

Application for resource consent or fast-track resource consent

(Or Associated Consent Pursuant to the Resource Management Act 1991 (RMA)) (If applying for a Resource Consent pursuant to Section 87AAC or 88 of the RMA, this form can be used to satisfy the requirements of [Form 9](#)). Prior to, and during, completion of this application form, please refer to [Resource Consent Guidance Notes](#) and [Schedule of Fees and Charges](#) — both available on the Council's web page.

1. Pre-Lodgement Meeting

Have you met with a council Resource Consent representative to discuss this application prior to lodgement?

Yes No

2. Type of consent being applied for

(more than one circle can be ticked):

- Land Use
- Fast Track Land Use*
- Subdivision
- Consent under National Environmental Standard
(e.g. Assessing and Managing Contaminants in Soil)
- Other (please specify) _____
- Discharge
- Change of Consent Notice (s.221(3))
- Extension of time (s.125)

**The fast track is for simple land use consents and is restricted to consents with a controlled activity status.*

3. Would you like to opt out of the fast track process?

Yes No

4. Consultation

Have you consulted with Iwi/Hapū? Yes No

If yes, which groups have you consulted with?

Who else have you consulted with?

For any questions or information regarding iwi/hapū consultation, please contact Te Hono at Far North District Council, tehonosupport@fndc.govt.nz

5. Applicant details

Name/s:

Minister of Education Te Kura O Waikare

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Have you been the subject of abatement notices, enforcement orders, infringement notices and/or convictions under the Resource Management Act 1991? Yes No

If yes, please provide details.

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6. Address for correspondence

Name and address for service and correspondence (if using an Agent write their details here)

Name/s:

Northland Planning & Development 2020 Ltd

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

All correspondence will be sent by email in the first instance. Please advise us if you would prefer an alternative means of communication.

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7. Details of property owner/s and occupier/s

Name and Address of the owner/occupiers of the land to which this application relates (where there are multiple owners or occupiers please list on a separate sheet if required)

Name/s:

Property address/
location:

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8. Application site details

Location and/or property street address of the proposed activity:

Name/s:

Site address/
location:

 Postcode

Legal description:

Val Number:

Certificate of title:

Please remember to attach a copy of your Certificate of Title to the application, along with relevant consent notices and/or easements and encumbrances (search copy must be less than 6 months old)

Site visit requirements:

Is there a locked gate or security system restricting access by Council staff? Yes No

Is there a dog on the property? Yes No

Please provide details of any other entry restrictions that Council staff should be aware of, e.g. health and safety, caretaker's details. This is important to avoid a wasted trip and having to re-arrange a second visit.

9. Description of the proposal

Please enter a brief description of the proposal here. Please refer to Chapter 4 of the *District Plan, and Guidance Notes*, for further details of information requirements.

If this is an application for a Change or Cancellation of Consent Notice conditions (s.221(3)), please quote relevant existing Resource Consents and Consent Notice identifiers and provide details of the change(s), with reasons for requesting them.

10. Would you like to request public notification?

Yes No

11. Other consent required/being applied for under different legislation

(more than one circle can be ticked):

Building Consent

Regional Council Consent (ref # if known)

National Environmental Standard Consent

Other (please specify)

12. National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health:

The site and proposal may be subject to the above NES. In order to determine whether regard needs to be had to the NES please answer the following:

Is the piece of land currently being used or has it historically ever been used for an activity or industry on the Hazardous Industries and Activities List (HAIL)? Yes No Don't know

Is the proposed activity an activity covered by the NES? Please tick if any of the following apply to your proposal, as the NESCS may apply as a result? Yes No Don't know

Subdividing land

Disturbing, removing or sampling soil

Changing the use of a piece of land

Removing or replacing a fuel storage system

13. Assessment of environmental effects:

Every application for resource consent must be accompanied by an Assessment of Environmental Effects (AEE). This is a requirement of Schedule 4 of the Resource Management Act 1991 and an application can be rejected if an adequate AEE is not provided. The information in an AEE must be specified in sufficient detail to satisfy the purpose for which it is required. Your AEE may include additional information such as written approvals from adjoining property owners, or affected parties.

Your AEE is attached to this application Yes

14. Draft conditions:

Do you wish to see the draft conditions prior to the release of the resource consent decision? Yes No

If yes, please be advised that the timeframe will be suspended for 5 working days as per s107G of the RMA to enable consideration for the draft conditions.

15. Billing Details:

This identifies the person or entity that will be responsible for paying any invoices or receiving any refunds associated with processing this resource consent. Please also refer to Council's Fees and Charges Schedule.

Name/s: (please write in full)

A-Line construction Limited

Email:

Phone number:

Postal address:

(or alternative method of service under section 352 of the act)

Fees Information

An instalment fee for processing this application is payable at the time of lodgement and must accompany your application in order for it to be lodged. Please note that if the instalment fee is insufficient to cover the actual and reasonable costs of work undertaken to process the application you will be required to pay any additional costs. Invoiced amounts are payable by the 20th of the month following invoice date. You may also be required to make additional payments if your application requires notification.

15. Billing details continued...

Declaration concerning Payment of Fees

I/we understand that the Council may charge me/us for all costs actually and reasonably incurred in processing this application. Subject to my/our rights under Sections 357B and 358 of the RMA, to object to any costs, I/we undertake to pay all and future processing costs incurred by the Council. Without limiting the Far North District Council's legal rights if any steps (including the use of debt collection agencies) are necessary to recover unpaid processing costs I/we agree to pay all costs of recovering those processing costs. If this application is made on behalf of a trust (private or family), a society (incorporated or unincorporated) or a company in signing this application I/we are binding the trust, society or company to pay all the above costs and guaranteeing to pay all the above costs in my/our personal capacity.

Name: (please write in full)

Daniel Abercrombie

Signature:

(signature of bill payer)

Date 08.05.2026

16. Important Information:

Note to applicant

You must include all information required by this form. The information must be specified in sufficient detail to satisfy the purpose for which it is required.

You may apply for 2 or more resource consents that are needed for the same activity on the same form.

You must pay the charge payable to the consent authority for the resource consent application under the Resource Management Act 1991.

Fast-track application

Under the fast-track resource consent process, notice of the decision must be given within 10 working days after the date the application was first lodged with the authority, unless the applicant opts out of that process at the time of lodgement.

A fast-track application may cease to be a fast-track application under section 87AAC(2) of the RMA.

Privacy Information:

Once this application is lodged with the Council it becomes public information. Please advise Council if there is sensitive information in the proposal. The information you have provided on this form is required so that your application for consent pursuant to the Resource Management Act 1991 can be processed under that Act. The information will be stored on a public register and held by the Far North District Council. The details of your application may also be made available to the public on the Council's website, www.fndc.govt.nz. These details are collected to inform the general public and community groups about all consents which have been issued through the Far North District Council.

17. Declaration

The information I have supplied with this application is true and complete to the best of my knowledge.

Name (please write in full)

Daniel Abercrombie

Signature

Date 08.05.2026

See overleaf for a checklist of your information...

Checklist

Please tick if information is provided

- Payment (cheques payable to Far North District Council)
- A current Certificate of Title (Search Copy not more than 6 months old)
- Details of your consultation with Iwi and hapū
- Copies of any listed encumbrances, easements and/or consent notices relevant to the application
- Applicant / Agent / Property Owner / Bill Payer details provided
- Location of property and description of proposal
- Assessment of Environmental Effects
- Written Approvals / correspondence from consulted parties
- Reports from technical experts (if required)
- Copies of other relevant consents associated with this application
- Location and Site plans (land use) AND/OR
- Location and Scheme Plan (subdivision)
- Elevations / Floor plans
- Topographical / contour plans

Please refer to Chapter 4 of the District Plan for details of the information that must be provided with an application. Please also refer to the RC Checklist available on the Council's website. This contains more helpful hints as to what information needs to be shown on plans.

**Land-use Application for
Ministry of Education
Te Kura o Waikare - 61 Waikare Valley Road, Kawakawa**

Date: 7/05/2026

Attention: Liz Searle & Jo Graham (Team Leaders, Resource Consents)

Please find attached:

- an application for a Land-use Resource Consent for Te Kura o Waikare to complete works over three stages which involves 5 new classrooms and a gymnasium. The location of the structures results in a setback from boundary infringement within the ***Rural Production zone***. Due to circumstances detailed in the report, written approval cannot be obtained and as such an Outline Plan application is not able to be sought. Aside from this one infringement the works can comply with all other provisions required by the designation and;
- an Assessment of Environmental Effects indicating the potential and actual effects of the proposal on the environment.

The application has been assessed as a **Restricted Discretionary Activity** under the Far North Operative District Plan and a **Permitted Activity** under the Proposed District Plan.

If you require further information, please do not hesitate to contact me.

Regards,



Sheryl Hansford
Director/Senior Planner



Rochelle Jacobs
Director/Senior Planner

NORTHLAND PLANNING & DEVELOPMENT 2020 LIMITED

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Attachments

- 1. FNDC Application**
- 2. Gazette Notice – LINZ**
- 3. Plan set – A-Line Architecture**

Landscape and has subsequently removed this notation from the school site. This has been reflected in the (PDP) as illustrated in the images below.

ME102	Waikare Primary School & House	Min of Educ	Waihaha Road, Waikare	Pt Waikare Blk SO14121, Blk XI Russell SD, 2.0219ha	37	RP
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Figure 2 - ODP Designation description



Figure 3 - Aerial view of the Kura. Source: Prover

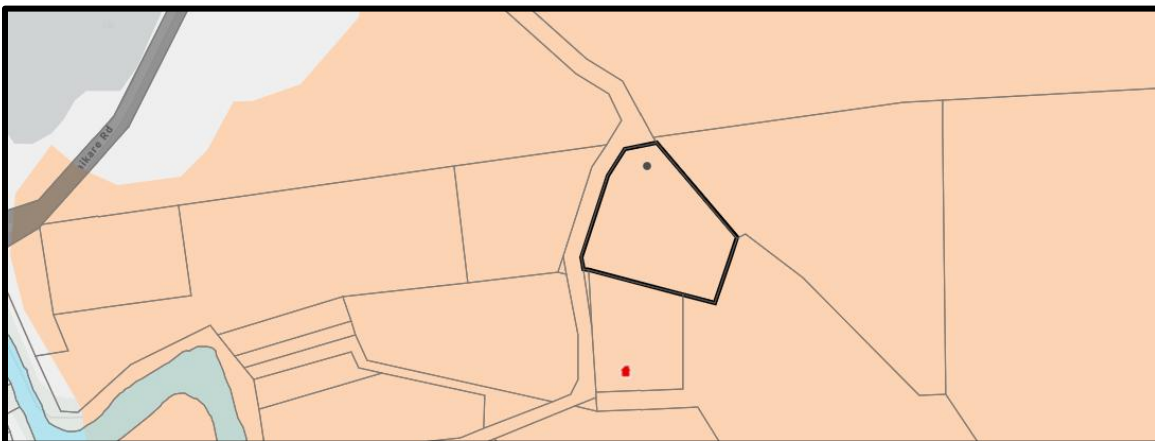


Figure 4 - Current FNDC ODP Zoning Maps indicating the site is affected by Outstanding Landscape

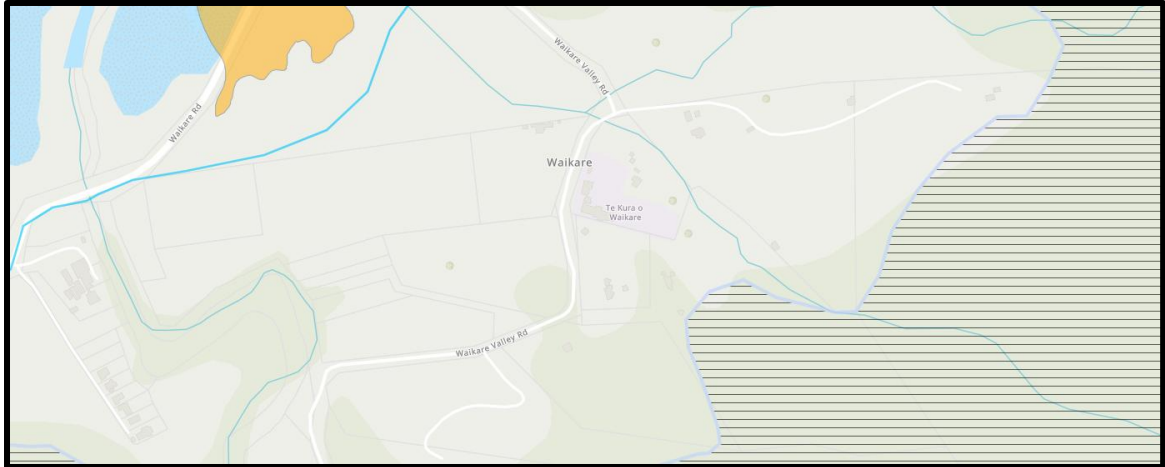


Figure 5 - NRC RPSN Maps indicating that the site is not affected by redefined Outstanding Landscape.

