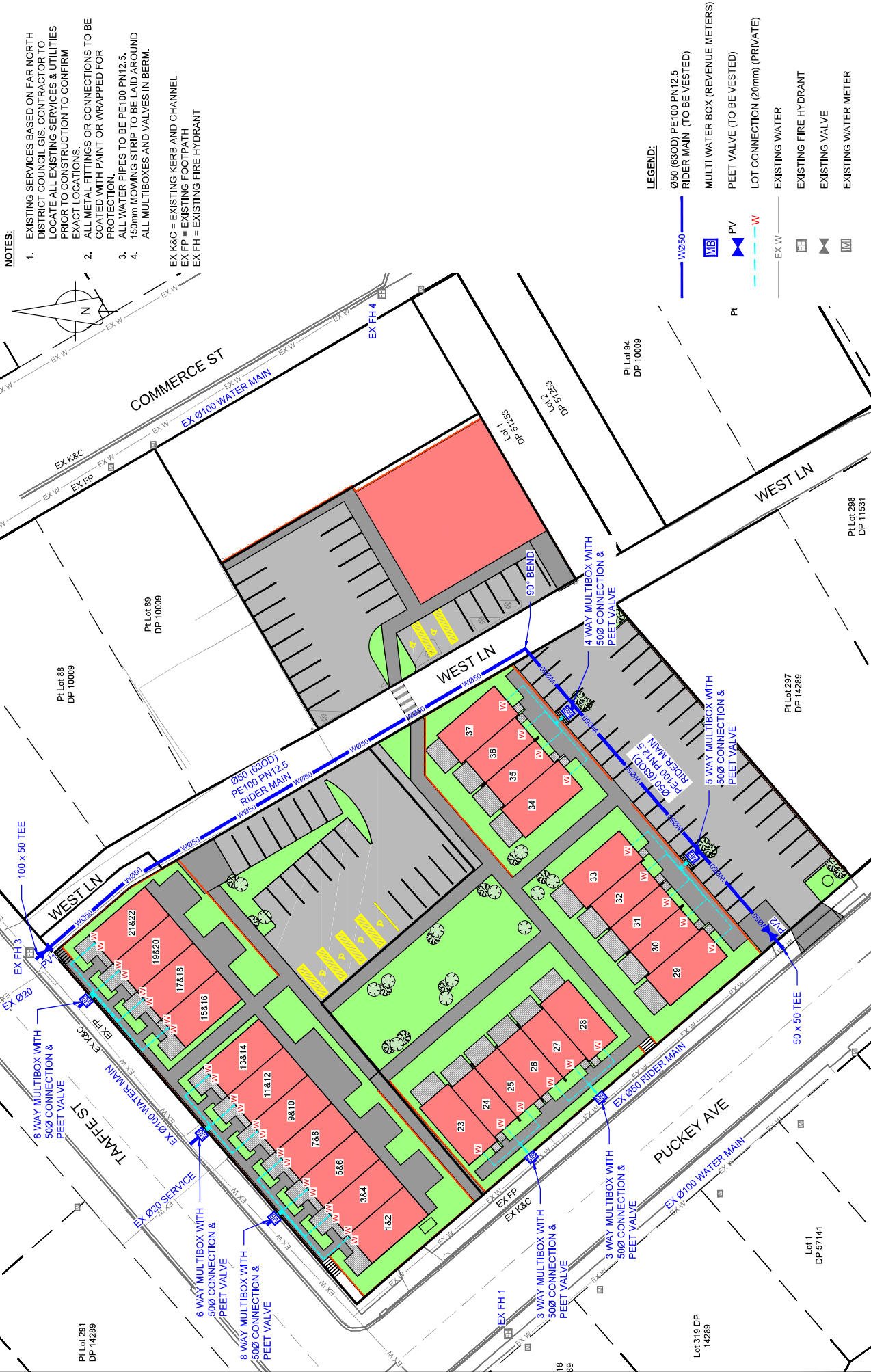
17-23 PUCKEY AVENUE &

COMMERCE STREET TOWN SQUARE, KAITIARA

POTABLE WATER PLAN OVERVIEW

DATE CREATED	DRAWN	JY	AP	DESIGNED	AP	APPROVED	AP
03-12-2025	SCALE	1:750 @ A3	STATUS	FOR CONSENT	REVISION	A	

RC500



NOTES:

- EXISTING SERVICES BASED ON FAR NORTH DISTRICT COUNCIL GIS. CONTRACTOR TO LOCATE ALL EXISTING SERVICES & UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM EXACT LOCATIONS.
- ALL METAL FITTINGS OR CONNECTIONS TO BE COATED WITH PAINT OR WRAPPED FOR PROTECTION.
- ALL WATER PIPES TO BE PE100 PN12.5.
- 150mm MOWING STRIP TO BE LAID AROUND ALL MULTIBOXES AND VALVES IN BERM.