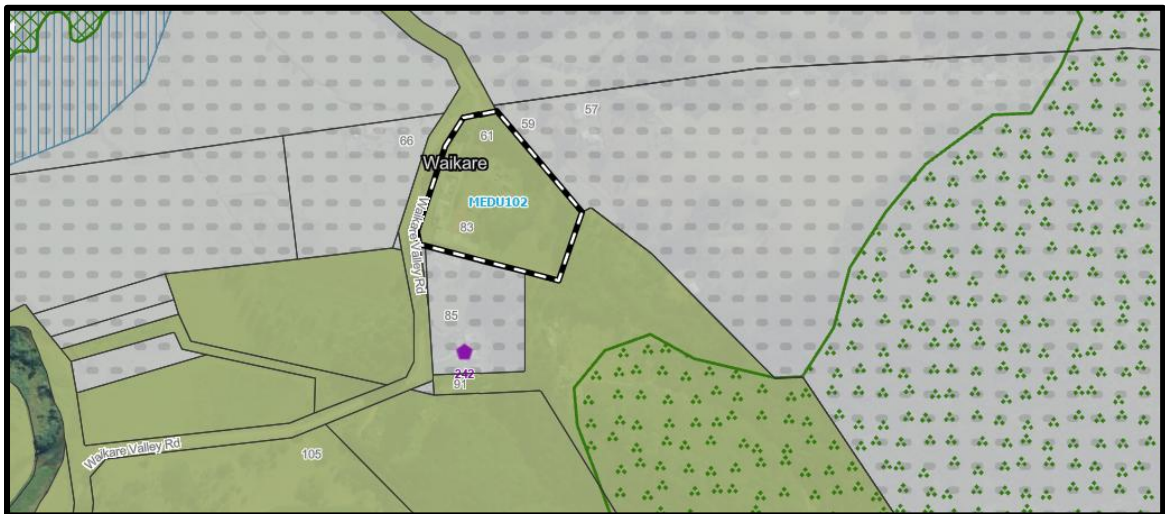


Figure 6 - PDP Maps indicating that the site is not affected by Outstanding Landscape

- 2.3 The site is legally described as Pt Waikare BLK SO14121, BLK XI Russell SD which has an area of 2.0219 hectares. Held within Gazette Notice 2327.
- 2.4 This designation is subject to 4 conditions within Appendix 5 – Designations of the Operative District Plan. These will be addressed in this application.

3. EXISTING FACILITIES

- 3.1 The school has been operating for a number of years and is an integral part of the surrounding community. The buildings and facilities are concentrated on the south-western portion of the site, adjacent to Waikare Valley Road and the adjoining Urupa. These buildings can be viewed within the aerial above.

- 3.2 Please note that an Outline Plan application has recently been granted for excavation works to form a new carpark and access road under RMAOUT 2250361. These works have been referenced as Stage 0 and have provided infrastructure to support these later stages.

4. PROPOSED WORKS DESCRIPTION

- 4.1 The works to be undertaken on site are as follows:

- Stage 1 - 3 new classrooms,
- Stage 2 – Gymnasium,
- Stage 3 – 2 new classrooms.

5. OUTLINE PLAN REQUIREMENTS

- 5.1 The Act includes specific procedural undertakings to be fulfilled prior to commencing work on the project. This is specified within Section 176A(3) which will be addressed below.

176A Outline plan

- (1) Subject to subsection (2), an outline plan of the public work, project, or work to be constructed on designated land must be submitted by the requiring authority to the territorial authority to allow the territorial authority to request changes before construction is commenced.
- (2) An outline plan need not be submitted to the territorial authority if—
 - (a) the proposed public work, project, or work has been otherwise approved under this Act; or
 - (b) the details of the proposed public work, project, or work, as referred to in subsection (3), are incorporated into the designation; or
 - (c) the territorial authority waives the requirement for an outline plan.
- (3) An outline plan must show—
 - (a) the height, shape, and bulk of the public work, project, or work; and
 - (b) the location on the site of the public work, project, or work; and
 - (c) the likely finished contour of the site; and
 - (d) the vehicular access, circulation, and the provision for parking; and
 - (e) the landscaping proposed; and
 - (f) any other matters to avoid, remedy, or mitigate any adverse effects on the environment.
- (4) Within 20 working days after receiving the outline plan, the territorial authority may request the requiring authority to make changes to the outline plan.
- (5) If the requiring authority decides not to make the changes requested under subsection (4), the territorial authority may, within 15 working days after being notified of the requiring authority's decision, appeal against the decision to the Environment Court.
- (6) In determining any such appeal, the Environment Court must consider whether the changes requested by the territorial authority will give effect to the purpose of this Act.
- (7) This section applies, with all necessary modifications, to public works, projects, or works to be constructed on designated land by a territorial authority.

Section 176A: inserted, on 17 December 1997, by section 38 of the Resource Management Amendment Act 1997 (1997 No 104).

- 5.2 We confirm that the works will be undertaken in accordance with the purpose of the designation which is for 'Educational Purposes', such that in accordance with 176(2) the zone and district wide matters in the District Plan need not be satisfied.

The provisions of a district plan or proposed district plan shall apply in relation to any land that is subject to a designation only to the extent that the land is used for a purpose other than the designated purpose.

- 5.3 While there is no requirement for an Outline Plan or Outline Plan Waiver to assess the rules of the District Plan, there are specific criteria which must be addressed in order for an Outline Plan or Outline Plan process to be utilised. These criteria will be assessed below.

6. ASSESSMENT UNDER THE DESIGNATION CHAPTER

6.1 The following assessment includes all conditions attached to Designation ME102.

1. Car Parking

Where new development increases the number of classrooms (or classroom equivalents) on a particular site, additional parking shall be provided at the rate of not less than two car parks per additional classroom or classroom equivalent, except where the Council accepts, on the basis of a specifically commissioned car parking study by an appropriately qualified engineer, that a lesser level is appropriate.

6.1.1 The proposal is to provide an additional 5 classrooms and a gymnasium. An Outline Plan application granted under RC2250361 was for excavation works to form a new carpark and access road. As per sections 1.3, 5.4.1 & 5.4.2 of the AEE for this previous Outline Plan, it was detailed that the site had 10 current carparking spaces and that a total of 4 new classrooms and 2 classroom equivalents (specialist classroom & gymnasium) would be constructed in latter stages. This required a total of 12 carparking spaces to be provided. In total 13 carparking spaces are being provided to satisfy Stages 1 – 3 of this development.

2. Traffic Management

That where an additional classroom or classrooms are proposed to be erected on the sites listed below a traffic management plan shall be submitted as a part of the outline plan of works:

6.1.2 Not applicable to this designation.

3. Building Setbacks

New buildings or structures shall comply with the setback from boundaries for permitted activities for the applicable underlying zone provided that the setback can be reduced where the written consent to such a reduction has been obtained from the registered proprietor of the relevant adjacent land.

6.1.3 The underlying zone for the site is the Rural Production Zone where the permitted threshold for building setbacks is 10m from any boundary. The new classrooms and gymnasium are to be located a minimum of 3.1 metres from the southern boundary. Two new water tanks are proposed behind existing Block 1. These will be approx. 2.8m in height and will sit 1.855m from the site boundary.

6.1.4 As written approval for the reduced setback is unable to be obtained from the registered proprietor of the adjoining properties the proposal is unable to satisfy the requirements for an Outline Plan and as such Land-use consent is required.

4. Conditions Relating to ME73 (Kaeo Primary School, Play Centre & Whangaroa College) and ME97 (Russell Primary School)

6.1.5 Not applicable to the subject site.

5. Conditions Relating to ME97 (Russell Primary School), ME111 (Kohukohu Primary School) and ME116 (Rawene Primary School)

6.1.6 Not applicable to the subject site.

6. Outstanding Landscapes

The following conditions apply to ME52, ME86, ME102 and ME117, and apply to those parts of the sites identified by the Resource Maps as being within outstanding landscape notation.

(a) Any work within an outstanding landscape which involves any of the following:

- (i) any filling of more than 300m² in a year or involving a cut or fill upslope batter of more than an average of 1.5m in height over a continuous length;*
- (ii) removal of vegetation for buildings or access of more than 1000m², or for purposes other than buildings or access;*
- (iii) new buildings of exceeding 25m² in area;*
- (iv) additions/alterations to buildings exceeding 20% of the gross floor area, or exceeding the height of, the building being added to or altered;*

shall be accompanied by an outline plan of works which includes a professional assessment of the effects of the work on the landscape qualities of the outstanding landscape unit and how these are proposed to be mitigated.

6.1.7 As detailed earlier in this application, under the ODP, the site is located within the mapped Outstanding Landscape (OL) – Russell Forest & Bush. While this is the case, the Regional Policy Statement for Northland (RPSN) undertook an updated assessment in 2016 and remapped areas of Outstanding Landscape. As part of this assessment the Outstanding Landscape covering the school was removed. This situation has now been reflected within the PDP which now largely restricts the area of OL to the bush areas south of the site.

6.1.8 It is considered that the re-evaluation of Outstanding Landscape 10 years ago by landscape professionals employed by the Northland Regional Council which recommended the removal of the Outstanding notation from the site satisfies the professional assessment requirement of this condition. Moreover, given the above assessment, no mitigation measures are considered necessary.

6.1.9 The proposal is considered to satisfy the requirements of this condition.

7. Coastal Hazard

6.1.10 Not applicable to the subject site

8. Flood Susceptible Areas

The following condition applies to those designations numbered ME51, ME57, ME62, ME66, ME71, ME72, ME85, ME87, ME92, ME102, ME104, ME107, ME108, ME109, ME117, ME119 and ME139 applies only to those parts of the sites which fall within flood susceptible areas as identified on the Council’s Hazard Register:

(a) Any outline plan of works shall be accompanied by a report or certificate from a suitably qualified and experienced professional indicating that the sub-floor design is able to withstand, and that the floor levels are above, a 50 year return period flood.

6.1.11 The site is shown to be susceptible to river flood hazards, as indicated in **Figure 7** below. The works will be carried out outside of the areas shown to be susceptible to river flood hazards, and therefore additional reports are not considered to be required.

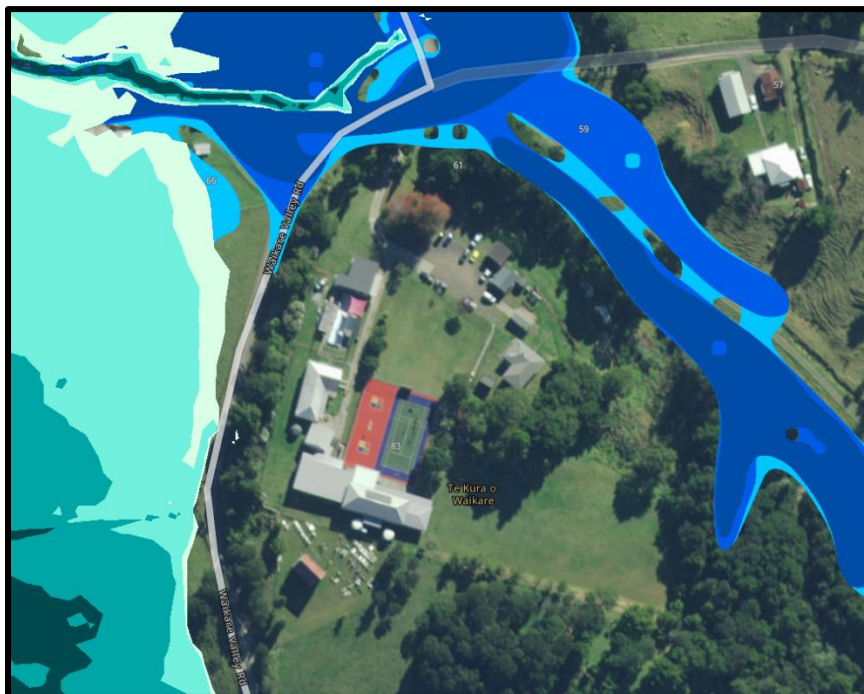


Figure 7 - NRC Hazard Maps indicating area of site susceptible to flood hazards.

7. ASSESSMENT UNDER SECTION 176A(3)

7.1 This section of the Act prescribes six matters to be presented to Council when considering the Outline Plan application. While it is noted above that the setback from boundaries matter excludes the application from being treated under section 176A of the Act, the information requirements are helpful in assessing the remainder of the activity.

(a) the height, shape, and bulk of the public work, project, or work;

7.1.2 The attached plans detail the height, shape and bulk of the proposed works.

(b) the location on the site of the public work, project, or work;

7.1.3 The site plans show the location of the works.

- (c) the likely finished contour of the site;*
- 7.1.4 The work will alter the existing contour of the site.
- (d) the vehicular access, circulation, and the provision for parking;*
- 7.1.5 The vehicular access, circulation and provision of parking is shown within the attached plans.
- (e) the landscaping proposed;*
- 7.1.6 No new landscaping is proposed as part of this development, nor considered necessary due to the existing vegetation within the site itself and along the boundaries.
- (f) any other matters to avoid, remedy, or mitigate any adverse effects on the environment.*
- 7.1.7 The nature and scale of the proposed work is not considered to be objectional to the surrounding environment and will ensure that there is adequate teaching space for teachers and students within the community.
- 7.1.8 Overall, it is considered the application and supporting documents address the relevant matters with Section 176A of the Act.

8. ASSESSMENT OF RULE 8.6.5.3.4 - SETBACK FROM BOUNDARIES

- 8.1 As per section 6.1.3 – 6.1.4 above, elements of the proposal are unable to be assessed under section 176A of the Act given that condition 3 of the Ministry of Education designation criteria cannot be satisfied.
- 8.1.1 As all other remaining conditions of the designation are demonstrated to be satisfied, this land use assessment has a sole focus on the setback infringement. No other District Plan rules are considered applicable and as such a full rule assessment has not been completed. The proposal triggers land-use consent under *Rule 8.6.5.1.4 Setback from Boundaries*. The infringement is considered to meet the restricted discretionary activity provisions. An assessment of Rule 8.6.5.3.4 *Setback from Boundaries* has been undertaken below:

In assessing an application resulting from a breach of Rule 8.6.5.1.4 Setback from Boundaries the matters to which the Council will restrict its discretion are:

- (a) the extent to which the building(s) reduces outlook and privacy of adjacent properties;*
- (b) the extent to which the buildings restrict visibility for access and egress of vehicles;*
- (c) the ability to mitigate any adverse effects on the surrounding environment, for example by way of planting;*
- (d) for sites having a frontage with Kerikeri Road (between its intersection with SH10 and Cannon Drive:*
- (e) for residential buildings located within 100m of Minerals Zone:*
- (f) the extent to which the buildings and their use will impact on the public use and enjoyment of adjoining esplanade reserves and strips and adjacent coastal marine areas.*

- 8.1.2 The new classrooms and gymnasium are to be located 3.1 metres from the southern boundary. The new buildings have been designed so that they are similar in scale and outlook as the existing classrooms that are located along the same boundary.



Figure 8 – Existing classrooms along same boundary as proposed new buildings.

- 8.1.3 There are two properties which adjoin the boundary of this development. One is a family Urupa that contains grave sites and a historic church that is in disrepair. The remainder of the site is grazed farmland and bush. The second property is a lifestyle allotment where the dwelling and outside curtilage areas are setback some 45-50m from the shared boundary. The area immediately adjoining the boundary contains mature trees and grazed farmland.
- 8.1.4 The dividing boundary contains a fence, mature trees and indigenous bush which provide privacy and separation between the sites. As stated above the existing classrooms are located immediately opposite to the grave sites and dilapidated church. The proposed new structures adjoin the same boundary, however, are located beyond the area utilised by the Urupa (with the exception of the two new water tanks). The new classrooms will adjoin a portion of the boundary that contains mature indigenous trees.
- 8.1.5 The combination of the 3m separation distance for the future classrooms and gymnasium coupled with the presence of existing vegetation and the existing character ensures that the proposal will not reduce outlook or privacy to those adjacent properties.
- 8.1.6 The water tanks will be setback further from the boundary in comparison to the existing tanks on site. The tanks just exceed the height requirement of 2.7m which results in them being defined as buildings. Given that as a permitted activity the tanks could be located in this position if they were 10cm shorter, the impact of these new tanks is indiscernible from the permitted standard.



Figure 8 - Site boundary in background with existing water tanks near urupa and grazed farmland adjacent to the new development boundary (Image taken from neighboring site)



Figure 9 - Common boundary illustrating areas of bush which provide some screening of the school buildings (image taken from neighboring site).

8.1.7 Access to the site is via existing provisions which is located towards the northern part of the site away from the proposed development therefore the buildings do not restrict the visibility for access and egress of vehicles.

- 8.1.8 It is not considered that additional planting is required along the boundary for the reasons explained above.
- 8.1.9 Items (d), (e) and (f) are not applicable to this proposal.
- 8.1.10 Overall, the setback infringement is considered to create effects that are less than minor given built development is existing on this boundary and the 3 proposed new structures are similar in scale and separation distance. In addition to this the setback infringement, there will be no change the existing character of the surrounding environment given the site is designated for the purposes of a school and the proposal is consistent with this. No other adjacent sites nor any other parties are considered to be affected.

9 NOTIFICATION ASSESSMENT

- 9.1 Section 95A-95G sets out the public and limited notification criteria for resource consent applications.

Section 95A – Public Notification Assessment

- 9.2 Section 95A requires a council to follow specific steps when deciding whether to publicly notify an application for resource consent. These steps are set out and commented on as follows.

Step 1: Mandatory public notification in certain circumstances

S95A(3)(a)	The applicant requests public notification
S95A(3)(b)	Public notification is required under section 95C
S95A(3)(c)	The application is made jointly with an application to exchange recreation reserve land under section 15AA of the Reserves Act 1977.

- 9.3 The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.
- 9.4 The Applicant has not requested public notification, nor is it required under section 95C. Section 95A(3)(c) is not applicable.

Step 2: If not required by step 1, public notification in certain circumstances

S95A(5)(a)	Is the application for a resource consent for one or more activities and each activity is subject to a rule or national environmental standard that precludes public notification.
S95A(5)(b)	Is the application for a resource consent for 1 or more of the following, but not other, activities; a controlled activity; a

	restricted discretionary, discretionary or non-complying activity, but only if the activity is a boundary activity.
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- 9.5 The activity is a restricted discretionary boundary activity such that it is precluded by step 2 and step 3 does not require consideration.

Step 4: Public notification in special circumstances

S95(9)	Do special circumstances exist in relation to the application that warrant the application being publicly notified?
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- 9.6 When considering public notification, current case law has defined ‘special circumstances’ as those outside the common run of things which are exceptional, abnormal or unusual, but they may be less than extraordinary or unique. The proposed activity is to establish 5 new classrooms and a gymnasium within a site designated for education purposes. There are no extraordinary or unique circumstances.
- 9.7 Potential adverse effects beyond the immediate site boundary are less than minor. Public notification of the application is not deemed necessary, nor is it required.

Section 95B – Limited Notification Assessment

- 9.8 If an application is not publicly notified, a consent authority must follow the steps of section 95B to decide if limited notification is required. A Section 95B assessment requires a decision about whether there are any specified affected groups or affected persons (under section 95E).

Step 1: Certain affected groups and affected persons must be notified

S95B(2)(a)	Are there any affected protected customary rights groups
S95B(2)(b)	Are there any affected customary marine title groups (in the case of an application for a resource consent for an accommodated activity)?
S95B(3)(a)	Is the proposed activity adjacent to, or may affect land that is the subject of a statutory acknowledgement made in accordance with an Act specified in Schedule 11?
S95B(3)(b)	Is the person to whom the statutory acknowledgement is made is an affected person under section 95E?

- 9.9 The proposed activity would not affect any protected customary rights groups or marine title groups. The proposed activity is not adjacent to and would not affect land (or persons) that are the subject of a statutory acknowledgement.

Step 2: If not required by step 1, limited notification precluded in certain circumstances

S95B(6)(a)	The application is for a resource consent for 1 or more activities, and each activity is subject to a rule or national environmental standard that precludes limited notification.
S95B(6)(b)	The application is for a controlled activity (but no other activities) that requires a resource consent under a district plan (other than a subdivision of land).

- 9.10 The proposed activity is not subject to a rule or national environmental standard that precludes limited notification. The application activity status is not ‘controlled’.

Step 3: If not precluded by step 2, certain other affected persons must be notified

S95B(7)	In the case of a boundary activity, determine in accordance with section 95E whether an owner of an allotment with an infringed boundary is an affected person.
S95B(8)	In the case of any other activity, determine whether a person is an affected person in accordance with section 95E.

- 9.11 In deciding who is an affected person under section 95E, a council under section 95E(2):

(2) The consent authority, in assessing an activity’s adverse effects on a person for the purpose of this section,—

(a) may disregard an adverse effect of the activity on the person if a rule or a national environmental standard permits an activity with that effect; and

(b) must, if the activity is a controlled activity or a restricted discretionary activity, disregard an adverse effect of the activity on the person if the effect does not relate to a matter for which a rule or a national environmental standard reserves control or restricts discretion; and

(c) must have regard to every relevant statutory acknowledgement made in accordance with an Act specified in Schedule 11.

- 9.12 A Council must not consider that a person is affected if they have given their written approval, or it is unreasonable in the circumstances to seek that person’s approval.

- 9.13 With respect to section 95B(8) and section 95E, the permitted baseline was considered as part of the assessment of environmental effects undertaken in Section 8 of this report, which found that the potential adverse effects on the environment will be less than minor. In regard to effects on persons, the assessment provided within this report is also relied on and the following comments made:

- 9.13.1 The adjoining properties adjacent to the affected boundary are identified as Waikare No 9 Block – 85 Waikare Valley Road, Waikare and Lot 1 DP 131333- 91 Waikare Valley Road, Waikare. Waikare No 9 Block was held by Pou Werekake (the registered owner) until his passing. It is understood that he passed away without descendants and that there are no direct heirs to whom the estate could be transferred. As a result, the land has not passed through normal succession, and the question of legal ownership of Waikare No 9 Block remains to be resolved. In this case section 95E(3)(b) is applicable. The school and the Ministry for the past year has made attempts to consult with relevant parties. While the wider community is supportive of the project it has become unreasonable to continue waiting for the ownership matter to be resolved.
- 9.13.2 The proposed activity is a boundary activity. The proposal seeks to establish 5 new classrooms and a gymnasium within the site. In terms of the impact on the setback infringement on the adjoining neighbours, there will be no change in effects. The infringement is such that the structures are 3.1m from the boundary in comparison to the permitted activity status which requires a 10m setback. The new structures are setback the same distance as other built development on this boundary.
- 9.13.3 The impact of the additional structures on this boundary will be no more than minor. It is a designated site where development to support a school is anticipated. A reasonable setback from boundary has been retained to ensure maintenance of the buildings will be restricted to the property.
- 9.13.4 All other persons are sufficiently separated from the proposed development and works, such that there will be no effects on these people.
- 9.13.5 The development is not considered to be contrary to the objectives and policies under the District Plan.
- 9.13.6 Overall, the adverse effects on any persons are considered to be less than minor. Therefore Step 3 does not apply.

Notification Assessment Conclusion

- 9.14 Pursuant to sections 95A to 95G it is recommended that the Council determine the application be non-notified for the above-mentioned reasons.

10. CONCLUSION

- 10.1 The proposal will result in 5 additional classrooms and a gymnasium within the school grounds to support the growing community. A land-use consent has been applied for rather than an Outline Plan due to the setback distance of the new structures breaching the permitted 10m setback provisions. Aside from the setback from boundary infringement, the proposed works are in accordance with the designation. The proposed new structures adjoin a boundary that is occupied by mature vegetation to the extent where it is considered the effects of the setback breach are considered to be no more than minor.
- 10.2 The site is anticipated to contain activities in relation to a school as the site is a designated site for this purpose. The school forms part of the existing environment and is in keeping with the existing character and qualities of the landscape. Therefore, any potential effects resulting from the development are considered to be less than minor.
- 10.3 The remainder of the proposal is considered to fit within the requirements to satisfy approval under Section 176A of the Act. All district plan requirements (albeit the setback) stipulated for the Designation can be attained.
- 10.4 It is also considered that the proposal will have less than minor effects on the wider environment, no persons will be adversely affected by the proposal and there are no special circumstances.
- 10.5 As a Restricted Discretionary Activity, the application has been assessed under the matters specified under Section 104 and 104C of the Resource Management Act 1991. It is considered that the proposal results in no more than minor effects on the environment. It is considered appropriate for consent to be granted on a non-notified basis. We therefore seek a favourable response from Council as soon as practicably possible.

11. LIMITATIONS

- 11.1 This report has been commissioned solely for the benefit of our client, in relation to the project as described above, and to the limits of our engagement, with the exception that the Far North District Council or Northland Regional Council may rely on it to the extent of its appropriateness, conditions and limitations, when issuing their subject consent.
- 11.2 Copyright of Intellectual Property remains with Northland Planning and Development 2020 Limited, and this report may NOT be used by any other entity, or for any other proposals, without our written consent. Therefore, no liability is accepted by this firm or any of its directors, servants or agents, in respect of any information contained within this report.

- 11.3 Where other parties may wish to rely on it, whether for the same or different proposals, this permission may be extended, subject to our satisfactory review of their interpretation of the report.
- 11.4 Although this report may be submitted to a local authority in connection with an application for a consent, permission, approval, or pursuant to any other requirement of law, this disclaimer shall still apply and require all other parties to use due diligence where necessary.

PACIFIC OCEAN.

ARU ISLS.—TRANGAN ISL.—A shoal, carrying 4 ft. to 12 ft., extends about 2 miles N. 55° W. from the srn. pt. of the entr. to Serwatti River. Its N.-wrn. end is in approx. 6° 25½' S., 134° 5' E. June.

CHINA STRAIT.—A shoal, coral heads, ½ cable in extent, carrying a least depth of 2½ fms. L.W. springs, steep-to, is reported to exist in approx. 13° 35½' S., 150° 41½' E., in the strait, with Isu Bobo Pt. S. 16° W., 4 cables, and Siro Siro Mai Pt. S. 54° E. It has been charted as carrying 2½ fms. June.

NORTH AMERICA.—WEST COAST.

DIXON ENTR.—PORT SIMPSON APPROACH.—Information has been received respecting the following danger and isls. in the entr.: 1. McCullough Rk., which appeared to carry about 6 ft., is in approx. 54° 35' N., 131° 12' W., with E. Devil Rk. N. 12° E., 7 miles, and Barren Isl. centre N. 55° W., and was obser. to be breaking in a comparatively smooth sea. At 1 mile there are depths of over 50 fms. N.-wrn. and 16 fms. nrn. from it. Vessels are warned against passing to the erd. of this rk. or between it and Zayas Isl. until this passage has been exam. 2. White Isls. are a group of wooded isls., extending about 1 mile from the N.-wrn. extr. of N. Dundas Isl., with foul ground between. The nrn.-most isl. is about 5½ miles S. 80° W. from Table Hill summit (54° 36½' N., 130° 46½' W.). 3. Zayas Isl. is about 3 miles long nly. and sly. and 2 miles broad; the summit, which is near the srn. end, is flat-topped, and 295 ft. above H.W.; the N.-wrn. extr. of the isl. a low wooded pt., is about 11 miles S. 69° W. from Table Hill summit. Dry ledges extend for about ¼ mile from this pt. There are several rks., 20 ft. above H.W., off the srn. extr. of Zayas Isl. The position of this isl. appears to differ considerably from that shown on the chart. June.

A bank, carrying 7 fms., exists in approx. 54° 15½' N., 130° 38' W., in the approach to Brown Passage, 2½ miles S. 8° E. from the srn. extr. of Lucy Isl. Vessels are recommended not to pass between this bank and the Lucy Isls., as further dangers probably exist. June.

BELLINGHAM BAY.—A red bell buoy, No. O, is moored in 34 ft. to mark the wrn. extr. of the shoal off Post Pt., and lies with Post Pt., right tangent, S. 62° E., and Pt. Frances, left tangent, S. 46° W. June.

CALIFORNIA.

CRESCENT CITY LT.—On 18th May, 1907, this lt. (41° 44½' N., 124° 12' W.) was to be altered from F. and fl. white every 90 secs. to fl. white every 15 secs. In other respects the lt. remains as before. (Note.—The exact periods of fl. and ecl. are not stated.) June.

Notice to Mariners No. 52 of 1907.

Marine Department,
Wellington, 25th July, 1907.

THE following Notice to Mariners, received from the Premier's Office, Nukualofa, Tonga, is published for general information.

J. A. MILLAR.

NOTICE TO MARINERS.

MASTERS of vessels and others are hereby informed that an eruption has occurred thirty miles, more or less, south-west from the western point of Togatabu (Ninasonoto). Steam and smoke are visible at daytime, fire visible at night, and land is forming around the eruption.

J. T. MATHEALONA,
Premier.

Premier's Office,
Nukualofa, 24th June, 1907.

Authorising the Laying-off of Henry Street, in the Township of Upper Hutt Extension No. 1, Wellington Land District, of a Width of not less than 66 ft.

Department of Lands,
Wellington, 19th July, 1907.