EX K&C = EXISTING KERB AND CHANNEL
EX FP = EXISTING FOOTPATH
EX FH = EXISTING FIRE HYDRANT

LEGEND:

- Ø50 (630D) PE100 PN12.5 RIDER MAIN (TO BE VESTED)
- MULTI WATER BOX (REVENUE METERS)
- PEET VALVE (TO BE VESTED)
- LOT CONNECTION (20mm) (PRIVATE)
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING VALVE
- EXISTING WATER METER



1ST ISSUE

DATE PLOTTED: Thursday, 4 December 2025 5:28:03 pm

FILE PATH: C:\Users\Aaron\Public\NZ Environmental\Hoskin Civil - Documents\CHP Project\2025\5007 FNHL - Puckey Ave\CAD Resource Consent\5007 RC500 Potable Water Plan.dwg

PROJECT DETAILS

FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIAIA

POTABLE WATER PLAN
SHEET 1

DATE CREATED
03-12-2025

DRAWN
JY

DESIGNED
JY

APPROVED
AP

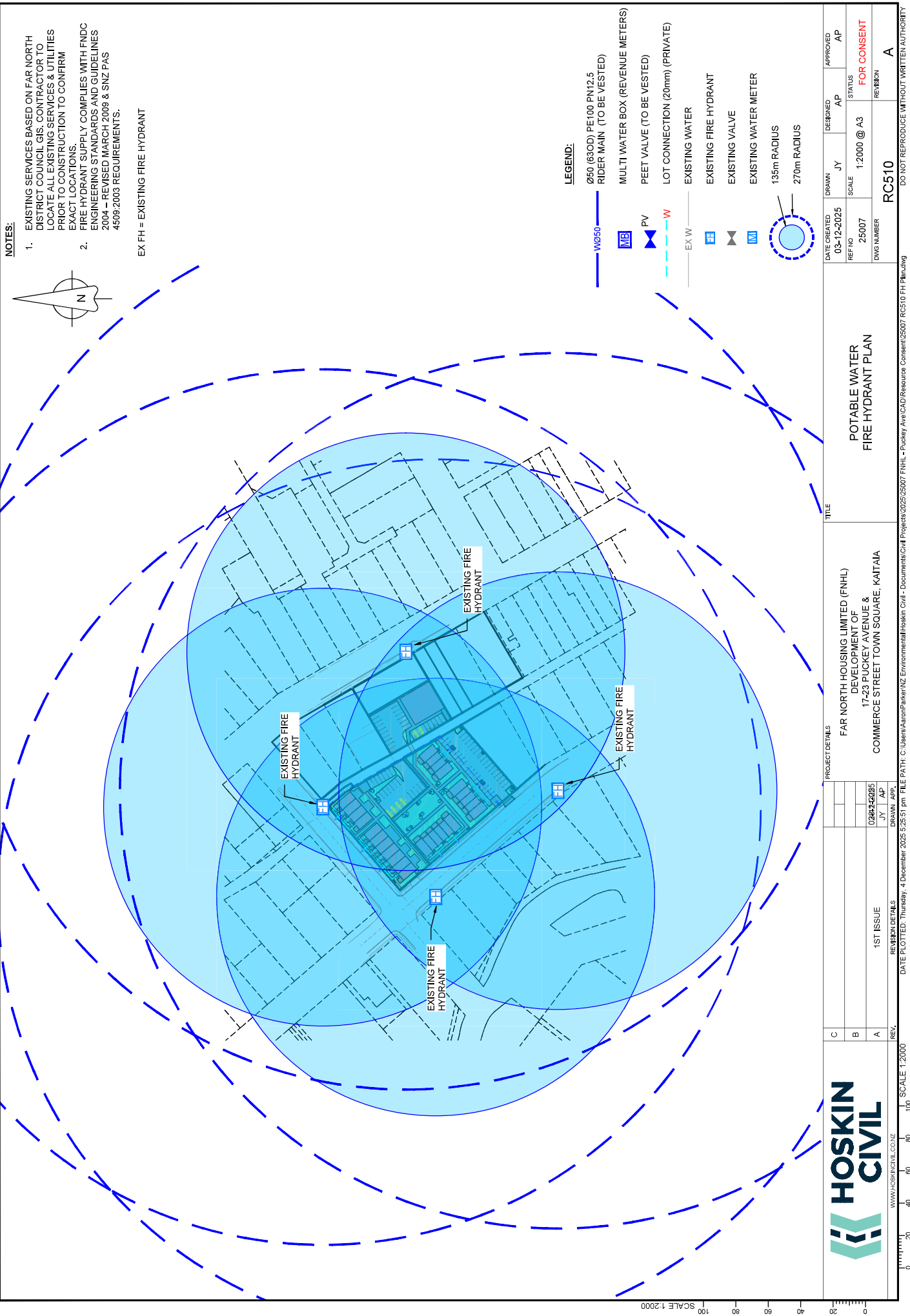
STATUS
FOR CONSENT

REVISION
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RC501

SCALE
1:500 @ A3

DWG NUMBER
25007



NOTES:

- EXISTING SERVICES BASED ON FAR NORTH DISTRICT COUNCIL GIS. CONTRACTOR TO LOCATE ALL EXISTING SERVICES & UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM EXACT LOCATIONS.
- FIRE HYDRANT SUPPLY COMPLIES WITH FNDC ENGINEERING STANDARDS AND GUIDELINES 2004 – REVISED MARCH 2009 & SNZ PAS 4509:2003 REQUIREMENTS.

EX FH = EXISTING FIRE HYDRANT



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SCALE 1:2000

REV.	SCALE	DATE PLOTTED	THURSDAY, 4 DECEMBER 2025 5:23:31 PM	FILE PATH	C:\Users\JaronParker\OneDrive\Documents\Civil Projects\2507 RC510 FH Planning
A	1ST ISSUE	03/12/2025	JY	AP	

PROJECT DETAILS
FAR NORTH HOUSING LIMITED (FNHL)
DEVELOPMENT OF
17-23 PUCKEY AVENUE &
COMMERCE STREET TOWN SQUARE, KAITIARA

POTABLE WATER
FIRE HYDRANT PLAN

DATE CREATED	DRAWN	DESIGNED	APPROVED	TITLE
03-12-2025	JY	AP	AP	POTABLE WATER FIRE HYDRANT PLAN
REF NO.	SCALE	STATUS	FOR CONSENT	
25007	1:2000 @ A3	FOR CONSENT		
DWG NUMBER	REVISION			
RC510	A			

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