IN pursuance of the power and authority conferred upon me by section 2 of "The Towns Main Streets Act, 1902," I, Robert McNab, Minister of Lands, do hereby authorise the laying-off of Henry Street, in the Township

of Upper Hutt Extension No. 1, Wellington Land District, of a width of not less than 66 ft., instead of 99 ft. as prescribed by section 17 of "The Land Act, 1892."

ROBERT McNAB,
Minister of Lands.

Native-school Site at Waikare.

Education Department,
Wellington, 29th July, 1907.

THE following report of the person appointed by the Governor, under the provisions of "The Native Schools Sites Act, 1880," to ascertain the title of certain Natives to land at Waikare, in the County of Bay of Islands, having been adopted by the Governor, is published in accordance with the said Act.

GEO. FOWLDS.

REPORT UNDER "THE NATIVE SCHOOLS SITES ACT, 1880."

WHEREAS certain Natives have consented to appropriate for a school-site a portion of Waikare No. 1 Block, situate in Block XI, Russell Survey District, more fully described in the Schedule hereto, the title to which has not been finally determined by the Native Land Court:

And whereas His Excellency the Governor of the Colony of New Zealand appointed me, the undersigned, to inquire into and ascertain the title to the said piece of land, and to obtain the consent of such Natives as may be deemed to be the owners thereof to such appropriation, and otherwise to proceed in respect of such land in accordance with the provisions of the said Act: And whereas I have made such inquiry as commanded:

Now, therefore, I do hereby report that, having duly notified in the *Kahiti* and a local newspaper the time and place of holding such inquiry, I sat at the Courthouse, Russell, on Thursday, the 11th day of July, 1907, at 11 of the clock in the forenoon for the purpose of such inquiry, when several Natives of adult age were present claiming interests in the said Waikare No. 1 Block, within which the proposed school site is situated.

The notices convening the meeting and the description of the land proposed to be appropriated were duly read over in the Maori language to those assembled, and Plan No. 14121, delineating the position of the said land, was laid before them and likewise explained to them in their own language to their full comprehension and satisfaction. It was then agreed unanimously that Dave Wherekake, Kereama Hoori, Henare Hemara, and Mita Wepiha should be named as owners of the proposed school-site; it being expressly decided that such fixing of owners should in no way be made use of in the claims now or hereafter to be before the Native Land Court in respect of the surrounding lands, nor prejudice the rights of any person or persons whomsoever to such adjacent lands.

Subject to such reservation, and on the condition that the reserve for a school-site already appropriated by the Natives to the Crown in the neighbouring block to Waikare No. 1, and known as "Waihaha" Block, should cease to be a reserve for a school-site and be returned to the true owners thereof, the said Dave Wherekake, Kereama Hoori, Henare Hemara, and Mita Wepiha, claiming interest in the said Waikare No. 1 Block, consented to the appropriation by the Crown of the land hereinafter described for a school-site under the provisions of the above-mentioned Act.

As witness my hand, at Russell, in the Provincial District of Auckland, in the said Colony of New Zealand, this 17th day of July, 1907.

R. STONE FLORANCE, S.M.

SCHEDULE.

DESCRIPTION OF LAND REFERRED TO.

ALL that parcel of land in the Auckland Land District, containing by admeasurement 5 acres, more or less, situated in Block XI, Russell Survey District, and being a portion of Waikare No. 1 Block, No. 7260 (red). Commencing at survey peg vi at the northernmost angle of the aforesaid site, being 848282.3 links to the northward and 239382.3 links to the westward of Trig. 16, Mount Eden. Bounded towards the north-east by a line running on a bearing of 140° 29' 30", 686.6 links; towards the east by a line bearing 195° 03', 382 links; towards the south by a line bearing 285° 04' 45", 810.81 links; towards the west by a line bearing 15° 04' 45", 513.55 links; and towards the north-west generally by lines bearing 34° 43', 169.14 links, and 76° 14' 30", 221.85 links respectively, to the commencing-point: be all the aforesaid linkages more or less: as the same is delineated on Map No. 14121, deposited in the office of the Department of Lands and Survey, at Auckland, in the Auckland Land District, and thereon edged pink.

Classification of a Reserve

Pursuant to the Reserves Act 1977, and to a delegation from the Minister of Conservation, Auckland Regional Conservator, Auckland Conservancy, Department of Conservation, hereby classifies the reserve, described in the Schedule hereto, as a recreation reserve, subject to the provisions of the said Act.

Schedule**North Auckland Land District—Auckland City**

1621 square metres, more or less, being Lot 1, L.T. 131932 (being part Allotment 54, Section 6, Suburbs of Auckland), situated in Block XVI, Waitemata Survey District. All certificate of title 572/116 (limited as to parcels).

Dated at Auckland this 23rd day of June 1990.

G. H. CAMPBELL, Regional Conservator, Auckland.

(Files H.O. RRC 113; R.O. LRC 736)

In7183

Classification of Reserve and Union of Reserve With the Mount Eden (Maungawhau) Domain Recreation Reserve

Pursuant to the Reserves Act 1977, and to a delegation from the Minister of Conservation, Auckland Regional Conservator, Auckland Conservancy, Department of Conservation, hereby classifies the reserve, described in the Schedule hereto, as a recreation reserve, subject to the provisions of the said Act, and further, declares that, on and after the date of publication of this notice, the said reserve shall be united with the Mount Eden (Maungawhau) Domain Recreation Reserve.

Schedule**North Auckland Land District—Auckland City**

1547 square metres, more or less, being Section 1, S.O. 63939, situated in Block XVI, Waitemata Survey District. All *New Zealand Gazette*, 1990, page 19.

Dated at Auckland this 23rd day of June 1990.

G. H. CAMPBELL, Regional Conservator, Auckland.

(Files H.O. RRC 113; R.O. LRC 736)

In7184

Declaration that Land is a Reserve

Pursuant to the Reserves Act 1977, and to a delegation from the Minister of Conservation, the Regional Conservator, Department of Conservation, hereby notifies that the following resolution was passed by the Tauranga City Council (now Tauranga District Council) on the 8th day of March 1988:

"That in exercise of the powers conferred on it by Section 14 of the Reserves Act 1977, the Tauranga City Council hereby resolves that the pieces of land held by the said council in fee simple and described in the Schedule hereto, shall be, and the same are hereby declared to be reserves for recreation purposes within the meaning of the said Act".

Schedule**South Auckland Land District—Tauranga District**

1686 square metres, more or less, being Lot 34, D.P. S. 42734, situated in N.Z.M.S. 261 Sheet U14 4.3. All certificate of title 38C/101.

398 square metres, more or less, being Lot 37, D.P. S. 42734, situated in N.Z.M.S. 261 Sheet U14 4.3. All certificate of title 38C/102.

D. A. FIELD, Regional Conservator, Department of Conservation.

(D.O.C. File B.O.P. 7/81)

In7281

10/1

Change of Classification of Part of a Reserve and Vesting of Reserve

Pursuant to the Reserves Act 1977, and to a delegation from the Minister of Conservation, the Regional Conservator of the Department of Conservation hereby changes the classification of that part of the reserve described in the schedule hereto, from a recreation reserve to a local purpose (refuse transfer station) reserve and further, vests the reserve in the Whakatane District Council in trust for that purpose.

Schedule**South Auckland Land District—Whakatane District**

2808 square metres, more or less, being Part Allotment 857 Parish of Matata, recorded on N.Z.M.S. 261 V15 Sheet 6.2. Part *New Zealand Gazette* 1983 page 759. Shown as Area "A" on S.O. Plan 58189.

Dated at Rotorua this 15th day of June 1990.

D. A. FIELD, Regional Conservator, Department of Conservation.

(D.O.C. R.O. 7/58)

In7284

1/1

Revocation of the Reservation Over a Reserve—Specifying the Manner of Disposal and How Proceeds of Sale Shall be Utilised

Pursuant to the Reserves Act 1977, and to a delegation from the Minister of Conservation, the Regional Conservator, Canterbury, hereby revokes the reservation as a reserve for a market site over the land in the Schedule hereto, and further, declares that the said land may be leased or sold by the Timaru District Council on such terms and conditions as the council shall determine, the proceeds from any such leasing or sale to be paid into the council's reserves account, such monies to be used and applied in or towards the improvement of other reserves under the control of the council or in or towards the purchase of other land for reserves.

Schedule**Canterbury Land District—Timaru District**

3591 square metres, more or less, being Lots 4, 5, 6 and 7, D.P. 1251 and part Reserve 2504C, situated in Block II, Patiti Survey District. Part certificate of title 455/123. Market site, *New Zealand Gazette*, 1881, page 1221.

Dated at Christchurch this 28th day of June 1990.

M. J. CUDDIHY, Regional Conservator, Canterbury.

(D.O.C. C.O. 1/20/4/2)

In7334

2

Revocation of the Reservation Over a Reserve

Pursuant to section 24 of the Reserves Act 1977, and to a delegation from the Minister of Conservation, the Regional Conservator of the Nelson/Marlborough Conservancy, hereby revokes the reservation as a reserve for a site for an aerodrome over the land described in the Schedule hereto.

Schedule**Marlborough Land District—Marlborough District**

47.5443 hectares, more or less, being Section 1, S.O. 6862, part certificate of title, Volume 2G, folio 83.

I. BLACK, Regional Conservator Nelson/Marlborough Conservancy, Department of Conservation.

(C.O. Res. 1006)

In7323

Vesting a Reserve in the Kaikoura District Council

Pursuant to the Reserves Act 1977 and to a delegation from the Minister of Conservation, the Nelson/Marlborough Regional Conservator of the Department of Conservation

Declaration That Part of the Mangamutu Domain Shall be a Recreation Reserve and Revocation of the Reservation Over the Said Reserve

PURSUANT to the Reserves and Domains Act 1953, the Minister of Lands hereby declares that that part of the Mangamutu Domain described in the Schedule hereto shall cease to be subject to the provisions of Part III of the Reserves and Domains Act 1953 and shall be destined to be a recreation reserve, subject to Part II of the said Act and, further, revokes the reservation for recreation purposes over the said reserve.

SCHEDULE

WELLINGTON LAND DISTRICT

SECTION 64 (formerly part Section 51), Scarborough Suburban, situated in Block VII, Mangahao Survey District: Area, 16.4 perches, more or less (S.O. Plan 25718).

Dated at Wellington this 24th day of March 1964.

R. G. GERARD, Minister of Lands.

(L. and S. H.O. 1/82; D.O. 8/3/28)

Reservation of Land

PURSUANT to the Land Act 1948, the Minister of Lands hereby sets apart the land described in the Schedule hereto as a reserve for scenic purposes.

SCHEDULE

SOUTH AUCKLAND LAND DISTRICT—OPOTO SCENIC RESERVE
OPOTO Block, situated in Blocks X and XIV, Runanga Survey District: Area, 245 acres 1 rood, more or less (M.L. Plan 17780).

Dated at Wellington this 24th day of March 1964.

R. G. GERARD, Minister of Lands.

(L. and S. H.O. 7/611; D.O. M.P. 4)

Reservation of Land and Declaration That Land be Part of the Carluke Domain

PURSUANT to the Land Act 1948, the Minister of Lands hereby sets apart the land described in the Schedule hereto as a reserve for recreation purposes and, further, pursuant to the Reserves and Domains Act 1953, declares the said reserve to be a public domain, subject to the provisions of Part III of the last-mentioned Act, to form part of the Carluke Domain to be administered as a public domain by the Domain Board.

SCHEDULE

MARLBOROUGH LAND DISTRICT—PART CARLUKE DOMAIN

SECTION 83, Block I, Wakamarina Survey District: Area, 1 rood 25.3 perches, more or less (S.O. Plan 4641).

Dated at Wellington this 24th day of March 1964.

R. G. GERARD, Minister of Lands.

(L. and S. H.O. 1/901; D.O. 8/3/16)

Reservation of Land and Declaration That Land be Part of Washbourn Scenic Reserve

PURSUANT to the Land Act 1948, the Minister of Lands hereby sets apart the land described in the Schedule hereto as a reserve for scenic purposes and, further, pursuant to the Reserves and Domains Act 1953, declares the said reserve to form part of the Washbourn Scenic Reserve.

SCHEDULE

NELSON LAND DISTRICT—PART WASHBOURN SCENIC RESERVE
SECTION 266, District of Takaka, situated in Block II, Waitapu Survey District: Area, 2 roods 25 perches, more or less (S.O. Plan 10321).

Dated at Wellington this 24th day of March 1964.

R. G. GERARD, Minister of Lands.

(L. and S. H.O. 4/1070; D.O. 13/81)

Crown Land Set Apart for State Housing Purposes in the Borough of Matamata

PURSUANT to section 25 of the Public Works Act 1928, the Minister of Works hereby declares the land described in the Schedule hereto to be set apart for State housing purposes from and after the 6th day of April 1964.

SCHEDULE

SOUTH AUCKLAND LAND DISTRICT

ALL that piece of Crown land containing 28.92 perches situated in the Borough of Matamata, being Lot 7, D.P. S. 1238, being part Section 65, Matamata Settlement. Formerly part certificate of title, Volume 807, folio 131, South Auckland Land Registry.

Dated at Wellington this 17th day of March 1964.

P. B. ALLEN, Minister of Works.

(H.C. X/131; D.O. 54/25/1)

Crown Land Set Apart for a Public School in Block XIII, Maramarua Survey District (Opuatia Primary School)

PURSUANT to section 25 of the Public Works Act 1928, the Minister of Works hereby declares the land described in the Schedule hereto to be set apart for a public school from and after the 6th day of April 1964.

SCHEDULE

SOUTH AUCKLAND LAND DISTRICT

ALL that piece of Crown land containing 3 acres 2 roods 28.3 perches, being Section 18, Block XIII, Maramarua Survey District, as shown on a plan lodged in the office of the Chief Surveyor at Hamilton as S.O. 42315.

Dated at Wellington this 17th day of March 1964.

P. B. ALLEN, Minister of Works.

(P.W. 31/2544; D.O. 39/252/0)

Public Reserve Set Apart for a Public School in Block XII, Tokomairiro Survey District, Bruce County

PURSUANT to section 25 of the Public Works Act 1928, the Minister of Works hereby declares the land described in the Schedule hereto to be set apart for a public school from and after the 6th day of April 1964.

SCHEDULE

OTAGO LAND DISTRICT

ALL those pieces of land containing 4 acres 2 roods 36 perches situated in Block XII, Tokomairiro Survey District, Otago R.D., being Sections 117 and 122.

Dated at Wellington this 5th day of March 1964.

P. B. ALLEN, Minister of Works.

(P.W. 31/1661; D.O. 16/32/0)

Land Held for the Purposes of the Housing Act 1955 Set Apart as Additional Land for a Secondary School in the City of Napier

PURSUANT to section 25 of the Public Works Act 1928, the Minister of Works hereby declares the land described in the Schedule hereto to be set apart for a secondary school from and after the 6th day of April 1964.

SCHEDULE

HAWKE'S BAY LAND DISTRICT

ALL that piece of land containing 1 rood 4.2 perches situated in the City of Napier, Hawke's Bay R.D., and being Lot 1, D.P. 1628, being part Town Section 437, Town of Napier. All certificate of title, H.B. Volume 54, folio 239.

Dated at Wellington this 17th day of March 1964.

P. B. ALLEN, Minister of Works.

(P.W. 31/389; D.O. 13/1/4)

Declaring Land Taken for State Housing Purposes in the Borough of Blenheim

PURSUANT to section 32 of the Public Works Act 1928, the Minister of Works hereby declares that a sufficient agreement to that effect having been entered into, the land described in the Schedule hereto is hereby taken for State housing purposes from and after the 6th day of April 1964.

SCHEDULE

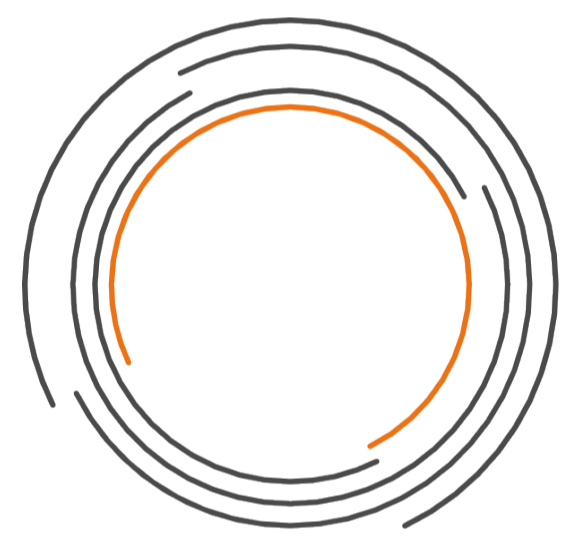
MARLBOROUGH LAND DISTRICT

ALL that piece of land containing 31.47 perches situated in the Borough of Blenheim, Marlborough R.D., being Lot 3, D.P. 2406, being part Section 47, District of Wairau. All certificate of title, Volume 57, folio 11, Marlborough Land Registry.

Dated at Wellington this 17th day of March 1964.

P. B. ALLEN, Minister of Works.

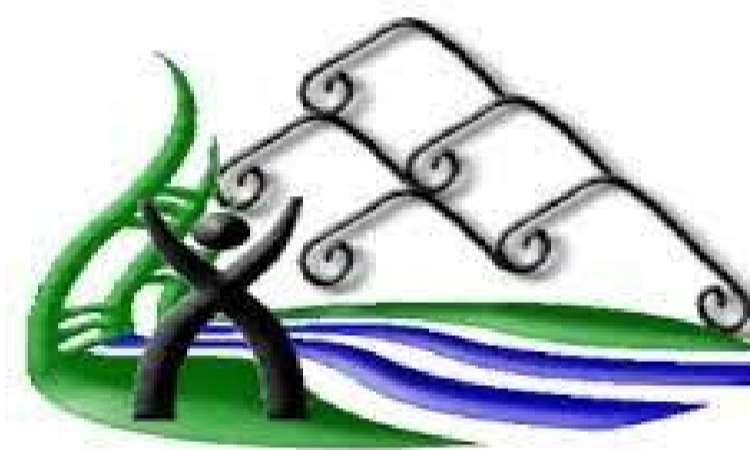
(H.C. 4/85/37; D.O. 32/5/83)



designgroup
architects h + k



Te Tāhuhu o
te Mātauranga
Ministry of Education



MINISTRY OF EDUCATION TE KURA O WAIKARE

WAIKARE VALLEY ROAD
KAWAKAWA, NORTHLAND

STAGE 1 - 3x CLASSROOM BLOCK - ISSUE P26



ID	ISSUE	SHEET NAME
A100	P26	TITLE
A101	P26	PROPOSED SITE PLAN
A201	P24	FLOOR DIMENSION PLAN - STAGE 1
A202	P26	PROPOSED FLOOR PLAN - STAGE 1
A203	P21	FOUNDATION PLAN
A204	P21	FLOOR SLAB PLAN
A205	P21	ROOF FRAMING PLAN
A206	P21	ROOF PLAN
A207	P24	REFLECTED CEILING PLAN
A208	P14	ELECTRICAL PLAN
A209	P11	PLUMBING AND DRAINAGE PLAN
A210	P11	RETICULATION PLAN
A301	P26	NORTH AND SOUTH ELEVATION
A302	P26	EAST AND WEST ELEVATIONS
A303	P24	A & B SECTIONS
A304	P21	C & D SECTIONS
A305	P23	X & Y SECTIONS
A306	P14	RAMP SECTIONS
A307	P14	RAMP SECTION
A401	P21	FOUNDATION DETAILS
A402		FOUNDATION DETAILS
A403	P21	01 2200 EAVE ASSEMBLY
A404	P14	02 CONCRETE DECK EDGE
A405	P14	04 600 WIDE EAVE
A406	P14	06 WINDOW ASSEMBLIES
A407	P14	08 CONCRETE NIB ASSEMBLY
A501	P21	WC INTERIOR ELEVATIONS
A502	P21	LOBBY & RESOURCE INTERIOR ELEVATIONS
A503	P21	CLASSROOM & BREAKOUT INTERIOR ELEVATIONS
A504	P21	SPECIALIST CLASSROOM, SCIENCE AND BREAKOUT
A506	P12	INTERIOR ELEVATIONS
A507	P12	CABINERY J01
A508	P12	CABINERY J02 & J03
A509	P12	CABINERY J04 & J05
A601	P12	DOOR SCHEDULE
A602	P12	DOOR SCHEDULE
A603	P12	WINDOW SCHEDULE

SITE SAFETY

All contractors and subcontractors on site are to comply with the Health and Safety at Work Act 2015 (HSWA), and with all relevant Health and Safety at Work Regulations 2016, and with all relevant WorkSafe New Zealand (WorkSafe) Approved Codes of Practice and WorkSafe information and Guidance, particularly those for construction and building maintenance.

Comply with the relevant provisions of the New Zealand Building Code, in particular Clause F5. So far as is reasonably practicable and according to a PCBUs (person conducting a business or undertaking) primary duty of care, take all necessary steps required to make the site and the contract works safe, and to provide and maintain a safe working environment. Ensure that all those working on or visiting the site are inducted and made aware of the site safety rules and are not unnecessarily exposed to hazards.

Each PCBU, so far as is reasonably practicable, must ensure the health and safety of workers, and that other people are not put at risk by its work. If more than one PCBU has a duty in relation to the same matter, each PCBU with the duty must, so far as is reasonably practicable, consult, co-operate with, and co-ordinate activities with all other PCBUs who have a duty in relation to the same matter. PCBUs can enter reasonable agreements with other PCBUs to meet their duties, but cannot contract out of their duties.

Notify WorkSafe as soon as possible when a notifiable event occurs. Take all reasonable steps to preserve the site of the notifiable event in accordance with WorkSafe requirements. Ensure that the site of the event is not disturbed until authorised otherwise by WorkSafe. Keep records of all notifiable events.

Scaffolding shall comply with all Statutory and Local Authority Regulations, with the WorkSafe 'Best Practice Guidelines for Scaffolding', AS/NZS 1576 (Scaffolding equipment), AS/NZS 4576 (Guidelines for Scaffolding), and AS/NZS 4994 (Roof edge scaffolding), and shall be maintained for the duration and removed on completion.

The use of ballistic fixings must absolutely comply with all relevant safety recommendations at all times.

No rubbish fires are allowed on site. Portable / personal disc / tape players, radios and iPods must not be used anywhere on the site.

No smoking on site, except in the designated location in accordance with the Smoke Free Environments Act 1990, the location of which will be determined by the Main Contractor, with the approval of the Principal.

A PCBU's primary duty of care includes, but is not limited to, so far as is reasonably practicable:

- providing and maintaining a work environment that is without risks to health and safety;
- providing and maintaining safe plant and structures;
- providing and maintaining safe systems of work;
- ensuring the safe use, handling and storage of plant, structures and substances;
- providing adequate facilities for the welfare of workers in carrying out work for the business or undertaking, including ensuring access to those facilities;
- providing any information, training, instruction, or supervision that is necessary to protect all persons from risks to their health and safety arising from work carried out as part of the conduct of the business or undertaking;
- monitoring the health of workers and the conditions at the workplace for the purpose of preventing injury or illness of workers arising from the conduct of the business or undertaking.

Before commencing work on the site, the Contractor shall prepare and submit to the contract administrator a site specific health and safety plan. The health and safety plan shall include, but not be limited to:

- the health and safety of all people on the site and on other properties, and the general public;
- identification of existing and potential construction hazards and risks;
- safety procedures to eliminate, isolate or minimise construction hazards;
- the equipment to be used to minimise the hazards;
- the maintenance of a register of hazards for the site;
- the name and qualifications of the site safety person;
- emergency procedures;
- first aid facilities and safety equipment;
- the methodology for notifying, recording and investigating accidents and injuries.

Carry out all construction operations in accordance with the submitted and approved site specific health and safety plan.

ABBREVIATIONS

The following abbreviations may be used throughout the drawing set.

- General**
- E Existing item to remain
 - ER Existing item removed for re-use in new location
 - R Item to be removed
 - NIC Not in contract
 - TBC To be confirmed
 - HL High level
 - L/L Low level
 - OH Over head
 - UG Underground
 - Sim Similar
 - UNO Unless noted otherwise
 - Typ Typical

Dimensions

- CL Centre line
- COS Check on site
- CRS Centres
- NTS Not to scale
- SOP Setout point
- US Underside

Levels

- FL Structural floor level
- FFL Finished floor level
- FFFL Above finished floor level
- FCL Finished ceiling level

Materials

- Al Aluminium
- RC Reinforced concrete
- SS Stainless Steel

GENERAL NOTES

- Contractor to verify all dimensions and conditions on site before commencing work.
- Work only from figured dimensions. In the event of a discrepancy consult the Architect.
- The drawings are to be read in conjunction with the Specification.
- If in doubt, consult the Architect.

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P26			17/04/2025



LEGAL DESCRIPTION

TE KURA O WAIKARE SCHOOL
61 Waikare Valley Road, Waikare
Pt Waikare 1

Area 1,9806 Ha (19,806m²)

NZBC COMPLIANCE

Designated Site: **ME102**
 Wind Zone: **HIGH**
 Wind Region: **A**
 Lee Zone: **No**
 Ground Roughness: **Open**
 Site Exposure: **Exposed**
 Topo Class: **T1**
 Earthquake Zone: **1**
 Exposure Zone: **D**
 Rainfall intensity: **110 - 147mm/hr**

PROPOSED SITE

PLAN LEGEND

- Boundary
- Existing fence
- FL: 10.000 Floor level
- Existing buildings to remain
- New building Stage 1
- New concrete driveway
- Existing gravel
- Existing Stormwater line
- New Stormwater line
- Existing Sewer Line
- New Sewer Line
- Existing Water supply line
- New Water Supply Line
- Existing Electrical supply line
- New Electrical line
- Existing Phone / Comms line
- New Phone / Comms line



PROPOSED SITE PLAN 1:500

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Ministry of Education

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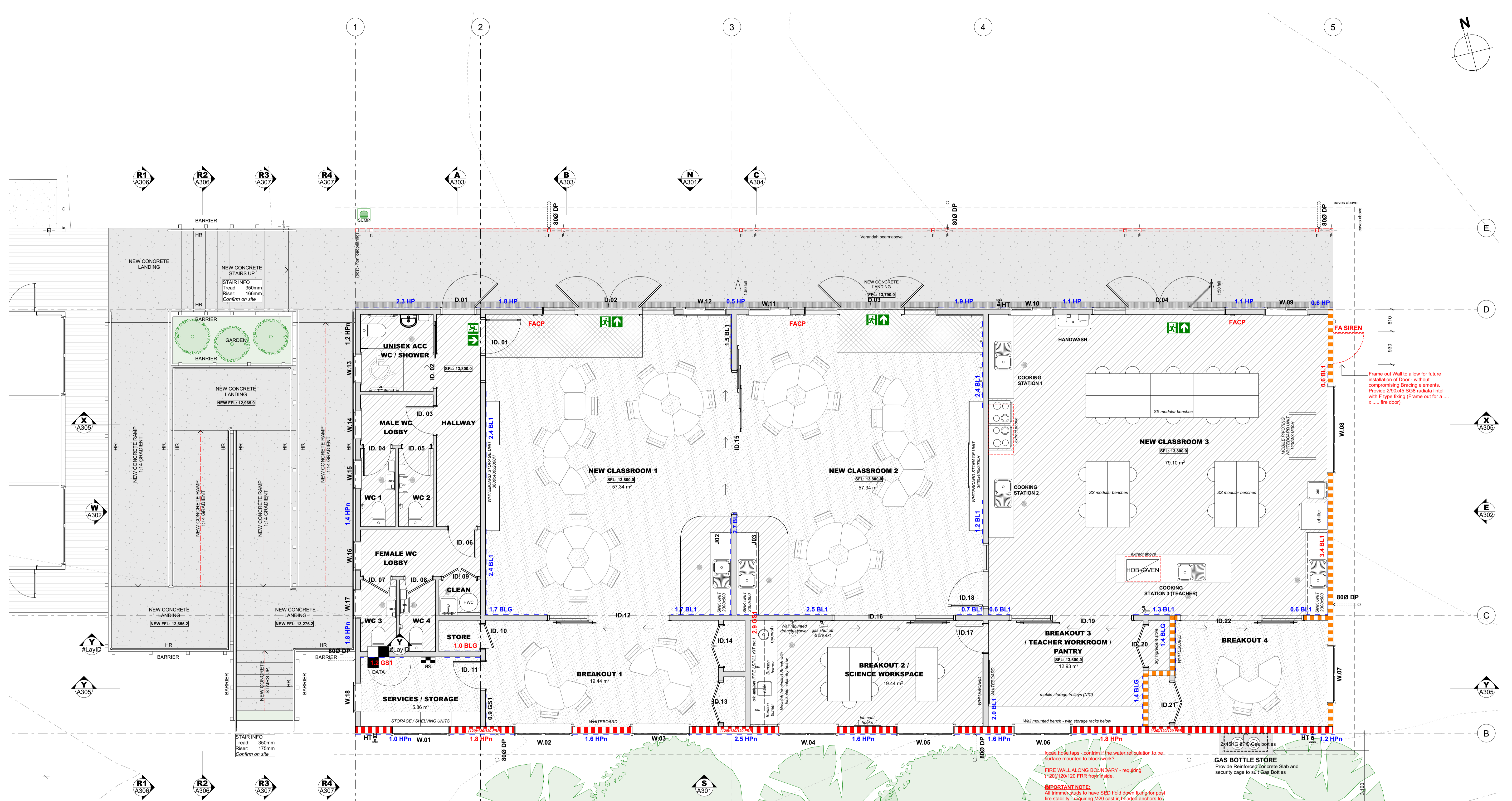
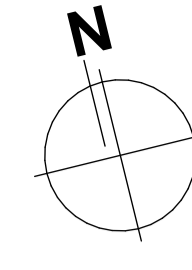
drawn
LS
scale
As marked at A1
A101
printed Friday, 17 April 2026
For Planner

sheet title
Site
PROPOSED SITE PLAN

checked
SB
job no.
14 / 11 / 05
issue
P26
16/04/2025

This drawing and the design it covers shall remain the property and copyright of the Architects

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FLOOR PLAN LEGEND

- 140x45 / 90x45 H1.2 radiata timber framed wall (as dimensioned). Studs @ 400c/s, noggs @ 800c/s typically.
- 190x45 H1.2 SGB radiata timber framed wall Studs @ 400c/s, noggs @ 800c/s. Width (120/120/120 FRR - one Way, taken up to underside of roofing). Use GIB GBUW 120 system (2layers 19mm Gib Fyrelite to inside of wall). Post Fire Stability requirements: Typical Studs: Pair of Handbrac fixings (each side) of stud. For Trimmer Studs: Pair of HDUES-SDS 2.5mm thick with M12 cast in bolts to each side of stud.
- 140x45 H1.2 radiata timber framed wall. Treat as a fire wall for future hall, requiring a 30/30/- FRR. Use GBL30b System 13mm gib Bracelina (instead of 13mm standard, as most of this wall contains Bracelina Bracing elements) installed in accordance with GIB fire system technical requirements. Breakout 4 will become part of Hall fire cell. Ensure cupboard etc are lined as indicated on floor plan.
- 290x88 PL 12 Verandah beam
- Prolam PLPH5-100 (88x88mm square) Glulam H5 posts (pairs), with decorative timber moulding to match existing - Paint finish
- Bracing element - Refer Engineers Calculations. Type x Length
- Existing timber decking
- New 25MPa exterior concrete pavement / ramps / steps. Provide light broom finish to achieve 'US Class' for slip resistance. 5% black oxide additive
- New Advance Carpet Tiles
- New Advance Gecko entrance carpet tiles
- New Jacobsen 2mm Tarkett IQ optima floor vinyl, covered up walls / joinery units
- Hose tap (lock shield) with Macdonald Industries Hose Tap Vacuum Breaker

- 800 DP New 800 Marley down pipes - paint finish to match cladding / posts / foundations
- FACP Indicative location of Fire Alarm Call Point - final number and locations as per IOP Fire Safety System designer
- Selected Exit sign - Refer to Fire report
- 320 CHS Stainless Steel Handrail to all Stairs and Ramps. Provide Second rail (mid rail) as detailed.
- HT

- H3.2 vertical pailings - evenly spaced between posts with maximum 100mm aps between.
- New 800 Marley down pipes - paint finish to match cladding / posts / foundations
- Indicative location of Fire Alarm Call Point - final number and locations as per IOP Fire Safety System designer
- Selected Exit sign - Refer to Fire report
- 320 CHS Stainless Steel Handrail to all Stairs and Ramps. Provide Second rail (mid rail) as detailed.
- HT

- FLOOR PLAN NOTES**
- ASSOCIATED DOCUMENTS**
- 1.0 Refer to the Project Specification
- 1.1 Refer to the Structural Engineers Calculations and details.
- 1.2 Refer to the electrical plan for wiring requirements
- 1.3 Refer to the Foundation, Slab and services plans
- 1.4 Refer to the Fire Report by Fire Proofed Ltd
- 2.0 **EXTERIOR WALLS**
- 2.1 Timber frame construction with Bevel back timber weatherboards over a cavity.
- 2.2 H3.2 radiata bevel back weatherboards (paint finish) over 45x20 H3.2 vertical timber cavity battens typically (except cavity batten along top of cavity to be double castigated to allow for top venting over 6mm James Hardie R4B board over 140x45 H1.2 SGB radiata wall framing, studs @ 400c/s, noggs @ max. 800c/s generally with 140mm R3.2 Knauf thermal wall insulation - Wall linings Vary, refer interior elevations. Fixing: Stud to top plate
- 2.3 TBC
- 2.4 Fixing: Bottom plate to slab: TBC
- 3.0 **INTERIOR WALLS**
- 3.1 90x45 / 140x45 H1.2 radiata timber wall framing, studs @ 400c/s, noggs @ 800c/s.
- 3.2 Linings Vary, refer interior Elevations
- 3.3 Provide 90mm Knauf Acoustic insulation to all internal walls.
- 4.0 **FLOORING**
- 4.1 **Exterior Concrete Surfacing**
- 4.2 100mm thick 25MPa concrete pavement slabs / ramp slabs reinforced with S62 mesh typically, with 20Series Masonry Block foundations - complete with plaster finish over. 25MPa reinforced concrete steps - Refer Details. Broom finish for slip resistance to all new exterior concrete walking surfaces. 5% oxide additive
- 4.3 **New Classroom block concrete floor**
- 4.4 100mm thick 25MPa concrete floor slab reinforced with S62 mesh, 20Series Header Block with 20Series perimeter foundation wall below - With plaster finish over.
- 5.0 **DOORS AND WINDOWS**
- 5.1 **Exterior Joinery**
- 5.2 APL Polyester powdercoated Aluminium framed windows and doors with matching aluminium head flashings with min. slope 15deg and stoppers. H3.2 radiata paint quality jamb liners. Proprietary plastic packers to suit, with water resistant Sikaflex MS air seal continuous around joinery frame over PEF rod. Thermakraft Thermalfash flashing tape to entire opening. Refer to assembly details and window and door schedule.
- 5.3 **Interior Aluminium Joinery**
- 5.4 APL Polyester powdercoated aluminium framed doors. To be recessed into floor slab to ensure flush finish between carpet tiles and Joinery sill track - verify rebates with Joinery manufacturer / installer prior to pouring floor slab.
- 5.5 **Interior Doors**
- 5.6 Prehung solidcore interior doors. Refer to the floor plan and Door schedule for sizes, materials and finishes

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- 3.1 90x45 / 140x45 H1.2 radiata timber wall framing, studs @ 400c/s, noggs @ 800c/s.
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- 5.3 **Interior Aluminium Joinery**
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- 5.5 **Interior Doors**
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P20			3/03/2026
P21			31/03/2026
P22			8/04/2026
P23			10/04/2026
P24			14/04/2026
P25			16/04/2026
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PROPOSED FLOOR PLAN 1:50



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Ministry of Education
TE KURA O WAIKARE MASTERPLAN
WAIKARE VALLEY ROAD
KAWAKAWA

sheet title
Plans
PROPOSED FLOOR PLAN - STAGE 1

drawn LS
scale As marked at A1
checked SB
job no. 14 / 11 / 05
issue
A202
P26
printed Friday, 17 April 2026
For Planner

SECTION / ELEVATION NOTES

- 1.0 **ASSOCIATED DOCUMENTS**
- 1.1 Refer to the Engineering Consultant's documents and calculations for bracing, speciality lintels, and geotech report.
- 1.2 Comply with FNDC EES in all respects.
- 1.3 Refer to the Electrical Plan for wiring requirements.
- 1.4 Refer to Foundation and Plumbing Plan for reinforcing to slab, door rebates plumbing requirements etc. ensure all drainage is located below slab.
- 1.5 Refer to Fire Report by Fireproofed Ltd.

- 2.0 **FLOOR CONSTRUCTION**
- 2.1 Slab on grade with Masonry Block Perimeter foundation with Selected Floor Finishes
Selected Floor Finishes (carpet tiles or sheet vinyl) over Waterproofing membrane over 100mm thick 25MPa concrete slab reinforced with SE82 mesh (no saw cutting, shrinkage cracking mitigated by other means) over Thermakraft Thermathene Orange DPM over 50mm Expol ThermaLab H floor insulation over Compacted Fill (in accordance with Geotechnical Engineers requirements Slab thickenings throughout 25Series Masonry Headerblock to perimeter, tied to 20Series Masonry perimeter foundation. Refer Foundation and Floor Slab plan, Details and Structural Engineers Documentation.

- 2.2 **Exterior concrete slab/ramp/steps with broom finish**
Broom finish to achieve 'US class' finish, for slip resistance to exterior concrete walking surfaces. 100mm 25MPa concrete slab, reinforced with SE82 mesh, tied into 20 Series Masonry Block Perimeter foundations and footings - provide min. 1:50 crossfall to drain surface water away.

- 3.0 **EXTERIOR WALLS & CLADDING**
- 3.1 **Timber frame construction with Timber Bevelback weatherboards over.**
NEW H3.2 timber weatherboards on 45x20 H3.2 timber cavity battens @ stud crs over 6mm James Hardie RAB board fixed in accordance with James Hardie Technical manual on 140x45 H1.2 25G8 radiata wall framing - (studs @ 400crs, nogs @ max. 800crs). Supply and install new 140mm Knauf R3.2 Thermal wall insulation. Wall linings vary, refer interior elevations for more detail.
REGULAR CLASSROOMS, BREAKOUT 1 & 4, SERVICES AND STORE
13mm Gib Toughline Wall linings Typically with Autex Composition over
FOOD TECH CLASSROOM & PANTRY
13mm Gib Toughline with James Hardie Gladie 6mm premium Hygiene wall lining over
WC's & WC LOBBY
9mm villoboard with Showerline or seratone over
ACC BATHROOM
9mm Villoboard Lining with 2mm Wall Vinyl Over
SCIENCE WORKSPACE
13mm Gib Toughline with selected chemical resistant wall lining over

- 3.2 **Timber Frame Fixings**
Fixing: Stud to top plate:
Fixing: Bottom plate to concrete slab:
M12 bolt with 50x50x3.0 square washer @ 600 crs - refer also Bracing plan and Bracing unit technical documentation for any additional hold downs.

- 4.0 **INTERIOR WALLS**
- 4.1 **New 90x45 or 140x45 H3.2 radiata timber wall framing:** studs 400crs, nogs @ 800crs and 90mm Knauf acoustic insulation. Refer interior elevations for linings
Fixing: Stud to top plate
Fixing: Bottom plate to concrete slab:
M12 bolt with 50x50x3.0 square washer @ 600 crs - refer also Bracing plan and Bracing unit technical documentation for any additional hold downs.

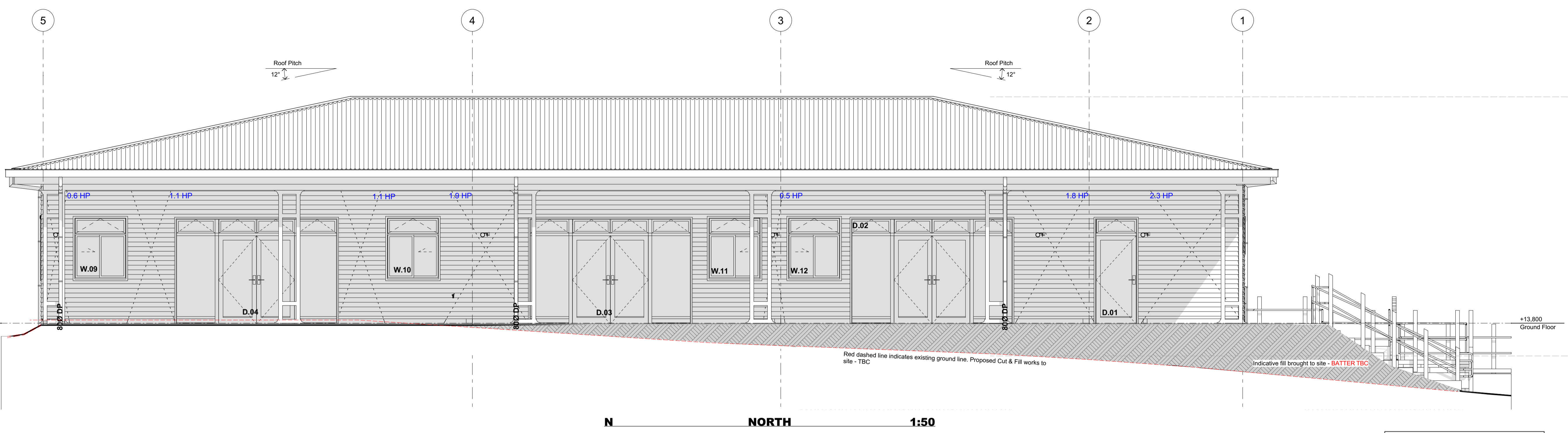
- 5.0 **NEW CEILING**
- 5.1 13mm Gib Ultraline ceiling lining to store cupboards with Level 4+ Paint finish fixed to timber ceiling framing. Knauf thermal Ceiling Insulation throughout Refer to electrical plan for electrical fittings within ceiling plane.
Suspended Ceiling Grid
Suspended ceiling grid (white) throughout classrooms and breakout spaces with 1200x600 Acoustic ceiling tiles.
Refer Reflected Ceiling plan for the different tiles for each space.
Refer to electrical plan for electrical fittings within ceiling plane.
Ensure baffle block between different spaces

- 6.0 **NEW ROOFING**
- 6.1 **New Steel and Tube Corrugate Roofing**
0.55 BMT COLORSTEEL MAXAM Steel and Tube Corrugate Roofing Profile (Colour TBC) with 0.55 BMT associated COLORSTEEL MAXAM flashings (colour to match roof) on Thermakraft 'Covertek 407' self supporting roofing underlay over Thermakraft Ausmesh safety mesh on 70x45 H3.2 radiata purlins @ 900crs over H1.2 radiata trusses with 230mm R3.6 Knauf ceiling insulation Colorsteel Maxam Box Gutter 175 800 Marley uPVC downpipes on proprietary stand off brackets @ 1000crs max. paint downpipes to match cladding colours.
IMPORTANT NOTE:
All roof areas to be ventilated, refer roof details / junctions)

- 7.0 **DOORS & WINDOWS**
- 7.1 APL Dulux Duratec Aluminium framed windows and doors with matching aluminium head flashing with min. slope 1:5 deg. and stop ends c/w H3.2 radiata jamb liners with proprietary plastic packer to suit with water resistant Sikaflex MS air seal continuous around joinery frame with PEF backing rod behind on flexible flashing tape to the entire window / door opening (in accordance with RAB installation guide) - refer to the project assembly details and the Door and Window Schedule
7.2 Ensure construction value of R0.37 through the use of argon gas, double glazing and thermally improved spacers

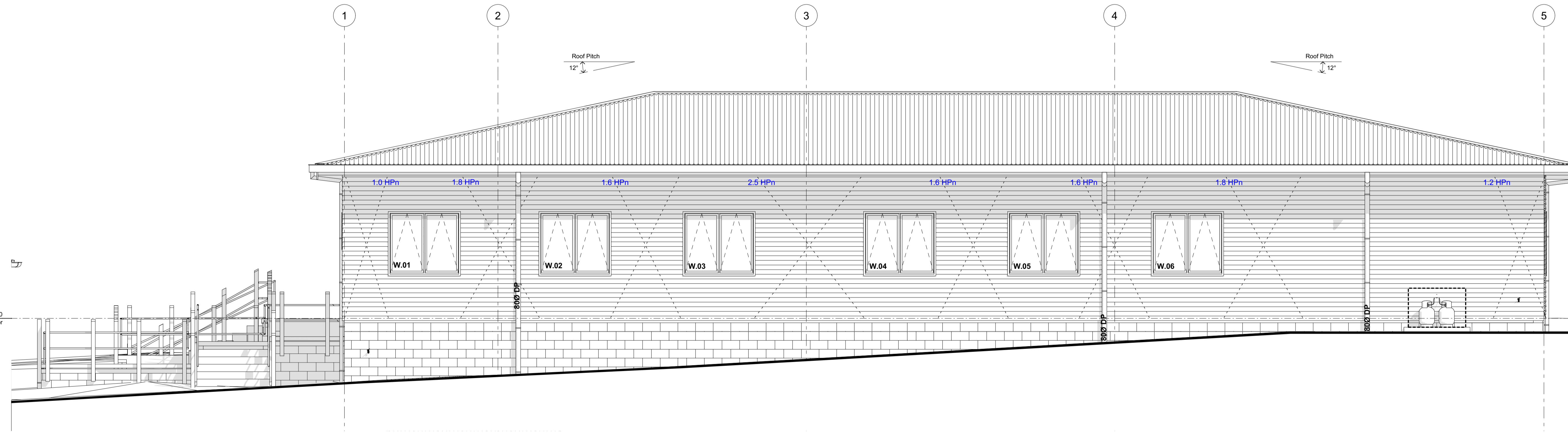
- 8.0 **INTERIOR DOORS**
- 8.1 APL Dulux Duratec Aluminium interior sliding doors. Refer to the Floor Plan and Door Schedule for door sizes, materials and finishes.
8.2 Prehung solidcore interior doors. Refer to the Floor Plan and Door Schedule for door sizes, materials and finishes.

- 9.0 **BUILT-IN FITTINGS**
- 9.1 Refer to the Internal Elevations, Sections, Cabinetry/joinery drawings, for Joinery items to be supplied and installed by the Main Contractor.



N NORTH 1:50

BUILDING ENVELOPE RISK MATRIX		
NORTH ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		3



S SOUTH 1:50

BUILDING ENVELOPE RISK MATRIX		
SOUTH ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		3

GENERAL NOTES

- 0.1 Contractor to verify all dimensions and conditions on site before commencing work.
- 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
- 0.3 The drawings are to be read in conjunction with the Specification.
- 0.4 If in doubt, consult the Architect.

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MINISTRY OF EDUCATION
TE KURA O WAIKARE MASTERPLAN
WAIKARE VALLEY ROAD
KAWAKAWA

sheet title
Elevations, Sections
NORTH AND SOUTH ELEVATION

checked
SB
job no.
14 / 11 / 05
issue
A301
P26
printed Friday, 17 April 2026
For Planner

SECTION / ELEVATION NOTES

- 1.0 **ASSOCIATED DOCUMENTS**
- 1.1 Refer to the Engineering Consultant's documents and calculations for bracing, speciality lintels, and geotech report.
- 1.2 Comply with FNDC EES in all respects.
- 1.3 Refer to the Electrical Plan for wiring requirements.
- 1.4 Refer to Foundation and Plumbing Plan for reinforcing to slab, door rebates plumbing requirements etc. ensure all drainage is located below slab.
- 1.5 Refer to Fire Report by Fireproofed Ltd.

- 2.0 **FLOOR CONSTRUCTION**
- 2.1 Slab on grade with Masonry Block Perimeter foundation with Selected Floor Finishes
Selected Floor Finishes (carpet tiles or sheet vinyl) over Waterproofing membrane over 100mm thick 25Mpa concrete slab reinforced with SE82 mesh (no saw cutting, shrinkage cracking mitigated by other means) over Thermakraft Thermathene Orange DPM over 50mm Expol ThermaLab H floor insulation over Compacted Fill (in accordance with Geotechnical Engineers requirements Slab thickenings throughout 25Series Masonry Headerblock to perimeter, tied to 20Series Masonry perimeter foundation. Refer Foundation and Floor Slab plan, Details and Structural Engineers Documentation.

- 2.2 **Exterior concrete slab/ramp/steps with broom finish**
Broom finish to achieve 'US class' finish, for slip resistance to exterior concrete walking surfaces. 100mm 25MPa concrete slab, reinforced with SE62 mesh, tied into 20 Series Masonry Block Perimeter foundations and footings - provide min. 1:50 crossfall to drain surface water away.

- 3.0 **EXTERIOR WALLS & CLADDING**
- 3.1 **Timber frame construction with Timber Bevelback weatherboards over.**

- NEW H3.2 timber weatherboards on 45x20 H3.2 timber cavity battens @ stud crs over 6mm James Hardie RAB board fixed in accordance with James Hardie Technical manual on 140x45 H1.2 SGB radiata wall framing - (studs @ 400crs, nogs @ max. 800crs). Supply and install new 140mm Knauf R3.2 Thermal wall insulation. Wall linings vary, refer interior elevations for more detail.
- REGULAR CLASSROOMS, BREAKOUT 1 & 4, SERVICES AND STORE**
13mm Gb Toughline Wall Linings Typically with Autex Composition over
- FOOD TECH CLASSROOM & PANTRY**
13mm Gb Toughline with James Hardie Hardie Glazie 6mm premium Hygiene wall lining over
- WC's & WC LOBBY**
9mm villoboard with Showerline or seratone over over
- ACC BATHROOM**
9mm Villoboard Lining with 2mm Wall Vinyl Over
- SCIENCE WORKSPACE**
13mm Gb Toughline with selected chemical resistant wall lining over

- 3.2 **Timber Frame Fixings**
Fixing: Stud to top plate:
Fixing: Bottom plate to concrete slab:
M12 bolt with 50x50x3.0 square washer @ 600 crs - refer also Bracing plan and Bracing unit technical documentation for any additional hold downs.

- 4.0 **INTERIOR WALLS**
- 4.1 New 90x45 or 140x45 H3.2 radiata timber wall framing studs 400crs, nogs @ 800crs and 90mm Knauf acoustic insulation. Refer interior elevations for linings

- Fixing:** Stud to top plate:
Fixing: Bottom plate to concrete slab:
M12 bolt with 50x50x3.0 square washer @ 600 crs - refer also Bracing plan and Bracing unit technical documentation for any additional hold downs.

- 5.0 **NEW CEILING**
- 5.1 13mm Gb Ultraline ceiling lining to store cupboards with Level 4+ Paint finish fixed to timber ceiling framing. Knauf thermal Ceiling Insulation throughout Refer to electrical plan for electrical fittings within ceiling plane.

- 5.2 **Suspended Ceiling Grid**
Suspended ceiling grid (white) throughout classrooms and breakout spaces with 1200x600 Acoustic ceiling tiles. Refer Reflected Ceiling plan for the different tiles for each space. Refer to electrical plan for electrical fittings within ceiling plane. Ensure baffle block between different spaces

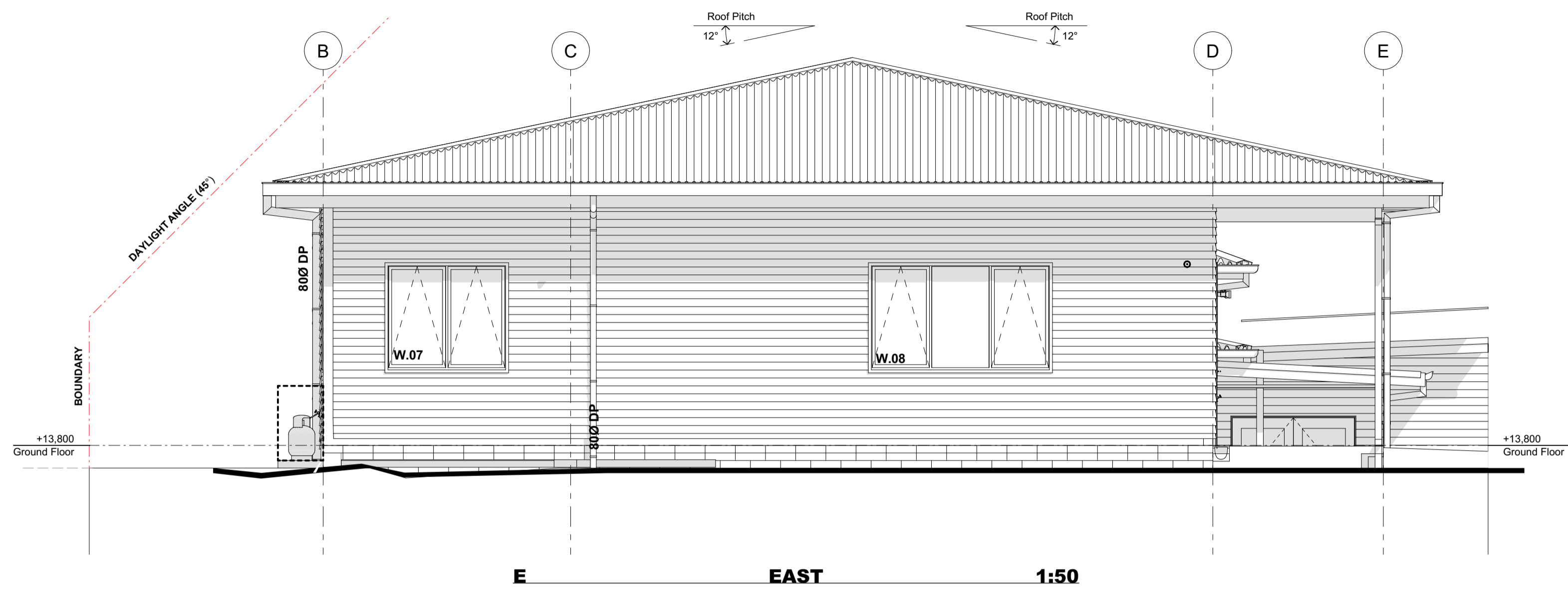
- 6.0 **NEW ROOFING**
- 6.1 **New Steel and Tube Corrugate Roofing**
0.55 BMT COLORSTEEL MAXAM Steel and Tube Corrugate Roofing Profile (Colour: TBC) with 0.55 BMT associated COLORSTEEL MAXAM flashings (colour to match roof) on Thermakraft 'Covertex 407' self supporting roofing underlay over Thermakraft Auamesh safety mesh on 70x45 H3.2 radiata purlins @ 900crs over H1.2 radiata trusses with 230mm R3.6 Knauf ceiling insulation Colorsteel Maxam Box Gutter 175 800 Marley uPVC downpipes on proprietary stand off brackets @ 1000crs max. paint downpipes to match cladding colours.

- 6.2 **IMPORTANT NOTE:**
All roof areas to be ventilated, refer roof details / junctions)

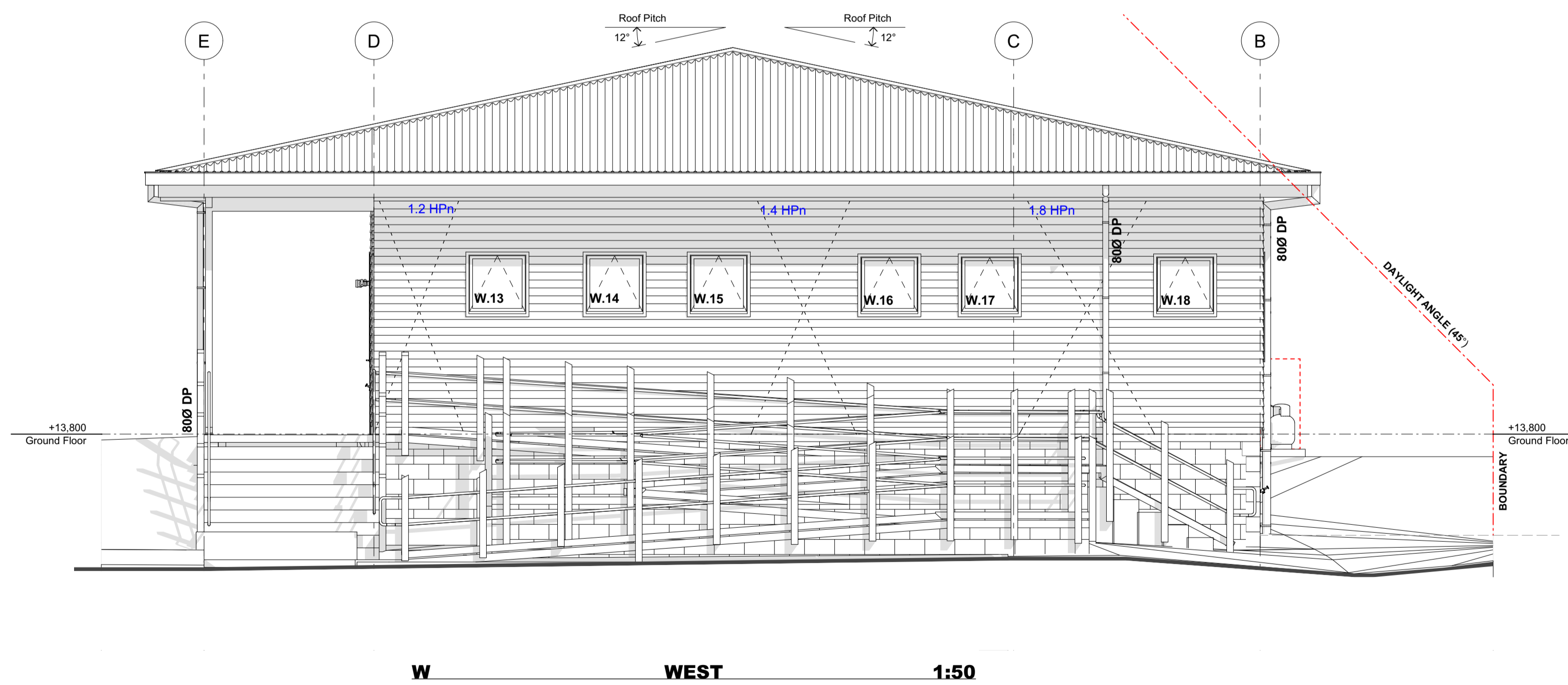
- 7.0 **DOORS & WINDOWS**
- 7.1 APL Dulux Duratec Aluminium framed windows and doors with matching aluminium head flashing with min. slope 1:5 deg. and stop ends c/w H3.2 radiata jamb liners with proprietary plastic packer to suit with water resistant Sikaflex MS air seal continuous around joinery frame with PEF backing rod behind on flexible flashing tape to the entire window / door opening (in accordance with RAB installation guide) - refer to the project assembly details and the Door and Window Schedule
- 7.2 Ensure construction value of R0.37 through the use of argon gas, double glazing and thermally improved spacers

- 8.0 **INTERIOR DOORS**
- 8.1 APL Dulux Duratec Aluminium interior sliding doors. Refer to the Floor Plan and Door Schedule for door sizes, materials and finishes.
- 8.2 Prehung solidcore interior doors. Refer to the Floor Plan and Door Schedule for door sizes, materials and finishes.

- 9.0 **BUILT-IN FITTINGS**
- 9.1 Refer to the Internal Elevations, Sections, Cabinetry/joinery drawings, for Joinery items to be supplied and installed by the Main Contractor.



BUILDING ENVELOPE RISK MATRIX		
EAST ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		3



BUILDING ENVELOPE RISK MATRIX		
WEST ELEVATION		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Very high risk	2
Number of storeys	Low risk	0
Roof/wall intersection design	Low risk	0
Eaves width	Medium risk	1
Envelope complexity	Low risk	0
Deck design	Low risk	0
Total Risk Score:		3

GENERAL NOTES

- 0.1 Contractor to verify all dimensions and conditions on site before commencing work.
- 0.2 Work only from figured dimensions. In the event of a discrepancy consult the Architect.
- 0.3 The drawings are to be read in conjunction with the Specification.
- 0.4 If in doubt, consult the Architect.

RevID	CHD	Revision	Date
P14			5/02/2025
P15			23/01/2026
P16			28/01/2026
P17			8/02/2026
P18			11/02/2026
P19			24/02/2026
P20			3/03/2026
P21			31/03/2026
P25			16/04/2026
P26			17/04/2026



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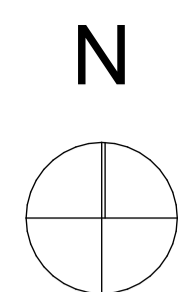
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drawn by
LS
scale
As marked at A1
sheet no.
A302
checked by
SB
job no.
14 / 11 / 05
issue
P26
printed Friday, 17 April 2026
For Planner

sheet title
Elevations, Sections
EAST AND WEST ELEVATIONS

drawn by
LS
scale
As marked at A1
sheet no.
A302
checked by
SB
job no.
14 / 11 / 05
issue
P26
printed Friday, 17 April 2026
For Planner



SITE SAFETY

All contractors and subcontractors on site are to comply with the Health and Safety at Work Act 2015 (HSWA), and with all relevant Health and Safety at Work Regulations 2016, and with all relevant WorkSafe New Zealand (WorkSafe) Approved Codes of Practice and WorkSafe information and Guidance, particularly those for construction and building maintenance.

Comply with the relevant provisions of the New Zealand Building Code, in particular Clause F5. So far as is reasonably practicable and according to a PCBUs (person conducting a business or undertaking) primary duty of care, take all necessary steps required to make the site and the contract works safe, and to provide and maintain a safe working environment. Ensure that all those working on or visiting the site are inducted and made aware of the site safety rules and are not unnecessarily exposed to hazards.

Each PCBU, so far as is reasonably practicable, must ensure the health and safety of workers, and that other people are not put at risk by its work. If more than one PCBU has a duty in relation to the same matter, each PCBU with the duty must, so far as is reasonably practicable, consult, co-operate with, and co-ordinate activities with all other PCBUs who have a duty in relation to the same matter. PCBUs can enter reasonable agreements with other PCBUs to meet their duties, but cannot contract out of their duties.

Notify WorkSafe as soon as possible when a notifiable event occurs. Take all reasonable steps to preserve the site of the notifiable event in accordance with WorkSafe requirements. Ensure that the site of the event is not disturbed until authorised otherwise by WorkSafe. Keep records of all notifiable events.

Scaffolding shall comply with all Statutory and Local Authority Regulations, with the WorkSafe Best Practice Guidelines for Scaffolding, AS/NZS 1576 (Scaffolding equipment), AS/NZS 4576 (Guidelines for Scaffolding), and AS/NZS 4994 (Roof edge scaffolding), and shall be maintained for the duration and removed on completion.

The use of ballistic fixings must absolutely comply with all relevant safety recommendations at all times.

No rubbish fires are allowed on site. Portable / personal disc / tape players, radios and iPods must not be used anywhere on the site.

No smoking on site, except in the designated location in accordance with the Smoke Free Environments Act 1990, the location of which will be determined by the Main Contractor, with the approval of the Principal.

A PCBU's primary duty of care includes, but is not limited to, so far as is reasonably practicable:

- providing and maintaining a work environment that is without risks to health and safety;
- providing and maintaining safe plant and structures;
- providing and maintaining safe systems of work;
- ensuring the safe use, handling and storage of plant, structures and substances;
- providing adequate facilities for the welfare of workers in carrying out work for the business or undertaking, including ensuring access to those facilities;
- providing any information, training, instruction, or supervision that is necessary to protect all persons from risks to their health and safety arising from work carried out as part of the conduct of the business or undertaking;
- monitoring the health of workers and the conditions at the workplace for the purpose of preventing injury or illness of workers arising from the conduct of the business or undertaking.

Before commencing work on the site, the Contractor shall prepare and submit to the contract administrator a site specific health and safety plan. The health and safety plan shall include, but not be limited to:

- the health and safety of all people on the site and on other properties, and the general public;
- identification of existing and potential construction hazards and risks;
- safety procedures to eliminate, isolate or minimise construction hazards;
- the equipment to be used to minimise the hazards;
- the maintenance of a register of hazards for the site;
- the name and qualifications of the site safety person;
- emergency procedures;
- first aid facilities and safety equipment;
- the methodology for notifying, recording and investigating accidents and injuries.

Carry out all construction operations in accordance with the submitted and approved site specific health and safety plan.

ABBREVIATIONS

The following abbreviations may be used throughout the drawing set.

- General**
- E Existing item to remain
 - ER Existing item removed for re-use in new location
 - R Item to be removed
 - NIC Not in contract
 - TBC To be confirmed
 - HL High level
 - L/L Low level
 - OH Over head
 - UG Underground
 - Sim Similar
 - UNO Unless noted otherwise
 - Typ Typical

Dimensions

- CL Centre line
- COS Check on site
- CRS Centres
- NTS Not to scale
- SOP Setout point
- U/S Underside

Levels

- FL Structural floor level
- FFL Finished floor level
- affFL Above finished floor level
- FCL Finished ceiling level

Materials

- Al Aluminium
- RC Reinforced concrete
- SS Stainless Steel

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P28			17/04/2026



PROPOSED SITE PLAN LEGEND

- Boundary
- Existing fence
- FL: 10.000 Floor level
- Existing buildings to remain
- New building Stage 1
- New building Stage 2
- New building Stage 3
- New concrete driveway
- Existing gravel

PROPOSED SITE PLAN - ALL STAGES 1:500

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P28			17/04/2026



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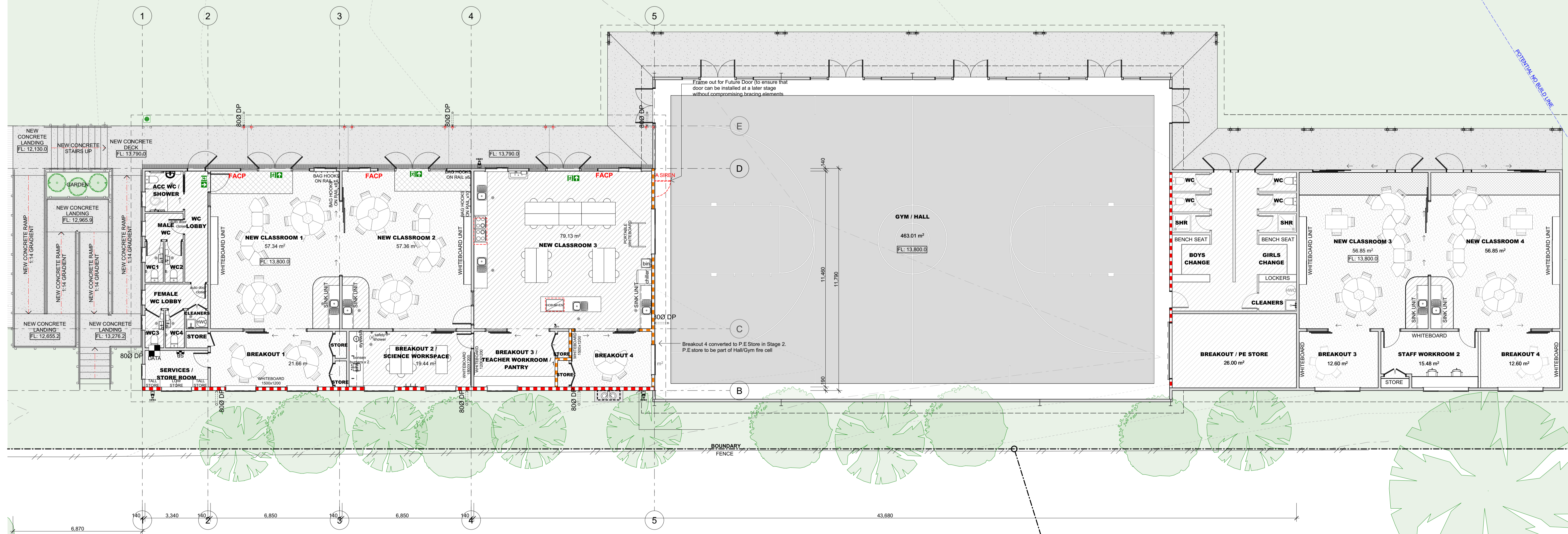
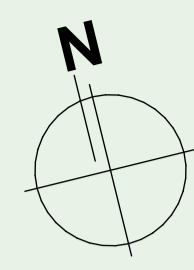
drawn LS
checked SB
scale As marked at A1
job no. 14 / 11 / 05
sheet no. A701
issue P26
printed Friday, 17 April 2026
For Planner

drawn LS
checked SB
scale As marked at A1
job no. 14 / 11 / 05
sheet no. A701
issue P26
printed Friday, 17 April 2026
For Planner

drawn LS
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sheet no. A701
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**PROPOSED PLAN
LEGEND**

- Boundary
- Fence
- Existing timber framed wall to remain
- New 140x45 H3.2 Radiata timber framed fire wall
- New 140x45 H3.2 Radiata timber framed wall
- New exterior concrete
- New floor vinyl covered up wall
- New Carpet tiles
- New Entrance Matting Carpet tiles
- Roof eave over



SED Post Fire Stability Wall Framing
Design to come for this wall

GENERAL NOTES

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RevID	CHD	Revision	Date
P04			13/06/2023
P08			06/09/2024
P10			01/10/2024
P28			17/04/2026

PROPOSED FLOOR PLAN - ALL STAGES 1:100



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Ministry of Education
TE KURA O WAIKARE MASTERPLAN
WAIKARE VALLEY ROAD
KAWAKAWA

drawn LS
scale As marked at A1
A702
checked SB
job no. 14 / 11 / 05
18/04/2026
P26
printed Friday, 17 April 2026
For Planner

drawn LS
scale As marked at A1
A702
checked SB
job no. 14 / 11 / 05
18/04/2026
P26
printed Friday, 17 April 2026
For Planner

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